

**PLAT OF
LOTS 1-A-1 AND 1-A-2
VENTURA PLACE**
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2011

PROJECT NO. 1002633
APPLICATION NO. 10 DRB-10146

UTILITY APPROVALS:

N/A	PNM ELECTRIC SERVICES	DATE
N/A	PNM GAS SERVICES	DATE
N/A	QWEST TELECOMMUNICATIONS	DATE
N/A	COMCAST	DATE

APPROVALS:

<i>[Signature]</i>	5-23-11
CITY SURVEYOR	DATE
<i>[Signature]</i>	06-02-11
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	06/01/11
ABCWUA	DATE
<i>[Signature]</i>	6/1/11
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	6-01-11
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	DATE
<i>[Signature]</i>	6-01-11
CITY ENGINEER	DATE
<i>[Signature]</i>	6-2-11
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SURVEYORS CERTIFICATE:
I, LEONARD MARTINEZ, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND ALSO MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
LEONARD MARTINEZ P.S. # 9801
DATE: 11/05/11

DOCH 2011051853
06/09/2011 02:31 PM Page: 1 of 1
PLAT R: \$7.00 B: 201110 P: 0057 M: Toulous Olivere, Bernalillo Cour

**SBS CONSTRUCTION
AND ENGINEERING, LLC**
P. O. BOX 10264
ALBUQUERQUE, NEW MEXICO 87184
(505)899-5570

DRAWING: 201109-PLAT DRAWN BY: SHH DATE: 03-22-2011

LEGAL DESCRIPTION:
A CERTAIN TRACT OF LAND SITUATE WITHIN PROJECTED SECTION 17, T. 11 N. R. 4 E. N.M.P.M., WITHIN ELENA GALLEGOS GRANT, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DESCRIBED TRACT COMPRISING OF THE FOLLOWING:

LOT NUMBERED ONE-A (1-A) VENTURA PLACE, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO, ON JANUARY 22, 2007 BK. 2007C, PG. 18;

SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID TRACT, A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF HOLLY AVE., NE., FROM WHENCE A TIE TO ACS MONUMENT "7-C19" BEARS N 26°23'45" W, A DISTANCE OF 3041.09 FEET; THENCE,

FROM SAID POINT OF BEGINNING S 89°38'42" E, 220.39 FEET TO AN ANGLE POINT; THENCE,

S 00°21'18" W, 401.83 FEET TO AN ANGLE POINT; THENCE,

S 85°28'34" W, 219.75 FEET TO AN ANGLE POINT; THENCE,

N 00°09'09" E, 185.99 FEET TO A POINT; THENCE,

N 00°10'05" E, 234.55 FEET TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; CONTAINING 2.0739 ACRES (90,340.00 SF) MORE OR LESS.

ACS MONUMENT "7-C19"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 1,550,417.138
Y = 1,522,068.520-NAD 1983
EL. = 5485.723-NAVD 1988
G-G = 0.999650745
DELTA ALPHA = -00° 10' 24.78"

DISCLOSURE STATEMENT:
THE PURPOSE OF THIS PLAT IS TO PLAT ONE LOT INTO TWO AND GRANT ANY EASEMENTS AS SHOWN.

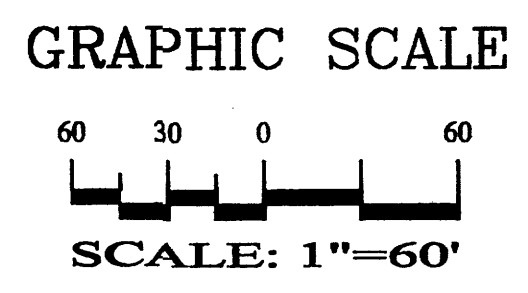
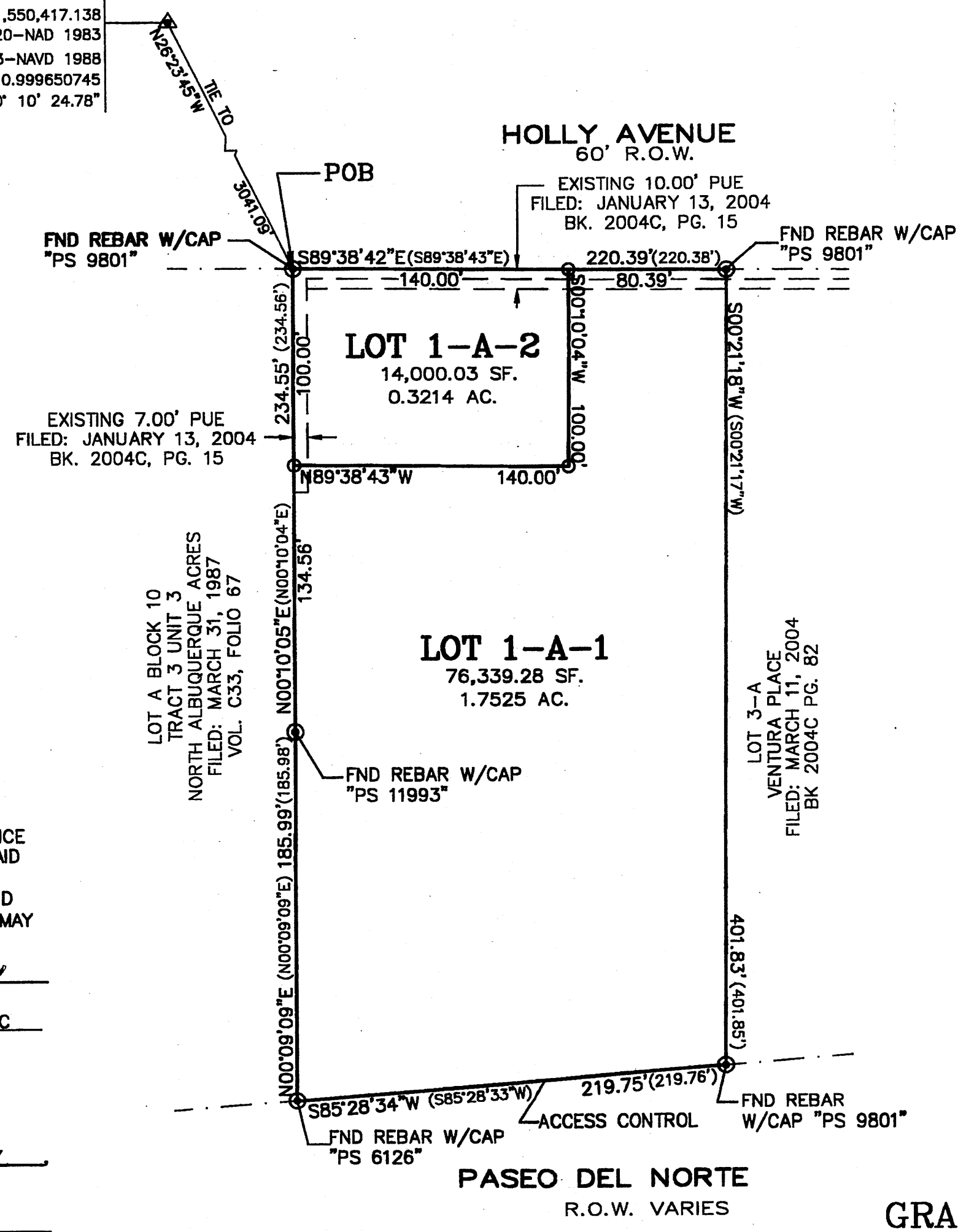
- GENERAL NOTES:**
- UNLESS NOTED, NO.4 REBAR WITH CAP STAMPED P.S. #9801 WERE SET AT ALL PROPERTY CORNERS.
 - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
 - BASIS OF BEARINGS IS NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD, 1983.
 - BEARINGS ARE GRID, DISTANCES ARE GROUND.
 - THIS PROPERTY LIES WITHIN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST, ELENA GALLEGOS GRANT, BERNALILLO COUNTY, NEW MEXICO.
 - SITE DATA: ZONING IS SU-1 MIXED USED.
 - THERE IS EXISTING BLANKET PRIVATE DRAINAGE, UTILITY, ACCESS, AND PARKING EASEMENT THAT WAS GRANTED BY PLAT FILED ON 1-13-2004, BK 2004C, PG. 15.
 - NUMBER OF EXISTING TRACTS/LOTS.....1 LOT
 - NUMBER OF TRACTS/LOTS CREATED.....2 LOTS
 - NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

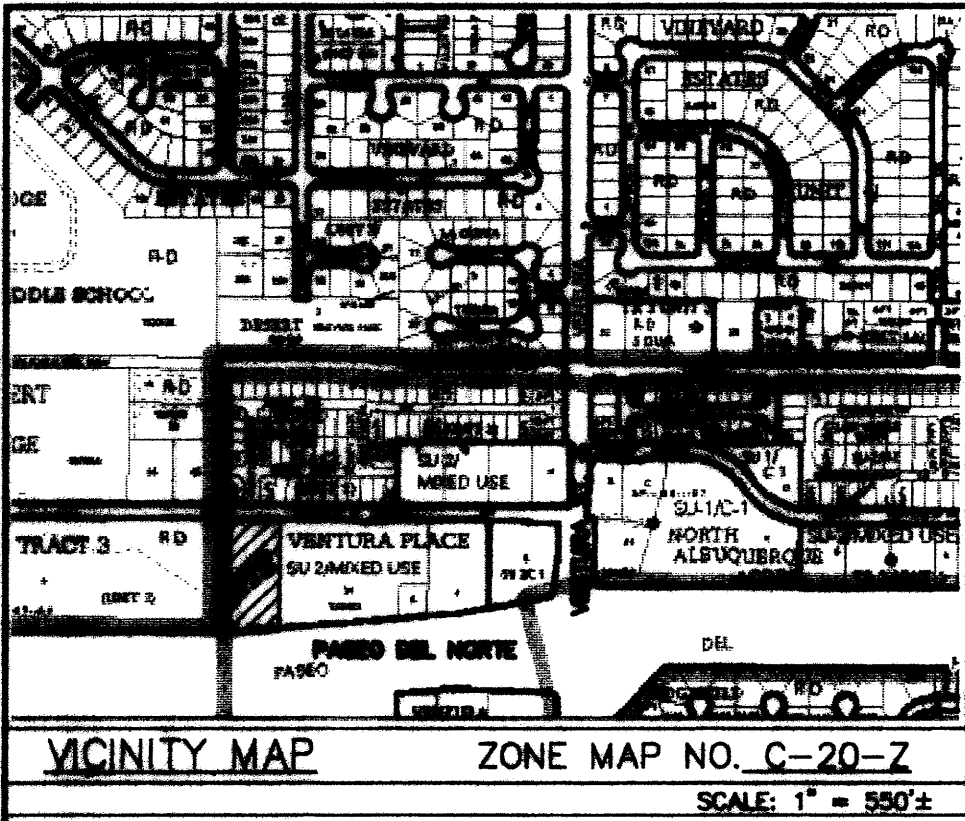
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC # 101206413502530122
PROPERTY OWNER OF RECORD: Ventura place llc
BERNALILLO CO. TREASURER'S OFFICE: RTB 6-3-11

FREE CONSENT
THE SUBMISSION HEREON DESCRIBED IS WITH THE FREE CONSENT IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER(S) / PROPRIETOR(S) DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT.
OWNER(S) SIGNATURE: *[Signature]* DATE: 5/13/11
OWNER(S) PRINT NAME: JACK F. ZOLLER, MANAGING MEMBER OF NM VENTURA, LLC

ACKNOWLEDGMENT
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 13 DAY OF MAY
20 11, BY JACK F. ZOLLER MANAGING MEMBER OF NM VENTURA, LLC

[Signature]
NOTARY
MY COMMISSION EXPIRES: 5/20/11





LEGAL DESCRIPTION:

A CERTAIN TRACT OF LAND SITUATE WITHIN PROJECTED SECTION 17, T. 11 N. R. 4 E. N.M.P.M., WITHIN ELENA GALLEGOS GRANT, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DESCRIBED TRACT COMPRISING OF THE FOLLOWING:

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FROM SAID POINT OF BEGINNING S 89°38'42" E, 220.39 FEET TO AN ANGLE POINT; THENCE,

S 00°21'18" W, 401.83 FEET TO AN ANGLE POINT; THENCE,

S 85°28'34" W, 219.75 FEET TO AN ANGLE POINT; THENCE,

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 DELTA ALPHA = -00° 10' 24.78"

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- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 4: BASIS OF BEARINGS IS NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD, 1983.
- 5: BEARINGS ARE GRID, DISTANCES ARE GROUND.
- 6: THIS PROPERTY LIES WITHIN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST, ELENA GALLEGOS GRANT, BERNALILLO COUNTY, NEW MEXICO.
- 7: SITE DATA: ZONING IS SU-1 MIXED USED.
- 8: THERE IS EXISTING BLANKET PRIVATE DRAINAGE, UTILITY, ACCESS, AND PARKING EASEMENT THAT WAS GRANTED BY PLAT FILED ON 1-13-2004, BK 2004C., PG. 15.
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THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____

PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____

FREE CONSENT

THE SUBMISSION HEREON DESCRIBED IS WITH THE FREE CONSENT IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER(S) / PROPRIETOR(S) DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT.

OWNER(S) SIGNATURE: Jack F. Zoller DATE: 5/13/11

OWNER(S) PRINT NAME: JACK F. ZOLLER, MANAGING MEMBER OF NM VENTURA, LLC

ACKNOWLEDGMENT

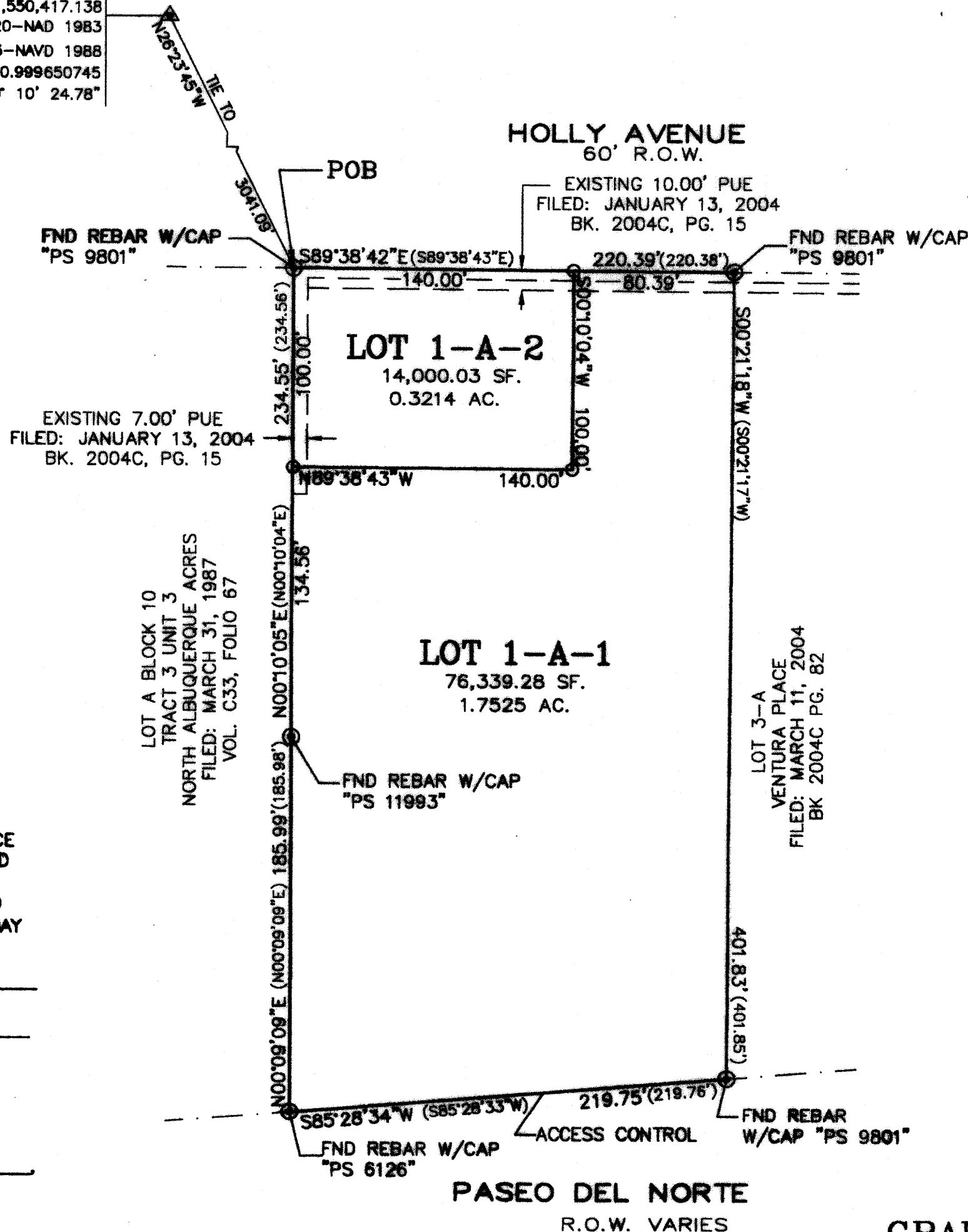
STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) S.S.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 13 DAY OF MAY

20 11, BY JACK F. ZOLLER MANAGING MEMBER OF NM VENTURA, LLC

[Signature]
 NOTARY

MY COMMISSION EXPIRES: [Stamp]



**PLAT OF
 LOTS 1-A-1 AND 1-A-2
 VENTURA PLACE**

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 MAY, 2011

PROJECT NO. 1002633

APPLICATION NO. _____

UTILITY APPROVALS:

N/A	DATE
PNM ELECTRIC SERVICES	
N/A	DATE
PNM GAS SERVICES	
N/A	DATE
QWEST TELECOMMUNICATIONS	
N/A	DATE
COMCAST	

APPROVALS:

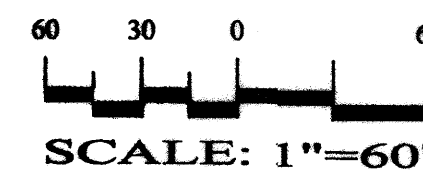
<u>[Signature]</u>	<u>5-23-11</u>	DATE
CITY SURVEYOR		
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION		DATE
ABCNUA		DATE
PARKS AND RECREATION DEPARTMENT		DATE
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY		DATE
CITY ENGINEER		DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT		DATE

SURVEYORS CERTIFICATE:

I, LEONARD MARTINEZ, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND ALSO MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature] 10/05/11
 LEONARD MARTINEZ P.S. # 9801 DATE

GRAPHIC SCALE



**SBS CONSTRUCTION
 AND ENGINEERING, LLC**

P. O. BOX 10264
 ALBUQUERQUE, NEW MEXICO 87184
 (505)899-5570

SITE DATA

PROPOSED USAGE: RETAIL/RESTAURANT/BANK
 LOT AREA: 447,657.43 S.F. (10.2768 AC.)
 BUILDING AREA: 97,119 S.F.

PARKING CALCULATIONS:

PARKING REQUIRED:
 RETAIL/BANK: 87,158 GSF/ 200 GSF 436 PARKING
 RESTAURANT (JINJA): 8,661 GSF/ 200 GSF 69 PARKING
 RESTAURANT (SAXBY'S): 1,300 GSF/ 200 GSF 22 PARKING

TOTAL PARKING: 527 SPACES

PARKING REDUCTION:

10% WITHIN 300' OF TRANSIT SYSTEM (ROUTE #91): 53 SPACES
 5% SITE GREATER THAN 5 ACRES: 26 SPACES
 10% MIXED USES/SHARED PARKING: 53 SPACES

TOTAL PARKING REDUCTION: 132 SPACES

TOTAL PARKING REQUIRED: 395 SPACES

TOTAL PARKING PROVIDED: 527 SPACES

HC PARKING REQUIRED: 8 SPACES (2 VAN)

HC PARKING PROVIDED: 24 SPACES (2 VAN)

BICYCLE SPACES REQUIRED: 16 SPACES

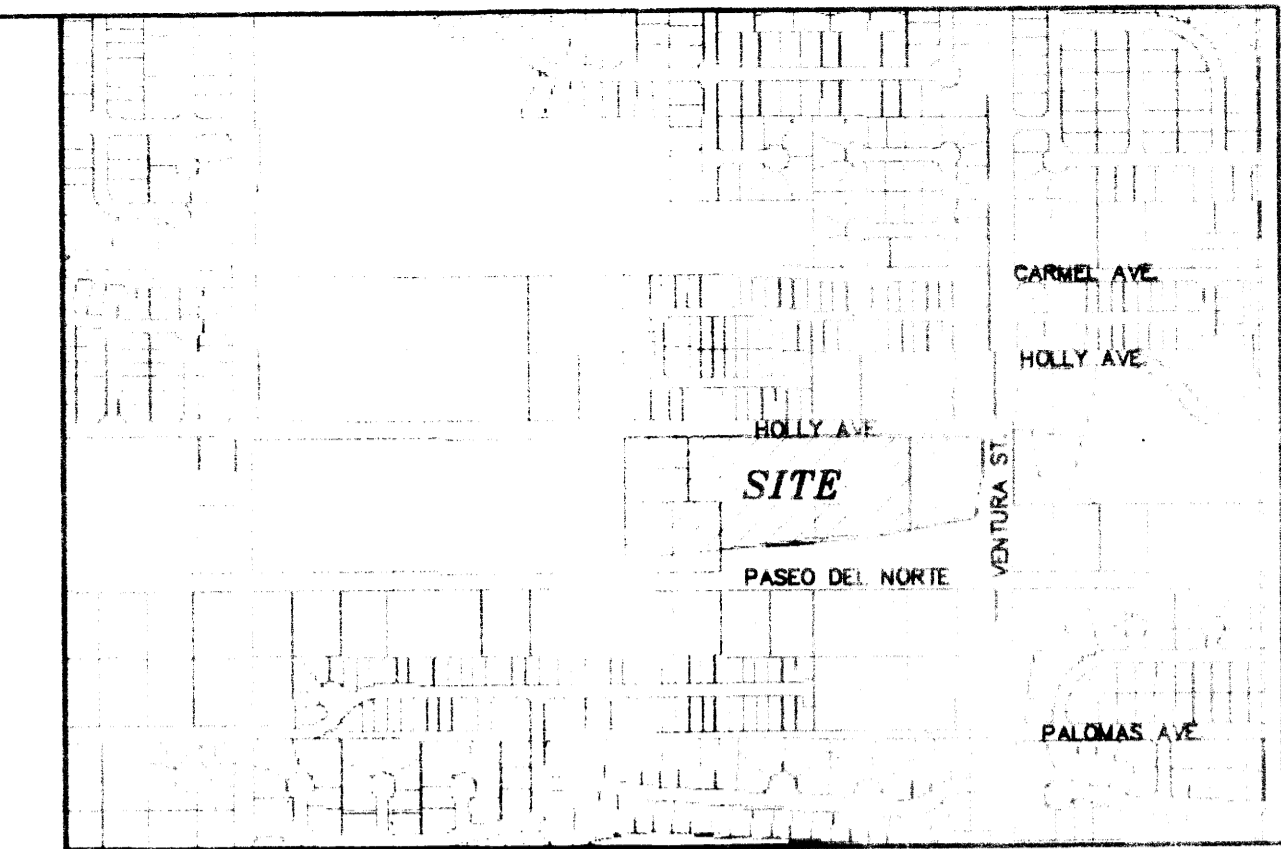
BICYCLE SPACES PROVIDED: 20 SPACES

GENERAL NOTES:

1. SITE LIGHTING WILL CONSIST OF BUILDING-MOUNTED OR STEEL POLE SEE BELOW FOR SITE LAYOUT AND TYPE.
2. THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN. THE MONUMENT SIGN SIZE SHALL NOT EXCEED 50 SQUARE FEET AND THE HEIGHT SHALL NOT EXCEED 8.00' (SEE ELEVATION SHEET 7.7 FOR DETAIL).
3. THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
4. CURRENT ZONING CURRENT IS SU-1 MIXED USED.
5. WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
6. BUILDINGS:
 BUILDING HEIGHT: BUILDING STRUCTURE SHALL NOT EXCEED 36 FEET IN HEIGHT.
 BUILDING TYPES AND COLORS: SEE ELEVATION PLANS, SHEETS 7.1 THRU 7.8.
7. THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
8. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
9. SITE PLAN FOR BUILDING PERMIT SHALL REQUIRE TO MEET THE SIGNAGE REQUIREMENTS OF C-1 ZONING SECTION 16-14-2-16-A-11 AND NOT NECESSARILY AS THOSE SHOWN ON THE SITE PLAN FOR BUILDING PERMIT.
10. MAINTENANCE OF PUBLIC OPEN SPACE AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

NOTES:

1. 8" CONCRETE CURB FOR SIDEWALK, DRIVEWAY
2. LANDSCAPING AREA
3. HC ACCESSIBLE SIDEWALK RAMP
4. NEW ASPHALT PAVING AREA
5. 6" WIDE TEXTURED CONCRETE SIDEWALK
6. NEW TURN DOWN SIDEWALK
7. 6" WIDE ASPHALT PAVED DRIVEWAY
8. NEW 4" SIDEWALK PER ADA 2010, ADA 2010
9. EXISTING 6" SIDEWALK
10. EXISTING DRIVE WAY CUTTER
11. 8" C&G RAMP FOR DRIVEWAY TO TRASH WASTE DEPARTMENT STATION
12. EXISTING CURB AND GUTTER
13. EXISTING POWER POLE
14. FUTURE CURB AND GUTTER
15. EXISTING UNIDIRECTIONAL WHEELchair RAMP
16. 8" WIDE X 20" DEEP PARKING SPACES
17. 9" WIDE X 18" DEEP PARKING SPACES
18. HANDICAP SIGN AND ADA COMPLIANT
19. BICYCLE RAMP
20. TAN SPLIT FACE BLOCK CURB HEIGHT NOT TO EXCEED 8"
21. MONUMENT SIGN, REFER TO ELEVATION SHEET
22. TRANSFORMER
23. CART RETURN

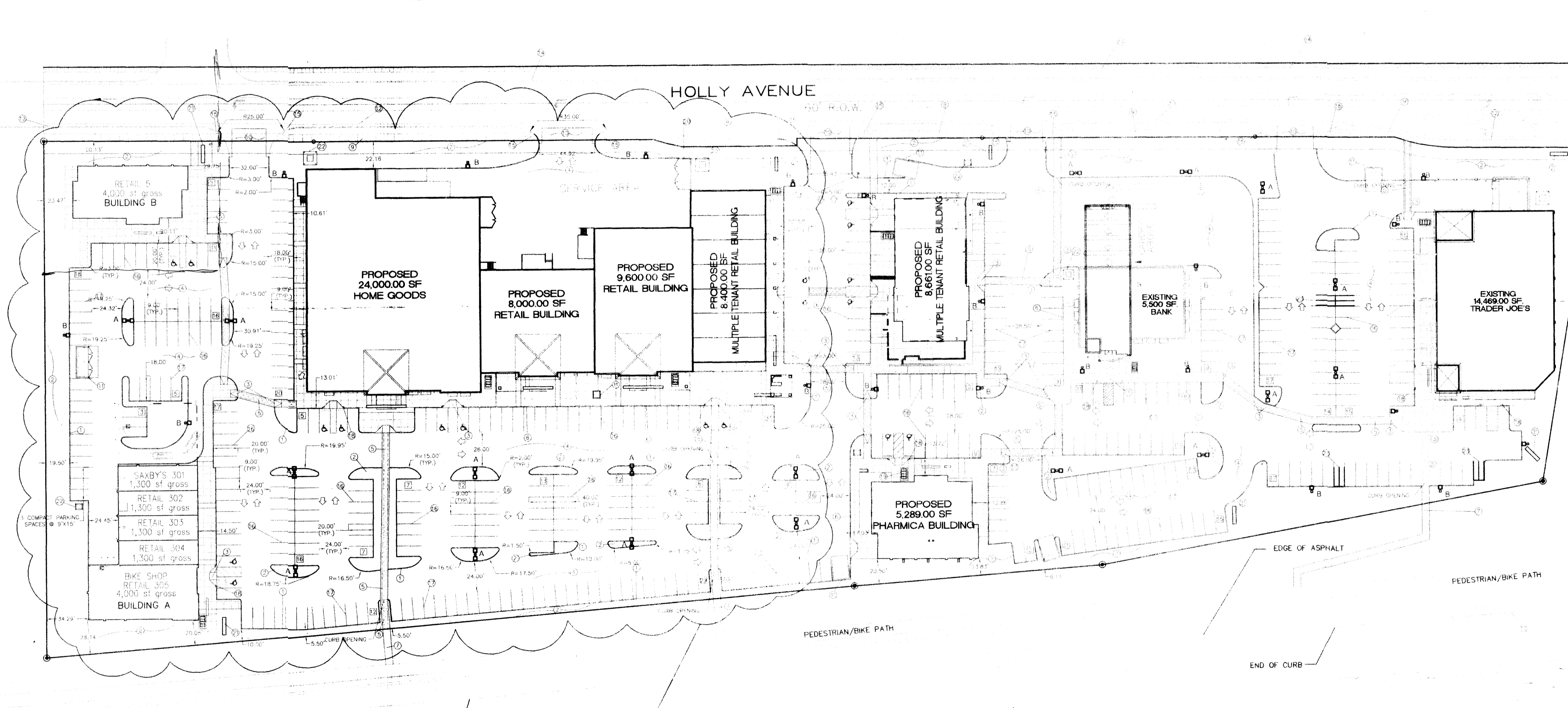


VICINITY MAP:

C-20-Z

LEGAL DESCRIPTION:

LOTS 1, 2-A, 3-A, 4, 5, AND 6, VENTURA PLACE
 CONTAINING 440,300.14 S.F. (10.31655 ACRE).
 ZONING SU-1/C-1



2633 / 2756

SHEET INDEX

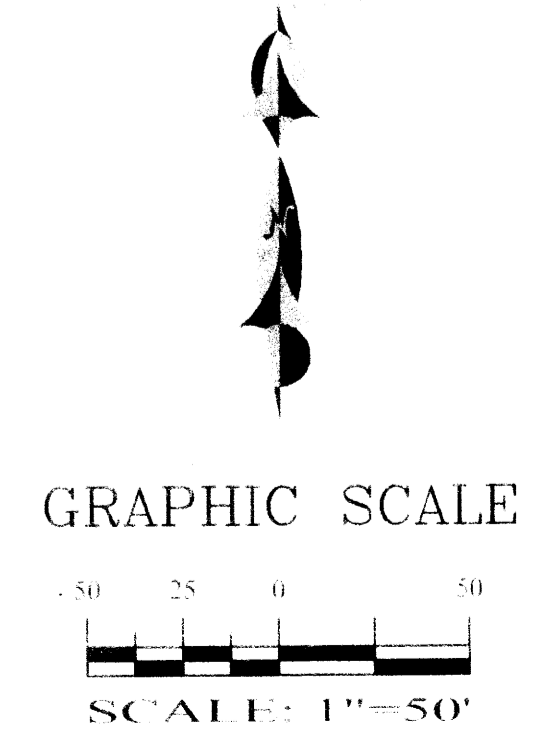
1. AMENDED SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPING PLAN
- 3.0 ELEVATION BUILDING A
- 3.1 ELEVATION BUILDING B

SITE LIGHTING SCHEDULE					
Symbol	Label	Qty	Catalog Number	Description	Lamp
	A	10	AS2 250M SR4W	ARCHITECTURAL ARM MOUNTED CUTOFF LUMINAIRE WITH SR4W REFLECTOR	ONE 250-WATT CLEAR ED-28 METAL HALIDE HORIZONTAL POSITION W/FULL CUTOFF
	B	34	AS2 250M SR4W	ARCHITECTURAL ARM MOUNTED CUTOFF LUMINAIRE WITH SR4W REFLECTOR	ONE 250-WATT CLEAR ED-28 METAL HALIDE HORIZONTAL POSITION W/FULL CUTOFF
	C	2	TWA 70M	WALLPACK W/SPECULAR REFLECTOR PRISMATIC LENS	ONE 70-WATT CLEAR ED-17 METAL HALIDE TILTED 22-DEG W/FULL CUTOFF

LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30' WHEN MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE AND AT NO TIME SHALL THE HEIGHT OF A LIGHT POLE EXCEED 16' WITHIN 100' OF RESIDENTIAL ZONE.

LEGEND

- BOUNDARY LINE
- BUILDING
- PROPOSED CURB
- FUTURE CURB & GUTTER
- EXISTING CURB & GUTTER
- NUMBER OF PARKING SPACES
- FIXTURE SITTING WITH PLANTER FOR DECIDUOUS TREE
- SIDEWALK
- TREE LOCATION
- PAINTED COMPACT PARKING



4418 ANHEIM AVENUE, SUITE 100
 ALBUQUERQUE, NEW MEXICO 87110
 (505) 884-5330

VENTURA PLACE AMENDED SITE PLAN FOR BUILD. PERMIT			
DRAWING 200620/URK/ST/DAV	DRAWN BY SHH	DATE 08-24-08	SHEET # 1 OF 3

SITE DATA

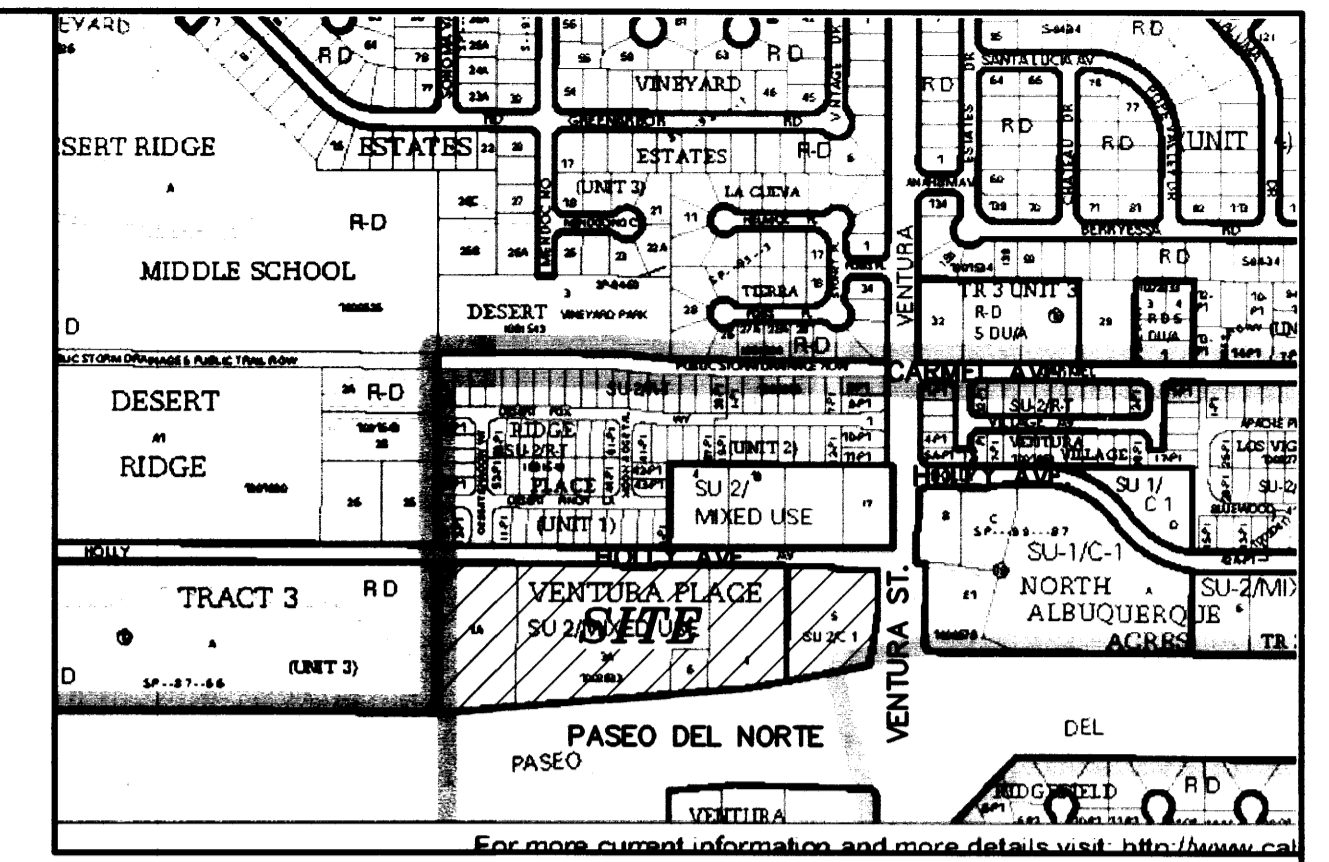
PROPOSED USAGE: RETAIL/OFFICE/BANK/RESTAURANT
 LOT AREA: 449,389.14 S.F. (10.3165 ACRE)

LOT NO.	AREA
LOT 1-A-1	76,339.28 S.F.
LOT 1-A-2	14,000.03 S.F.
LOT 3-A	193,438.41 S.F.
LOT 4	76,230.00 S.F.
LOT 5	76,230.00 S.F.
LOT 6	12,506.68 S.F.

NOTES:

1. EXISTING CURB AND GUTTER.
2. EXISTING 6" SIDEWALK PER COA.
3. EXISTING DRIVE WAY ENTRANCE
4. EXISTING POWER POLE.
5. EXISTING WHEELCHAIR RAMP.
6. STANDARD CURB PER COA.

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____



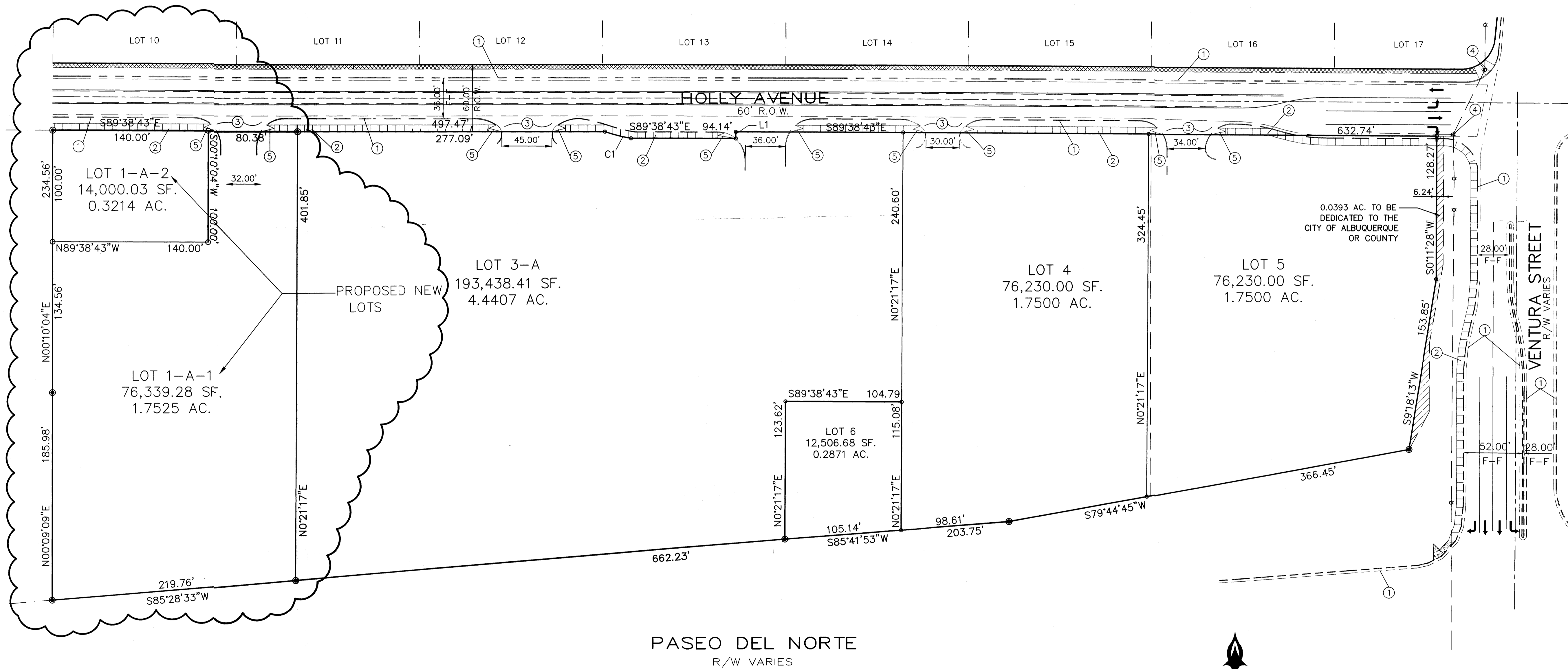
VICINITY MAP: C-20-Z

LEGAL DESCRIPTION:

LOTS 1-A, 2-A, 3-A, 4, 5, AND, 6 VENTURA PLACE
 CONTAINING 440,300.14 S.F. (10.3105 ACRE)
 ZONING SU1-U

LEGEND

- BOUNDARY LINE
- PROPOSED CURB
- FUTURE CURB & GUTTER
- EXISTING CURB & GUTTER



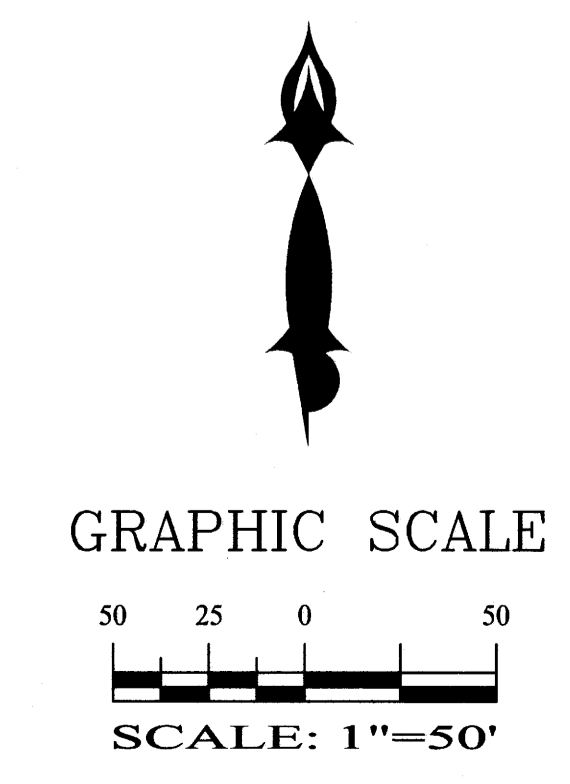
ADMINISTRATIVE AMENDMENT
 FILE # 11-10043 PROJECT # 1002633
 Subdivide lot 1-A into 2 lots
 M. A. M... 5/25/11
 APPROVED BY DATE

SBS CONSTRUCTION AND ENGINEERING, LLC

P. O. BOX 10264
 ALBUQUERQUE, NEW MEXICO 87184
 (505)899-5570

FOR INFORMATION ONLY:
 EXISTING HOLLY AVENUE, ON THE WEST SIDE OF VENTURA STREET, MAY BE RE-ALIGNED TO THE NORTH WITH EXISTING HOLLY AVENUE, ON THE EAST SIDE OF VENTURA STREET, IN THE FUTURE. IN THE EVENT THAT HOLLY AVENUE IS RE-ALIGNED, THE CURRENT ALIGNMENT/ACCESS OF HOLLY AVENUE AT VENTURA STREET WILL REMAIN AS A SITE DRIVE.

NOTES:
 THE PURPOSE OF THIS SITE PLAN FOR SUBDIVISION IS TO SUBDIVIDE LOT 1-A INTO TWO LOTS (LOTS 1-A-1 AND 1-A-2)



VENTURA PLACE AMENDED SITE PLAN FOR SUBDIVISION			
DRAWING: 201109-AMENDED-SP.DWG	DRAWN BY: SH-B	DATE: 03-22-2011	SHEET # 1 OF 1