

1 Amendment is to expand the building by 5,398 SF, to add parking to accommodate the building expansion, and refined site circulation per comments from City Transportation Development.

LIGHT POLES
 * 16 Foot
 ** 20 Foot

TRAMWAY HIGHLANDS SUBDIVISION

EXISTING RESIDENTIAL

MOUNTAINSIDE PARKWAY NE
 (ROW VARIES / 36' F-F)

EXTEND EXISTING WALL TO PROPERTY CORNER (SEE NOTE 4)

EXISTING RAISED MEDIAN

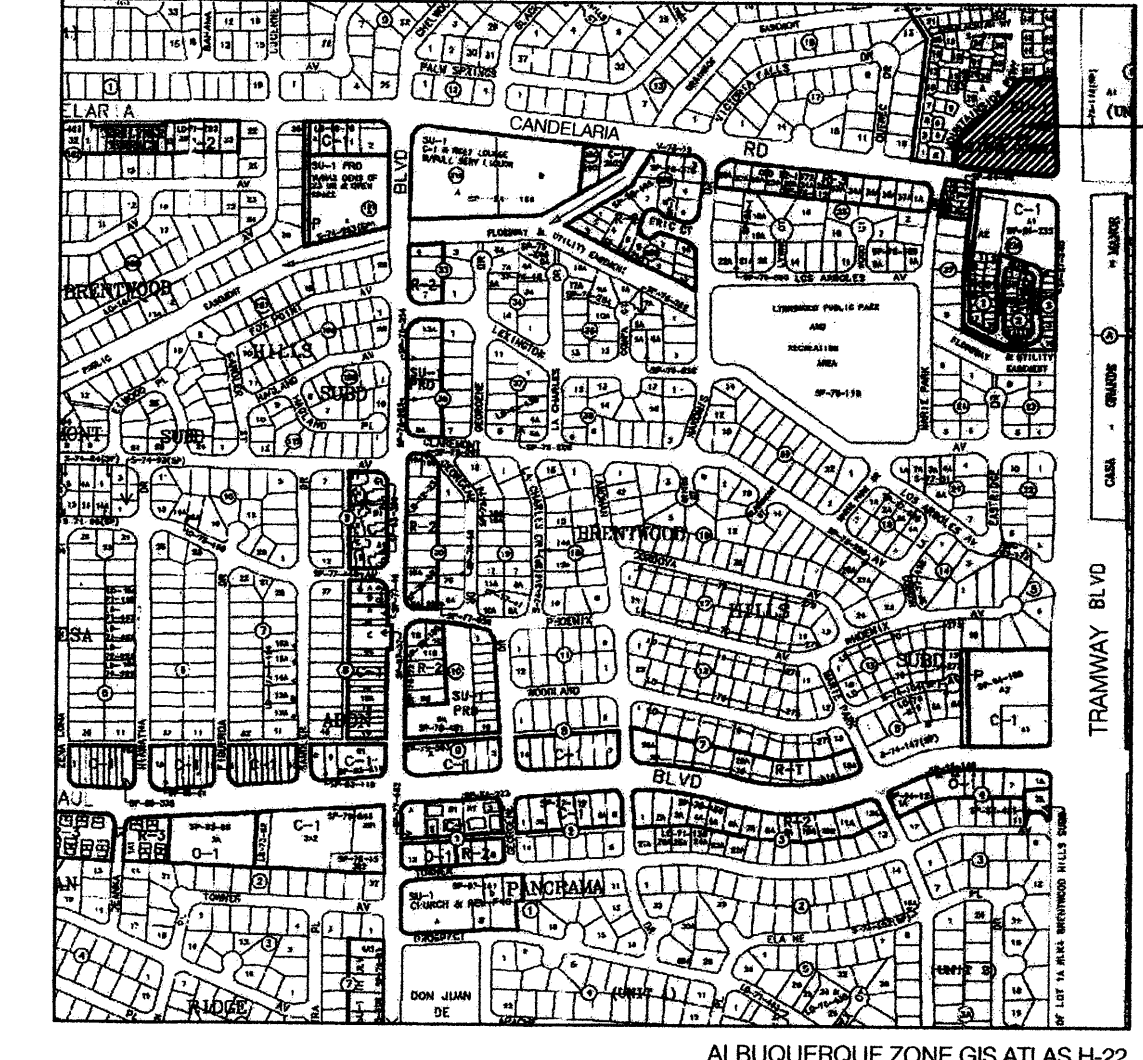
EXISTING RETAINING WALL

NEW EXPANSION
 5,398 SQ. FT
 F.F. ELEV. = 5793.50

EXISTING BUILDING
 F.F. ELEV. = 5793.50

TRAMWAY BOULEVARD NE. (R/W VARIES)

VICINITY MAP



SITE



PROJECT
 Location:
 Northwest corner of Candelaria and Tramway
 Albuquerque, New Mexico

SITE DATA
 Legal Description: Tract 1, Section 3, T10N, R4E
 Current Zoning: SU-1 Neighborhood Commercial
 Proposed Zoning: SU-1 for C-1 Permissive + Conditional Uses

Site Area = 109,684 SF / 2.518 Acres
 Existing Building Area = 15,813 SF GFA
 Proposed Expansion = 5,398 SF GFA
 Total Building Area = 19,211 SF GFA

Parking Requirements
 1 space per 200 SF (First 15,000 SF) = 15
 1 space per 250 SF (Additional 3,202 SF) = 13
 1 space per 4 seats (18) = 5
 Minus 10% Transit = 10
 Total Required = 84 Spaces, including 2 motorcycle spaces
 Total Provided = 96 Spaces
 Accessible Required = 4 Spaces; Provided = 4 Spaces
 Bicycle Parking Required = 5 Spaces; Provided = 5 Spaces

- NOTES:**
- 1) Uses allowed within this Site shall be limited to those uses listed as permissive and conditional in Sec. 14-16-2-16, C-1 Neighborhood Commercial zone, of the Comprehensive City Zoning Code.
 - 2) The Site shall meet the requirements of Sec. 14-16-3-9, Area Lighting Regulations, of the Comprehensive City Zoning Code. Area Light Fixtures within 10' feet of residential areas shall not exceed 16 feet in height, 20 feet in height in other areas. Area lighting shall not have an off-site luminance greater than 1000 foot-lamberts and it shall not have an off-site luminance greater than 200 foot-lamberts measured from any private property in a residential zone.
 - 3) Back lighting for building mounted signs facing west toward residential development shall be turned off at 9:00 p.m.
 - 4) Existing wall shall be extended to property corner in compliance with the Zone Code. A portion of the Mountainside Parkway wall shall be removed to allow pedestrian access between site wall and residential wall.

PROJECT NUMBER: 1002635 APPLICATION NUMBER: 05EPC-01561
 05DRB-01887

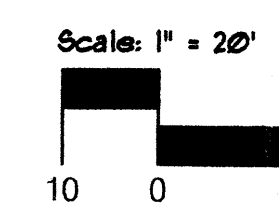
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated November 17, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	12-22-05
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	12/21/05
William G. Daley	Date
Water Utility Department	
<i>[Signature]</i>	12/21/05
Christine Dandora	Date
Parks and Recreation Department	
<i>[Signature]</i>	12/21/05
Bradley L. Buijda	Date
City Engineer	
<i>[Signature]</i>	12/13/05
Michael Helton	Date
Solid Waste Management	
<i>[Signature]</i>	12/21/05
DRB Chairperson, Planning Department	Date

RECONSTRUCT MEDIAN NOSE PER COA DRAWING 2502 WITH MEDIAN CURB AND GUTTER PER COA DRAWING 2415b. BARRICADE PERMIT REQUIRED. SEE STAKING PLAN, SHEET C1.2.

ENEBRO DR.



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 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

WILBUR SMITH ASSOCIATES
 ENGINEERS
 PLANNERS
 ECONOMISTS

1501 GERVAS STREET
 ALBUQUERQUE, NM 87102
 (505) 763-3000

HASTINGS ENTERTAINMENT
 CANDELARIA ROAD N.E.,
 ALBUQUERQUE, NM

AMENDED
 SITE PLAN FOR BUILDING PERMIT

1002635

SHEET 1 OF 8
 December 1, 2005

Amendment is to expand the building by 5,398 SF and to add parking to accommodate the building expansion. Plant material within the expansion area will be relocated if feasible. Existing plant material to remain will be protected during construction.

PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	WATER USE
Trees (2" B&B or 8' Height)		
	Fraxinus velutina 'Modesto' / Modesto Ash	Medium +
	Fraxinus oxycarpa 'Raywood' / Raywood Ash	Medium +
	Chilopsis linearis / Desert Willow	Low
	Pyrus calleryana 'Bradford' / Bradford Pear	Medium +
	Pinus edulis / Pinon Pine	Medium
	Pinus nigra / Austrian Pine	Medium
	Gleditsia triacanthos inermis / Honeylocust	Medium +
Shrubs (1 and 5 gallon)		
	Artemisia 'Powis Castle' / Powis Castle Sage	Low +
	Santolina sp. / Santolina	Low
	Oenothera berlandieri / Evening Primrose	Low +
	Rosmarinus officinalis / Rosemary	Low +
	Potentilla fruticosa / Yellow Cinquefoil	Medium +
	Ericameria laricifolia / Dwarf Turpentine Bush	Medium
	Cotoneaster apiculatus / Cranberry Cotoneaster	Medium
	Hesperaloe parviflora / Red Yucca	Medium
	Juniperus sabinna 'Buffalo' / Buffalo Juniper	Low +
	Opuntia santarita tupac / Prickley Pear	Low
	Perovskia atriplicifolia / Russian Sage	Medium
	Chrysothamnus nauseosus / Chamisa	Low
	Spartium junceum / Spanish Broom	Medium
	Fallugia paradoxa / Apache Plume	Low
	Salvia greggii / Cherry Sage	Medium
	Caryopteris clandonensis / Blue Mist	Medium
Ornamental Grasses (1 and 5 gallon)		
	Stipa tenuissima / Threadgrass	Low +
	Muhlenbergia capillaris / Bush Muhly Grass	Medium
	Native Revegetation Seed Mix Buffalo Grass, Blue Grama Grass, Sideoats Grama, Indian Ricegrass, Galleta, Paperflower, Firewheel, Purple Aster, Purple Coneflower, Mexican Hat	

MULCHES
All shrub planting areas shall be top dressed with crusher fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

EXISTING PLANT MATERIAL
Existing plant material that is to remain is screened back. Existing plant material in the building/parking lot expansion area will be salvaged and replanted if feasible.

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

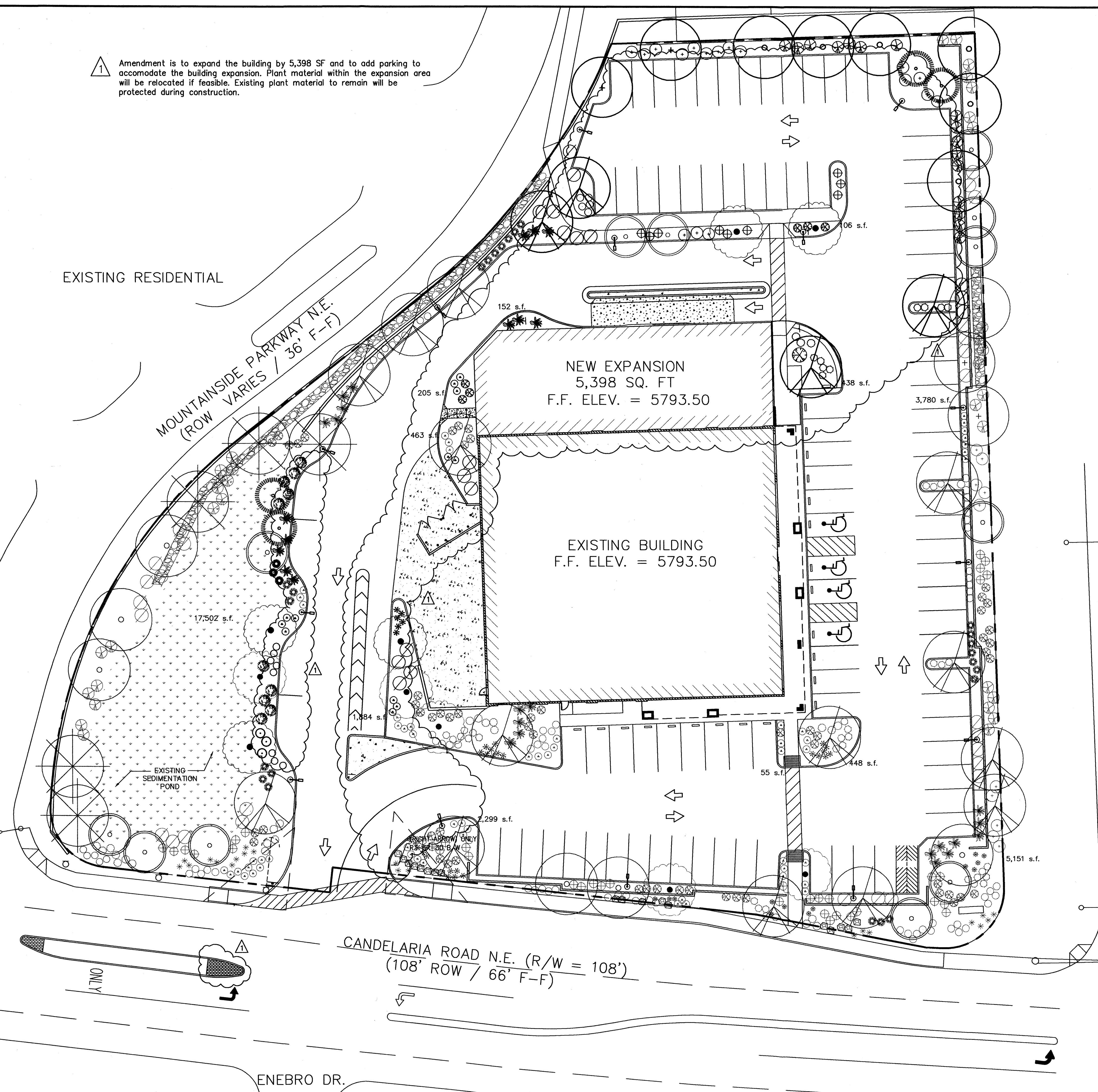
MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

LANDSCAPE REQUIREMENTS

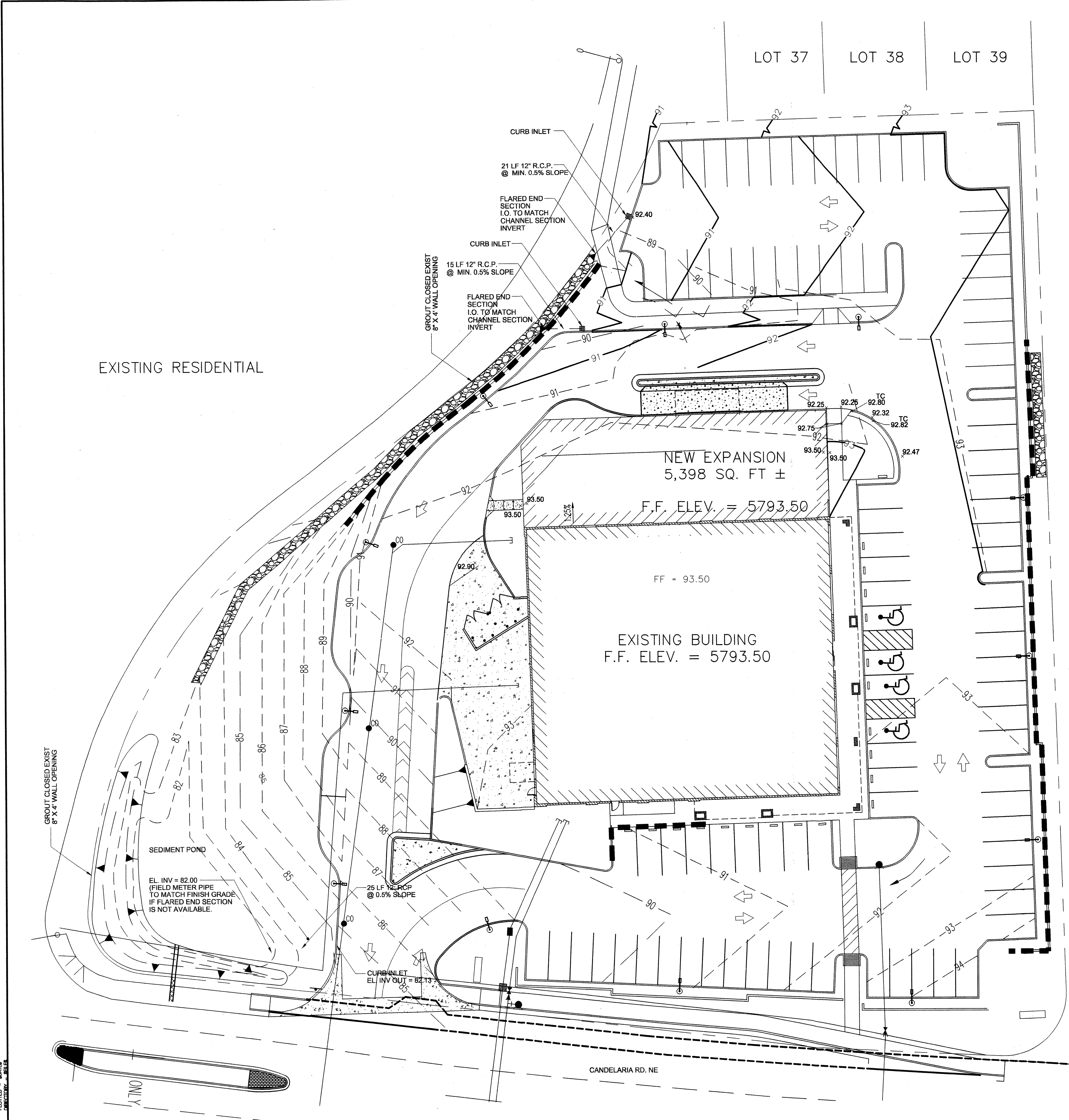
Site Area: 2.44 acres	106,425 SF
Building Footprint:	19,211 SF
Total Area:	90,473 SF
Required Landscape %:	.15
Landscape Area Required:	13,570 SF
Landscape Area Provided:	(36%) 32,870 SF

TRAMWAY BOULEVARD N.E. (R/W VARIES)



Project No.	106425
Drawn By	AL
Checked By	AL
Date	8/28/05
Scale	AS SHOWN

LANDSCAPE PLAN



DRAINAGE INFORMATION

LOCATION & DESCRIPTION
 THE PROPOSED SITE IS 2.57 ACRES LOCATED AT THE NORTHWEST CORNER OF CANDELARIA ROAD AND TRAMWAY BOULEVARD AS SHOWN ON THE VICINITY MAP ON THIS SHEET. THE SITE HAS BEEN DEVELOPED AS AN EXISTING DRUGSTORE. THE APPROVED DRAINAGE PLAN FOR THE EXISTING SITE WAS DESIGNED BY TAT AND ASSOCIATES, INC. WITH ENGINEERS SEAL DATED DECEMBER 5, 2003. THE PROPOSED DEVELOPMENT ADDS APPROXIMATELY 5340 SQUARE FEET TO THE NORTH SIDE OF THE BUILDING AND 25 PARKING SPACES AT THE NORTHEAST CORNER OF THE SITE. THIS GRADING AND DRAINAGE HAS BEEN PREPARED IN SUPPORT OF AN AMENDED SITE PLAN AND TO OBTAIN THE BUILDING PERMIT FOR THE COMMERCIAL BUILDING.

FLOODPLAIN STATUS
 THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0376E, DATED NOVEMBER 19, 2003 IS NOT WITHIN ANY DESIGNATED 100-YEAR FLOODPLAIN. A PORTION OF THIS PANEL WITH THE SITE DESIGNATED ON IT IS INCLUDED ON THIS SHEET.

METHODOLOGY
 THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATION METHOD AS DOCUMENTED IN THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

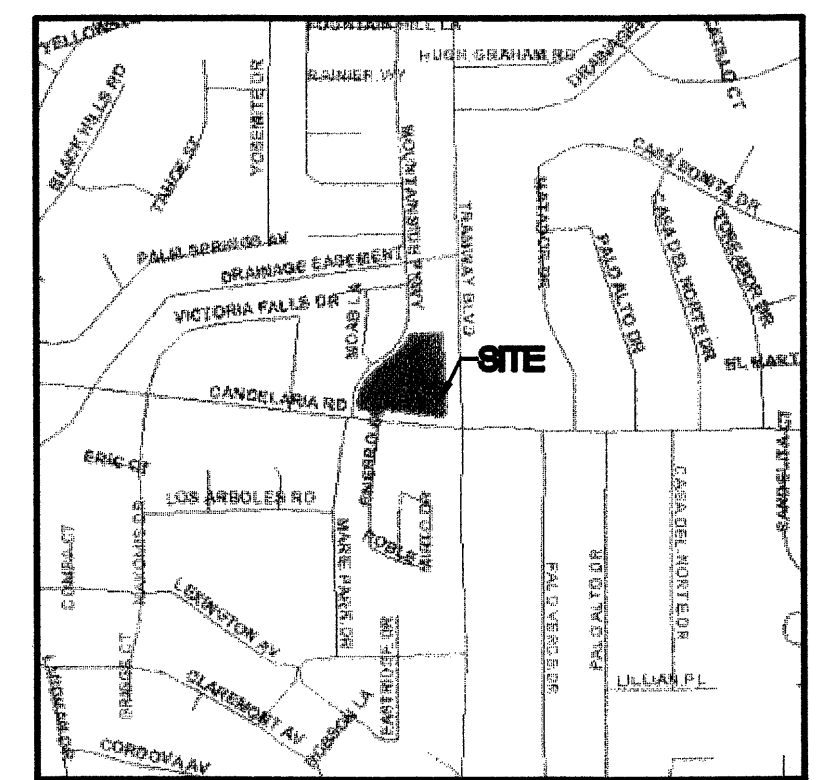
PRECIPITATION
 THE 100-YR, 6-HOUR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS SINCE PONDING IS NOT PROPOSED. THIS SITE IS WITHIN ZONE 4 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE 6-HOUR PRECIPITATION, 10-DAY PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

EXISTING DRAINAGE
 THE SITE IS DEVELOPED AS DESCRIBED ABOVE IN "LOCATION AND DESCRIPTION." THE DECEMBER 5, 2003 DRAINAGE STUDY IDENTIFIES THIS SITE WITHIN THE "TRAMWAY HIGHLANDS DRAINAGE REPORT" WITH AN ALLOWABLE DISCHARGE OF 13.59-CFS. THIS RUNOFF DRAINS WEST TO MOUNTAINSIDE PARKWAY WA THREE (3) OPENINGS IN THE PERIMETER WALL, THROUGH A DESILTATION BASIN AT THE SOUTHWEST CORNER OF THE SITE, AND THROUGH THE DRIVEWAY ONTO CANDELARIA ROAD. MOUNTAINSIDE PARKWAY ALSO DRAINS TO CANDELARIA ROAD; SO ULTIMATELY THE ENTIRE SITE DRAINS TO CANDELARIA ROAD AT THE SOUTHWEST CORNER OF THE SITE. THE 2003 STUDY IDENTIFIES 3.07-CFS OF OFFSITE RUNOFF ENTERING THE SITE FROM TRAMWAY BOULEVARD. THIS RUNOFF IS ROUTED THROUGH THE SITE AND DISCHARGES AT THE SOUTHWEST CORNER OF THE SITE. THE EXISTING DEVELOPMENT GENERATES 11.52-CFS IN THE 100-YEAR STORM FOR A TOTAL OF 14.62-CFS. THE ENTRANCE DRIVEWAY TO THE SITE DRAINS 6.04-CFS AND THE REMAINING 8.58-CFS DRAINS TO EITHER MOUNTAINSIDE PARKWAY OR THE DESILTATION POND.

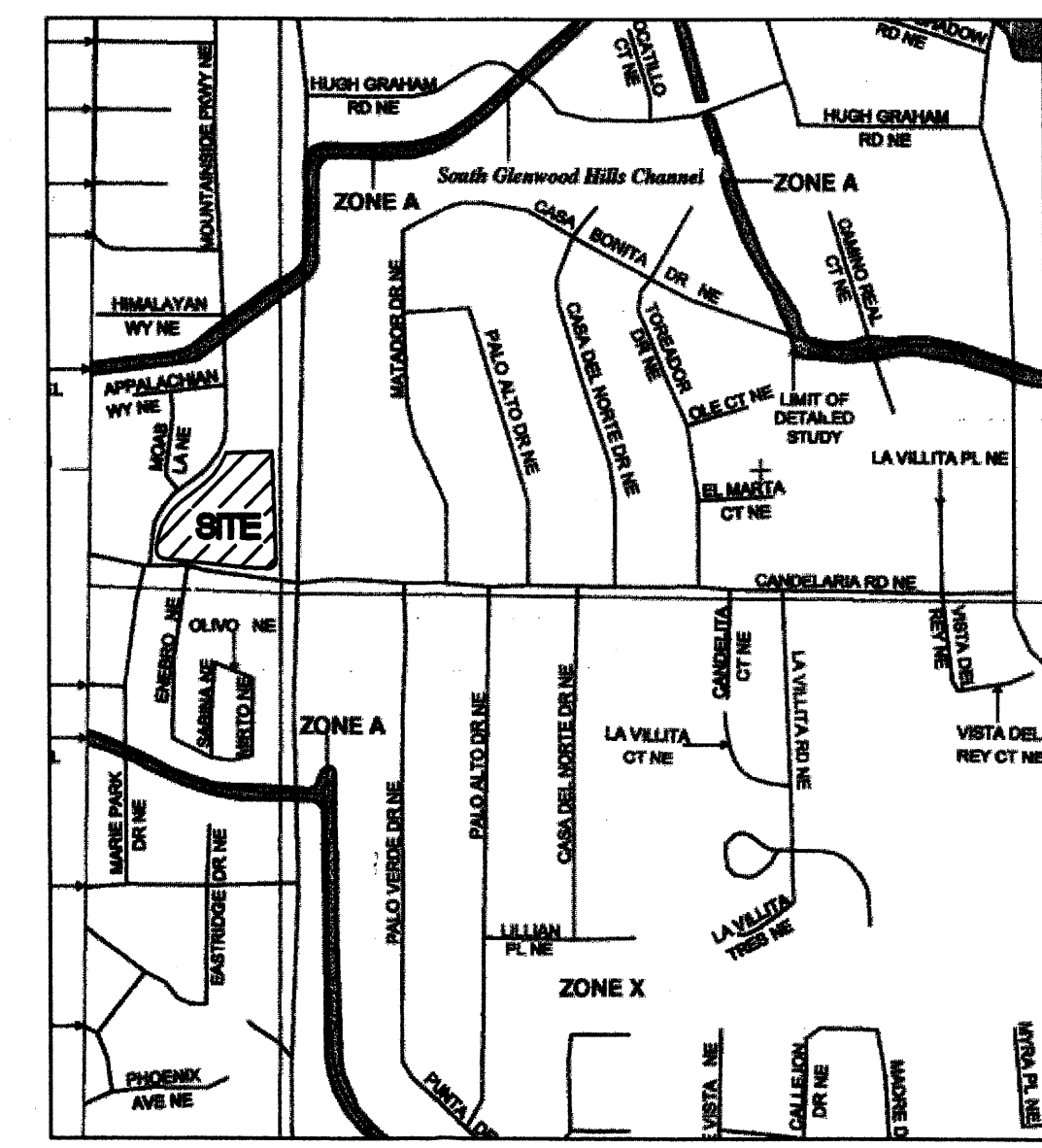
THE 6.04-CFS DRAINING THROUGH THE ENTRANCE WILL NOT BE ALTERED BY THIS DEVELOPMENT.

DEVELOPED CONDITION
 THIS NORTH HALF OF THIS SITE WILL BE REDEVELOPED TO ACCOMMODATE THE LARGER BUILDING FACILITY. THE BUILDING WILL BE EXPANDED TO THE NORTH AND A PARKING LOT WILL BE DEVELOPED IN THE NORTHEAST CORNER OF THE PROPERTY. THIS NEW DEVELOPMENT WILL DRAIN THROUGH THE EXISTING ROCK SWALE ALONG THE WEST SIDE OF THE PROPERTY TO THE EXISTING DESILTATION POND. THIS RUNOFF WILL INCREASE FROM 8.58-CFS TO 9.10-CFS. THE TOTAL SITE RUNOFF WILL INCREASE TO 12.06-CFS, WHICH IS STILL LESS THAN THE ALLOWABLE DISCHARGE OF 13.59-CFS. THE TOTAL SITE PLUS OFFSITE RUNOFF AT THE INTERSECTION OF MOUNTAINSIDE PARKWAY AND CANDELARIA ROAD WILL INCREASE FROM 14.62-CFS TO 15.13-CFS.

BENCHMARK PROVIDED: ACS MONUMENT
 2-623.SLD 1929, ELEVATION = 5799.19"



VICINITY MAP G-22
AS-BUILT CERTIFICATION



MAP SCALE 1" = 600'

FIRM
 FLOOD INSURANCE RATE MAP
 BERNALILLO COUNTY,
 NEW MEXICO
 AND INCORPORATED AREAS
 PANEL 376 OF 825
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)
 COUNTY: BERNALILLO COUNTY, N.M.
 COMMUNITY: HASTINGS ENTERTAINMENT
 ALBUQUERQUE, CITY OF 80600 010 010
 MAP NUMBER 30061C0376E
 MAP REVISED NOVEMBER 18, 2009
 Federal Emergency Management Agency

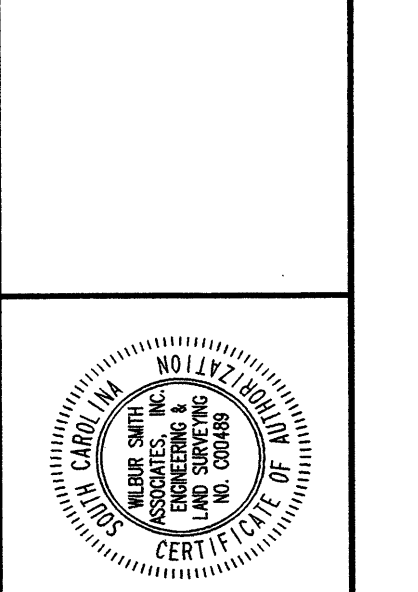
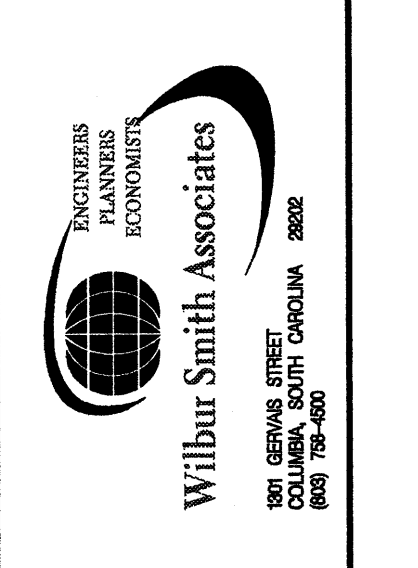
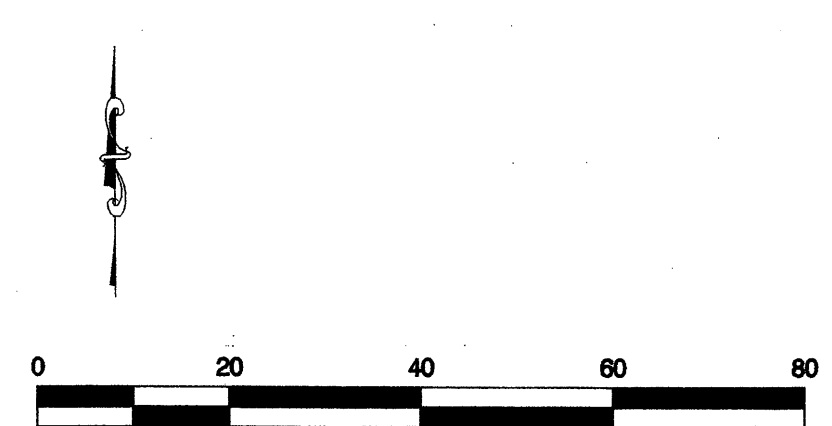
100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT					WEIGHTED				Q (cfs)
		A (%)	B (%)	C (%)	D (%)	E (%)	V (6-hr) (acre-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)		
SITE	2.5700	0.00	17.30	23.40	68.30	2.99	0.45	19.535	0.84	38.408	11.54
SITE	2.5700	0.00	14.50	14.50	71.00	2.24	0.48	20.823	0.84	41.128	12.06

EXCESS PRECIP (in) = 0.8 1.08 1.48 2.84 E (in)
 PEAK DISCHARGE 2.2 2.92 3.73 5.25 Q₁₀ (cfs)

WEIGHTED E (in) = (E_A(%A) + (E_B(%B) + (E_C(%C) + (E_D(%D)
 V_{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12
 V_{10day} (acre-ft) = V_{6hr} + (A₁₀)(P_{10day} - P_{6hr})/12
 Q (cfs) = (Q₁₀(A) + (Q₁₀(B) + (Q₁₀(C) + (Q₁₀(D)

ZONE = 4
 P_{6hr} (in) = 2.90
 P_{10day} (in) = 3.66
 P_{10day} (in) = 5.86



HASTINGS ENTERTAINMENT
 CANDELARIA ROAD N.E.,
 ALBUQUERQUE, NM

Project Title / Client Information

Date

Revisions

Rev.	Description	By	Date

Project No. N/A No. None
 Drawn By 5798.SD
 Date 09/02
 Checked By UK
 Date 08/05
 Approved By PEG

GRADING PLAN

Drawing Title

Drawing No.

SHEET 3 OF 8

EXISTING RESIDENTIAL


LOT 37 LOT 38 LOT 39

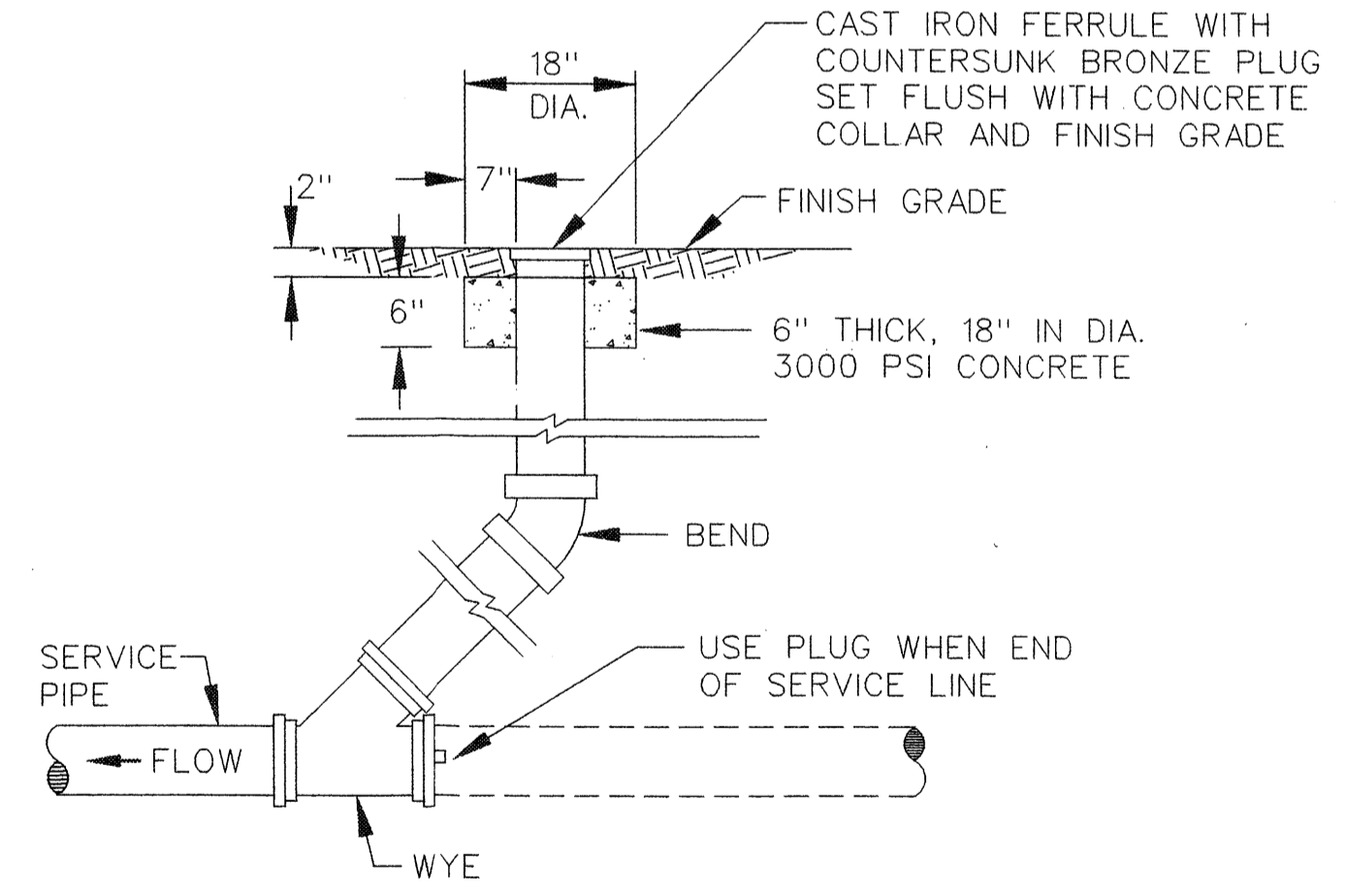
NEW EXPANSION
5,398 SQ. FT ±

F.F. ELEV. = 5793.50

EXISTING BUILDING
F.F. ELEV. = 5793.50

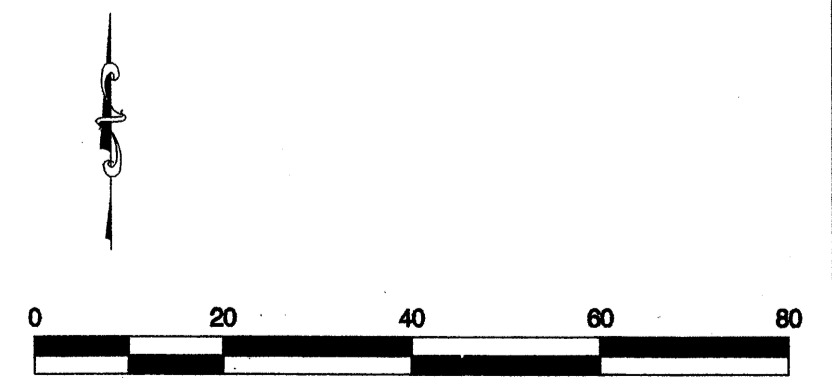
LEGEND

 NEW 4" SAS
 ALL OTHER UTILITIES
 ALREADY EXIST TO THIS
 SITE AND ARE LABELED HEREON



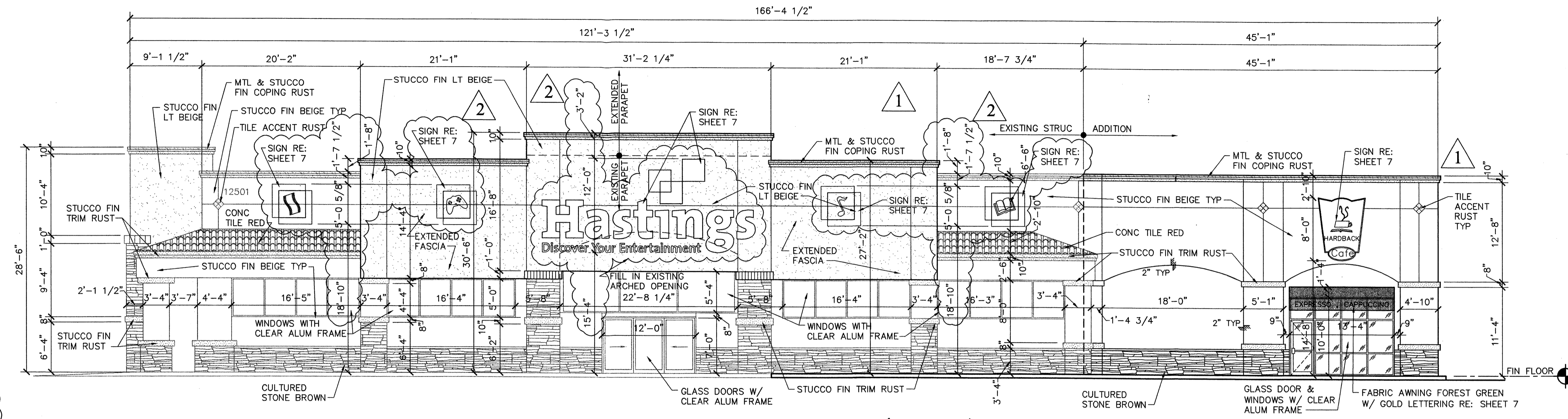
NOTE:
IN PAVED AREAS THE ENTIRE CLEANOUT SHALL BE CAST IRON.

CLEANOUT (G.C.O.)
NOT TO SCALE

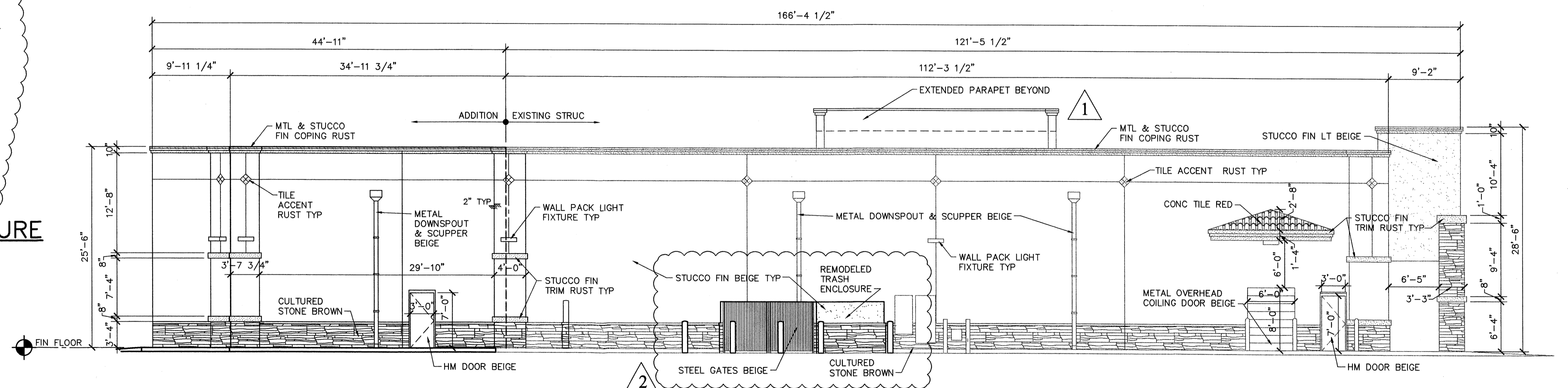


PLOTTED - SOUTH
 ORIENTATION

UTILITY PLAN

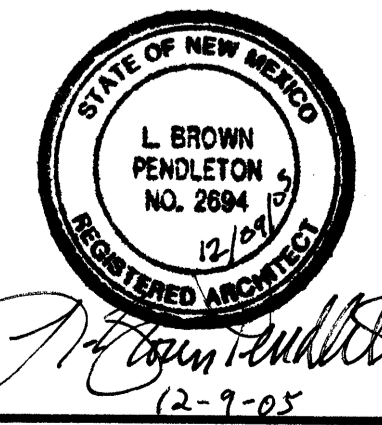


1 EAST ELEVATION (FRONT)
 SCALE 1/8" = 1'-0"
 GRAPHIC SCALE

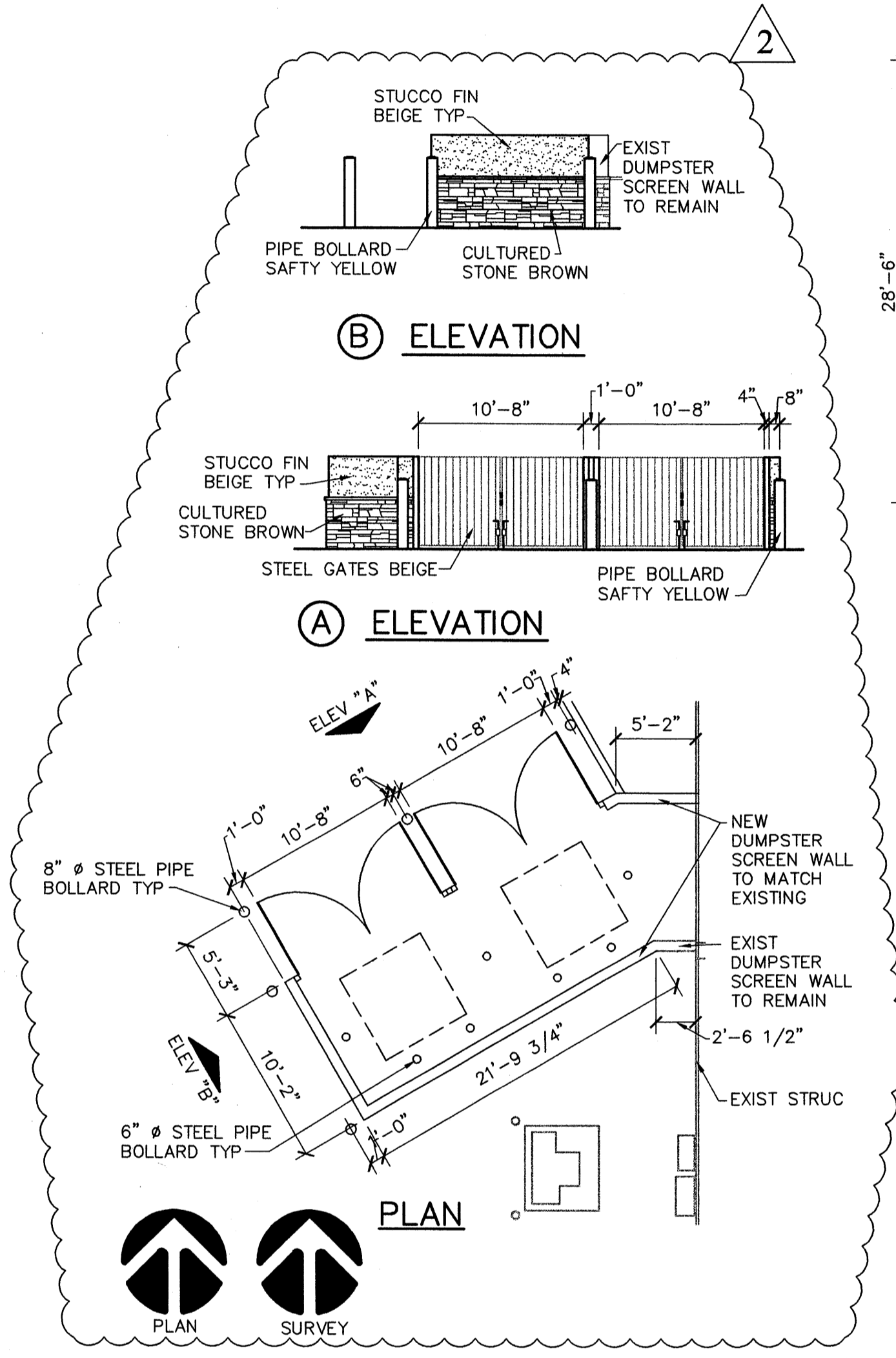


2 WEST ELEVATION (BACK)
 SCALE 1/8" = 1'-0"
 GRAPHIC SCALE

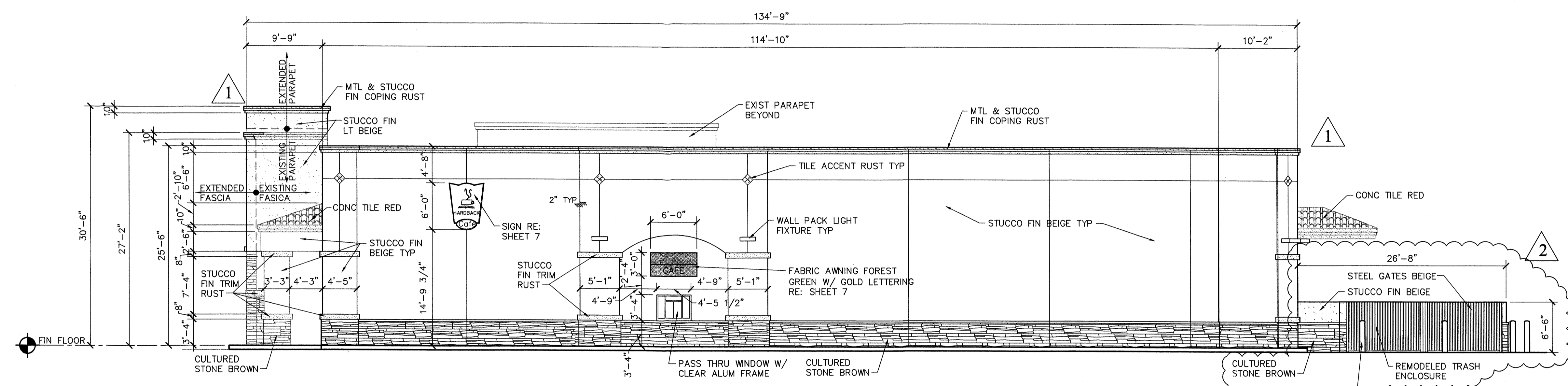
EPC CONDITIONS REVISIONS 12/08/05



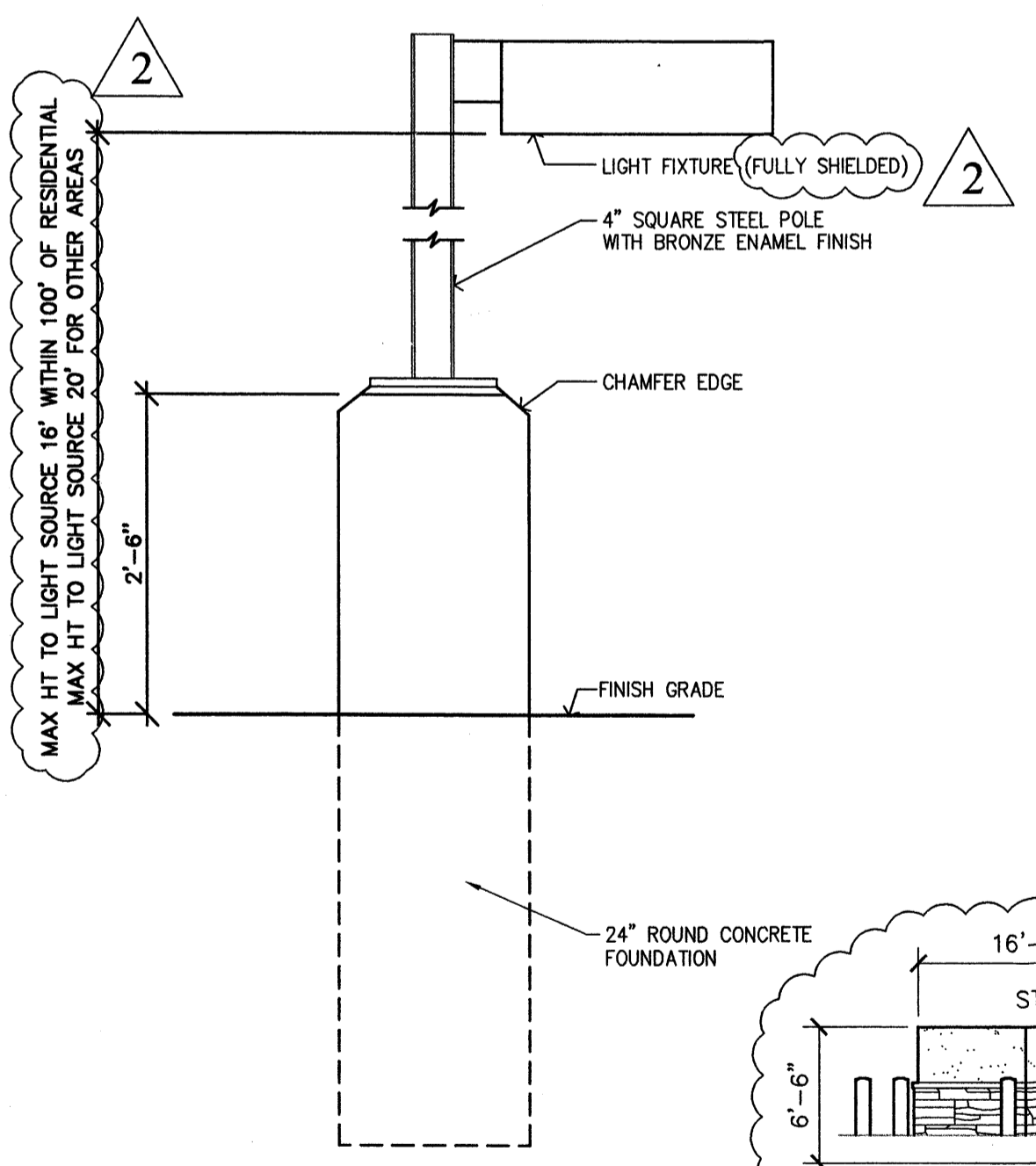
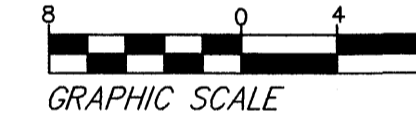
THE BUILDING IS PROPOSED TO EXPAND BY 5,398 S.F. WITH THE EXCEPTION OF THE EXPANSION AREA, THE BUILDING COLORS, FRONT ENTRANCE CANOPY AND SIGNAGE THE EXISTING BUILDING WILL REMAIN THE SAME. (SEE SHEET 8 FOR SITE PHOTOS)



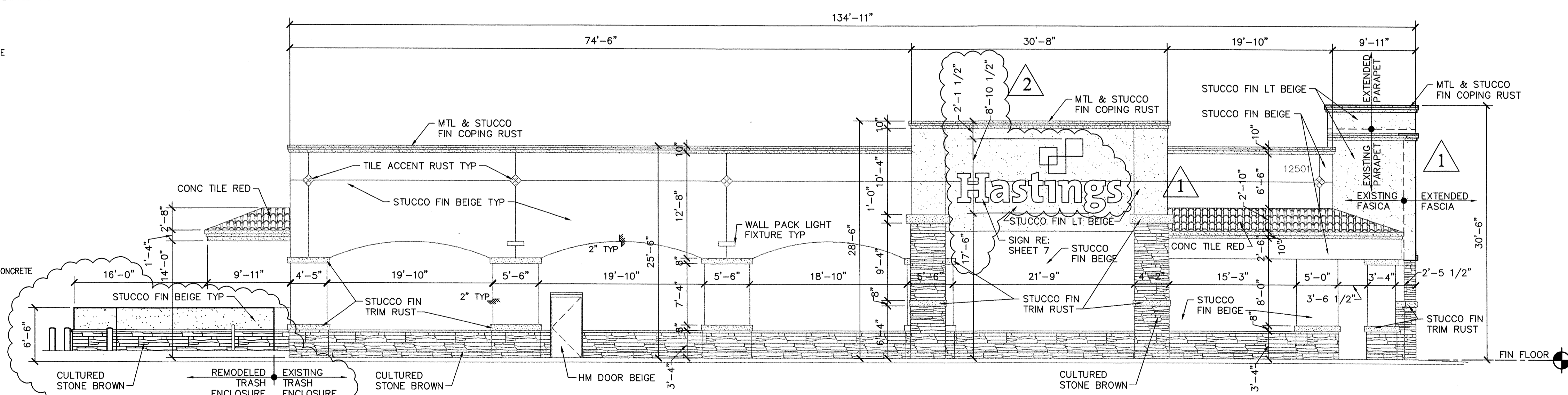
3 REMODELED TRASH ENCLOSURE
 1/8" = 1'-0"
 GRAPHIC SCALE



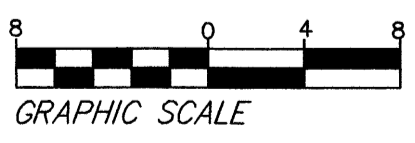
2 NORTH ELEVATION (RIGHT SIDE)
 SCALE 1/8" = 1'-0"



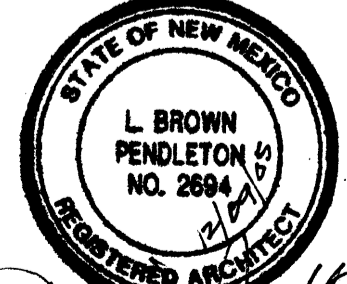
3 PARKING LOT LIGHT
 NOT TO SCALE



2 SOUTH ELEVATION (LEFT SIDE)
 SCALE 1/8" = 1'-0"



EPC CONDITIONS REVISIONS 12/08/05



THE BUILDING IS PROPOSED TO EXPAND BY 5,398 S.F. WITH THE EXCEPTION OF THE EXPANSION AREA, THE BUILDING COLORS, FRONT ENTRANCE CANOPY AND SIGNAGE THE EXISTING BUILDING WILL REMAIN THE SAME. (SEE SHEET 8 FOR SITE PHOTOS)

ELEVATIONS	
DESIGNED BY:	MBB
JOB NUMBER	9739
DATE	10/14/2005
SHEET NUMBER	6 of 8

