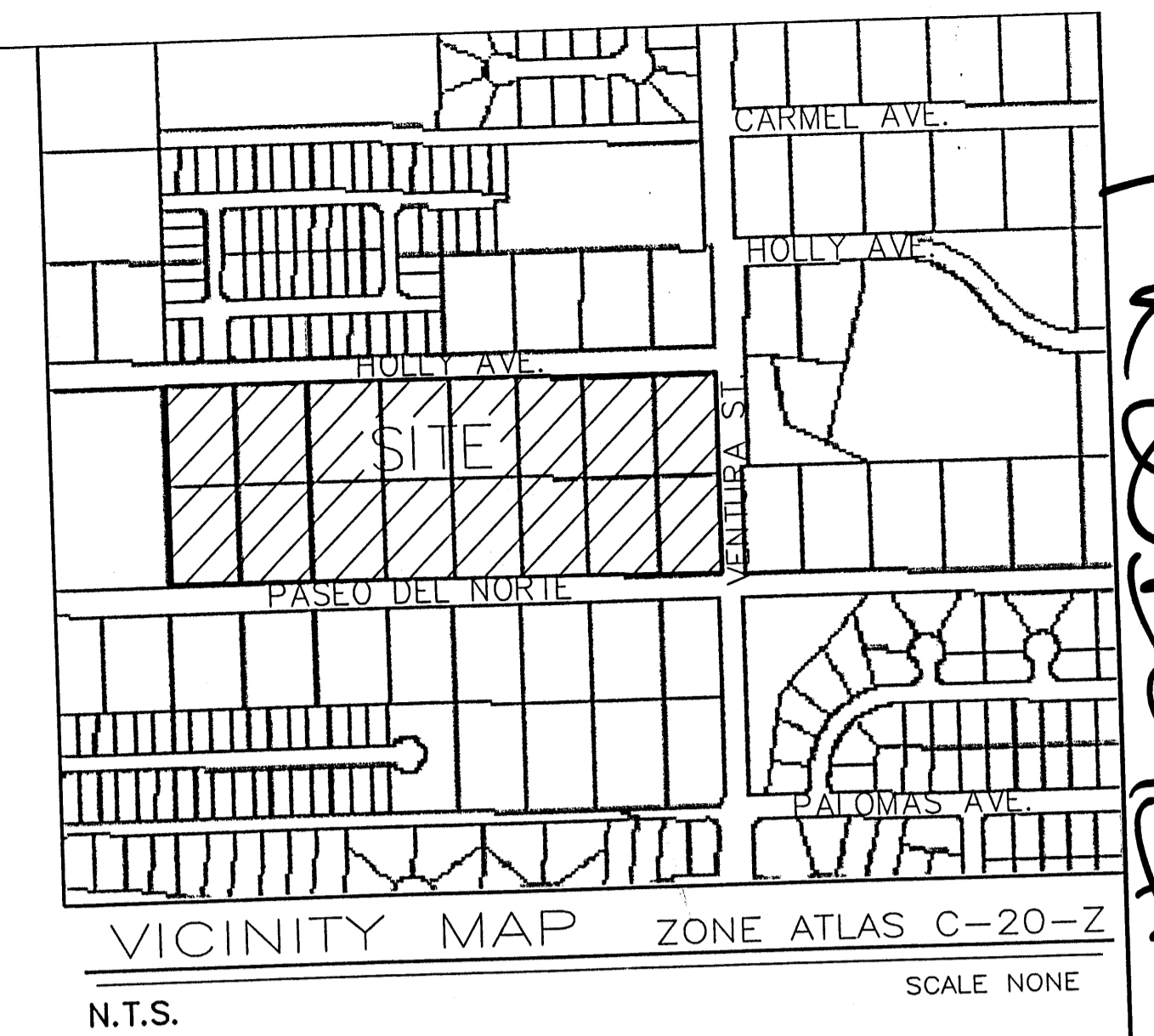


VENTURA PLACE AT PASEO AND VENTURA

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PROJECT# 1002633

ADVANCED
ENGINEERING
and CONSULTING, LLC

10205 SNOWLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

SHEET 1 OF 7

SITE DATA

PROPOSED USAGE: RETAIL/RESTAURANT/OFFICE/DAYCARE/BANK
 LOT AREA: 449,389.14 S.F. (10.3165 ACRE)

LOT NO.	AREA	USAGE
LOT 1	26,299.32 S.F.	OFFICE (TENANT TO BE DETERMINED)
LOT 2	57,187.06 S.F.	DAYCARE (TENANT TO BE DETERMINED)
LOT 3	181,685.26 S.F.	RETAIL/RESTAURANT (TENANT TO BE DETERMINED)
LOT 4	76,230.00 S.F.	BANK
LOT 5	76,230.00 S.F.	ECKERD
LOT 6	12,506.68 S.F.	RETAIL/RESTAURANT (TENANT TO BE DETERMINED)

- NOTES:
- STANDARD CURB PER COA STD. DWG. #2415.
 - NEW 4' SIDEWALK PER COA STD. DWG. #2430.
 - NEW 6' SIDEWALK PER COA STD. DWG. #2430.
 - NEW DRIVE WAY ENTRANCE PER COA STD. DWG. #2426.
 - EXISTING CURB AND GUTTER.
 - EXISTING LIGHT POLE.
 - FUTURE CURB AND GUTTER.
 - NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
 - CONTINUES LEFT TURN LANE, THE STRIPING TO BE COORDINATED WITH TRANSPORTATION DEPT.
 - PEDESTRIAN CROSSING.

PROJECT NUMBER: 10 02633
 APPLICATION NUMBER: 03-01716

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN APPROVAL:

Michael Holton 10-6-03
 SOLID WASTE MANAGEMENT DATE

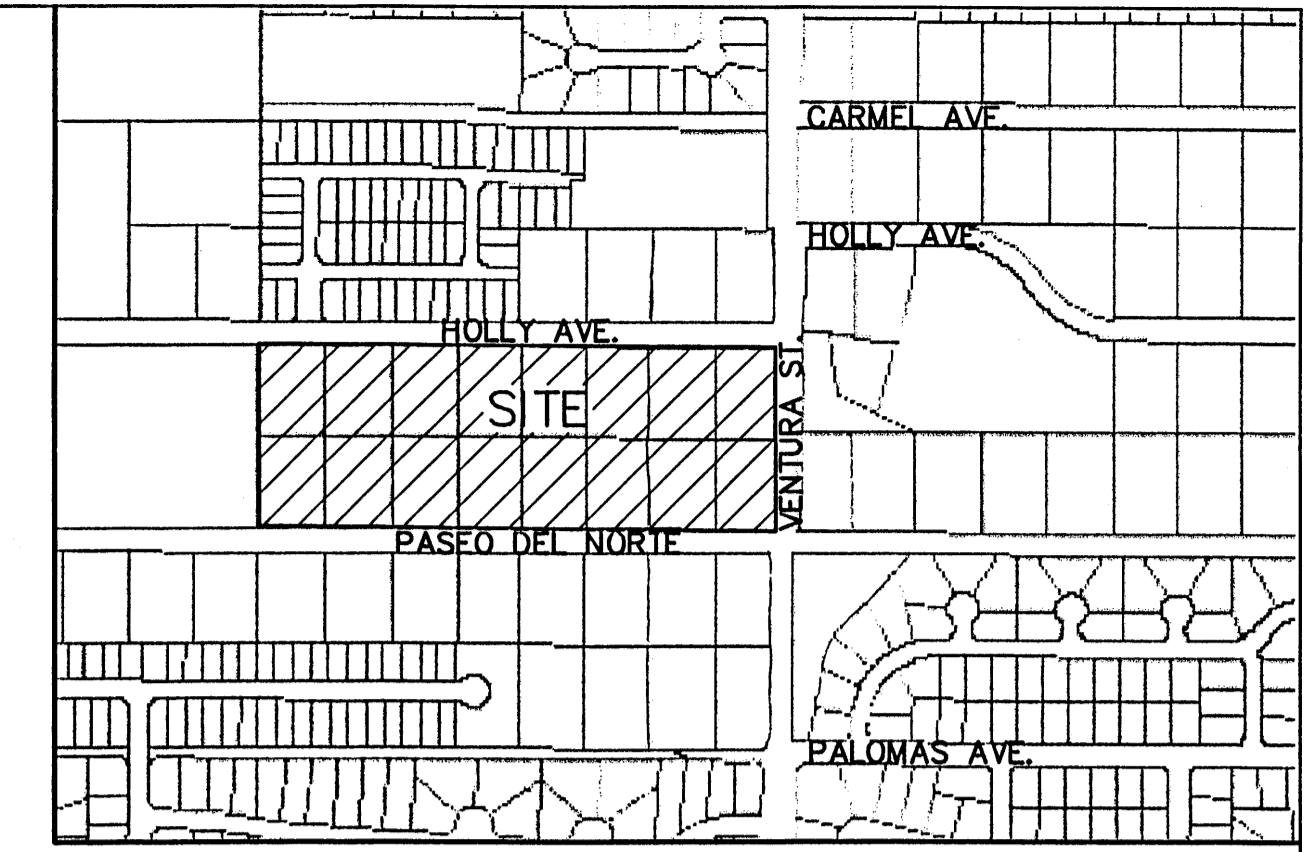
Roger A. Shean 12/1/03
 ENGINEERING, TRANSPORTATION DIVISION DATE

Christina Sandoval 10/15/03
 PARKS AND RECREATION DEPARTMENT DATE

Brad D. Bihn 12/15/03
 CITY ENGINEER, ENGINEERING DIVISION DATE

Sheran Malton 10/15/03
 CITY PLANNER, ALBUQUERQUE COUNTY PLANNING DIVISION DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

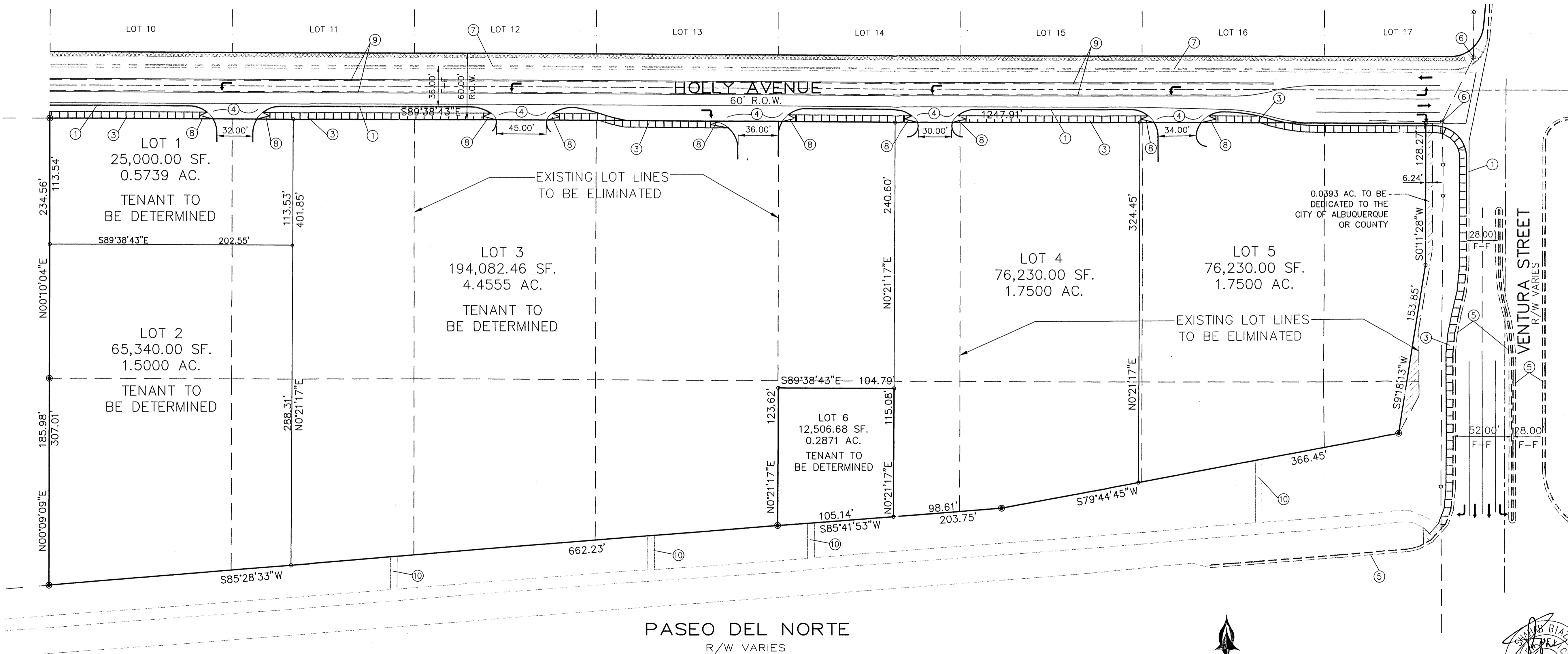


VICINITY MAP: C-20-Z

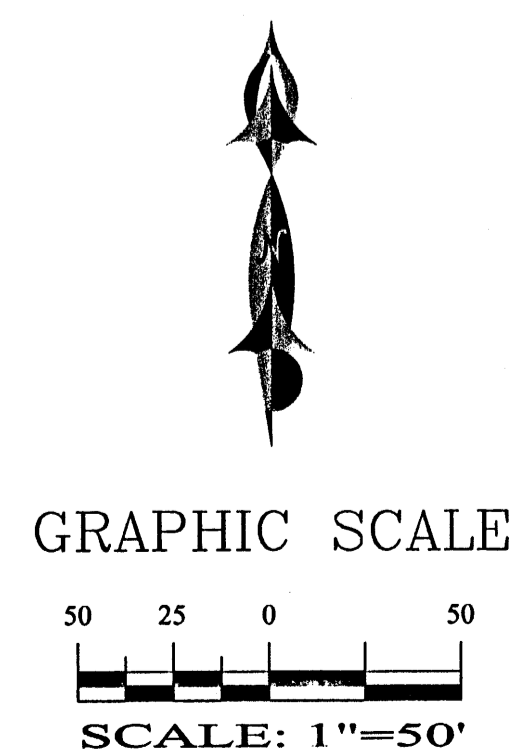
LEGAL DESCRIPTION:
 LOTS 9-15 AND REMAINING PORTIONS OF LOTS 16-24, BLOCK 10, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES. CONTAINING 449,389.14 S.F. (10.3165 ACRE) ZONING SU-1 MIXED USED.

LEGEND

	BOUNDARY LINE
	PROPOSED CURB
	FUTURE CURB & GUTTER
	EXISTING CURB & GUTTER



FOR INFORMATION ONLY:
 EXISTING HOLLY AVENUE, ON THE WEST SIDE OF VENTURA STREET, MAY BE RE-ALIGNED TO THE NORTH WITH EXISTING HOLLY AVENUE, ON THE EAST SIDE OF VENTURA STREET, IN THE FUTURE. IN THE EVENT THAT HOLLY AVENUE IS RE-ALIGNED, THE CURRENT ALIGNMENT/ACCESS OF HOLLY AVENUE AT VENTURA STREET WILL REMAIN AS A SITE DRIVE.



SHAHAB BIAZAR
 P.E. #13479

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VENTURA PLACE AMENDED SITE PLAN FOR SUBDIVISION

DRAWING: 200250-AMENDED-ST.DWG	DRAWN BY: SBB	DATE: 08-05-03	SHEET #: 2.1 OF 7
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SITE PLAN FOR SUBDIVISION NOTES

1. PROPOSED DEVELOPMENT

PLAN MUST CONFORM TO THE REQUIREMENTS OF THE LA CUEVA SECTOR DEVELOPMENT PLAN, AND THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE.

2. PERMISSIVE USES

PERMISSIVE USES AS INDICATED IN LA CUEVA SECTOR DEVELOPMENT PLAN SECTION 5.4.5 SU-2/MIXED USE

3. HEIGHT

THE HEIGHT REQUIREMENTS OF THE O-1 ZONE APPLY EXCEPT THAT THE MAXIMUM BUILDING HEIGHT IS 36 FEET.

4. SETBACKS

MINIMUM SETBACKS ARE AS DEFINED IN THE O-1 ZONE. NO PARKING IS ALLOWED ALONG HOLLY AVENUE. MAXIMUM SETBACK FROM HOLLY SHALL NOT EXCEED 30 FEET.

5. OFF-STREET PARKING

INTENT: PROVIDE SAFE VEHICULAR PARKING WITH ATTENTION TO FUNCTIONAL AND AESTHETIC CONCERNS. ALL PARKING SHOULD BE JUSTIFIED. OVERSIZED PARKING LOTS OR FACILITIES SHOULD BE DISCOURAGED.

IN ADDITION TO THE OFF-STREET PARKING REGULATIONS IN THE CITY ZONING CODE, THE FOLLOWING REGULATIONS MUST BE MET.

A: THE NUMBER OF REQUIRED PARKING SPACES CAN BE REDUCED 10% WHERE THE SITE IS ADJACENT TO A BUS STOP AND DIRECT PEDESTRIAN ACCESS IS PROVIDED TO THE BUS STOP.

B: PARKING SPACES SHALL BE DISTRIBUTED ON THE SITE TO MINIMIZE VISUAL IMPACT. PARKING AT THE REAR OF THE SITE IS ENCOURAGED. WHEN PARKING IS LOCATED AT THE FRONT OR SIDES OF THE SITE, PARKING AREAS SHALL BE PLACED ON AT LEAST TWO SIDES OF A BUILDING. PARKING AREAS MUST BE BROKEN UP INTO MODULES SEPARATED BY LANDSCAPING AND OTHER FEATURES.

C: THE MINIMUM REQUIRED PARKING SPACES PLUS TEN PERCENT IS THE MAXIMUM PARKING ALLOWED. A VARIANCE TO THE STANDARD MUST BE APPROVED TO INCREASE THE ALLOWED PARKING.

D: PARKING AREAS SHOULD BE DESIGNED TO MINIMIZE LOCAL TEMPERATURE GAIN AND REDUCE AIR POLLUTION. POTENTIAL METHODS OF ACCOMPLISHING THIS INCLUDE LIGHT COLORED MATERIALS IN PARKING LOT SURFACES AND TREES OR OTHER SHADING DEVICES TO SHADE THE SURFACE AREA OF THE LOT.

E: PARKING SHOULD BE PLACED TO ENCOURAGE AND FACILITATE PARKING ONCE AND WALKING TO MULTIPLE DESTINATIONS.

F: SHARD PARKING IN MIXED-USE AREAS IS ENCOURAGED AND TOTAL SPACES MAY BE REDUCED WHEN THE OWNER DEMONSTRATES THAT THE MIX OF USES HAS STAGGERED PARKING NEEDS.

6. SIGNAGE

INTENT: ESTABLISH CONTINUITY AND CONSISTENCY IN THE DESIGN AND LOCATION OF PUBLIC SIGNAGE, SO THAT THE AESTHETIC APPEARANCE IS IMPROVED.

IN ADDITION TO THE REGULATIONS OF THE CITY ZONING CODE, THE FOLLOWING REGULATIONS MUST BE MET.

A: ALL SIGNAGE SHALL BE DESIGNED TO BE CONSISTENT WITH AND COMPLEMENT THE MATERIALS, COLOR AND ARCHITECTURAL STYLE OF THE BUILDING OR SITE.

B: WALL MOUNTED SIGNS SHALL NOT EXTEND ABOVE THE ROOF LINE.

C: NO WALL MOUNTED SIGNS ARE ALLOWED OF FACADES THAT FACE ABUTTING RESIDENTIAL ZONES.

D: WHERE FREESTANDING SIGNS ARE ALLOWED, ALL FREESTANDING SIGNS SHALL BE MONUMENT SIGNS. HEIGHT OF MONUMENT SIGNS IS LIMITED TO EIGHT (8) FEET WITH A MAXIMUM FACE AREA OF 50 SQUARE FEET.

E: NO OFF-PREMISES SIGNS ARE ALLOWED.

F: NO SIGNAGE IS ALLOWED THAT USES FLASHING, OSCILLATING, REVOLVING, BLINKING OR AUDIBLE DEVICES. NO BANNERS, PENNANTS, RIBBONS, OR STREAMERS ARE ALLOWED EXCEPT FOR THEMATIC SPECIAL EVENTS AND WITH PRIOR APPROVAL BY THE PLANNING DIRECTOR.

G: SIGNAGE MAY BE ILLUMINATED IN ACCORDANCE WITH THE LIGHTING REGULATION REGULATIONS IN SECTION 14 OF THE CITY ZONING CODE.

H: THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNS SHALL BE TWO FEET.

7. ARCHITECTURAL CHARACTER, NON-RESIDENTIAL BUILDINGS

INTENT: REDUCE THE APPARENT SCALE AND UNIFORMITY OF FACADES TO MAKE LARGE BUILDINGS SEEM MORE INVITING.

A: MULTIPLE BUILDINGS ON THE SAME SITE SHALL BE DESIGNED TO CREATED A COHESIVE VISUAL RELATIONSHIP BETWEEN BUILDINGS.

B: EXTERIOR BUILDING DESIGN AND DETAILS ON ALL ELEVATIONS SHALL BE COORDINATED WITH REGARD TO COLOR, TYPES OF MATERIALS, NUMBER OF MATERIALS, AND ARCHITECTURAL FORM TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN.

CONTINUING 7. ARCHITECTURAL CHARACTER, NON-RESIDENTIAL BUILDINGS

C: BUILDING MASSES SHALL BE BROKEN UP INTO SMALLER SCALE COMPONENTS TO REDUCE PERCEIVED HEIGHT AND BULK AND TO PROVIDE VISUAL INTEREST CONSISTENT WITH THE COMMUNITY'S IDENTITY, CHARACTER, AND SCALE.

D: FACADES GREATER THAN 100 FEET IN LENGTH MUST INCORPORATE RECESSIONS OR PROJECTIONS ALONG AT LEAST 20% OF THE LENGTH OF THE FACADE. RECESSION MUST BE A MINIMUM OF DEPTH OF THREE FEET AND MINIMUM WIDTH OF 10 FEET.

E: NO INDIVIDUAL BUILDING SHALL BE GREATER THAN 50,000 SQUARE FEET IN SIZE.

F: SMALLER RETAIL STORES THAT ARE PART OF A LARGE RETAIL BUILDING SHALL HAVE DISPLAY WINDOWS. SUCH SMALLER STORES ARE ENCOURAGED. OUTSIDE ENTRANCES TO THESE SMALLER STORES ARE ENCOURAGED.

G: EACH COMMERCIAL OR OFFICE BUILDING SHALL HAVE A CLEARLY DEFINED, HIGHLY VISIBLE CUSTOMER ENTRANCE WITH FEATURES SUCH AS CANOPIES OR PORTICOS, ARCADES, ARCHES, WING WALLS AND/OR INTEGRAL PLANTERS.

H: NO GENERIC PROTOTYPICAL ARCHITECTURE IS ALLOWED. DESIGN SHALL BE CONTEXTUAL TO IT SURROUNDINGS.

8. BUILDING MATERIALS AND COLORS

INTENT: FOSTER COMMUNITY IDENTITY THROUGH THE USE OF COMPATIBLE BUILDING MATERIALS AND COLORS.

A: PREDOMINANT EXTERIOR BUILDING MATERIALS MUST BE OF HIGH QUALITY. THESE MATERIALS INCLUDE TINTED/TEXTURED CONCRETE MASONRY UNITS OR STUCCO. SMOOTH-FACED CONCRETE BLOCK, TILT-UP CONCRETE PANELS OR PRE-FABRICATED STEEL PANELS ARE PROHIBITED AS THE PREDOMINANT EXTERIOR BUILDING MATERIAL.

B: FACADE COLORS MUST BE OF LOW REFLECTING, SUBTLE, NEUTRAL OR EARTH TONE COLORS. THE USE OF HIGH INTENSITY COLORS, METALLIC COLORS, BLACK OR FLUORESCENT COLORS IS PROHIBITED.

C: DARK-COLORED ROOFS CONTRIBUTE TO HIGHER HVAC COST AND SHOULD BE PROHIBITED. ROOF COLORS MUST BE OF LOW REFLECTING, SUBTLE, NEUTRAL OR EARTH TONE COLORS. PUEBLO STYLE FLAT ROOFS OR PITCHED ROOFS WITH ROOF TILES ARE PREFERRED.

D: TRIM MATERIALS AND COLORS MUST BLEND WITH THE PREDOMINANT BUILDING MATERIALS. THE USE OF HIGH INTENSITY COLORS, METALLIC COLORS OR FLUORESCENT COLORS IS PROHIBITED. NO PLASTIC, VINYL, OR BACK-LIT PANELS, FASCIAS OR CANOPIES ARE ALLOWED.

E: ALL CANOPIES AND OUTBUILDINGS SHALL BE CONTEXTUAL AND SHALL BE OF THE SAME MATERIALS USED IN THE GENERAL BUILDING DESIGN.

F: NO BACKLIT AND/OR SHINY AWNING MATERIALS SHALL BE USED.

9. ROOF EQUIPMENT SCREENS

MECHANICAL EQUIPMENT ON ROOFS IS TO BE SCREENED FROM PUBLIC VIEW AS MUCH AS PRACTICAL. ROOF EQUIPMENT SCREENS ARE TO BE AT LEAST AS HIGH AS THE HIGHEST PART OF THE EQUIPMENT. ROOF SCREENS ARE TO BE ARCHITECTURALLY COMPATIBLE WITH THE BUILDING.

10. LIGHTING

INTENT: LIGHTING DESIGN SHOULD BE CONSISTENT WITH THE NORTH ALBUQUERQUE ACRES AND SANDIA HEIGHTS LIGHT POLLUTION ORDINANCE AS A TRANSITION FROM AN URBAN TO A RURAL ENVIRONMENT.

A: SEARCHLIGHTS, SPOTLIGHTS OR FLOODLIGHTS ARE PROHIBITED.

B: ALL OUTDOOR LIGHT FIXTURES SHALL BE FULLY SHIELDED AND EQUIPPED WITH AUTOMATIC TIMING DEVICES.

C: ALL OUTDOOR LIGHT FIXTURES WITHIN COMMERCIAL OR OFFICE ZONES SHALL REMAIN OFF BETWEEN 11:00 PM AND SUNRISE EXCEPT FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, DRIVEWAYS, EQUIPMENT YARDS AND PARKING LOTS.

D: ALL OUTDOOR LIGHT FIXTURES USED FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, DRIVEWAYS, EQUIPMENT YARDS AND PARKING LOTS SHALL BE DESIGNED AND OPERATED AS CUTOFF OR SEMI-CUTOFF FIXTURES AND SHALL BE EQUIPPED WITH LIGHT AND MOTION SENSORS AND/OR AUTOMATIC TIMING DEVICES.

E: ALL OUTDOOR LIGHT FIXTURES USED FOR DECORATIVE EFFECTS SHALL BE SHIELDED AND FOCUSED TO MINIMIZE LIGHT POLLUTION. SUCH OUTDOOR LIGHTING FIXTURES SHALL BE TURNED OFF BETWEEN 11:00 PM AND SUNRISE.

F: ALL OUTDOOR LIGHTING FIXTURES MOUNTED ON BUILDINGS OR STRUCTURES SHALL BE MOUNTED AT A HEIGHT NO MORE THAN 16 FEET ABOVE FINISHED GRADE.

G: ALL OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND OPERATED SO THAT THE AREA 10 FEET BEYOND THE PROPERTY LINE OF THE PREMISES RECEIVES NO MORE THAN 0.25 (ONE-QUARTER) OF A FOOT CANDLE OF LIGHT FROM THE PREMISES LIGHTING SYSTEM. GAS STATION CANOPY LIGHTING SHALL BE SHIELDED OR RECESSED TO AVOID IMPACT ON SURROUNDING RESIDENCES.

11. LOADING DOCKS, TRASH COLLECTION, AND SIMILAR FACILITIES INTENT:

IMPROVE OVERALL COMMUNITY DESIGN BY MINIMIZING NEGATIVE VISUAL IMPACTS.

A: LOADING DOCKS, TRASH RECEPTACLES, UTILITY STRUCTURES AND SIMILAR FACILITIES SHALL BE INCORPORATED INTO THE OVERALL DESIGN OF THE BUILDING AND LANDSCAPING SO THAT THE VISUAL AND ACOUSTIC IMPACTS OF THESE FUNCTIONS ARE FULLY CONTAINED AND OUT OF VIEW FROM ADJACENT PROPERTIES AN PUBLIC STREETS. SCREENING MATERIALS FOR THESE AREAS SHALL BE THE SAME AS THE PRINCIPAL MATERIALS OF THE BUILDING AND LANDSCAPE.

B: ROOF CANOPIES SHALL BE PROVIDED OVER ALL LOADING DOCKS. ROOF CANOPIES SHALL BE ARCHITECTURALLY INTEGRATED WITH THE BUILDING.

12. PERIMETER WALLS

INTENT: ADD VISUAL INTEREST AND CHARACTER TO THE STREETScape AND INCREASE THE OVERALL APPEAL OF THE DEVELOPMENT.

A: WALLS SHALL BE DESIGNED TO COMPLEMENT THE ARCHITECTURAL CHARACTER OF THE SUBDIVISION OR NEIGHBORING ARCHITECTURE BY INCORPORATING THE ARCHITECTURAL FEATURES AND MOTIFS USED ON ADJACENT HOMES OR BUILDINGS.

B: MATERIALS SUCH AS STUCCO OVER CONCRETE MASONRY UNITS, CURVED INTERLOCK BLOCK, SPLIT FACE BLOCK, SLUMP BLOCK, STABILIZED ADOBE, BRICK, TUBULAR WROUGHT IRON, SEE-THROUGH MASONRY BLOCKS, LANDSCAPING OR A COMBINATION OF THOSE MATERIALS SHALL BE USED FOR PERIMETER WALLS. WOOD AND CHAIN LINK ARE NOT ALLOWED. CONCERTINA WIRE IS NOT ALLOWED.

C: LONG EXPANSES OF UNBROKEN WALLS ARE PROHIBITED. WALLS SHALL BE INDENTED, OFFSET OR IN SERPENTINE FORM TO AVOID "TUNNEL" EFFECT, AS SHOWN IN FIGURE 9.

D: THE ADOPTED CITY OF ALBUQUERQUE WALL DESIGN GUIDELINES SHALL BE ADOPTED AS REGULATIONS.

13. VIEWS

INTENT: ENSURE THAT DEVELOPMENT RESPECTS THE VIEWS OF THE SANDIA MOUNTAINS TO THE EAST AND THE MESA TO THE WEST. THIS INCLUDES PRESERVING VIEWS FROM OUT OF THE SITE AND SITE DESIGN TO TAKE ADVANTAGE OF VIEWS FROM THE SITE.

A: SITE DEVELOPMENT PLANS SHALL INCLUDE A VIEW ANALYSIS THAT SHALL IDENTIFY VIEWS INTO AND OUT OF THE SITE AND INDICATE HOW THESE VIEWS WILL BE PROTECTED WITHIN THE SITE.

B: ALL UTILITIES SHALL BE PLACED UNDERGROUND.

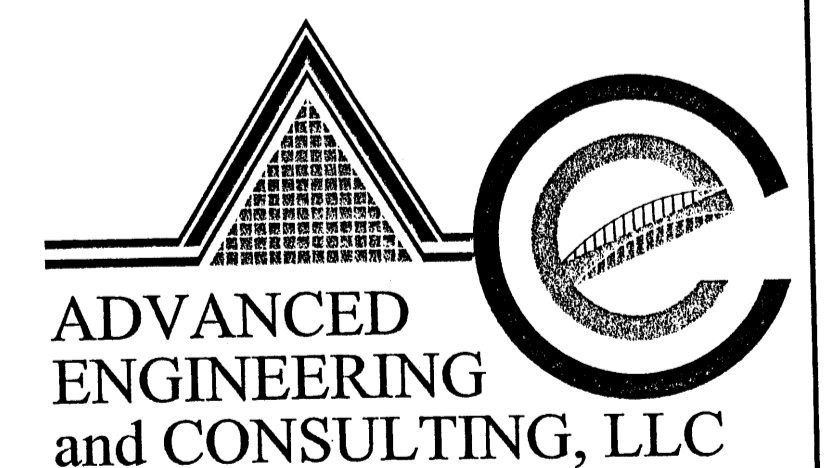
C: ROOFTOP MECHANICAL AND ELECTRICAL EQUIPMENT, MICROWAVE ANTENNAE, OR SIMILAR ROOFTOP HARDWARE SHALL BE SCREENED FROM PUBLIC VIEW. THE BUILDING ELEMENTS TO SCREEN SUCH EQUIPMENT SHALL BE DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE. ALL HVAC EQUIPMENT SHALL BE LESS THAN OR EQUAL TO THE TOP OF ANY PARAPET OR SCREEN WALL. THE PARAPET OR SCREEN WALL SHALL BE ARCHITECTURALLY INTEGRATED INTO THE GENERAL BUILDING DESIGN. WHERE A PUBLIC ROAD OR OTHER PUBLIC AREA IS ELEVATED, ROOFTOP EQUIPMENT VISIBLE FROM THE ROAD MUST BE COVERED.

14. LANDSCAPING

INTENT: PROVIDE A PLEASANT MICROCLIMATE FOR PEDESTRIANS AND INCREASE THE AESTHETIC APPEAL OF A DEVELOPMENT.

A: THE STANDARDS OF THE STREET TREE ORDINANCE AND LANDSCAPING PROVISIONS OF THE CITY ZONING CODE APPLY EXCEPT THAT

- TREES PLACED ALONG THE PRIMARY PEDESTRIAN WALKWAY MUST BE NO MORE THAN 25 FEET APART.
- TREES MAY BE CLUSTERED AT PLAZA AREAS OR OTHER PUBLIC GATHERING PLACES.



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ALBUQUERQUE, NEW MEXICO 87114
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VENTURA PLACE SITE PLAN FOR SUBDIVISION NOTES			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200250-ST.DWG	SBB	04-30-03	2.2 OF 7

LAST REVISION: 03-06-03

SITE DATA

PROPOSED USAGE: RETAIL/RESTAURANT/OFFICE/DAYCARE/BANK
 LOT AREA: 449,389.14 S.F. (10.3165 ACRE)
 BUILDING AREA: 98,432.00 S.F.

PARKING CALCULATIONS:

PARKING REQUIRED:
 OFFICE AREA: 5,000 GSF / 200 GSF 25 SPACES
 DAYCARE AREA: 8,500.00 GSF / 500 GSF +2 19 SPACES
 RETAIL BUILDING/BANK: 75,821.00 GSF / 200 GSF 379 SPACES
 RESTAURANT: 240 ± SITTING / 4 (9,111 SF) 60 SPACES
 TOTAL PARKING: 483 SPACES

PARKING REDUCTION:
 10% WITHIN 300' OF TRANSIT SYSTEM (ROUTE #91) 48 SPACES
 5% SITE GREATER THAN 5 ACRES 24 SPACES
 10% MIXED USES/SHARED PARKING 48 SPACES
 TOTAL PARKING REDUCTION: 120 SPACES

TOTAL PARKING REQUIRED: 363 SPACES
 TOTAL PARKING PROVIDED: 441 SPACES

HC PARKING REQUIRED: 12 SPACES (2 VAN)
 HC PARKING PROVIDED: 16 SPACES (4 VAN)

BICYCLE SPACES REQUIRED: 18 SPACES
 BICYCLE SPACES PROVIDED: 20 SPACES

GENERAL NOTES:

- SITE LIGHTING WILL CONSIST OF BUILDING-MOUNTED OR STEEL POLE SEE BELOW FOR SITE LAYOUT AND TYPE.
- THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN. THE MONUMENT SIGN SIZE SHALL NOT EXCEED 50 SQUARE FEET AND THE HEIGHT SHALL NOT EXCEED 8.00' (SEE ELEVATION SHEET 7.7 FOR DETAIL).
- THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
- CURRENT ZONING CURRENT IS SU-1 MIXED USED.
- WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
- BUILDINGS:
 BUILDING HEIGHT: BUILDING STRUCTURE SHALL NOT EXCEED 36 FEET IN HEIGHT.
 BUILDING TYPES AND COLORS: SEE ELEVATION PLANS, SHEETS 7.1 THRU 7.8.
- THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- SITE PLAN FOR BUILDING PERMIT SHALL REQUIRE TO MEET THE SIGNAGE REQUIREMENTS OF C-1 ZONING SECTION 16-14-2-16-A-11 AND NOT NECESSARILY AS THOSE SHOWN ON THE SITE PLAN FOR BUILDING PERMIT.
- MAINTENANCE OF PUBLIC OPEN SPACE AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

NOTES:

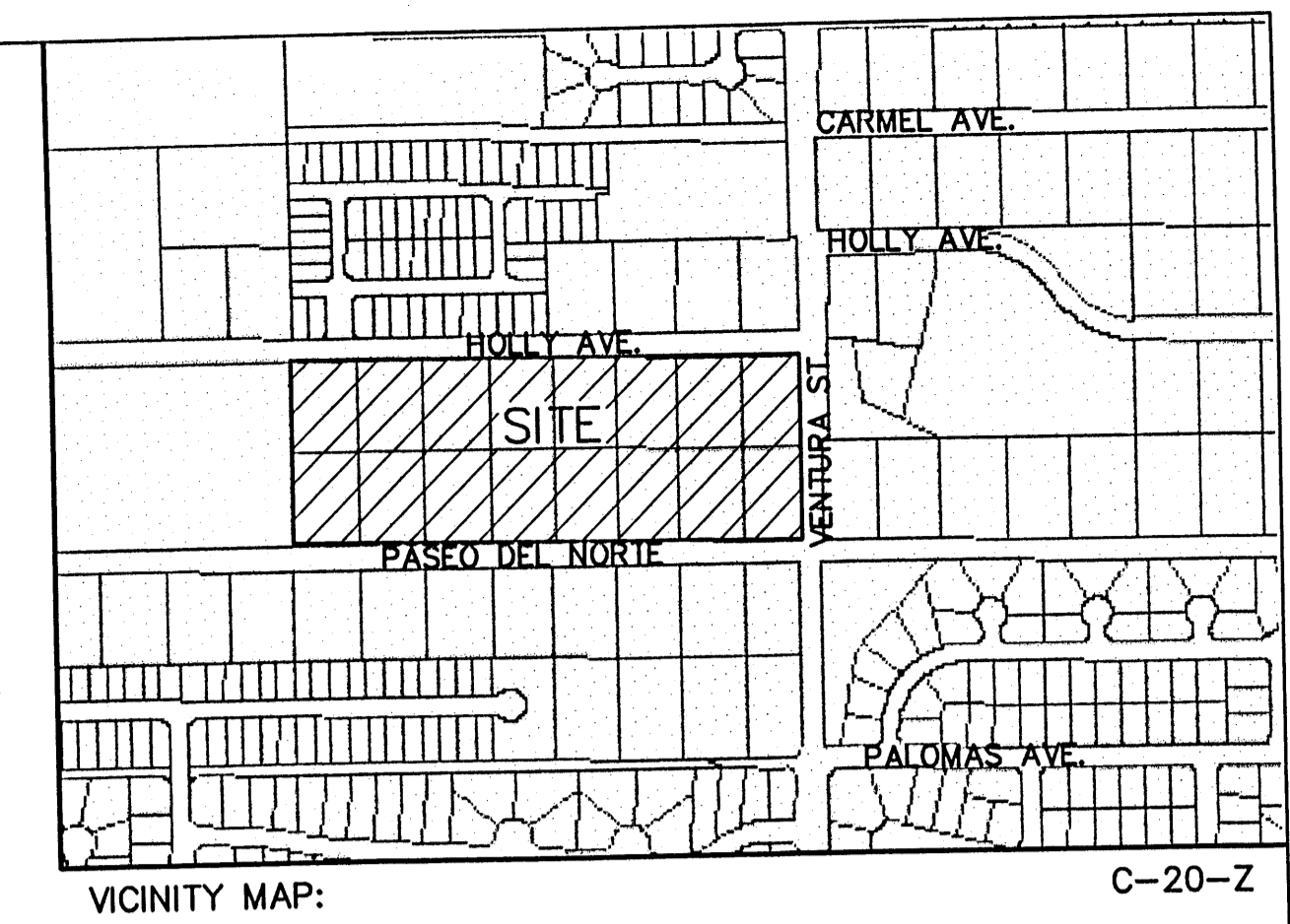
- 6" CONCRETE CURB PER COA STD. DWG. #2415.
- STANDARD CURB PER COA STD. DWG. #2415.
- ACCESSIBLE SIDEWALK RAMP.
- NEW ASPHALT PAVING AREA.
- 6" WIDE TEXTURED CONCRETE PEDESTRIAN CROSSING.
- CONCRETE WALK.
- 6" WIDE ASPHALT PEDESTRIAN CROSSING
- NEW 4" SIDEWALK PER COA STD. DWG. #2430.
- NEW 6" SIDEWALK PER COA STD. DWG. #2430.
- NEW DRIVE WAY ENTRANCE PER COA STD. DWG. #2426.
- 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS.
- EXISTING CURB AND GUTTER.
- EXISTING POWER POLE.
- FUTURE CURB AND GUTTER.
- NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
- 9' WIDE X 20' DEEP PARKING SPACES
- 9' WIDE X 18' DEEP PARKING SPACES
- HANDICAP SINE PER COA STANDARDS.
- BICYCLE RACK
- TAN SPLIT FACE BLOCK WALL (HEIGHT NOT TO EXCEED 8').
- MONUMENT SIGN, SEE ELEVATION SHEET 7.7 FOR DETAIL.
- MONUMENT SIGN, 4' HIGH. NO ILLUMINATION.
- MONUMENT SIGN, REFER TO ECKERD'S SUBMITTAL.
- PUBLIC ACTIVITIES PAVILION, SEE ELEVATION SHEET 7.7 FOR DETAIL.

PROJECT NUMBER: 1002633
 APPLICATION NUMBER: 03-01718

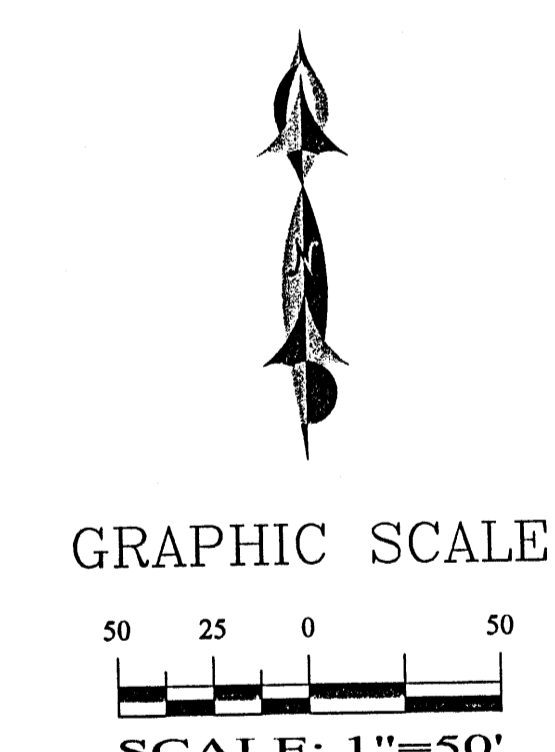
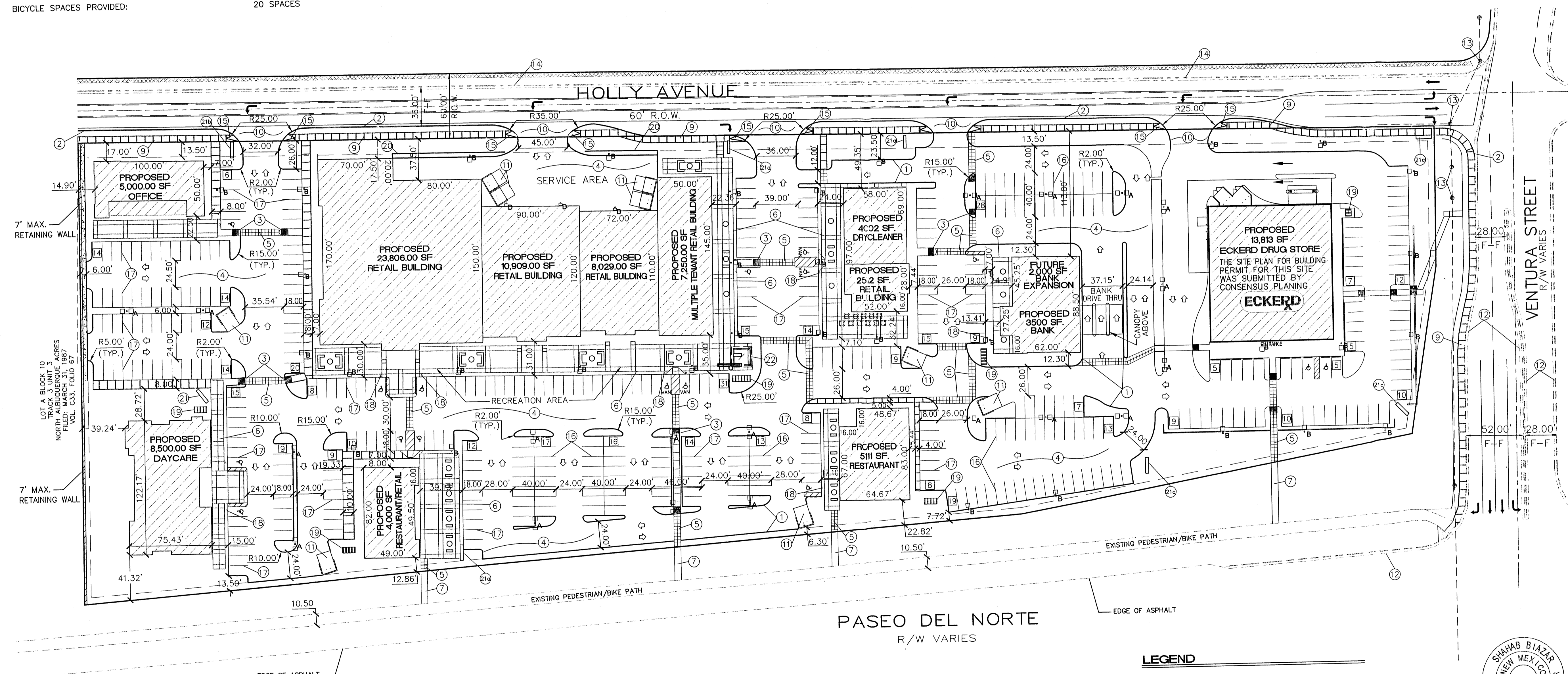
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN APPROVAL:

Michael Holten 10/15/03 DATE
 SOLID WASTE MANAGEMENT
Dr. David S. ... 2/6/02 DATE
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
Christine S. ... 12/05/03 DATE
 UTILITIES DEVELOPMENT
Bradley L. Byle 10/15/03 DATE
 PARKS AND RECREATION DEPARTMENT
 CITY ENGINEER, ENGINEERING DIVISION / AMAFCA
 APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.
Sherrin Watson 10/15/09 DATE
 CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION



LEGAL DESCRIPTION:
 LOTS 9-15 AND REMAINING PORTIONS OF LOTS 16-24, BLOCK 10, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES, CONTAINING 449,389.14 S.F. (10.31655 ACRE). ZONING SU-1 MIXED USED.



LEGEND

- BOUNDARY LINE
- ▭ BUILDING
- - - PROPOSED CURB
- - - FUTURE CURB & GUTTER
- - - EXISTING CURB & GUTTER
- NUMBER OF PARKING SPACES
- ☐ FIXTURE SITTING WITH PLANTER FOR DECIDUOUS TREE
- ▬ SIDEWALK
- TREE LOCATION

SITE LIGHTING SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp
☐	A	19	AS2 250M SR4W	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR4W REFLECTOR.	ONE 250-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION, W/FULL CUT OFF
☐	B	34	AS2 250M SR4W	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR4W REFLECTOR.	ONE 250-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION, W/FULL CUT OFF
☐	C	3	TWA 70M	WALLPACK W/REGULAR REFLECTOR, PRISMATIC LENS.	ONE 70-WATT CLEAR ED-17 METAL HALIDE, TILTED 22-DEG, W/FULL CUT OFF

LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30' WHEN MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE AND AT NO TIME SHALL THE HEIGHT OF A LIGHT POLE EXCEED 16' WITHIN 100' OF RESIDENTIAL ZONE.

FOR INFORMATION ONLY:
 EXISTING HOLLY AVENUE, ON THE WEST SIDE OF VENTURA STREET, MAY BE RE-ALIGNED TO THE NORTH WITH EXISTING HOLLY AVENUE, ON THE EAST SIDE OF VENTURA STREET, IN THE FUTURE. IN THE EVENT THAT HOLLY AVENUE IS RE-ALIGNED, THE CURRENT ALIGNMENT/ACCESS OF HOLLY AVENUE AT VENTURA STREET WILL REMAIN AS A SITE DRIVE.

SHAHAB BIAZAR
 NEW MEXICO ENGINEER
 13479
 REGISTERED PROFESSIONAL ENGINEER





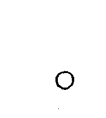

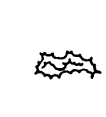










ADVANCED ENGINEERING and CONSULTING, LLC
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 ALBUQUERQUE, NEW MEXICO 87114
 (505)899-5570

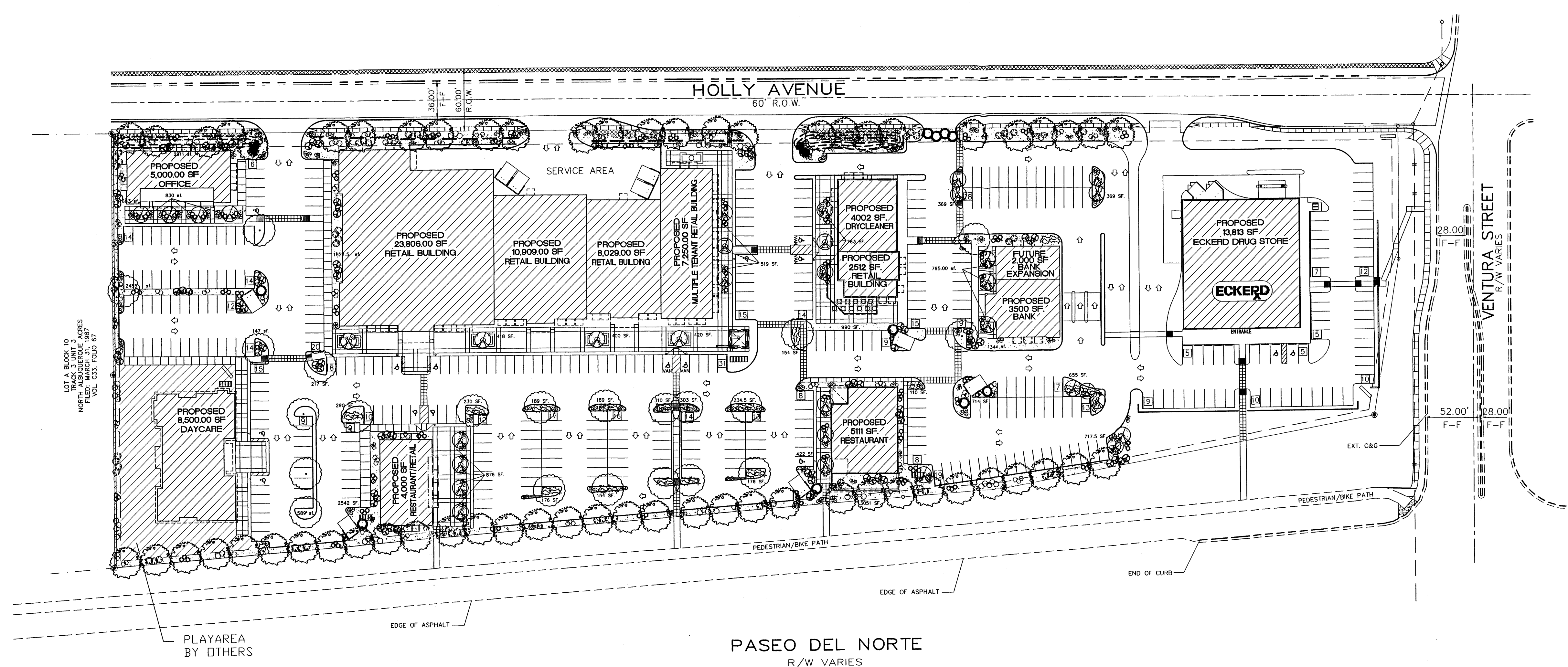
VENTURA PLACE
SITE PLAN FOR BUILDING PERMIT

DRAWING: 200250-ST.DWG	DRAWN BY: SHH	DATE: 04-30-03	SHEET #: 3 OF 7
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LAST REVISION: 09-29-03

PLANT LEGEND

-  ASH (H) AND HONEY LOCUST (H) 61
AUSTRIAN PINE
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
-  PURPLE ROBE LOCUST (M)
Robinia ambigua
2" Cal.
-  FLOWERING PEAR (H) 36
Pyrus calleryana
2" Cal.
-  PINON PINE (M) 10
Pinus edulis
6-8'
-  PALM YUCCA (L) 4
-  APACHE PLUME (L) 73
Fallugia paradoxa
5 Gal. 25sf
-  LANAS/ SCOTCH BROOM (M) 86
Cytisus scoparius/
Genista hispanica
5 Gal.
-  TAM JUNIPER (M) 22
Juniperus sabina
5 Gal. 225sf
-  ROSEMARY (M) 111
Rosmarinus officinalis
2 Gal. 36sf
-  POTENTILLA (M) 94
Potentilla fruticosa
2 Gal.
-  AUTUMN SAGE (M) 123
Salvia greggii
2 Gal. 9sf
-  HONEYSUCKLE (M) 84
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
-  CHAMISA (L) 80
Chrysothamnus nauseosus
1 Gal. 25sf
-  WILDFLOWER 214
1 Gal. 4sf
-  HONEYSUCKLE (M) 18
Lonicera sempervirens
1 Gal. 200sf
-  OVERSIZED GRAVEL
& B BOULDERS
-  S.F. BROWN GRAVEL
WITH FILTER FABRIC



LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	373,159 square feet
TOTAL BUILDINGS AREA	84,618 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	288,541 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	43,281 square feet
TOTAL LANDSCAPE PROVIDED	48,686 square feet
TOTAL BED PROVIDED	48,686 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

S.F. Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

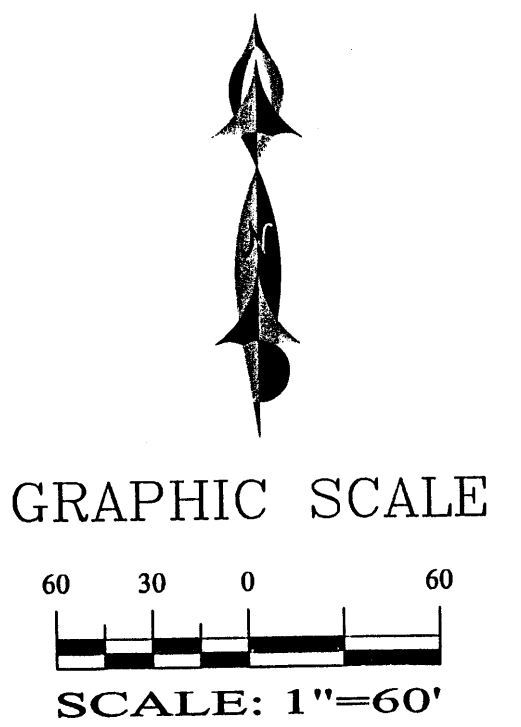
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

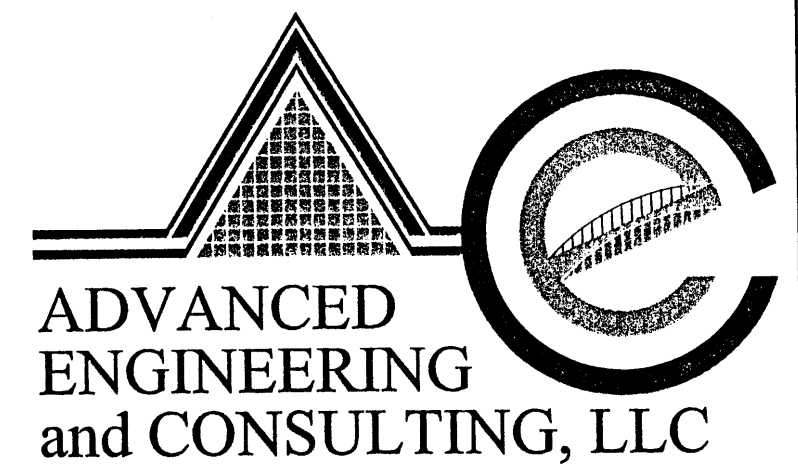
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.



The Hilltop

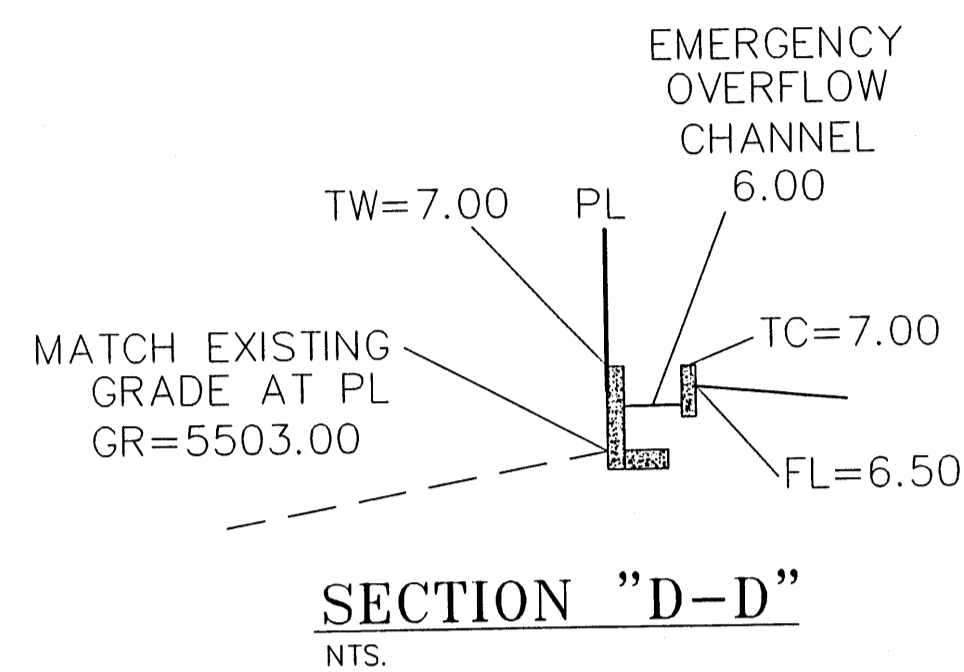
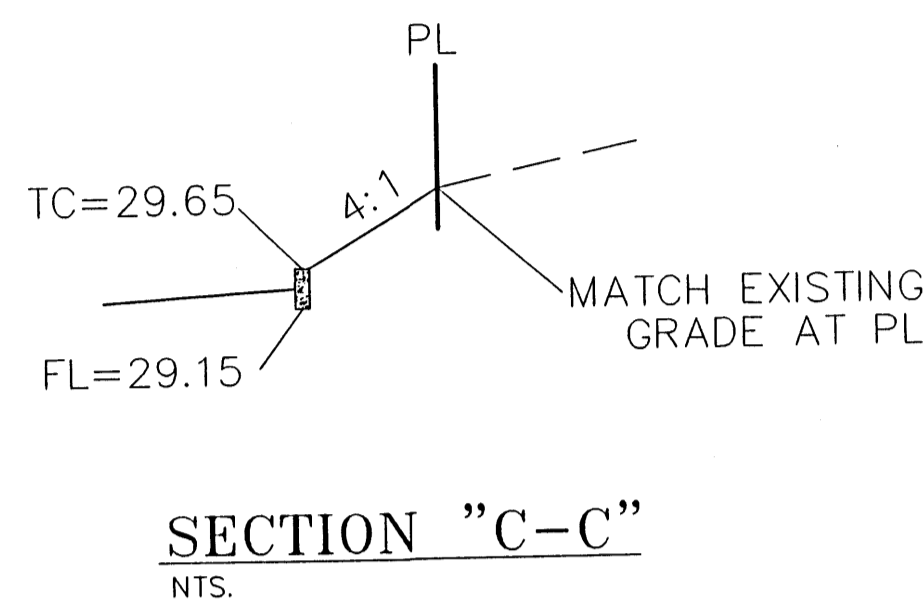
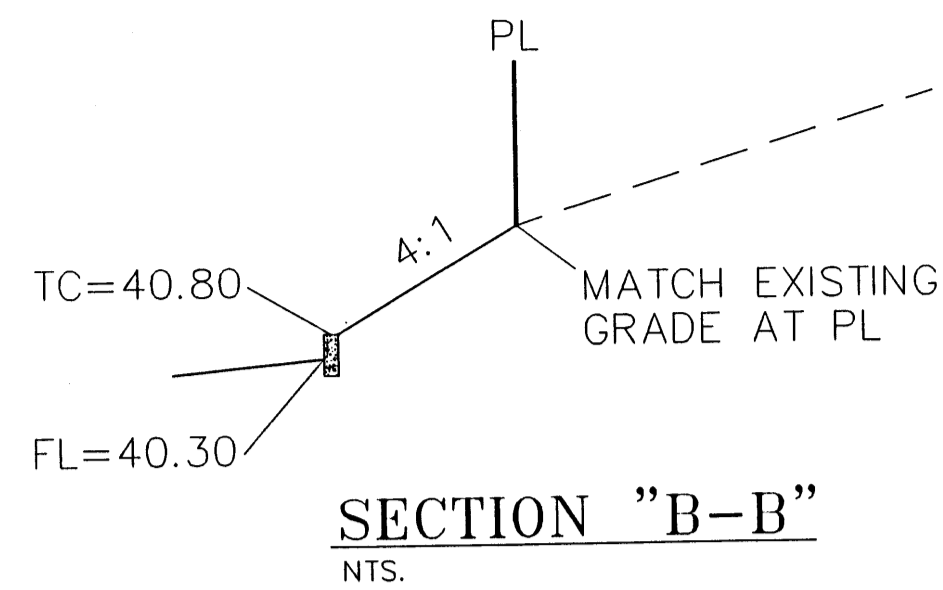
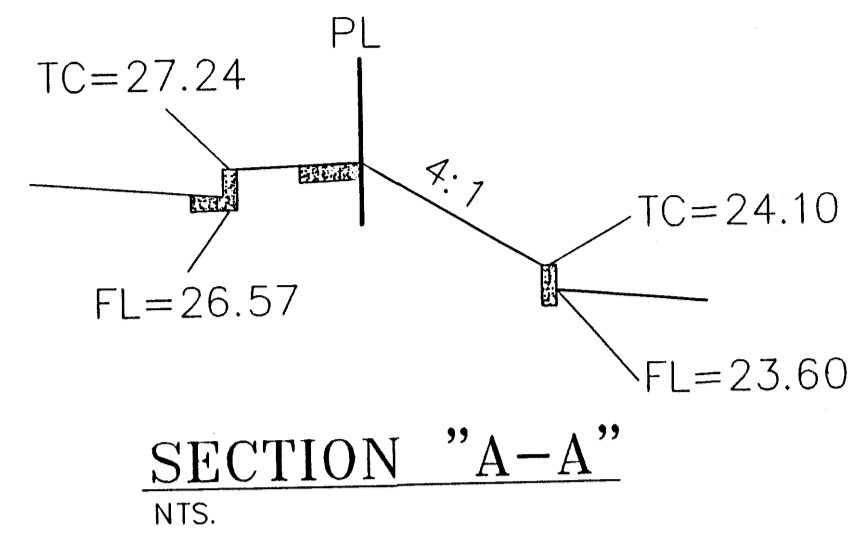
LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cmd@hilltoplandscaping.com



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 (505)899-5570

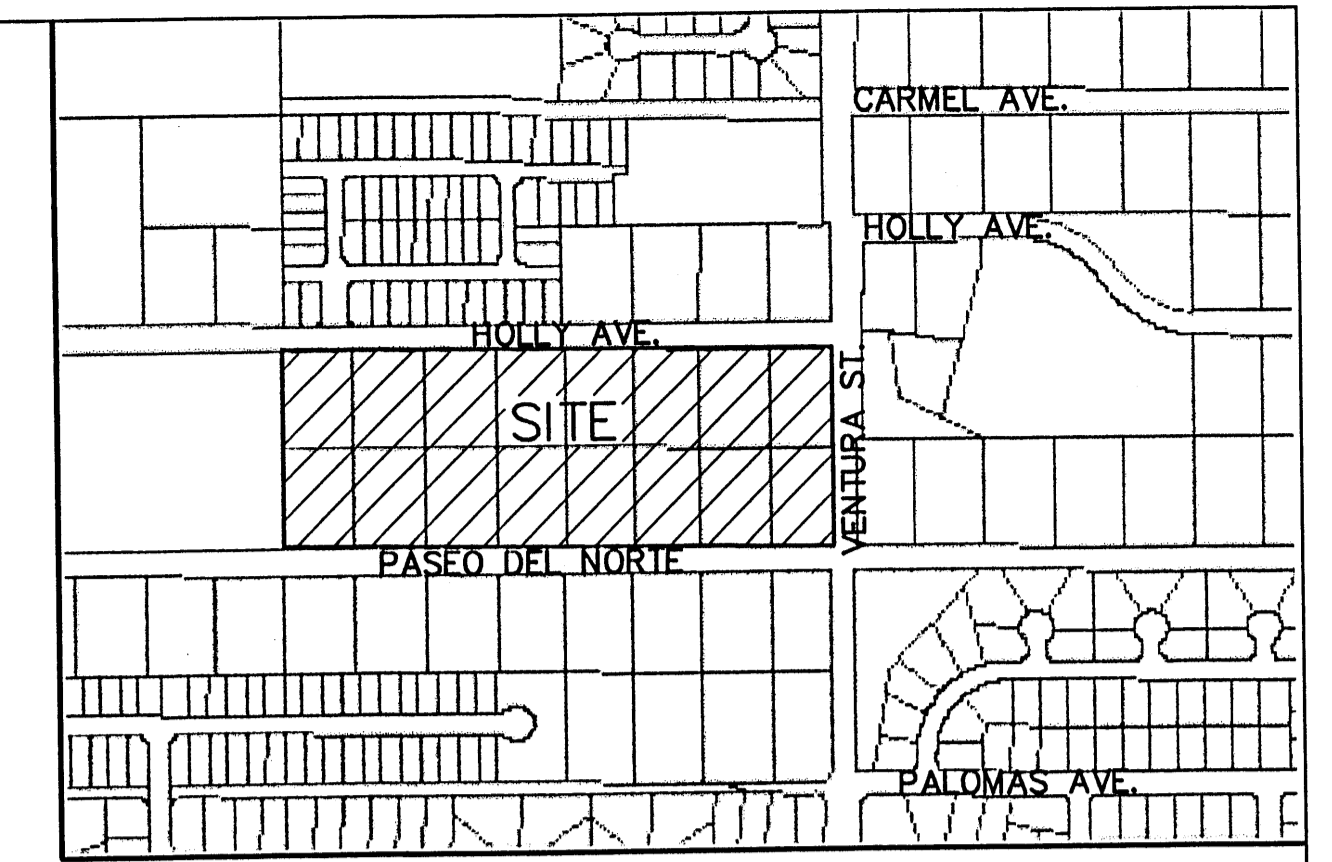
PASEO PLACE LANDSCAPING PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200250-LS.DWG	JES	04-29-03	4 OF 7

LAST REVISION: 10-06-03



- GENERAL NOTES:**
- 1: ADD 5500 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 - 2: CONTOUR INTERVAL IS ONE (1) FOOT.
 - 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5569.886 FEET ABOVE SEA LEVEL.
 - 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 - 6: SLOPES ARE AT 4:1 MAXIMUM.

- EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
 4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



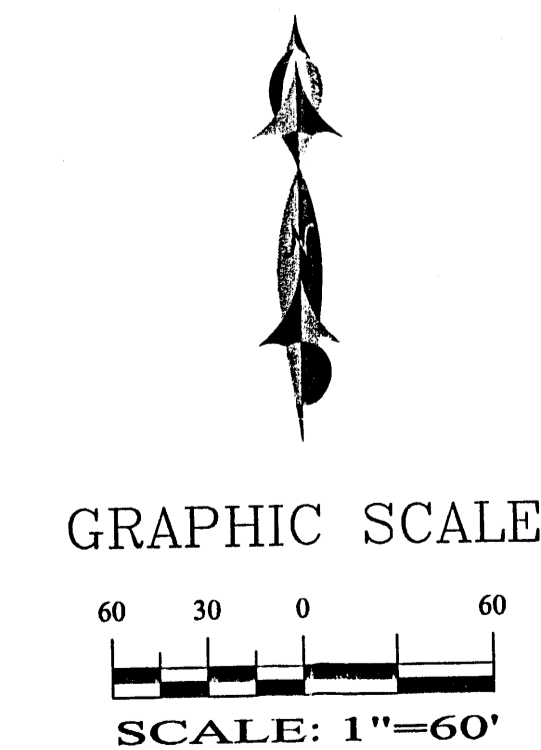
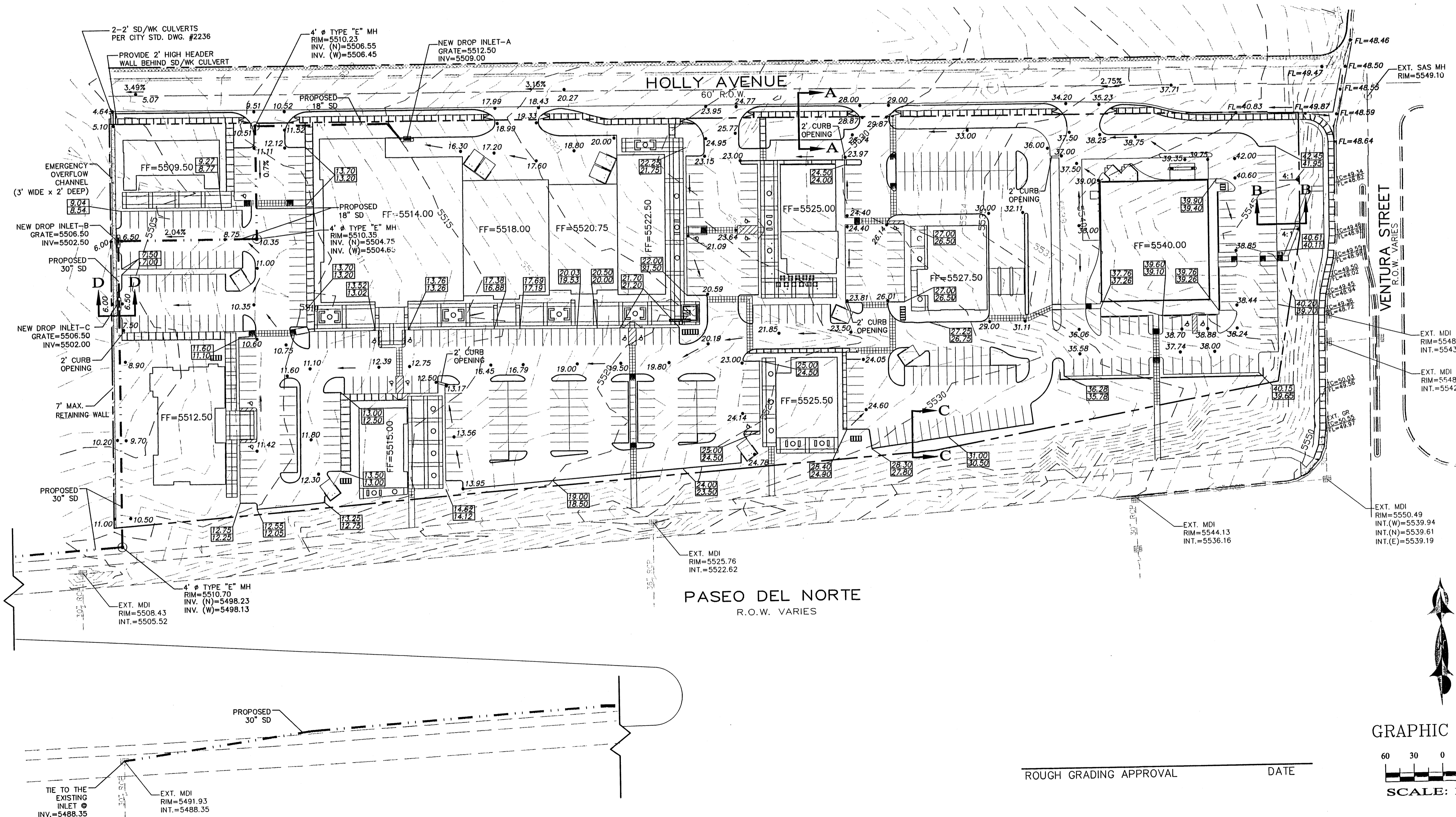
LEGAL DESCRIPTION:
 LOTS 9-15 AND REMAINING PORTIONS OF LOTS 16-24, BLOCK 10,
 TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES,
 CONTAINING 449,389.14 S.F. (10.31655 ACRE).
 ZONING SU-1 MIXED USED.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

	EXISTING SAS MANHOLE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	NEW CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	PROPOSED STORM SEWER PIPE
	EXISTING CURB AND GUTTER



ROUGH GRADING APPROVAL _____ DATE _____

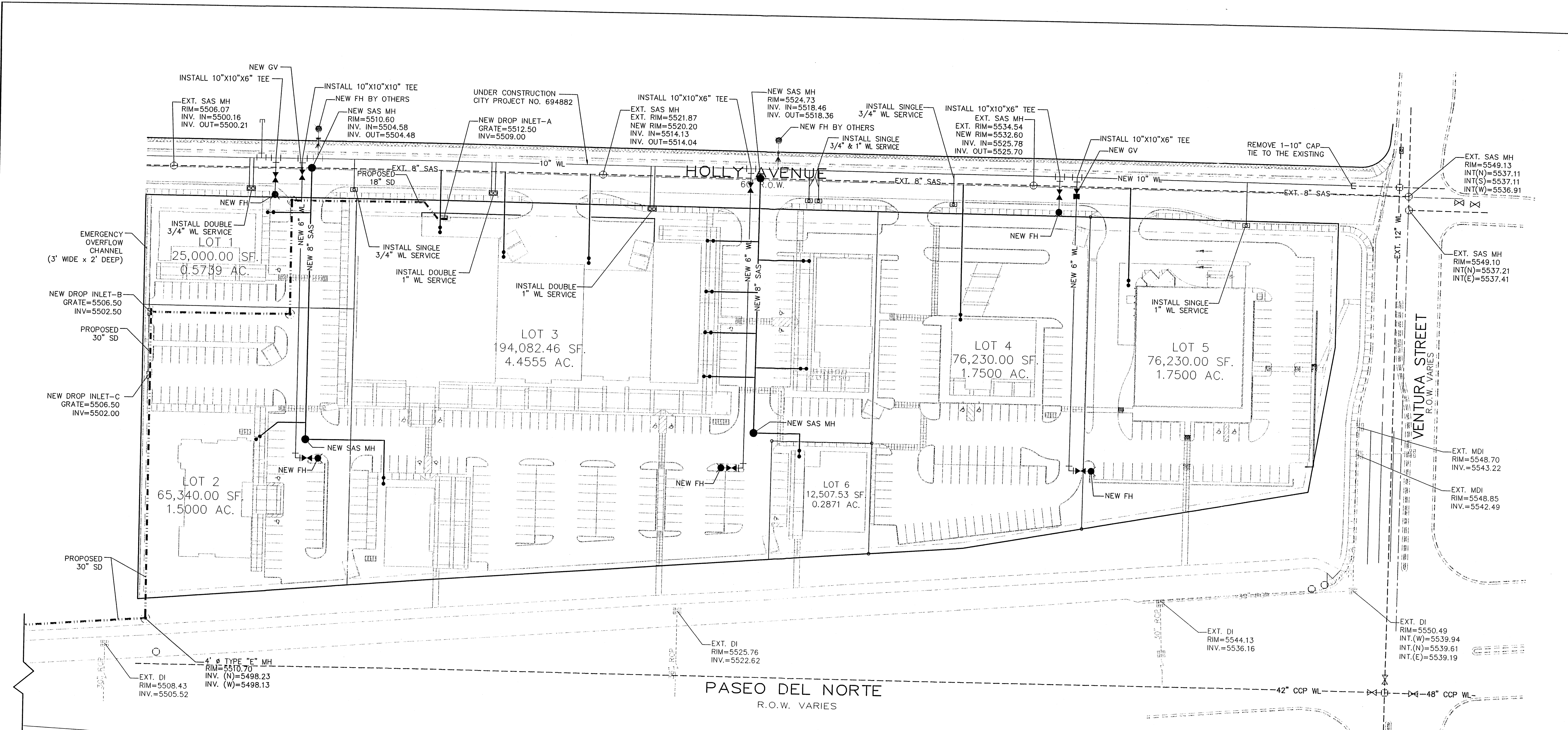
SHAHAB BIAZAR
 P.E. #13479

ADVANCED ENGINEERING AND CONSULTING, LLC

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 ALBUQUERQUE, NEW MEXICO 87114
 (505)899-5570

VENTURA PLACE			
CONCEPTUAL GRADING PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200250-GR.DWG	SBB	04-28-03	5 OF 7

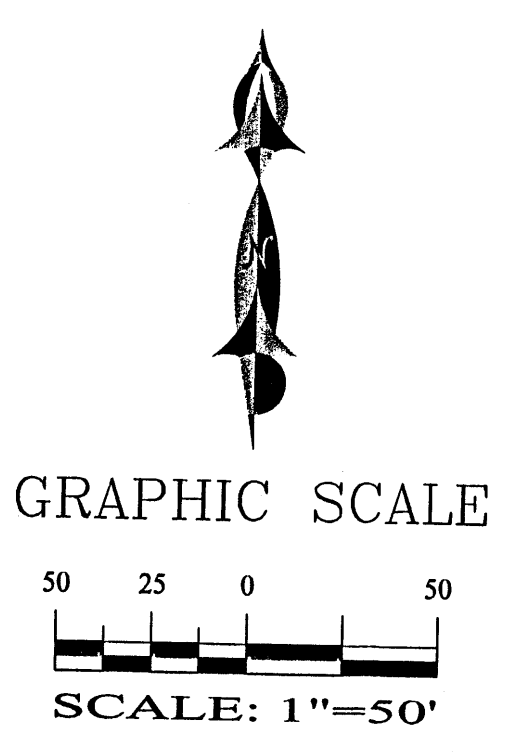
LAST REVISION: 09-20-03



NOTE:
 A BLANKET PRIVATE DRAINAGE, UTILITY, ACCESS AND PARKING EASEMENT HAS BEEN GRANTED BY THE PLAT ACROSS LOTS 1, 2, 3, 4, 5 & 6. THE PROPERTY OWNERS FOR ALL TRACTS ARE RESPONSIBLE FOR THE MAINTENANCE OF THE EASEMENTS. THE SITE IS FURTHER SUBJECT TO THAT CERTAIN DECLARATION OF RECIPROCAL EASEMENTS AND RESTRICTIVE COVENANTS FOR VENTURA PLACE AT PASEO PLACED OF RECORD IN THE OFFICE OF THE COUNTY CLERK FOR BERNALILLO COUNTY, NEW MEXICO.

LEGEND

	EXISTING SAS MANHOLE
	EXISTING SD MANHOLE
	EXISTING GATE VALVE
	EXISTING 54" SD
	EXISTING 8" SAS
	EXISTING 16" WL
	NEW 8" SAS
	NEW 10" WL
	NEW 18" SD
	CLEAN OUT
	NEW WATER SERVICE
	NEW SAS SERVICE
	NEW SAS MANHOLE
	STORM SEWER MANHOLE
	SINGLE SERVICE METER
	DOUBLE SERVICE METER
	NEW GATE VALVE
	NEW FIRE HYDRANT
	TEE
	BEND
	CAP (WL)
	NEW CATCH BASIN



LEGAL DESCRIPTION:
 LOTS 9-15 AND REMAINING PORTIONS OF LOTS 16-24, BLOCK 10, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES. CONTAINING 449,389.14 S.F. (10.31655 ACRE). ZONING SU-1 MIXED USED.

SHAHAB BIAZAR
 P.E. #13479

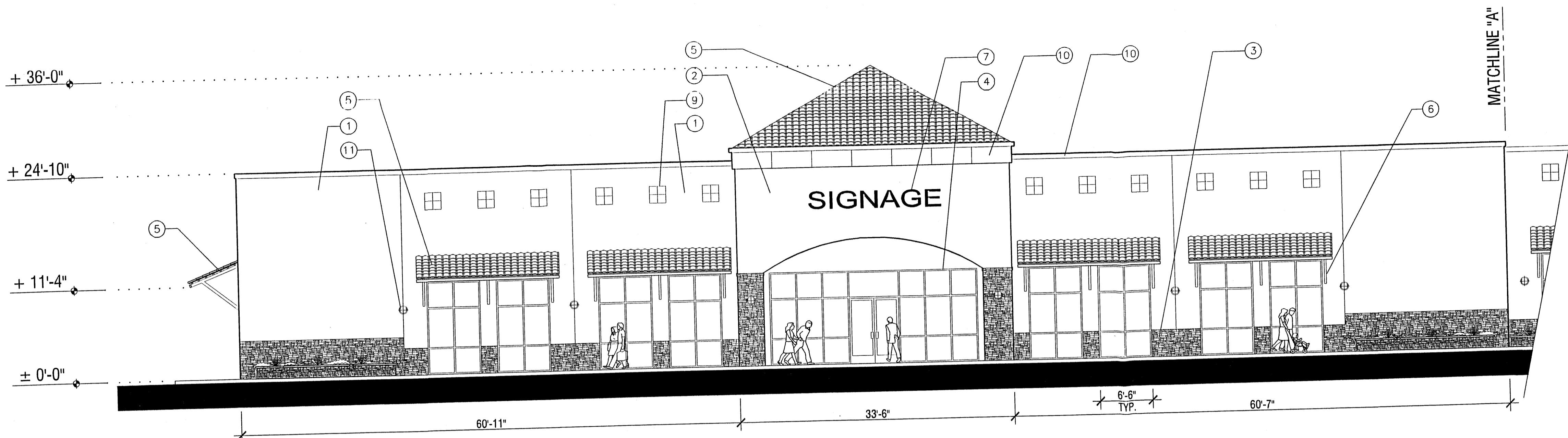
ADVANCED ENGINEERING and CONSULTING, LLC

10205 SNOWFLAKE CT., NW
 ALBUQUERQUE, NEW MEXICO 87114
 (505)899-5570

VENTURA PLACE MASTER UTILITY PLAN

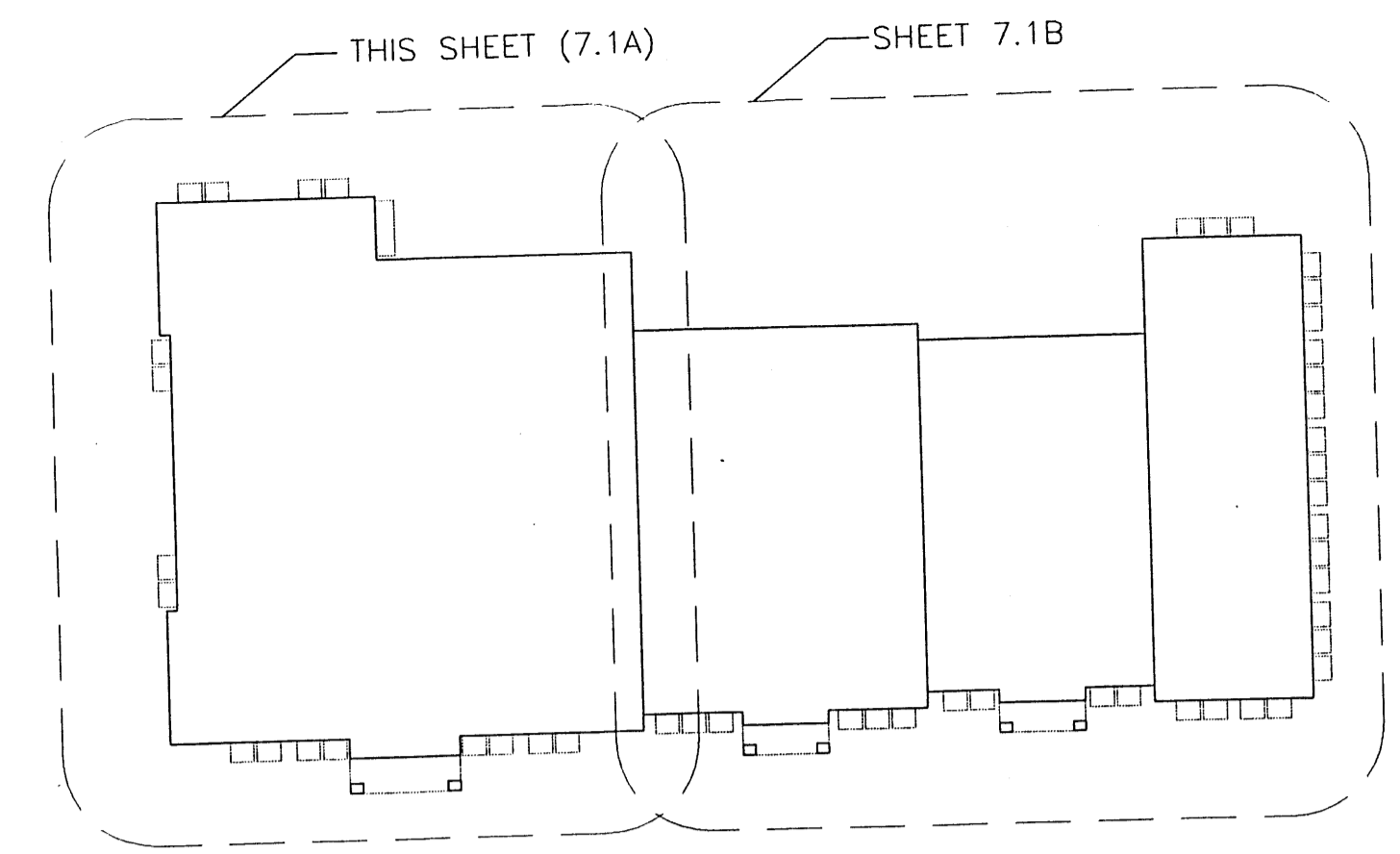
DRAWING:	DRAWN BY:	DATE:	SHEET #
200250-MU.DWG	SBB	08-06-03	6 OF 7

LAST REVISION: 11-26-03



South Elevation (West End)

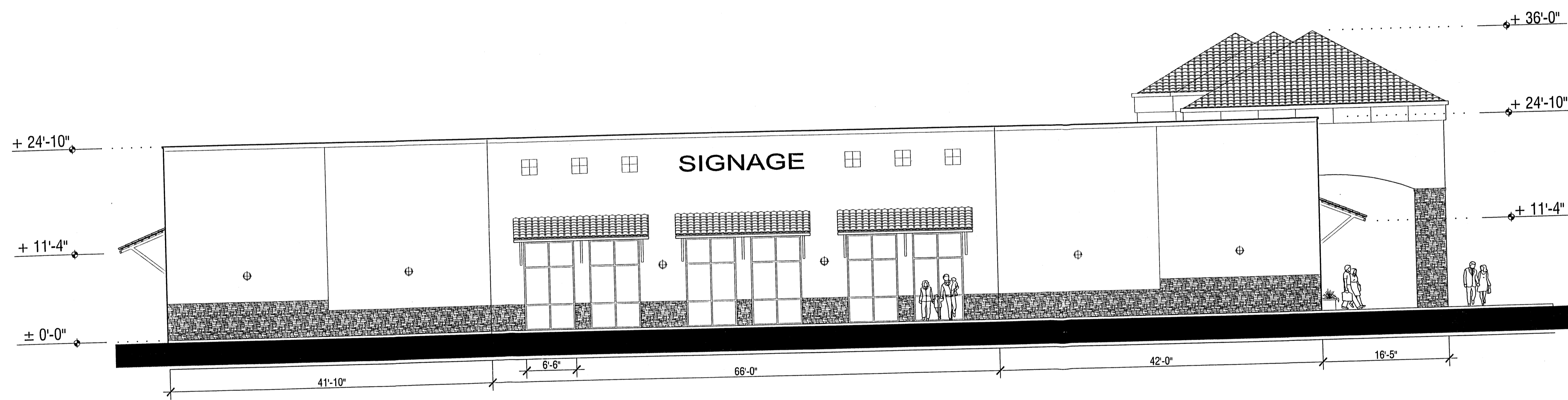
SCALE: 1/8" = 1'-0"



Reference Plan
NOT TO SCALE

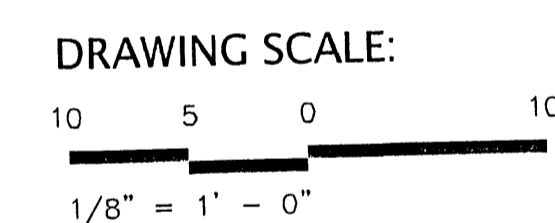
Anchor Building (West End)

Elevations for Site Development Plan for Building Permit



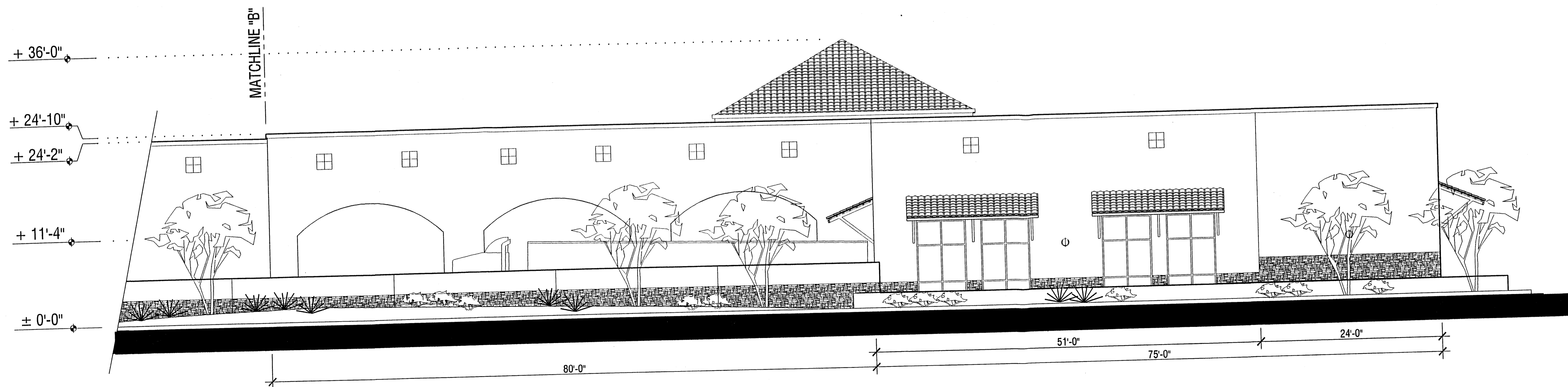
West Elevation

SCALE: 1/8" = 1'-0"



KEYED NOTES (TYPICAL AT ALL ELEVATIONS):

1. ACRYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
2. ACRYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
3. STONE VENEER BY CULTURED STONE SHALE PRO-FIT LEDGE STONE PF #8601
4. ALUMINUM STOREFRONT WINDOW SYSTEM, FRAME COLOR TO MATCH BENJAMIN MOORE 1055
5. CONCRETE ROOF TILE BY MONIER/LIFETILE, MISSION 'S' VILLA- COLOR 3601
6. TUBE STEEL AWNING FRAME - PAINT MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
7. BACK LIT SIGNAGE, INDIVIDUAL LETTERS (24" MAXIMUM)
8. BACK LIT SIGNAGE, INDIVIDUAL LETTERS (16" MAXIMUM)
9. CERAMIC TILE ACCENT, FOUR 12"x12" TILES, CROSS AMERICANA SERIES AV 114 GRAND CANYON
10. 9" CORNICE, PAINTED TO MATCH WINDOWS
11. SURFACE-MOUNTED ACCENT LIGHTING, ALUMINUM AND GLASS, 12" DIAMETER, 75 WATTS EACH



North Elevation (West End)

SCALE: 1/8" = 1'-0"

Ventura Place

HOLLY BOULEVARD AT VENTURA BOULEVARD AND PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO

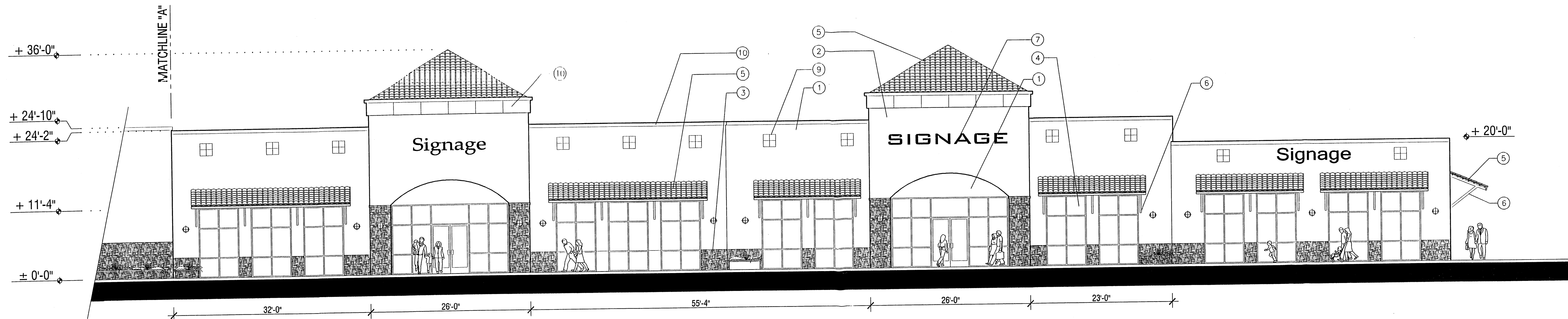
Briscoe Architects, p.c.

4100 Menaul Boulevard NE, Suite 2B Albuquerque, New Mexico 87110
V: 505.262.0193 F: 505.881.9114 E: briscoe@msn.com

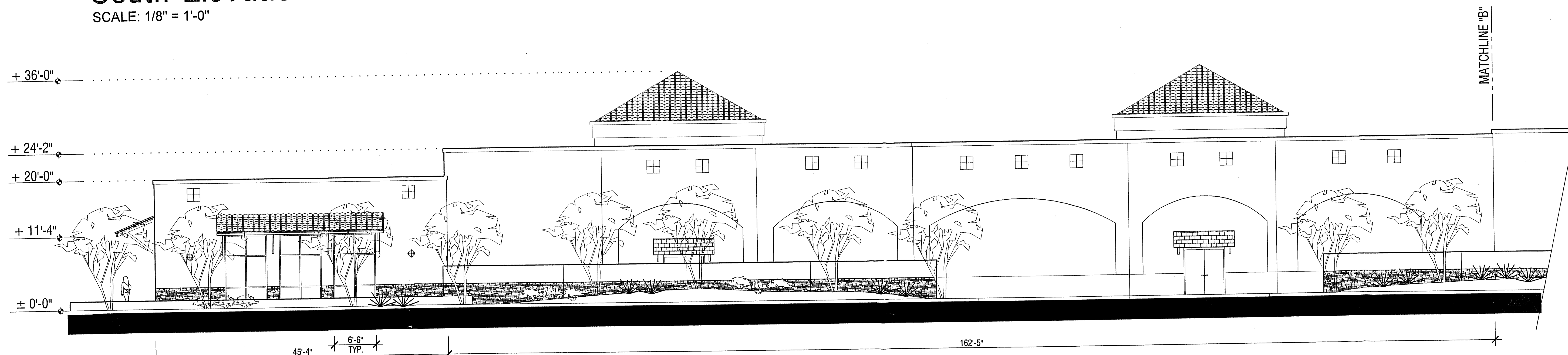
AUGUST 7, 2003

SHEET NO.

7.1A

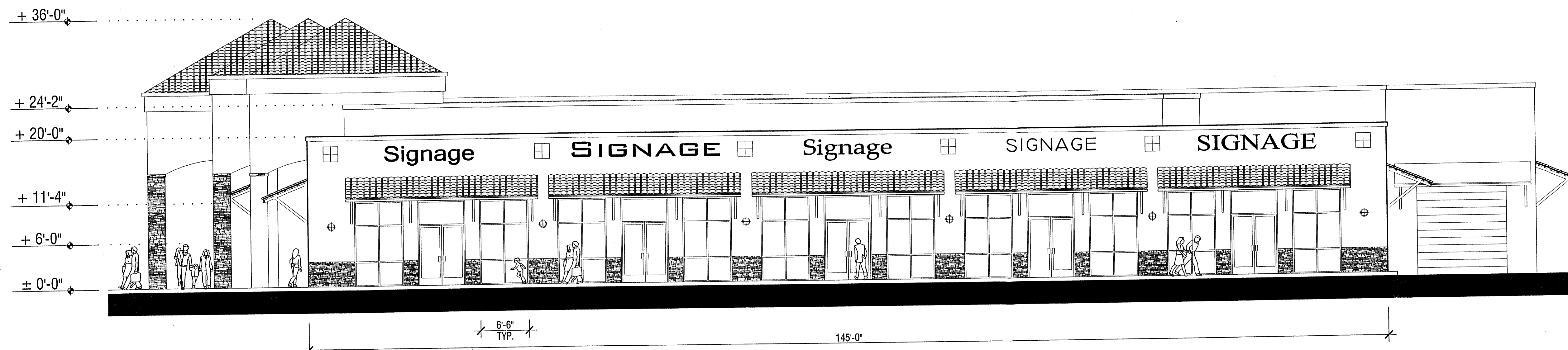


South Elevation (East End)
SCALE: 1/8" = 1'-0"



North Elevation (East End)
SCALE: 1/8" = 1'-0"

DRAWING SCALE:
10 5 0 10
1/8" = 1' - 0"



East Elevation
SCALE: 1/8" = 1'-0"

Anchor Building (East End)

NOTE: SEE SHEET 7.1A FOR KEYED NOTES AND REFERENCE PLAN.

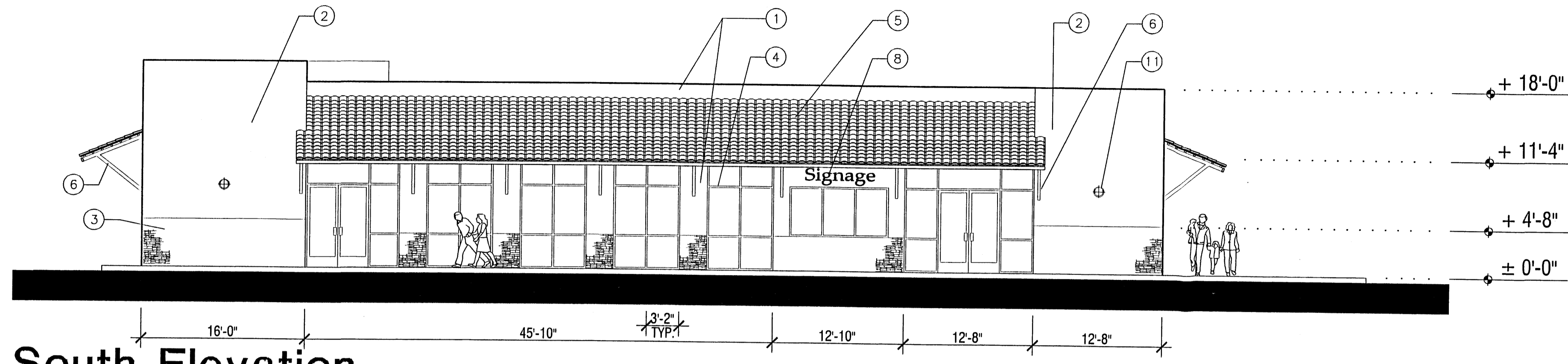
Ventura Place

HOLLY BOULEVARD AT VENTURA BOULEVARD AND PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO

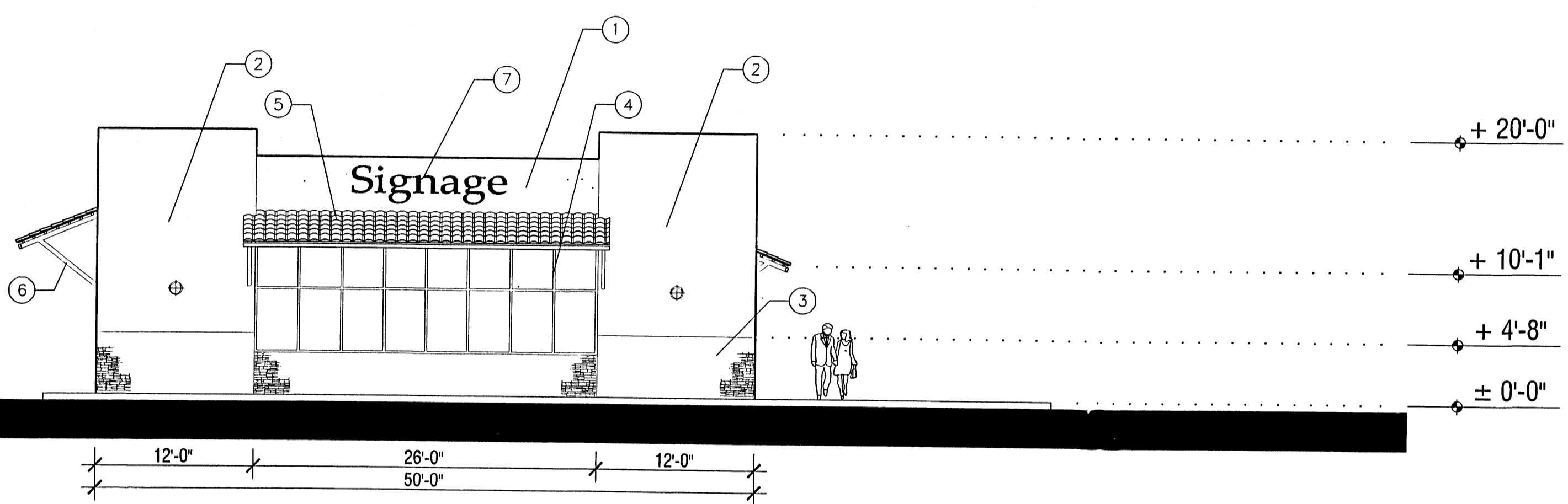
AUGUST 7, 2003

Briscoe Architects, p.c.
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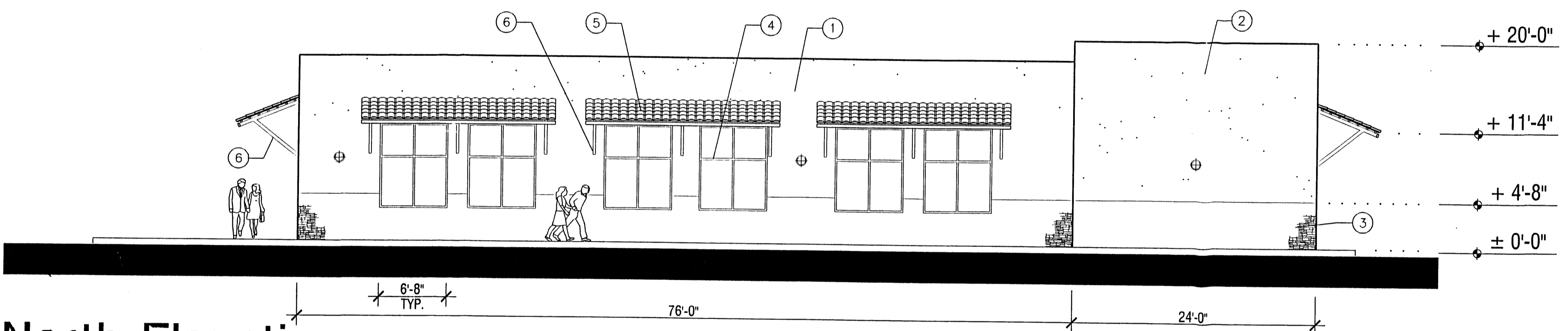
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7.1B



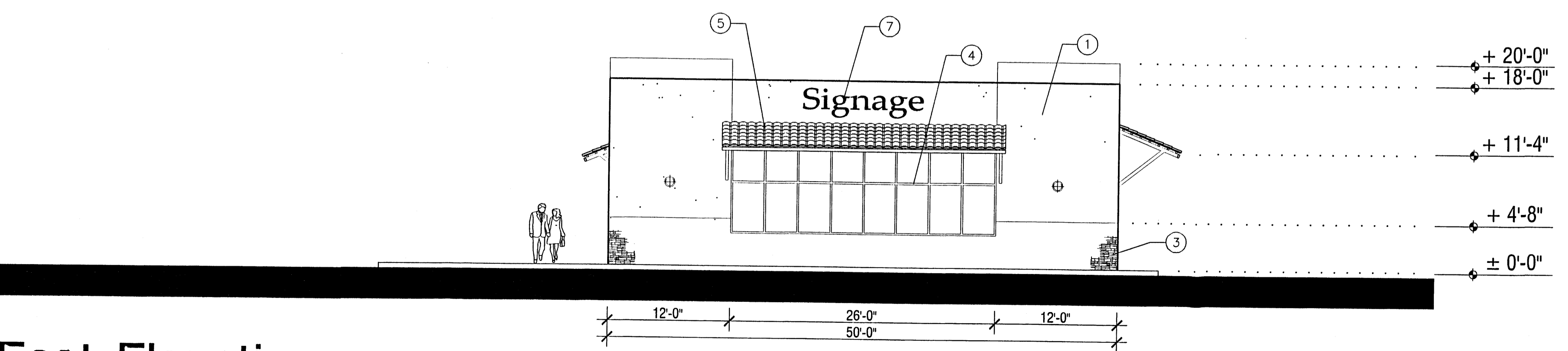
South Elevation
SCALE: 1/8" = 1'-0"



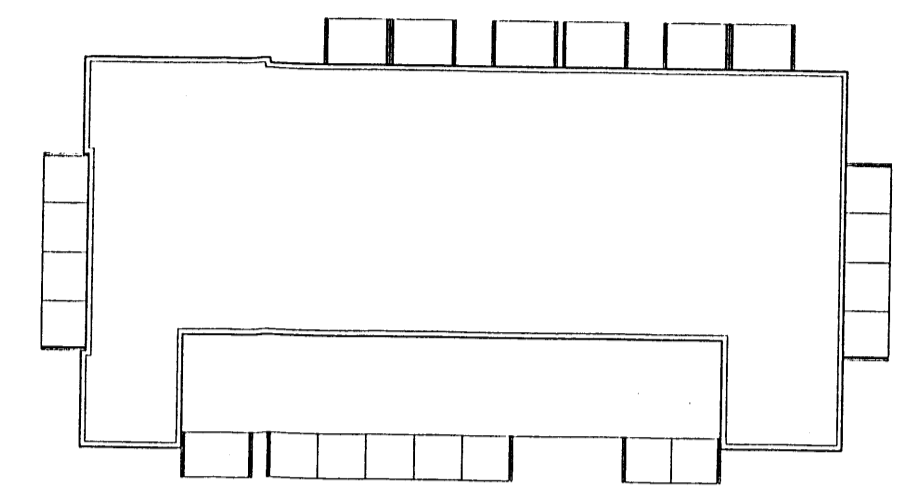
West Elevation
SCALE: 1/8" = 1'-0"



North Elevation
SCALE: 1/8" = 1'-0"



East Elevation
SCALE: 1/8" = 1'-0"



Reference Plan
NOT TO SCALE

Office Building

Elevations for Site Development Plan for Building Permit

DRAWING SCALE:
10 5 0 10
1/8" = 1' - 0"

KEYED NOTES (TYPICAL AT ALL ELEVATIONS):

1. ACRYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
2. ACRYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
3. STONE VENEER BY CULTURED STONE SHALE PRO-FIT LEDGE STONE PF #8601
4. ALUMINUM STOREFRONT WINDOW SYSTEM, FRAME COLOR TO MATCH BENJAMIN MOORE HC-1055
5. CONCRETE ROOF TILE BY MONIER/LIFETILE, MISSION 'S' VILLA- COLOR 3601
6. TUBE STEEL AWNING FRAME - PAINT MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
7. BACK LIT SIGNAGE, INDIVIDUAL LETTERS (24" MAXIMUM)
8. BACK LIT SIGNAGE, INDIVIDUAL LETTERS (16" MAXIMUM)
9. CERAMIC TILE ACCENT, FOUR 12"x12" TILES, CROSS AMERICANA SERIES AV 114 GRAND CANYON
10. 9" CORNICE, PAINTED TO MATCH WINDOWS
11. SURFACE-MOUNTED ACCENT LIGHTING, ALUMINUM AND GLASS, 12" DIAMETER, 75 WATTS EACH

Ventura Place

HOLLY BOULEVARD AT VENTURA BOULEVARD AND PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO

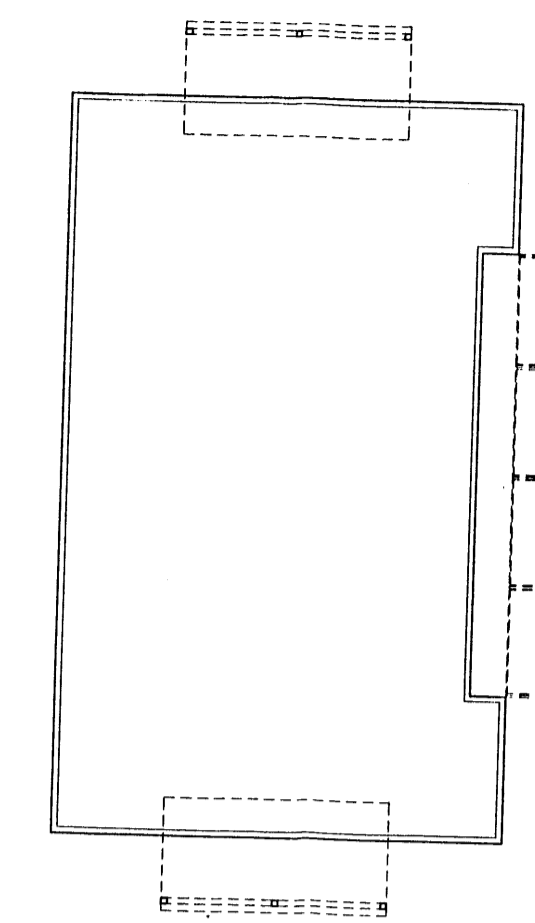
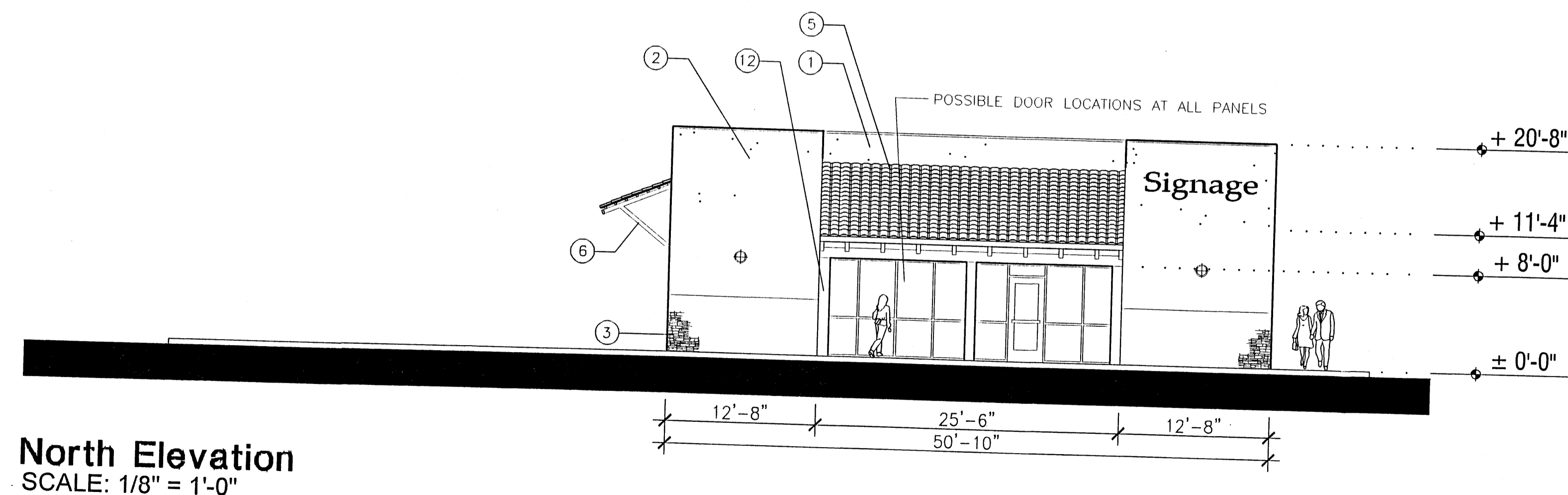
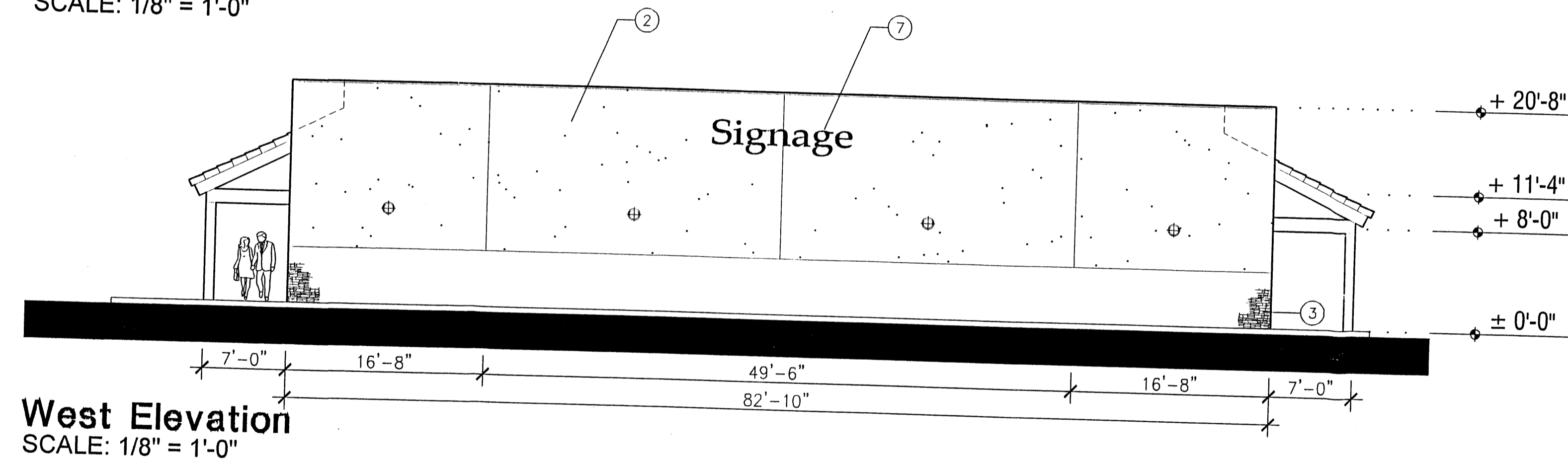
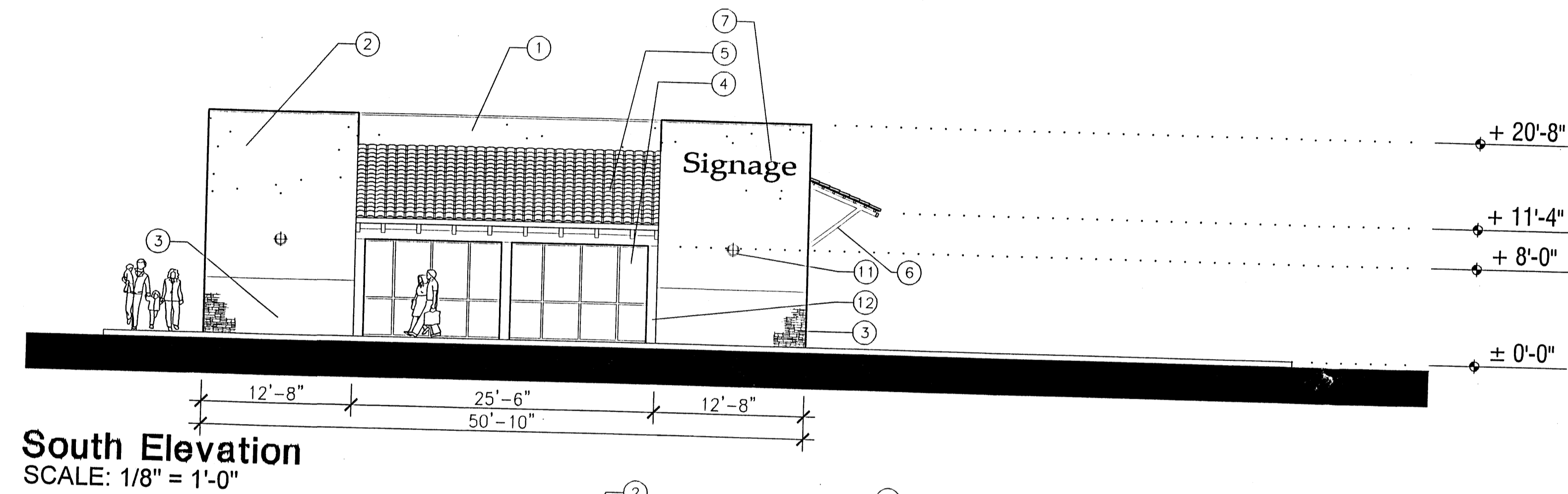
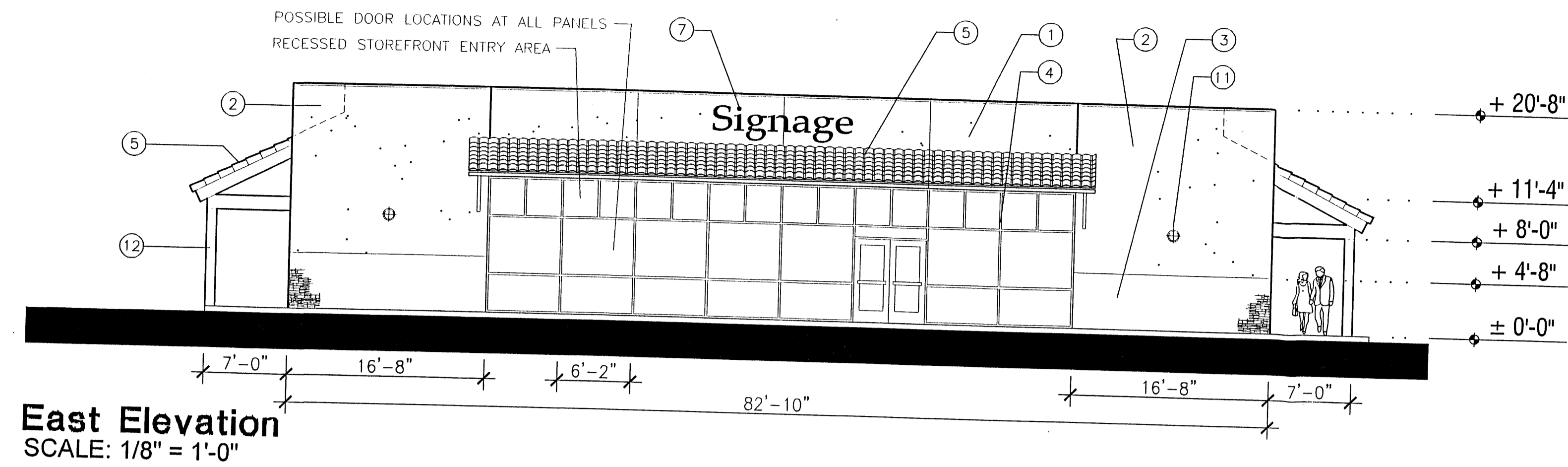
Briscoe Architects, p.c.

4100 Menaul Boulevard NE, Suite 2B Albuquerque, New Mexico 87110
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AUGUST 7, 2003

SHEET NO.

7.2

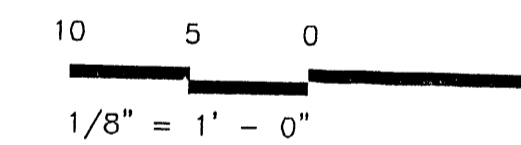


Reference Plan
NOT TO SCALE

Restaurant/ Retail Building

Elevations for Site Development Plan for Building Permit

DRAWING SCALE:



KEYED NOTES (TYPICAL AT ALL ELEVATIONS):

1. ACRYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
2. ACRYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
3. STONE VENEER BY CULTURED STONE SHALE PRO-FIT LEDGE STONE PF #8601
4. ALUMINUM STOREFRONT WINDOW SYSTEM, FRAME COLOR TO MATCH BENJAMIN MOORE HC-1055
5. CONCRETE ROOF TILE BY MONIER/LIFETILE, MISSION 'S' VILLA- COLOR 3601
6. TUBE STEEL AWNING FRAME - PAINT MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
7. BACK LIT SIGNAGE, INDIVIDUAL LETTERS (24" MAXIMUM)
8. BACK LIT SIGNAGE, INDIVIDUAL LETTERS (16" MAXIMUM)
9. CERAMIC TILE ACCENT, FOUR 12"x12" TILES, CROSS AMERICANA SERIES AV 114 GRAND CANYON
10. 9" CORNICE, PAINTED TO MATCH WINDOWS
11. SURFACE-MOUNTED ACCENT LIGHTING, ALUMINUM AND GLASS, 12" DIAMETER, 75 WATTS EACH
12. TUBE STEEL, PAINTED FINISH: MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55

Ventura Place

HOLLY BOULEVARD AT VENTURA BOULEVARD AND PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO

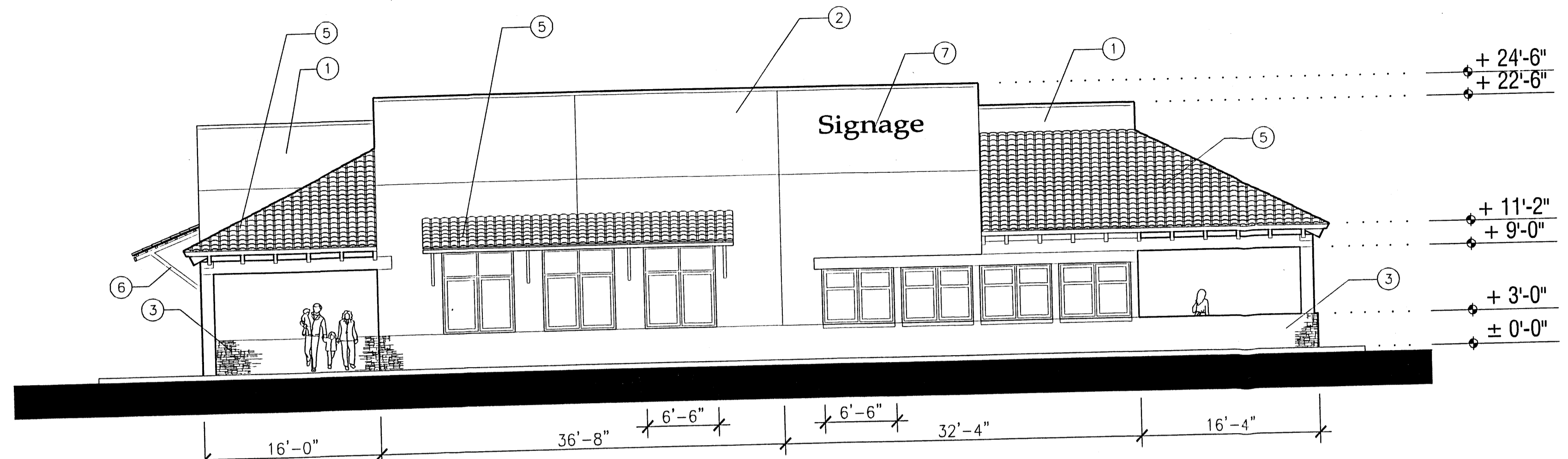
Briscoe Architects, p.c.

4100 Menaul Boulevard NE, Suite 2B Albuquerque, New Mexico 87110
V: 505.262.0193 F: 505.881.9114 E: briscoe@msn.com

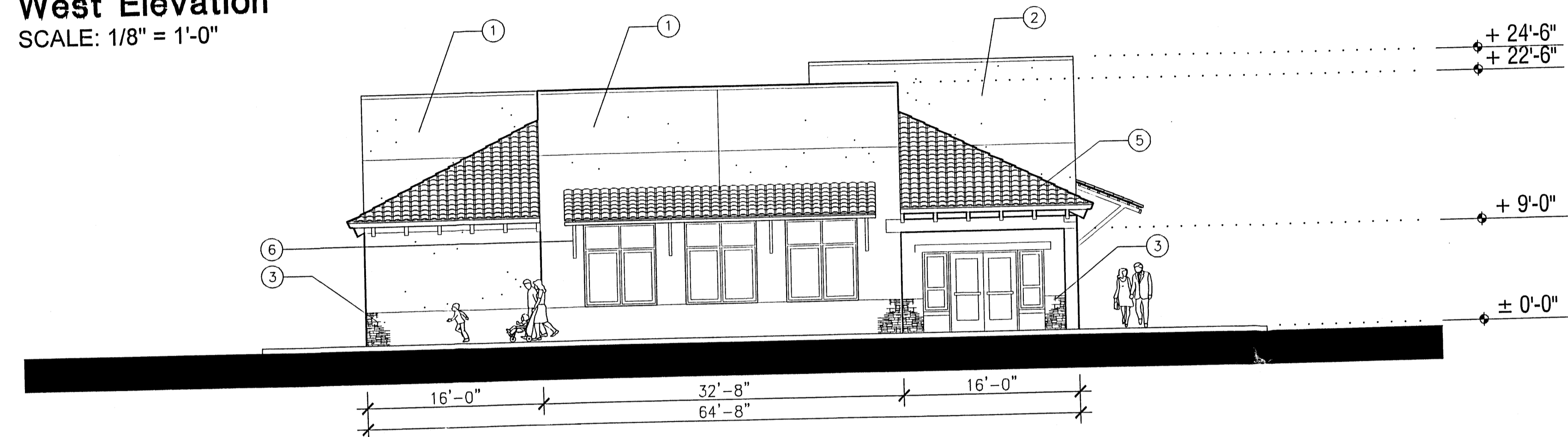
AUGUST 7, 2003

SHEET NO.

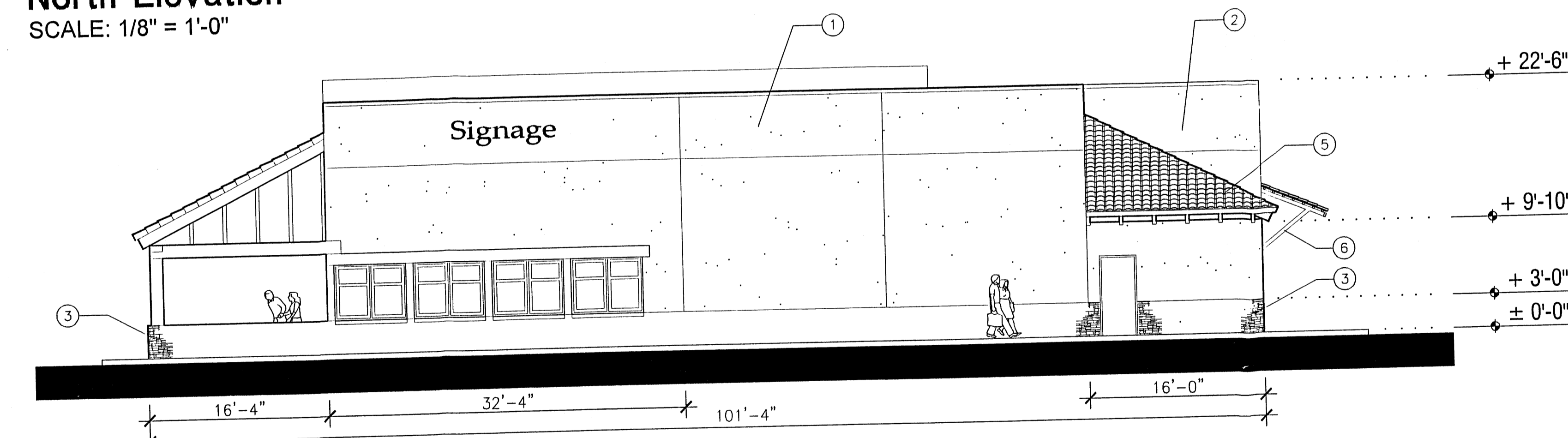
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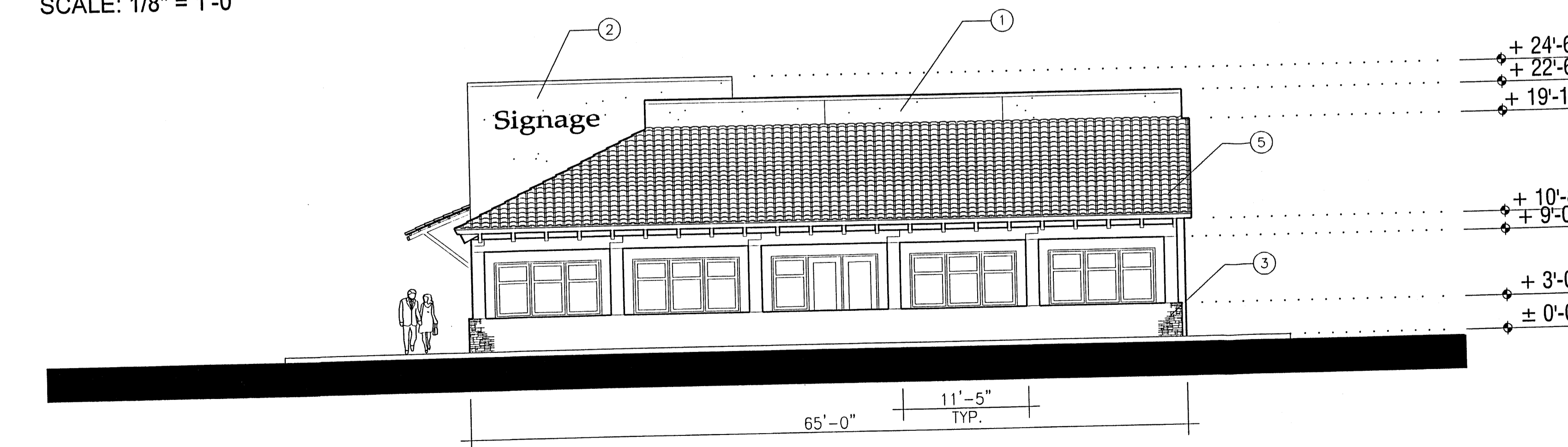
West Elevation
SCALE: 1/8" = 1'-0"



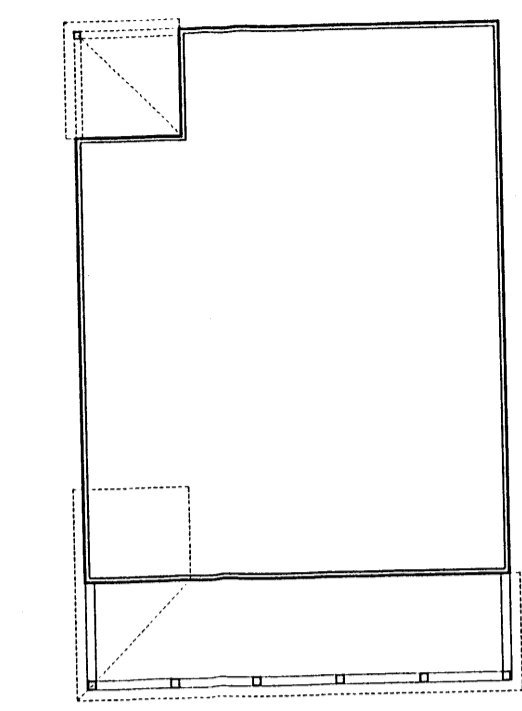
North Elevation
SCALE: 1/8" = 1'-0"



East Elevation
SCALE: 1/8" = 1'-0"



South Elevation
SCALE: 1/8" = 1'-0"

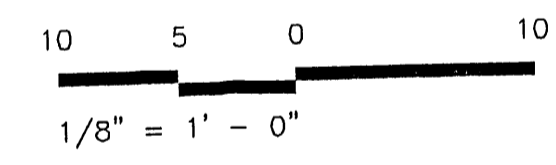


Reference Plan
NOT TO SCALE

Restaurant

Elevations for Site Development Plan for Building Permit

DRAWING SCALE:



KEYED NOTES (TYPICAL AT ALL ELEVATIONS):

1. ACRYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
2. ACRYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
3. STONE VENEER BY CULTURED STONE SHALE PRO-FIT LEDGE STONE PF #9601
4. ALUMINUM STOREFRONT WINDOW SYSTEM, FRAME COLOR TO MATCH BENJAMIN BENJAMIN MOORE HC-1055
5. CONCRETE ROOF TILE BY MONIER/LIFETILE, MISSION 'S' VILLA- COLOR 3601
6. TUBE STEEL AWNING FRAME - PAINT MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
7. BACK LIT SIGNAGE, INDIVIDUAL LETTERS (24" MAXIMUM)
8. BACK LIT SIGNAGE, INDIVIDUAL LETTERS (16" MAXIMUM)
9. CERAMIC TILE ACCENT, FOUR 12"x12" TILES, CROSS AMERICANA SERIES AV 114 GRAND CANYON
10. 9" CORNICE, PAINTED TO MATCH WINDOWS
11. SURFACE-MOUNTED ACCENT LIGHTING, ALUMINUM AND GLASS, 12" DIAMETER, 75 WATTS EACH

Ventura Place

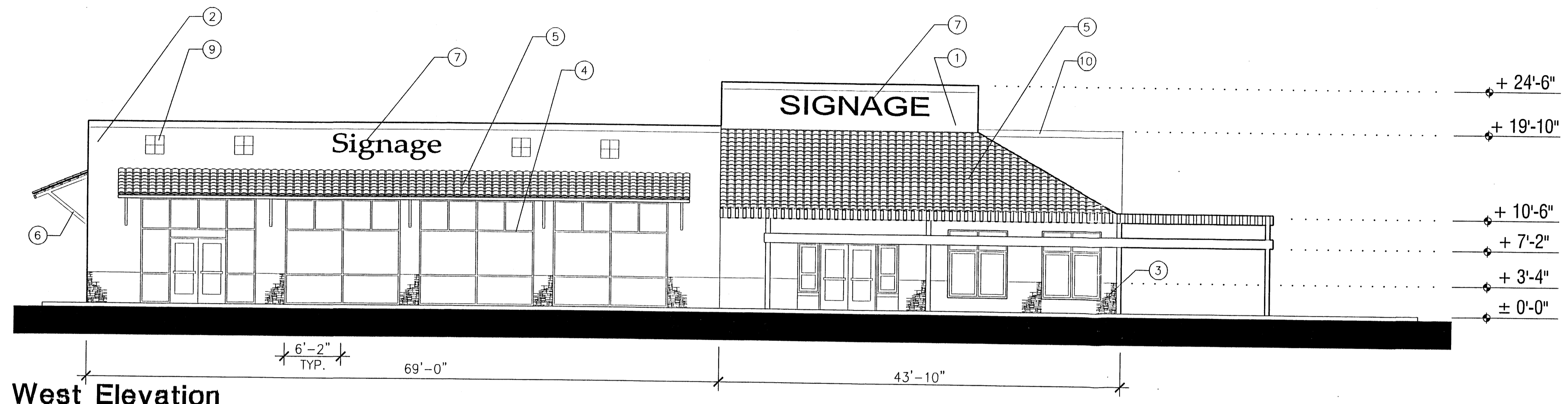
HOLLY BOULEVARD AT VENTURA BOULEVARD AND PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO

Briscoe Architects, p.c.

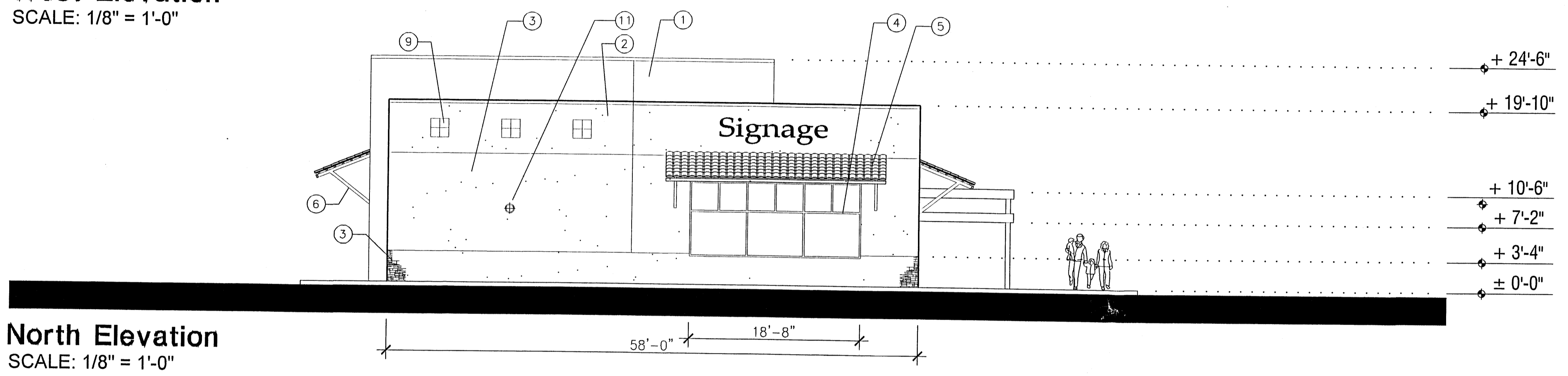
4100 Menaul Boulevard NE, Suite 2B Albuquerque, New Mexico 87110
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AUGUST 7, 2003

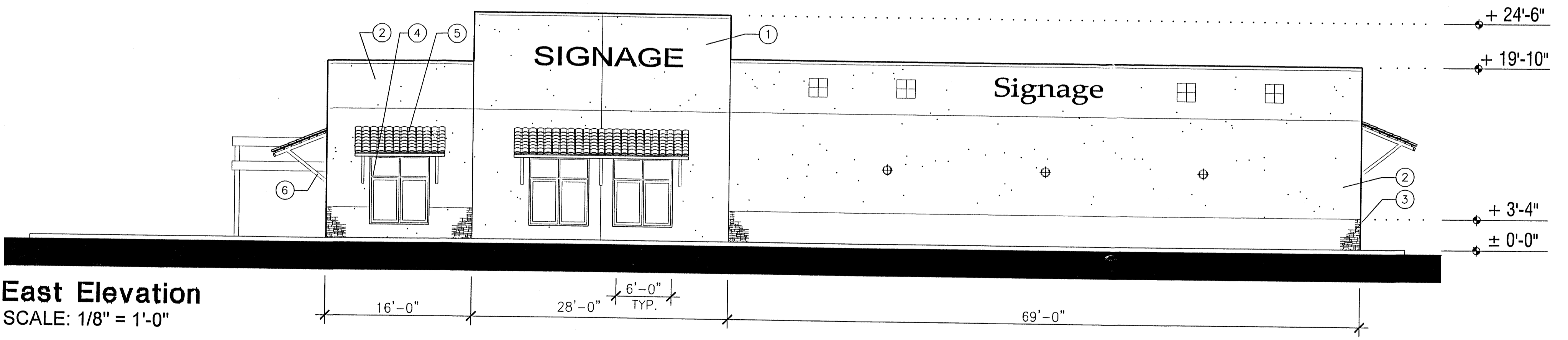
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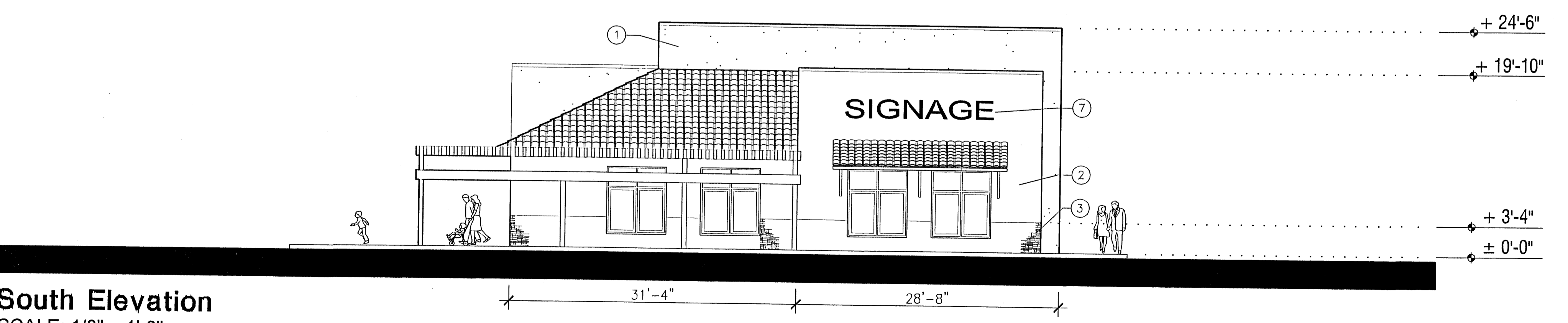
West Elevation
SCALE: 1/8" = 1'-0"



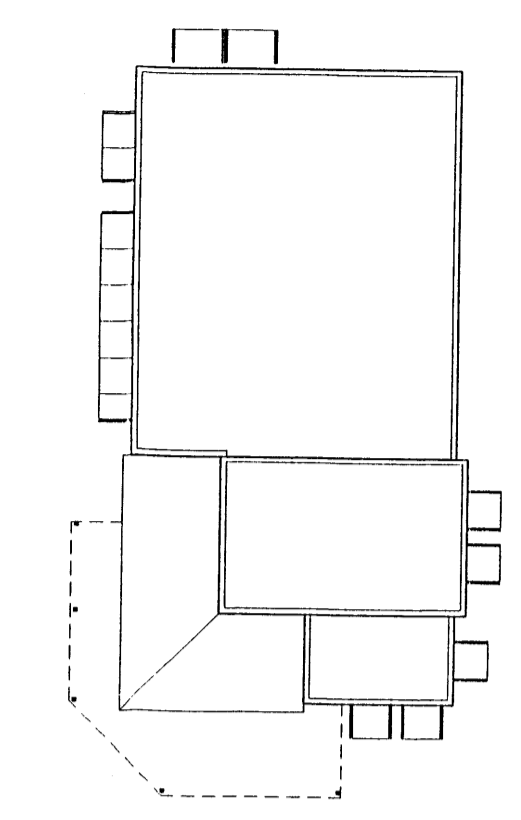
North Elevation
SCALE: 1/8" = 1'-0"



East Elevation
SCALE: 1/8" = 1'-0"



South Elevation
SCALE: 1/8" = 1'-0"



Reference Plan
NOT TO SCALE

Dry Cleaner and Retail

Elevations for Site Development Plan for Building Permit

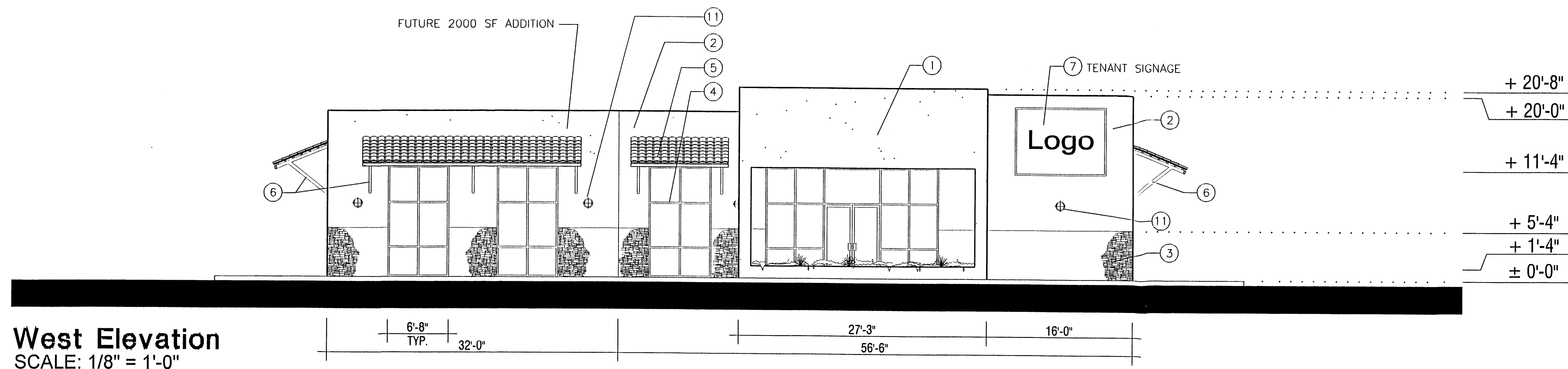
DRAWING SCALE:
10 5 0 10
1/8" = 1' - 0"

KEYED NOTES (TYPICAL AT ALL ELEVATIONS):

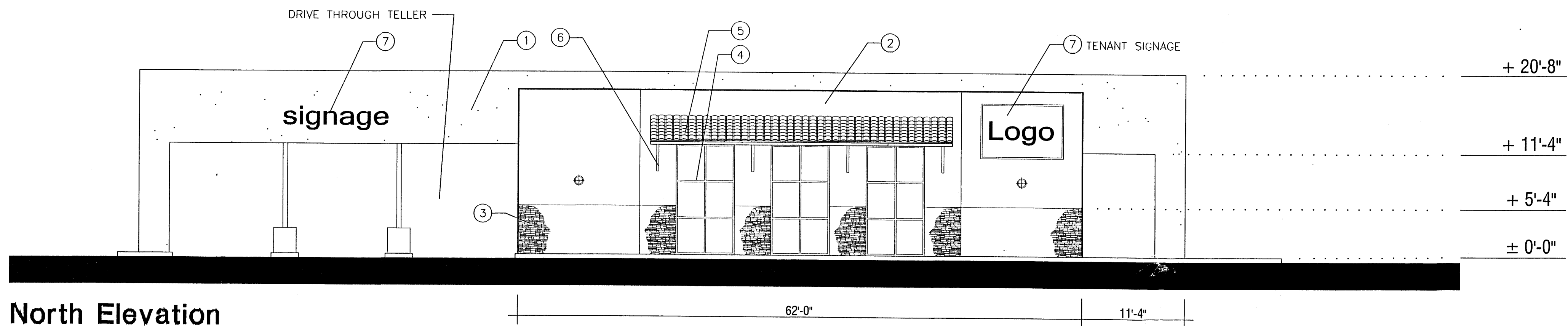
1. ACRYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
2. ACRYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
3. STONE VENEER BY CULTURED STONE SHALE PRO-FIT LEDGE STONE PF #8601
4. ALUMINUM STOREFRONT WINDOW SYSTEM, FRAME COLOR TO MATCH BENJAMIN BENJAMIN MOORE HC-1055
5. CONCRETE ROOF TILE BY MONIER/LIFETILE, MISSION 'S' VILLA- COLOR 3601
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10. 9" CORNICE, PAINTED TO MATCH WINDOWS
11. SURFACE-MOUNTED ACCENT LIGHTING, ALUMINUM AND GLASS, 12" DIAMETER, 75 WATTS EACH

Ventura Place

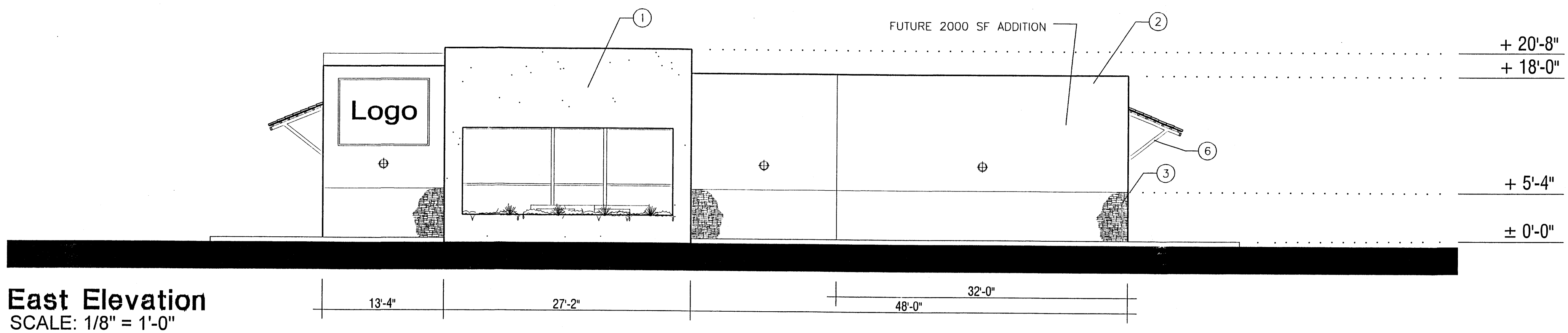
HOLLY BOULEVARD AT VENTURA BOULEVARD AND PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO



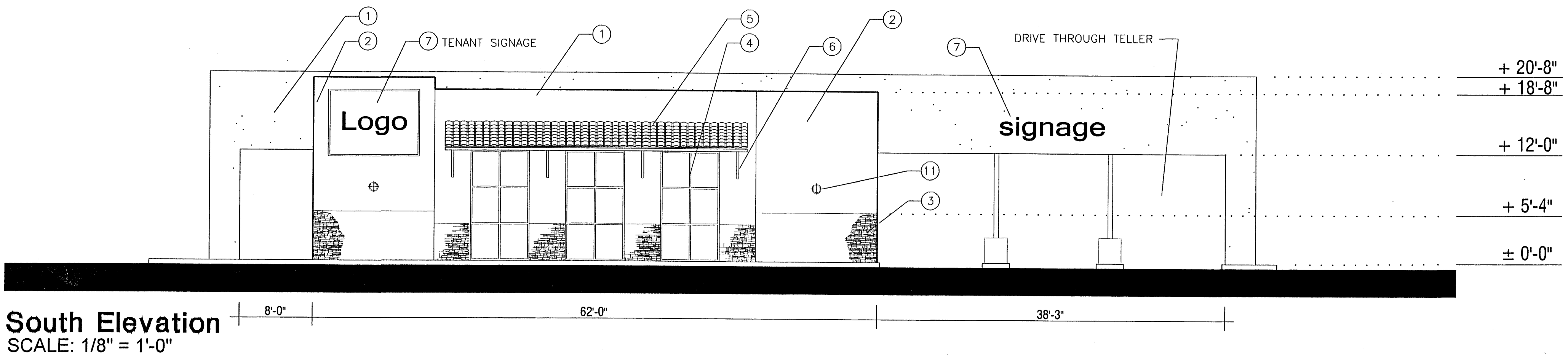
West Elevation
SCALE: 1/8" = 1'-0"



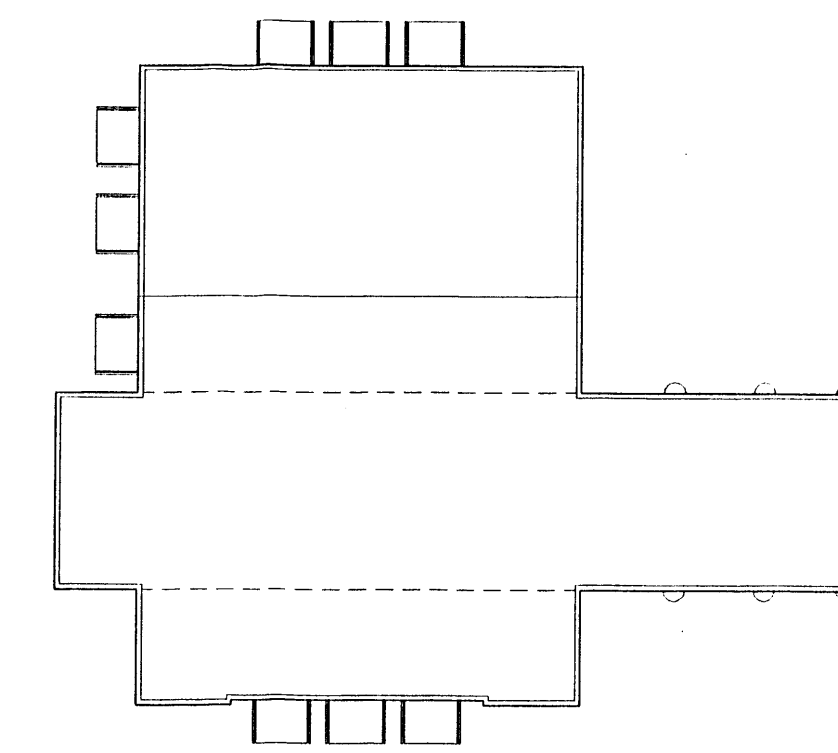
North Elevation
SCALE: 1/8" = 1'-0"



East Elevation
SCALE: 1/8" = 1'-0"



South Elevation
SCALE: 1/8" = 1'-0"

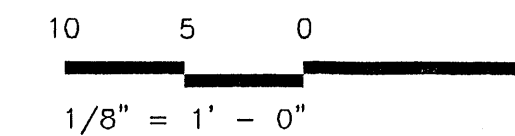


Reference Plan
NOT TO SCALE

Bank

Elevations for Site Development Plan for Building Permit

DRAWING SCALE:



KEYED NOTES (TYPICAL AT ALL ELEVATIONS):

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Ventura Place

HOLLY BOULEVARD AT VENTURA BOULEVARD AND PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO

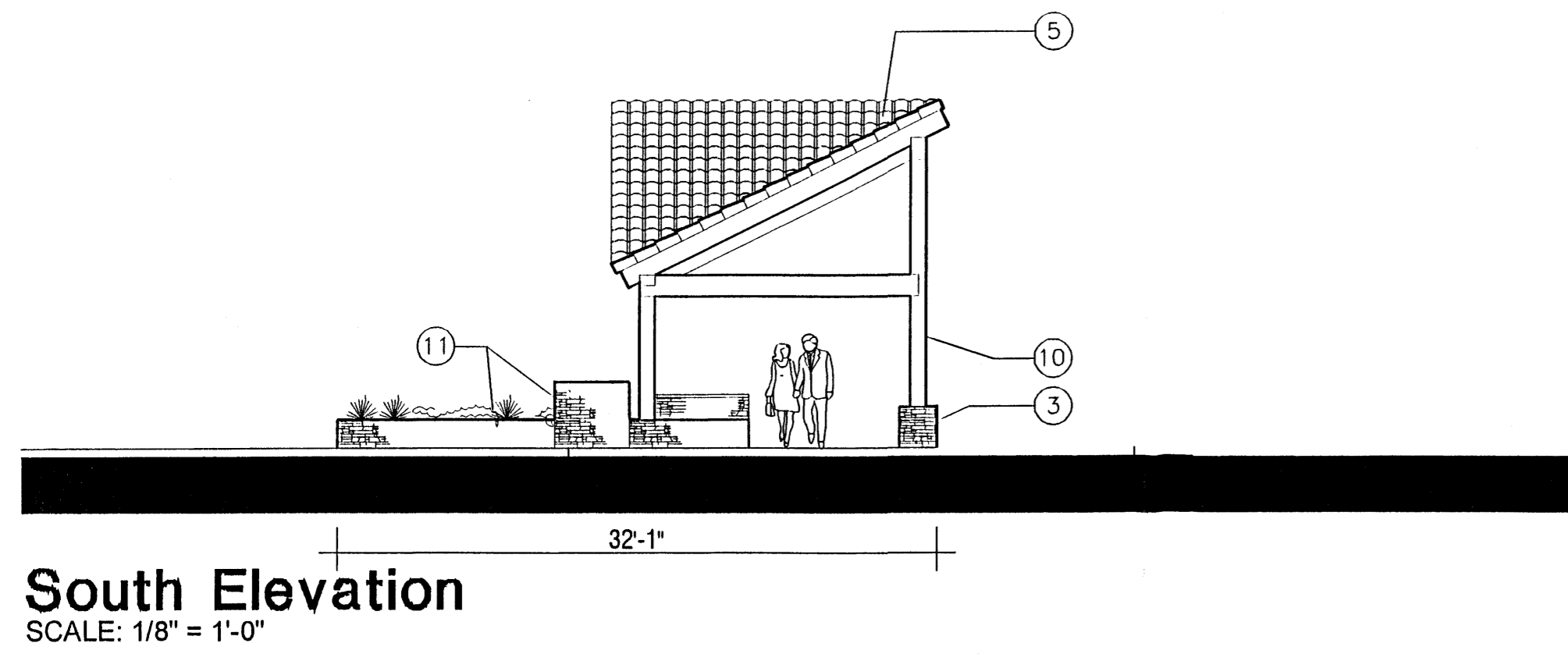
Briscoe Architects, p.c.

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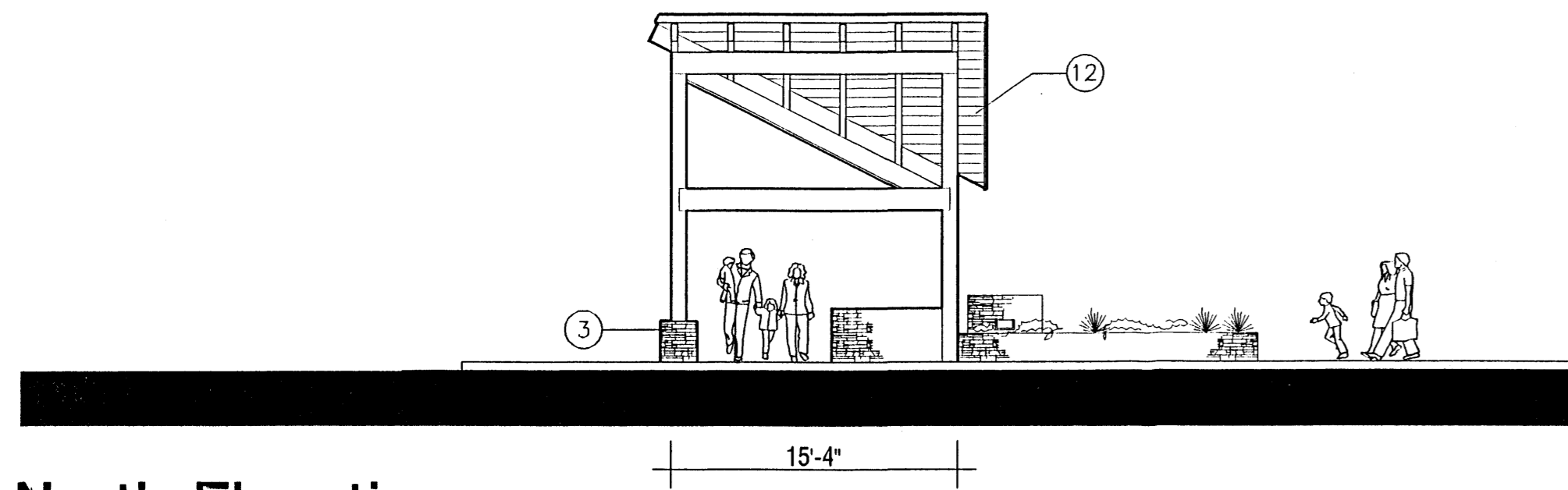
AUGUST 7, 2003

SHEET NO.

7.6

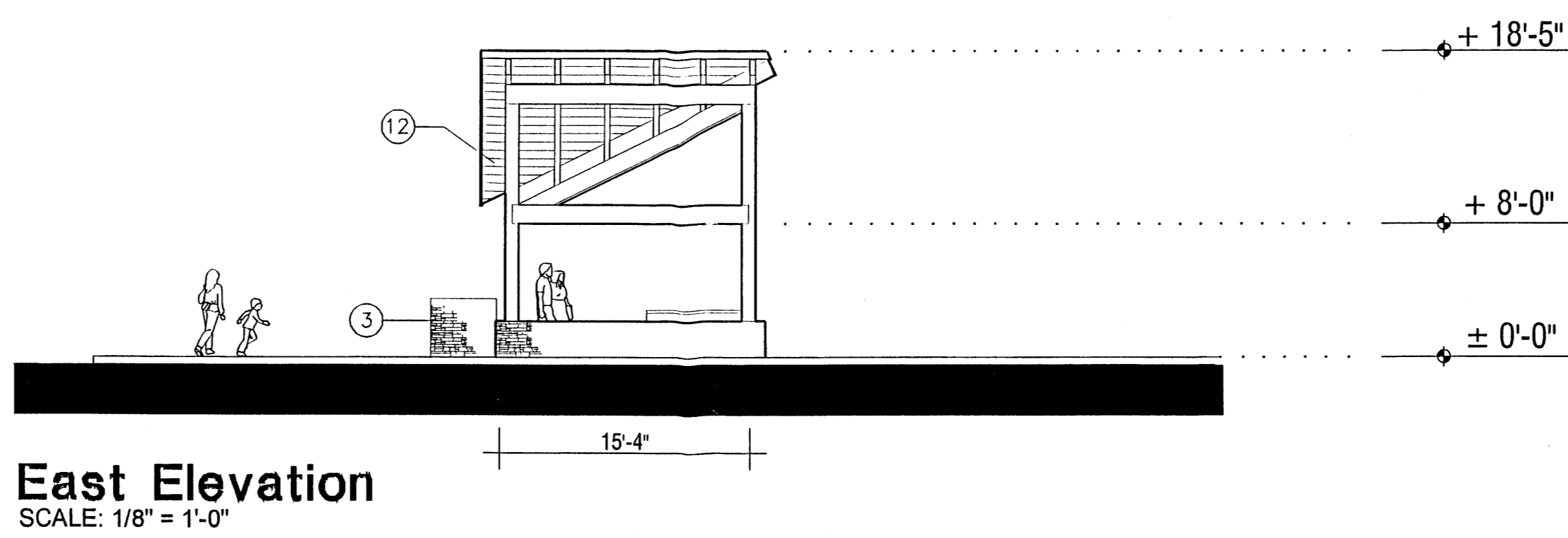


South Elevation
SCALE: 1/8" = 1'-0"

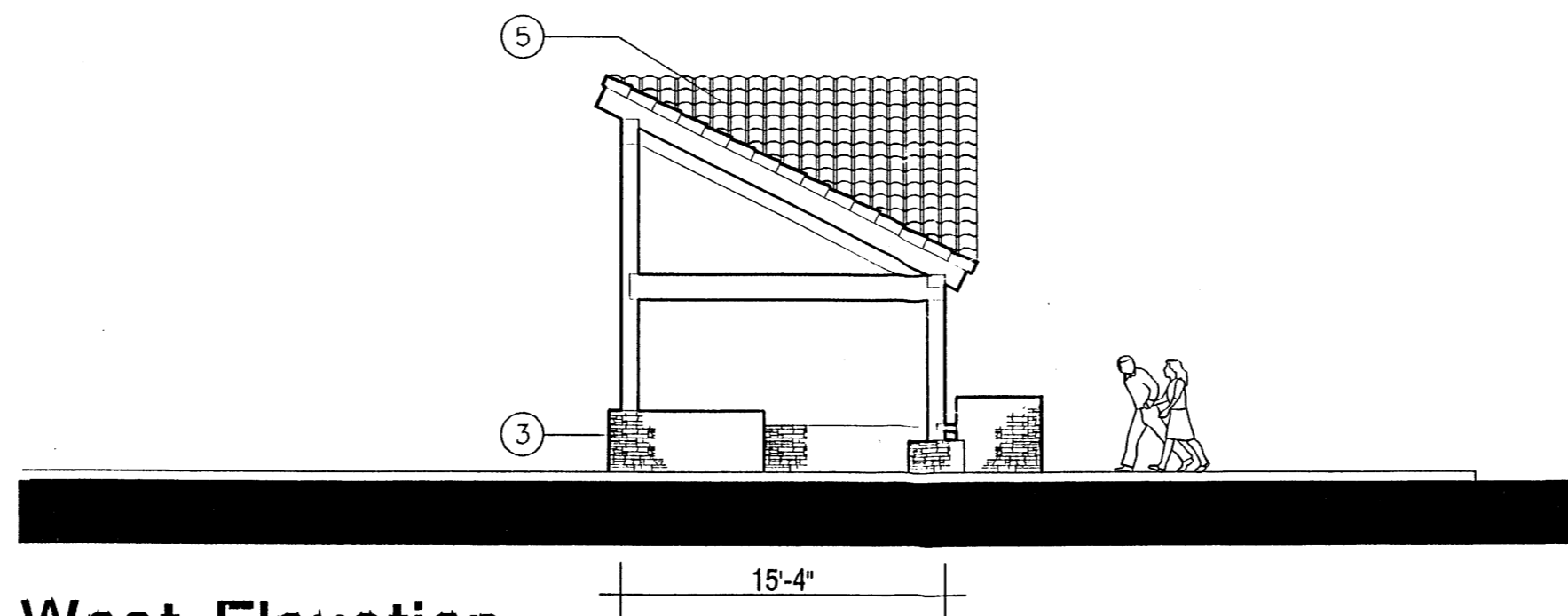


North Elevation
SCALE: 1/8" = 1'-0"

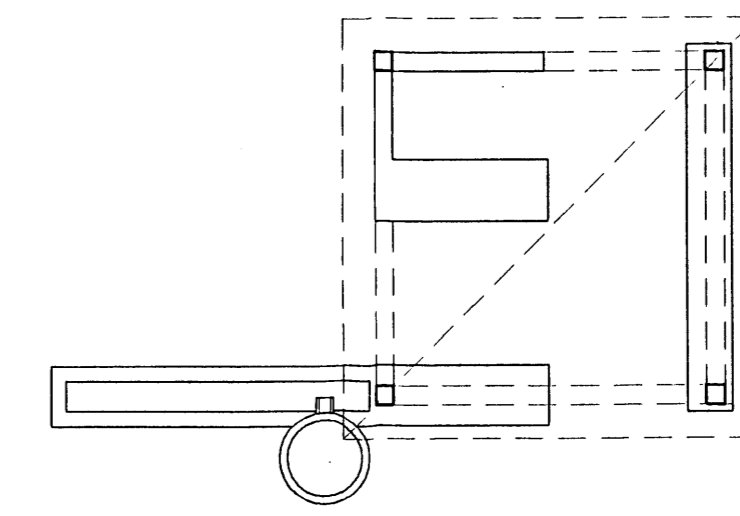
Public Activities Pavilion



East Elevation
SCALE: 1/8" = 1'-0"



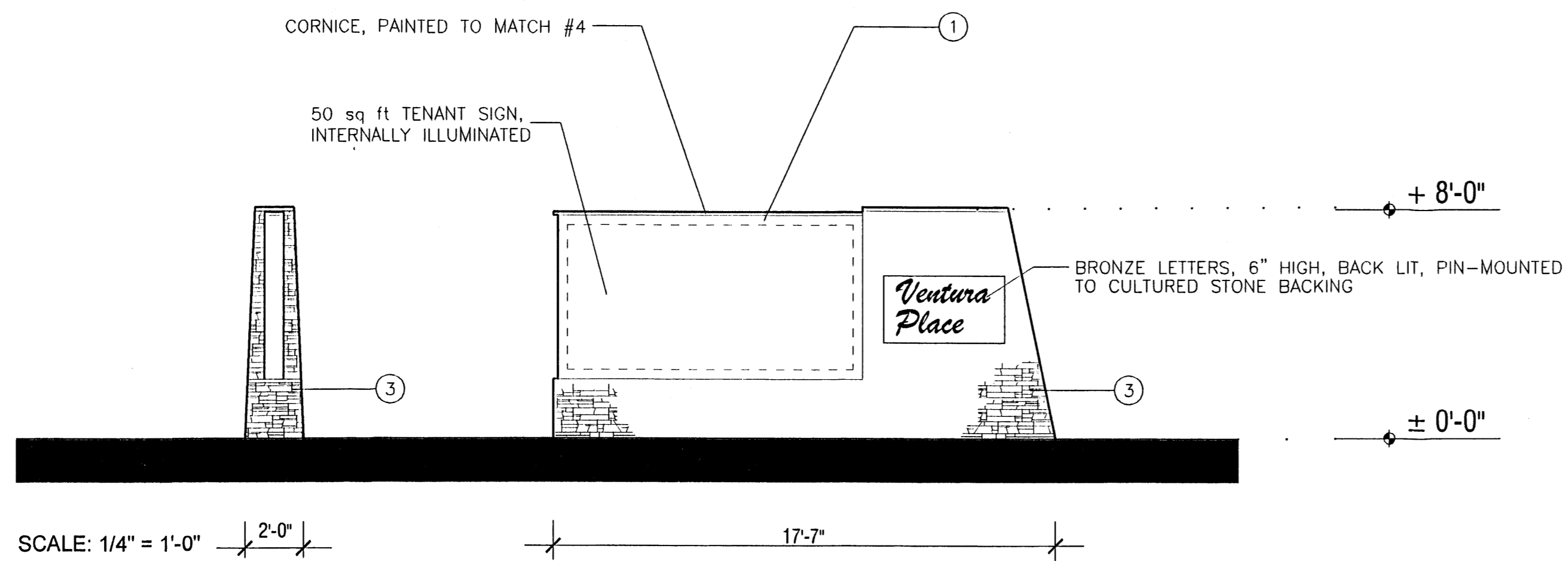
West Elevation
SCALE: 1/8" = 1'-0"



Reference Plan
NOT TO SCALE

Public Activities Pavilion and Monument Signage

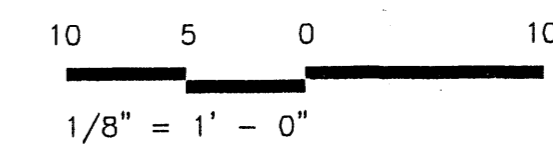
Elevations for Site Development Plan for Building Permit



SCALE: 1/4" = 1'-0"

TYPICAL AT ALL LOCATIONS, EXCEPT THAT SIGN AT WEST ENTRY FROM HOLLY IS LIMITED TO 6' HEIGHT AND WITHOUT INTERNAL ILLUMINATION

DRAWING SCALE:



KEYED NOTES (TYPICAL AT ALL ELEVATIONS):

1. ACRYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
2. ACRYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
3. STONE VENEER BY CULTURED STONE SHALE PRO-FIT LEDGE STONE PF #8601
4. ALUMINUM STOREFRONT WINDOW SYSTEM, FRAME COLOR TO MATCH BENJAMIN MOORE HC-1055
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10. 9" CORNICE, PAINTED TO MATCH WINDOWS
11. SURFACE-MOUNTED ACCENT LIGHTING, ALUMINUM AND GLASS, 12" DIAMETER, 75 WATTS EACH
12. TONGUE AND GROOVE, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55

Monument Signage

Ventura Place

HOLLY BOULEVARD AT VENTURA BOULEVARD AND PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO

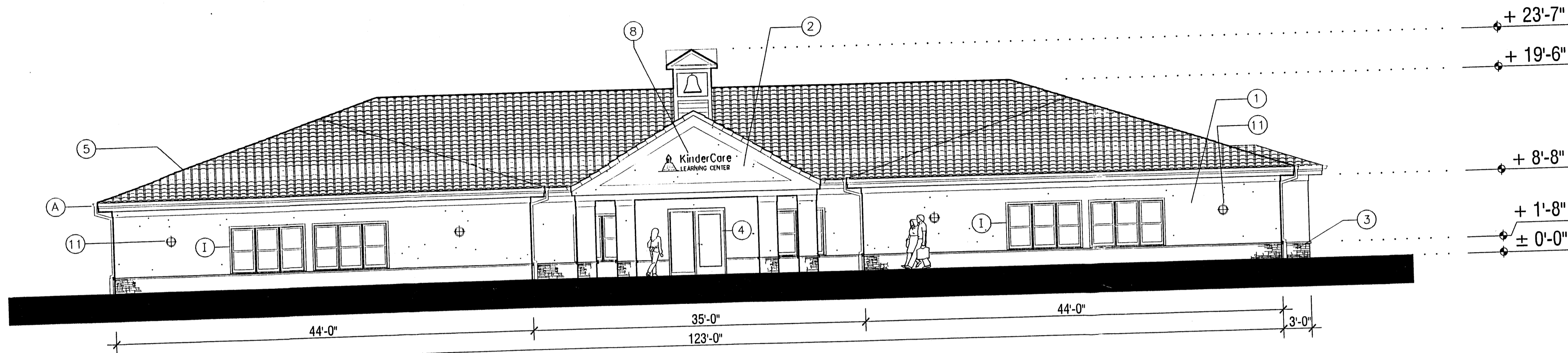
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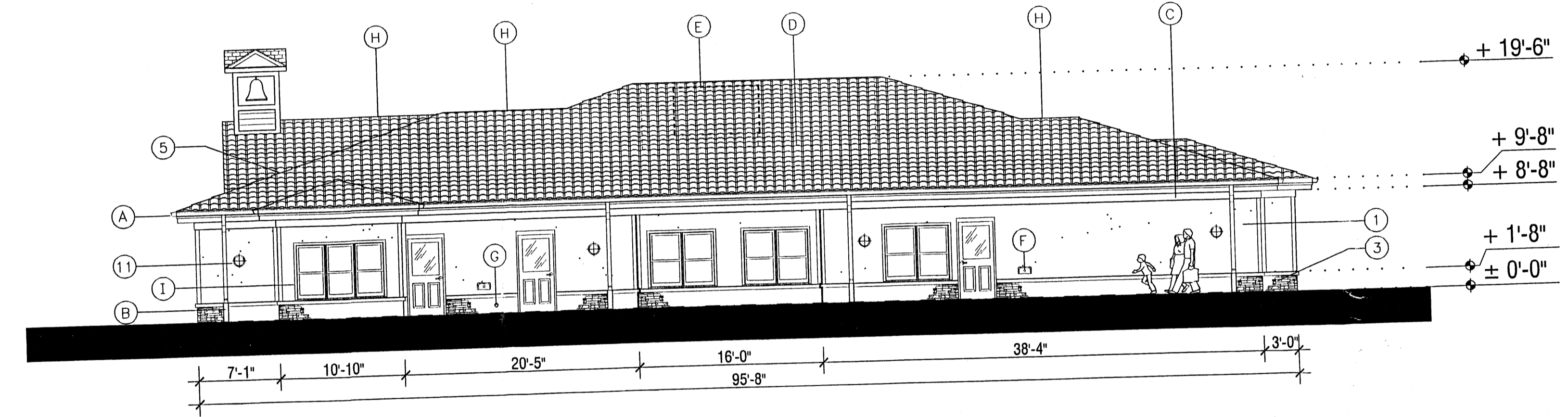
AUGUST 7, 2003

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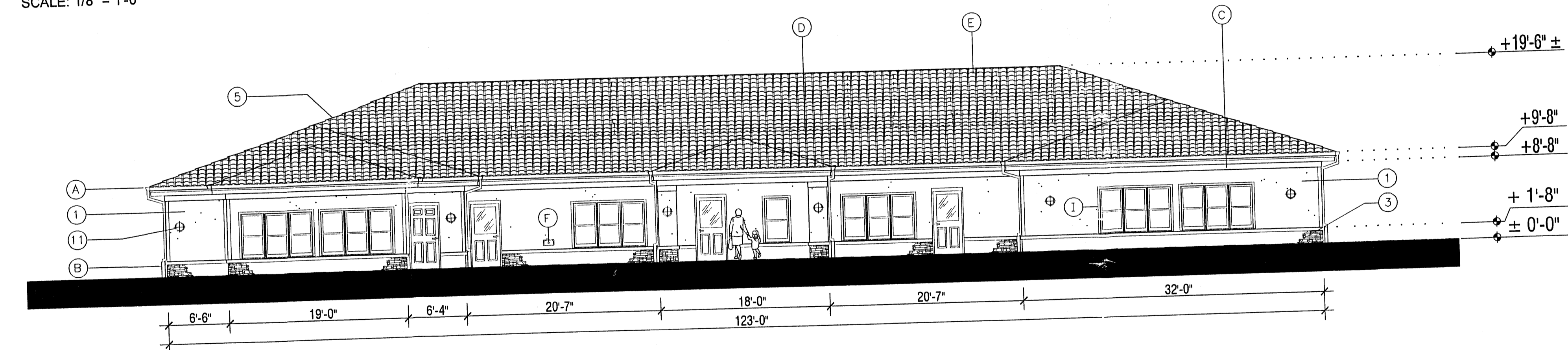
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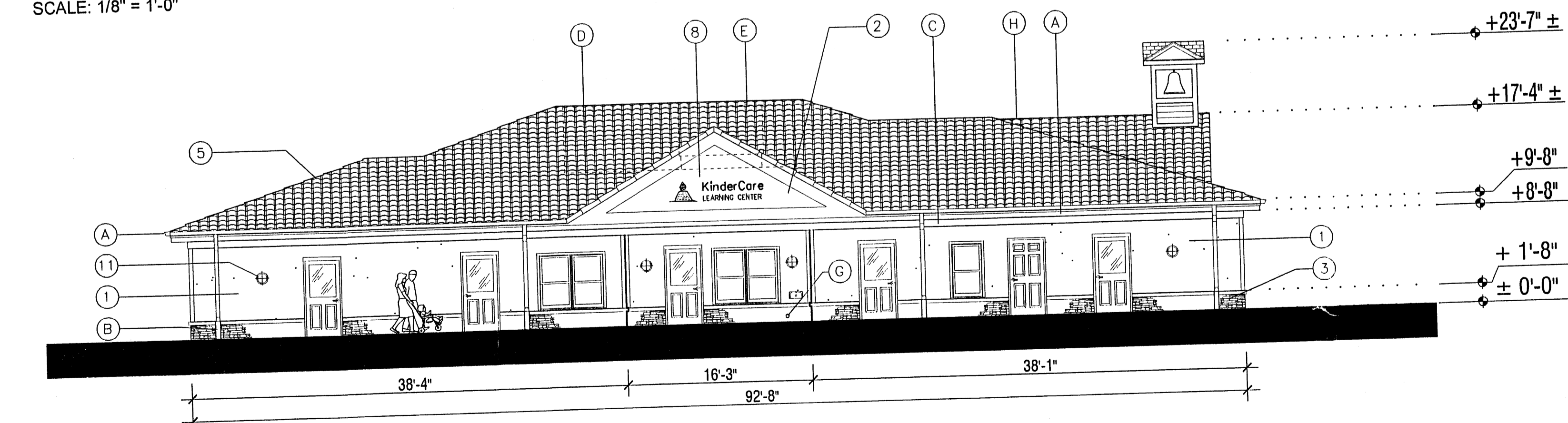
East Elevation
SCALE: 1/8" = 1'-0"



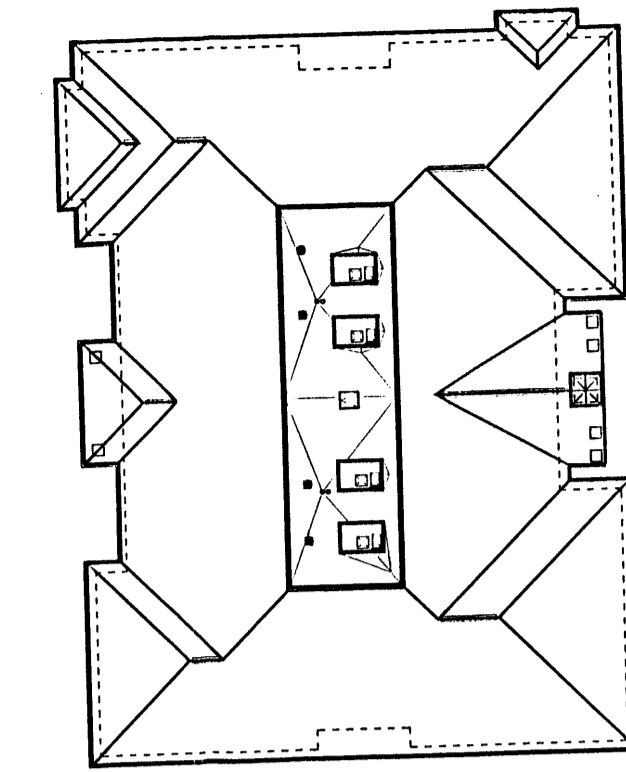
North Elevation
SCALE: 1/8" = 1'-0"



West Elevation
SCALE: 1/8" = 1'-0"



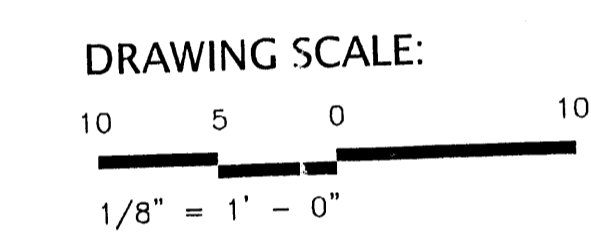
South Elevation
SCALE: 1/8" = 1'-0"



Reference Plan
NOT TO SCALE

Day Care Elevations

Elevations for Site Development Plan for Building Permit



KEYED NOTES (TYPICAL AT ALL ELEVATIONS):

1. ACRYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
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10. 9" CORNICE, PAINTED TO MATCH WINDOWS
11. SURFACE-MOUNTED ACCENT LIGHTING, ALUMINUM AND GLASS, 12" DIAMETER, 75 WATTS EACH

KEYED NOTES (DAY CARE ONLY):

- A. ALUMINUM GUTTER - COLOR: OLIVE TO MATCH BENJAMIN MOORE HC-1055
- B. DOWNSPOUT TIED INTO STORM DRAIN SYSTEM - COLOR: OLIVE TO MATCH BENJAMIN MOORE HC-1055
- C. WOOD TRIM - COLOR: OLIVE TO MATCH BENJAMIN MOORE HC-1055
- D. FLAT ROOF BEHIND FOR MECHANICAL EQUIPMENT
- E. ROOF TOP MECHANICAL UNIT (RTU)
- F. DRINKING FOUNTAIN MOUNTED 36" A.F.F. MAX TO BUBBLER
- G. ROOF DRAIN OVERFLOW OUTLET
- H. RIDGE VENT
- I. VINYL DOUBLE HUNG WINDOW (CLEAR TEMPERED GLASS), FRAME COLOR: OLIVE TO MATCH BENJAMIN MOORE HC-1055

Ventura Place

HOLLY BOULEVARD AT VENTURA BOULEVARD AND PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO

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AUGUST 7, 2003
SHEET NO.
7.8