

REVISIONS

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DRAWN BY

REVIEWED BY

DATE February 17, 2012

PROJECT NO. 11-0039

DRAWING NAME

**SITE DEVELOPMENT
PLAN FOR SUBDIVISION**

SHEET NO.

SPS - 1
OF

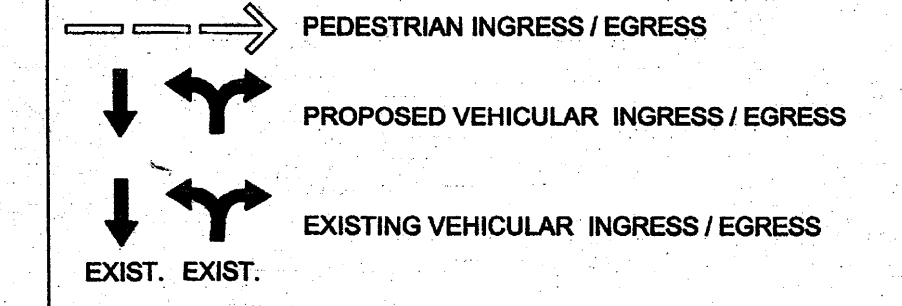
GENERAL SHEET NOTES

- PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC R.O.W. WILL BE CONSTRUCTED PER CITY OF ABQ. STANDARD DRAWING #2426.
- THE PROJECT WILL BE CONSTRUCTED ALL AT ONCE, IT WILL NOT BE PHASED.
- ALTERNATIVE TRANSPORTATION FACILITIES: THE PROJECT WILL INCORPORATE SIDEWALKS AND BIKE RACKS.
- REFER TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT PACKAGE FOR CONCEPTUAL UTILITIES PLAN.
- DESIGN STANDARDS ARE NOT PROVIDED. REFER TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT PACKAGE FOR SPECIFIC SITE AND BUILDING DESIGN INFORMATION.
- PEDESTRIAN / BICYCLE INGRESS AND EGRESS: ALONG PROSPECT AVENUE THE EXISTING SIDEWALK WILL BE REMOVED AND REPLACED WITH A NEW 6' WIDE SIDEWALK. ALONG QUINCY STREET, A 2' SIDEWALK WILL BE ADDED TO THE EXISTING 4' SIDEWALK TO CREATE A 6' WIDE SIDEWALK. AT THE CORNER OF PROSPECT AVENUE AND QUINCY STREET, A NEW ADA ACCESSIBLE RAMP WILL BE CONSTRUCTED. A NEW PEDESTRIAN SIDEWALK HAS BEEN ADDED FROM PROSPECT AVENUE CONNECTING TO THE SIDEWALK IN FRONT OF OUTLOT A TO CONNECT TO ALL INTERNAL SIDEWALKS. BICYCLE RACKS ARE INCLUDED IN FRONT OF ALL BUILDINGS AS SHOWN ON THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.
- ALL IMPROVEMENTS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY.

KEYED NOTES

- PROPERTY LINE.
- PROPOSED NEW PROPERTY LINE.
- BUILDING SETBACK.
- not used
- PROPOSED DRIVEWAY.
- EXISTING DRIVEWAY.
- PROPOSED RETAINING WALL.
- EXISTING MONUMENT SIGN.
- DELIVERY VEHICLE ROUTE INGRESS AND EGRESS; TRUCK SIZE: WB 50.
- DELIVERY VEHICLE ROUTE INGRESS AND EGRESS; TRUCK SIZE: WB 40.
- BUS STOP / SHELTER, REFER TO SITE DEVELOPMENT PLAN KEYNOTE 7.
- PER ALTA SURVEY DATED: SEPTEMBER 2011; EXISTING 10' PNM EASEMENT FILED 6/18/2004, BK: A79, PAGE 6061, DOC. NO. 2004085286.
- THE EXISTING NON-EXCLUSIVE ACCESS EASEMENT GRANTED ON SEPTEMBER 14, 2004 IN BOOK A83, PAGE 8617, AS DOC. NO. 2004128974, BERNALILLO COUNTY AND RESTATED IN THE MEMORANDUM OF LEASE RECORDED ON MAY 15, 2008 IN BOOK A56, PAGE 1795, BERNALILLO COUNTY IS HEREBY REPLACED WITH A NON-EXCLUSIVE PRIVATE CROSS ACCESS EASEMENT LIMITED TO THE ESTABLISHED DRIVEWAY AISLES WITHIN TRACTS A-1 AND A-2 GRANTED WITH THE FILING OF THE PLAT. OWNERS OF TRACT A-1 AND A-2 ARE RESPONSIBLE FOR MAINTAINING THE PORTION OF THIS EASEMENT LOCATED WITHIN THEIR RESPECTIVE TRACT.
- PER ALTA SURVEY DATED: SEPTEMBER 2011; EXISTING 7' PNM EASEMENT FILED 8/26/1969, BK: MISC. 148 PAGE 166, DOC. NO. 47509 FILED 4/04/1973 VOL. C9, PAGE 65.
- PRIVATE DRAINAGE EASEMENT, RE: CIVIL.
- EXISTING 50' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATION ORDINANCE #2525 ADOPTED 5/12/1984 FILED 7/8/1984 DOC #6165, VACATED BY VACATION ACTION 012DRB.
- EXISTING 20' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATION ORDINANCE #2525 ADOPTED 5/12/1984 FILED 7/8/1984 DOC #6165, VACATED BY VACATION ACTION 012DRB.
- EXISTING 5' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATED BY VACATION ACTION 012DRB.
- EXISTING 10' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATED BY VACATION ACTION 012DRB.

LEGEND



SITE INFORMATION

LEGAL DESCRIPTION
NORTHERLY PORTION OF TRACT A OF VIDAS SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NM, FILED: MAY 4, 1973, MAP B00K C9

TOTAL SITE AREA: 239,530 SF = 5.5 ACRES
GROSS F.A.R. (GBA / SITE AREA) = EXISTING OFFICE DEPOT: 13,487 SF
PROPOSED DEVELOPMENT: 89,425 SF
82,912 SF / 239,530 SF = .35

EXISTING ZONING: C-2 (SC) PROPOSED USE: SHOPPING CENTER
MAXIMUM BUILDING HEIGHT: PER C-2 ZONING = 28'-0"
MAXIMUM BUILDING SETBACK: PER C-2 ZONING = 11'-0" AT EAST PROPERTY LINE

APPROVED
2/17/12
COMMUNITY DEVELOPMENT

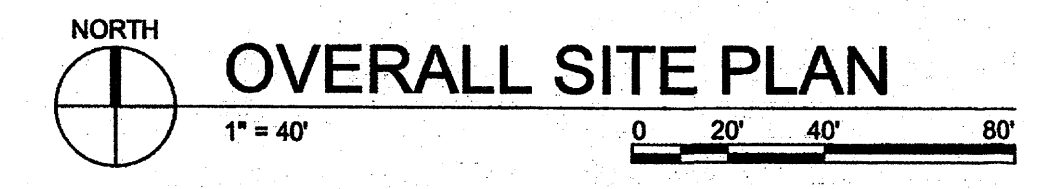
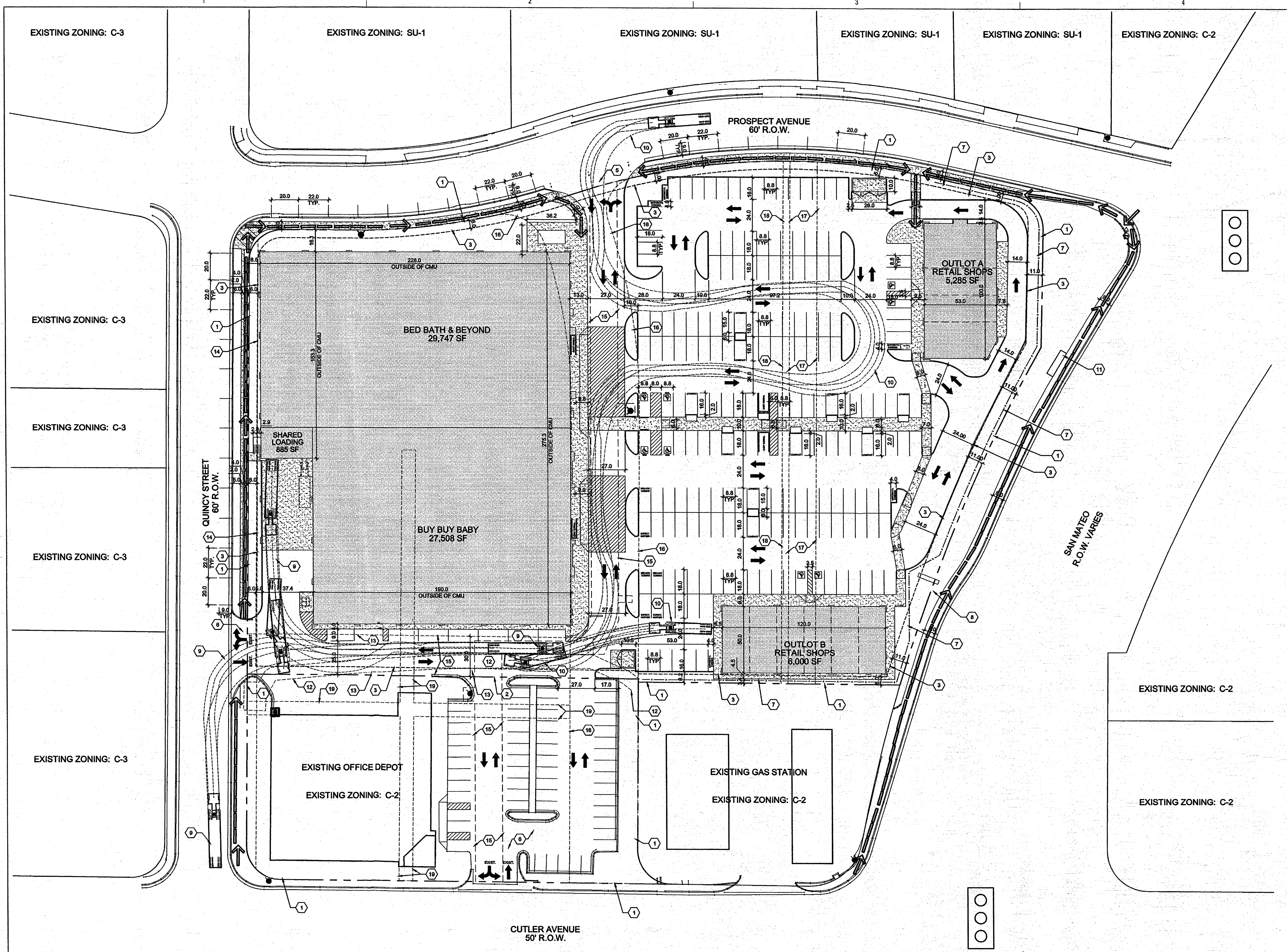


PROJECT NUMBER: 1002650
APPLICATION NUMBER:

Is an Infrastructure List Required? () Yes (x) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

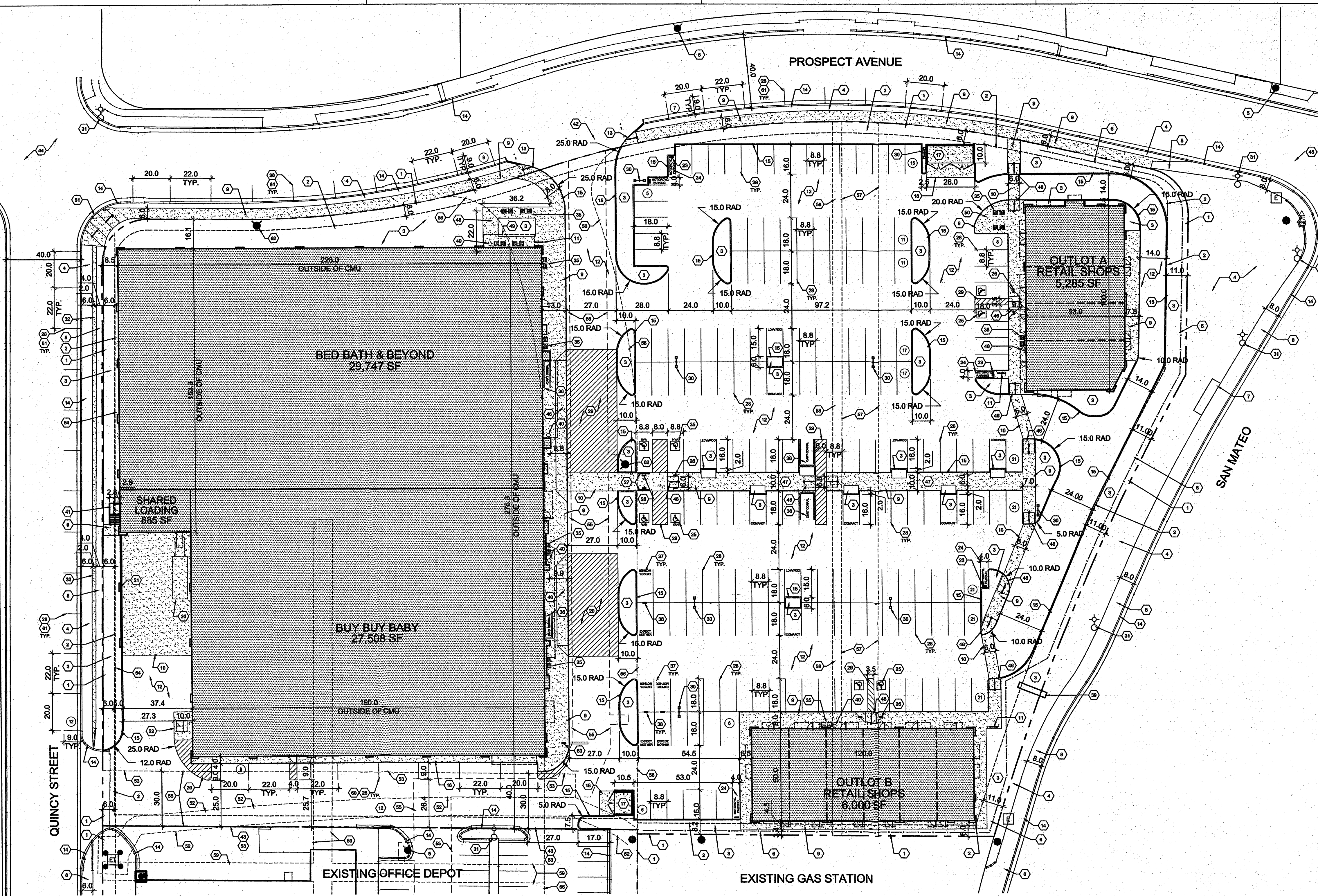
<i>[Signature]</i>	02-22-12
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	02-22-12
ABCWUA	DATE
<i>[Signature]</i>	02-22-12
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	2-22-12
CITY ENGINEER	DATE
<i>[Signature]</i>	2-17-12
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	01/12/2012
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



GENERAL SHEET NOTES

- SEE CIVIL PLANS FOR GRADING, DRAINAGE, UTILITY AND CURB CUT LOCATIONS INFO.
- PARKING AREA SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
- DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ABQ. STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHEREVER POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ABQ. ZONING CODE.
- BUS ROUTE #140 AND 141 RUNS ALONG BALLOON FIESTA PARKWAY & SAN MATEO DRIVE NE. TRANSIT STOPS ARE LOCATED WITHIN 600 FEET OF THE DEVELOPMENT.
- SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- THERE ARE NO EXISTING STRUCTURES WITHIN 20' OF SITE.
- AT GROUND MOUNTED TRANSFORMER LOCATIONS WHERE LANDSCAPE MAY INTERFERE, ADEQUATE CLEARANCES WILL BE PROVIDED AS PER PNM REQUIREMENTS.
- ROOF DRAINS ON WEST SIDE OF BED BATH & BEYOND / BUY BUY BABY BUILDING WILL DRAIN TO QUINCY STREET THROUGH SIDEWALK CULVERTS. FINAL LOCATION OF THE SIDEWALK CULVERTS TO BE DETERMINED AT BUILDING PERMIT.

- KEYED NOTES**
- PROPERTY LINE.
 - BUILDING SETBACK.
 - LANDSCAPED AREA; SEE LANDSCAPE PLAN FOR EXACT CALCULATIONS.
 - EXISTING LANDSCAPE; SEE LANDSCAPE PLAN.
 - EXISTING FIRE HYDRANT, SEE CIVIL.
 - RETAINING WALL WITH 42" STEEL FENCE, SEE DETAIL 6 ON SHEET 5b.
 - BUS STOP / SHELTER, 5'W x 20', TYPE C AS PER CITY OF ABQ. DESIGN STANDARD 2355 WITH ASSOCIATED BENCH AND TRASH CAN.
 - EXISTING CONCRETE SIDEWALK.
 - CONCRETE SIDEWALK.
 - 8'-0" WIDE CONCRETE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING; SEE SHEET 6 DETAIL B5.
 - STEEL BIKE RACK WITH FIVE BICYCLE SPACES; SEE SHEET 6 DETAIL B2.
 - ASPHALT PAVING.
 - CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES; SEE SHEET 6 DETAIL B4.
 - EXISTING CONCRETE CURB AND GUTTER.
 - CONCRETE CURB.
 - CONCRETE APRON.
 - REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; SEE: SHEET 6 DETAIL A4.
 - CONCRETE SLAB FOR REFUSE ENCLOSURE.
 - CONCRETE SLAB LOADING DOCK FOR DELIVERY TRUCKS AND TRASH COMPACTOR.
 - TRASH COMPACTOR FOR SOLID WASTE DISPOSAL.
 - 10' HIGH LOADING DOCK SCREEN WALL, SEE SHEET 5d ELEVATION 2B.
 - 22.0yd TRASH DUMPSTER ON CONCRETE PAD (FOR CARDBOARD). TENANT WILL CONTRACT WITH PRIVATE SOLID WASTE COMPANY FOR DUMPSTER AND PERIODIC REMOVAL.
 - POLE MOUNTED MOTORCYCLE PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
 - MOTORCYCLE PARKING, 4'W x 8'L MINIMUM.
 - PAINTED ACCESSIBLE PAVEMENT SYMBOL.
 - POLE MOUNTED ACCESSIBLE PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
 - 27' CONCRETE WHEEL STOP.
 - PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE.
 - PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: WHITE.
 - POLE MOUNTED PARKING LOT LIGHT, 20' MAX HEIGHT ABOVE FINISH GRADE; SEE SHEET 6 DETAIL A5.
 - EXISTING LIGHT POLE.
 - 2'-0" CONCRETE SIDEWALK TO BE ADDED TO EXISTING SIDEWALK.
 - 6'-0" WOOD BENCH; SEE SHEET 6 DETAIL B1.
 - CART CORRAL; SEE SHEET 6 DETAIL D1.
 - EXPECTANT MOTHER PARKING.
 - POLE MOUNTED EXPECTANT MOTHER PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
 - EXISTING MONUMENT SIGN, SEE SHEET SHEET 5b ELEVATION 5.
 - LITTER RECEPTACLE; SEE SHEET 6 DETAIL A1.
 - STEEL STAIR PAINTED TO MATCH BUILDING; SEE SHEET 5d ELEVATION 2A.
 - NEW DRIVE PAD, SEE CIVIL.
 - PROPOSED NEW PROPERTY LINE.
 - EXISTING INTERSECTION WITH STOP SIGNS.
 - EXISTING INTERSECTION WITH TRAFFIC LIGHT / SIGNAL.
 - CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE.
 - SIDEWALK WIDTH: 10' MINUS 2" VEHICLE OVERHANG ON BOTH SIDES = 6" CLEAR SIDEWALK.
 - PUBLIC SPACE OUTDOOR SEATING AREA: 800sf CONCRETE PAD WITH 200sf OF LANDSCAPE FEATURE IN CENTER OF CONCRETE PAD, REFER TO LANDSCAPE PLAN.
 - SHADE CANOPY ABOVE PUBLIC SPACE OUTDOOR SEATING AREA: 200sf; SEE SHEET 5e ELEVATION 4A.
 - OUTDOOR SEATING AREA: 262sf.
 - CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES, SEE SHEET 6 DETAIL C4.
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 - EXISTING 50' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATION ORDINANCE #2525.
 - ADOPTED 5/12/1964 FILED 7/8/1964 DOC #2004085286, VACATED BY VACATION ACTION 012DRB.
 - EXISTING 20' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATION ORDINANCE #2525.
 - ADOPTED 5/12/1964 FILED 7/8/1964 DOC #6165, VACATED BY VACATION ACTION 012DRB.
 - EXISTING 5' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATED BY VACATION ACTION 012DRB.
 - EXISTING 10' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATED BY VACATION ACTION 012DRB.
 - PARALLEL PARKING SPACE.
 - ON-STREET PARKING SPACE (STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY).
 - FIRE HYDRANT, SEE CIVIL.
 - STOP SIGN.



OVERALL SITE PLAN
1" = 30'
0 15' 30' 60'

SITE INFORMATION

LEGAL DESCRIPTION:
NORTHERLY PORTION OF TRACT A OF VIDAS SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NM, FILED: MAY 4, 1973, MAP 800K C9

ZONE ATLAS MAP NUMBER: H-17-Z PRESENT ZONING: C-2 (SC)

GROSS BUILDING AREA (GBA):
BUY BUY BABY - RETAIL (1 STORY) = 27,950 sf
BED BATH & BEYOND - RETAIL (1 STORY) = 30,190 sf
SHARED LOADING: 885 sf
OUTLOT A - RETAIL (1 STORY) = 5,285 sf
OUTLOT B - RETAIL (1 STORY) = 6,000 sf
TOTAL = 69,425 sf

TOTAL SITE AREA: 195,771 SF = 4.5 ACRES
GROSS F.A.R. (GBA / SITE AREA) = 69,425 / 195,771 = .35

PARKING INFORMATION

CUMULATIVE SF	BUILDING	SQUARE FEET	PARKING REQ'D APPLIED	REQ'D PARKING
15,000	Buy Buy Baby (27,508 sf + 442 sf of shared Loading Area = 27,950 sf total)	15,000	1/200 for 1st 15,000	75
20,893	Public Sales Area (total of 20,893)	5,893	1/250 for 15,001-60,000	24
25,443	Stock/Storage	4,550	1/1,000 for stock/storage	5
27,950	Office/Toilets/Walls/Unoccupied	2,507	1/250 for office/RR/unocc	10
27,950	Bed Bath & Beyond (29,747 sf + 442 sf of shared Loading Area = 30,190 sf total)	24,115	1/250 for 15,001-60,000	96
52,065	Public Sales Area (total of 24,115)	3,362	1/1,000 for stock/storage	3
58,140	Office/Toilets/Walls/Unoccupied	2,713	1/250 for office/restroom/unocc.	11
58,140	Outlot A Building (5,285 sf total)	1,779	1 per 4 seats	6
59,919	Coffee (w/drive-thru) (+25 seats)	3,506	1/300 for over 60,000	12
63,425	Retail shops	6,000	1/300 for over 60,000	20
69,425	Outlot B Building (6,000 sf total)	6,000	1/300 for over 60,000	20
			TOTAL REQUIRED: 262	
			TRANSIT REDUCTION (10%): -26	
			BUS SHELTER REDUCTION (5%): -13	
			TOTAL REQUIRED: 223	
			TOTAL PROVIDED (OFF-STREET): 209	
			TOTAL PROVIDED (ON-STREET): 28 1/2 = 14	
			TOTAL PROVIDED: 223	

HANDICAP PARKING STALLS REQUIRED: 101-300 PARKING STALLS: 8 HC STALLS REQUIRED (2 VAN ACCESSIBLE)
PROVIDED: 8 HC STALLS (4 VAN ACCESSIBLE)

MOTORCYCLE PARKING REQUIRED: 151-300 PARKING STALLS: 5 SPACES REQUIRED.
PROVIDED: 5 SPACES

BICYCLE PARKING REQUIRED: 1 PER 20 PARKING SPACES: TOTAL: 200 / 20 = 10 SPACES
PROVIDED: 15 SPACES

AFD PLANS CHECKING OFFICE
624-3511
APPROVED/NOT APPROVED
2/17/12
2/17/12

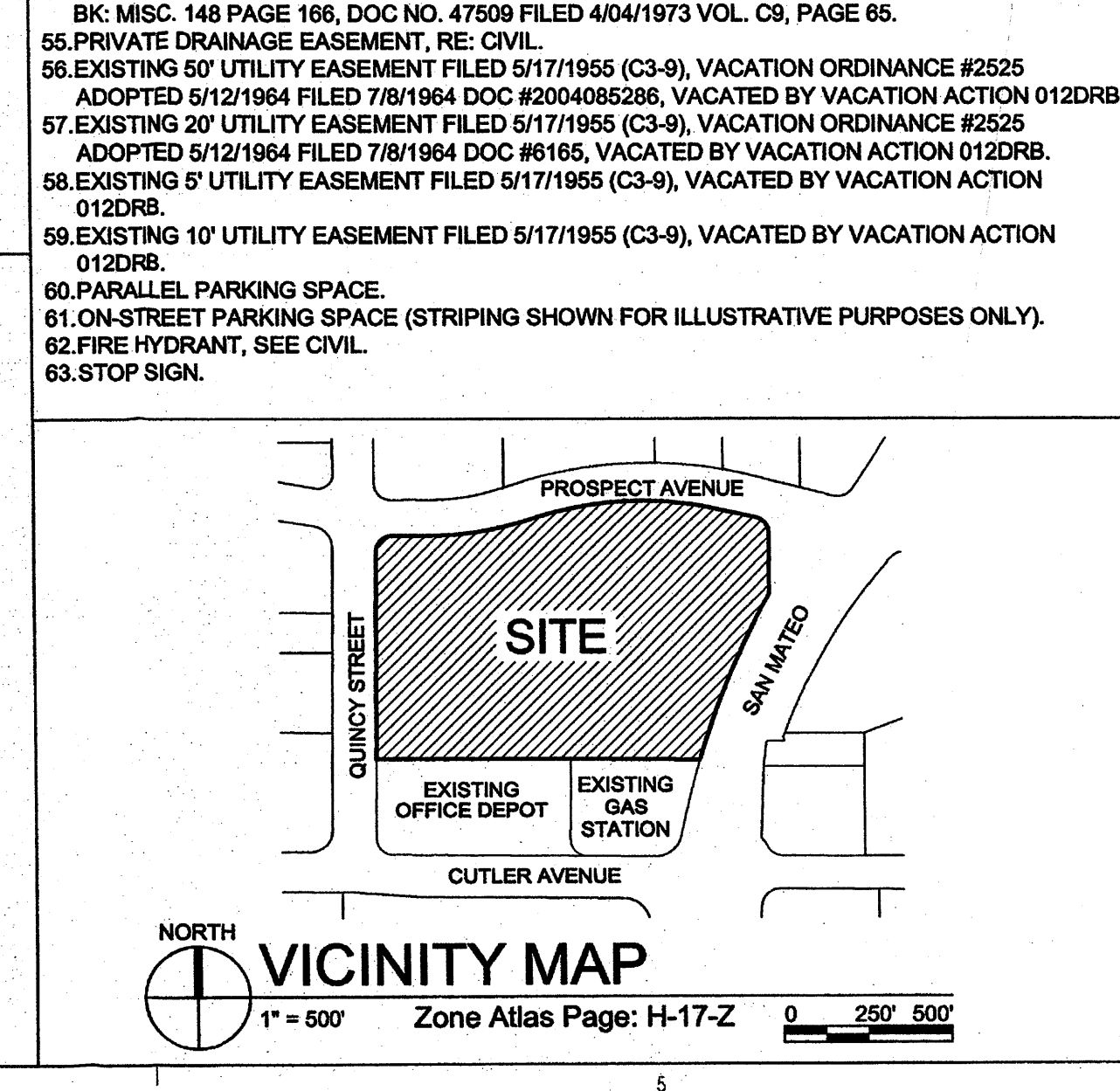
PROJECT NUMBER:
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DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	02-22-12
DATE	
ABCWVA	02/22/12
DATE	
PARKS AND RECREATION DEPARTMENT	8-5-13
DATE	
DATE	9/5/2013
DATE	
DATE	2-17-12
DATE	
DATE	2/17/2013
DATE	

SOLID WASTE MANAGEMENT
DRP CHAIRPERSON, PLANNING DEPARTMENT



REVISIONS

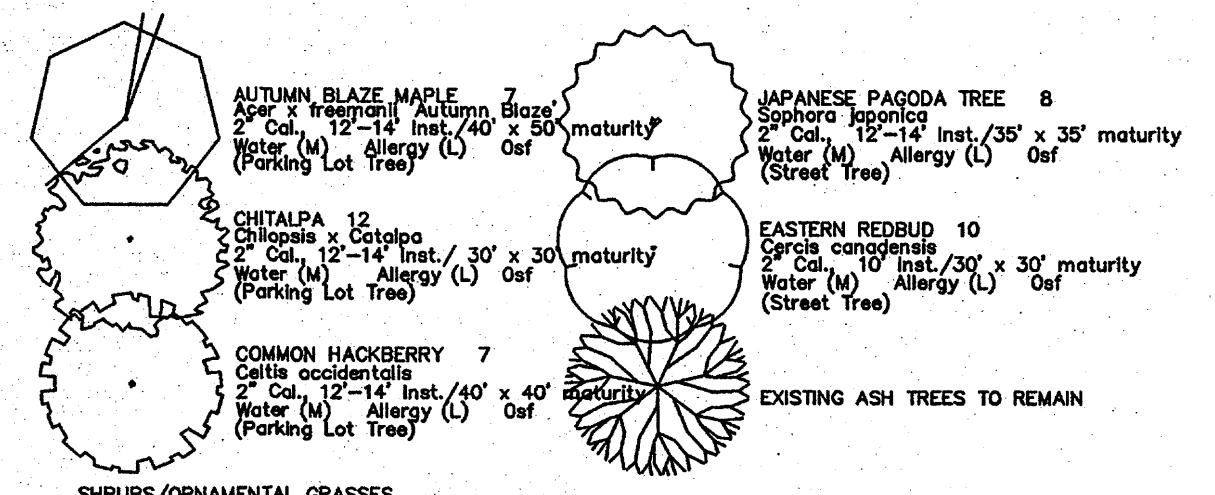
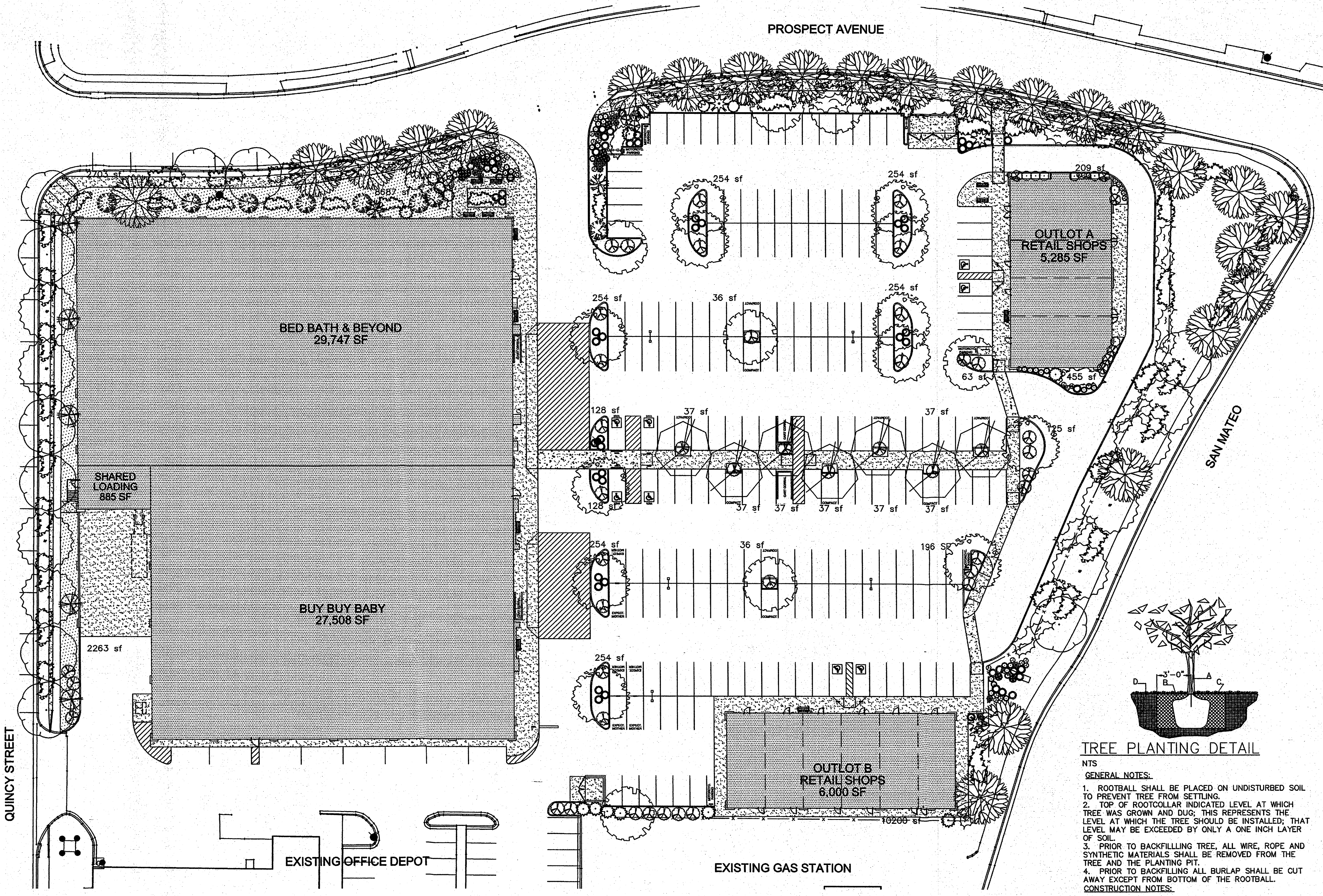
DATE February 17, 2012

PROJECT NO. 11-0039

DRAWING NAME
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NO. 1 OF

PROSPECT AVENUE



- SHRUBS/ORNAMENTAL GRASSES**
- **PARKEY COTONEASTER** 5
Cotoneaster villosa
5 Gal., 2'-4" inst./8" x 12" maturity
Water (M) Allergy (L) 144sf
 - **WILLOWLEAF COTONEASTER** 8
Cotoneaster pilulifolius
5 Gal., 2'-4" inst./8" x 10" maturity
Water (M) Allergy (L) 100sf
 - **SPANISH BROOM** 2
Genista hispanica
5 Gal., 2'-4" inst./10" x 10" maturity
Water (M) Allergy (L) 100sf
 - **BUTTERFLY BUSH** 1
Buddleia davidii
5 Gal., 12"-3" inst./10" x 10" maturity
Water (M) Allergy (L) 100sf
 - **ROSE OF SHARON** 3
Hibiscus syriacus
5 Gal., 2'-4" inst./10" x 10" maturity
Water (M) Allergy (L) 100sf
 - **PHOTINA** 13
Photinia fraseri
5 Gal., 2'-4" inst./8" x 8" maturity
Water (M+) Allergy (L) 84sf
 - **THREE-LEAF SUMAC** 6
Rhus trilobata
5 Gal., 18"-3" inst./6" x 6" maturity
Water (L+) Allergy (L) 36sf
 - **INDIAN HAWTHORN** 12
Raphanopis indica
5 Gal., 18"-3" inst./6" x 6" maturity
Water (M) Allergy (L) 36sf
 - **HANDINA** 7
Nandina domestica
5 Gal., 2'-4" inst./8" x 8" maturity
Water (M+) Allergy (L) 28sf
 - **REGAL MIST** 10
Muhlenbergia capillaris
5 Gal., 12"-3" inst./3" x 3" maturity
Water (M) Allergy (L) 9sf
 - **MAJCO PINE** 40
Pinus mugo
2'-3" inst./2" x 3" maturity
Water (M) Allergy (L) 9sf
 - **BLUE MIST SPIREA** 17
Corydalis clandonensis
5 Gal., 12"-3" inst./3" x 3" maturity
Water (M) Allergy (L) 9sf
 - **TURPENTINE BUSH** 16
Eriodaphne laevifolia
1 Gal., 8"-15" inst./3" x 4" maturity
Water (L+) Allergy (L) 16sf
 - **GAYMAY** 32
Nepeta musini
1 Gal., 8"-15" inst./1" x 2" maturity
Water (M) Allergy (L) 4sf
 - **WILDFLOWER** 33
1 Gal., 3"-15" inst./varies at maturity
Water (varies) Allergy (varies) 4sf

- GROUNDCOVERS**
- **GREYLEAF COTONEASTER** 27
Cotoneaster glaucophyllus
5 Gal., 24"-4" inst./2" x 9" maturity
Water (M) Allergy (L) 81sf
Symbol indicates 3 plants
 - **LADY BANK'S ROSE** 28
Rosa banksiae
5 Gal., 24"-4" inst./2" x 20" maturity
Water (M) Allergy (L) 400sf
Unstaked Groundcover
 - **GREEN MOUND JUNIPER** 15
Juniperus procumbens 'Green Mound'
1 Gal., 6"-15" inst./8" x 8" maturity
Water (L+) Allergy (H) 64sf
Symbol indicates 3 plants
 - **HONEYBUCKLE** 44
Lonicera japonica 'Hollander'
1 Gal., 6"-15" inst./2" x 12" maturity
Water (M) Allergy (L) 144sf
Unstaked Groundcover

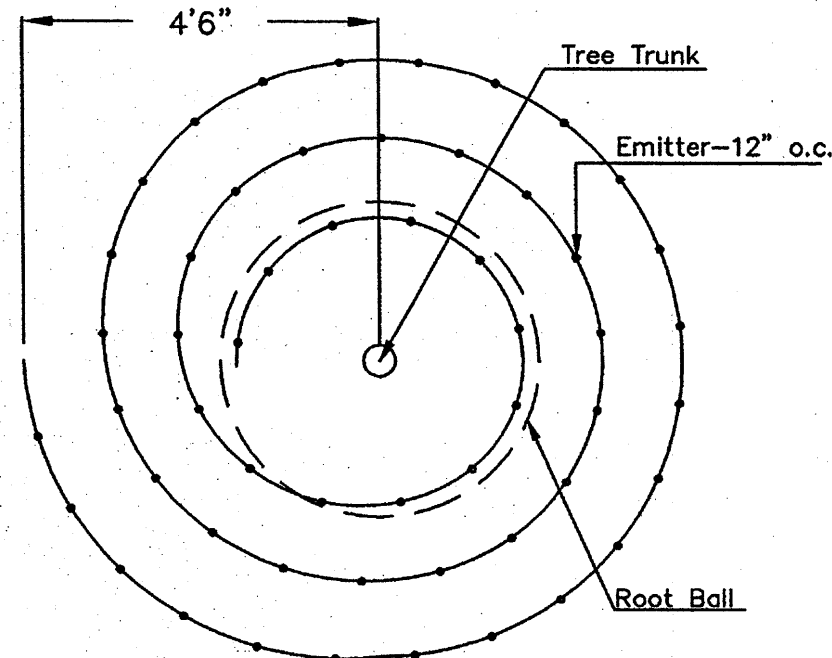
- HARDSCAPES**
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - RIP RAP OVER FILTER FABRIC

TREE PLANTING DETAIL

- NTS
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTURBED SOIL.

SHRUB PLANTING DETAIL

- NTS
GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.



Netafim Spiral Detail

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

At ground mounted transformer locations where landscape may interfere, adequate clearances will be provided as per PNM requirements.

Only female junipers will be provided.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	195771	square feet
TOTAL BUILDINGS AREA	69425	square feet
NET LOT AREA	126346	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	18951	square feet
TOTAL BED PROVIDED	26813 (21%)	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	20109	square feet
TOTAL GROUNDCOVER PROVIDED	20722 (78%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	26813 (21%)	square feet

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

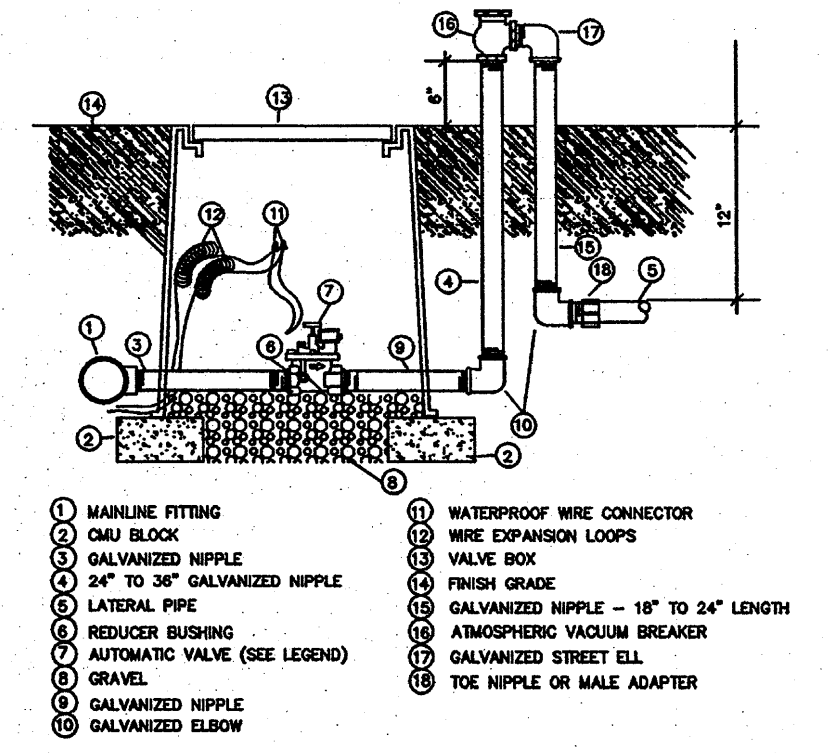
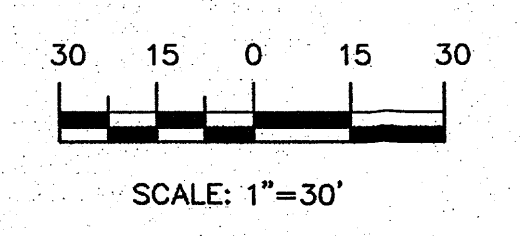
STREET TREE REQUIREMENTS - Minimum 2" Caliper
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street—SAN MATEO	Name of Street—PROSPECT
Required 13	Provided 13 (6 new) Required 17 Provided 17 (2 new)
Name of Street—QUINCY	
Required 10	Provided 10

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper
Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces	Required 26 Provided 26
----------------------------	-------------------------

GRAPHIC SCALE



AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

GRADING NARRATIVE

I. INTRODUCTION

The purpose of this sheet is to present a conceptual grading plan for a proposed commercial redevelopment in NE Albuquerque. The site is located at the southwest corner of the San Mateo Blvd and Prospect Avenue. The project will include a Bed Bath & Beyond/Buy Baby Combo Store and outlet retail buildings with pedestrian access, parking, and landscaping on approximately 4.5 acres. This submittal is in support of the Site Plan for Building Permit application at EPC.

II. SITE LOCATION

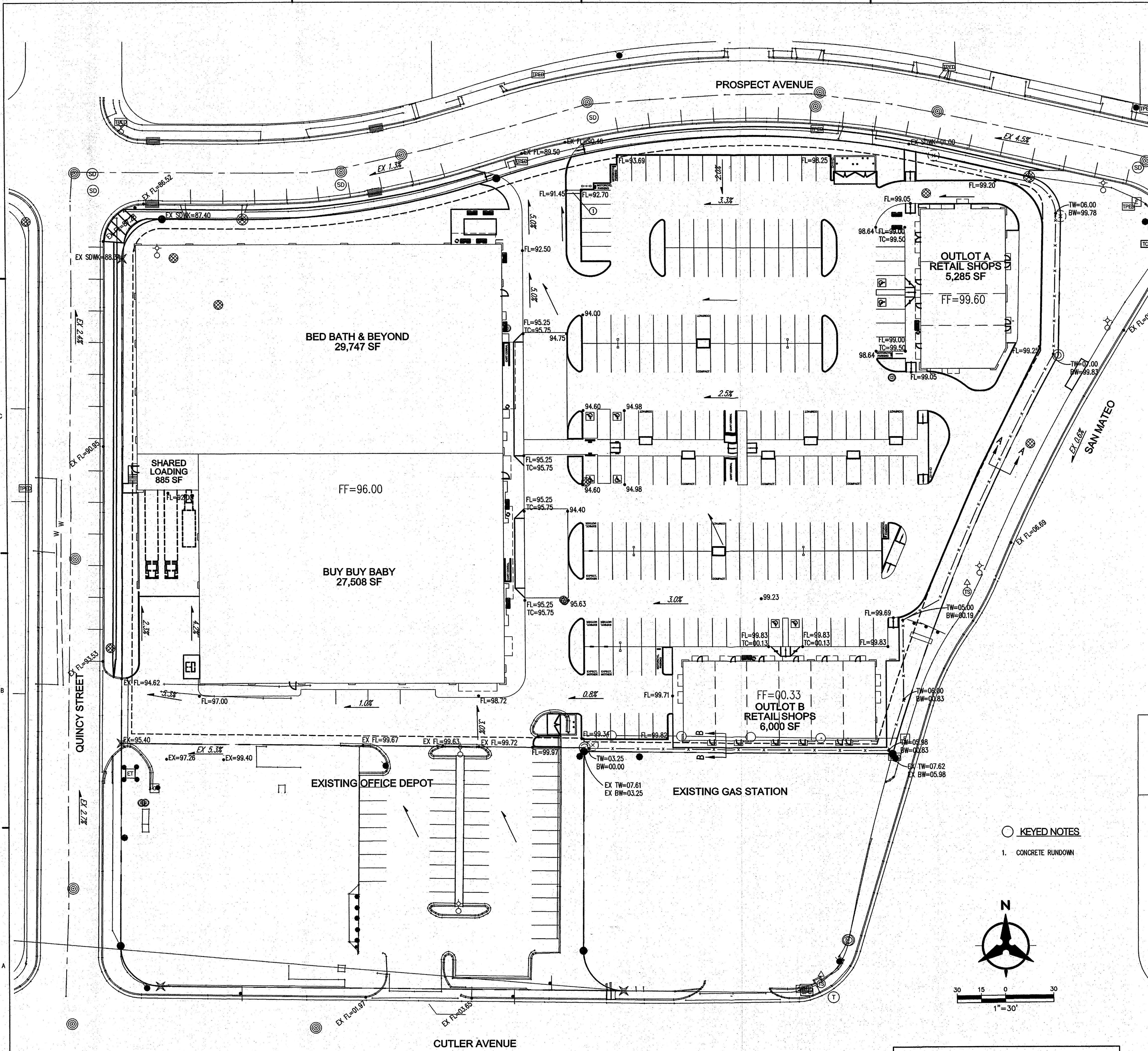
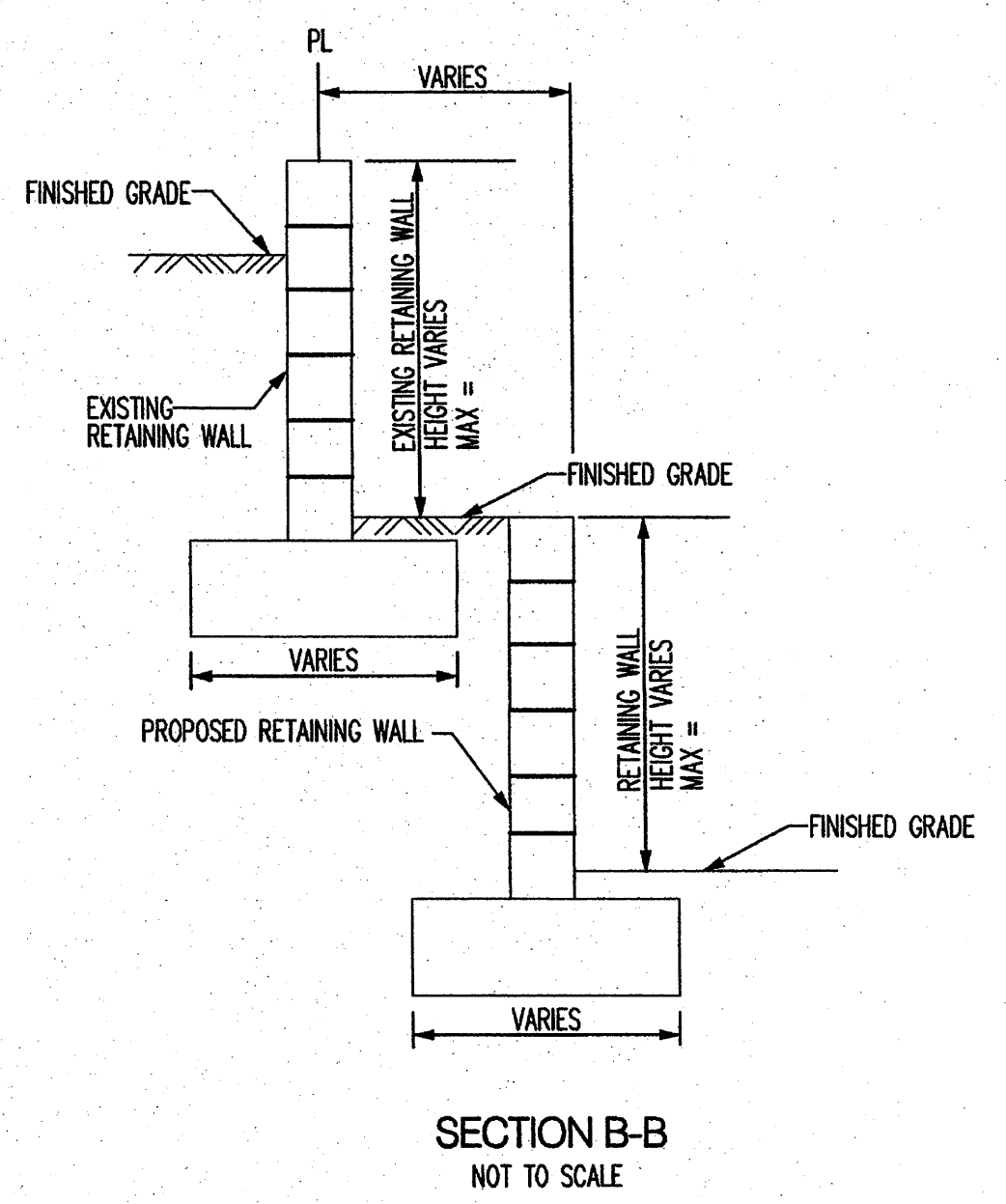
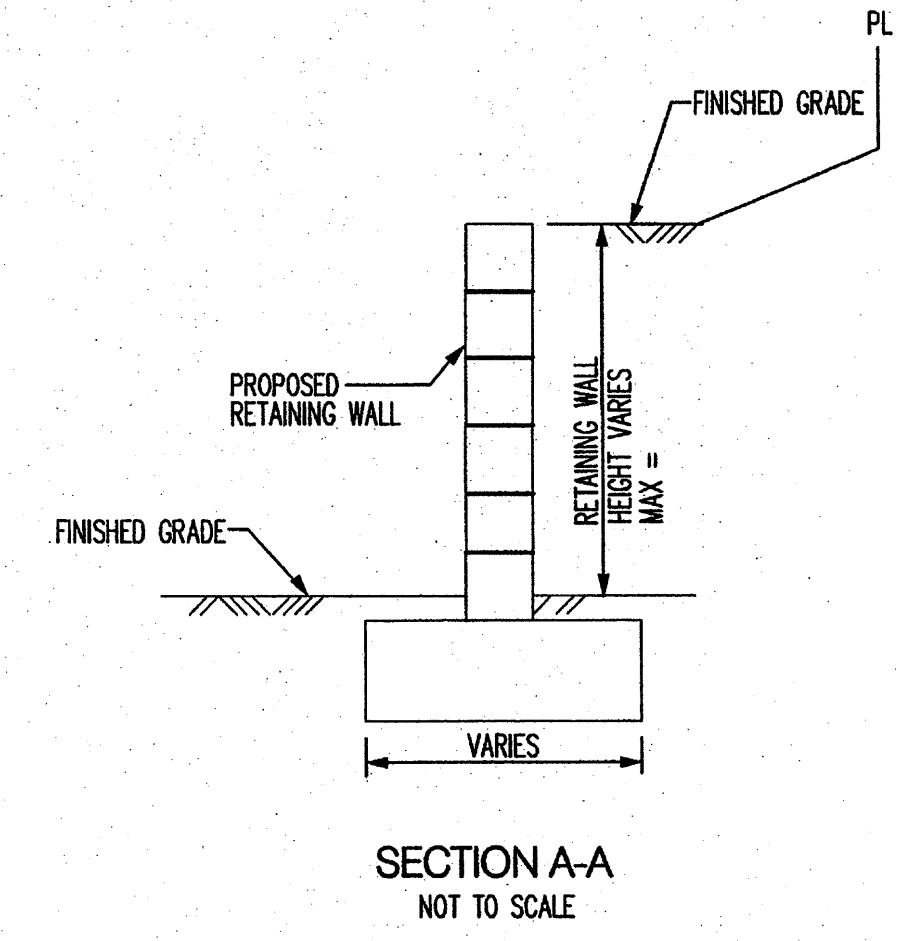
The site is located within zone atlas map H-17-Z. The project is bounded along the east by San Mateo Blvd, along the north by Prospect Avenue, along the west by Quincy Street and along the south by Office Depot and a gas station.

III. EXISTING CONDITIONS

The site encompasses approximately 4.5 acres and is developed with existing office space. Slopes for the site range between 2 to 5% to the northwest, with an existing retaining wall on the east side of the site with heights up to 5 ft. Currently, the site drains via surface flow north to Prospect Avenue or West towards Quincy Street where the flows discharge into existing storm drain inlets in Prospect Avenue.

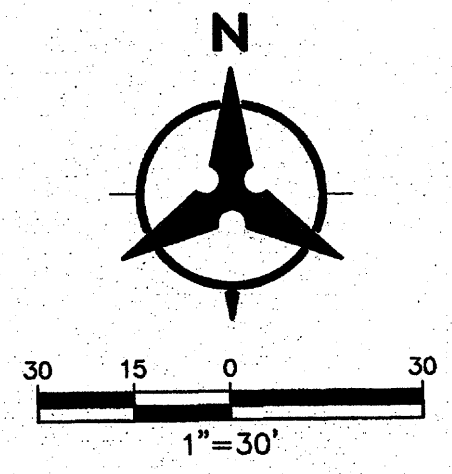
IV. PROPOSED CONDITIONS

In the proposed conditions the site will mimic the existing conditions. A new retaining wall is proposed on the east side of the site, with slopes on the site ranging from 1 to 5%. The site will continue to drain via surface flow towards Prospect Avenue and Quincy Street.



○ KEYED NOTES

- 1. CONCRETE RUNDOWN



LEGEND

- PROPERTY LINE
- - - 5301 - - - EXISTING CONTOURS
- X EX5301.15 EXISTING GROUND SPOT ELEVATION
- 96.25 ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE STATED.
- - - 2.0% - - - PROPOSED DIRECTION OF FLOW
- ~ ~ ~ WATER BLOCK
- — — PROPOSED CURB
- - - EASEMENT
- PROPOSED STORM DRAIN INLET
- - - RETAINING WALL

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE January 23, 2012

PROJECT NO. 11-0039

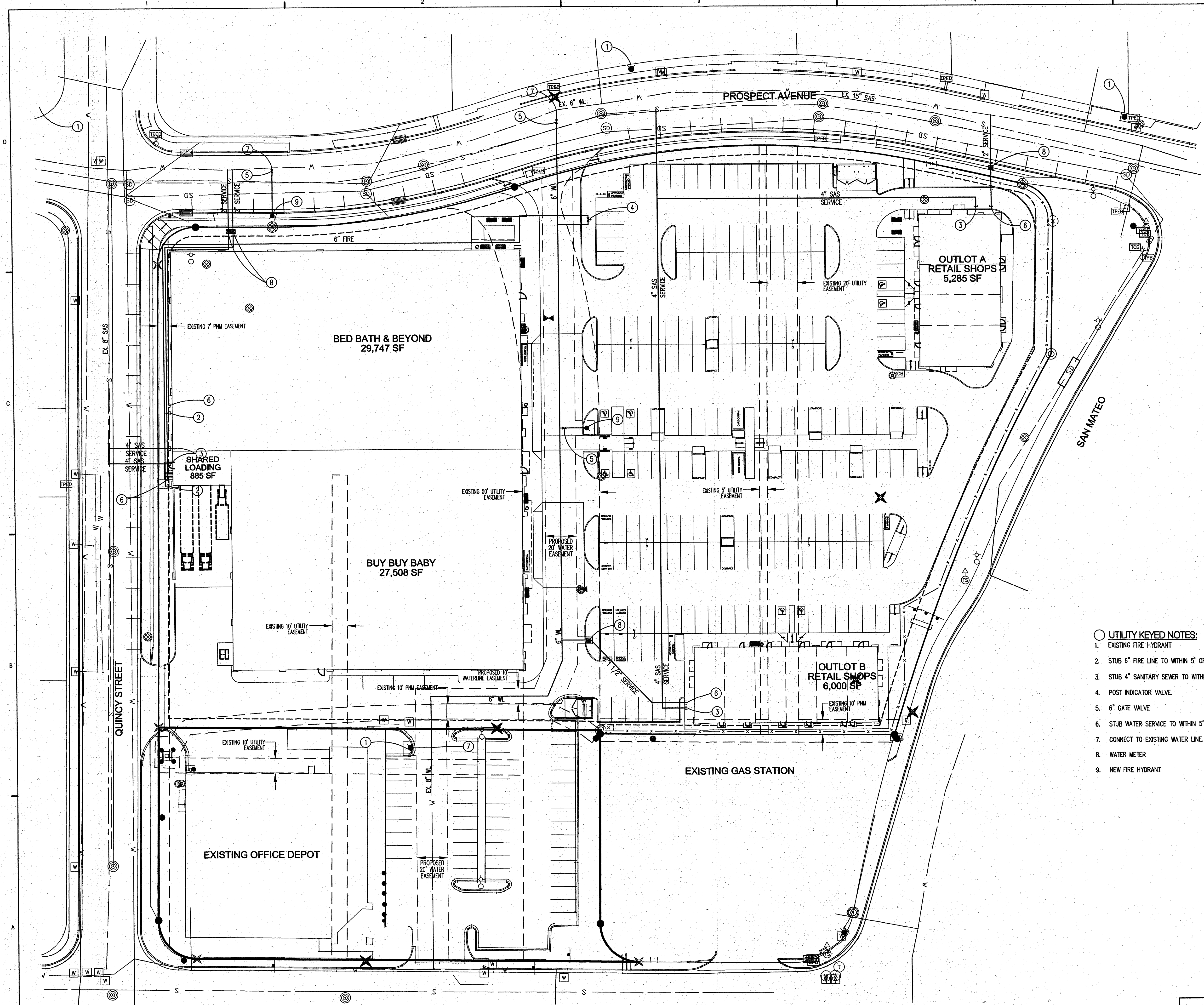
DRAWING NAME

**CONCEPTUAL
UTILITY
PLAN**

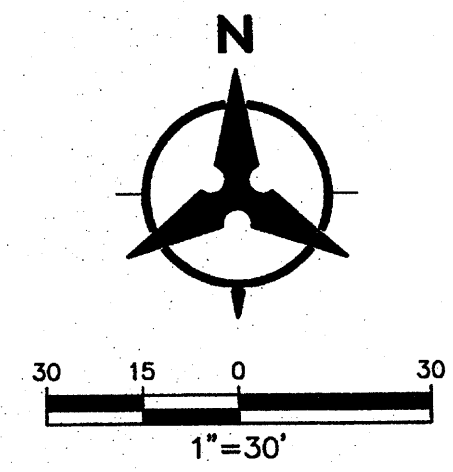
SHEET NO.

4

OF



- UTILITY KEYED NOTES:**
1. EXISTING FIRE HYDRANT
 2. STUB 6" FIRE LINE TO WITHIN 5' OF BUILDING.
 3. STUB 4" SANITARY SEWER TO WITHIN 5' OF BUILDING.
 4. POST INDICATOR VALVE.
 5. 6" GATE VALVE
 6. STUB WATER SERVICE TO WITHIN 5' OF BUILDING.
 7. CONNECT TO EXISTING WATER LINE.
 8. WATER METER
 9. NEW FIRE HYDRANT



GENERAL SHEET NOTES





- A. SIGNAGE: BUILDING MOUNTED SIGNS WILL MEET ALL CITY OF ABQ REQUIREMENTS. SIGNAGE AS SHOWN IS FOR ILLUSTRATION PURPOSES AND MAY CHANGE TO MEET FUTURE TENANT REQUIREMENTS.
- B. ALL BUILDING FACADES SHALL BE COMPOSED OF THE DESIGN ELEMENTS SHOWN OR DESCRIBED IN THIS PLAN. DESIGN ELEMENTS INCLUDE, AS EXAMPLES, THE BUILDING COLORS, MASSING, WINDOWS, AND DOORS. THESE DESIGN ELEMENTS NEED NOT BE ARRANGED AS SHOWN ON THIS PLAN, BUT MAY BE FREELY INTERCHANGED TO ACCOMMODATE FUTURE TENANTS.
- C. ENTRY STOREFRONTS TO THE BUILDING MAY BE MODIFIED TO ACCOMMODATE SPECIFIC NEEDS OF FUTURE TENANTS. THESE STOREFRONTS ARE TO MAINTAIN THE OVERALL DESIGN INTENT OF THE BUILDINGS AS SHOWN AND MUST BE COMPATIBLE WITH THE BUILDING FACADES IN TERMS OF QUALITY OF MATERIALS AND SYSTEMS.
- D. FLAT PORTION OF BUILDING ROOFS SHALL BE AN ENERGY EFFICIENT COLOR AND MATERIAL.

KEYNOTES

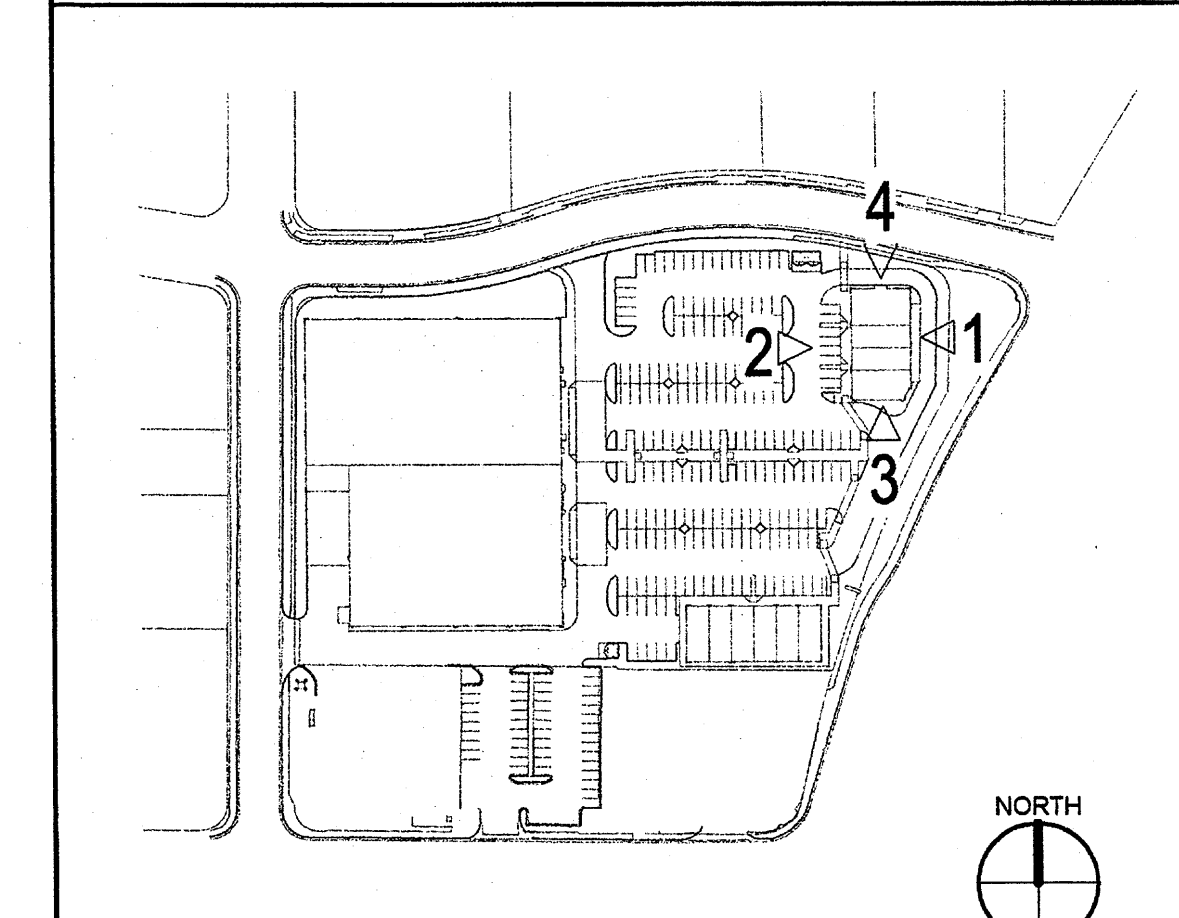
NOTE: KEYNOTES MAY NOT NECESSARILY FOLLOW NUMERICAL ORDER ON THIS SHEET.

- 1 ALUMINUM STOREFRONT, COLOR: CLEAR ANODIZED
- 2 HOLLOW METAL DOOR AND FRAME, PAINT COLOR TO MATCH ADJACENT WALL
- 3 STEEL CANOPY WITH STEEL DECK AND HANGER RODS, COLOR: CLEAR ANODIZED
- 4 WALL SCONCE
- 5 METAL CAP OVER CORNICE, PAINT COLOR TO MATCH ADJACENT CORNICE
- 6 8" (BRUSHED ALUMINUM) BUILDING ADDRESS IDENTIFICATION NUMBERS
- 7 2" E.L.F.S. RELIEF / REVEAL
- 15 6" WOOD BENCH

LEGEND

-  E.I.F.S., COLOR: MEDIUM DARK BROWN (HONEY TWIST, Sls NA09-0028)
-  WAINSCOT, STACKED STONE VENEER, COLOR: MIX OF DARK BROWN, MEDIUM BROWN AND LIGHT BROWN.
-  E.I.F.S., COLOR: GRAYISH-BROWN (PRAIRIE CLAY, Sls NA09-0008)
-  E.I.F.S., COLOR: DARK WHITE (BUCKSKIN, Sls NA09-0007)

KEY PLAN



Dekker Perich Sabatini
 architecture interiors landscape planning engineering
 7601 Jefferson NE Suite 100
 Albuquerque, NM 87109
 505 761-9700
 fax 761-4222
 dps@dpsdesign.org
 ARCHITECT

ENGINEER
 PROJECT

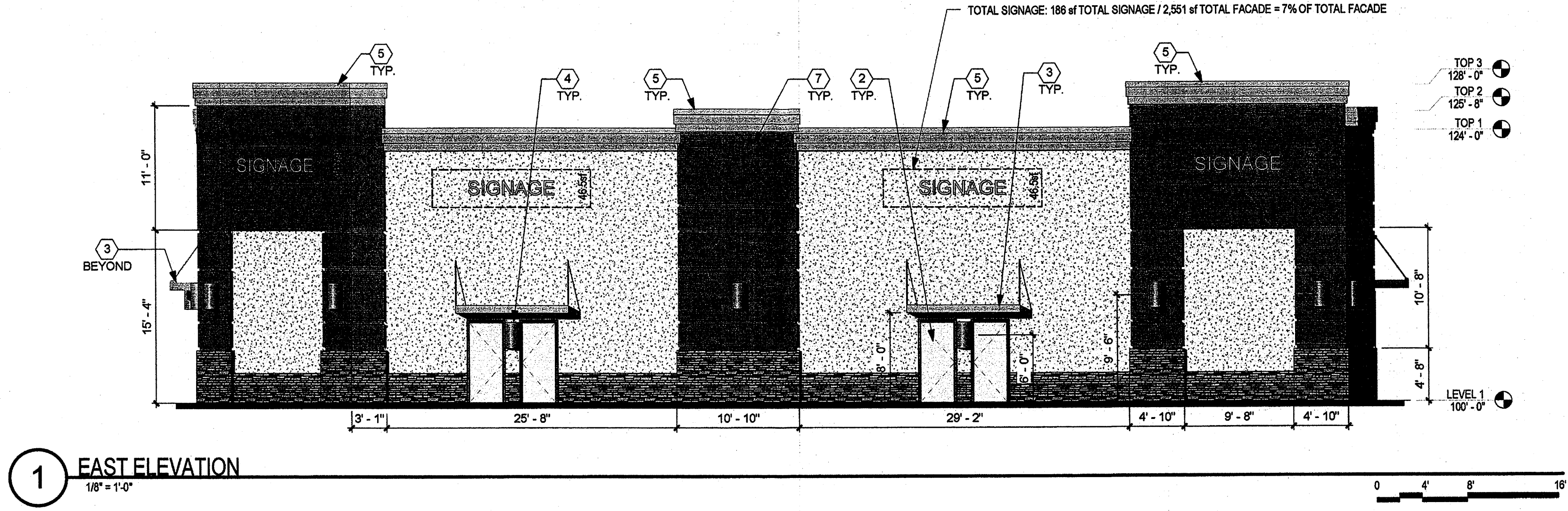
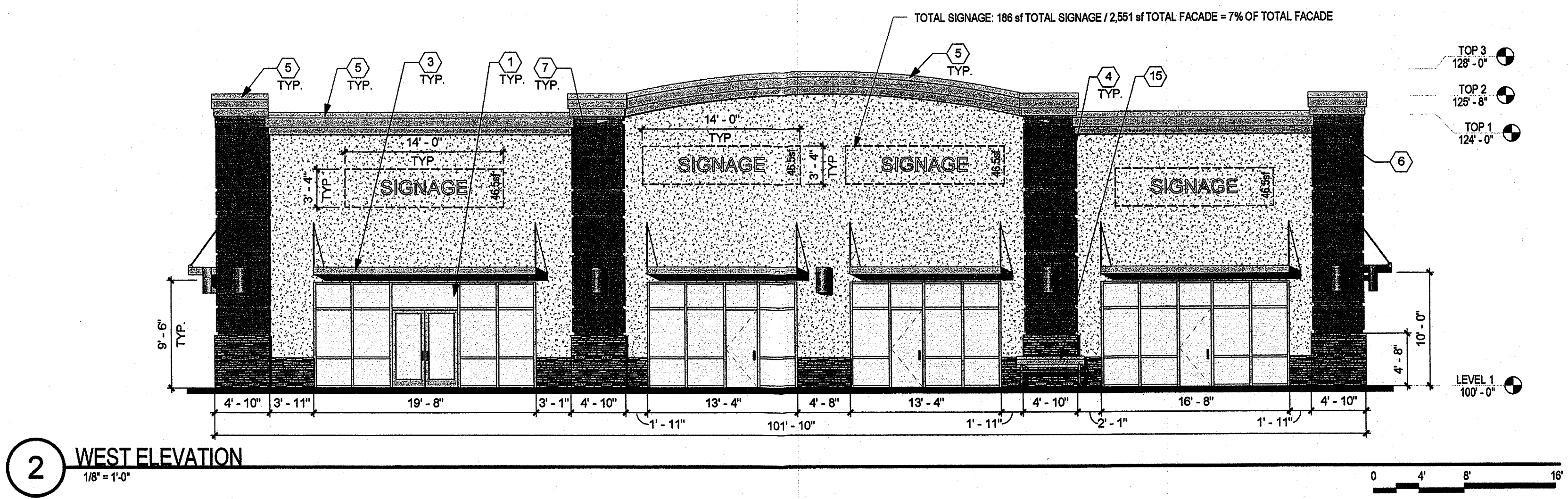
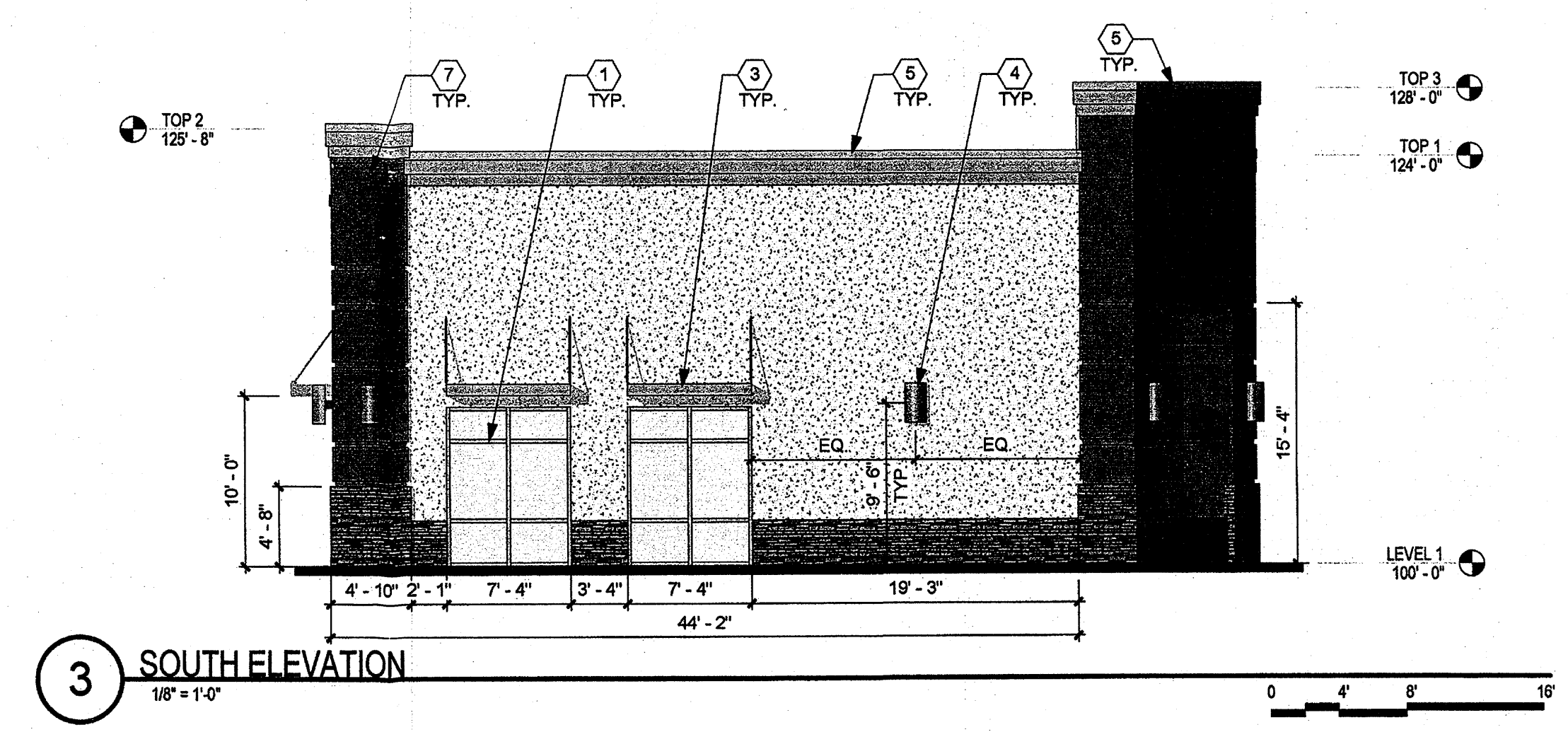
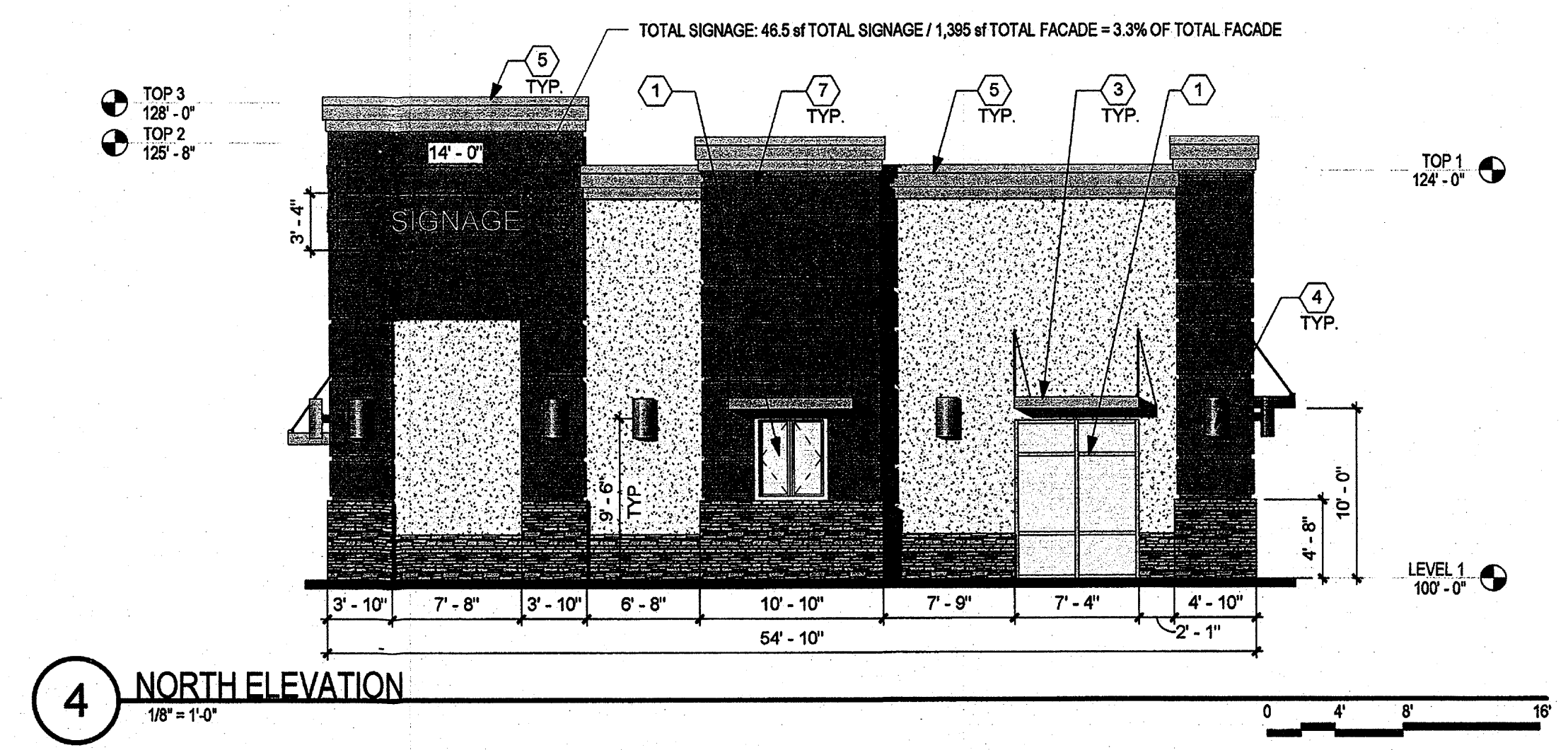
Plaza at San Mateo
 San Mateo Blvd. NE and Prospect Avenue NE
 Albuquerque, NM 87110

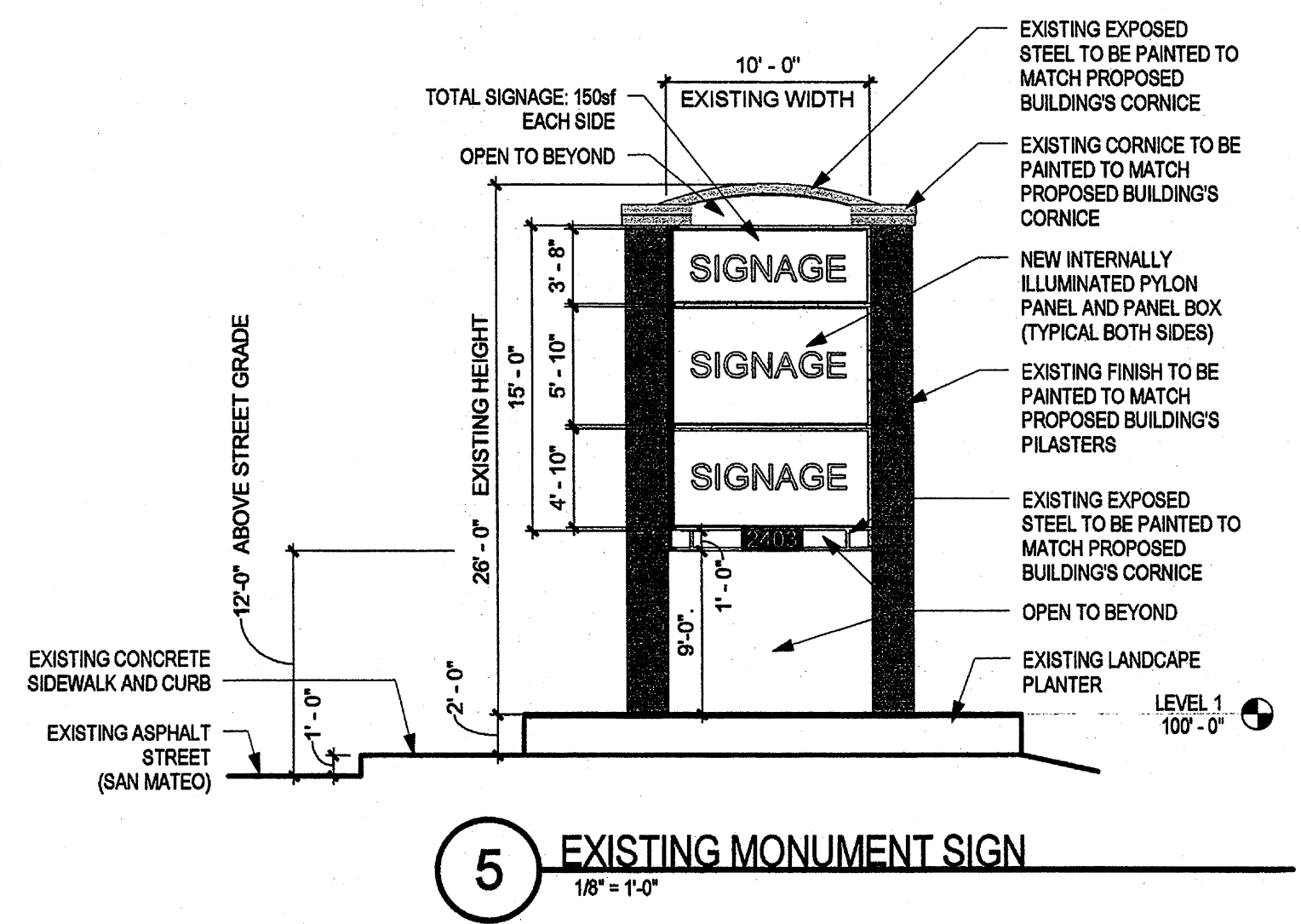
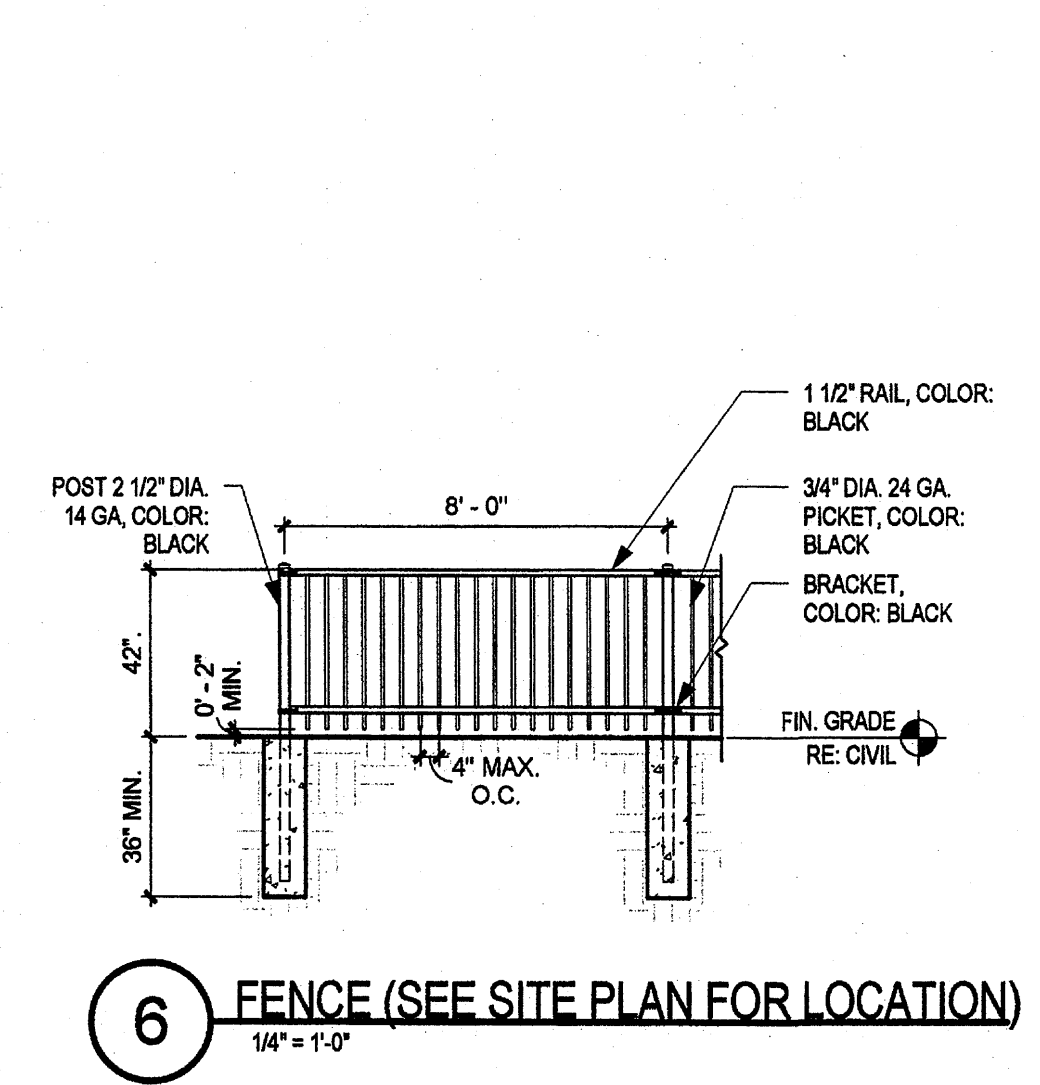
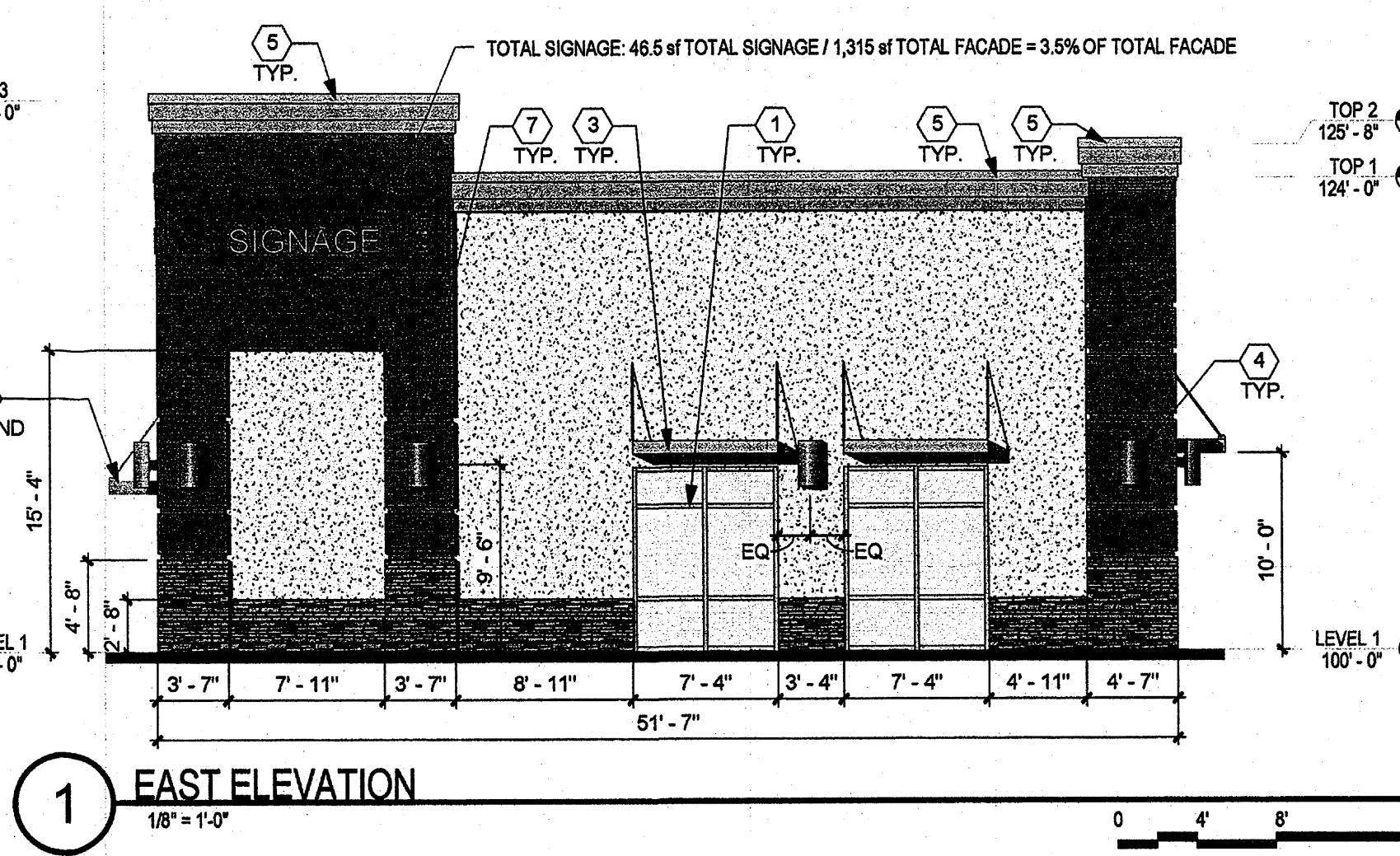
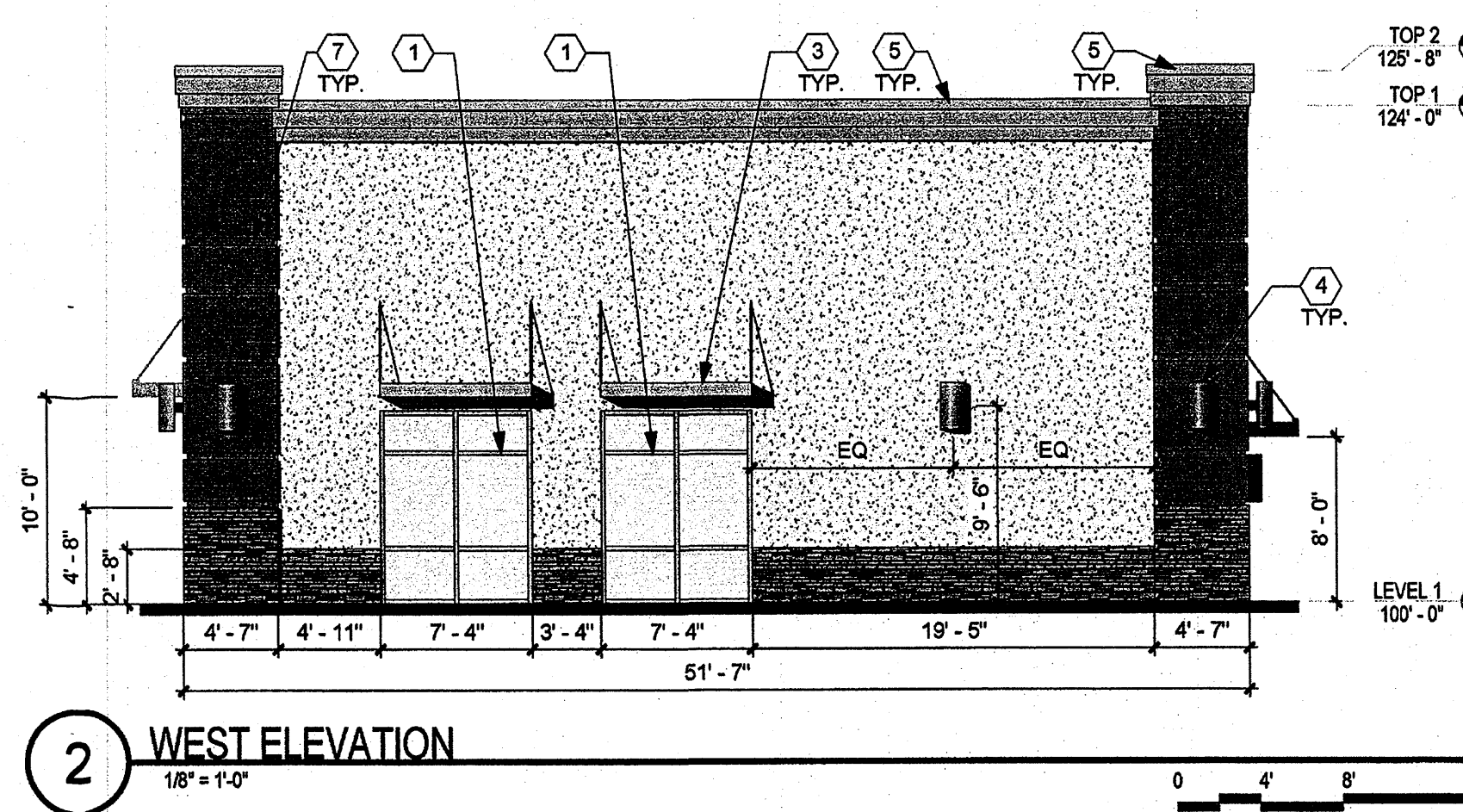
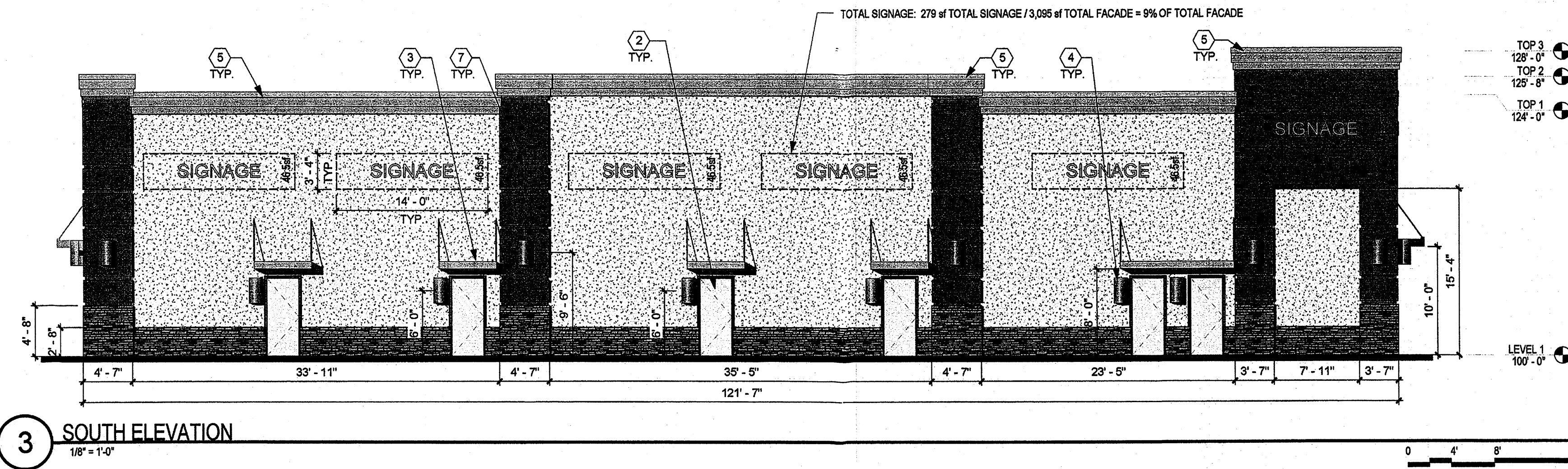
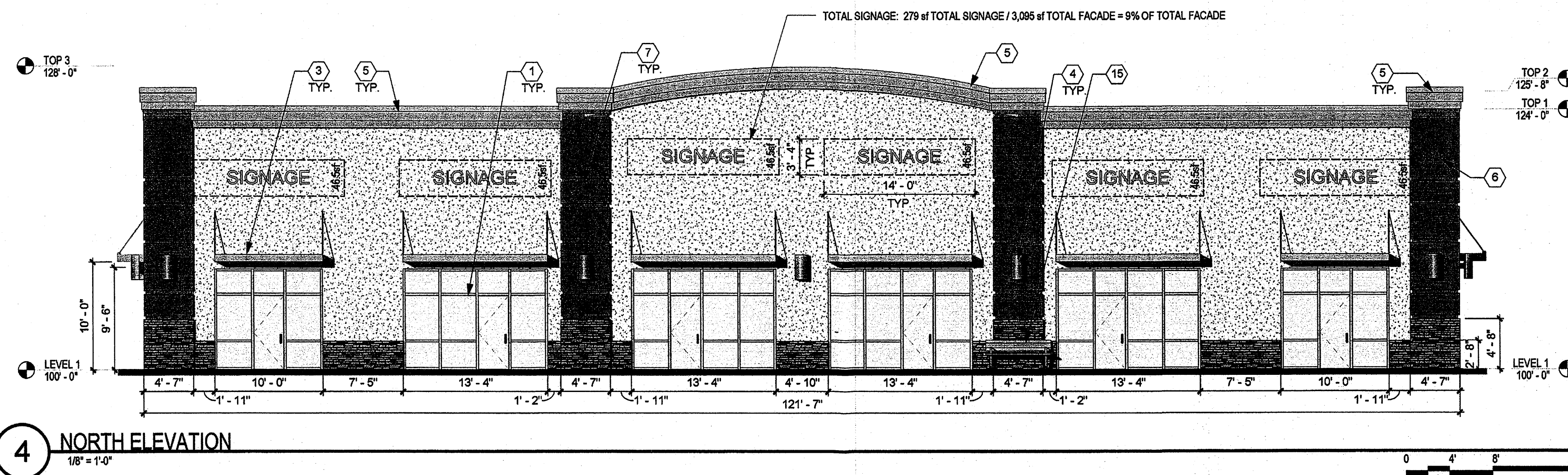
REVISIONS	DATE	DESCRIPTION
Δ		

DRAWN BY
 REVIEWED BY
 DATE October 27, 2011
 PROJECT NO. 11-0039

DRAWING NAME
OUTLOT A BUILDING ELEVATIONS

SHEET NO.
5a





GENERAL SHEET NOTES

- A. SIGNAGE: BUILDING MOUNTED SIGNS WILL MEET ALL CITY OF ABQ. REQUIREMENTS. SIGNAGE AS SHOWN IS FOR ILLUSTRATION PURPOSES AND MAY CHANGE TO MEET FUTURE TENANT REQUIREMENTS.
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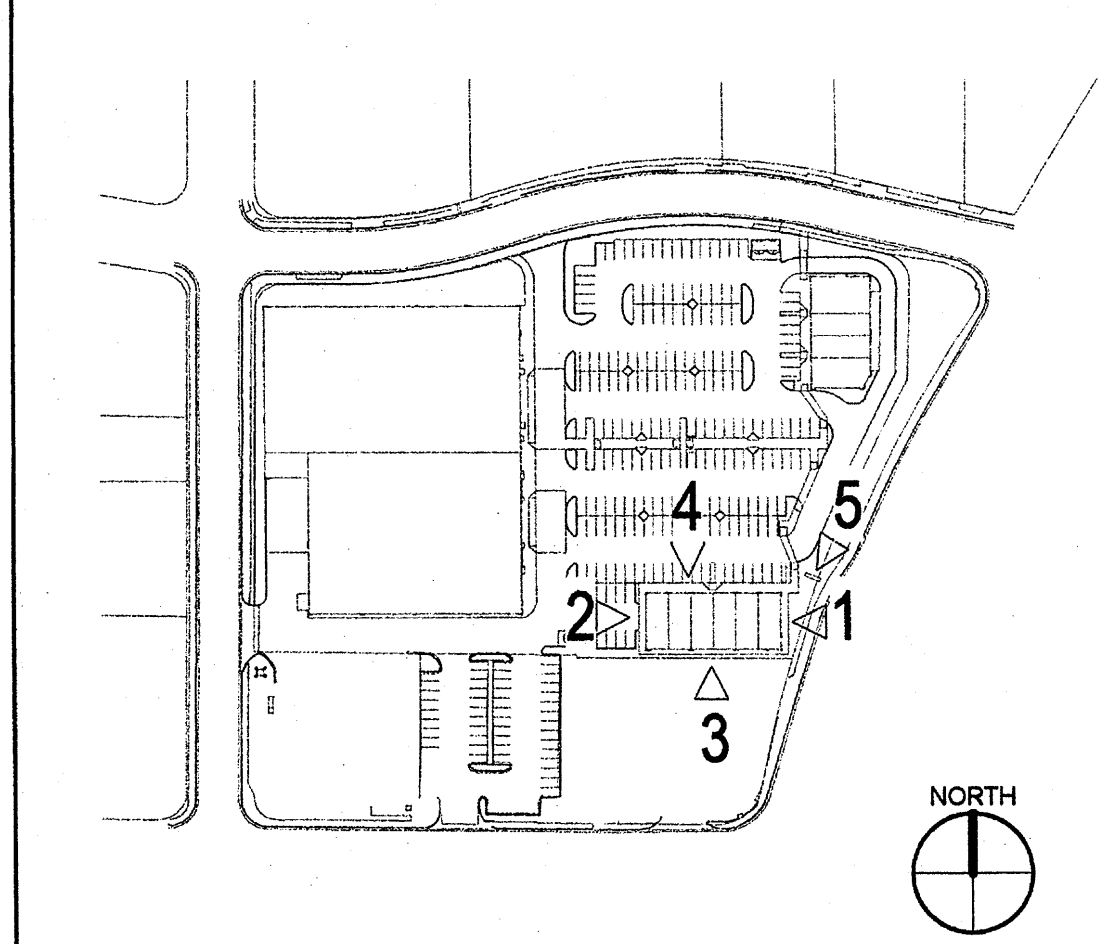
KEYNOTES

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 - 15 6" WOOD BENCH

LEGEND

- E.I.F.S. COLOR: MEDIUM DARK BROWN (HONEY TWIST, Sls NA08-0028)
- WAINSCOT, STACKED STONE VENEER, COLOR: MIX OF DARK BROWN, MEDIUM BROWN AND LIGHT BROWN.
- E.I.F.S. COLOR: GRAYISH-BROWN (PRAIRIE CLAY, Sls NA08-0008)
- E.I.F.S. COLOR: DARK WHITE (BUCKSKIN, Sls NA08-0007)

KEY PLAN Not to Scale



architecture
interiors
landscape
planning
engineering

**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

Plaza at San Mateo
San Mateo Blvd. NE and Prospect Avenue NE
Albuquerque, NM 87110

REVISIONS	DATE	DESCRIPTION

DRAWN BY	
REVIEWED BY	
DATE	October 27, 2011
PROJECT NO.	11-0039

DRAWING NAME
**OUTLOT B
BUILDING
ELEVATIONS**

SHEET NO.
5b

GENERAL SHEET NOTES

- SIGNAGE: BUILDING MOUNTED SIGNS WILL MEET ALL CITY OF ABQ. REQUIREMENTS. SIGNAGE AS SHOWN IS FOR ILLUSTRATION PURPOSES AND MAY CHANGE TO MEET FUTURE TENANT REQUIREMENTS.
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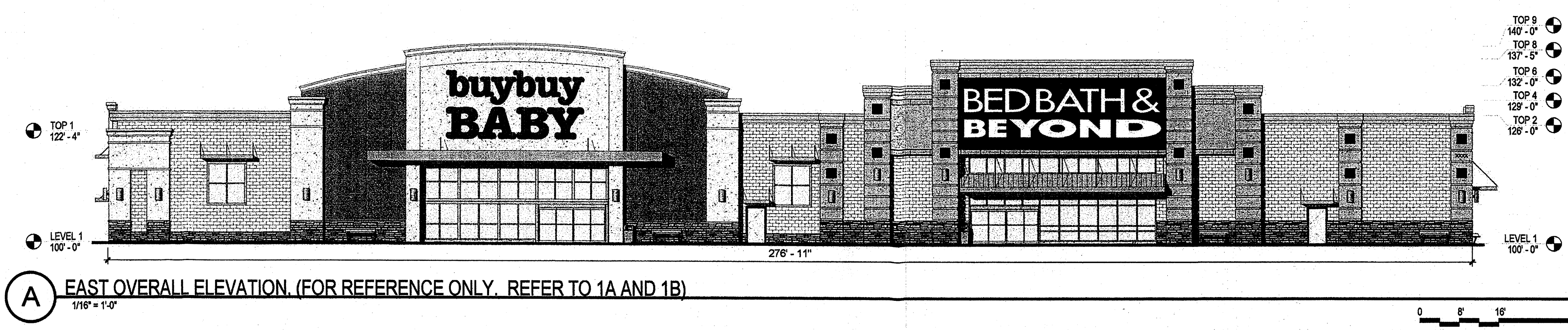
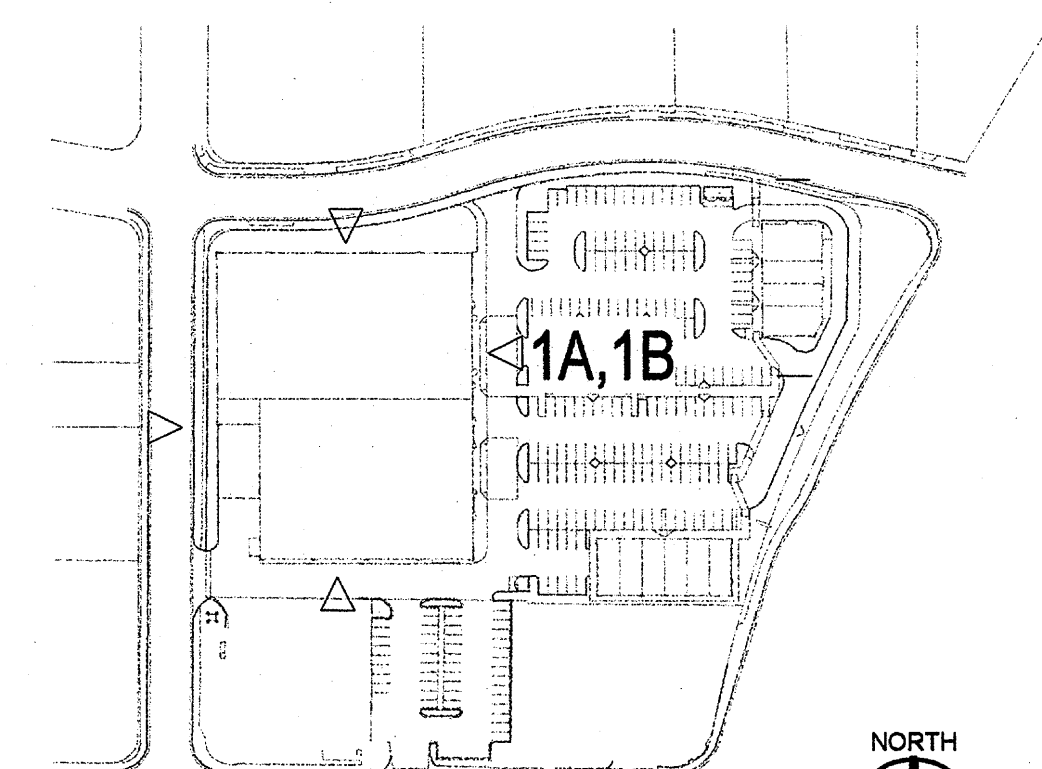
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- STEEL CANOPY WITH STEEL DECK AND HANGER RODS, COLOR: CLEAR ANODIZED
- WALL SCIENCE
- METAL CAP OVER CORNICE, PAINT COLOR TO MATCH ADJACENT CORNICE
- 8" (BRUSHED ALUMINUM) BUILDING ADDRESS IDENTIFICATION NUMBERS
- 8" x 8" INTERNALLY ILLUMINATED SURFACE MOUNTED WINDOW BOXES WITH EXTERNALLY APPLIED GRAPHICS
- E.I.F.S., COLOR: BLACK, BEHIND SIGNAGE ONLY
- E.I.F.S., COLOR: BLACK (2' x 2'), AT PLASTERS ONLY
- WOOD BENCH
- EXPOSED CONCRETE
- STANDING SEAM METAL ROOF, COLOR TO MATCH ADJACENT STOREFRONT SYSTEM
- PRE-CAST CONCRETE TRASH CAN

LEGEND

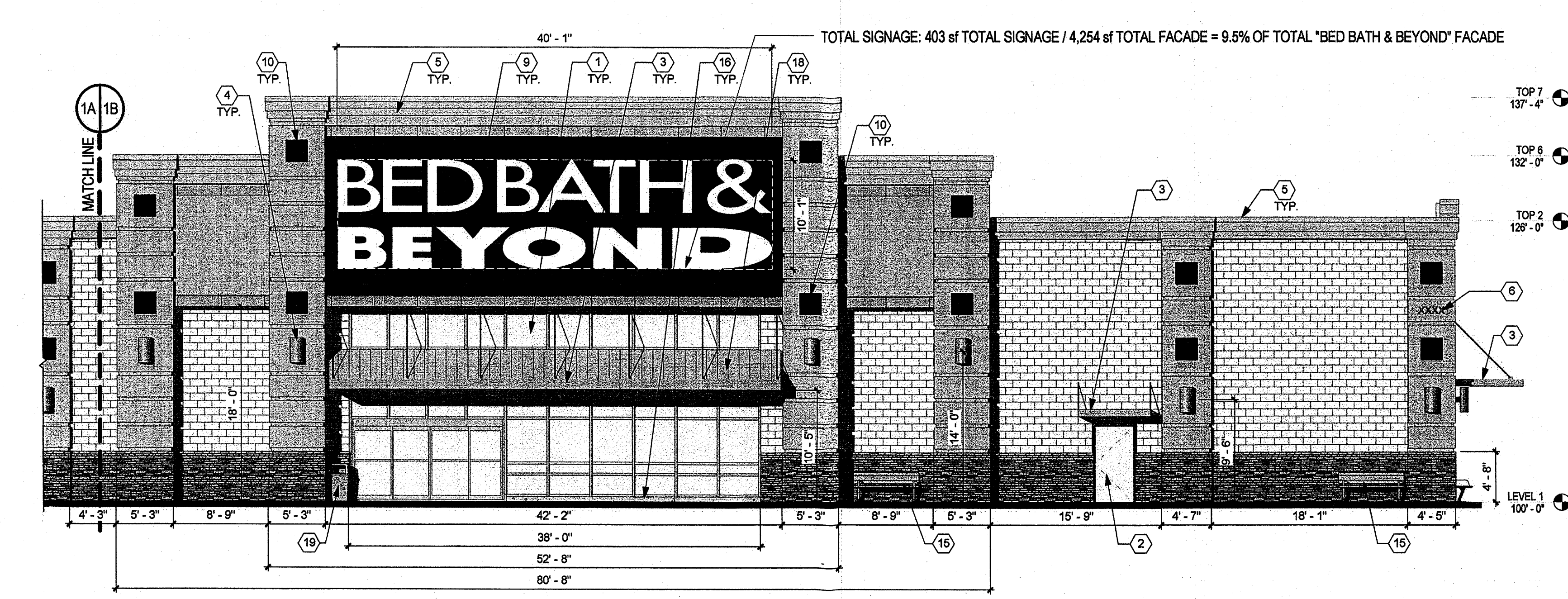
- EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.), COLOR YELLOWISH-WHITE (FRENCH VANILLA, Sls NA09-0027)
- E.I.F.S., COLOR MEDIUM DARK BROWN (HONEY TWIST, Sls NA09-0028)
- E.I.F.S., COLOR: DARK WHITE (BUCKSKIN, Sls NA09-0007)
- E.I.F.S., COLOR: BLACK (BLACK, Sls NA09-0026)
- E.I.F.S., COLOR: GRAYISH-BROWN (PRAIRIE CLAY, Sls NA09-0008)
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- SPLIT FACE CMU, COLOR TO MATCH HONEY TWIST E.I.F.S., COLOR: MEDIUM DARK BROWN

KEY PLAN

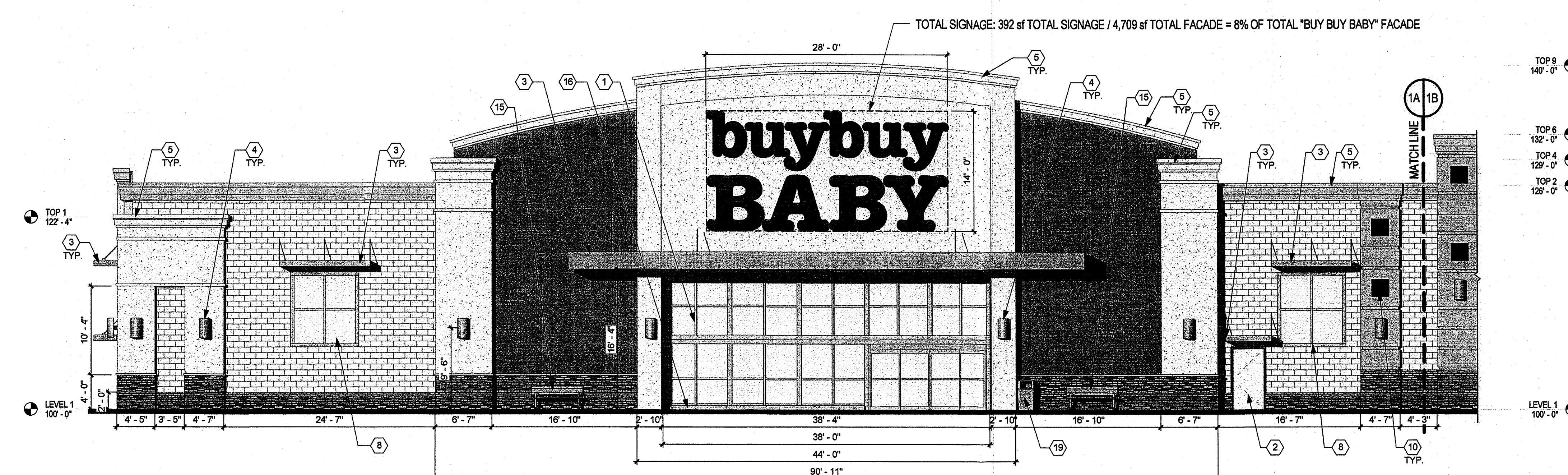
Not to Scale



(A) EAST OVERALL ELEVATION (FOR REFERENCE ONLY. REFER TO 1A AND 1B)
1/16" = 1'-0"



(1B) EAST ELEVATION
1/16" = 1'-0"



(1A) EAST ELEVATION
1/16" = 1'-0"

11/19/2011 12:26:42 PM

REVISIONS	
DATE	DESCRIPTION

DRAWN BY	
REVIEWED BY	
DATE	October 27, 2011
PROJECT NO.	11-0039
DRAWING NAME	BED BATH & BEYOND BUY BUY BABY BUILDING ELEVATIONS

SHEET NO.
5d

GENERAL SHEET NOTES

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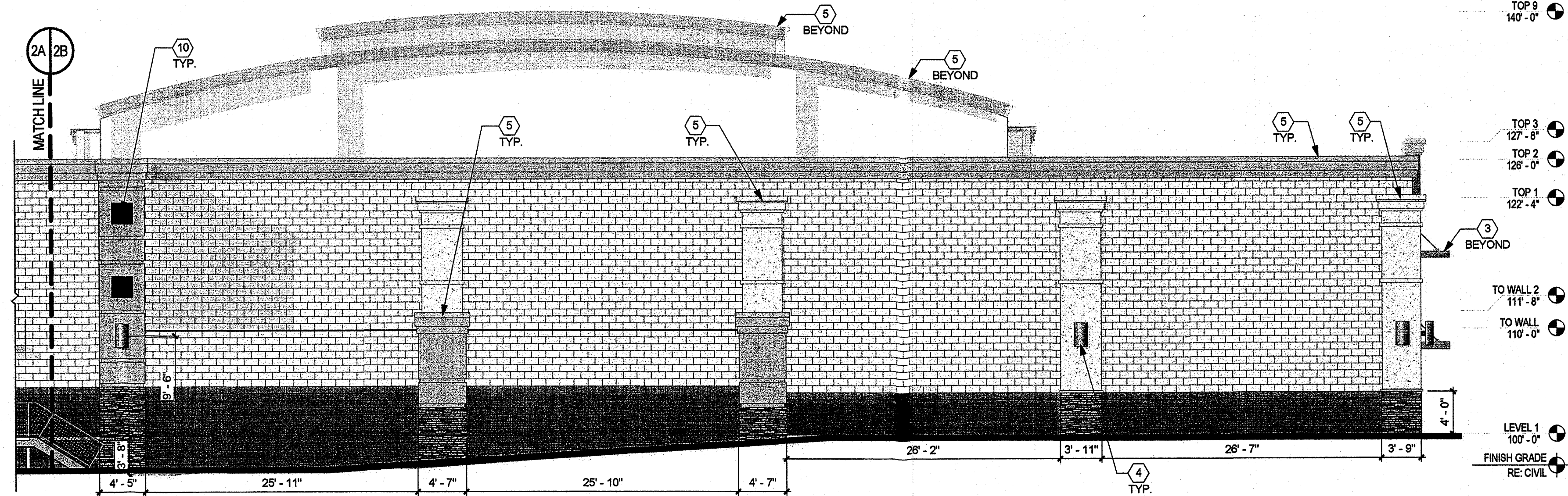
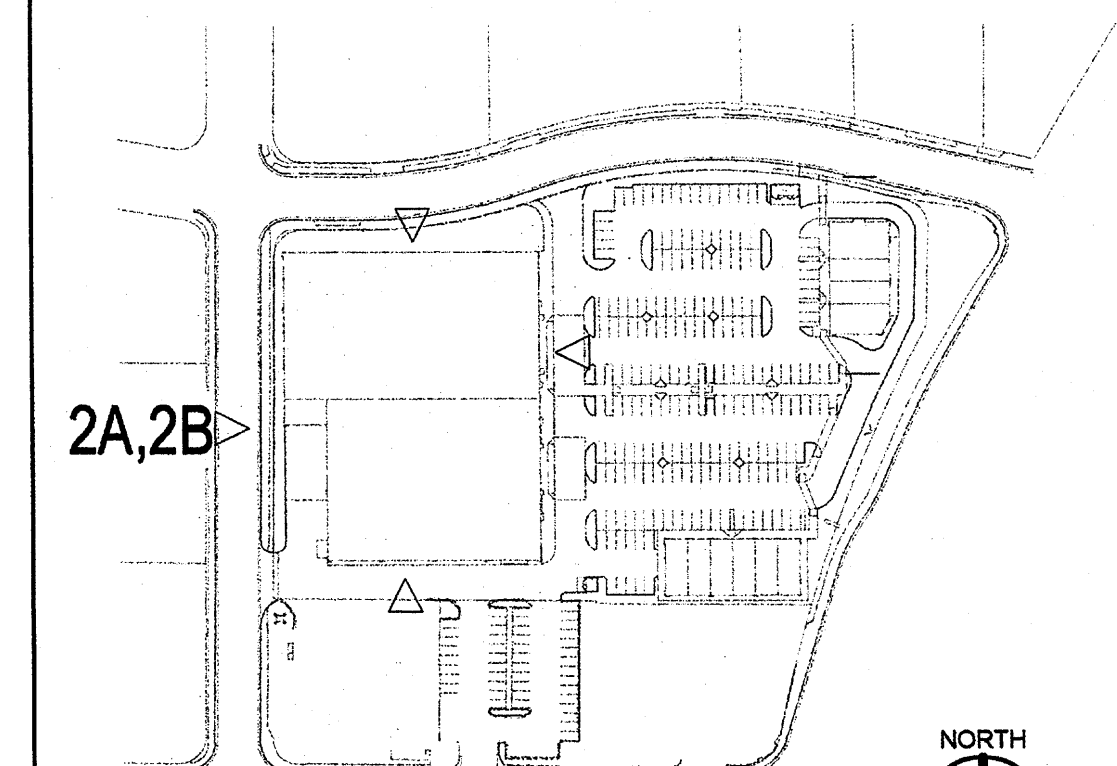
- HOLLOW METAL DOOR AND FRAME, PAINT COLOR TO MATCH ADJACENT WALL
- STEEL CANOPY WITH STEEL DECK AND HANGER RODS, COLOR: CLEAR ANODIZED
- WALL SCOFF
- METAL CAP OVER CORNICE, PAINT COLOR TO MATCH ADJACENT CORNICE
- E.I.F.S., COLOR: BLACK (2' x 2'), AT PILASTERS ONLY
- 1 1/2" STEEL PIPE AND POST, PAINT COLOR TO MATCH ADJACENT WALL
- 2' x 2' GALVANIZED WELDED WIRE MESH, PAINT COLOR TO MATCH ADJACENT WALL
- E.I.F.S. RELIEF / REVEAL OVER CMU

LEGEND

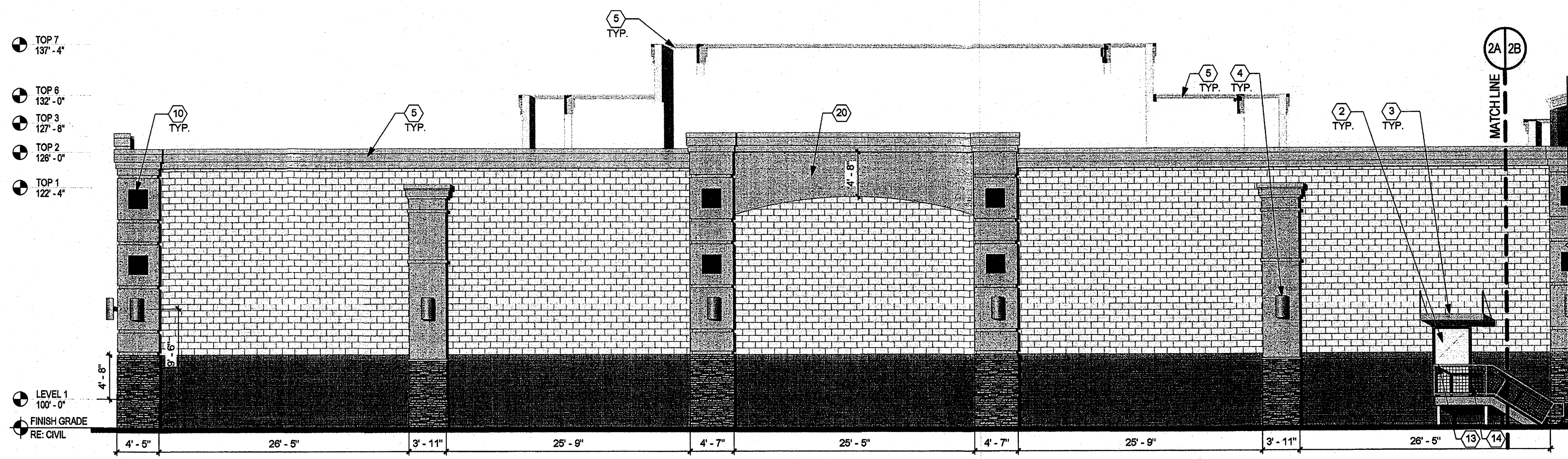
- EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.), COLOR YELLOWISH-WHITE (FRENCH VANILLA, Sls NA09-0027)
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- SPLIT FACE CMU PAINTED TO MATCH BUCKSKIN E.I.F.S. COLOR: DARK WHITE AT NORTH, WEST, AND SOUTH SIDE ONLY.
- SPLIT FACE CMU WITH INTEGRAL COLOR TO MATCH BUCKSKIN E.I.F.S. COLOR: DARK WHITE AT EAST SIDE ONLY.
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- SPLIT FACE CMU, COLOR TO MATCH HONEY TWIST E.I.F.S. COLOR: MEDIUM DARK BROWN

KEY PLAN

Not to Scale



2B WEST ELEVATION
1/8" = 1'-0"



2A WEST ELEVATION
1/8" = 1'-0"

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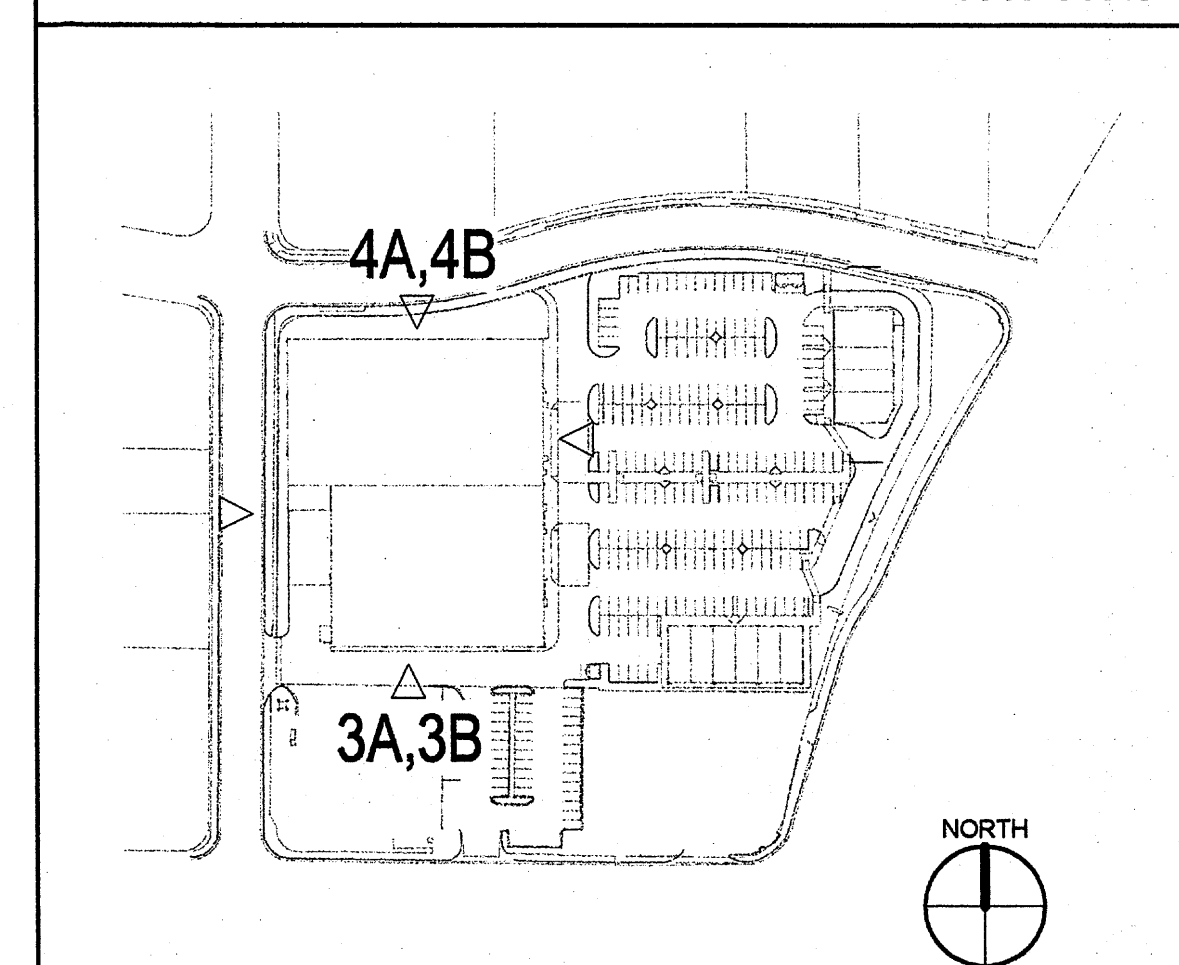
KEYNOTES

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 - STEEL CANOPY WITH STEEL DECK AND HANGER RODS, COLOR: CLEAR ANODIZED
 - WALL SCONCE
 - METAL CAP OVER CORNICE, PAINT COLOR TO MATCH ADJACENT CORNICE
 - 8' x 8' INTERNALLY ILLUMINATED SURFACE MOUNTED WINDOW BOXES WITH EXTERNALLY APPLIED GRAPHICS
 - E.I.F.S., COLOR: BLACK (2 x 2), AT PILASTERS ONLY
 - DOCK SEAL, COLOR: BLACK
 - STEEL COMPACTOR DOOR, PAINT COLOR TO MATCH ADJACENT WALL
 - 6" WOOD BENCH
 - DOCK DOOR, PAINT COLOR: TO MATCH ADJACENT WALL
 - E.I.F.S. RELIEF / REVEAL OVER CMU

LEGEND

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- SPLIT FACE CMU WITH INTEGRAL COLOR TO MATCH BUCKSKIN E.I.F.S., COLOR: DARK WHITE AT EAST SIDE ONLY.
- WAINSCOT, STACKED STONE VENEER, COLOR: MIX OF DARK BROWN, MEDIUM BROWN AND LIGHT BROWN.
- SPLIT FACE CMU, COLOR TO MATCH HONEY TWIST E.I.F.S., COLOR: MEDIUM DARK BROWN

KEY PLAN



ARCHITECT

ENGINEER

PROJECT

REVISIONS

DATE	DESCRIPTION

DRAWN BY

REVIEWED BY

DATE October 27, 2011

PROJECT NO. 11-0038

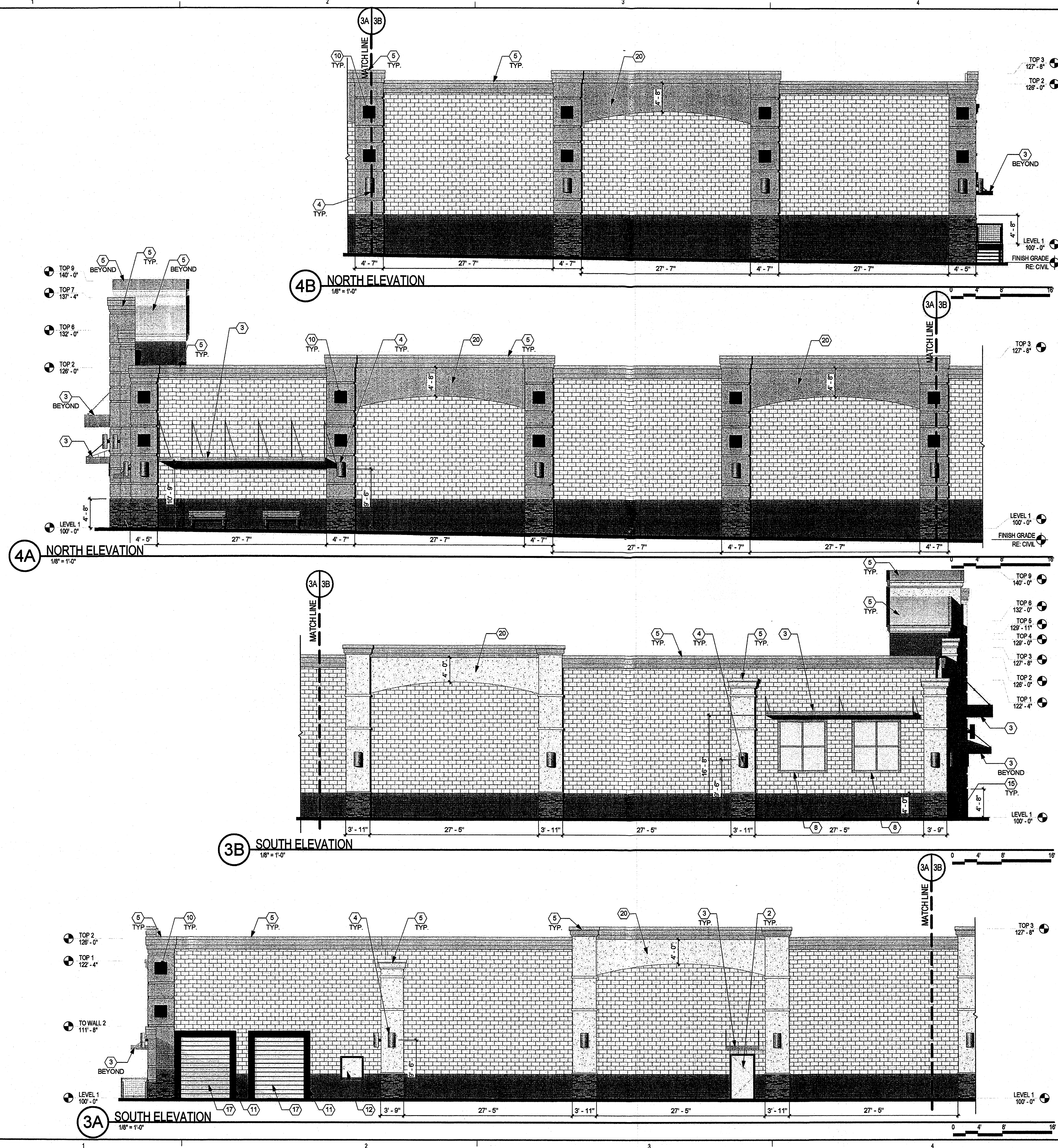
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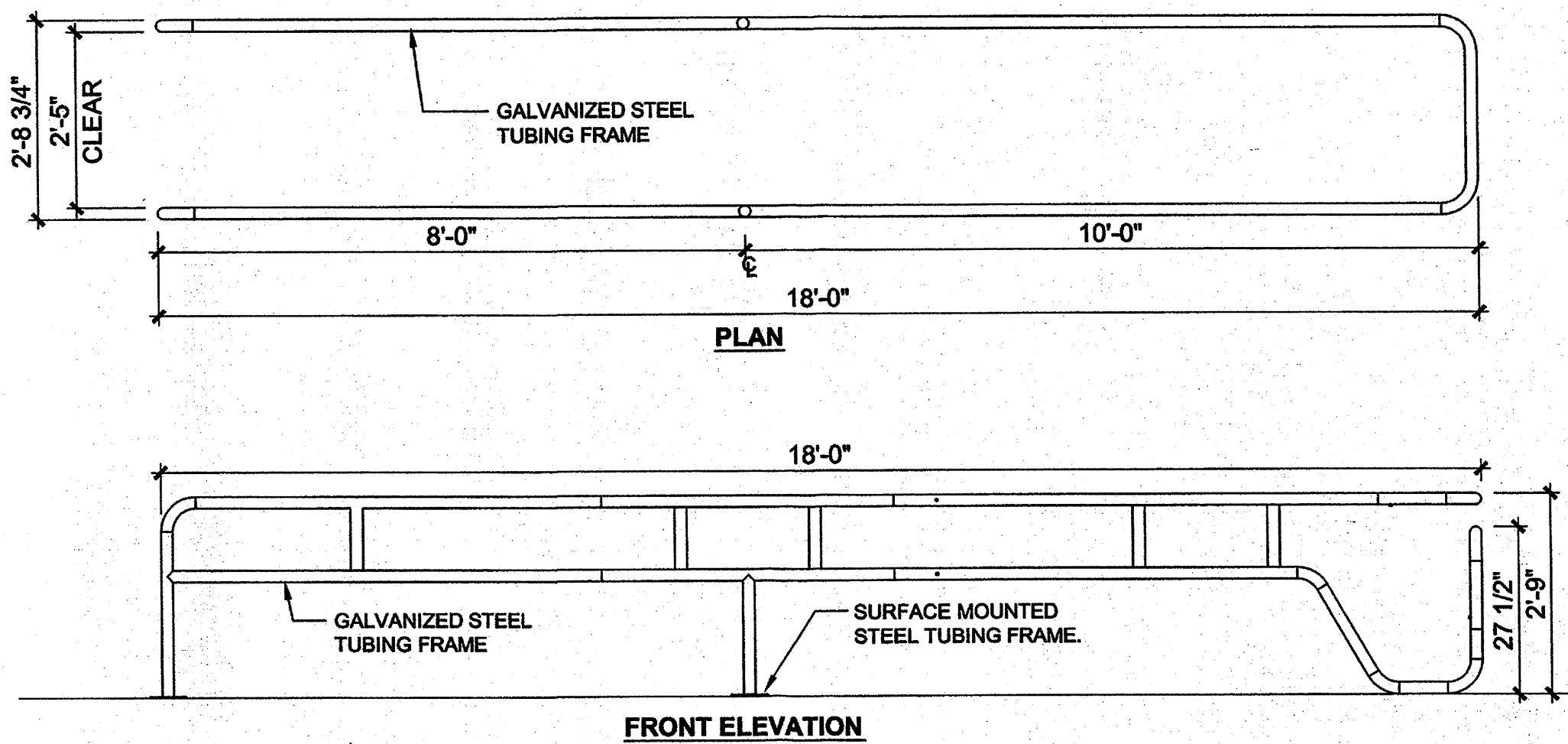
**BED BATH & BEYOND
BUY BUY BABY
BUILDING
ELEVATIONS**

SHEET NO.

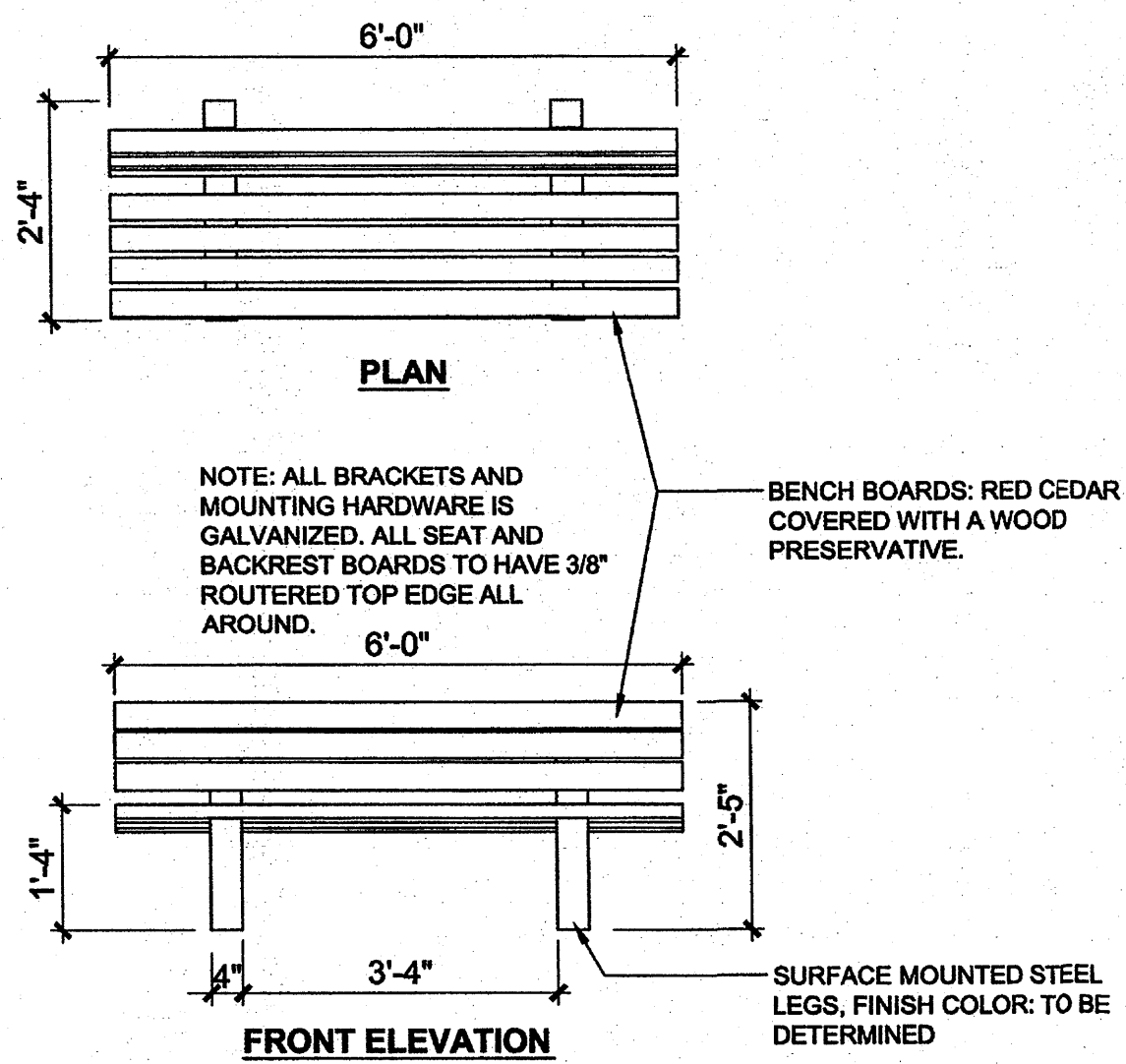
5e

Plaza at San Mateo
San Mateo Blvd. NE and Prospect Avenue NE
Albuquerque, NM 87110

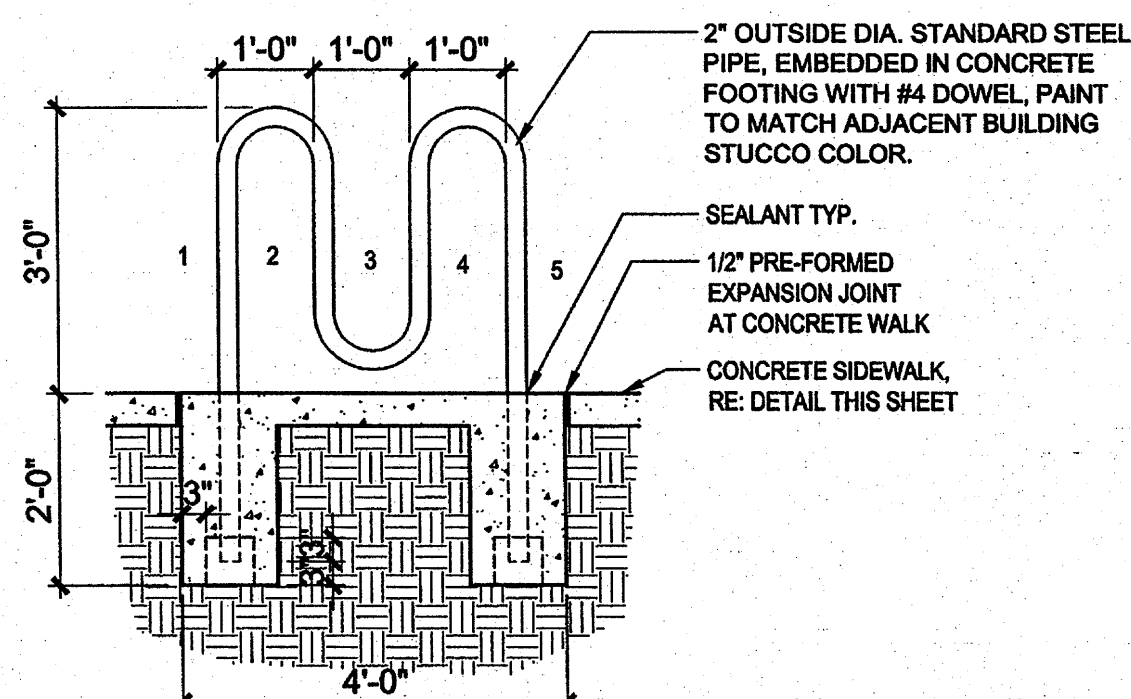




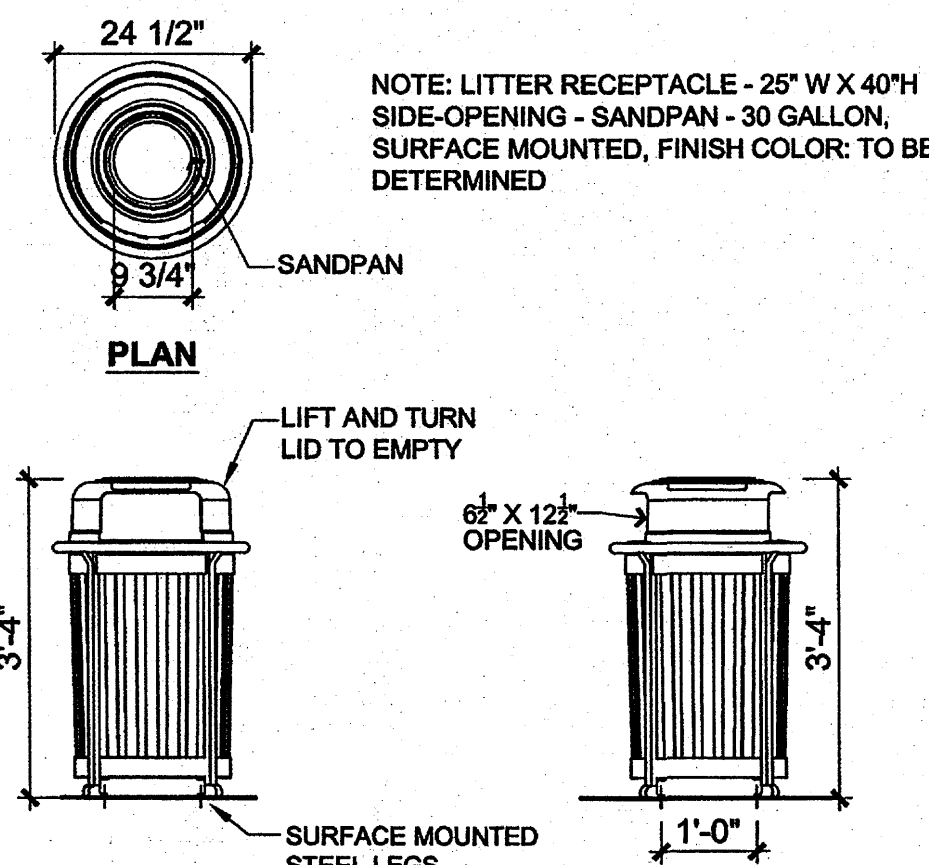
D1 CART CORRAL
1/2" = 1'-0"



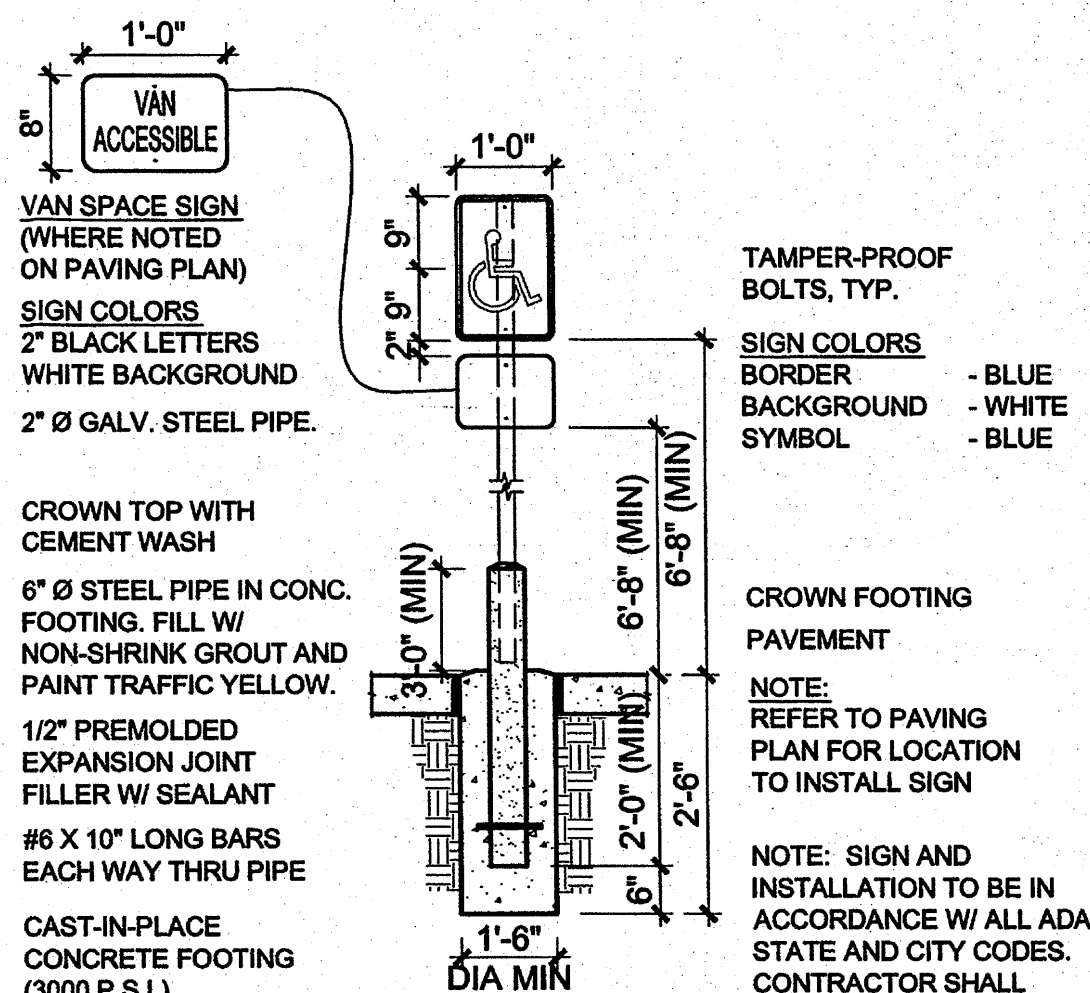
B1 WOOD BENCH
1/2" = 1'-0"



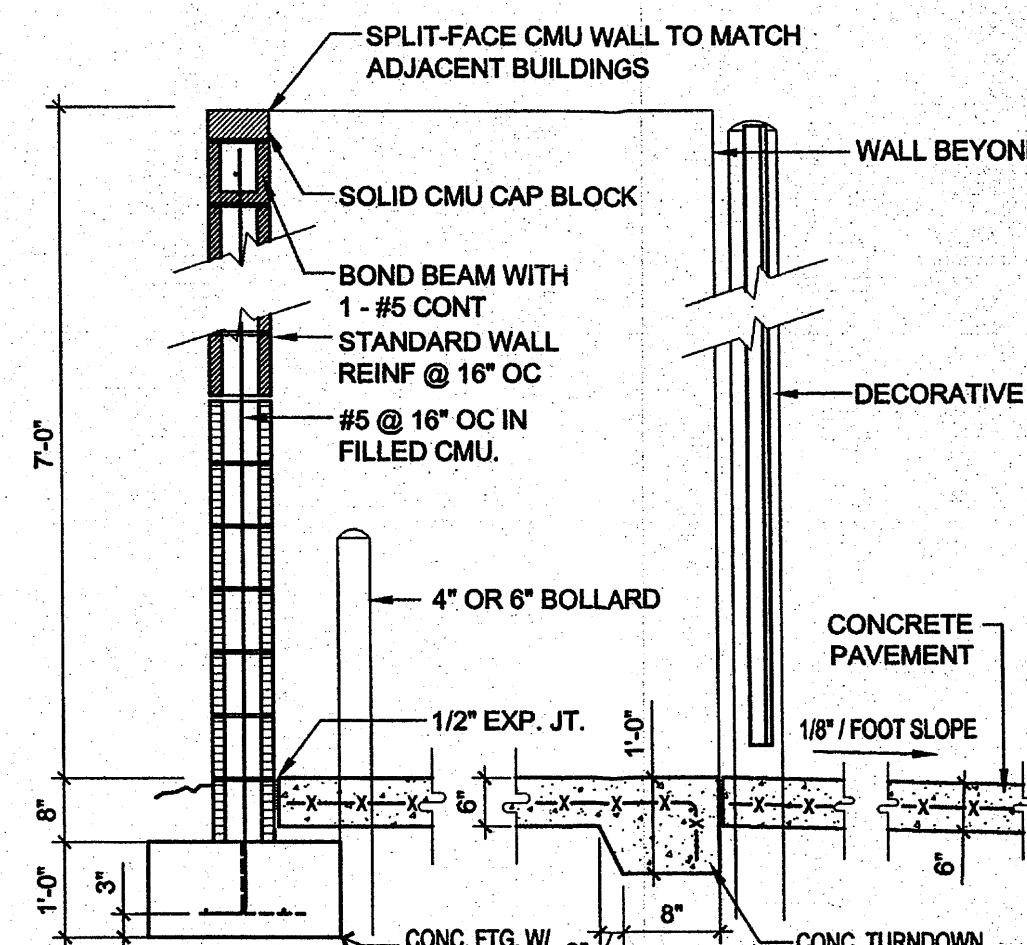
B2 BIKE RACK
1/2" = 1'-0"



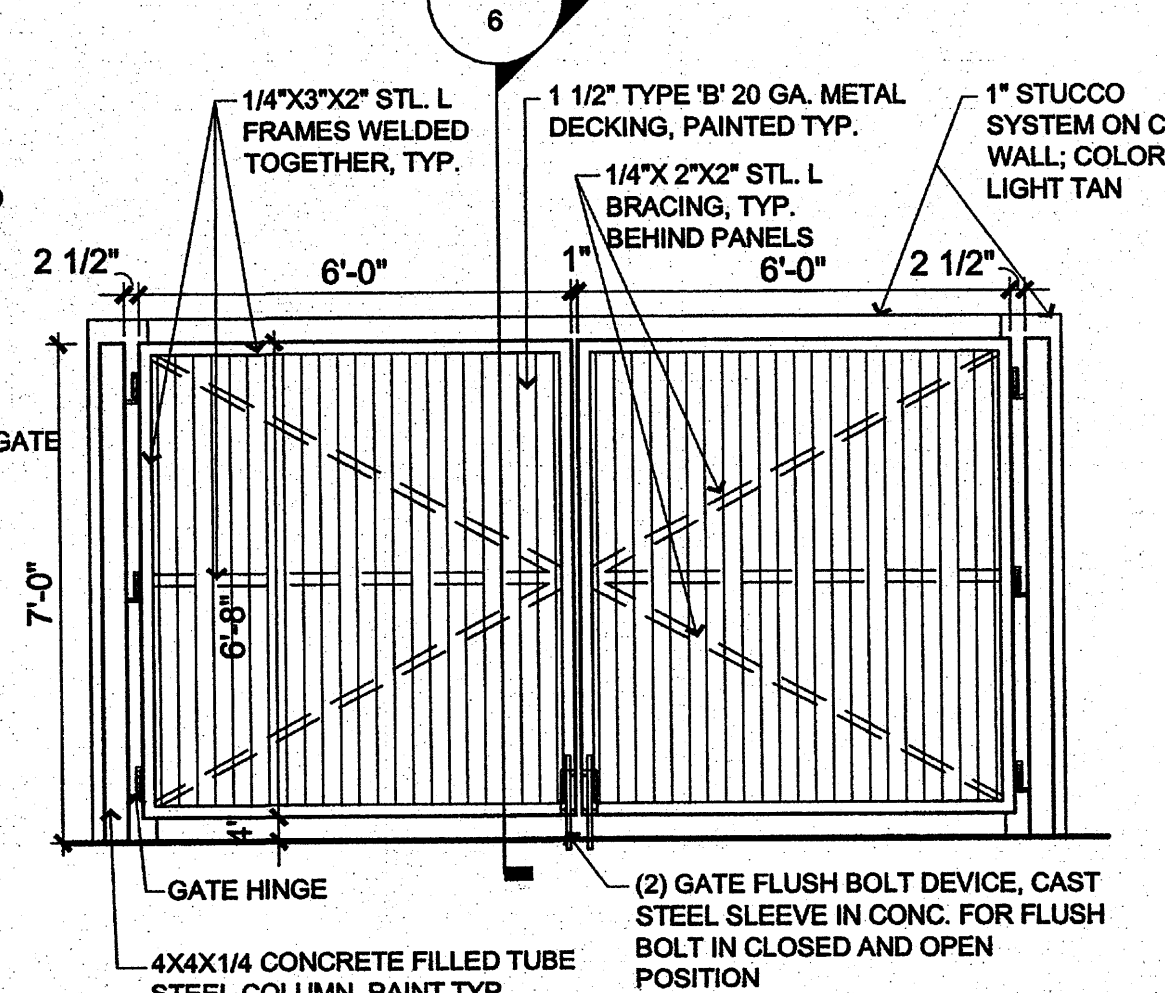
A1 LITTER RECEPTACLE
1/2" = 1'-0"



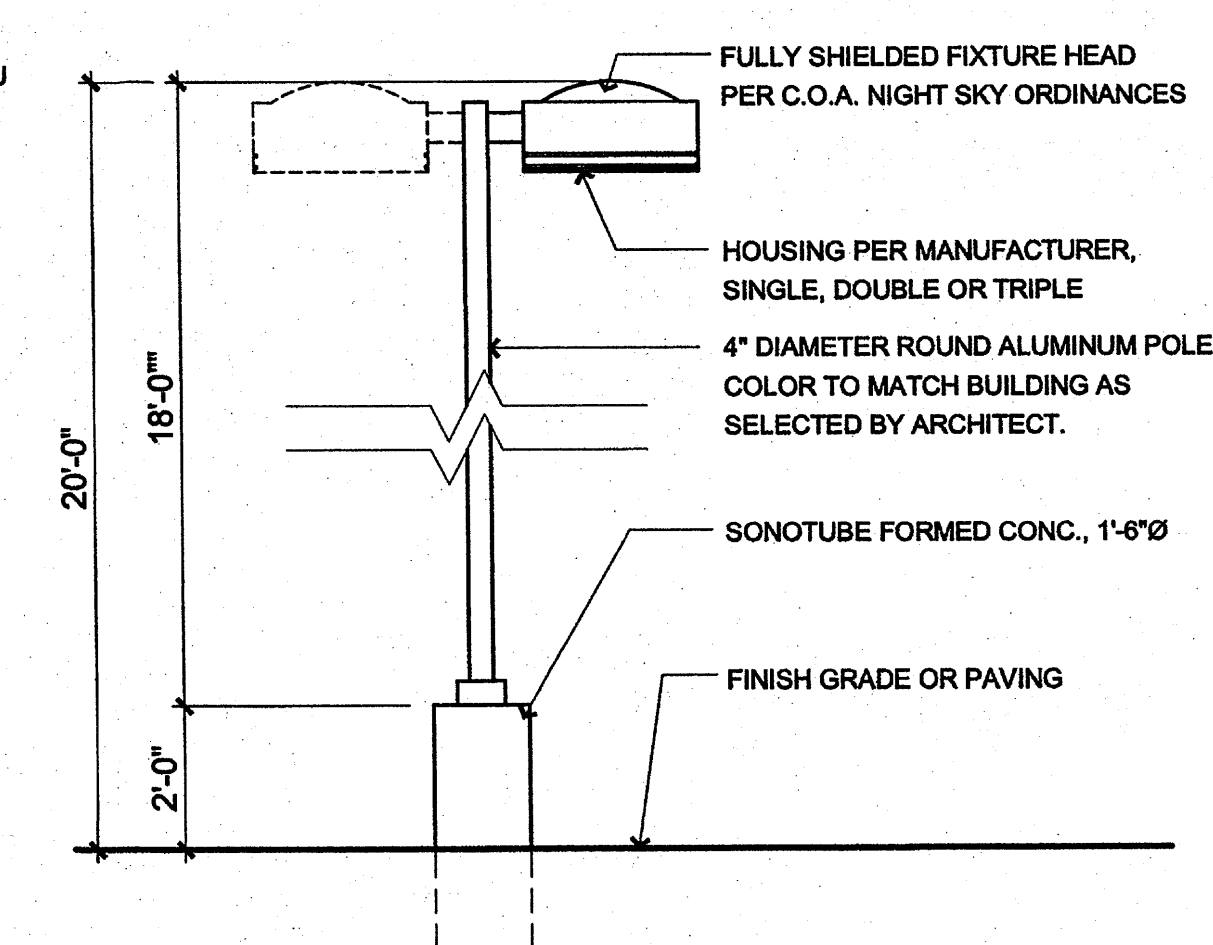
A2 TYPICAL PARKING SIGNAGE
1/2" = 1'-0"



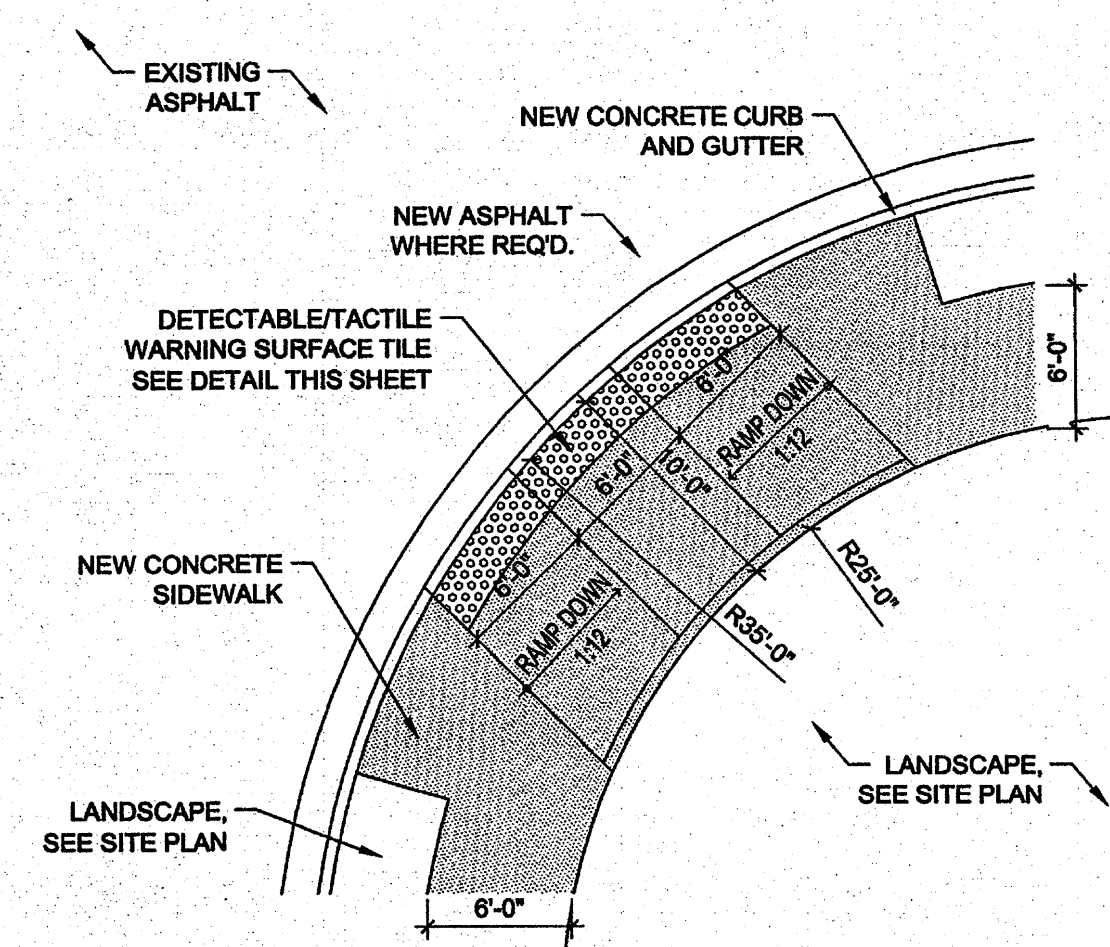
A3 WALL SECTION at TRASH ENCLOSURE
1/2" = 1'-0"



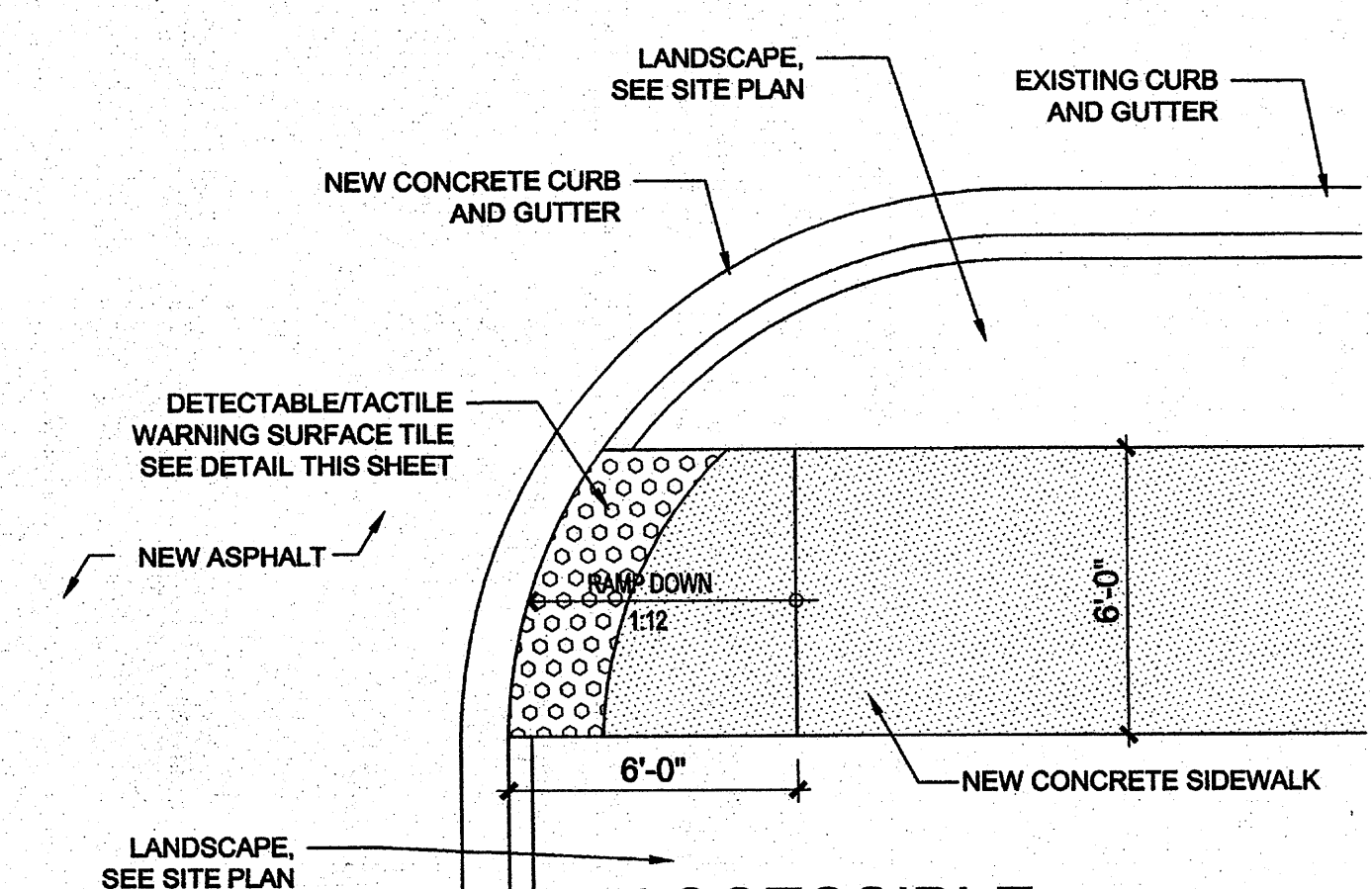
A4 TRASH and RECYCLING ENCLOSURE
3/8" = 1'-0"



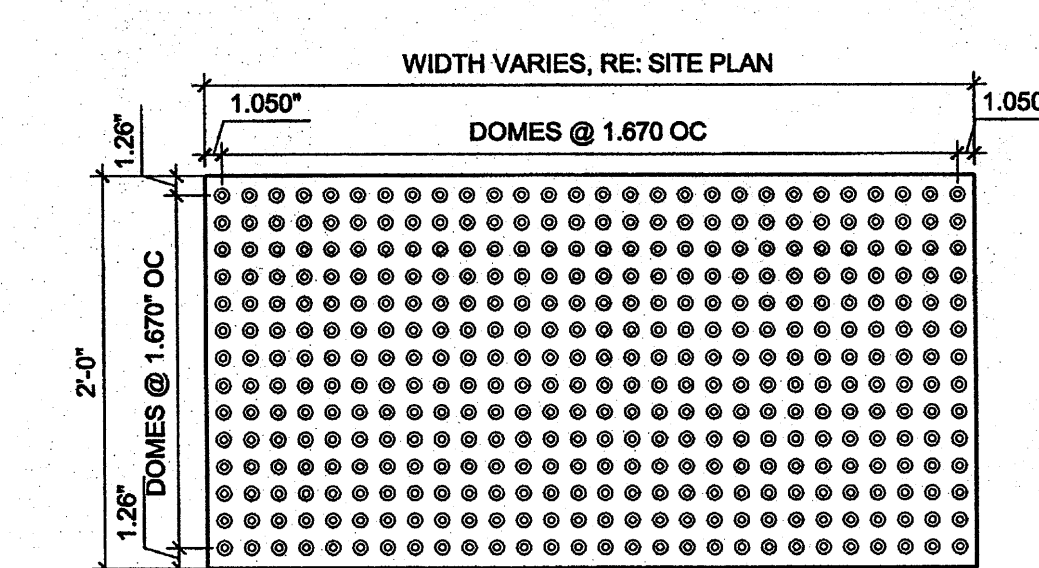
A5 POLE MOUNTED PARKING LOT LIGHT
3/8" = 1'-0"



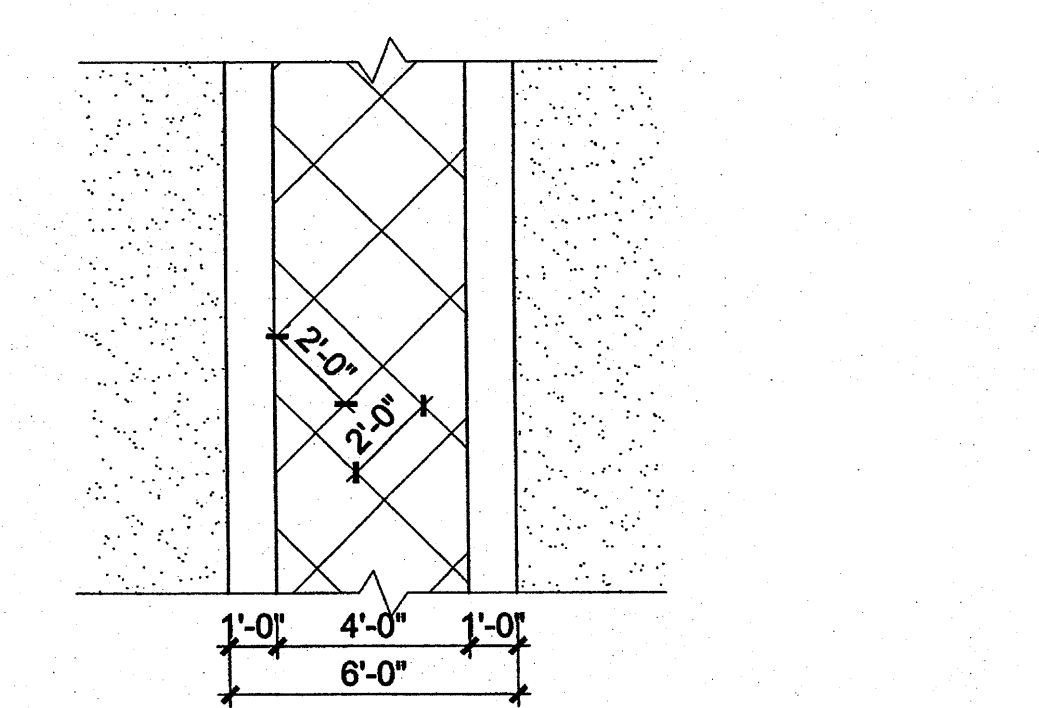
C4 ACCESSIBLE RAMP at CORNER
1/8" = 1'-0"



B4 ACCESSIBLE RAMP at CORNER
1/4" = 1'-0"



C5 DETECTABLE/TACTILE WARNING SURFACE TILE
1" = 1'-0"

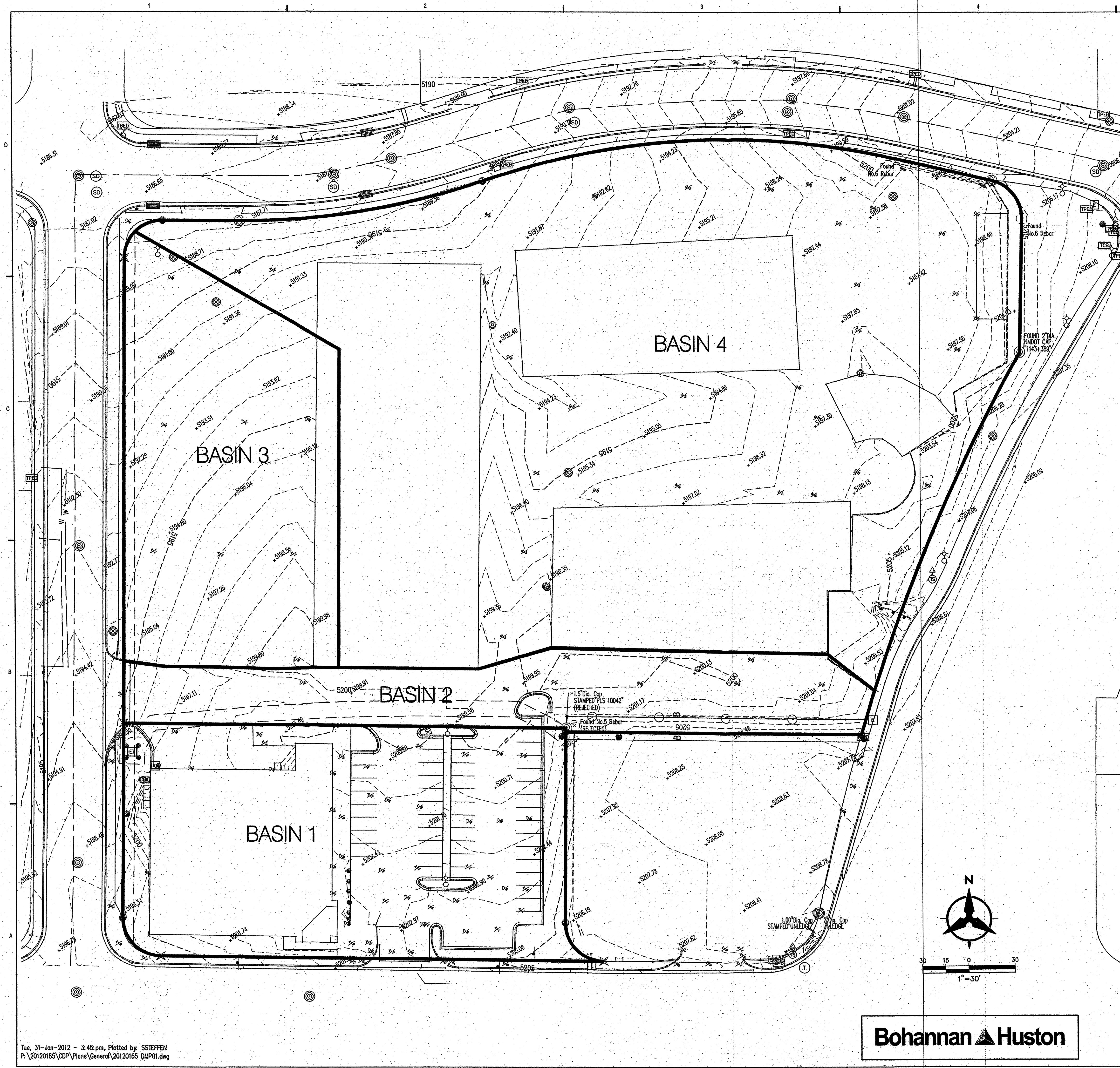


B5 CONCRETE PEDESTRIAN CROSSWALK
1/4" = 1'-0"



Plaza at San Mateo
San Mateo Blvd. NE and Prospect Avenue NE
Albuquerque, NM 87110

NOTE
SEE SHEET G2 FOR EXISTING CONDITIONS NARRATIVE



REVISIONS

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DRAWN BY	DTH
REVIEWED BY	SJS
DATE	September 28, 2011
PROJECT NO.	20120165
DRAWING NAME	

**GRADING AND
DRAINAGE PLAN**

EXISTING CONDITIONS

SHEET NO.



GRADING AND DRAINAGE NARRATIVE

I. INTRODUCTION
The purpose of this sheet is to present a conceptual grading plan for a proposed commercial redevelopment in NE Albuquerque. The site is located at the southwest corner of the San Mateo Blvd and Prospect Avenue. The project will include a Bed Bath & Beyond/Buy Buy Baby Combo Store and outlet retail buildings with pedestrian access, parking, and landscaping on approximately 4.5 acres. This submittal is in support of the Site Plan for Building Permit application at EPC.

II. SITE LOCATION
The site is located within zone atlas map H-17-Z. The project is bounded along the east by San Mateo Blvd, along the north by Prospect Avenue, along the west by Quincy Street and along the south by Office Depot and a gas station.

III. EXISTING CONDITIONS
The site encompasses approximately 4.5 acres and is developed with existing office space. Slopes for the site range between 2 to 5% to the northwest, with an existing retaining wall on the east side of the site with heights up to 5 ft. Currently, the site drains via surface flow north to Prospect Avenue or West towards Quincy Street where the flows discharge into existing storm drain inlets in Prospect Avenue. Basin 1 (4.5 cfs) drains north to an existing drive aisle, combining with Basin 2 (2.2 cfs) and drains to the west out the existing driveway to Quincy Street (6.7 cfs). Basin 3 (3.6 cfs) drains via surface flow toward Quincy Street. Basin 4 (13.9 cfs) drains toward Prospect Avenue through the existing driveway access. The site is not encumbered by a floodplain as shown on FIRM 35001C03526 dated September 26, 2008.

IV. OFFSITE FLOWS
No offsite flows enter the site in the existing or proposed condition. There are two existing driveways along Prospect Avenue. The eastern driveway has a water block that prevents flow from entering the site. At the western driveway the site is higher than Prospect Avenue. The site is higher than Quincy Street to the west. There are no entrances to San Mateo Boulevard to the east of the site and no water enter the site from San Mateo. There is currently water harvesting in the San Mateo right-of-way of water that falls in the area between the back of sidewalk and the right-of-way line. There is a water block at the existing driveway to the Office Depot site preventing water from entering the site from Cutler Avenue to the South. The existing gas station southeast of the site drains towards Cutler Avenue. In the proposed condition the new driveway on Prospect Avenue drains flow into Prospect Avenue. The conditions along San Mateo Boulevard, Cutler Avenue and Quincy Street remain unchanged in the proposed condition.

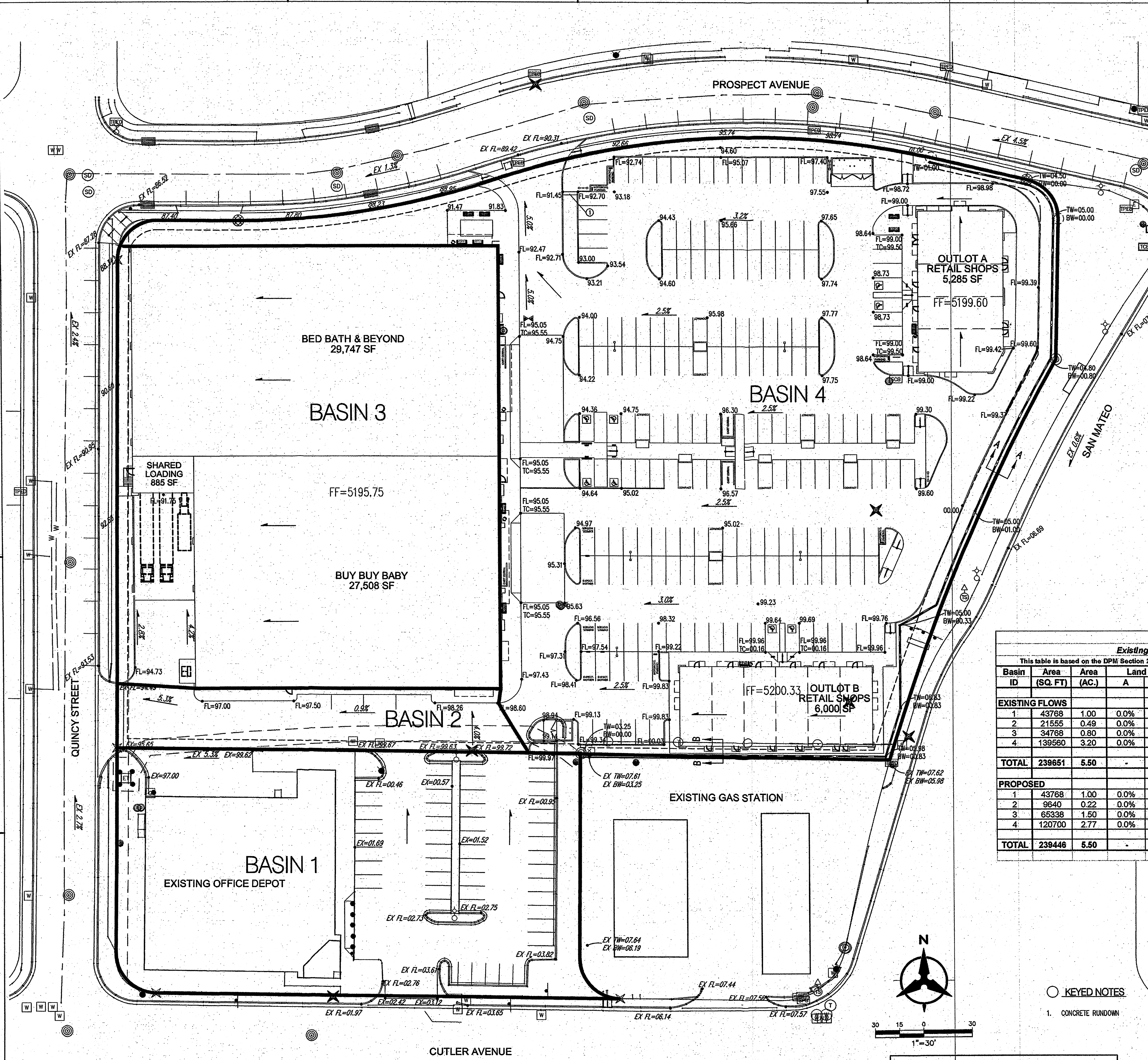
V. PROPOSED CONDITIONS
In the proposed conditions the site will mimic the existing conditions. A new retaining wall is proposed on the east side of the site, with slopes on the site ranging from 1 to 5%. The site will continue to drain via surface flow towards Prospect Avenue and Quincy Street. Basin 1 (4.5 cfs) drains north to an existing drive aisle, combining with Basin 2 (1.0 cfs) and drains to the west out the existing driveway to Quincy Street (5.5 cfs). The combined flows from Basins 1 and 2 are slightly less in the proposed condition. Basin 3 (6.7 cfs) drains via surface flow toward Quincy Street. The flow entering Quincy Street increases from 10.2 cfs to 12.2 cfs in the developed condition. Basin 4 (12.4 cfs) drains toward Prospect Avenue through the proposed driveway access. The flow entering Prospect Avenue decreases from 13.9 cfs to 12.4 cfs in the developed condition. The total flow leaving the site increases from 24.1 cfs to 24.5 cfs in the developed condition.

VI. CONCLUSION
The grading and drainage plan for the site is consistent with the existing site conditions. The plan is capable of safely passing the 100 year storm and meets city requirements. All analysis was completed in accordance with section 22.2 of the Development Process Manual.

Plaza at San Mateo
Existing and Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone:2

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	V(100) (inches)	V(100) (CF)
			A	B	C	D				
EXISTING FLOWS										
1	43768	1.00	0.0%	10.0%	0.0%	90.0%	4.46	4.5	1.99	7244
2	21555	0.49	0.0%	10.0%	0.0%	90.0%	4.46	2.2	1.99	3567
3	34768	0.80	0.0%	10.0%	0.0%	90.0%	4.46	3.6	1.99	5754
4	139560	3.20	0.0%	15.0%	0.0%	85.0%	4.34	13.9	1.92	22318
TOTAL	239651	5.50	-	-	-	-	-	24.1	-	28072
PROPOSED										
1	43768	1.00	0.0%	10.0%	0.0%	90.0%	4.46	4.5	1.99	7244
2	9640	0.22	0.0%	10.0%	0.0%	90.0%	4.46	1.0	1.99	1595
3	65338	1.50	0.0%	10.0%	0.0%	90.0%	4.46	6.7	1.99	10813
4	120700	2.77	0.0%	10.0%	0.0%	90.0%	4.46	12.4	1.99	19976
TOTAL	239446	5.50	-	-	-	-	-	24.5	-	39628



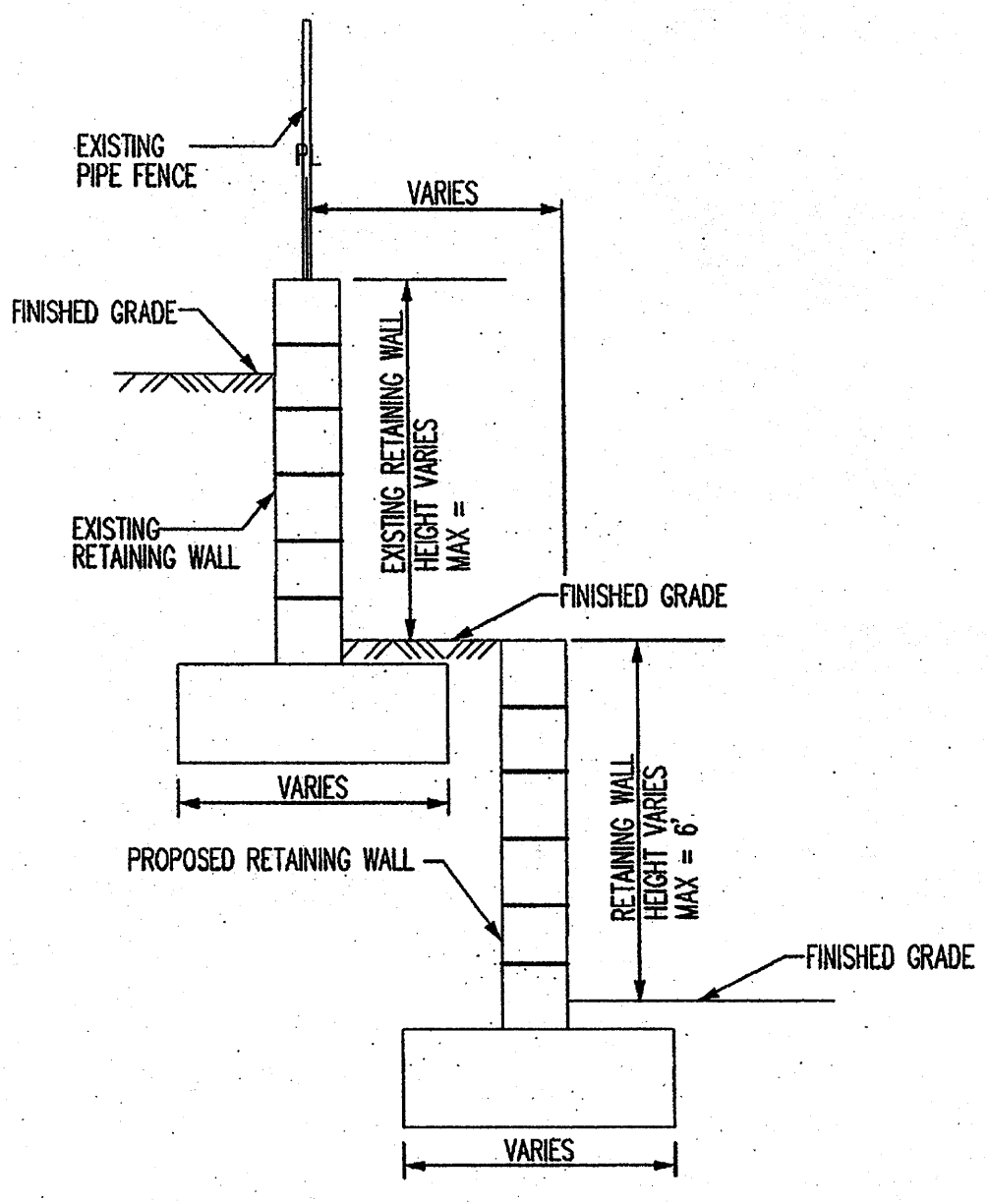
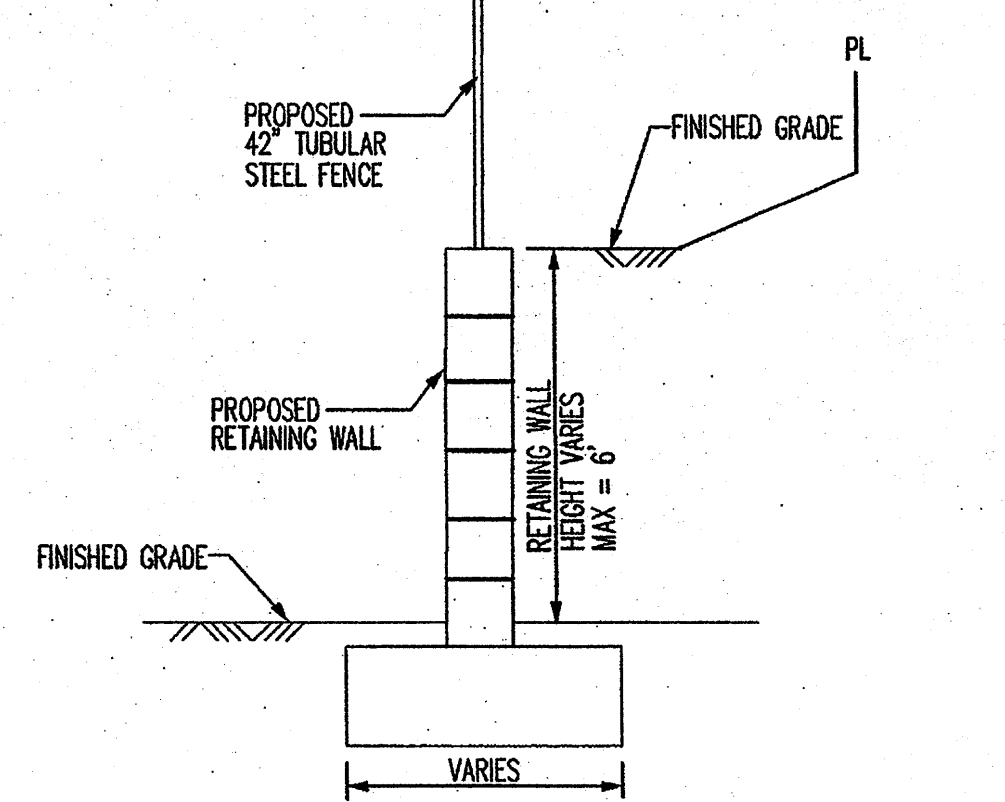
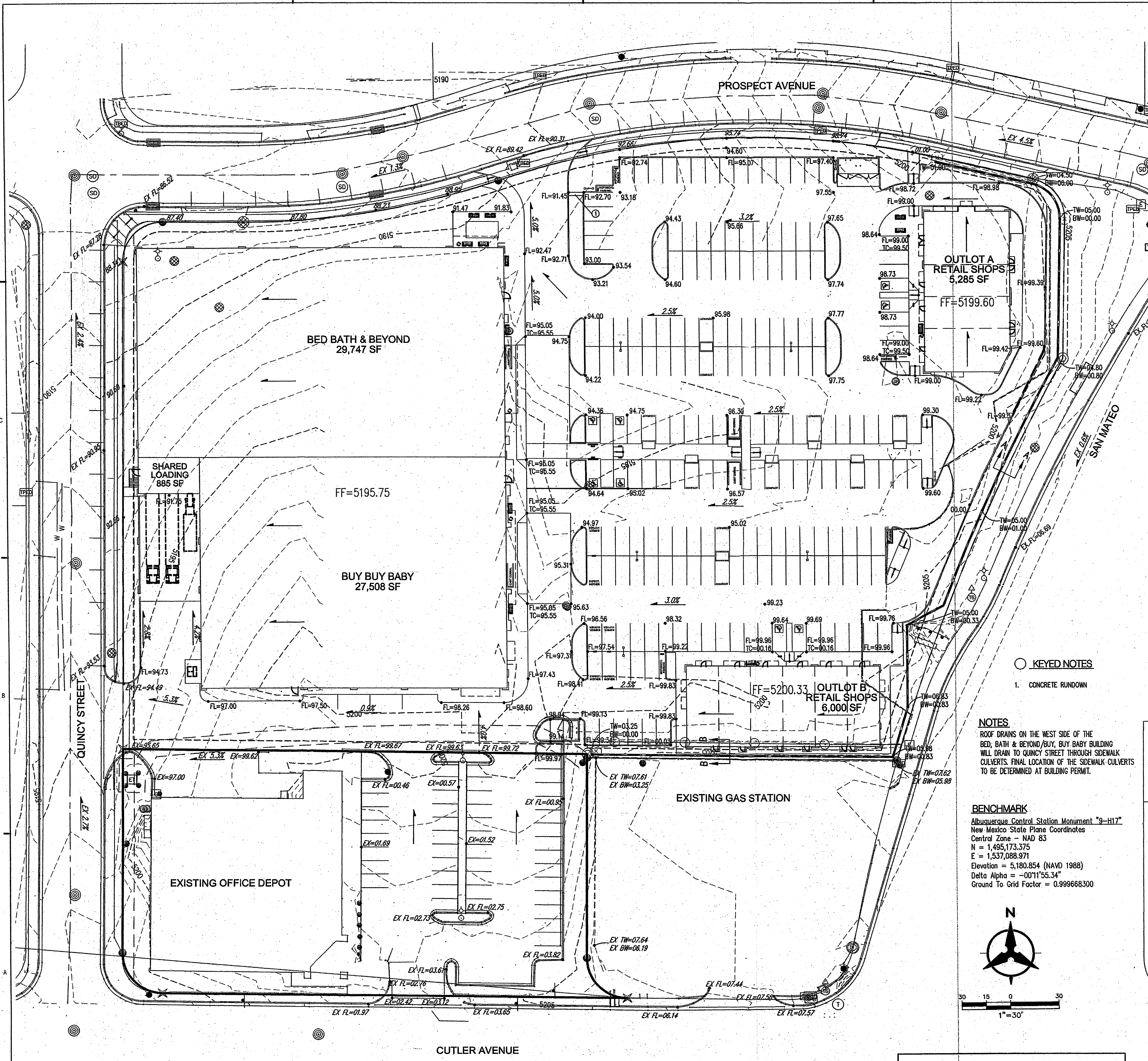
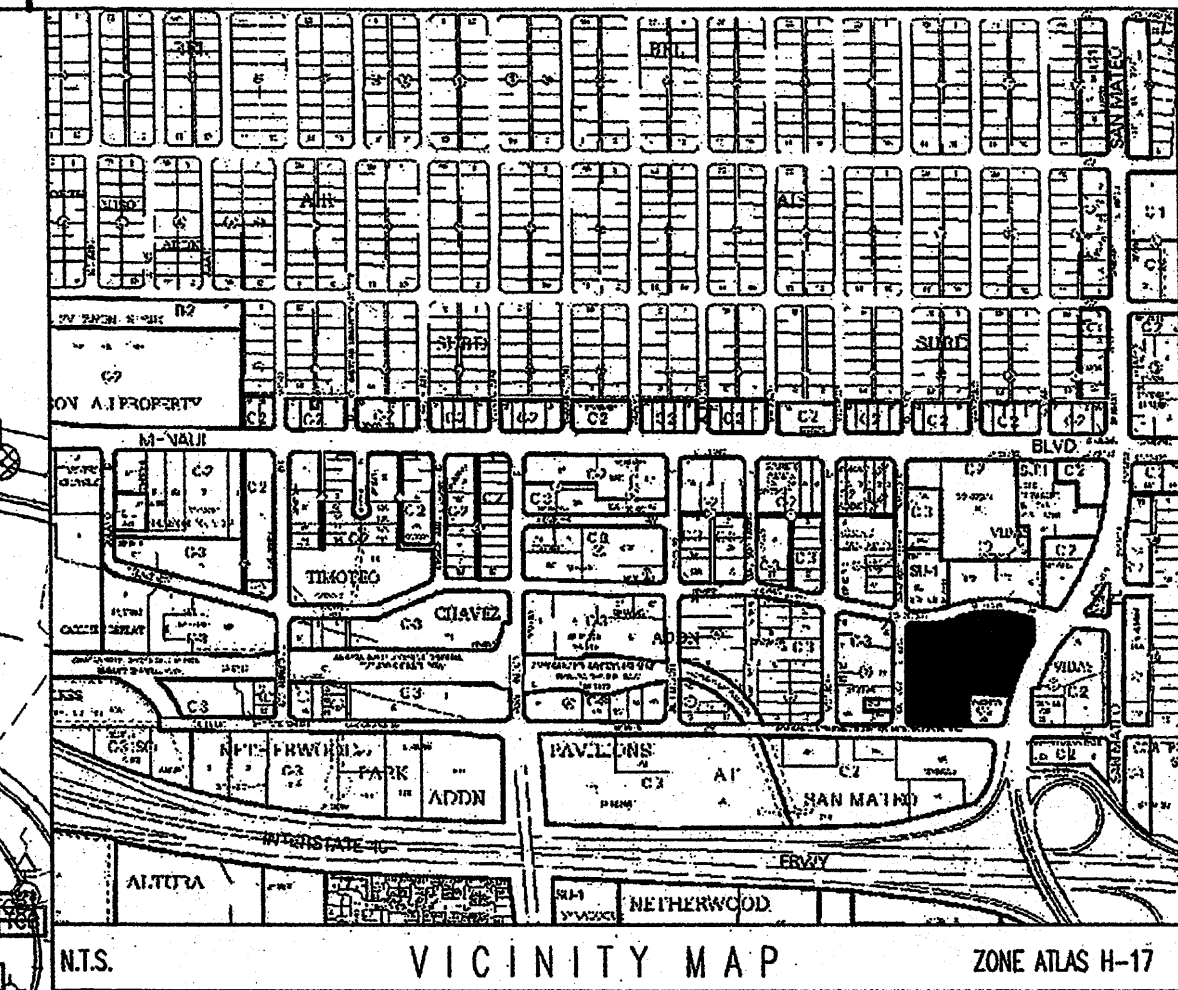
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DRAWN BY: DTH
REVIEWED BY: SJS
DATE: September 28, 2011
PROJECT NO.: 20120165
DRAWING NAME: GRADING AND DRAINAGE PLAN
PROPOSED CONDITIONS
SHEET NO.: G 2



Plaza at San Mateo
San Mateo Blvd. NE and Prospect Avenue NE
Albuquerque, NM 87110

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△	
△	
△	



KEYED NOTES

- 1. CONCRETE RUNDOWN

NOTES

ROOF DRAINS ON THE WEST SIDE OF THE BED, BATH & BEYOND/BUY, BUY BABY BUILDING WILL DRAIN TO QUINCY STREET THROUGH SIDEWALK CULVERTS. FINAL LOCATION OF THE SIDEWALK CULVERTS TO BE DETERMINED AT BUILDING PERMIT.

BENCHMARK

Albuquerque Central Station Monument "9-H17"
New Mexico State Plane Coordinates
Central Zone - NAD 83
N = 1,495,173.375
E = 1,537,088.971
Elevation = 5,180.854 (NAVD 1988)
Delta Alpha = -00°11'55.34"
Ground To Grid Factor = 0.999668300



1"=30'

LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- X EX5301.15 EXISTING GROUND SPOT ELEVATION
- 96.25 ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE STATED.
- S=2.0% PROPOSED DIRECTION OF FLOW
- PROPOSED CURB
- - - - - EASEMENT
- PROPOSED RETAINING WALL