

#17



DRB CASE ACTION LOG (AMENDED SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

Project Number

1002635

DRB Application No.: 05DRB-01887 (ASBP)

Project # 1002635

Project Name: LANDS OF CANDELARIA @ TRAMWAY SW.

Agent: Consensus Planning

Phone No.: 764.9801

Your request for (SDP for SUB), (SDP for BP) (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/2/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: build notes for median dimensions of isle width

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): 3 Copies

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 21, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:45 a.m.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- | | |
|--|---|
| <p>1. Project # 1004530
05DRB-01769 Major-Vacation of Public Easements
05DRB-01774 Major-Preliminary Plat Approval
05DRB-01773 Major-SiteDev Plan BldPermit
05DRB-01772 Minor-Vacation of Private Easements
05DRB-01770 Minor-Sidewalk Waiver
05DRB-01771 Minor-Temp Defer SDWK</p> | <p>ISAAC BENTON & ASSOCIATES agent(s) for AMERI- CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) G-2, ALBUQUERQUE WEST, UNIT 1, zoned SU-1 FOR PDA TO INCLUDE C-3, located on MARNA LYNN AVE NW, between DAVENPORT ST NW and CACTUS TRAIL DR NW containing approximately 2 acre(s). [REF: DRB-94-65, DRB-94-624, DRB-94-616, Z-94-134] (C-12) THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE</p> |
|--|---|

INFRASTRUCTURE LIST DATED 12/21/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/17/05 THE PRELIMINARY PLAT WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

2. **Project # 1004556**
05DRB-01781 Major-SiteDev Plan
BldPermit

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD LAND PARTNERS LLC, request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between WASHINGTON ST NE and MASTHEAD ST NE containing approximately 10 acre(s). (D-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PARKING BUMPERS (OPTIONS), TIS CONFIRMATION AND PLANNING FOR MAINTENANCE AGREEMENT ON LANDSCAPE PLAN, WATER CONSERVATION ORDINANCE STATEMENT, 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN.**

3. **Project # 1004557**
05DRB-01783 Major-Drainage Plan to
Determine the Cost Allocation for
Storm Drainage Improvements

MARK GOODWIN & ASSOCIATES agent(s) for STV INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 1-6 and 27-32, Block(s) 2, 27 & 28, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP & R-D, located on

LOUISIANA BLVD NE, between ALAMEDA NE and MODESTO AVE NE. [REF: 04DRB00067] (C-18) THE DRAINAGE PLAN TO DETERMINE THE COST ALLOCATION FOR STORM DRAIN IMPROVEMENTS PER THE DPM WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD.

4. **Project # 1004360**
05DRB-01736 Major-SiteDev Plan
Subd
05DRB-01737 Major-Preliminary Plat
Approval

RIO GRANDE ENGINEERING agent(s) for WASHINGTON INVESTORS request(s) the above action(s) for all or a portion of Lot(s) 313-A-2-A, ACRES ADDITION (to be known as **ENTRADA DEL BOSQUE SUBDIVISION**) zoned RA-2 residential and agricultural zone, located on MOUNTAIN RD NW, between GABALDON NW and LULAC AVE NW containing approximately 3 acre(s). [REF: 05DRB01245] [Deferred from 12/14/05] (J-12) THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/21/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/24/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: A SIDEWALK DEFERRAL APPLICATION IS REQUIRED. PLACE ADA RAMPS WITHIN THE PUBLIC RIGHT-OF-WAY AND ACCESS MAINTENANCE NOTE IS REQUIRED.

5. **Project # 1004387**
05DRB-01332 Major-Vacation of Pub
Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). [Deferred from 9/14/05 & 10/5/05 & 11/9/05 & 12/14/05] (J-15) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: THE OWNER SHALL SIGN THE FINAL PLAT. SPRUCE PARK LLC MUST CLOSE ON THE PURCHASE OF PROPERTY WITHIN THE 15-DAY APPEAL PERIOD OR APPLICANT WILL WITHDRAW THE VACATION. A CONDITIONAL USE PERMIT MUST BE APPROVED BY THE ZHE FOR RESIDENTIAL LOTS IN THE O-1 ZONE. PLAT MUST SHOW RESIDENTIAL LOTS.**

6. **Project # 1004462**
05DRB-01525 Major-Vacation of
Public Easements
05DRB-01524 Major-Preliminary Plat
Approval
05DRB-01526 Minor-Sidewalk Waiver
05DRB-01527 Minor-Temp Defer
SDWK

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for REPLAT OF Tract(s) A, ANDALUCIA AT LA LUZ, (to be known as **ANDALUCIA @ LA LUZ, UNIT 3**) zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 13 acre(s). [REF: 05EPC-01115, 05EPC-01117] [Deferred from 10/26/06 & 11/2/05 & 11/9/05 & 11/16/05 & 11/23/05 & 11/30/05 & 12/7/05 & 12/14/05] (F-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/21/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/30/05 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1002635**
05DRB-01887 Minor-Amnd SiteDev
Plan BldPermt/EPC

CONSENSUS PLANNING agent(s) for GOZ G SEGARS request(s) the above action(s) for Tract(s) A, **LANDS OF CANDELARIA & TRAMWAY SW**, zoned SU-1 FOR C-1, located on TRAMWAY BLVD NE, between CANDELARIA RD NE and COMANCHE RD NE containing approximately 3 acre(s). [REF: 03EPC00702] [Catalina Lehner, EPC Case Planner] (H-22) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BUILD NOTES FOR CANDELARIA MEDIAN AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

8. **Project # 1004473**
05DRB-01888 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for AEGIS REALTY GROUP request(s) the above action(s) for all or a portion of Tract(s) 4 & 6, **NORTH ANDALUCIA @ LA LUZ**, zoned SU-1 O-1, C-2 & PRD (20 DU/AC), located on COORS BLVD NW, between MONTANO RD NW and LEARNING RD NW containing approximately 24 acre(s). [REF: 04EPC-01845] [Carmen Marrone, EPC Case Planner] (E-12/F-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

9. **Project # 1004471**
05DRB-01881 Minor-SiteDev Plan
Subd/EPC
05DRB-01882 Minor-SiteDev Plan
BldPermit/EPC
05DRB-01889 Minor-Prelim&Final Plat
Approval

ARCH & PLAN LAND USE CONSULTANTS LLC agent(s) for HACIENDA MARTINEZ LLC request(s) the above action(s) for all or a portion of Tract(s) C3 A-1-A-1, **SEVEN BAR RANCH**, zoned SU-1 FOR IP, located on NM 528 NW, between COTTONWOOD DR NW and CIELO VISTA DEL SUR NW containing approximately 1 acre(s). [REF: Z-79-146-4-5]

[Stephanie Shumsky, EPC Case Planner] [Deferred from 12/21/05] (A-14) DEFERRED AT THE AGENT'S REQUEST TO 1-4-06.

10. **Project # 1001523**
05DRB-01797 Minor-SiteDev Plan
BldPermit

DEKKER/PERICH/SABATINI agent(s) for ALLAN FRENKEL request(s) the above action(s) for all or a portion of Lot(s) 15 & 16, LADERA INDUSTRIAL CENTER (to be known as **THE SHOPS @ LA MORADA**) zoned SU-1 LIGHT INDUSTRIAL, located on UNSER NW, between LA MORADA NW and VISTA ORIENTE NW containing approximately 3 acre(s). [REF: DRB-98-118, 01-EPC-01405, 04-DRB-01490] [Deferred from 12/7/05] (H-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECORDED CROSS ACCESS AND CROSS DRAINAGE EASEMENT DOCUMENT, PARKING CALCS AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

11. **Project # 1004603**
05DRB-01885 Minor-SiteDev Plan
BldPermit

JIM MILLER agent(s) for PETER PINEDA request(s) the above action(s) for all or a portion of Tract(s) 18, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR IP, located southeast of UNSER BLVD NW and 98TH ST NW and containing approximately 2 acre(s). (H-9) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR DIMENSIONING RADII, TRIP GENERATION COMPARISON AND IMPACT FEE VERIFICATION AND PLANNING FOR SITE LIGHTING, NUMBER OF PLANTS ON LANDSCAPE LEGEND, REPLACE JUNIPERS AND 3 COPIES OF THE SITE PLAN.**

12. **Project # 1000871**
05DRB-01839 Minor-SiteDev Plan
Subd/EPC
05DRB-01840 Minor-SiteDev Plan
BldPermit/EPC

DESIGN GROUP agent(s) for JIM JEPSON request(s) the above action(s) for all or a portion of Lot(s) B-5-B-1, B-5-C-1, **ACADEMY ACRES SUBDIVISION**, zoned SU-1, located on HARPER AVE NE, between I-25 FRONTAGE RD NE and BARNHART ST NE containing approximately 8 acre(s). [REF: 05-EPC-01257, 05-EPC-01261, 05-DRB-01458,05DRB-01715,05DRB-01706] [David Stallworth, EPC Case Planner] [Deferred from 12/14/05] (E-17, E-18) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN, TO MATCH THE PLAT TO THE SITE PLAN AND CASE PLANNERS INITIALS. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN, TO MATCH THE PLAT TO THE SITE PLAN AND CASE PLANNERS INITIALS.**

05DRB-01837 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for PRESBYTERIAN HEALTHCARE SERVICES request(s) the above action(s) for Tract(s) B-5-B-1 and B-5-C-1, **ACADEMY ACRES SUBDIVISION, UNIT 5**, zoned SU-1, located on HARPER DR NE, between INTERSTATE 25 NE and SAN PEDRO DR NE containing approximately 8 acre(s). [Deferred from 12/14/05] (E-17/E-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ADA RAMP DEDICATION AND PLANNING TO CHECK THAT PLAT MATCHES SITE PLAN, AGIS DXF FILE AND TO RECORD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

13. **Project # 1001028**
05DRB-01886 Minor-Prelim&Final Plat
Approval

PERCISION SURVEYS agent(s) for RON CERROS request(s) the above action(s) for all or a portion of Tract(s) 1, **LANDS OF ALEJANDRO GARCIA**, zoned

R-1, located on ALEJANDRO ST NW, between BLUE WATER NW and RINCON NW containing approximately 5 acre(s). (J-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

14. **Project # 1003004**
05DRB-01883 Minor-Extension of Preliminary Plat

TIERRA WEST LLC agent(s) for CLEARBROOK INVESTMENTS INC request(s) the above action(s) for all or a portion of Tract(s) 414, 415-B, 415-C, 415-D and 416, ATRISCO GRANT, UNIT 3 (to be known as **STINSON PARK**) zoned R-D, located on TOWER RD SW SW, between UNSER BLVD SW and STINSON ST SW containing approximately 15 acre(s). [REF: 03EPC-01644, 04EPC-00132, 04DRB-01974, 04DRB-01975, 05DRB-01776] (L-10) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

15. **Project # 1004073**
05DRB-01854 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH LLC request(s) the above action(s) for all or a portion of Tract(s) 5, **JUAN TABO HILLS**, zoned RD, located on JUAN TABO HILLS SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 102 acre(s). [REF: S-98-30, DRB-98-20, AX-80-10] (M-21, M-22) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE AND TO RECORD.**

16. **Project # 1004601**
05DRB-01884 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for
LESLIE & PIERRE AMESTOY request(s) the above
action(s) for all or a portion of Lot(s) C-1 & B-1-A,
IRVINGLAND PARTNERS, zoned M-1 light
manufacturing zone, located on ASPEN GLADE RD
NW, between SIERRA HILL DR NW and SILVER
ARROW RD NW containing approximately 3 acre(s).
[REF: Project 1001021,CZ-79-12] (B-13)
**PRELIMINARY AND FINAL PLAT WAS APPROVED
WITH FINAL SIGN OFF DELEGATED TO CITY
ENGINEER FOR AMAFCA SIGNATURE AND
PLANNING FOR AGIS DXF FILE AND NMU INC.
SIGNATURE.**

17. **Project # 1004570**
05DRB-01828 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for BRUCE &
KATHERINE BESSER request(s) the above action(s)
for all or a portion of Lot(s) 6A1 & 6A2, Block(s) 14,
Tract(s) A, **UNIT B, NORTH ALBUQUERQUE
ACRES**, zoned SU-2 M-1, located between
WILSHIRE AVE NE and INTERSTATE 25, containing
approximately 3 acre(s). [Deferred from 12/14/05]
(C-18) **INDEFINITELY DEFERRED AT THE
AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

18. **Project # 1004575**
05DRB-01847 Minor-Sketch Plat or
Plan

SURVEYS SOUTHWEST agent(s) for VITALIA
CANDELARIA request(s) the above action(s) for all or
a portion of Tract(s) D, **PEREA ACRES**, zoned RA-2,
located on DURANES RD NW, between the
DURANES DITCH and JULIET NW containing
approximately 2 acre(s). [REF: DRB-95-338] (H-12)
**THE ABOVE REQUEST WAS REVIEWED AND
COMMENTS WERE GIVEN.**

19. Approval of the Development Review Board Minutes for December 7, 2005. **THE DRB MINUTES FOR DECEMBER 7, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:45 A.M.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 21, 2005

7. Project # 1002635
05DRB-01887 Minor-Amnd SiteDev Plan BldPermt/EPC

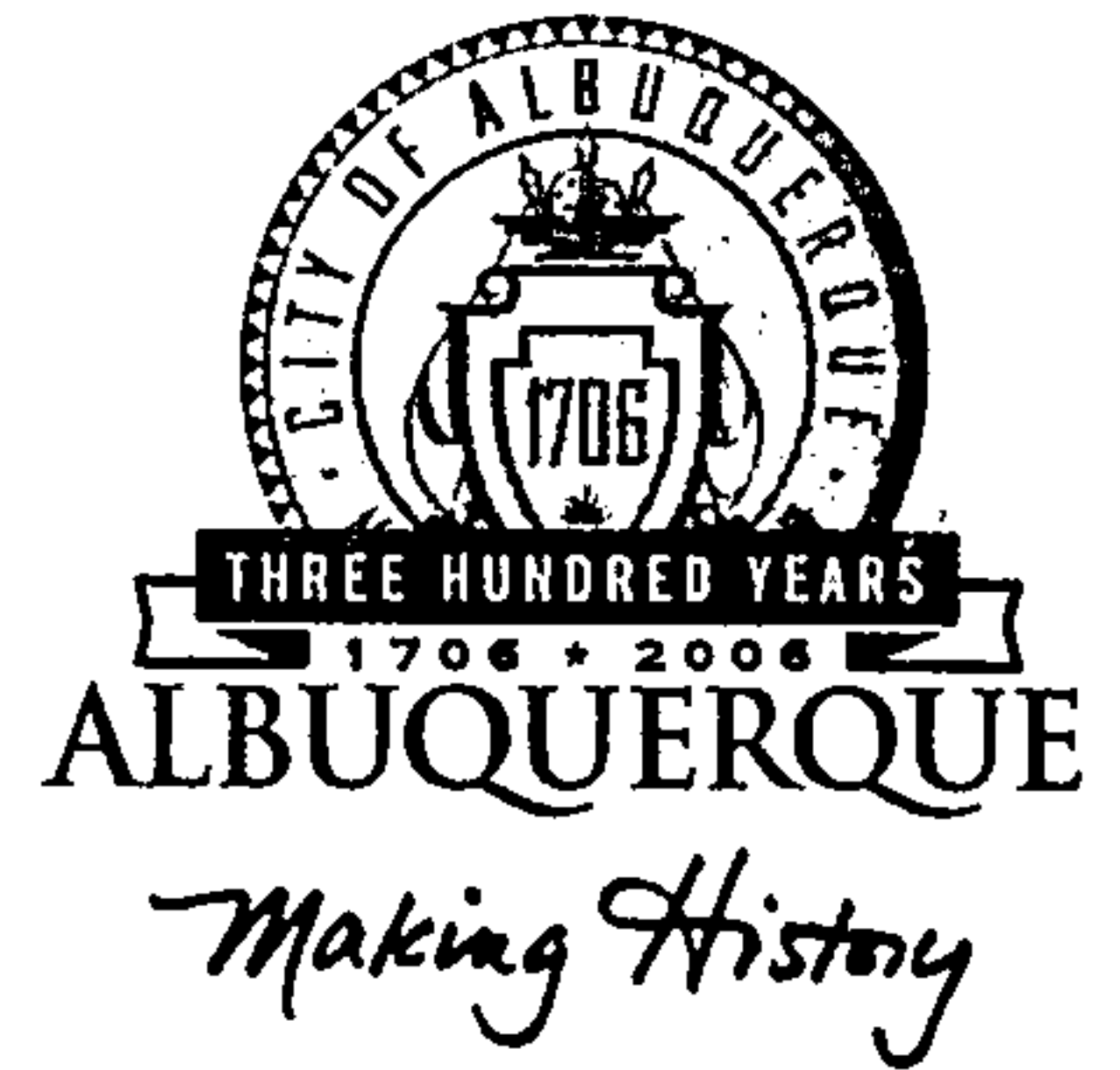
CONSENSUS PLANNING agent(s) for GOZ G SEGARS request(s) the above action(s) for Tract(s) A, **LANDS OF CANDELARIA & TRAMWAY SW**, zoned SU-1 FOR C-1, located on TRAMWAY BLVD NE, between CANDELARIA RD NE and COMANCHE RD NE containing approximately 3 acre(s). [REF: 03EPC00702] [**Catalina Lehner, EPC Case Planner**] (H-22)

At the December 21, 2005, Development Review Board meeting, the amended site plan for building permit was approved with final sign off delegated to Transportation Development for build notes for Candelaria Median and Planning for 3 copies of the site plan.


Sheran Matson, AICP, DRB Chair

Cc:Goz G Segars, 2586 Kelleytown Road, Hartsville, SC 29550
Consensus Planning, 302 8th St NW, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002635

AGENDA ITEM NO: 7

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: December 21, 2005

#17

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

INTER-OFFICE MEMO

DATE: December 15, 2005

TO: Sheran Matson, DRB Chair

FROM: Catalina Lehner, Planner *cl*

RE: Project #1002635, Hastings/Hardback Café

On November 17th, 2005, the EPC approved, with conditions, an amendment to a Site Development Plan for Building Permit for Tract A, Plat of Tract A, Lands of Candelaria & Tramway SW. Staff met with the applicant, Jacqueline Fishman of Consensus Planning, on December 12th, 2005 to check for compliance with the Conditions of Approval.

The Site Development Plan for Building Permit (dated December 7, 2005) satisfactorily meets the EPC conditions as elaborated in the Official Notification of Decision.

If you have any questions regarding this case, please call me at 924-3935.

AGIS ELECTRONIC APPROVAL FORM

DRB Project Case #: 1002635

Subdivision Name: Lands of Candelaria & Tramway - Tract A

Surveyor: A Dwain Weaver

Company/Agent: Bohannon Huston, Inc.

Contact Person: Stephanie Stratton E-mail: sstratton@bhinc.com

Phone: 798-7965 Fax: _____

DXF Received Date: 2/24/2004

Hard-Copy Date: 2/25/2004

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other

Stephanie Stratton
Approved

2/25/04
Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only

Copied cov2635 to agiscov on 2/25/2004. Contact person notified on 2/25/2004



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 25, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:39 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001232**
04DRB-00125 Major-Two Year SIA

TIERRA WEST LLC agent(s) for VISTA MANUFACTURED HOME COMMUNITY request(s) the above action(s) for all or a portion of Lot(s) 28A1, **VISTA SUBDIVISION**, zoned SU-1 MOBILE HOME PARK, located on CENTRAL AVE SW, between 94TH ST SW and 98TH ST SW containing approximately 25 acre(s). (L-9) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED. THIS WILL BE THE LAST EXTENSION. AGENT AGREED.**

2. **Project # 1000147**
04DRB-00118 Major-Vacation of Public Easements

MARK GOODWIN & ASSOCIATES., PA agent(s) for C & W LAND DEVELOPMENT ENTERPRISES, INC. request(s) the above action(s) for all or a portion of Lot(s) A-1-A, **WHISPERING POINT SUBDIVISION, UNIT 2**, zoned RD 9/du ac, located on UNSER BLVD SW, between EUCARIZ AVE SW and SUNSET GARDENS RD SW containing approximately 11 acre(s). (L-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

04DRB-00066 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for C & W LAND DEVELOPMENT ENTERPRISES, INC. request(s) the above action(s) for all or a portion of, **WHISPERING POINTE SUBDIVISION, UNIT 4**, Whispering Point, Unit 3, zoned RD 9 du/ac, located on UNSER BLVD SW, between EUCARIZ AVE SW and SUNSET GARDENS RD SW containing approximately 5 acre(s). [*Preliminary Plat was approved, Final Plat was indefinitely deferred*] (L-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND PLANNING FOR 15-DAY APPEAL PERIOD.**

3. **Project # 1001347**
04DRB-00115 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Tract(s) D-1-B, ALBUQUERQUE SOUTH, (to be known as **EL RANCHO GRANDE, UNIT 8B**), zoned R-LT residential zone, located on CARTAGENA AVE SW, between DE ANZA DR SW and DEL REY RD SW containing approximately 10 acre(s). [REF: 03DRB-01133 PP, 03DRB-01134 FP, 04DRB-00057] (M-9) **VACATION APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1002778**
04DRB-00126 Major-Bulk Land Variance
04DRB-00127 Major-Vacation of Pub
Right-of-Way
04DRB-00128 Minor-Preliminary & Final
Plat Approval

BOHANNAN HUSTON INC. agent(s) for VENTANA WEST, LLC request(s) the above action(s) for all or a portion of Tract(s) A-1, **VENTANA RANCH WEST**, zoned R-LT residential zone, located NORTH OF PASEO DEL NORTE NW, SOUTH OF IRVING BLVD. NW and WEST OF LAS VENTANAS RD NW containing approximately 300 acre(s). [REF: 03DRB-01868, 03EPC-01057 & 01058 (B-8 & B-9) **BULK LAND VARIANCE WAS APPROVED. VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR RECORDED PARKS AGREEMENT AND PLANNING FOR THE AGIS DXF FILE, 15-DAY APPEAL PERIOD AND NOTICE OF SUBDIVISION PLAT CONDITIONS.**

5. **Project # 1003226**
04DRB-00117 Major-Vacation of Pub
Right-of-Way

SUJAY K. THAKUR c/o STB LLC request(s) the above action(s) for all or a portion of Tract(s) 9, **V. E. BARRETT**, zoned C-2 community commercial zone, located on BRIDGE BLVD SW, between UNSER BLVD SW and COORS BLVD SW containing approximately 5 acre(s). [REF: Z-71-125, Z-72-114, Z-72-210, S-76-9] (K-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

6. **Project # 1002051**
03DRB-02009 Major-Vacation of Public
Easements
03DRB-02008 Major-Preliminary Plat
03DRB-02011 Minor-Temp Defer SDWK
03DRB-02010 Minor-Vacation of Private
Easements

TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) the above action(s) for all or a portion of Tract(s) A, **CHAMISA RIDGE UNIT 1**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DR NW and CONEFLOWER DR NW containing approximately 18 acre(s). [REF: 02DRB-00963] [*Deferred from 1/14/04 & 1/28/04 & 2/4/04 & 2/25/04*] (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 3/17/04.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED,
THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

7. **Project # 1002333**
04DRB-00209 Minor-SiteDev Plan
BldPermit/EPC

DEKKER/PERICH/SABATINI agent(s) for THE BARRETT FOUNDATION request(s) the above action(s) for all or a portion of Block(s) 10A, Tract(s) C-1-A-2, **BELLAMAH'S PRINCESS JEANNE PARK ADDITION**, zoned C-1, located on CONSTITUTION AVE NE, between EUBANK NE and MARY ELLEN ST NE containing approximately 2 acre(s). [REF: 1002333, 02EPC-01691, 02EPC-01693, Z-870, DRB-94-619] [Cynthia Borrego, EPC Case Planner] [Deferred from 2/25/04] (J-21) **DEFERRED AT THE AGENT'S REQUEST TO 3/3/04.**

8. **Project # 1003262**
04DRB-00216 Minor-SiteDev Plan Subd
04DRB-00215 Minor-Prelim&Final Plat
Approval

TIMOTHY OTT request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 11, **NORTH ALBUQUERQUE ACRES**, zoned SU-1 for M-1, located on OAKLAND NW, between SAN MATEO NW and I-25 containing approximately 2 acre(s). [REF: 04DRB-00215] [Deferred from 2/25/04] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 3/3/04.**

9. **Project # 1002796**
03DRB-02022 Minor-SiteDev Plan
BldPermit/EPC
03DRB-02024 Minor-SiteDev Plan
Subd/EPC

RMKM ARCHITECTURE agent(s) for ALBUQUERQUE FIRE DEPARTMENT, request(s) the above action(s) for all or a portion of Lot(s) 8-11, **KAY ADDITION** and Lots 8-10, Block(s) 4, **LOMA VERDE ADDITION**, zoned SU-1 & C-1, located on DALLAS NE, between CHARLESTON ST. NE and CHICO RD. NE containing approximately 1 acre(s). [REF:03EPC01099,01100,01101] [Debbie Stover, EPC Case Planner] [Deferred from 2/25/04] (K-19) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1001730**
04DRB-00214 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for CINDY CHAVEZ request(s) the above action(s) for all or a portion of Tract(s) 175-A-1, 175-A-2-A, 175-A-2-B, 175-A-3 and 181-A1, **MRGCD MAP 35**, zoned RA-2, located on ROSA LINDA TRAIL NW, between GABALDON RD NW and LEONOR DR NW containing approximately 2 acre(s). [REF: Z-82-80] (H-12) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**
11. **Project # 1003260**
04DRB-00213 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for STEVEN KANIG request(s) the above action(s) for all or a portion of Lot(s) 2-A, **LANDS OF ALBUQUERQUE BOARD OF REALTORS**, zoned C-3, located on UNIVERSITY BLVD NE, between MENAUL BLVD NE and INDIAN SCHOOL BLVD NE containing approximately 3 acre(s). (H-15) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
12. **Project # 1003258**
04DRB-00205 Minor-Prelim&Final Plat
Approval
- PHILIP W. TURNER agent(s) for SALVADOR PEREZ request(s) the above action(s) for all or a portion of Lot(s) 280 B, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned R-T residential zone, located on 55TH ST NW, between BICE RD NW and JUNIPER RD NW containing approximately 1 acre(s). [REF: DRB-97-205] [*Deferred from 2/25/04*] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

13. **Project # 1002519**
03DRB-01882 Minor- Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 16, Tract(s) 2, Block(s) 5, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **TOWNHOMES @ LA CUEVA**), zoned RD (7 DU/AC), located on WYOMING BLVD NE, between SIGNAL AVE NE and WILSHIRE AVE NE containing approximately 1 acre(s). [Deferred from 11/26/03 & 12/10/03] [*Final Plat was indefinitely deferred*] (C-19) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PARK FEES FOR DETACHED OPEN SPACE.**

14. **Project # 1002635**
03DRB-01652 Minor- Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for CANDELARIA & TRAMWAY SW, LTD. PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) A (REPLAT OF TRACT 1) **LANDS OF CANDELARIA & AND TRAMWAY SW**, zoned SU-1 special use zone, Neighborhood Commercial, located on TRAMWAY BLVD NE AND CANDELARIA RD NE and containing approximately 3 acre(s). [REF: 03EPC-00702, 03EPC-00703, 03EPC-0704] [*Final Plat was indefinitely deferred*] (H-22) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

15. **Project # 1003259**
04DRB-00211 Minor-Sketch Plat or Plan

CALDWELL BANKER agent(s) for JEROME MALDONADO request(s) the above action(s) for Lot(s) 7 & 8, Block(s) 1, **STRONGHURST ADDITION**, zoned R-1 residential zone, located on COMMERCIAL ST NE, between CLAREMONT AVE NE and CANDELARIA RD NE containing approximately 1 acre(s). (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. **Project # 1002506**
04DRB-00217 Minor-Sketch Plat or Plan

TIERRA WEST LLC agent(s) for STH INVESTMENTS INC., request(s) the above action(s) for Lot(s) 6C, 12A and 12B, (to be known as **BLACK FARM ESTATES**, zoned RA-1, located EAST OF COORS BLVD NW BETWEEN PASEO DEL NORTE NW AND WESTSIDE DR NW, containing approximately 68 acre(s). (C-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. Approval of the Development Review Board Minutes for February 11, 2004. **THE MINUTES WERE APPROVED.**

ADJOURNED: 11:39 A.M.

14



Completed

2/26/04
Ba

DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>03DRB-01652 (FP)</u>	Project # <u>1002635</u>
Project Name: <u>LANDS OF CANDELARIA & TRAMWAY SW</u>	
Agent: <u>Bohannan Huston Inc.</u>	Phone No.: <u>823-1000</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/25/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): _____
- _____
- _____
- _____

Project Number 1002635

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required. OK**
- Copy of recorded plat for Planning.**

14



DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03DRB-01652 (FP)

Project # 1002635

Project Name: LANDS OF CANDELARIA & TRAMWAY SW

Agent: Bohannon Huston Inc.

Phone No.: 823-1000

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/25/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1002635

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
2/25/04 Comments**

ITEM # 14

PROJECT # 1002635

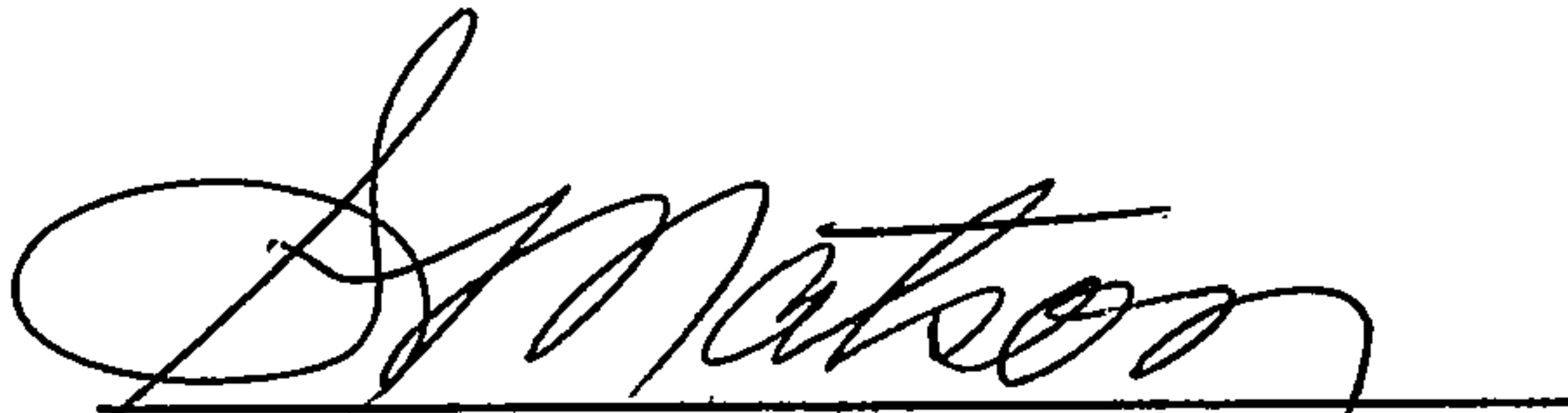
APPLICATION # 04-01652

RE: Lands of Candelaria & TramwaySW/fial plat

AGIS dxf approval is required before Planning signs the final plat.

Are there any changes from the preliminary plat?

Once approved & fully signed, the plat may be recorded by applicant. However, Planning needs a recorded copy to close the file.



Sheran Matson, AICPO DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1299 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002635

AGENDA ITEM NO: 14

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

An executed Subdivision Improvements Agreement with financial guarantees is ^{on file} ~~required~~ for Final Plat sign-off.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: February 25, 2004



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 8, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:05 a.m.

Adjourned: 1:20 p.m.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000131**
03DRB-01513 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, agent(s) for BROADWAY DEVELOPMENT CORPORATION, request(s) the above action(s) for all or a portion of various parcels comprising, **BROADWAY INDUSTRIAL PARK - UNIT 1**, zoned SU-2 HM, located on SAN JOSE AVE SE, between BROADWAY BLVD SE and I-25 SE containing approximately 61 acre(s). [REF: 01DRB-01559] (M-14) **A TWO-YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

2. **Project # 1002855**
03DRB-01511 Major-Vacation of Pub
Right-of-Way

JOHN A. MYERS, ESQ. agent(s) for ETG PROPERTIES, LLC request(s) the above action(s) for all or a portion of **EAST END ADDITION**, located on VERMONT ST NE, between LOMAS BLVD NE and MARBLE AVE NE containing approximately 1 acre(s). [REF: Z-98-115 A& B, 03EPC-00979 & 981, 02EPC-01676 & 77 (J-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH TWO ADDITIONAL CONDITIONS.**

3. **Project # 1002928**
03DRB-01532 Major-Preliminary Plat
Approval
03DRB-01534 Minor-Temp Defer SDWK
03DRB-01536 Minor-Sidewalk Waiver

BOHANNAN HUSTON, INC. & DENISH-KLINE ASSOCIATES, agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **Tract(s) D** (to be known as **TAOS @ THE TRAILS**, The Trails (a portion of Tract 4, Black Ranch) zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). REF: 03DRB-01429 (SK)] [*Deferred from 10/8/03*] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/5/03.**

4. **Project # 1002929**
03DRB-01531 Major-Preliminary Plat
Approval
03DRB-01533 Minor-Temp Defer SDWK
03DRB-01535 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC. & DENISH - KLINE ASSOCIATES, agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of **Tract(s) C** (to be known as **SANTA FE @ THE TRAILS**) The Trails (**portion of Tract 4, Black Ranch**) zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 17 acre(s). [*Deferred from 10/8/03*] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/5/03.**

5. **Project # 1002962**
03DRB-01527 Major-Bulk Land Variance
03DRB-01528 Minor-Prelim&Final Plat
Approval
03DRB-01529 Major-Vacation of Public
Easements
03DRB-01530 Major-SiteDev Plan Subd

BOHANNAN HUSTON INC & DENISH-KLINE ASSOCIATES, agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 4 (to be known as **TRACT 4, BLACK RANCH**, zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 100 acre(s). [REF: 03DRB-01432 (SK), 03DRB-01429 (SK)] [*Deferred from 10/8/03*] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/22/03.**

6. **Project # 1002957**
03DRB-01524 Major-Vacation of Public
Easements
03DRB-01525 Minor-Prelim&Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES, INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) 26A-1, **TAYLOR RANCH**, zoned R-T, located on TAYLOR RANCH DR NW, between MONTANO RD NW and HOMESTEAD CIRCLE NW containing approximately 14 acre(s). [REF: DRB-91-133] (D-11) **THE VACATION OF THE PUBLIC WATER LINE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO CHECK FOR REMOVAL OF VACATION (1) ON SHEETS 2 OF 3 OF THE PLAT AND TO PLANNING FOR AGIS DXF FILE.**

7. **Project # 1002960**
03DRB-01537 Major-Preliminary Plat
Approval
03DRB-01538 Major-Vacation of Pub
Right-of-Way
03DRB-01539 Major-Vacation of Public
Easements
03DRB-01540 Minor-Temp Defer SDWK
03DRB-01541 Minor-Sidewalk Waiver

MARK GOODWIN & ASSOCIATES, agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Tract(s) J-2-A (to be known as **SUNDORO SOUTH, UNITS 1, 2 & 3**) WESTLAND NORTH SUBDIVISION, zoned SU-2 / R-LT, located on 98TH ST NW, between I-40 NW and LADERA DR NW containing approximately 35 acre(s). [*Deferred from 10/8/03*] (J-8) **DEFERRED AT THE AGENT'S REQUEST TO 10/22/03.**

8. **Project # 1002934**
03DRB-01445 Major-Vacation of Pub
Right-of-Way

DE LA TORRE ARCHITECTS, agent(s) for FOURTH STREET & MENAUL INC., request(s) the above action(s) for all or a portion of Block(s) O, Tract(s) 1A, **WALGREEN ADDITION**, zoned C-2 (SC), containing approximately 11 acre(s). *[Deferred from 9/24/03 & 10/8/03]* (H-14) **DEFERRED AT THE AGENT'S REQUEST TO 10/15/03.**

9. **Project # 1002645**
03DRB-01440 Major-Preliminary Plat
Approval
03DRB-01441 Minor-Temp Defer
SDWK

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Tract(s) 1-1-A (to be known as **SEVILLE UNIT 8**, zoned R-LT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA PL NW containing approximately 27 acre(s). [REF: 03DRB-00741] *[Deferred from 10/1/03]* (A-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/3/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION OF FINAL PLAT: SUBMITTAL OF CROSS SECTIONS OF PERIMETER WALLS AND THEIR APPROVAL BY PLANNING. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

10. **Project # 1002864**
03DRB-01487 Major-Preliminary Plat
Approval
03DRB-01488 Major-Vacation of Public
Easements
03DRB-01490 Minor-Temp Defer SDWK
03DRB-01491 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LTD PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) B, Ventana Ranch, Lands of Massachusetts General Hospital (to be known as **CANTA CIELO SUBDIVISION**) zoned R-LT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 20 acre(s). [REF:03DRB-01302] [Deferred from 10/1/03] (A-9/A-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/4/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: SUBMITTAL OF CROSS SECTIONS OF PERIMETER WALLS AND THEIR APPROVAL BY PLANNING. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

11. **Project # 1002948**
03DRB-01485 Major-Preliminary Plat
Approval
03DRB-01486 Minor-Sidewalk Waiver
03DRB-01497 Minor-Temp Defer SDWK

ISAACSON AND ARFMAN, P.A. agent(s) for MS DEV ONE, LLC request(s) the above action(s) for all or a portion of Tract(s) A-1, Lot(s) 1 & 2, Tract(s) 171a1b2, **LANDS OF JACK CULLY**, zoned RA-2 residential and agricultural zone, located on ADOBE RD NW, between MONTANO RD NW and GUADALUPE TR NW containing approximately 6 acre(s). [Deferred from 10/1/03] (F-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/5/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: AN ADEQUATE EASEMENT FOR THE LATERAL SHALL BE PROVIDED AND M.R.G.C.D. SHALL SIGN THE PLAT. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

12. **Project #1002201**
03DRB-01270 Major-Preliminary Plat
Approval

TIERRA WEST LLC agent(s) for P J DEVELOPMENT COMMERCIAL CONSTRUCTION, request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2 special neighborhood zone, SU-1 AUTO SALES, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY. NE and SAN PEDRO DR NE containing approximately 7 acre(s). [REF: Z-86-8, DRB-95-74, 02DRB-01367 (VRW) 02DRB-01270 (PP)] [Deferred from 8/20/03, 8/27/03, 9/10/03, 9/24/03, 10-1/03] (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 THE PRELIMINARY PLAT WAS APPROVED.**

Project #1002201
03DRB-01150 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for OMEGA AUTOMOTIVE REAL ESTATE LTD request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (Vac), 03ZHE-00655] [Listed as Project #1002613 in error] [Deferred from 7/23/03, 8/13/03, 8/27/03, 9/10/03, 9/24/03, 10/1/03] (C-18) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CROSS LOT DRAINAGE EASEMENTS AND UTILITY DEVELOPMENT TO ADD PRIVATE SANITARY SEWER EASEMENTS FOR PRIVATE ACCESS AND TO ADD A 30-FOOT PUBLIC WATERLINE EASEMENT TO VACATED OAKLAND.**

Project #1002201
03DRB-01382 Minor-SiteDev Plan
BldPermit

TIERRA WEST, LLC agent(s) for OMEGA AUTOMOTIVE, REAL ESTATE LTD. request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, Block(s) 10, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 special neighborhood zone, IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (VRW) 03ZHE-00655] [Deferred from 8/27/03, 9/10/03, 9/24/03, 10/1/03] (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.**

13. **Project # 1002949**
03DRB-01492 Minor-Preliminary Plat
Approval
03DRB-01493 Major-Vacation of Pub
Right-of-Way
03DRB-01494 Minor-Sidewalk Waiver
03DRB-01496 Minor-Temp Defer
SDWK

ISAACSON AND ARFMAN, P.A. agent(s) for JAMES CRABTREE request(s) the above action(s) for all or a portion of Tract(s) 1, Block(s) 10A, Unit(s) 3, VOLCANO CLIFFS SUBDIVISION, (to be known as **PETROGLYPH PARK**) zoned O-1 office and institution zone, located on SANTO DOMINGO NW, between UNSER BLVD NW and PIMA AVE NW containing approximately 2 acre(s). *[Deferred from 10/1/03 & 10/8/03]* (E-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/22/03.**

14. **Project # 1001523**
03DRB-01361 Major-Vacation of Public
Easements
03DRB-01360 Major-Preliminary Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] *[Deferred from 9/10/03, 9/17/03, 9/24/03, 10-1-03]* (H-10) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/21/02 THE PRELIMINARY PLAT WAS APPROVED.**

- Project # 1001523**
03DRB-01458 Minor-SiteDev Plan
Subd/EPC

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] *[Deferred from 9/10/03, 9/17/03, 9/24/03, 10/1/03]* [RUSSELL BRITO, EPC CASE PLANNER] (H-10) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PERIMETER WALL SUBMITTAL.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

15. **Project # 1002197**
03DRB-01648 Minor-SiteDev Plan
BldPermit/EPC
- MOLZEN CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT - WATER UTILITY DIVISION, request(s) the above action(s) for SEC. 28 T11N R2E , **WEST MESA OPEN SPACE**, zoned RO-20, located on ATRISCO NW and 81ST ST NW BETWEEN DOUBLE EAGLE AIRPORT AND I-40 WEST. [CHRIS HYER, EPC CASE PLANNER] (E-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
16. **Project # 1002455**
03DRB-01654 Minor-SiteDev Plan
Subd/EPC
03DRB-01655 Minor-Sketch Plat or
Plan
- TIMOTHY M. OTT agent(s) for JOE COTRUZZOLA request(s) the above action(s) for all or a portion of Lot(s) A3B, **J GROUP ADDITION**, zoned SU-1, C-1, located on SAN ANTONIO NE, between I-25 and SAN PEDRO NE containing approximately 10 acre(s). [DEBBIE STOVER, EPC CASE PLANNER] [Deferred from 10/8/03] (E-18) **THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE GIVEN. DEFERRED AT THE AGENT'S REQUEST TO 10/22/03.**

17. **Project # 1001104**
03DRB-00289 Minor- Final Plat
Approval

RHOMBUS PA agent(s) for TOR & RAQUEL RASMUSSEN request(s) the above action(s) for all or a portion of Lot(s) 31 and 32, Block(s) 2, Tract(s) 3, Unit 3, NORTH ALBUQUERQUE ACRES (to be known as **OAKLAND MEADOWS SUBDIVISION**) zoned R-D, located on BARSTOW ST NE, between OAKLAND AVE NE and the NORTHEAST CORNER OF THE INTERSECTION, containing approximately 2 acre(s). [REF: 01DRB-00312] [Deferred from 3/5/03, 3/26/03 & 4/9/03, the final plat was indefinitely deferred on 4/16/03] (C-20) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMENDMENTS TO THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS

18. **Project # 1000162**
03DRB-01636 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD. agent(s) for TIM WHITE - DESERT CREEK APARTMENTS request(s) the above action(s) for all or a portion of Tract(s) A, **LUECKING PARK COMPLEX**, zoned R-3, located on BRYN MAWR AVE NE, between AMAFCA NORTH DIVERSION and I-25 FRONTAGE ROAD containing approximately 16 acre(s). [REF: 1000162, 01DRB-01697, 00440-00097, 01460-00821, 03DRB-00823] (G-16) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ACCESS TO BOTH LOTS OF ADJOINING PARCEL AND UPDATES AND TO PLANNING FOR PNM ELECTRIC'S SIGNATURE AND FOR A TRAIL EASEMENT ON SOUTH END OF PROPERTY.**

19. **Project # 1000621**
03DRB-01649 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON, INC. agent(s) for JOHN Q. HAMMONS REVOCABLE TRUST request(s) the above action(s) for all or a portion of Tract(s) B & C, **GATEWAY SUBDIVISION**, zoned SU-2 special neighborhood zone, C-3, located on WOODWARD PL NE, between INTERSTATE 25 and LOMAS BLVD NE containing approximately 10 acre(s). [REF: DRB-97-466, 00DRB-00849 SK, 03DRB-01353] (J-15) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR 35-FOOT BY 35-FOOT WATER METER EASEMENT AND PLANNING FOR AGIS DXF FILE.**

20. **Project # 1001991**
03DRB-01650 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC. agent(s) for GEORGE EK request(s) the above action(s) for all or a portion of Lot(s) 9, Block(s) B, **DAVIDSON ADDITION**, zoned R-2, located on CANDELARIA ROAD NW, between 4th ST NW and 7th ST NW containing approximately 1 acre(s). [REF: Listed under Project #1002135 in error. Correct Project # is #1001991, 02ZHE 01209/01210/01211] (G-14) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

21. **Project # 1002315**
03DRB-01651 Minor-Final Plat
Approval

BOHANNAN HUSTON, INC. agent(s) for HIGH DESERT INVESTMENT CORP. request(s) the above action(s) for all or a portion of Tract(s) 13-B, **WILDERNESS VILLAGE & WILDERNESS COMPOUND @ HIGH DESERT**, zoned SU-2 HD/R-R, located on CITY OF ALBUQUERQUE OPEN SPACE, containing approximately 34 acre(s). (F-23) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO COORDINATE WITH FINAL CONSTRUCTION PLANS AND ACCESS LANGUAGE FOR SANITARY SEWER AND PLANNING FOR PERIMETER WALLS SUBMITTAL AND AGIS DXF FILE.**

22. **Project # 1002635**
03DRB-01652 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON, INC. agent(s) for CANDELARIA & TRAMWAY SW, LTD. PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) A (REPLAT OF TRACT 1) **LANDS OF CANDELARIA & AND TRAMWAY SW**, zoned SU-1 special use zone, Neighborhood Commercial, located on TRAMWAY BLVD NE AND CANDELARIA RD NE and containing approximately 3 acre(s). [REF: 03EPC-00702 ZMA, 03EPC-00703 SPS, 03EPC-0704 SBP] (H-22) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

23. **Project # 1002992**
03DRB-01623 Minor-Subd Design
(DPM) Variance

TIERRA WEST, LLC agent(s) for SOUTHWEST CONTRACTORS INC. request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 5, **ORIGINAL TOWNSITE OF WESTLAND**, zoned C-2 community commercial zone, located on 86TH ST SW, between BRIDGE BLVD SW and CENTRAL AVE SW. [Deferred from 10/8/03] (K-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/15/03.**

24. **Project # 1003006**
03DRB-01653 Minor-Prelim&Final Plat
Approval

ALBUQUERQUE SURVEYING COMPANY, INC.
agent(s) for RICHARD & NASHAUN GALLEGOS
request(s) the above action(s) for all or a portion of
Lot(s) 17 & 18, Block(s) 3, **BELMONT PLACE**
ADDITION, zoned R-1, located on 5th ST NW,
between BELLROSE AVE NW and GRIEGOS RD
NW containing approximately 1 acre(s). [REF: ZA-93-
227] (G-14) **INDEFINITELY DEFERRED AT THE**
AGENT'S REQUEST.

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLAT THIS WEEK

25. Approval of the Development Review Board Minutes September 24, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 1:20 P.M.



City of Albuquerque
 CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002635

AGENDA ITEM NO: 22

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: October 8, 2003

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
October 8, 2003 Comments**

ITEM # 22

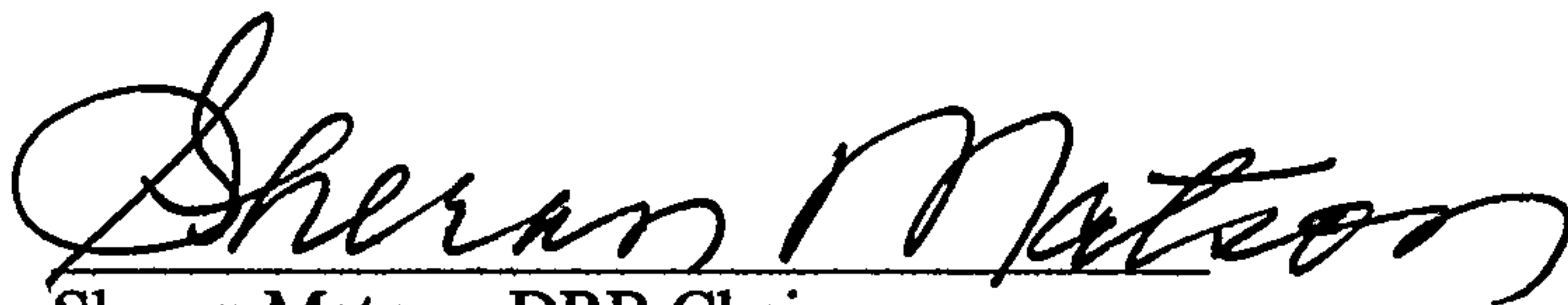
PROJECT # 1002635

APPLICATION # 03DRB-01652

RE: Lands of Candelaria & Tramway SW, Tract A/Prelim & Final

No objection to the platting action.

AGIX dxf file approval is required before Planning signs the final plat. Applicant may file the plat provided a recorded copy is given to Planning to close the file.



Sheran Matson, DRB Chair

914-3880 Fax 914-3864 smatson@cabq.gov

**DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet**

DRB- 1002635 Item No. 22 Zone Atlas 14-22

DATE ON AGENDA

INFRASTRUCTURE REQUIRED () YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- () SITE PLAN FOR BUILDING PERMIT

No.	Comment

If you have any questions or comments please call ~~Richard Dourte~~
at 924-3990. Meeting notes: *Wilfred GARCIA*

3991

*(1) PROVIDE SKETCH OF IMPROVEMENTS w/ RELATED TO
DEDICATED R-O-W.*



9

DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-01735 (SBP)

Project # 1002635

Project Name: LANDS OF CANDELARIA & TRAMWAY NE

EPC Application No.: 03EPC-00702

Agent: Consensus Planning

Phone No.: 764-9801

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/29/03 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 10/29/03 appeal deadline & ped. walkway approval by HOA

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- Copy of final plat AND a DXF File for AGIS is required.
- Copy of recorded plat for Planning.

Project Number 1002635



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 22, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:20 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002640**
03DRB-01574 Minor-Amnd Prelim Plat
Approval
03DRB-00724 Major-SiteDev Plan Subd
03DRB-00725 Minor-Subd Design (DPM)
Variance
03DRB-00726 Minor-Sidewalk Variance
03DRB-00728 Minor-Temp Defer SDWK

ISAACSON & ARFMAN agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Block(s) 3, Lot(s) 22-32, Tract(s) 2, NORTH ALBUQUERQUE ACRES, VISTA DEL AGUILA SUBDIVISION, UNIT 3, zoned RD (7 DU/AC), located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE, containing approximately 11 acre(s). [REF: 03DRB-00723, AP-03EPC-01242] [REMAND FROM EPC] [*Deferred from 10/15/03*] (C-19) THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH CONDITION OF FINAL PLAT: DISPOSITION OF THE PEDESTRIAN RIGHT-OF-WAY BE ADDRESSED AT FINAL PLAT BY EITHER AN EASEMENT ON THE ADJACENT LOT OR A TRACT DESIGNATED TO A HOMEOWNERS ASSOCIATION FOR MAINTENANCE. THE AMENDED INFRASTRUCTURE LIST DATED 10/22/03 WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO PLANNING FOR DESIGNATED TREES AND APPROVAL OF DESIGN ELEVATIONS AND CROSS SECTIONS OF PERIMETER WALLS BY THE DRB CHAIR. A SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS INDICATED IN EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

5. **Project # 1003002**
03DRB-01635 Major-Vacation of Pub
Right-of-Way

SURVEYS SOUTHWEST, LTD. agent(s) for DON HANOSH request(s) the above action(s) for all or a portion of Lot(s) 9-12, Block(s) 23, **CANADA VILLAGE, FIRST UNIT**, zoned C-2 community commercial zone, (SC) located south of CENTRAL AVE SE, and west of DORADO PL SE containing approximately 0.11 acre(s). [REF: ZA-76-273] (L-22) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

6. **Project # 1002962**
03DRB-01527 Major-Bulk Land Variance
03DRB-01528 Minor-Prelim&Final Plat
Approval
03DRB-01529 Major-Vacation of Public
Easements
03DRB-01530 Major-SiteDev Plan Subd

BOHANNAN HUSTON INC & DENISH-KLINE ASSOCIATES, agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 4 (to be known as **TRACT 4, BLACK RANCH**, zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 100 acre(s). [REF: 03DRB-01432 (SK), 03DRB-01429 (SK)] [*Deferred from 10/8/03*] (C-9) **THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. **Project # 1002960**
03DRB-01537 Major-Preliminary Plat
Approval
03DRB-01538 Major-Vacation of Pub
Right-of-Way
03DRB-01539 Major-Vacation of Public
Easements
03DRB-01540 Minor-Temp Defer SDWK
03DRB-01541 Minor-Sidewalk Waiver

MARK GOODWIN & ASSOCIATES, agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Tract(s) J-2-A (to be known as **SUNDORO SOUTH, UNITS 1, 2 & 3**) WESTLAND NORTH SUBDIVISION, zoned SU-2 / R-LT, located on 98TH ST NW, between I-40 NW and LADERA DR NW containing approximately 35 acre(s). [*Deferred from 10/8/03 & 10/22/03*] (J-8) **DEFERRED AT THE AGENT'S REQUEST TO 11/5/03.**

2. **Project # 1001656**
03DRB-01591 Major-Bulk Land Variance
03DRB-01592 Minor-Prelim&Final Plat
Approval

SANTIAGO ROMERO JR. agent(s) for CITY OF ALBUQUERQUE, LINDA ADAMSKO request(s) the above action(s) for all or a portion of Tract(s) O & N, **DOUBLE EAGLE AIRPORT II**, zoned SU-1 special use zone, AIRPORT & RELATED FACILITIES, located NORTHWEST OF DOUBLE EAGLE AIRPORT NW, containing approximately 591 acre(s). [REF: 01EPC-01875, 03EPC-00915 & 16] *[Deferred from 10/22/03]* (C-4 & D-4) **DEFERRED AT THE AGENT'S REQUEST TO 11/5/03.**

3. **Project # 1001816**
03DRB-01640 Major-Vacation of Pub
Right-of-Way

JANE CARLTON request(s) the above action(s) for all or a portion of Lot(s) 10, 11 and 12, **NM TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-2 special neighborhood zone, HDA, located on the southside of TIJERAS AVE NW, between 9th ST NW AND 10TH St NW containing approximately 1 acre(s). [REF: 02LUC-00952, 02CC-00446 & 00950 AP, Z-94-1, LUC92-3] *[Deferred from 10/22/03]* (J-13) **DEFERRED AT THE AGENT'S REQUEST TO 10/29/03.**

4. **Project # 1002714**
03DRB-01634 Major-Vacation of Pub
Right-of-Way

TIERRA WEST LLC agent(s) for ZANGARA DODGE request(s) the above action(s) for all or a portion of **EAST END ADDITION**, zoned C-2 community commercial zone, located on VIRGINIA ST NE, between LOMAS BLVD NE and MARBLE ST NE containing approximately ¼ acre(s). [REF: 03EPC-00917] (J-19) **WITHDRAWN AT THE AGENT'S REQUEST.**

8. **Project # 1002949**
03DRB-01492 Minor-Preliminary Plat Approval
03DRB-01493 Major-Vacation of Pub Right-of-Way
03DRB-01494 Minor-Sidewalk Waiver
03DRB-01496 Minor-Temp Defer SDWK

ISAACSON AND ARFMAN, P.A. agent(s) for JAMES CRABTREE request(s) the above action(s) for all or a portion of Tract(s) 1, Block(s) 10A, Unit(s) 3, VOLCANO CLIFFS SUBDIVISION, (to be known as PETROGLYPH PARK) zoned O-1 office and institution zone, located on SANTO DOMINGO NW, between UNSER BLVD NW and PIMA AVE NW containing approximately 2 acre(s). [Deferred from 10/1/03 & 10/8/03] (E-10) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/22/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/3/03 THE PRELIMINARY PLAT WAS APPROVED. THE VACATION OF RIGHT-OF-WAY WAS WITHDRAWN AT THE AGENT'S REQUEST. THE SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

9. **Project # 1002635**
~~03DRB-01755~~ Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING INC agent(s) for TRICOR SOUTHWEST CORPORATION, request(s) the above action(s) for all or a portion of Tract(s) 1 (to be known as LANDS OF CANDELARIA & TRAMWAY NE), SECTION 3 T10N R4E, zoned SU1-Neighborhood Commercial, located on CANDELARIA RD NE, between TRAMWAY BLVD NE and MOUNTAINSIDE PARKWAY NE containing approximately 3 acre(s). [REF: 03EPC-00702] [Juanita Vigil, EPC Case Planner] (H-22) THE AMENDED INFRASTRUCTURE LIST DATED 10/22/03 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PEDESTRIAN WALKWAY, HOME OWNER'S ASSOCIATION APPROVAL AND THE APPEAL DEADLINE OF 10/29/03.

OK
11/7/03

10. **Project # 1002459**
03DRB-01758 Minor-SiteDev Plan
Subd/EPC
03DRB-01759 Minor-SiteDev Plan
BldPermit/EPC
03DRB-01760 Minor – Prelim & Final Plat
Approval

TIERRA WEST LLC agent(s) for SCM PROPERTY COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) 358 & 359 and A21, W H BRUNELL ADDITION & UNIT 8 ATRISCO GRANT, (to be known as **QUAIL RIDGE**) zoned SU-1 COMM DEV C-2 USES & TRUCK TERMINAL, located COORS BLVD NW, between OURAY RD NW and QUAIL RD NW containing approximately 8 acre(s). [REF: Z-71-204, Z-77-155, 03EPC-00159, 03EPC-00160, 1002459] [**Juanita Vigil, EPC Case Planner**] [*Deferred from 10/22/03*] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 10/29/03.**

11. **Project # 1002455**
03DRB-01654 Minor-SiteDev Plan
Subd/EPC
03DRB-01655 Minor-Sketch Plat or Plan

TIMOTHY M. OTT agent(s) for JOE COTRUZZOLA request(s) the above action(s) for all or a portion of Lot(s) A3B, **J GROUP ADDITION**, zoned SU-1, C-1, located on SAN ANTONIO NE, between I-25 and SAN PEDRO NE containing approximately 10 acre(s). [**DEBBIE STOVER, EPC CASE PLANNER**] [*Deferred from 10/8/03 & 10/22/03*] (E-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/29/03.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS

12. **Project # 1000150**
03DRB-01767 Major-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for WESTLAND DEVELOPMENT CO., INC. request(s) the above action(s) for all or a portion of Tract(s) A, **THE CROSSING, UNIT 2B**, zoned RD, located on GUNNISON PL NW, between CASA VERDE AVE. NW and GALATIN CT. NW containing approximately 13 acre(s). [REF: 03DRB 00284, DRB 95-537] [*Deferred from 10/22/03*] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/29/03.**

13. **Project # 1001222**
03DRB-01769 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC. agent(s) for TOM NICKOLSON (NICKOLSON FAMILY PARTNERSHIP) request(s) the above action(s) for all or a portion of Tract(s) 3-A, **SHELL SUBDIVISION, NO. 2**, zoned C-2 community commercial zone, located on COORS BLVD NW, between ILIFF RD NW and HANOVER NW containing approximately 3 acre(s). [REF: 01DRB-00587] *Deferred from 10/22/03* (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 10/29/03.**

14. **Project # 1001875**
03DRB-01762 Minor-Extension of
Preliminary Plat

TIERRA WEST LLC agent(s) for ARGUS DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 2, **KINSCHERFF & UNPLATTED LAND IN PRESLEY COMPANY OF NEW MEXICO**, zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAIL NW and the SAN ANTONIO ARROYO containing approximately 22 acre(s). [REF: Z-71-124, 02DRB-00570, 02EPC-00837, 02EPC-00838, 02DRB-01493, 1001875] (F-11) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

15. **Project # 1003036**
03DRB-01765 Minor-Prelim&Final Plat
Approval

ADVANCED ENGINEERING & CONSULTING, LLC agent(s) for CARMEN M. ALCANTAR request(s) the above action(s) for all or a portion of Lot(s) 14-A & 14-B, Block(s) 1, **LA MARIPOSA SOUTH**, zoned R-1 residential zone, located on VISTA DE LUZ NW, between DELLYNE AVE NW and CAMINO VIENTO, NW containing approximately 0.4431 acre(s). [REF: DRB-95-259] (F-11) **THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1003027**
03DRB-01721 Minor-Sketch Plat or Plan
- THOMPSON ENGINEERING CONSULTANTS INC., agent(s) for INTERFIRST PROPERTIES INC request(s) the above action(s) for all or a portion of Lot(s) 3, 4 & 5, Block(s) 4, Tract(s) 2, Unit(s) 3, **NORTH ALBUQUERQUE ACRES, TRACT 2**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 3 acre(s). (C-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
17. **Project # 1003034**
03DRB-01761 Minor-Sketch Plat or Plan
- SURVEYS SOUTHWEST, LTD. agent(s) for JOHN MAHONEY request(s) the above action(s) for all or a portion of Lot(s) 11A & 11B, Block(s) 20, **BROWNEWELL & LAIL'S HIGHLAND ADDITION**, zoned SU-2 special neighborhood zone, MD-1, located on COPPER AVE NE, between CEDAR ST NE and SPRUCE ST NE containing approximately 0.1630 acre(s). [REF: DRB-96-163] (K-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project # 1003037**
03DRB-01768 Minor-Sketch Plat or Plan
- RUTH SARA ROSENSTEIN request(s) the above action(s) for all or a portion of Lot(s) 17-20, Block(s) 39, **PEREA ADDITION**, zoned SU-2 TH, located on 12th ST NW, between GRANITE NW and MARBLE NW containing approximately 1 acre(s). [REF: DRB-96-451] (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1003038**
03DRB-01770 Minor-Sketch Plat or Plan

LARRY READ & ASSOCIATES, INC agent(s) for EAGLE ROCK DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 2, Tract(s) 3, **NORTH ALBUQUERQUE ACRES - UNIT 3**, zoned RD (3DU/A), located on EAGLE ROCK AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). (C-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1003039**
03DRB-01771 Minor-Sketch Plat or Plan

LARRY READ & ASSOCIATES, INC agent(s) for HACIENDAS BY THE CARLISLES, request(s) the above action(s) for all or a portion of Lot(s) 1-3, Tract(s) 3, Block(s) 16, **NORTH ALBUQUERQUE ACRES - UNIT 3**, zoned RD (5 DU/A) located on WILSHIRE AVE NE, between VENTURA NE and HOLBROOK NE containing approximately 3 acre(s). (C-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. Approval of the Development Review Board Minutes for October 8, 2003. **THE MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 12:20 P.M.

City of Albuquerque
Planning Department
Inter-Office Memorandum

#9

October 20, 2003

TO: Sheran Matson, DRB Chair
FROM: Juanita Vigil, Planner
SUBJECT: Project # 1002635 (Eckerd on Candelaria/Tramway)

The Environmental Planning Commission approved Project 1002635/03EPC 00703, Site Development Plan for Subdivision, 03EPC 00704, Site Development Plan for Building Permit, on September 18, 2003.

After further review of the public hearing transcript of this case, it was determined that condition number 16 on the site development plan for building permit was inadvertently omitted, requiring the official notification of decision to be amended and redistributed to all interested parties. The amended official notification of decision now allows this case to be appealed to City Council by October 29, 2003.

Also, after further review of the transcript it appears that condition number 6g on the site development plan for building permit cannot be removed from the official notification of decision as mentioned in the applicant's statement. The Planning Commission did have intentions of removing this condition during the discussion of the case, but was not actually removed when the motion was made by EPC. Therefore, condition number 6g stands. We advise the applicant to have the design of the pedestrian walkway approved by the Tramway Highpoint HOA Board of Directors to resolve this matter.

Given that this case is still subject to the appeal deadline it is recommended that the DRB defer this case until all of these issues have been resolved.

An amended copy of the official notification of decision has been attached to this memo.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3349.

Thank you.

Planning
delegation



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: October 14, 2003

AMENDED OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002635 ***
03EPC-00702 Zone Map Amendment
03EPC-00703 EPC Site Development Plan-
Subdivision
03EPC-00704 EPC Site Development Plan-
Building Permit

Tricor Southwest Corp.
6340 East Thomas Rd., Suite 128
Scottsdale, AZ, 85251

LEGAL DESCRIPTION: for all or a portion of Tract(s) I, Section 3, T10N, a zone map amendment from SU-1 Neighborhood Commercial to SU-1 for C -1, located on CANDELARIA ROAD NE, between TRAMWAY BLVD. NE and MOUNTAINSIDE PARKWAY NE, containing approximately 4 acre(s). (H-22) Juanita Vigil, Staff Planner

On September 18, 2003 the Environmental Planning Commission voted to approve Project 1002635/03EPC 00702, a Site Development Plan for Building Permit, for Tract I, Section 3, T10N, R4E, located at 12501 Candelaria NE between Tramway and Mountainside Parkway NE, and containing approximately 2.44 acres, zoned SU-1 Planned Development Area, Neighborhood Commercial, based on the preceding Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Tract I, Section 3, T10N, R4E, located at 12501 Candelaria NE between Tramway and Mountainside Parkway NE, and containing approximately 2.44 acres, zoned SU-1 Planned Development Area, Neighborhood Commercial. The applicant is proposing to construct a 13,813 square foot Eckerd, which is a national neighborhood drugstore chain.

AMENDED OFFICIAL NOTICE OF DECISION
SEPTEMBER 18, 2003
PROJECT #1002635
PAGE 2 OF 5

2. In addition to this request, the applicant is requesting a zone map amendment for the site's zone category from SU-1 for Planned Development Area, Neighborhood Commercial to SU-1 for C-1 Uses.
3. The interpretation from the Zoning Enforcement Manager regarding the site's current zone category to mean that "all uses, permissive and conditional, of the C-1 Neighborhood Commercial zone are allowed as permissive on this site. The improvements for the site are to be controlled by a site development plan for building permit approved by the EPC."
4. The applicant is proposing a use that is permissive and conditional within the C-1 Neighborhood Commercial zone category as identified in the *Comprehensive City Zoning Code* and is therefore allowed within this site, based on the determination from the Zoning Enforcement Manager.
5. This site is adjacent to residential development and existing facilities that will allow this submittal to meet Policy 5e, Established Urban, of the *Comprehensive Plan* that requires new growth to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services.
6. The submittal, with modifications, will contain sufficient pedestrian connections to adjacent properties that will allow for compliance with Policy 5g, Established Urban of the *Comprehensive Plan* that specifies development to be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.
7. The subject site is adjacent to residential zones, furthering Policy 5i, Established Urban of the *Comprehensive Plan* that requires employment and service uses to be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.
8. With modifications, the submittal meets the definition and elements of a site development plan for building permit as defined in the *Comprehensive City Zoning Code*.
9. The site currently contains 3 off-premise signs that were not reflected on the site plan. The applicant has agreed to remove all of the off-premise signs.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

AMENDED OFFICIAL NOTICE OF DECISION
SEPTEMBER 18, 2003
PROJECT #1002635
PAGE 3 OF 5

2. The applicant shall provide a notation on the site development plan indicating that the uses allowed within this site shall be limited to those uses listed as permissive and conditional in Section 14-16-2-16, the C-1 Neighborhood Commercial zone of the *Comprehensive City Zoning Code*.
3. The applicant shall correct all the necessary sheets on the site development plan for building permit to reflect the accurate acreage of the site, which shall not exceed 2.92 acres. A certified survey shall be provided to verify the actual acreage of the site.
4. The submittal shall contain the exact lot dimensions for the subject site for verification of acreage and the allowance of the proposed freestanding signs.
5. The submittal shall be modified to provide information regarding the dimensions of the upright handicap signs and depict the exact location of handicap accessibility to the building from the parking areas.
6. A pedestrian walkway shall be provided somewhere in the area that is currently designated as a "landscape and ponding area" on the southwest portion of the site. The exact location shall be noted on the site development plan.
 - a. The developer will cover all expenses for the access.
 - b. The access must be ADA compliant
 - c. The access will be located in an area that is safe, with a marked crosswalk.
 - d. Additional sidewalk on Mountainside Parkway may be required.
 - e. Lighting may be required to keep the path safe for night use.
 - f. The access will exit onto the sidewalk at the side of the proposed development.
 - g. The final plan is subject to approval by the Tramway Highpoint HOA Board of Directors.
7. The landscape plan shall specify the number of plants that will be provided for each species.
8. A notation shall be added on the landscape plan indicating that 75% of living ground cover will be provided on the site and that the site will be in compliance with the *Water Conservation Ordinance*.
9. The applicant shall provide a notation on the site plan indicating that the site will meet all of the requirements of Section 14-16-3-9, Area Lighting Regulations of the *Comprehensive City Zoning Code*. Light poles within 100 feet of residential shall be limited to 16 feet.
10. The elevation views shall contain information regarding the height and width of all of building elements, such as and limited to windows and doors.
11. The submittal shall contain a general color description for the proposed building materials.

12. The submittal shall contain the correct square footage of the proposed freestanding signs as defined in the *Comprehensive City Zoning Code*.
13. The notation on sheet A-1.0 on the submittal that states "Preliminary Site Plan is schematic and not for construction" shall be removed.
14. The applicant shall comply with the following conditions of approval as required by the Traffic Engineer and the Public Works Department:
 - a. Traffic Impact study (TIS) is required.
 - b. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site.
 - c. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.
 - d. Site shall comply and be designed per DPM Standards.
 - e. On site plan, draw site triangle to verify adequate site distance at the intersection of Candelaria and new driveway. No obstructions greater than 2' within this triangle.
15. As agreed by the applicant, the three existing freestanding signs on the site shall be removed.
16. Building mounted signage which faces the neighborhood will be placed on a timer and lights will be turned off at 9:00 p.m.

On September 18, 2003 the Environmental Planning Commission voted to accept withdrawal of Project 1002635/03EPC 00702, a zone map amendment at the request of the agent.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY OCTOBER 29, 2003 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

OFFICIAL NOTICE OF DECISION
SEPTEMBER 18, 2003
PROJECT #1002635
PAGE 5 OF 5

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Victor J. Chavez
Planning Director

VJC/JV/ac

cc: Consensus Planning, Inc., 924 Park Ave. SW, Albuquerque, NM 87102
Phil Barott, Cibola Add., 2906 Casa del Norte Ct. NE, Albuquerque, NM 87112
Tom Doherty, Cibola Add., 2308 Madre NE, Albuquerque, NM 87112
Paul Grosvenor, Glenwood Hills South Casa Grande, 3601 Embudito Dr. NE, Albuquerque, NM 87111
Theresa Mezzetti, Glenwood Hills South Casa Grande, 3116 Camino Real Ct. NE, Albuquerque, NM 87111
Barbara Coffman, Holiday Park, 3017 Tahiti St. NE, Albuquerque, NM 87111
Feliz Thamert, Holiday Park, 11604 Golden Gate NE, Albuquerque, NM 87111



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002635

AGENDA ITEM NO: 9

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

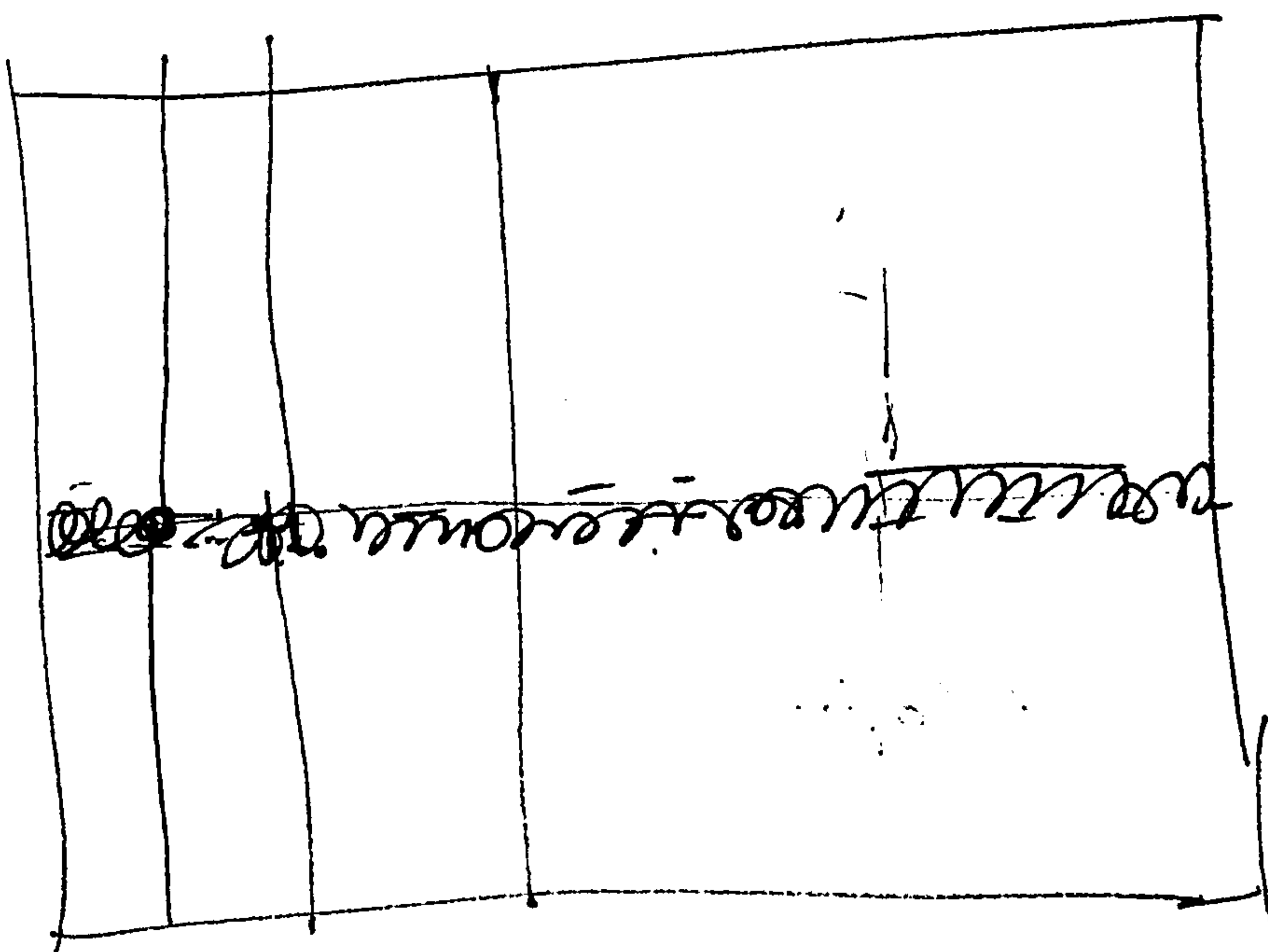
DATE: October 22, 2003

Handwritten text at the top of the page, possibly a date or name.

Handwritten text in the upper middle section.

Handwritten text on the right side of the page.

Handwritten text in the center of the page, above the diagram.



City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<p>SUBDIVISION</p> <p>___ Major Subdivision action</p> <p>___ Minor Subdivision action</p> <p>___ Vacation</p> <p>___ Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p>___ for Subdivision Purposes</p> <p><input checked="" type="checkbox"/> for Building Permit</p> <p>___ IP Master Development Plan</p> <p>___ Cert. of Appropriateness (LUCC)</p> <p>STORM DRAINAGE</p> <p>___ Storm Drainage Cost Allocation Plan</p>	<p>S Z ZONING & PLANNING</p> <p>___ Annexation</p> <p>___ County Submittal</p> <p>V ___ EPC Submittal</p> <p>___ Zone Map Amendment (Establish or Change Zoning)</p> <p>P ___ Sector Plan (Phase I, II, III)</p> <p>___ Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p>___ Text Amendment (Zoning Code/Sub Regs)</p> <p>___ Street Name Change (Local & Collector)</p> <p>L A APPEAL / PROTEST of...</p> <p>D ___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
--	--

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Goz G. Segars PHONE: (843) 332-2537

ADDRESS: 2586 Kelleytown Road FAX: (843) 332-9554

CITY: Hartsville STATE SC ZIP 29550 E-MAIL: _____

Proprietary interest in site: Owner List all owners: _____

AGENT (if any): Consensus Planning PHONE: 764-9801

ADDRESS: 302 Eighth Street NW FAX: 842-5495

CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: Final Sign-off of EPC approved Amended Site Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A, Plat of Tract A Block: _____ Unit: _____

Subdiv. / Addn. Lands of Candelaria and Tramway SW

Current Zoning: SU-1 for C-1 Permissive & Cond. Use Proposed zoning: Same as current

Zone Atlas page(s): H-22 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 2.518 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No _____, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No

UPC No. 102206050800040960 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Tramway at Candelaria

Between: Candelaria Road and Comanche Road

CASE HISTORY: Catalina Lehner Epc Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App, DRB-, AX, Z, V, S, etc.): Project 1002635; 03EPC-00702

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ? . Date of review: _____

SIGNATURE Jacqueline Fishman DATE 12/13/05
 (Print) Jacqueline Fishman, AICP _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<p><input type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input checked="" type="checkbox"/> F.H.D.P. density bonus</p> <p><input checked="" type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>05DRB-01887</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Hearing date <u>12/21/05</u></p>	<p>Action</p> <p><u>ASBP</u></p> <p><u>CMF</u></p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>S.F.</p> <p><u>P(3)</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Total</p> <p><u>\$ 20.00</u></p>	<p>Fees</p> <p><u>\$ 0.00</u></p> <p><u>\$ 20.00</u></p> <p>_____</p> <p>_____</p> <p>_____</p>
---	--	---	---	---

Sandy Handley Project # 1002635

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Blue-line copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan **SUBMITTED W/ ORIGINAL APPROVAL**
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JACQUELINE FISHMAN
Applicant name (print)
Jacqueline Fishman 12/13/05
Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05DRB- _____ -01887
_____- _____ -_____
_____- _____ -_____

Sandy Handley 12/13/05
Planner signature / date
Project # 1002635

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W., 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER H-22

REFERRAL # _____

SITE ADDRESS 12501 Candelaria NE

LEGAL DESCRIPTION: SUBJECT TRACT _____

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 2

INSTANTANEOUS FLOW REQUIRED 1,871 GPM

SQUARE FOOTAGE - LARGEST BUILDING 19,211

TYPE CONSTRUCTION D-B SPRK

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2

DATE: 12-12-05

FIRE DEPARTMENT INSPECTOR: Lt. [Signature]

RECEIVED BY: Billy [Signature] TELEPHONE: 896-0391

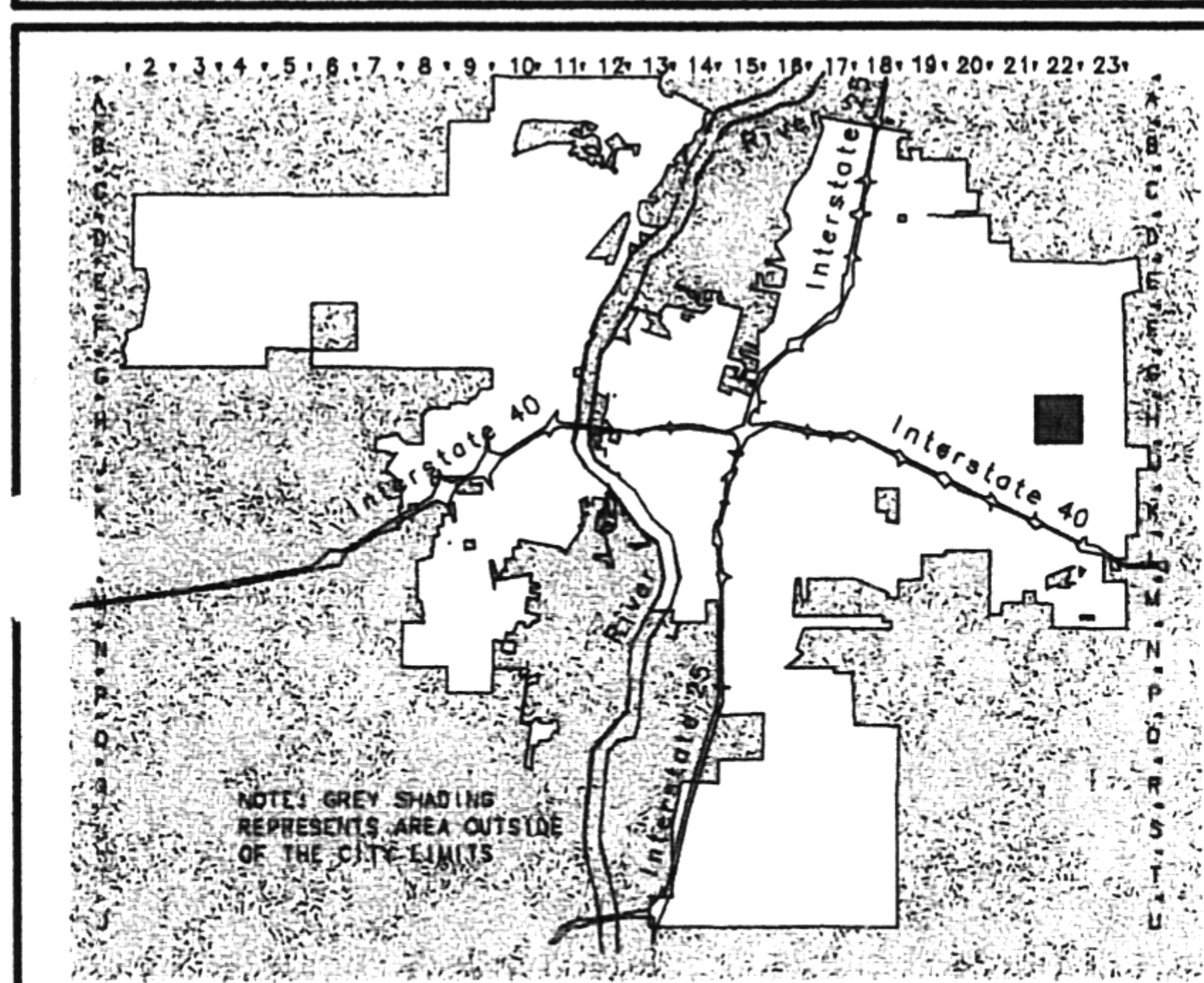
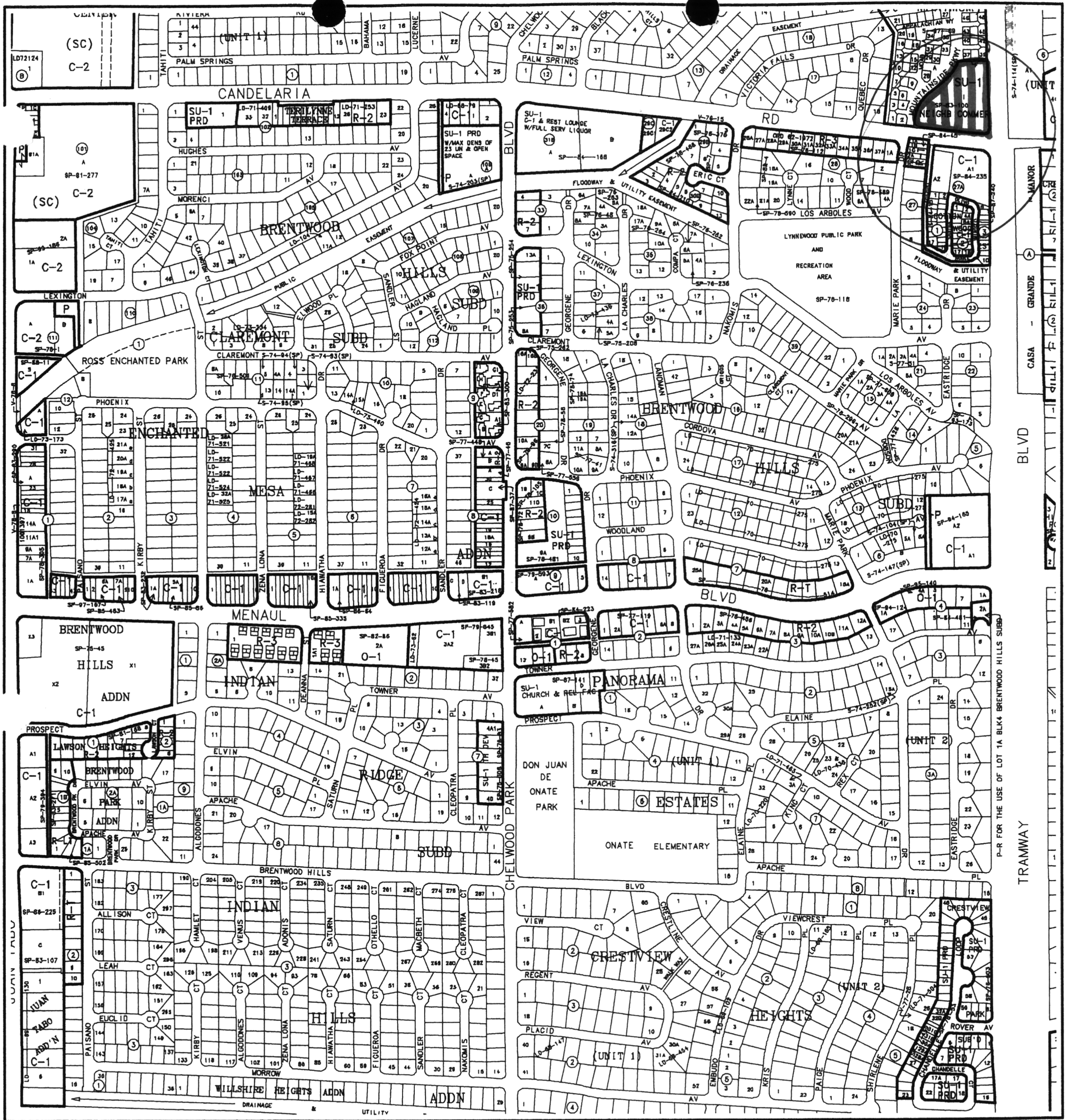
NOTES:

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPASITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL

YELLOW - FILE

FLOW IS AVAILABLE FROM EXISTING
FIRE HYDRANTS SHOWN ON SITE PLAN
[Signature] 12-12-05

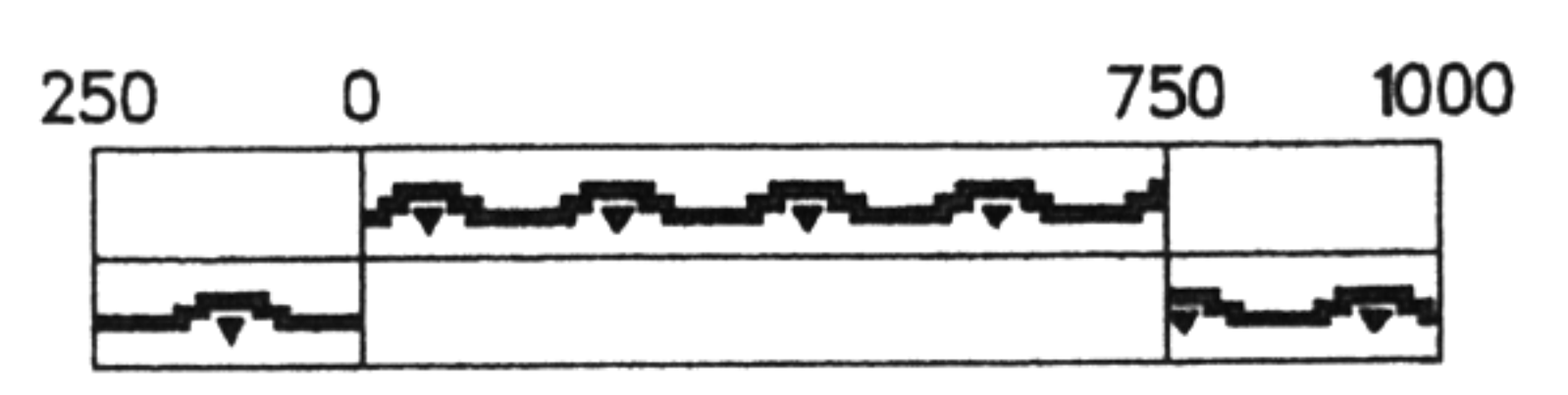


CITY OF
Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 2003

GRAPHIC SCALE IN FEET



Zone Atlas Page

H-22-Z

Map Amended through January 21, 2003



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 18, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002635***
05EPC-01561 EPC Site Development Plan-
Amendment to Building Permit

Goz G. Segars
2586 Kelletown Road
Harsville, SC 29550

LEGAL DESCRIPTION: for all or a portion of Tract A, **Lands of Candelaria and Tramway SW**, zoned SU-1 for C-1 Permissive & Cond. Use, located on TRAMWAY NE, between CANDELARIA ROAD NE and COMANCHE ROAD NE, containing approximately 3 acres.
(H-22) Catalina Lehner, Staff Planner

On November 17, 2005 the Environmental Planning Commission voted to approve Project 1002635/05EPC 01561, a request for an amendment to a Site Development Plan for Building Permit for Tract A, Plat of Tract A, Lands of Candelaria & Tramway SW, zoned SU-1 for C-1 (neighborhood commercial), based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for approval of an amendment to a site development plan for a building permit for Tract A, Plat of Tract A, Lands of Candelaria & Tramway SW, approximately 2.518 acres (the "subject site"). The applicant proposes to develop a Hastings bookstore and a Hardback café as a re-use and expansion of the existing Eckerd drugstore building.
2. The proposed amendment calls for an approximately 5,398 square foot addition to the existing building, which is currently vacant. The Hastings bookstore will occupy the existing building and the Hardback Café will be housed in the proposed addition. There will be no food preparation in the café.
3. The proposal fulfills the intent of applicable Comprehensive Plan policies regarding a full range of urban land use (Policy II.B.5a), programmed facilities/integrity of neighborhoods (Policy II.B.5e), employment/service use location (Policy II.B.5i) and design quality/innovation (Policy II.B.5l). This neighborhood-scale commercial use would be located in a largely residential area and is not likely to adversely affect the surrounding residences. The existing building and expansion blend with the area's architectural style.

4. The proposal partially furthers Comprehensive Plan Policy II.B.5d regarding neighborhood values/natural environmental conditions, and both supports and conflicts with Goal 7-Activity Centers. Though the building already exists, there are some concerns about drainage. The proposed use would be located outside a designated activity center, yet it would be part of a small cluster of non-residential uses.
5. Building-mounted signs are proposed on the northern, eastern and southern façades: three on the eastern (front), two on the northern and one on the southern. No signage is proposed on the western façade. A 25-foot free-standing sign proposed for the corner of Candelaria Road and Tramway Boulevard.
6. Site lighting complies with Zoning Code §14-16-3-9. Light poles within 100 feet of a residential area shall not exceed 16 feet in height and 20 feet in other areas. Off-site luminance shall not exceed 1,000 foot lamberts. The 14 existing parking lot light poles surrounding the subject site's perimeter have a single, shielded fixture.
7. A Traffic Impact Study (TIS) was required when the existing building was proposed in 2003. The TIS included a drive-thru pharmacy, a use that is not part of the current proposal. The traffic generated by the reuse of the existing building and proposed expansion is anticipated to be less than the Eckerd's use.
8. Transportation Development has commented that the drive-up service window will not function as shown on the site plan. The one-way circulation pattern is likely to create conflicts between drive-thru traffic, delivery vehicles and solid waste vehicles. The applicant worked with Transportation staff and revised the site plan in response to these concerns.
9. The parking requirements have been calculated incorrectly. The total number of spaces required is 73, not 91 as indicated. 89 standard spaces, including 24 proposed spaces, are provided. There is an excess parking capacity of 16 spaces.
10. The subject site is somewhat pedestrian friendly. The proposal includes a minor reconfiguration of the pedestrian path. However, the sidewalk approaching the 37.75 foot wide vehicle entrance does not progress linearly, which could potentially be dangerous for pedestrians.
11. Water flows down a rock swale, between the subject site's retaining wall and a screening wall, to the ponding area. Openings in the screening wall, however, allow water to escape and flow onto the neighboring subdivision.
12. The existing and proposed landscape generally meets this requirement in Zoning Code §14-16-3-10-G, which requires that landscape areas 36 square feet or larger shall be covered with living, vegetative materials over at least 75% of the area.

13. A facilitated meeting was held on November 8, 2005. Though the neighbors generally support the project, they expressed concern regarding lighting, signage, traffic, drainage and the pedestrian access point.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are thoroughly addressed.
3. The sign at the corner of Candelaria Road and Tramway Boulevard shall be a monument sign measuring 9 feet from top to grade.
4. The building-mounted signs on the building's eastern and southern facades shall be reduced. The sign on the eastern façade shall not exceed 325 square and the sign on the southern façade shall not exceed 178 square feet.
5. Add the following note, as found in Zoning Code §14-16-3-9, to the site plan regarding area lighting: "It shall not have an off-site luminance greater than 1,000 foot-lamberts; it shall not have an off-site luminance greater than 200 foot-lamberts measured from any private property in a residential zone."
6. The height of light poles and the type of fixture shall be indicated on the lighting detail. The site plan shall specify which light poles are 16 feet tall and which are 20 feet tall as specified by the Zoning Code.
7. Provide a striped cross walk across the vehicle entrance on Candelaria Road NE to connect the sidewalk.
8. Correct parking calculations on the site plan.
9. Add a note to the grading and drainage plan indicating that the screening wall will be repaired to ensure that the water runoff remains on site.

10. Clarify the legend on the landscape plan to match what is shown.
11. Add two shrubs, such as Cherry sage, to the small parking lot island that is shown without landscape.
12. The legend indicates that "Desert willow or New Mexican olive" will be planted next to the pedestrian path. Delete the reference to New Mexico olive.
13. Applicant must obtain a statement of instantaneous flow requirements from the fire marshal's office and submit it to Utility Development for verification of capacity.
14. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
Conditions of approval for the proposed Site Development Plan Amendment to Building Permit shall include:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Site plan shall comply and be designed per DPM Standards.
 - d. Applicant must obtain a statement of instantaneous flow requirements from the fire marshal's office and submit it to Utility Development for verification of capacity.
15. Motorcycle parking shall be provided.
16. The wall at the northwest corner of the site shall be reconfigured to allow for neighborhood access to Tramway Boulevard.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **DECEMBER 2, 2005** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

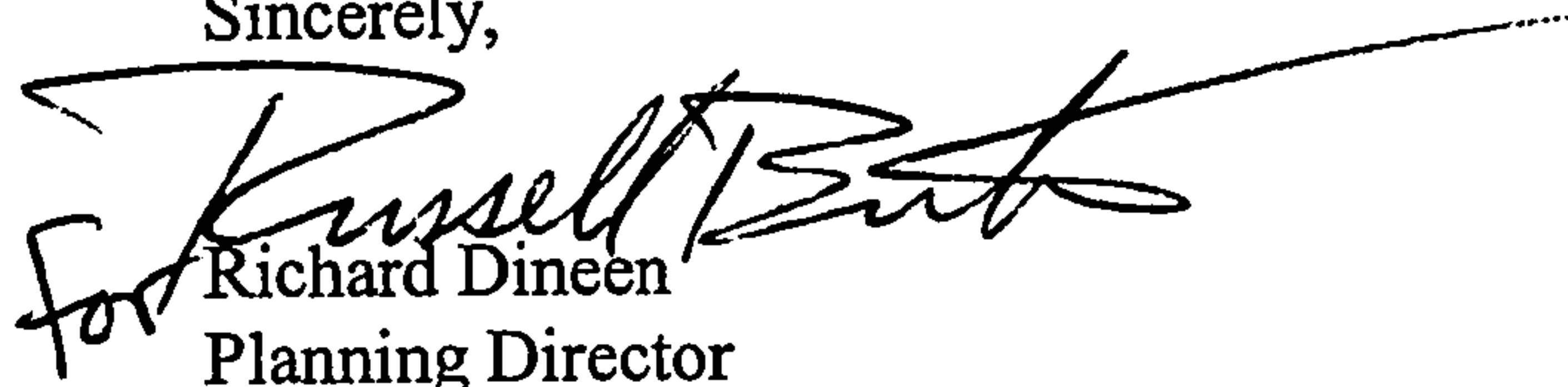
OFFICIAL NOTICE OF DECISION
NOVEMBER 17, 2005
PROJECT #1002635
PAGE 5 OF 5

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


For Richard Dineen
Planning Director

RD/CL/ac

cc: Consensus Planning, 302 Eighth Street. NW, Albuquerque, NM 87102
Lori Frohe, Cibola Addition NA, 2505 Myra Pl. NE, Albuquerque, NM 87112
Bob Francis, Cibola Addition NA, 2711 Palo Alto NE, Albuquerque, NM 87112
Paul Grosvenor, Glenwood Hills South Casa Grande NA, 3601 Embudito Dr. NE, Albuquerque, NM 87111
Harvey Dawson, Glenwood Hills South Casa Grande Na, 3005 Matador Rd. NE, Albuquerque, NM 87111
Diane Schnepfer, Holiday Park NA, 11424 Bar Harbor NE, Albuquerque, NM 87111
Debra Herber, Holiday Park NA, 3309 Montreal NE, Albuquerque, NM 87111
Robert Hartley, 3021 Matador Dr. NE, Albuquerque, NM 87111
Dawn Castillo, 12415 Smoky Mountain Way NE, Albuquerque, NM 87111
Gary Bodman, 12029 Caribou NE, Albuquerque, NM 87111
Gautam Vora, 3120 Camino de la Sierra NE, Albuquerque, NM 87111



December 13, 2005

Ms. Sheran Matson, DRB Chair
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87103

RE: Project # 1002635/05EPC-01561

Dear Ms. Matson:

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to demonstrate compliance with the conditions set by the Environmental Planning Commission (EPC) on November 18, 2005 for Tract A, Lands of Candelaria and Tramway NE, Site Plan for Building Permit.

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

This letter is intended to meet this condition.

2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are thoroughly addressed.

I have met with the case planner, Catalina Lehner, on 12/12/05 to review the site plan prior to submitting to DRB.

3. The sign at the corner of Candelaria Road and Tramway Boulevard shall be a monument sign measuring 9 feet from top to grade.

The original sign has been replaced with a 9 foot tall monument sign in accordance with this condition. See sheet 7.

4. The building mounted signs on the buildings eastern and southern facades shall be reduced. The sign on the eastern façade shall not exceed 325 square feet and the sign on the southern façade shall not exceed 178 square feet.

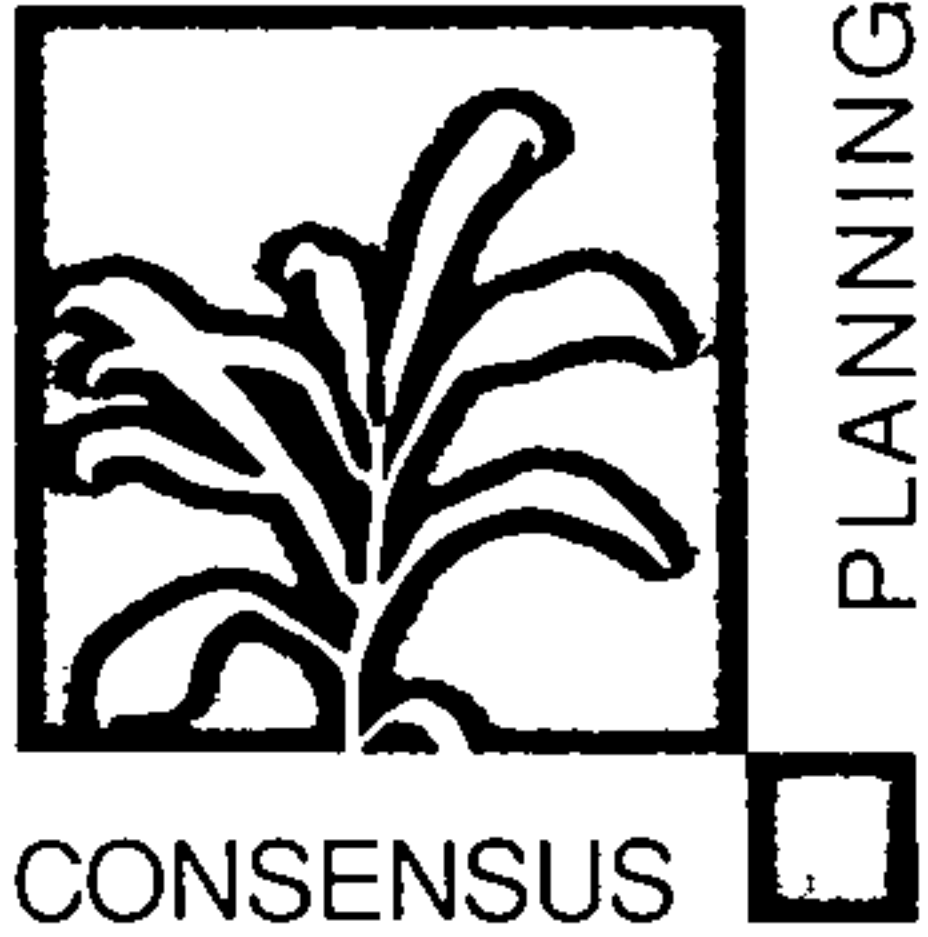
The signs on the east and south facades have been reduced in size in accordance with this condition. We have also modified the building elevations to show these revised building mounted signs. See sheets 5, 6, and 7.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP



5. Add the following note, as found in the Zoning Code Section 14-16-3-9, to the site plan regarding area lighting: "It shall not have an off-site luminance greater than 1,000 foot-lamberts; it shall not have an off-site luminance greater than 200 foot-lamberts measured from any private property in a residential zone.

A note has been added to sheet 1 in accordance with this condition.

6. The height of the light poles and the type of fixture shall be indicated in the lighting detail. The site plan shall specify which light poles are 16 feet tall and which are 20 feet tall as specified by the Zoning Code.

A legend with symbols has been added to the site plan denoting which fixtures are 16 feet and which are 20 feet.

7. Provide a striped crosswalk across the vehicle entrance on Candelaria Road NE to connect the sidewalk.

A crosswalk has been added to the site plan, sheet 1.

8. Correct parking calculations on the site plan.

The parking calculations have been revised on the site plan, sheet 1.

9. Add a note to the grading and drainage plan indicating that the screening wall will be repaired to ensure that the water runoff remains on site.

Notes have been added specifying that the drainage holes in the retaining wall along Mountainside Parkway be plugged to prevent water runoff off-site. See sheet 3.

10. Clarify the legend on the landscape plan to match what is shown.

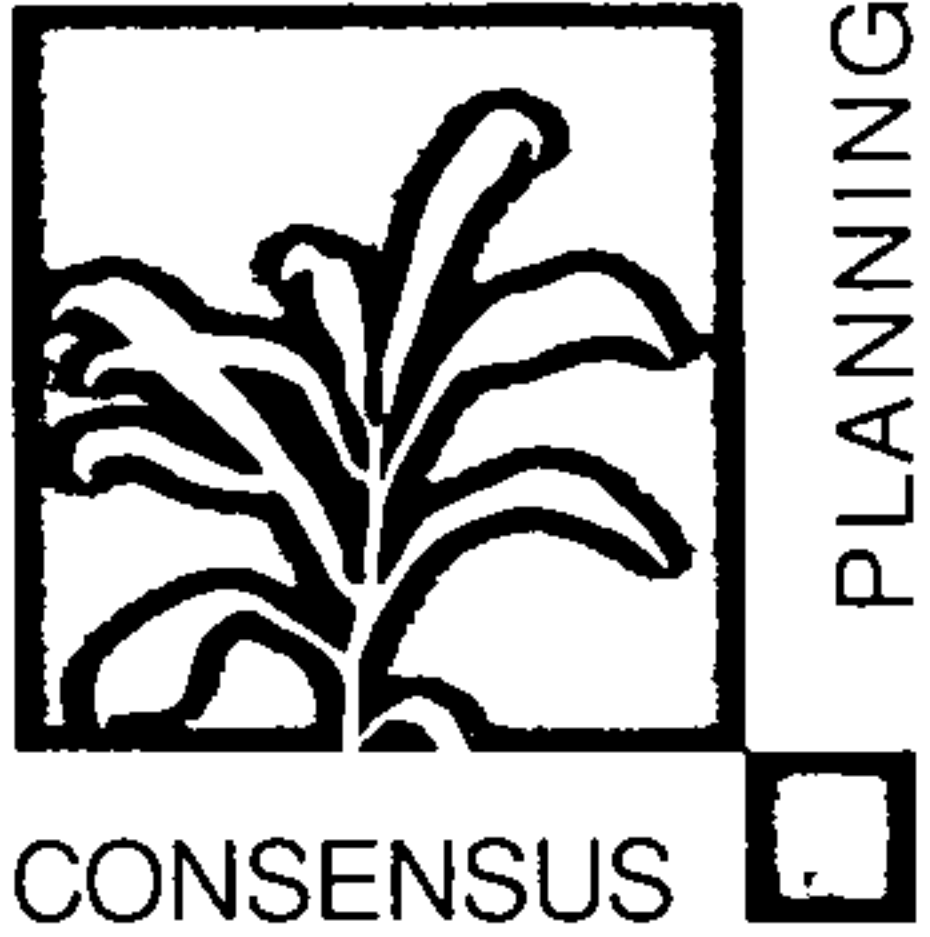
The plant legend has been revised with easier to read plant symbols. See sheet 2.

11. Add two shrubs, such as Cherry Sage, to the small parking lot island that is shown without landscape.

Three shrubs have been added to the end island in accordance with this condition. See sheet 2.

12. The legend indicates that "Desert Willow or New Mexico Olive" will be planted next to the pedestrian path. Delete the reference to New Mexico Olive.

The legend has been revised in accordance with this condition. See sheet 2.



13. Applicant must obtain a statement of instantaneous flow requirements from the Fire Marshal's office and submit it to Utility Development for verification of capacity.

The project civil engineer has received this statement from the Fire Marshal and has provided it to Utility Development with this submittal.

14. Conditions from the City Engineer, Municipal Development, Water Authority, and NMDOT:

- a. All the requirements of previous actions taken by the EPC and or the DRB must be completed and/or provided for.

We agree.

- b. The developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).

We agree.

- c. Site plan shall comply and be designed per DPM standards.

We agree.

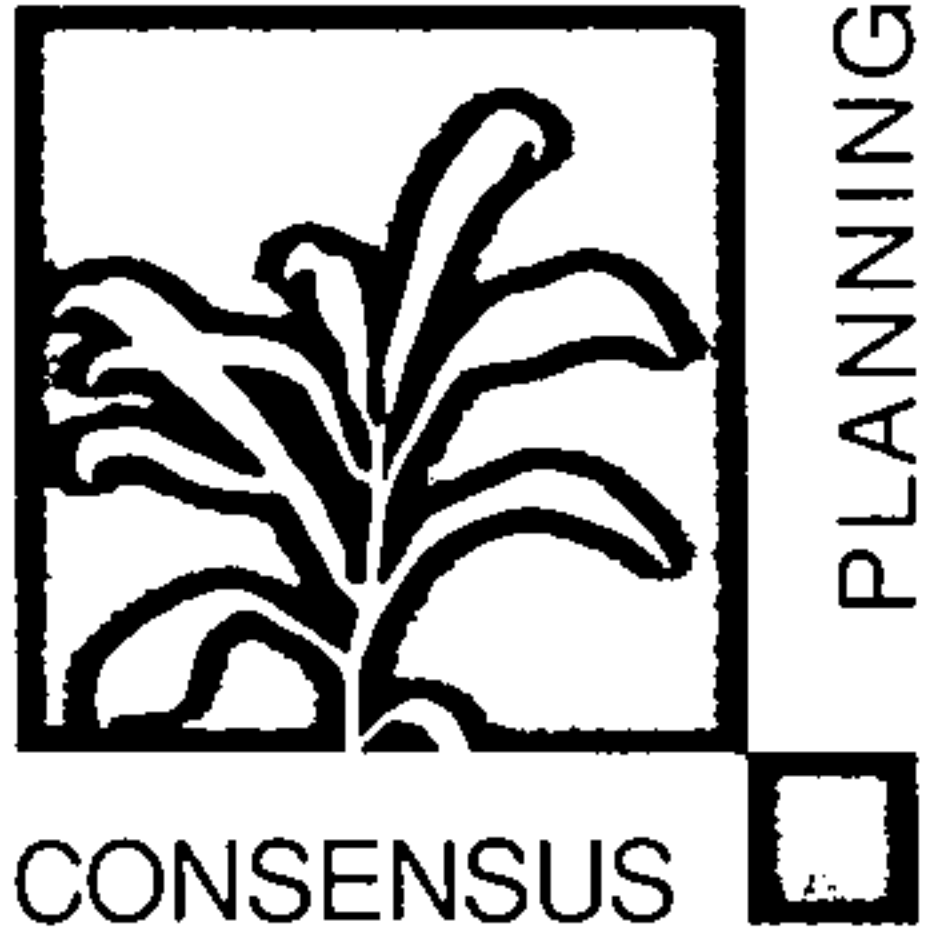
- d. Applicant must obtain a statement of instantaneous flow requirements from the Fire Marshal's office and submit it to Utility Development for verification of capacity.

See condition 13 above.

15. Motorcycle parking shall be provided.

*Two motorcycle parking spaces have been provided on the site plan.
See sheet 1.*

16. The wall at the northwest corner of the site shall be reconfigured to allow for neighborhood access to Tramway Boulevard.



The east-west portion of the wall has been extended west in compliance with the Zone Code requirements for non-residential development adjacent to residential development. The Mountainside Parkway wall shall be modified during construction to allow neighborhood access on the north side of this site to Tramway.

Please feel free to contact me if you have any questions or require any additional information.

Sincerely,

A handwritten signature in cursive script that reads "Jacqueline Fishman".

Jacqueline Fishman, AICP
Associate

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME GOZ G. SEGARS
AGENT CONSENSUS PLANNING
ADDRESS 302 EIGHTH ST. NW
PROJECT & APP # 1002635/05DRB 01887
PROJECT NAME LANDS OF CANDELARIA & TRAMWAY SW
\$ 20.00 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

12/13/2005 11:45AM LOC: ANN
X
RECEIPT# 00054614 WSH 007 TRANSH 0043
Account 441032 Fund 0110
Activity 3424000 TRSKAL
Trans Amt \$40.00
J24 Misc

Current DRC Project No. _____

Claire

Date Submitted: October 8, 2003
 Date Site Plan for Bldg Permit App: N/A
 Date Site Plan for Sub. Approved: N/A
 Date Preliminary Plat Approved: 10-8-03
 Date Preliminary Plat Expires: 10-8-04
 DRB Project No. 03-01652
1002639

ORIGINAL

Figure 12

INFRASTRUCTURE LIST
 EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
LANDS OF CANDELARIA & TRAMWAY
 TRACT LOT A, BLOCK 40, SKYLINE HEIGHTS
 (Northwest corner of Eubank and Southern)

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
		12'	RIGHT TURN DECEL LANE WITH ^{6'} SIDEWALK AND CURB & GUTTER	CANDELARIA	SITE DRIVEWAY	JUST WEST OF TRAMWAY	/	/	/
							/	/	/
							/	/	/
							/	/	/

AGENT/OWNER | **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

BRUCE STIDWORTHY 10/8/2003 *Bruce Stidworthy* 10/8/03 *Christina Sandoval* 10/8/03
 PREPARED BY: PRINT NAME DATE DRB CHAIR DATE PARKS & GENERAL SERVICES DATE

BOHANNAN HUSTON INC. *Bohannon Huston* 10-8-03 *Robert Shear* 10-8-03 *Brad L. Bizham* 10/8/03
 FIRM: TRANSPORTATION DEVELOPMENT DATE AMAFCA DATE CITY ENGINEER DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION _____ DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

<p style="text-align: center;">Supplemental form</p> <p>SUBDIVISION S</p> <p><input type="checkbox"/> Major Subdivision action</p> <p><input checked="" type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation V</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN P</p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC) L</p>	<p style="text-align: center;">Supplemental form</p> <p>ZONING & PLANNING Z</p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Subdivision Regulations)</p> <p>APPEAL / PROTEST of... A</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
--	--

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: CANDELARIA & TRAMWAY SW, LIMITED PARTNERSHIP PHONE: 480-945-5500

ADDRESS: 6210 E. THOMAS RD. SUITE 204 FAX: 501-694-7366

CITY: SCOTTSDALE STATE AZ ZIP 85251 E-MAIL: _____

Proprietary interest in site: OWNER

AGENT (if any): BOHANNAN HUSTON, INC. PHONE: 823-1000

ADDRESS: 7500 JEFFERSON NE FAX: 798-7988

CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: PRELIMINARY/ FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT A (A REPLAT OF TRACT I) Block: _____ Unit: _____

Subdiv. / Addn. LANDS OF CANDELARIA AND TRAMWAY SW

Current Zoning: SU-1 NEIGHBORHOOD COMMERCIAL Proposed zoning: _____

Zone Atlas page(s): H-22 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 2.5700 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. 102206050800040960 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: TRAMWAY BLVD. NE

Between: CANDELARIA ROAD NE and _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

SP-83-100 / DRB 1002635 03EPC-00702-03 & 704 ZMA, SDP 4 6/04 B/P.

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE Stephanie Stidworthy DATE 9-30-03

BRUCE STIDWORTHY Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>03DRB - 01652</u>	<u>P&F</u>	<u>5(3)</u>	<u>\$215.00</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>Oct. 8th 03</u>	_____	_____	<u>\$ 215.00</u>

Stephanie Stidworthy 9/30/03
Planner signature / date

Project # 1002635

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT **YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
 Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule) 215⁰⁰
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes) **Your attendance is required.**

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

BRUCE STIDWORTHY
 Applicant name (print)
[Signature] 9-20-03
 Applicant signature / date



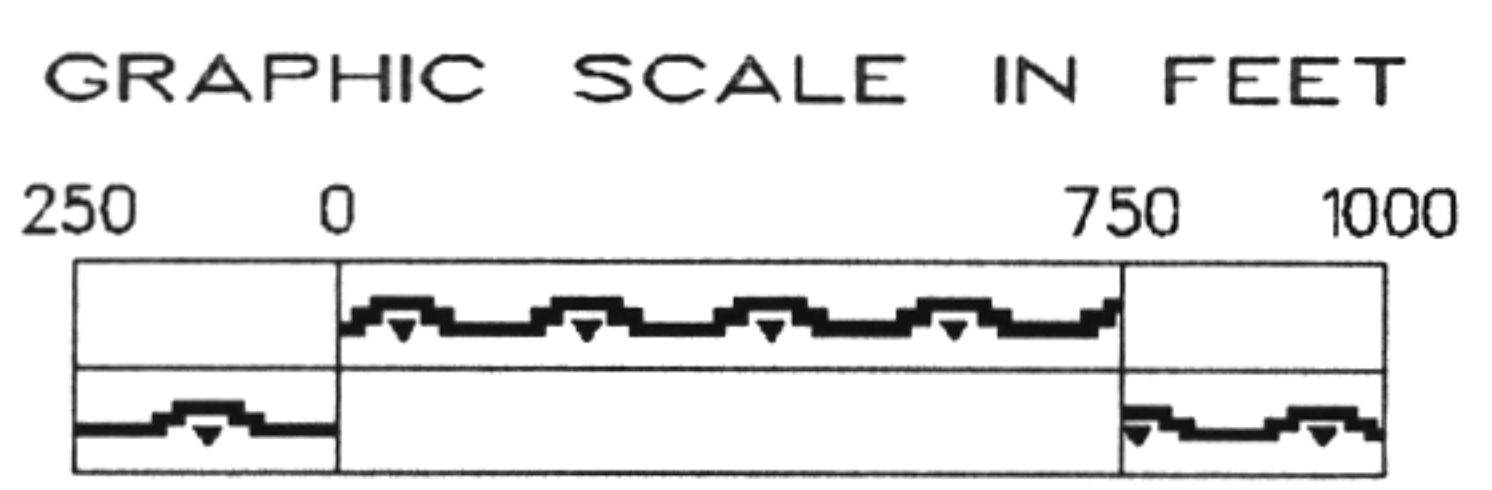
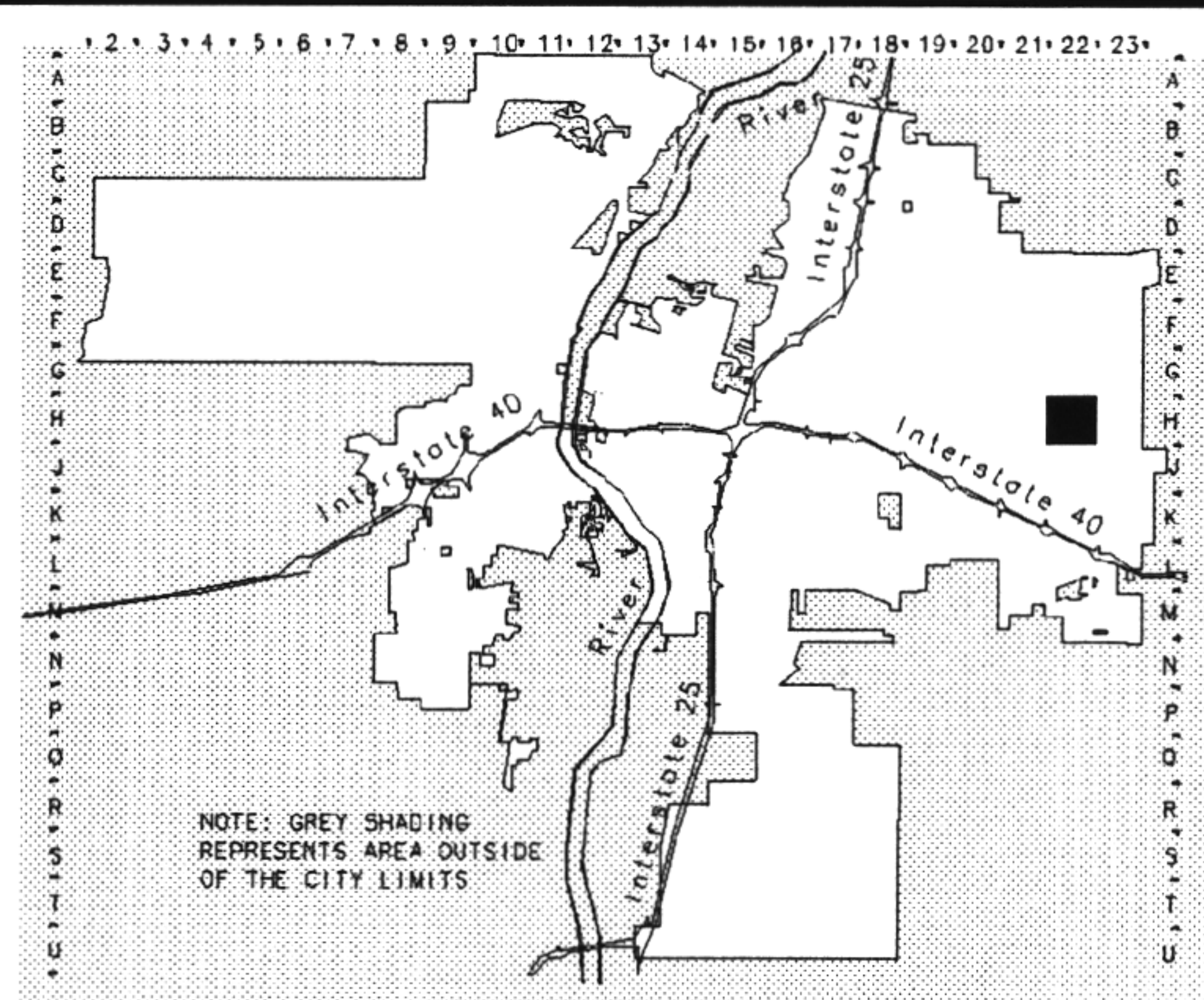
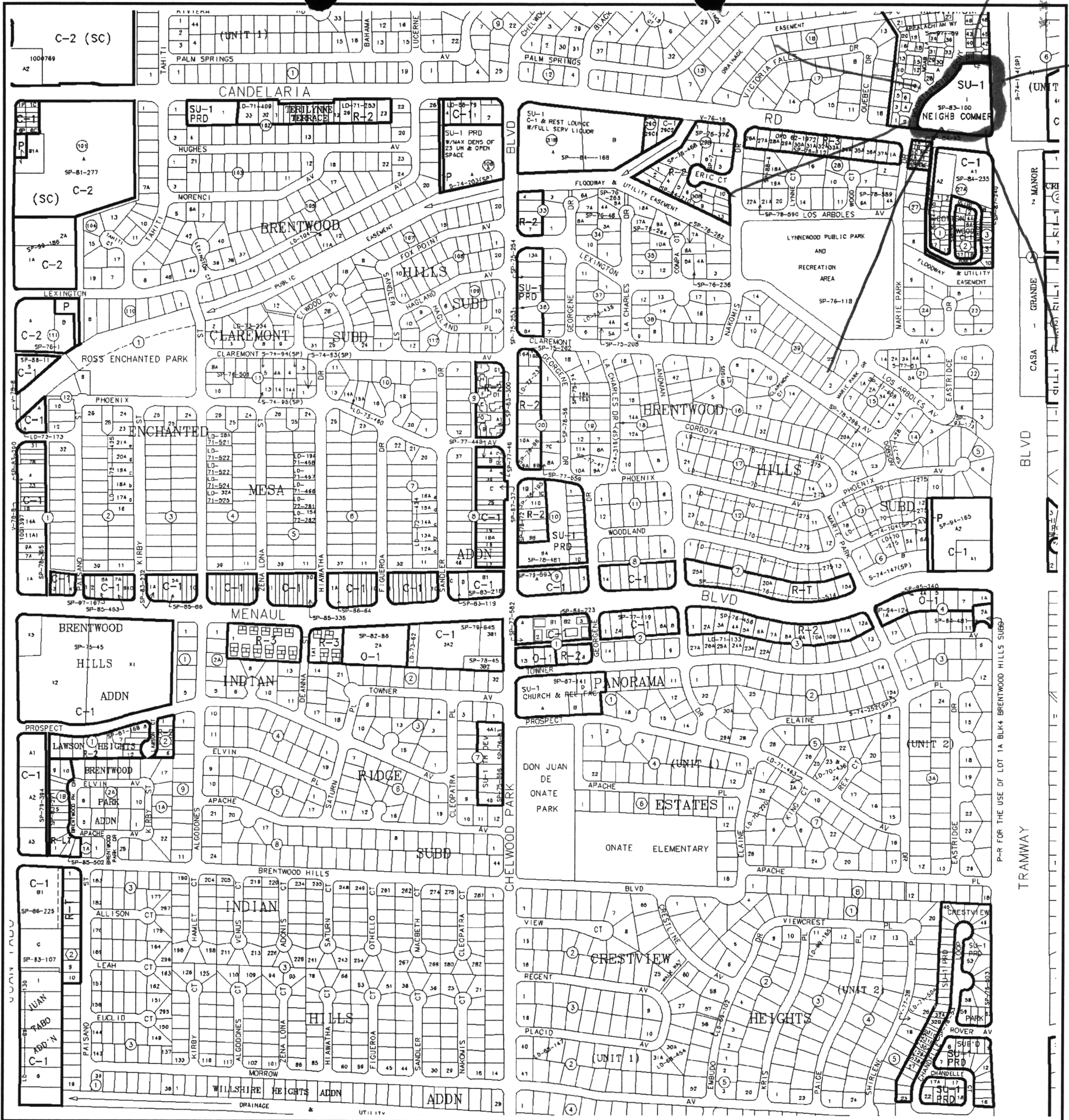
Form revised MARCH 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
03DRB - 01652

[Signature] 9/30/03
 Planner signature / date

Project # 1002635



A G I S
Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 2003

Zone Atlas Page

H-22-Z

Map Amended through September 02, 2003

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

September 30, 2003

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Preliminary/Final Plat Approval
Tract A (Replat of Tract I) Lands of Candelaria and Tramway SW
DRB#1002635

Dear Sheran:

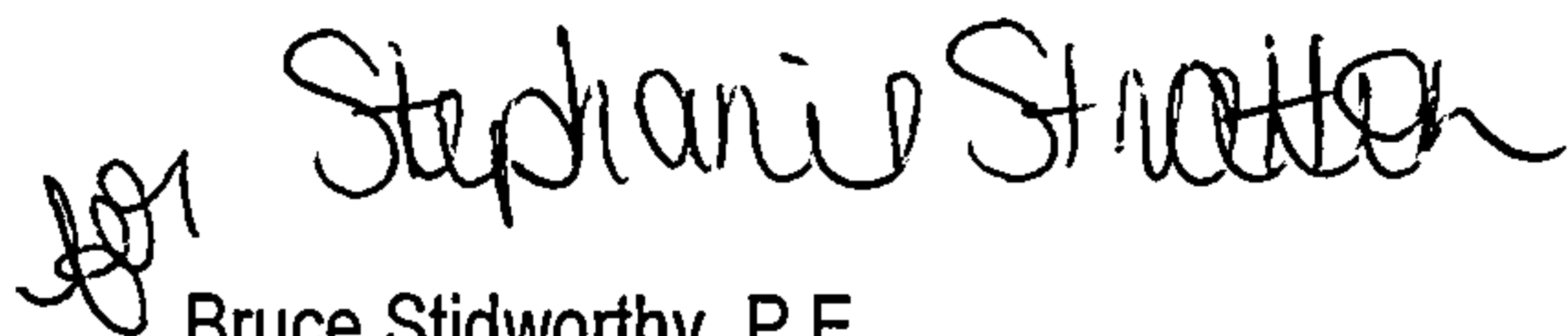
Enclosed for review and approval by the Development Review Board (DRB) are copies of the following information:

- Development Review Applications
- Fee on the amount of \$ 215.00
- Six (6) copies of the Preliminary/Final Plat, and
- Zone Atlas Map showing the location of the property

The purpose of this plat is to dedicate right of way as required for the right turn lane at the site entrance.

Please place this item on the DRB Agenda to be heard on October 8, 2003. If you have any questions or require additional information, please contact me.

Sincerely,



Bruce Stidworthy, P.E.
Project Manager
Community Development and Planning Group

ss
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Selected Address: 12501 CANDELARIA RD NE
Zoning: SU-1 NEIGHB COMMER
Lot/Block/Subd: I , , PLAT FOR ZONING OF LAND SEC 3 T10N R4E NMPM
Council District/Name: EIGHT , PAYNE
County Commission: 5
Rep District/Sen District: 28 , 20
Nbr Assoc: HOLIDAY PARK R
Zoning: SU-1 NEIGHB COMMER
Voter Pct: 518
High Sch District: ELDORADO
Mid Sch District: HOOVER
Elem Sch District: JOHN BAKER
ZoneMap Page: G22
Jurisdiction: CITY
Police Beat: 533/FOOTHILLS
Flood Zone: Nothing Selected
Comm Plan Area: FOOT HILLS
UPC #: 102206050800040960
Owner Name: TINNIN ROBERT P ETAL C/O HINKLE COX LAU INM
Owner Street Adress: 1331 PARK AVE
Owner City/State/Zip: ALBUQUERQUE / NM / 87102 NM
Note: Accuracy for Owner info cannot be guaranteed correct.
Please check with the Bernalillo County Assessor for official data.

NEW GIS QUERY

October 29, 2003

Jackie Fishman, AICP
Senior Planner II
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

CC: Chad Hagle, Tricor Southwest Corporation (via fax)


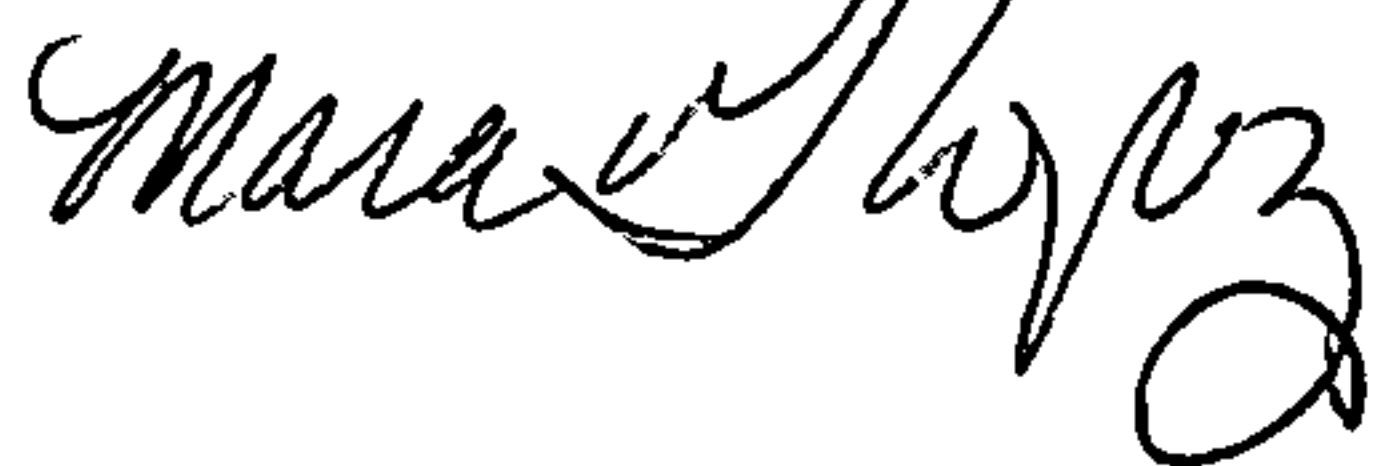
RE: APPROVAL OF PEDESTRIAN CONNECTION DESIGN
ECKERD DRUG STORE DEVELOPMENT
NWC CANDELARIA & TRAMWAY, ALBUQUERQUE

Dear Ms. Fishman:

The Tramway Highpoint Homeowners Association Board of Directors hereby approves the layout and design of the sidewalk connection from Mountainside Parkway to the above referenced Eckerd drugstore development as such sidewalk is shown in the attached exhibit.

Should you have any questions, please contact Gary Bodman at 1-505-998-0000.

Sincerely,

Tramway Highpoint Board of Directors

TRAMWAY HIGHLANDS SUBDIVISION
NOT A PART

N88°08'20"E 152.96'

TRAMWAY HIGHLANDS SUBDIVISION
NOT A PART

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C1	90°00'00"	25.00'	39.27'	25.00'	33.36'	N38°40'22"W
C2	45°56'22"	87.28'	165.11'	205.93'	160.73'	N29°17'49"E
C3	30°05'44"	71.21'	139.12'	264.86'	137.53'	N37°13'08"E
C4	94°22'37"	26.99'	41.18'	25.00'	38.68'	S45°19'39"W

MOUNTAINSIDE PARKWAY NE
(ROW VARIES)
N52°18'00"E 92.36'

**PROPOSED ECKEND
PROTOTYPE 2002
'SOUTHWEST CONTEMPORARY'
18,883 G.S.F.
PARKING SPACES REQUIRED: 60
PARKING SPACES PROVIDED: 70**

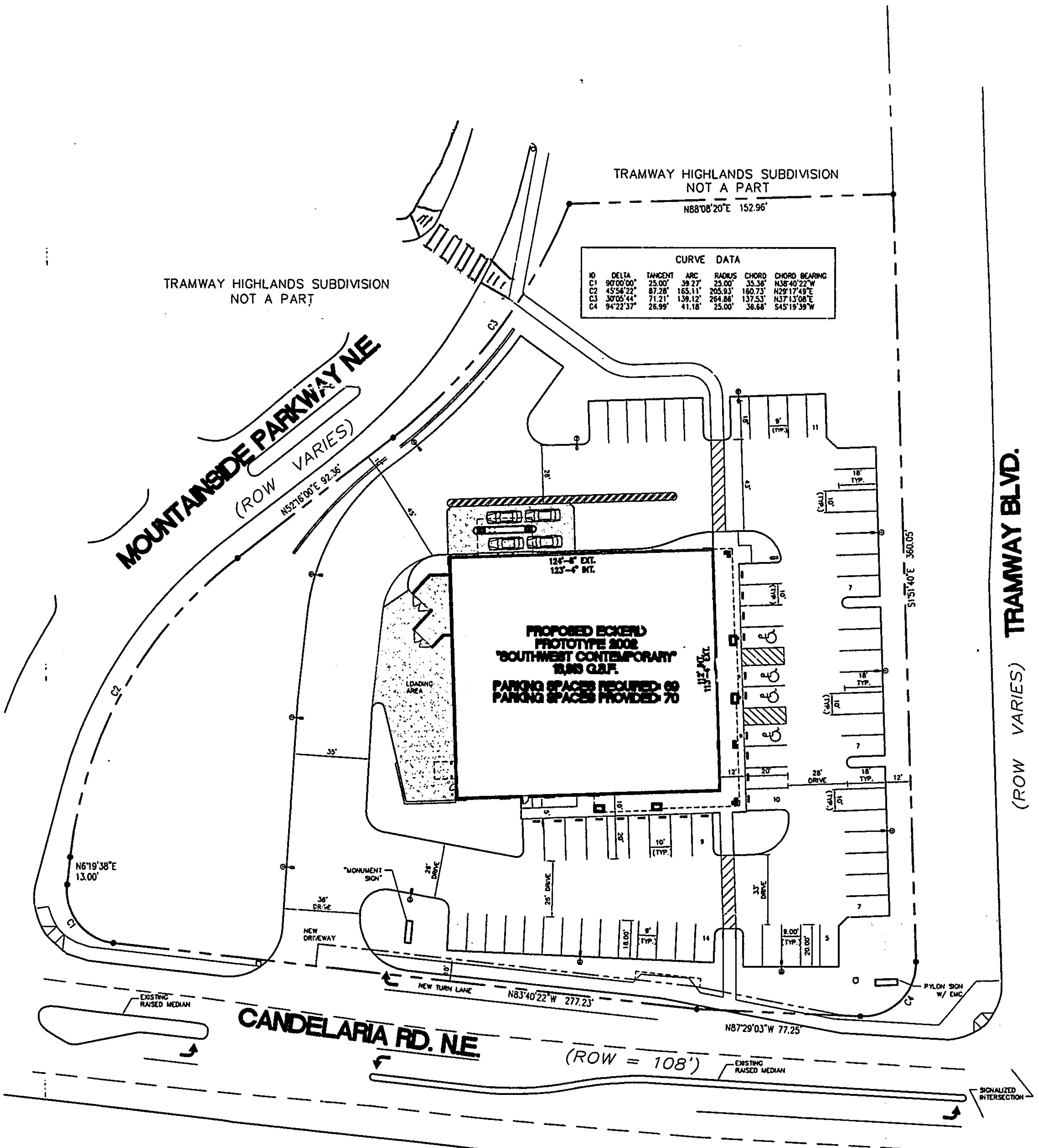
(ROW VARIES) **TRAMWAY BLVD.**

CANDELARIA RD. NE
(ROW = 108')

EXIST. DAYCARE

ENEBRO DR.

EXIST. CHURCH



SIGNALIZED INTERSECTION

S1°51'40"E 360.05'

N87°29'03"W 77.25'

N83°40'22"W 277.23'

N6°19'38"E 13.00'

EXISTING RAISED MEDIAN

EXISTING RAISED MEDIAN

NEW DRIVEWAY

"MONUMENT SIGN"

24' DRIVE

26' DRIVE

33' DRIVE

28' DRIVE

18' TYP.

7' TYP.

18' TYP.

18' TYP.

18' TYP.

18' TYP.

18' TYP.

18' TYP.

18' TYP.

18' TYP.

18' TYP.

18' TYP.

18' TYP.

18' TYP.

18' TYP.

18' TYP.

124'-8" EXT.
123'-4" INT.

113'-2" EXT.

35'

35'

36' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

24' DRIVE

Current DRC Project No. _____

Claire

Date Submitted: October 8, 2003
 Date Site Plan for Bldg Permit App: N/A
 Date Site Plan for Sub. Approved: N/A
 Date Preliminary Plat Approved: 10-8-03
 Date Preliminary Plat Expires: 10-8-04
03-01652
 DRB Project No. 1002639

ORIGINAL

Figure 12
INFRASTRUCTURE LIST

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
LANDS OF CANDELARIA & TRAMWAY
 TRACT LOT A, BLOCK 10, SKYLINE HEIGHTS
 (Northwest corner of Cubank and Southern)

Revised 10/22/03

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
		12'	RIGHT TURN DECEL LANE WITH ^{6'} SIDEWALK AND CURB & GUTTER	CANDELARIA	SITE DRIVEWAY	JUST WEST OF TRAMWAY	/	/	/
		12'	Left Turn lane / median modification	can delaria	site Driveway		/	/	/
			* Sanitary Sewer Service				/	/	/
			Water Service				/	/	/
			2 Fire hydrants & Fireline				/	/	/
<i>* Financial Guarantee Not Required For Utilities</i>									

AGENT/OWNER		DEVELOPMENT REVIEW BOARD MEMBER APPROVALS							
BRUCE STIDWORTHY	10/8/2003	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>
PREPARED BY: PRINT NAME	DATE	DRB CHAIR	DATE	PARKS & GENERAL SERVICES	DATE				
BOHANNAN HUSTON INC.		TRANSPORTATION DEVELOPMENT	DATE	AMAFCA	DATE				
<i>[Signature]</i>		UTILITY DEVELOPMENT	DATE	<i>[Signature]</i>	DATE				
MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION									

DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION **S**

___ Major Subdivision action

___ Minor Subdivision action

___ Vacation **V**

___ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

___ ...for Subdivision Purposes

...for Building Permit

___ IP Master Development Plan

___ Cert. of Appropriateness (LUCC) **L**

Supplemental form

ZONING & PLANNING **Z**

___ Annexation

___ Zone Map Amendment (Establish or Change Zoning)

___ Sector Plan (Phase I, II, III)

___ Amendment to Sector, Area, Facility or Comprehensive Plan

___ Text Amendment (Zoning Code/Subdivision Regulations)

APPEAL / PROTEST of... **A**

___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Tricor Southwest Corporation PHONE: 480-945-5500

ADDRESS: 6340 East Thomas Road Suite 128 FAX: 501-694-7366

CITY: Scottsdale STATE AZ ZIP 85251 E-MAIL: _____

Proprietary interest in site: Contract Purchaser

AGENT (if any): Consensus Planning, Inc. PHONE: 764-9801

ADDRESS: 924 Park Avenue SW FAX: 842-5495

CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: Final Sign-Off for EPC Approved Site Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract I, Section 3, T10N, R4E Block: _____ Unit: _____

Subdiv. / Adn. _____

Current Zoning: SU-1 Neighborhood Commercial Proposed zoning: _____

Zone Atlas page(s): H-22 No. of existing lots: 1 No. of proposed lots: _____

Total area of site (acres): 2.518 ac. Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A

Within city limits? Yes. No ____, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No

UPC No. 102206050800040960 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 12501 Candelaria Road NE

Between: Tramway Blvd. NE and Mountainside Parkway NE

CASE HISTORY: Juanita Vigil, EPC Case Planner

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): Project #1002635; 03EPC-00702

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: 12/20/02

SIGNATURE Jacqueline Fishman DATE 10/10/03

(Print) Jacqueline Fishman, AICP Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING	<u>03DRB-</u>	<u>01755</u>	<u>5BP (EPC) P3</u>	\$ <u>0</u>
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total \$ <u>0</u>

Hearing date Oct 22 2003

JFM 10/14/03
Planner signature / date

Project # 100 2635

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JACQUELINE FISHMAN
Applicant name (print)
Jacqueline Fishman 10/10/03
Applicant signature / date

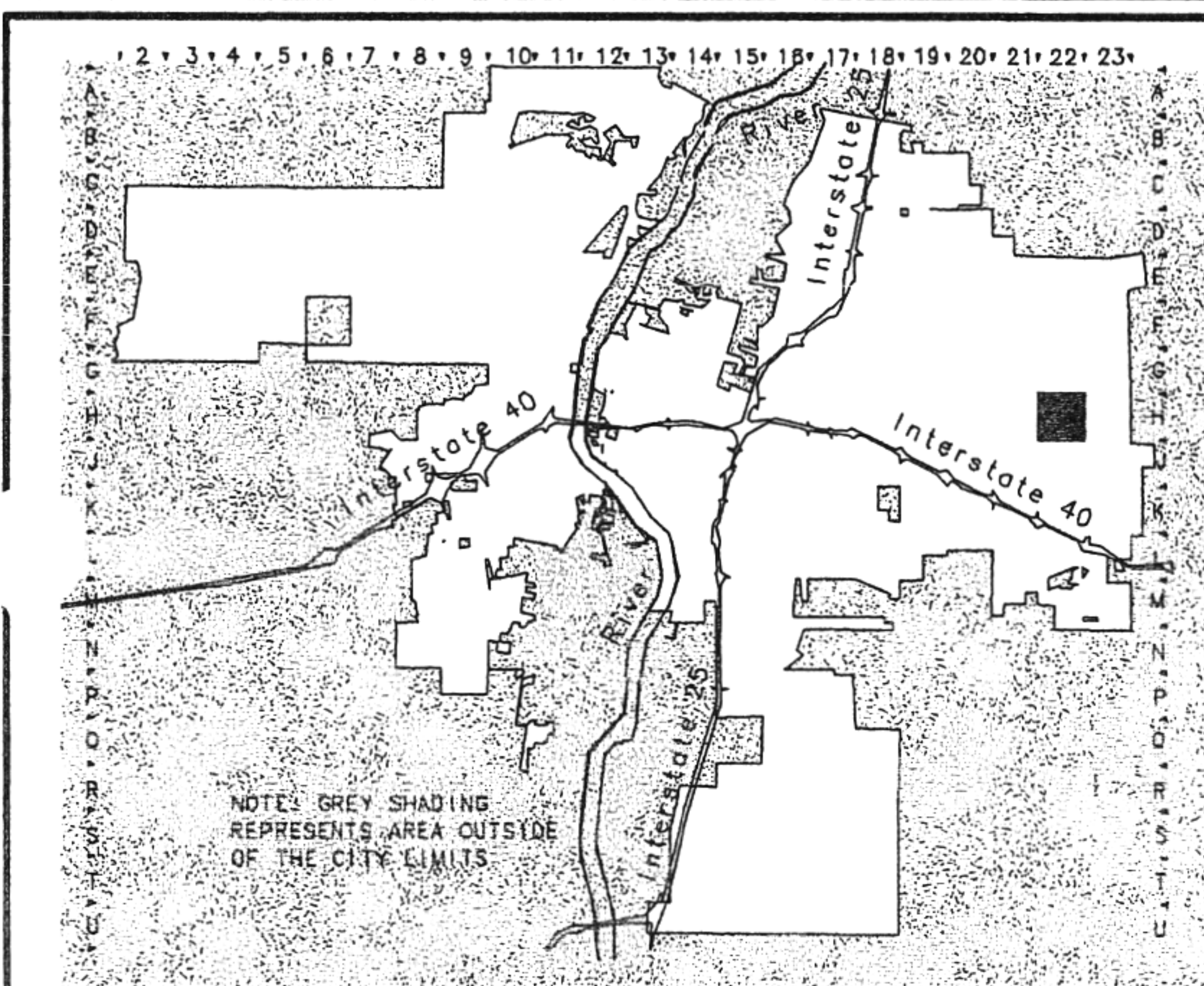
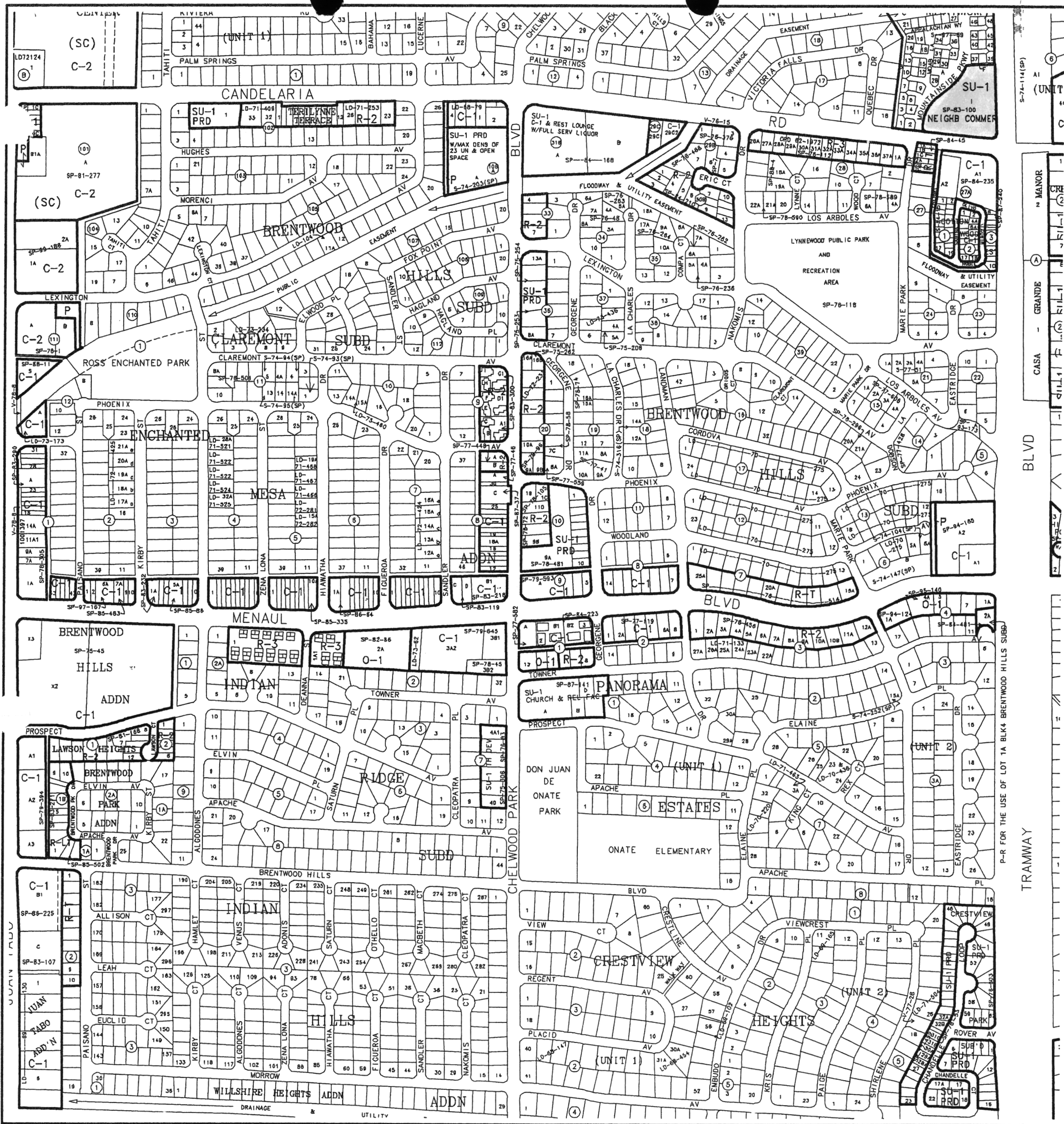


Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
03DRB - 01755

JM 10/19/03
Planner signature / date
Project # 1002635

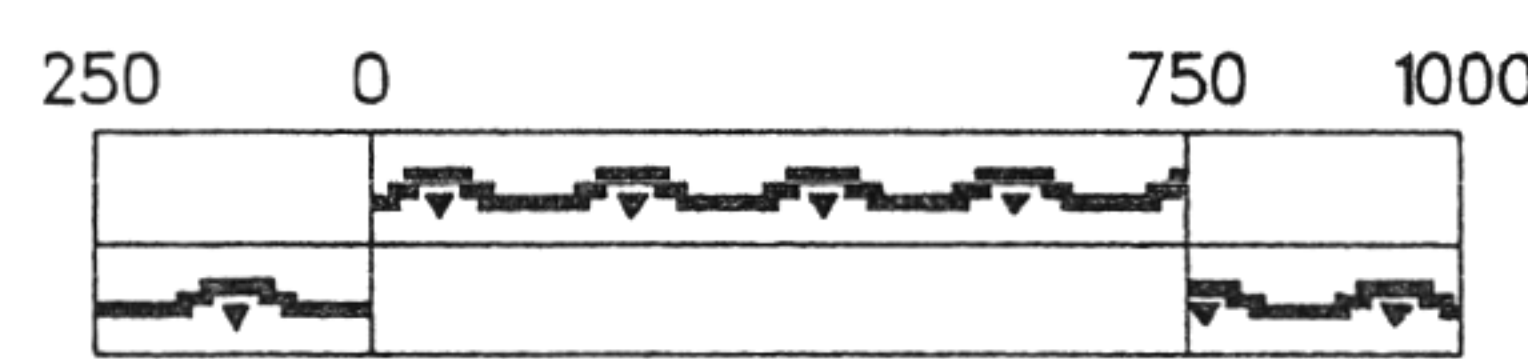


CITY OF
Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 2003

GRAPHIC SCALE IN FEET



Zone Atlas Page

H-22-Z

Map Amended through January 21, 2003

NO. 051
1-7-03 cc P. 2/3: Green,
Consensus
Chad Hagle,
Tricolor
Steve Kattner,
Tait + Assoc.



City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 3, 2003

Glenn Broughton, P.E.
Bohannan Huston, Inc.
7500 Jefferson NE - Courtyard 1
Albuquerque, NM 87109

**Re: Eckerd Drug Store, Tramway & Candelaria, Site Development Plan
Engineer's Stamp dated 9-09-03 (G22/D22)**

Dear Mr. Broughton,

Based upon the information provided in your submittal dated 9-09-03, the above referenced plan is approved for Site Development Plan for Building Permit.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: file

Current DRC Project No.

ORIGINAL

Figure 12

INFRASTRUCTURE USE

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

TRACT A, BLOCK 40, OFFSHORE HIGHWAY

(Northwest corner of Rubenstreet & Southern)

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or immediately guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that supplemental items and/or unforeseen items have not been included in the listing and related financial guarantees, likewise, if the DRC Chair determines that supplemental or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and engineer. If such approvals are obtained, those revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Engr Engineer
		12	RIGHT TURN DECEL LANE WITH SIDEWALK AND CURB & GUTTER	CAMELARIA	SITE DRIVEWAY	JUST WEST OF TRAJAYAY	/	/	/
							/	/	/
							/	/	/
							/	/	/

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

AGENCY OWNER: BOHANNAN HUSTON INC. DATE: 10/07/03

PREPARED BY: PRINT NAME: Bruce Stidworthy DATE: 10-8-03

CRB CHAIR: Christina S. Anselmi DATE: 10/8/03

TRANSPORTATION DEVELOPMENT: Michelle Ault DATE: 10-8-03

UTILITY DEVELOPMENT: Raymond Sherr DATE: 10-8-03

AMAFCA: Bruce D. Bigham DATE: 10/8/03

CITY ENGINEER

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A CRB EXTENSION

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

Clair

Date Submitted: October 9, 2003

Date Site Plan for Beta Permit App: 10/8/03

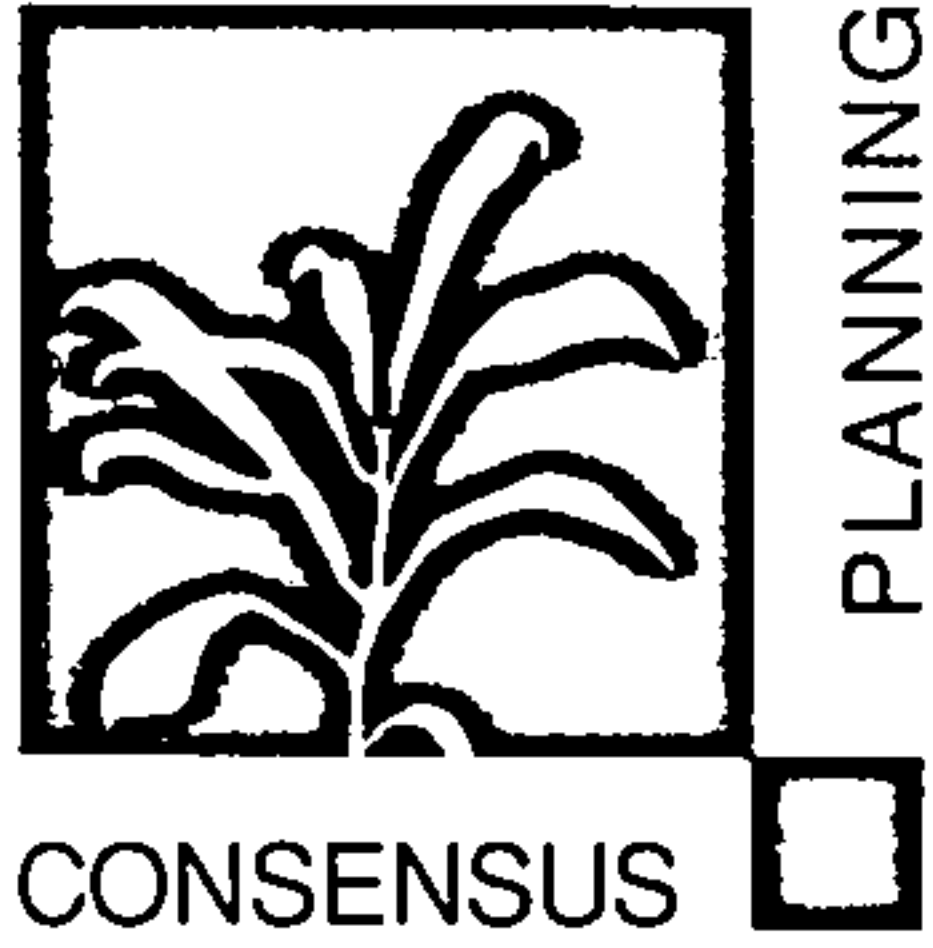
Date Site Plan for Sub Approved: 10/8/03

Date Preliminary Plat Approved: 10-8-03

Date Preliminary Plat Expires: 10-8-04

DRB Project No: 03-01652

1002635



October 9, 2003

Sheran Matson, Chair.
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Project #1002635/03EPC-00704; Eckerd @ Tramway and Candelaria

Landscape Architecture
Urban Design
Planning Services

Dear Ms. Matson:

The purpose of this letter is to explain how the Eckerd Site Plan for Building Permit at Tramway and Candelaria NE has been revised to reflect the Environmental Planning Commission's Conditions of Approval. We've addressed the conditions as follows:

924 Park Avenue SW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
The Site Plan has been revised to meet all EPC conditions and this letter satisfies the condition.
2. The applicant shall provide a notation on the site development plan indicating that the uses allowed within this site shall be limited to those uses listed as permissive and conditional in Section 14-16-2-16 C-1 Neighborhood Commercial Zone of the Comprehensive City Zoning Code.
Note has been added to Sheet 1.
3. The applicant shall correct all the necessary sheets on the site development plan for building permit to reflect the accurate acreage of the site, which shall not exceed 2.92 acres.
The correct acreage (2.518) is shown on Sheet 1 and the DRB approved Preliminary Plat is attached.
4. The submittal shall contain the exact lot dimensions for the subject site for verification of acreage and the allowance of the proposed freestanding signs.
Dimensions have been added to the Site Plan.
5. The submittal shall be modified to provide information regarding the dimensions of the upright handicap signs and depict the exact location of handicap accessibility to the building from the parking areas.
This information, details and dimensions, has been added to the Site Plan.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

6. A pedestrian walkway shall be provided somewhere in the area that is currently designated as a "landscape and ponding area" on the southwest portion of the site. The exact location shall be noted on the site development plan.
 - a. The developer will cover all expenses for the access.
 - b. The access must be ADA compliant.
 - c. The access will be located in an area that is safe, with a marked crosswalk.
 - d. Additional sidewalk on Mountainside Parkway may be required.
 - e. Lighting may be required to keep the path safe for night use.
 - f. The access will exit onto the sidewalk at the side of the proposed development.
 - g. The final plan is subject to approval by the Tramway Highpoint HOA Board of Directors.

The applicant agrees with all of these neighborhood conditions, with the exception of 6g., which should have been deleted as directed by the EPC. The pedestrian walkway is located through the northern landscape area, which functions better than the southwest area due to slope issues and existing sidewalk location.

7. The landscape plan shall specify the number of plants that will be provided for each species.

This information has been added to Sheet 2, Landscape Plan.

8. A notation shall be added on the landscape plan indicating that 75% of living ground cover will be provided on the site and that the site will be in compliance with the Water Conservation Ordinance.

This information has been added to Sheet 2, Landscape Plan.

9. The applicant shall provide a notation on the site plan indicating that the site will meet all of the requirements of Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Light poles within 100 feet of residential shall be limited to 16 feet.

A lighting detail has been added to the Site Plan indicating that light fixtures will be in accordance with City Code and shall be limited to 16 feet within 100 feet of residential.

10. The elevation views shall contain information regarding the height and width of all building elements such as and limited to windows and doors.

Dimensions have been added to Building Elevation sheets.

11. The submittal shall contain a general color description for the proposed building materials.

This information has been added to the Building Elevation sheets.

12. The submittal shall contain the correct square footage of the proposed freestanding signs as defined in the Comprehensive City Zoning Code.

A sheet has been added for signage details.

13. The notation on sheet A-1.0 on the submittal that states "Preliminary Site Plan is schematic and not for construction" shall be removed.

Done.

14. The applicant shall comply with the following conditions of approval as required by the Traffic Engineer and the Public Works Department:

a. Traffic Impact Study (TIS) is required.

Completed.

b. Completion of the required TIS mitigation measures, per Transportation Development staff, must be completed if assumed to be in place for the current TIS for this site.

We agree.

c. The developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, and sidewalk that have not already been provided for.

We agree.

d. Site shall comply and be designed per DPM standards.

We agree.

e. On site plan, draw site triangle to verify adequate site distance at the intersection of Candelaria and new driveway. No obstructions greater than 2' within this triangle.

This has been added to the Site Plan.

15. As agreed by the applicant, the three existing freestanding signs on the site shall be removed.

We agree.

Please do not hesitate to call me if you have any questions or desire any additional information.

Sincerely,



Jacqueline Fishman, AICP
Senior Planner II



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 19, 2003

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002635 ***
03EPC-00702 Zone Map Amendment
03EPC-00703 EPC Site Development Plan-
Subdivision
03EPC-00704 EPC Site Development Plan-
Building Permit

Tricor Southwest Corp.
6340 East Thomas Rd., Suite 128
Scottsdale, AZ, 85251

LEGAL DESCRIPTION: for all or a portion of Tract(s) I, **Section 3, T10N**, a zone map amendment from SU-1 Neighborhood Commercial to SU-1 for C -1, located on CANDELARIA ROAD NE, between TRAMWAY BLVD. NE and MOUNTAINSIDE PARKWAY NE, containing approximately 4 acre(s). (H-22) Juanita Vigil, Staff Planner

On September 18, 2003 the Environmental Planning Commission voted to approve Project 1002635/ 03EPC 00702, a Site Development Plan for Building Permit, for Tract I, Section 3, T10N, R4E, located at 12501 Candelaria NE between Tramway and Mountainside Parkway NE, and containing approximately 2.44 acres, zoned SU-1 Planned Development Area, Neighborhood Commercial, based on the preceding Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Tract I, Section 3, T10N, R4E, located at 12501 Candelaria NE between Tramway and Mountainside Parkway NE, and containing approximately 2.44 acres, zoned SU-1 Planned Development Area, Neighborhood Commercial. The applicant is proposing to construct a 13,813 square foot Eckerd, which is a national neighborhood drugstore chain.

2. In addition to this request, the applicant is requesting a zone map amendment for the site's zone category from SU-1 for Planned Development Area, Neighborhood Commercial to SU-1 for C-1 Uses.
3. The interpretation from the Zoning Enforcement Manager regarding the site's current zone category to mean that "all uses, permissive and conditional, of the C-1 Neighborhood Commercial zone are allowed as permissive on this site. The improvements for the site are to be controlled by a site development plan for building permit approved by the EPC."
4. The applicant is proposing a use that is permissive and conditional within the C-1 Neighborhood Commercial zone category as identified in the *Comprehensive City Zoning Code* and is therefore allowed within this site, based on the determination from the Zoning Enforcement Manager.
5. This site is adjacent to residential development and existing facilities that will allow this submittal to meet Policy 5e, Established Urban, of the *Comprehensive Plan* that requires new growth to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services.
6. The submittal, with modifications, will contain sufficient pedestrian connections to adjacent properties that will allow for compliance with Policy 5g, Established Urban of the *Comprehensive Plan* that specifies development to be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.
7. The subject site is adjacent to residential zones, furthering Policy 5i, Established Urban of the *Comprehensive Plan* that requires employment and service uses to be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.
8. With modifications, the submittal meets the definition and elements of a site development plan for building permit as defined in the *Comprehensive City Zoning Code*.
9. The site currently contains 3 off-premise signs that were not reflected on the site plan. The applicant has agreed to remove all of the off-premise signs.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION
SEPTEMBER 18, 2003
PROJECT #1002635
PAGE 3 OF 5

2. The applicant shall provide a notation on the site development plan indicating that the uses allowed within this site shall be limited to those uses listed as permissive and conditional in Section 14-16-2-16, the C-1 Neighborhood Commercial zone of the *Comprehensive City Zoning Code*.
3. The applicant shall correct all the necessary sheets on the site development plan for building permit to reflect the accurate acreage of the site, which shall not exceed 2.92 acres. A certified survey shall be provided to verify the actual acreage of the site.
4. The submittal shall contain the exact lot dimensions for the subject site for verification of acreage and the allowance of the proposed freestanding signs.
5. The submittal shall be modified to provide information regarding the dimensions of the upright handicap signs and depict the exact location of handicap accessibility to the building from the parking areas.
6. A pedestrian walkway shall be provided somewhere in the area that is currently designated as a "landscape and ponding area" on the southwest portion of the site. The exact location shall be noted on the site development plan.
 - a. The developer will cover all expenses for the access.
 - b. The access must be ADA compliant
 - c. The access will be located in an area that is safe, with a marked crosswalk.
 - d. Additional sidewalk on Mountainside Parkway may be required.
 - e. Lighting may be required to keep the path safe for night use.
 - f. The access will exit onto the sidewalk at the side of the proposed development.
 - g. The final plan is subject to approval by the Tramway Highpoint HOA Board of Directors.
7. The landscape plan shall specify the number of plants that will be provided for each species.
8. A notation shall be added on the landscape plan indicating that 75% of living ground cover will be provided on the site and that the site will be in compliance with the *Water Conservation Ordinance*.
9. The applicant shall provide a notation on the site plan indicating that the site will meet all of the requirements of Section 14-16-3-9, Area Lighting Regulations of the *Comprehensive City Zoning Code*. Light poles within 100 feet of residential shall be limited to 16 feet.
10. The elevation views shall contain information regarding the height and width of all of building elements, such as and limited to windows and doors.
11. The submittal shall contain a general color description for the proposed building materials.

12. The submittal shall contain the correct square footage of the proposed freestanding signs as defined in the *Comprehensive City Zoning Code*.
13. The notation on sheet A-1.0 on the submittal that states "Preliminary Site Plan is schematic and not for construction" shall be removed.
14. The applicant shall comply with the following conditions of approval as required by the Traffic Engineer and the Public Works Department:
 - a. Traffic Impact study (TIS) is required.
 - b. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site.
 - c. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.
 - d. Site shall comply and be designed per DPM Standards.
 - e. On site plan, draw site triangle to verify adequate site distance at the intersection of Candelaria and new driveway. No obstructions greater than 2' within this triangle.
15. As agreed by the applicant, the three existing freestanding signs on the site shall be removed.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY OCTOBER 3, 2003 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

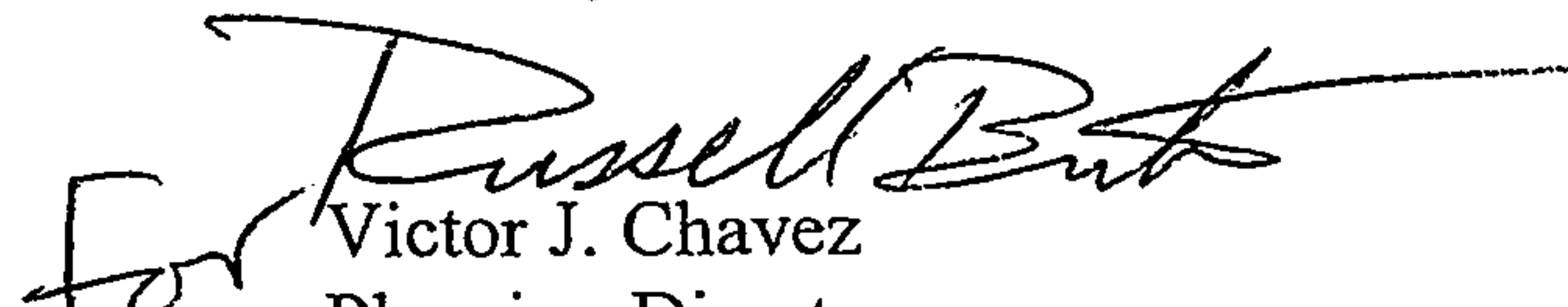
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
SEPTEMBER 18, 2003
PROJECT #1002635
PAGE 5 OF 5

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


Victor J. Chavez
Planning Director

VJC/JV/ac

cc: Consensus Planning, Inc., 924 Park Ave. SW, Albuquerque, NM 87102
Phil Barott, Cibola Add., 2906 Casa del Norte Ct. NE, Albuquerque, NM 87112
Tom Doherty, Cibola Add., 2308 Madre NE, Albuquerque, NM 87112
Paul Grosvenor, Glenwood Hills South Casa Grande, 3601 Embudito Dr. NE, Albuquerque, NM 87111
Theresa Mezzetti, Glenwood Hills South Casa Grande, 3116 Camino Real Ct. NE, Albuquerque, NM 87111
Barbara Coffman, Holiday Park, 3017 Tahiti St. NE, Albuquerque, NM 87111
Feliz Thamert, Holiday Park, 11604 Golden Gate NE, Albuquerque, NM 87111