

SITE DATA

PROPOSED USAGE: RETAIL/RESTAURANT/OFFICE/DAYCARE/BANK
 LOT AREA: 449,389.14 S.F. (10.3165 ACRE)

LOT NO.	AREA	USAGE
LOT 1	26,299.32 S.F.	OFFICE (TENANT TO BE DETERMINED)
LOT 2-A	57,187.06 S.F.	DAYCARE (TENANT TO BE DETERMINED)
LOT 3-A	193,438.41 S.F.	RETAIL/RESTAURANT (TENANT TO BE DETERMINED)
LOT 4	76,230.00 S.F.	BANK
LOT 5	76,230.00 S.F.	ECKERD
LOT 6	12,506.68 S.F.	RETAIL/RESTAURANT (TENANT TO BE DETERMINED)

△ CHANGES IN LOTS 2 & 3:
 -LOTS NO. 2 & 3 CHANGED TO LOTS NO. 2-A & 3-A
 -0.0148 AC. WAS DEDICATED TO THE CITY OF ALBUQUERQUE

○ NOTES:

- STANDARD CURB PER COA STD. DWG. #2415.
- NEW 4' SIDEWALK PER COA STD. DWG. #2430.
- NEW 6' SIDEWALK PER COA STD. DWG. #2430.
- NEW DRIVE WAY ENTRANCE PER COA STD. DWG. #2426.
- EXISTING CURB AND GUTTER.
- EXISTING LIGHT POLE.
- FUTURE CURB AND GUTTER.
- NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
- CONTINUES LEFT TURN LANE, THE STRIPING TO BE COORDINATED WITH TRANSPORTATION DEPT.
- PEDESTRIAN CROSSING.

LEGEND

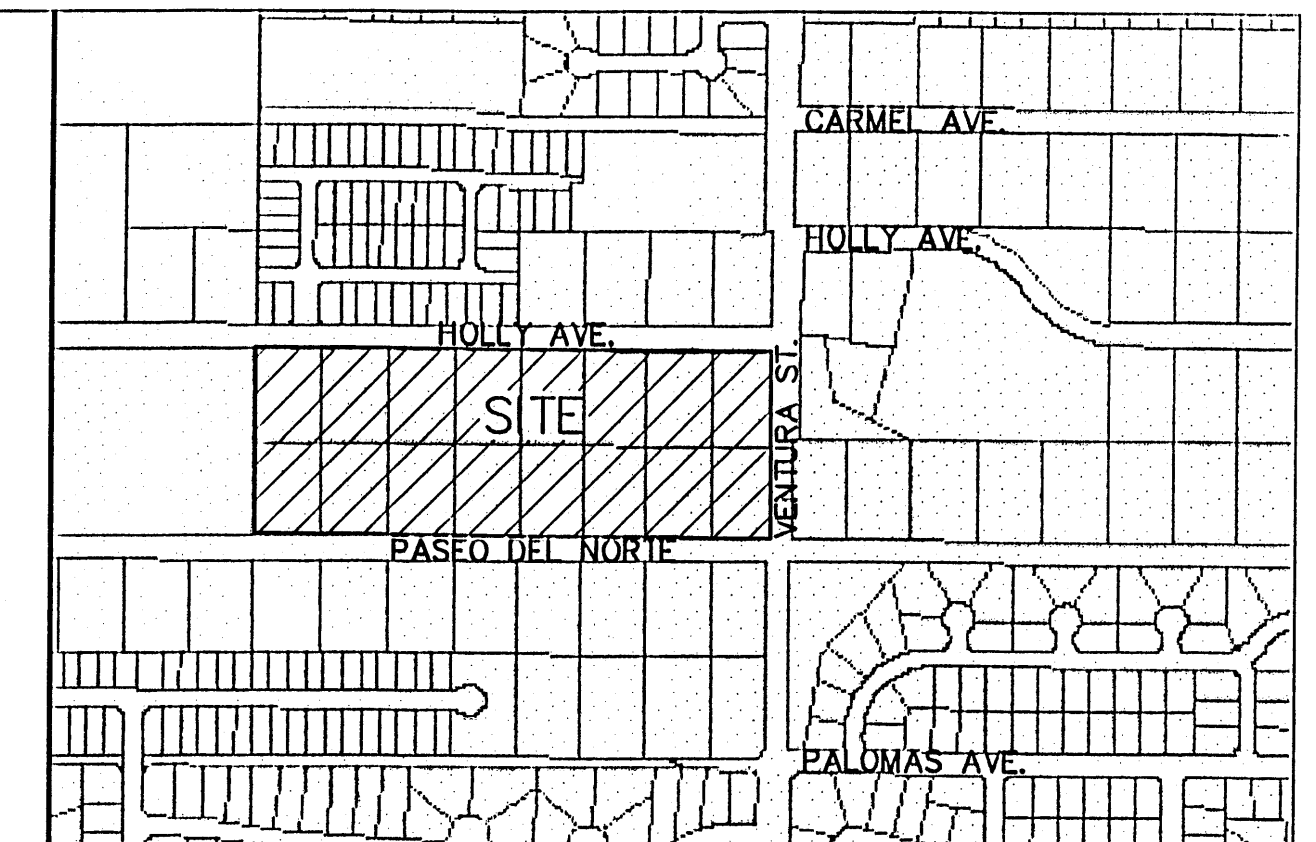
- BOUNDARY LINE
- PROPOSED CURB
- FUTURE CURB & GUTTER
- EXISTING CURB & GUTTER

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

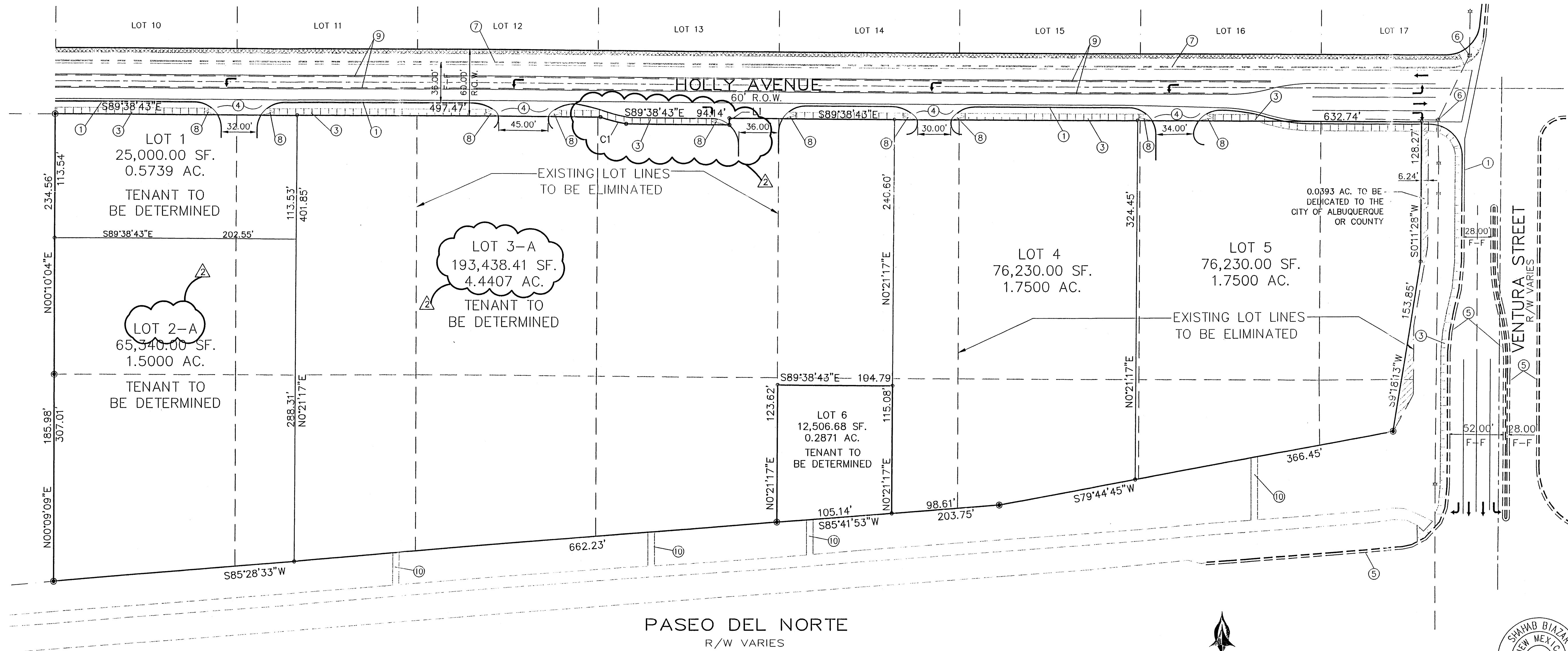
SITE DEVELOPMENT PLAN APPROVAL:

SOLID WASTE MANAGEMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA	DATE
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE



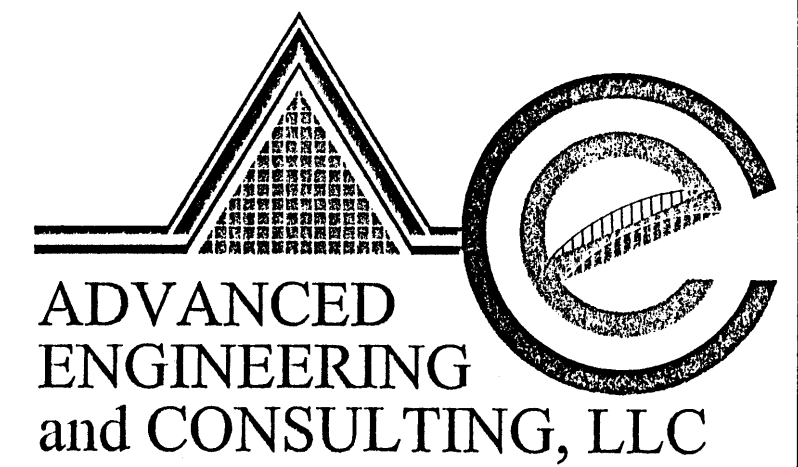
VICINITY MAP: C-20-Z

LEGAL DESCRIPTION:
 LOTS 9-15 AND REMAINING PORTIONS OF LOTS 16-24, BLOCK 10, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES. CONTAINING 449,389.14 S.F. (10.3165 ACRE) ZONING SU-1 MIXED USED.



DRB ADMINISTRATIVE
 SITE PLAN AMENDMENT
 PROJECT NO. 1002633
 APPLICATION NO. 05-01716
 Planning Director: [Signature]
 DATE: 8/10/04

PROJECT 1002633

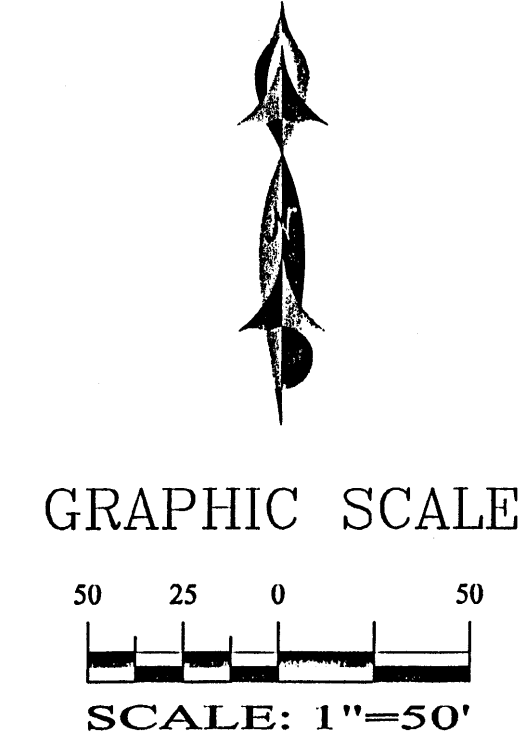


SHAHAB BIAZAR
 P.E. #13479
 4416 ANATHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

FOR INFORMATION ONLY:
 EXISTING HOLLY AVENUE, ON THE WEST SIDE OF VENTURA STREET, MAY BE RE-ALIGNED TO THE NORTH WITH EXISTING HOLLY AVENUE, ON THE EAST SIDE OF VENTURA STREET, IN THE FUTURE. IN THE EVENT THAT HOLLY AVENUE IS RE-ALIGNED, THE CURRENT ALIGNMENT/ACCESS OF HOLLY AVENUE AT VENTURA STREET WILL REMAIN AS A SITE DRIVE.

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	24.34'	156.50'	08°54'39"	12.19	24.32	S75°21'34"E

LINE	LENGTH	BEARING
L1	6.00'	N00°21'17"E



**VENTURA PLACE
 AMENDED SITE PLAN FOR SUBDIVISION**

DRAWING: 200259-AMENDED-S1.DWG	DRAWN BY: SBB	DATE: 08-05-03	SHEET # 2.1 OF 7
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LOT 3	181,685.26 S.F.	RETAIL/RESTAURANT (TENANT TO BE DETERMINED)
LOT 4	76,230.00 S.F.	BANK
LOT 5	76,230.00 S.F.	ECKERD
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- PEDESTRIAN CROSSING.

LEGEND

- BOUNDARY LINE
- PROPOSED CURB
- FUTURE CURE & GUTTER
- EXISTING CURB & GUTTER

PROJECT NUMBER: 1002633
 APPLICATION NUMBER: 03-01716

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN APPROVAL:

Michael Holton 10-6-03
 SOLID WASTE MANAGEMENT DATE

Roger A. Shuman 12/1/03
 TRANSPORTATION ENGINEERING, TRANSPORTATION DIVISION DATE

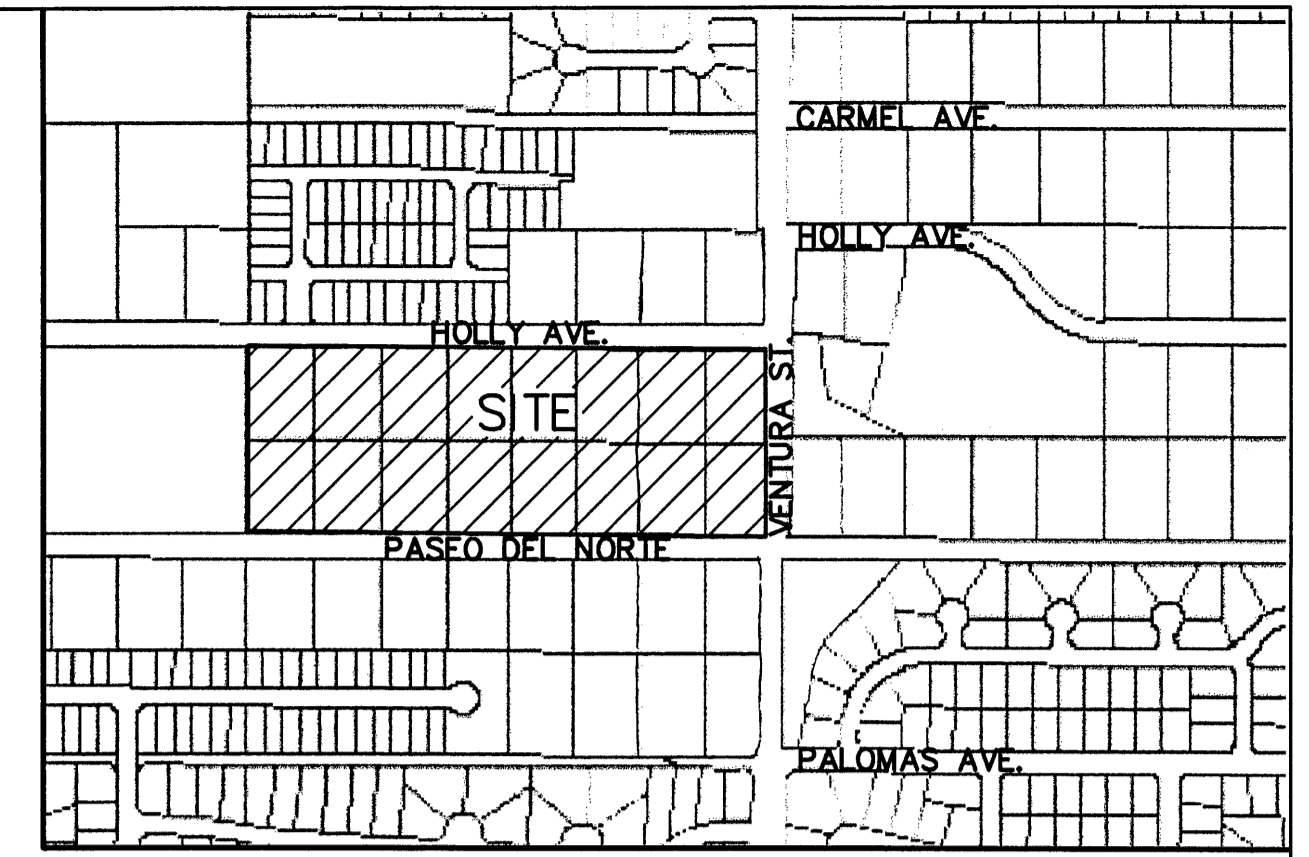
Christina Sandoval 10/15/03
 UTILITIES DEVELOPMENT DATE

Brad D. Bihl 12/15/03
 PARKS AND RECREATION DEPARTMENT DATE

Sheran Malcom 10/15/03
 CITY ENGINEER, ENGINEERING DIVISION DATE

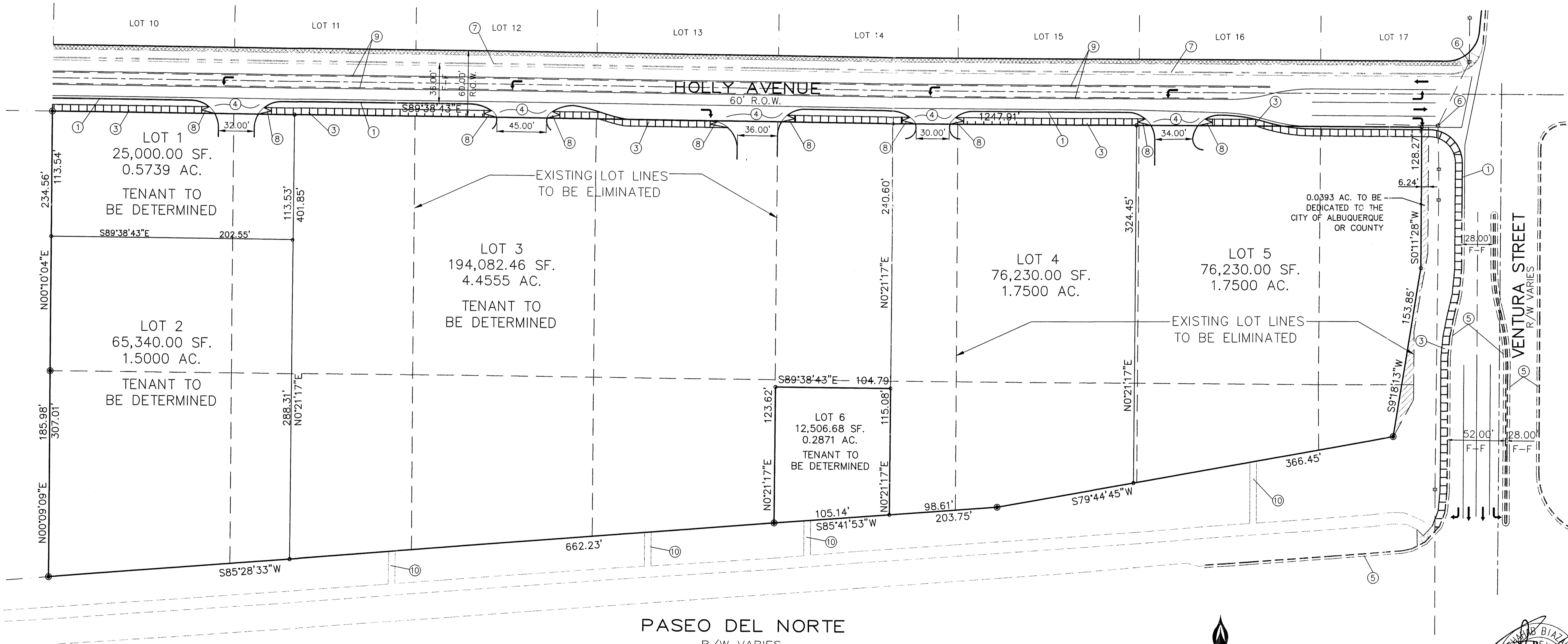
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

COUNTY PLANNING DIVISION

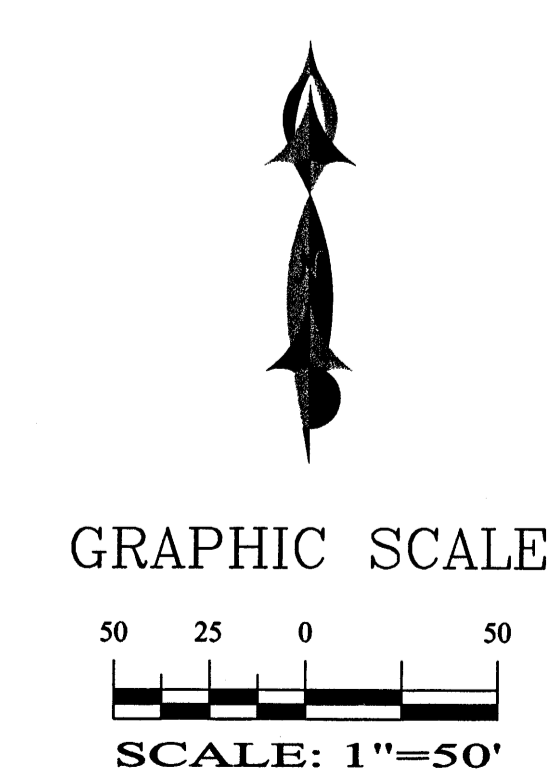


VICINITY MAP: C-20-Z

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SHAHAB BIAZAR
 P.E. #13479

ADVANCED ENGINEERING and CONSULTING, LLC

10205 SNOWFLAKE CT., NW
 ALBUQUERQUE, NEW MEXICO 87114
 (505)899-5570

VENTURA PLACE
AMENDED SITE PLAN FOR SUBDIVISION

DRAWING: 200250-AMENDED-ST.DWG	DRAWN BY: SBB	DATE: 08-05-03	SHEET # 2.1 OF 7
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LAST REVISION: 08-05-03