

**LOCATION MAP**  
ZONE ATLAS INDEX MAP No. H-17  
NOT TO SCALE

**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Map No. H-17.
3. Zoning is "C-2"
4. Gross Subdivision Acreage: 5.4987 Acres.
5. Total Number of Tracts Created: Two (2) Tracts.
6. No public street right-of-way is created.
7. Date of Survey: January, 2012
8. Plat is located within Section 11, Township 10 North, Range 3 East, NMPM, Albuquerque, Bernalillo County, New Mexico.

**PURPOSE OF PLAT**

The purpose of this plat is to subdivide Tract A, Vidas Subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 4, 1973 in Volume C9, Folio 65 into two (2) tracts, to vacate easements and to create easements.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgear, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**Disclaimer**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGCC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGCC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**DESCRIPTION**

A certain tract of land located within Section 11, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract A of Vidas Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the Bernalillo County Clerk Bernalillo County, New Mexico on May 4, 1973 in Volume C9, folio 65 as Document No. 49611.

Tract contains 5.4987 acres, more or less.

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 1983 Datum). Record bearings and distances as shown on the Plat of Tract A, Vidas Subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 4, 1973 in Volume C9, Folio 65 are shown in parenthesis ( ). Record bearings and distances as shown on Warranty Deed filed on May 2, 2008 as Document No. 2008050239 are shown in brackets [ ].
2. BASIS OF BEARINGS is the inverse between City of Albuquerque control monuments "18-H18" and "5-J17" Bearing = S45°11'49"W.
3. Distances are ground distances.
4. This Plat was prepared with information included in Title Commitment issued by Stewart Title Guaranty Company, File No. 11080488; Effective Date: August 23, 2011, 8:00 AM.
5. This property lies within Zone "X" as shown on FEMA Map Number 35001C0352G, Revised September 26, 2008.
6. Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat."
7. The existing Non-Exclusive Access Easement granted on September 14, 2004 in Book A83, Page 8817, as Doc. No. 2004128974, Bernalillo County and restated in the Memorandum of Lease recorded on May 15, 2008 in Book A56, Page 1795, Bernalillo County is hereby replaced with a Non-Exclusive Private Cross Access Easement limited to the established driveway isles within Tracts A-1 and A-2 granted with the filing of this plat. Owners of Tract A-1 and A-2 are responsible for maintaining the portion of this easement located within their respective tract.

**FREE CONSENT AND DEDICATION**

The plat shown hereon is made with the owner(s) free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as shown on this plat.

SOUTH UNSER, LLC (Owner of Tract A-1)

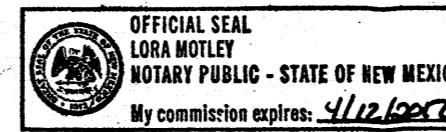
BY: *[Signature]*  
Demetrios Dellafortas

N.M. Mex. 100

State of New Mexico ) SS

County of Bernalillo )

This instrument was acknowledged before me on 30 day of January 2012, by Demetrios Dellafortas.



My Commission Expires: 4/12/2012 *[Signature]*  
Notary Public

CARROLL VENTURES, INC. (Owner of Tract A-2)

BY: *[Signature]*

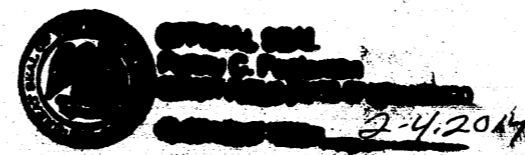
State of New Mexico ) SS

County of Bernalillo )

This instrument was acknowledged before me on 26 day of January 2012, by

*[Signature]*  
Carolyn Mason

My Commission Expires: 2-4-2014 *[Signature]*  
Notary Public



**PLAT OF TRACTS A-1 & A-2 VIDAS SUBDIVISION**

( A REPLAT OF TRACT A, VIDAS SUBDIVISION )  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2012

PROJECT NUMBER \_\_\_\_\_

APPLICATION NUMBER \_\_\_\_\_

**PLAT APPROVAL**

**UTILITY APPROVALS:**

QWEST CORPORATION d/b/a CENTURYLINK QC \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST CABLE \_\_\_\_\_ DATE \_\_\_\_\_

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO GAS COMPANY \_\_\_\_\_ DATE \_\_\_\_\_

**CITY APPROVALS:**

*[Signature]* 1-30-12  
CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY \_\_\_\_\_ DATE \_\_\_\_\_

PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

A.M.A.F.C.A. \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

REAL PROPERTY DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE \_\_\_\_\_ DATE \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*[Signature]*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469

Date: January 25, 2012



# PLAT OF TRACTS A-1 & A-2 VIDAS SUBDIVISION

(A REPLAT OF TRACT A, VIDAS SUBDIVISION)  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 FEBRUARY, 2012

Curve Data						Record Curve Data						Tangent Data			
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	BEARING	DISTANCE
C1	77°56'07"	20.22'	34.01'	25.00'	31.44'	(C1)	(77°46')	(20.16')	(33.93')	(25.00')	(31.38')		T1	S00°38'42"W	1.88'
C2	12°44'18"	136.29'	271.45'	1220.95'	270.89'	(C2)				(1220.95')	(269.69')	(S22°57'20"W)	T2	N22°30'00"E	25.18'
C3	90°06'26"	25.05'	39.32'	25.00'	35.39'	(C3)	(90°00'00")	(25.00')	(39.27')	(25.00')	(35.35')		T3	N90°00'00"W	18.39'
C4	89°50'09"	24.93'	39.20'	25.00'	35.30'	(C4)	(90°23'23")	(25.17')	(39.44')	(25.00')	(35.47')		T4	N90°00'00"W	19.85'
C5	89°55'05"	24.96'	39.23'	25.00'	35.33'	(C5)	(90°00'00")	(25.00')	(39.27')	(25.00')	(35.35')		T5	N90°00'00"W	22.50'
C6	19°14'28"	81.36'	161.19'	480.00'	160.44'	(C6)	(19°15')	(81.40')	(161.26')	(480.00')	(160.51')		T6	S90°00'00"E	10.00'
C7	31°37'59"	141.64'	276.05'	500.00'	272.56'	(C7)	(31°38')	(141.64')	(276.05')	(500.00')	(272.55')		T7	N00°00'00"E	13.57'
C8	03°20'19"	14.57'	29.14'	500.00'	29.13'	(C8)	(31°38')	(141.64')	(276.05')	(500.00')	(272.55')		T8	N00°40'09"E	30.00'

ID	BEARING	DISTANCE
T1	S00°38'42"W	1.88'
T2	N22°30'00"E	25.18'
T3	N90°00'00"W	18.39'
T4	N90°00'00"W	19.85'
T5	N90°00'00"W	22.50'
T6	S90°00'00"E	10.00'
T7	N00°00'00"E	13.57'
T8	N00°40'09"E	30.00'

ACS BRASS TABLE "18-H18"  
 GEOGRAPHIC POSITION (NAD 1983)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 N=1485167.654 E=1541177.063  
 GROUND TO GRID FACTOR = 0.999664864  
 DELTA ALPHA = -01°12'04"  
 NAVD 1988 ELEVATION 5232.741

**1-A ROMAC-JEAN ADDITION**  
 FILED: OCTOBER 19, 1955 (C3-34)

**1-B-7 VIDAS SUBDIVISION**  
 FILED: APRIL 15, 1976 (B11-61)

**1-B-6 VIDAS SUBDIVISION**  
 FILED: FEBRUARY 23, 1976 (B11-19)

**1-B-5 VIDAS SUBDIVISION**  
 FILED: OCTOBER 20, 1975 (B10-151)

**VIDAS SUBDIVISION**  
 FILED: OCTOBER 23, 1981 (C19-4)

**H.L.H. ENTERPRISES INC.**  
 FILED: FEB. 2, 1978 (C12-197)

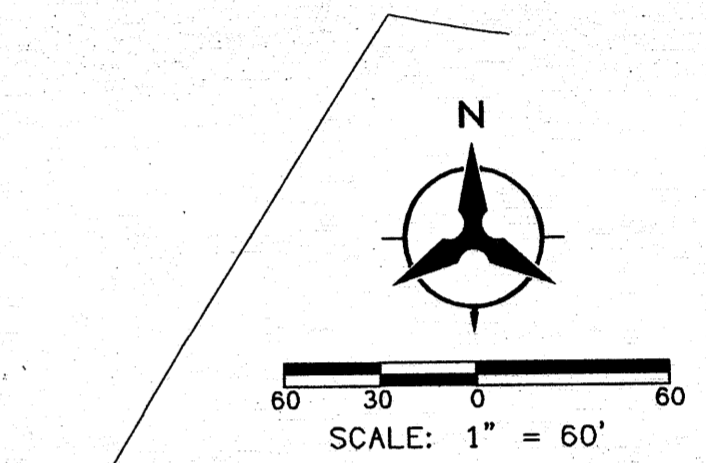
**1-A ROMAC-JEAN ADDITION**  
 FILED: AUGUST 1, 1974 (B9-172)

**3 ROMAC-JEAN ADDITION**  
 FILED: OCTOBER 19, 1955 (C3-34)

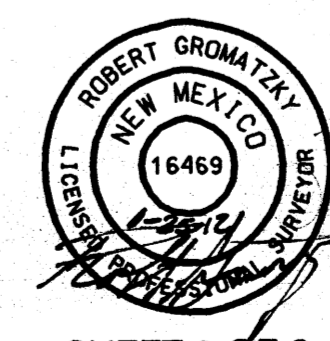
**5A ROMAC-JEAN ADDITION**  
 FILED: APRIL 28, 1983 (C21-52)

**6-A-2 ROMAC-JEAN ADDITION**  
 FILED: JUNE 15, 1993 (93C-167)

**6A PAVILIONS AT SAN MATEO**  
 FILED: NOVEMBER 5, 1996 (96C-453)



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	EXISTING EASEMENT VACATED BY THIS PLAT
	PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	FOUND NAIL
	FOUND CHISELED "X"
	FOUND REBAR/NO CAP
	FOUND 1.5" CAP STAMPED "PLS 10042" OR AS NOTED
	FOUND BRASS CAP AS NOTED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	SET PK NAIL AND SHINER



**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

# SIDEWALK EXHIBIT TRACTS A-1 & A-2 VIDAS SUBDIVISION

Curve Data						Record Curve Data						Tangent Data		
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	ID	BEARING	DISTANCE
C1	77°56'07"	20.22'	34.01'	25.00'	31.44'	(C1)	(77°46')	(20.16')	(33.93')	(25.00')	(31.38')	T1	S00°38'42"W	1.88'
C2	12°44'18"	136.29'	271.45'	1220.95'	270.89'	(C2)				(1220.95')	(269.69')	T2	N22°30'00"E	25.18'
C3	90°06'26"	25.05'	39.32'	25.00'	35.39'	(C3)	(90°00'00")	(25.00')	(39.27')	(25.00')	(35.35')	T3	N90°00'00"W	18.39'
C4	89°50'09"	24.93'	39.20'	25.00'	35.30'	(C4)	(90°23'23")	(25.17')	(39.44')	(25.00')	(35.47')	T4	N90°00'00"W	19.85'
C5	89°55'05"	24.96'	39.23'	25.00'	35.33'	(C5)	(90°00'00")	(25.00')	(39.27')	(25.00')	(35.35')	T5	N90°00'00"E	22.50'
C6	19°14'28"	81.36'	161.19'	480.00'	160.44'	(C6)	(19°15')	(81.40')	(161.26')	(480.00')	(160.51')	T6	S90°00'00"E	10.00'
C7	31°37'59"	141.64'	276.05'	500.00'	272.56'	(C7)	(31°38')	(141.64')	(276.05')	(500.00')	(272.55')	T7	N00°00'00"E	13.57'
C8	03°20'19"	14.57'	29.14'	500.00'	29.13'									

**A**  
**ROMAC-JEAN ADDITION**  
FILED: OCTOBER 19, 1955  
(C3-34)

**1-B-7**  
**VIDAS SUBDIVISION**  
FILED: APRIL 15, 1976  
(B11-61)

**1-B-6**  
**VIDAS SUBDIVISION**  
FILED: FEBRUARY 23, 1976  
(B11-19)

**1-B-5**  
**VIDAS SUBDIVISION**  
FILED: OCTOBER 20, 1975  
(B10-151)

**C**  
**VIDAS SUBDIVISION**  
FILED: OCTOBER 23, 1981  
(C19-4)

**A**  
**H.L.H. ENTERPRISES INC.**  
FILED: FEB. 2, 1978  
(C12-197)

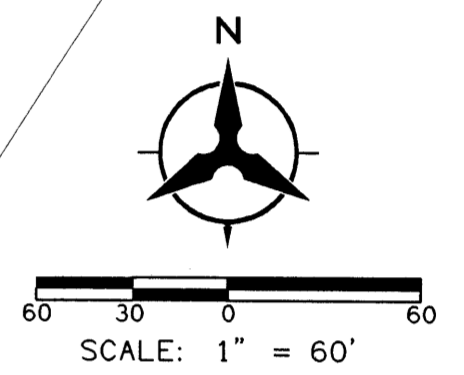
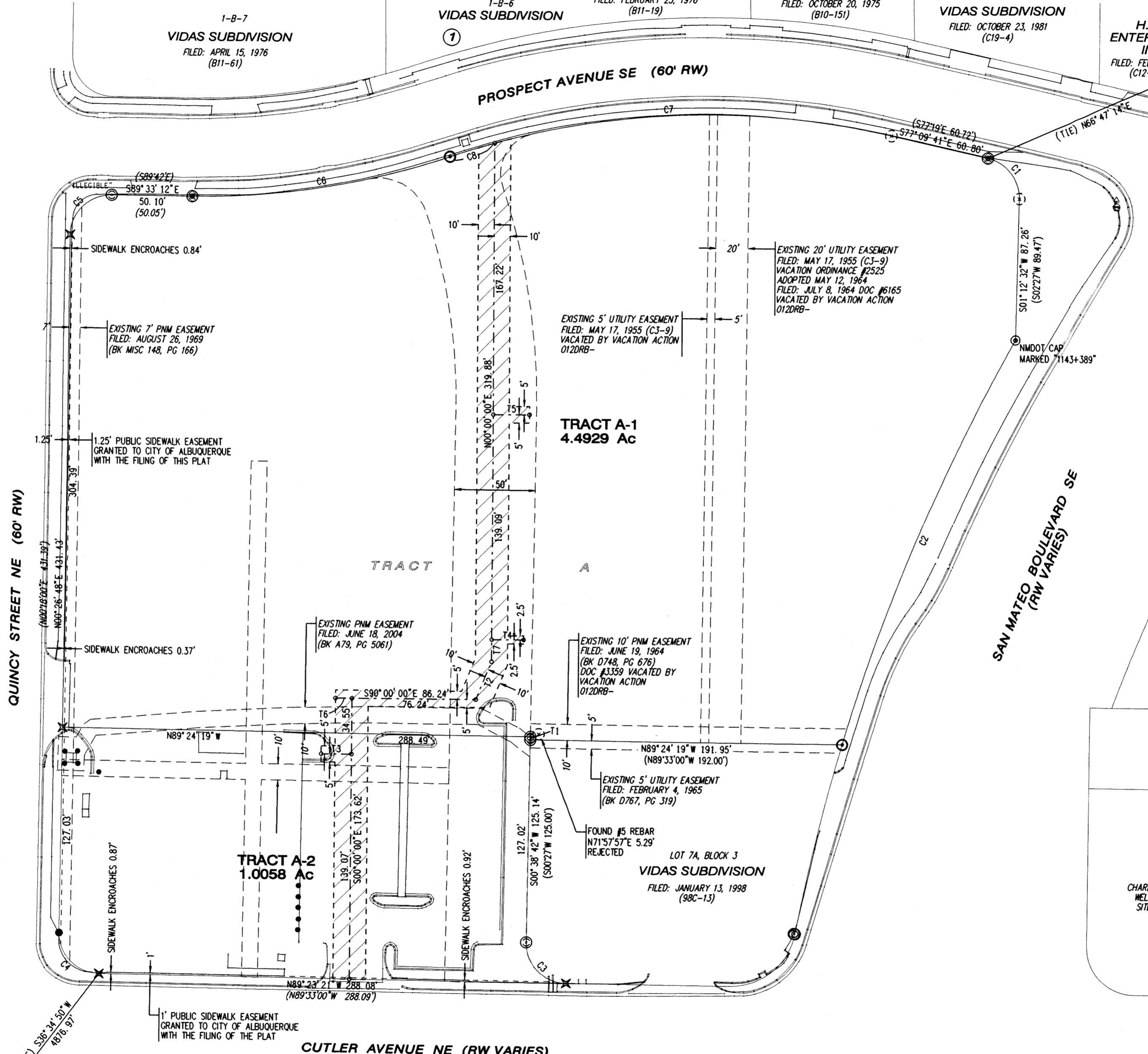
ACS BRASS TABLE "18-118"  
GEOGRAPHIC POSITION (NAD 1983)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1495167.654 E=1541177.063  
GROUND TO GRID FACTOR = 0.999664864  
DELTA ALPHA = -0°11'27.04"  
NAVD 1988 ELEVATION 5232.741

**A**  
**ROMAC-JEAN ADDITION**  
FILED: AUGUST 1, 1974  
(B9-172)

**3**  
**ROMAC-JEAN ADDITION**  
FILED: OCTOBER 19, 1955  
(C3-34)

**5A**  
**ROMAC-JEAN ADDITION**  
FILED: APRIL 28, 1983  
(C21-52)

**6-A-2**  
**ROMAC-JEAN ADDITION**  
FILED: JUNE 15, 1993  
(93C-167)



**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- RIGHT OF WAY
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND NAIL
- FOUND CHISELED "X"
- FOUND REBAR/NO CAP
- FOUND 1.5" CAP STAMPED "PLS 10042"
- FOUND BRASS CAP AS NOTED
- SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 18469"
- SET PK NAIL AND SHINER

ACS BRASS TABLE "5-J17"  
GEOGRAPHIC POSITION (NAD 1983)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1489988.280 E=1535961.937  
GROUND TO GRID FACTOR = 0.999667655  
DELTA ALPHA = -0°12'02.76"  
NAVD 1988 ELEVATION 5200.039

**6A**  
**PAVILIONS AT SAN MATEO**  
FILED: NOVEMBER 5, 1996 (96C-453)

**Bohannon & Huston**  
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335



Curve Data						Record Curve Data					
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	ID	DELTA	TANGENT	ARC	RADIUS	CHORD
C1	77°56'07"	20.22'	34.01'	25.00'	31.44'	(C1)	(77°46')	(20.16')	(33.93')	(25.00')	(31.38')
C2	12°44'18"	136.29'	271.45'	1220.95'	270.89'	(C2)	(12°44')	(136.29')	(271.45')	(1220.95')	(270.89')
C3	90°06'26"	25.05'	39.32'	25.00'	35.39'	(C3)	(90°00'00")	(25.00')	(39.27')	(25.00')	(35.35')
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C5	89°55'05"	24.98'	39.23'	25.00'	35.33'	(C5)	(90°00'00")	(25.00')	(39.27')	(25.00')	(35.35')
C6	19°14'28"	81.36'	161.19'	480.00'	160.44'	(C6)	(19°15')	(81.40')	(161.26')	(480.00')	(160.51')
C7	31°37'59"	141.64'	276.05'	500.00'	272.56'	(C7)	(31°38')	(141.64')	(276.05')	(500.00')	(272.55')
C8	02°35'46"	11.33'	22.66'	500.00'	22.65'						
C9	01°21'10"	5.67'	11.33'	480.00'	11.33'						
C10	02°01'36"	8.84'	17.69'	500.00'	17.68'						

Tangent Data			Tangent Data		
ID	BEARING	DISTANCE	ID	BEARING	DISTANCE
T1	S00°38'42"W	1.88'	T11	N66°16'51"W	15.34'
	(S00°27'00"W)	(2.00')	T12	S00°00'00"E	15.09'
T2	N22°30'00"E	25.18'	T13	N90°00'00"W	13.56'
T3	N90°00'00"W	18.39'			
T4	N90°00'00"W	19.85'			
T5	N90°00'00"E	22.50'			
T6	S90°00'00"E	10.00'			
T7	N00°00'00"E	13.57'			
T8	N00°40'09"E	30.00'			
T9	N90°00'00"E	19.85'			
T10	N45°00'00"W	18.32'			

# PLAT OF TRACTS A-1 & A-2 VIDAS SUBDIVISION

(A REPLAT OF TRACT A, VIDAS SUBDIVISION)

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2012

ACS BRASS TABLET "18-H18"  
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NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1495167.654 E=1541177.063  
GROUND TO GRID FACTOR = 0.999664864  
DELTA ALPHA = -0°11'27.04"  
NAVD 1988 ELEVATION 5232.741

ROMAC-JEAN ADDITION  
FILED: OCTOBER 19, 1955 (C3-34)

VIDAS SUBDIVISION  
FILED: APRIL 15, 1976 (B11-61)

VIDAS SUBDIVISION  
FILED: FEBRUARY 23, 1976 (B11-19)

VIDAS SUBDIVISION  
FILED: OCTOBER 20, 1975 (B10-151)

VIDAS SUBDIVISION  
FILED: OCTOBER 23, 1981 (C19-4)

H.L.H. ENTERPRISES INC.  
FILED: FEB. 2, 1978 (C12-197)

ROMAC-JEAN ADDITION  
FILED: AUGUST 1, 1974 (B9-172)

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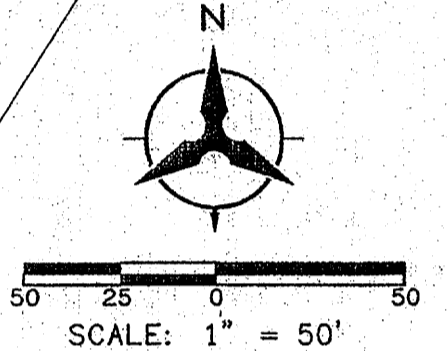
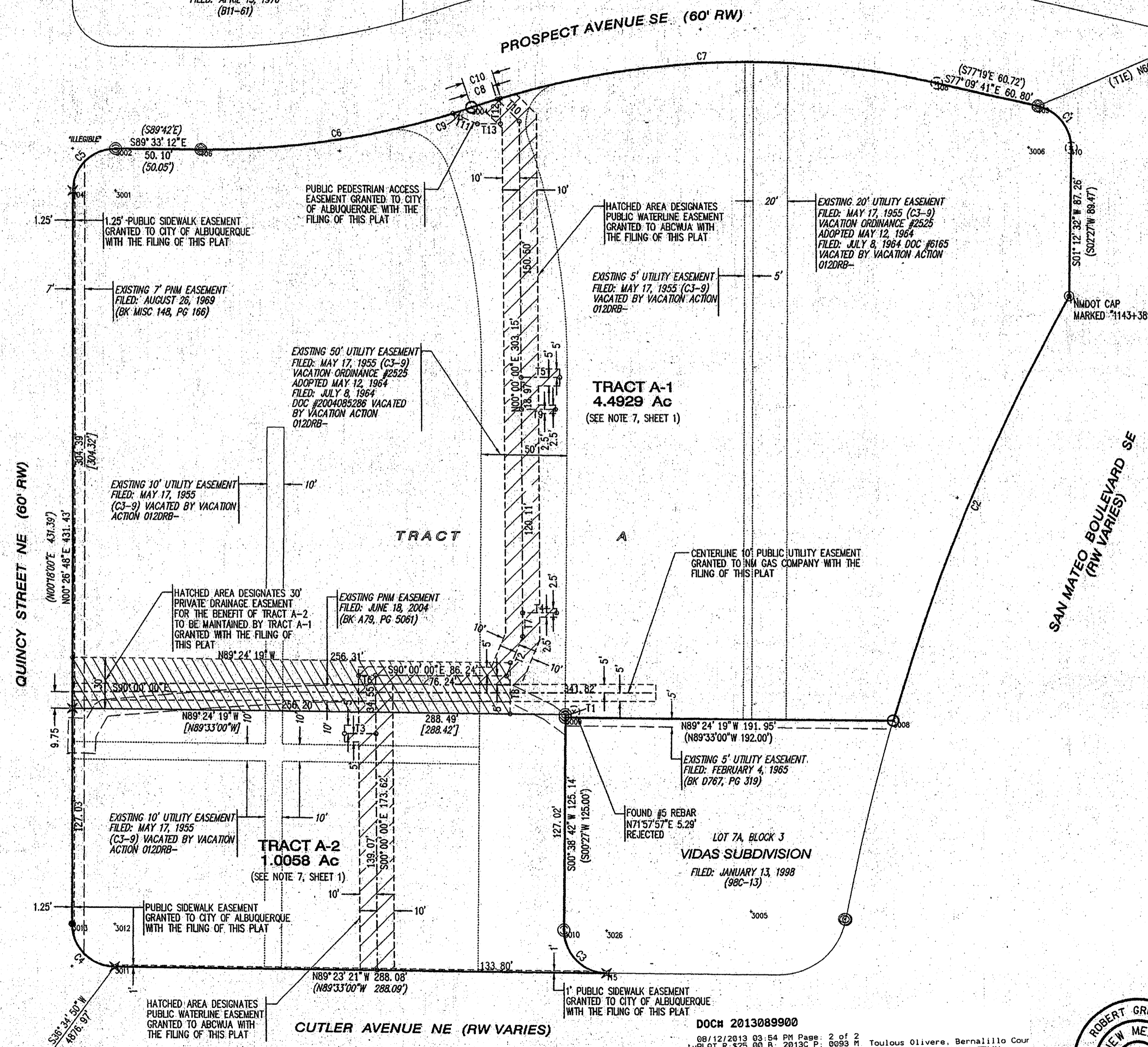
PAVILIONS AT SAN MATEO  
FILED: NOVEMBER 5, 1996 (96C-453)

TRACT A-1  
4.4929 Ac  
(SEE NOTE 7, SHEET 1)

TRACT A-2  
1.0058 Ac  
(SEE NOTE 7, SHEET 1)

LOT 7A, BLOCK J  
VIDAS SUBDIVISION  
FILED: JANUARY 13, 1998 (98C-13)

VIDAS SUBDIVISION  
FILED: AUGUST 13, 1964 (C6-24)



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	EXISTING EASEMENT VACATED BY THIS PLAT
	PUE: PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	FOUND NAIL
	FOUND CHISELED **
	FOUND REBAR/NO CAP
	FOUND 1.5" CAP STAMPED *PLS 10042* OR AS NOTED
	FOUND BRASS CAP AS NOTED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED *GROMATZKY PS 16469*
	SET PK NAIL AND SHINER

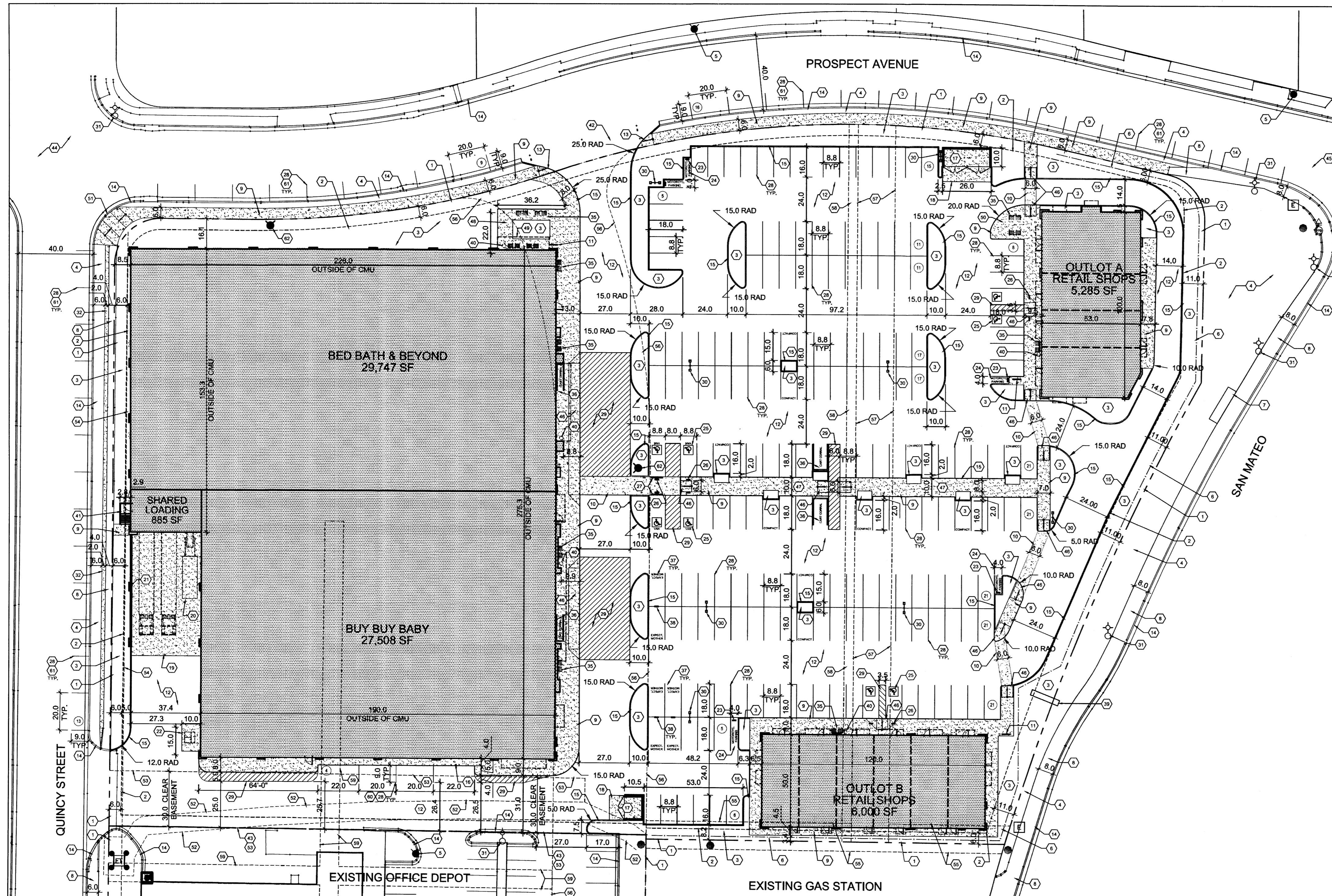
ACS BRASS TABLET "5-117"  
GEOGRAPHIC POSITION (NAD 1983)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1489988.280 E=1535961.937  
GROUND TO GRID FACTOR = 0.999667655  
DELTA ALPHA = -0°12'02.76"  
NAVD 1988 ELEVATION 5200.039

DOCH 2013089900  
08/12/2013 03:54 PM Page: 2 of 2  
PLAT R: \$25.00 B: 2013C P: 0093 M: Toulouse Ollivere, Bernalillo Cour

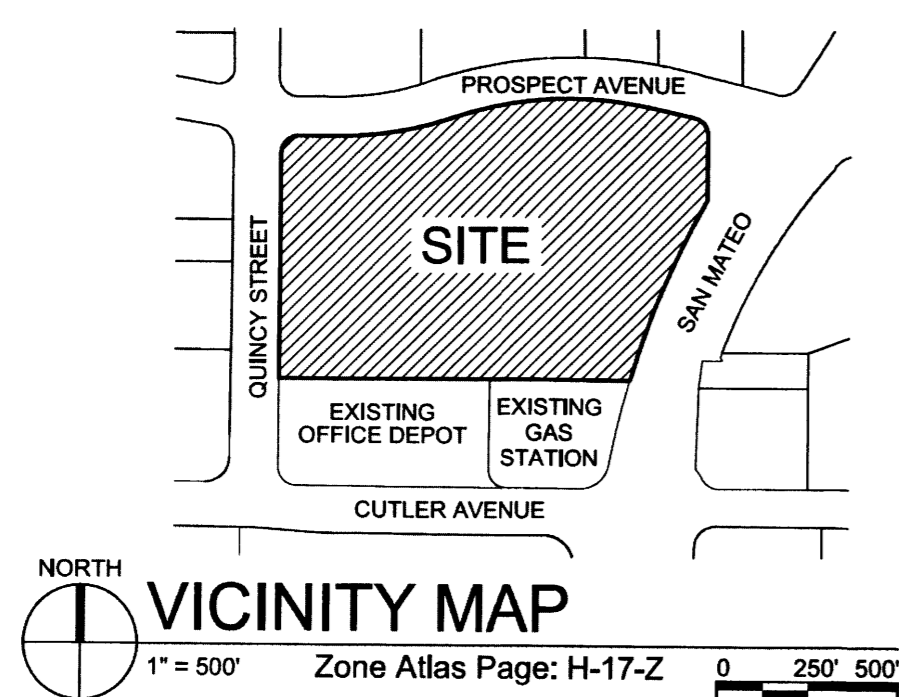


**Bohannon & Huston**  
Court yard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

SHEET 2 OF 2



**OVERALL SITE PLAN**  
1" = 30'



**VICINITY MAP**  
1" = 500' Zone Atlas Page: H-17-Z

**SITE INFORMATION**

**LEGAL DESCRIPTION**  
NORTHERLY PORTION OF TRACT A OF VIDAS SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NM, FILED: MAY 4, 1973, MAP 800K C9

ZONE ATLAS MAP NUMBER: H-17-Z PRESENT ZONING: C-2 (SC)

**GROSS BUILDING AREA (GBA):**  
BUY BUY BABY - RETAIL (1 STORY) = 27,508 sf  
BED BATH & BEYOND - RETAIL (1 STORY) = 30,190 sf  
SHARED LOADING: 885 sf  
OUTLOT A - RETAIL (1 STORY) = 5,285 sf  
OUTLOT B - RETAIL (1 STORY) = 6,000 sf  
TOTAL = 69,425 sf

TOTAL SITE AREA: 195,771 SF = 4.5 ACRES  
GROSS F.A.R. (GBA / SITE AREA) = 69,425 / 195,771 = .35

**PARKING INFORMATION**

CUMULATIVE SF	BUILDING	SQUARE FEET	PARKING REQ'D APPLIED	REQ'D PARKING
15,000	Buy Buy Baby (27,508 sf + 442 sf of shared Loading Area = 27,950 sf total)			
20,893	Public Sales Area (total of 20,893)	15,000	1/200 for 1st 15,000	75
25,443	Public Sales Area	5,893	1/250 for 15,001-60,000	24
27,950	Stock/Storage	4,550	1/1,000 for stock/storage	5
	Office/Toilets/Walls/Unoccupied	2,507	1/250 for office/RR/unocc	10
27,950	Bed Bath & Beyond (29,747 sf + 443 sf of shared Loading Area = 30,190 sf total)			
52,065	Public Sales Area (total of 24,115)	24,115	1/250 for 15,001-60,000	96
55,427	Stock/Storage	3,362	1/1,000 for stock/storage	3
58,140	Office/Toilets/Walls/Unoccupied	2,713	1/250 for office/restroom/unocc.	11
58,140	Outlot A Building (5,285 sf total)			
59,919	Coffee (w/drive-thru) (+25 seats)	1,779	1 per 4 seats	6
63,425	Retail shops	3,506	1/300 for over 60,000	12
63,425	Outlot B Building (6,000 sf total)			
69,425	Retail shops	6,000	1/300 for over 60,000	20
			TOTAL REQUIRED: 262	
			TRANSIT REDUCTION (10%): -26	
			BUS SHELTER REDUCTION (5%): -13	
			TOTAL REQUIRED: 223	
			TOTAL PROVIDED (OFF-STREET): 204	
			TOTAL PROVIDED (ON-STREET): 38 / 2 = 19	
			TOTAL PROVIDED: 223	
			HANDICAP PARKING STALLS REQUIRED: 101-300 PARKING STALLS: 8 HC STALLS REQUIRED (2 VAN ACCESSIBLE)	
			PROVIDED: 8 HC STALLS (4 VAN ACCESSIBLE)	
			MOTORCYCLE PARKING REQUIRED: 151-300 PARKING STALLS: 5 SPACES REQUIRED.	
			PROVIDED: 5 SPACES	
			BICYCLE PARKING REQUIRED: 1 PER 20 PARKING SPACES: TOTAL: 200 / 20 = 10 SPACES	
			PROVIDED: 15 SPACES	

**GENERAL SHEET NOTES**

- SEE CIVIL PLANS FOR GRADING, DRAINAGE, UTILITY AND CURB CUT LOCATIONS INFO.
- PARKING AREA SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
- DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ABQ. STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHEREVER POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ABQ. ZONING CODE.
- BUS ROUTE #140 AND 141 RUNS ALONG BALLOON FIESTA PARKWAY & SAN MATEO DRIVE NE. TRANSIT STOPS ARE LOCATED WITHIN 600 FEET OF THE DEVELOPMENT.
- SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- THERE ARE NO EXISTING STRUCTURES WITHIN 20' OF SITE.
- AT GROUND MOUNTED TRANSFORMER LOCATIONS WHERE LANDSCAPE MAY INTERFERE, ADEQUATE CLEARANCES WILL BE PROVIDED AS PER PNM REQUIREMENTS.

**KEYED NOTES**

- PROPERTY LINE.
- BUILDING SETBACK.
- LANDSCAPED AREA: SEE LANDSCAPE PLAN FOR EXACT CALCULATIONS.
- EXISTING LANDSCAPE: SEE LANDSCAPE PLAN.
- EXISTING FIRE HYDRANT: SEE CIVIL.
- RETAINING WALL WITH 42" STEEL FENCE: SEE DETAIL 6 ON SHEET 5b.
- BUS STOP / SHELTER, 5'W X 20' L, TYPE C AS PER CITY OF ABQ. DESIGN STANDARD 2355 WITH ASSOCIATED BENCH AND TRASH CAN.
- EXISTING CONCRETE SIDEWALK.
- CONCRETE SIDEWALK.
- 6'-0" WIDE CONCRETE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING; SEE SHEET 6 DETAIL B5.
- STEEL BIKE RACK WITH FIVE BICYCLE SPACES; SEE SHEET 6 DETAIL B2.
- ASPHALT PAVING.
- CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES; SEE SHEET 6 DETAIL B4.
- EXISTING CONCRETE CURB AND GUTTER.
- CONCRETE CURB.
- CONCRETE APRON.
- REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; SEE: SHEET 6 DETAIL A4.
- CONCRETE SLAB FOR REFUSE ENCLOSURE.
- CONCRETE SLAB LOADING DOCK FOR DELIVERY TRUCKS AND TRASH COMPACTOR.
- TRASH COMPACTOR FOR SOLID WASTE DISPOSAL.
- 10' HIGH LOADING DOCK SCREEN WALL. SEE SHEET 5d ELEVATION 2B.
- 8yd TRASH DUMPSTER ON CONCRETE PAD (FOR CARDBOARD). TENANT WILL CONTRACT WITH PRIVATE SOLID WASTE COMPANY FOR DUMPSTER AND PERIODIC REMOVAL.
- POLE MOUNTED MOTORCYCLE PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
- MOTORCYCLE PARKING, 4'W X 8' L MINIMUM.
- PAINTED ACCESSIBLE PAVEMENT SYMBOL.
- POLE MOUNTED ACCESSIBLE PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
- CONCRETE WHEEL STOP.
- PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE.
- PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: WHITE.
- POLE MOUNTED PARKING LOT LIGHT, 20' MAX HEIGHT ABOVE FINISH GRADE; SEE SHEET 6 DETAIL A5.
- EXISTING LIGHT POLE.
- 2'-0" CONCRETE SIDEWALK TO BE ADDED TO EXISTING SIDEWALK.
- 5'-0" WOOD BENCH; SEE SHEET 6 DETAIL B1.
- CART CORRAL; SEE SHEET 6 DETAIL D1.
- EXPECTANT MOTHER PARKING
- POLE MOUNTED EXPECTANT MOTHER PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
- EXISTING MONUMENT SIGN, SEE SHEET 5b ELEVATION 5.
- LITTER RECEPTACLE; SEE SHEET 6 DETAIL A1.
- STEEL STAIR PAINTED TO MATCH BUILDING; SEE SHEET 5d ELEVATION 2A.
- NEW DRIVE PAD, SEE CIVIL.
- PROPOSED NEW PROPERTY LINE.
- EXISTING INTERSECTION WITH STOP SIGNS.
- EXISTING INTERSECTION WITH TRAFFIC LIGHT / SIGNAL.
- CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE.
- SIDEWALK WIDTH: 10' minus 2" VEHICLE OVERHANG ON BOTH SIDES = 6" CLEAR SIDEWALK.
- PUBLIC SPACE OUTDOOR SEATING AREA: 300sf CONCRETE PAD WITH 200sf OF LANDSCAPE FEATURE IN CENTER OF CONCRETE PAD, REFER TO LANDSCAPE PLAN.
- SHADE CANOPY ABOVE PUBLIC SPACE OUTDOOR SEATING AREA: 200sf; SEE SHEET 5e ELEVATION 4A.
- OUTDOOR SEATING AREA: 262sf.
- CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES, SEE SHEET 6 DETAIL C4.
- PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 10' PNM EASEMENT FILED 6/18/2004, BK: A78, PAGE 5061, DOC. NO. 2004085286.
- PER ALTA SURVEY DATED: FEBRUARY 2008: EXISTING 30'-0" OFFICE DEPOT NON-EXCLUSIVE EASEMENT, FILED 5/16/2003, BK: A56, PAGE 1795, DOC. NO. 20030081969.
- PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 7' PNM EASEMENT FILED 8/26/1969, BK: MISC. 148 PAGE 166, DOC NO. 47509 FILED 4/04/1973 VOL. C9, PAGE 65.
- PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 10' PNM EASEMENT FILED 6/19/1964, BK: D748, PAGE 676, DOC. NO. 3359.
- PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 50' EASEMENT FILED 5/17/1955 VOL. C3, FOLIO 09, VACATION ORDINANCE NO. 2525 ADOPTED 5/12/1964 FILED 7/08/1964 DOC. NO. 6165.
- PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 20' EASEMENT FILED 5/17/1955 VOL. C3, FOLIO 09, VACATION ORDINANCE NO. 2525 ADOPTED 5/12/1964 FILED 7/08/1964 DOC. NO. 6165.
- PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 5' EASEMENT FILED 5/17/1955 VOL. C3, FOLIO 09.
- PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 10' EASEMENT FILED 5/17/1955 VOL. C3, FOLIO 09.
- PARALLEL PARKING SPACE.
- ON-STREET PARKING SPACE.
- FIRE HYDRANT, SEE CIVIL.

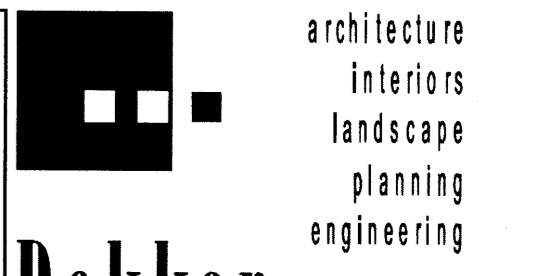
**PROJECT NUMBER:** \_\_\_\_\_

**APPLICATION NUMBER:** \_\_\_\_\_

Is an Infrastructure List Required? ( ) Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



**Dekker Perich Sabatini**  
7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT  
ENGINEER  
PROJECT

Plaza at San Mateo  
San Mateo Blvd. NE and Prospect Avenue NE  
Albuquerque, NM 87110

REVISIONS

△	
△	
△	
△	

DRAWN BY \_\_\_\_\_  
REVIEWED BY \_\_\_\_\_  
DATE January 12, 2012  
PROJECT NO. 11-0039  
DRAWING NAME  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
SHEET NO. 1 OF

**GENERAL SHEET NOTES**

- A. PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC R.O.W. WILL BE CONSTRUCTED PER CITY OF ABQ. STANDARD DRAWING #2426.
- B. THE PROJECT WILL BE CONSTRUCTED ALL AT ONCE, IT WILL NOT BE PHASED.
- C. ALTERNATIVE TRANSPORTATION FACILITIES: THE PROJECT WILL INCORPORATE SIDEWALKS AND BIKE RACKS.
- D. REFER TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT PACKAGE FOR CONCEPTUAL UTILITIES PLAN.
- E. DESIGN STANDARDS ARE NOT PROVIDED. REFER TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT PACKAGE FOR SPECIFIC SITE AND BUILDING DESIGN INFORMATION.
- F. PEDESTRIAN / BICYCLE INGRESS AND EGRESS: ALONG PROSPECT AVENUE THE EXISTING SIDEWALK WILL BE REMOVED AND REPLACED WITH A NEW 6' WIDE SIDEWALK. ALONG QUINCY STREET, A 2' SIDEWALK WILL BE ADDED TO THE EXISTING 4' SIDEWALK TO CREATE A 6' WIDE SIDEWALK. AT THE CORNER OF PROSPECT AVENUE AND QUINCY STREET, A NEW ADA ACCESSIBLE RAMP WILL BE CONSTRUCTED. A NEW PEDESTRIAN SIDEWALK HAS BEEN ADDED FROM PROSPECT AVENUE CONNECTING TO THE SIDEWALK IN FRONT OF OUTLOT A TO CONNECT TO ALL INTERNAL SIDEWALKS. BICYCLE RACKS ARE INCLUDED IN FRONT OF ALL BUILDINGS AS SHOWN ON THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.
- G. ALL IMPROVEMENTS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY.

**KEYED NOTES**

- 1. PROPERTY LINE.
- 2. PROPOSED NEW PROPERTY LINE.
- 3. BUILDING SETBACK.
- 4. not used
- 5. PROPOSED DRIVEWAY.
- 6. EXISTING DRIVEWAY.
- 7. PROPOSED RETAINING WALL.
- 8. EXISTING MONUMENT SIGN.
- 9. DELIVERY VEHICLE ROUTE INGRESS AND EGRESS; TRUCK SIZE: WB 50.
- 10. DELIVERY VEHICLE ROUTE INGRESS AND EGRESS; TRUCK SIZE: WB 40.
- 11. BUS STOP / SHELTER, REFER TO SITE DEVELOPMENT PLAN KEYNOTE 7.
- 12. PER ALTA SURVEY DATED: SEPTEMBER 2011; EXISTING 10' PNM EASEMENT FILED 6/18/2004, BK: A79, PAGE 5061, DOC. NO. 2004085286.
- 13. THE EXISTING NON-EXCLUSIVE ACCESS EASEMENT GRANTED ON SEPTEMBER 14, 2004 IN BOOK A83, PAGE 8617, AS DOC. NO. 2004128974, BERNALILLO COUNTY AND RESTATED IN THE MEMORANDUM OF LEASE RECORDED ON MAY 15, 2008 IN BOOK A56, PAGE 1796, BERNALILLO COUNTY IS HEREBY REPLACED WITH A NON-EXCLUSIVE PRIVATE CROSS ACCESS EASEMENT LIMITED TO THE ESTABLISHED DRIVEWAY AISLES WITHIN TRACTS A-1 AND A-2 GRANTED WITH THE FILING OF THE PLAT. OWNERS OF TRACT A-1 AND A-2 ARE RESPONSIBLE FOR MAINTAINING THE PORTION OF THIS EASEMENT LOCATED WITHIN THEIR RESPECTIVE TRACT.
- 14. PER ALTA SURVEY DATED: SEPTEMBER 2011; EXISTING 7' PNM EASEMENT FILED 8/28/1969, BK: MISC. 148 PAGE 166, DOC NO. 47509 FILED 4/04/1973 VOL. C9, PAGE 65.
- 15. PRIVATE DRAINAGE EASEMENT, RE: CIVIL.
- 16. EXISTING 50' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATION ORDINANCE #2525 ADOPTED 5/12/1964 FILED 7/8/1964 DOC #2004085286, VACATED BY VACATION ACTION 012DRB.
- 17. EXISTING 20' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATION ORDINANCE #2525 ADOPTED 5/12/1964 FILED 7/8/1964 DOC #6165, VACATED BY VACATION ACTION 012DRB.
- 18. EXISTING 5' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATED BY VACATION ACTION 012DRB.
- 19. EXISTING 10' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATED BY VACATION ACTION 012DRB.

**LEGEND**

- PEDESTRIAN INGRESS / EGRESS
- ↓ PROPOSED VEHICULAR INGRESS / EGRESS
- ↔ EXISTING VEHICULAR INGRESS / EGRESS
- EXIST. EXIST.

**SITE INFORMATION**

LEGAL DESCRIPTION  
NORTHERLY PORTION OF TRACT A OF VIDAS SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NM, FILED: MAY 4, 1973, MAP BOOK C9

TOTAL SITE AREA: 239,530 SF = 5.5 ACRES  
GROSS F.A.R. (G.B.A / SITE AREA) = EXISTING OFFICE DEPOT: 13,487 SF  
PROPOSED DEVELOPMENT: 69,425 SF  
82,912 SF / 239,530 SF = .35

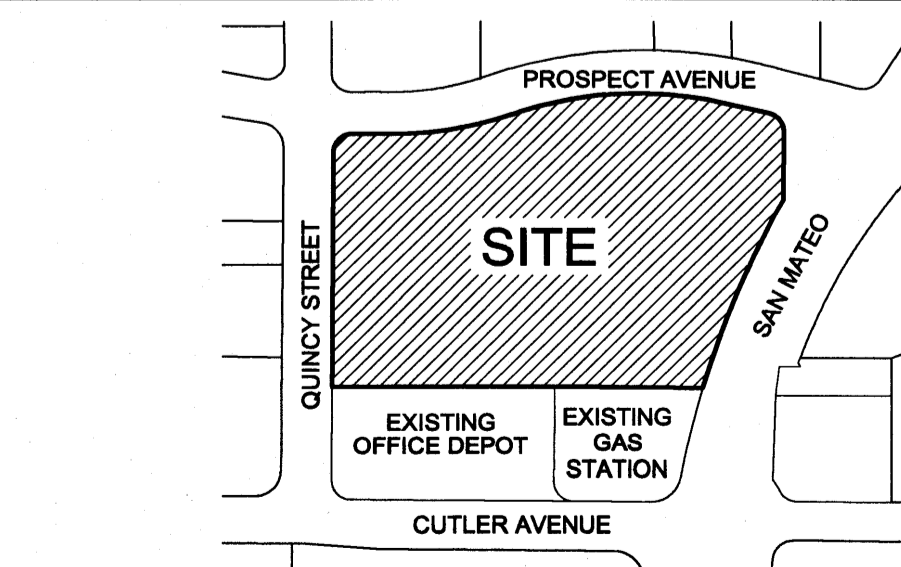
EXISTING ZONING: C-2 (SC) PROPOSED USE: SHOPPING CENTER  
MAXIMUM BUILDING HEIGHT: PER C-2 ZONING = 26'-0"  
MAXIMUM BUILDING SETBACK: PER C-2 ZONING = 11'-0" AT EAST PROPERTY LINE

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

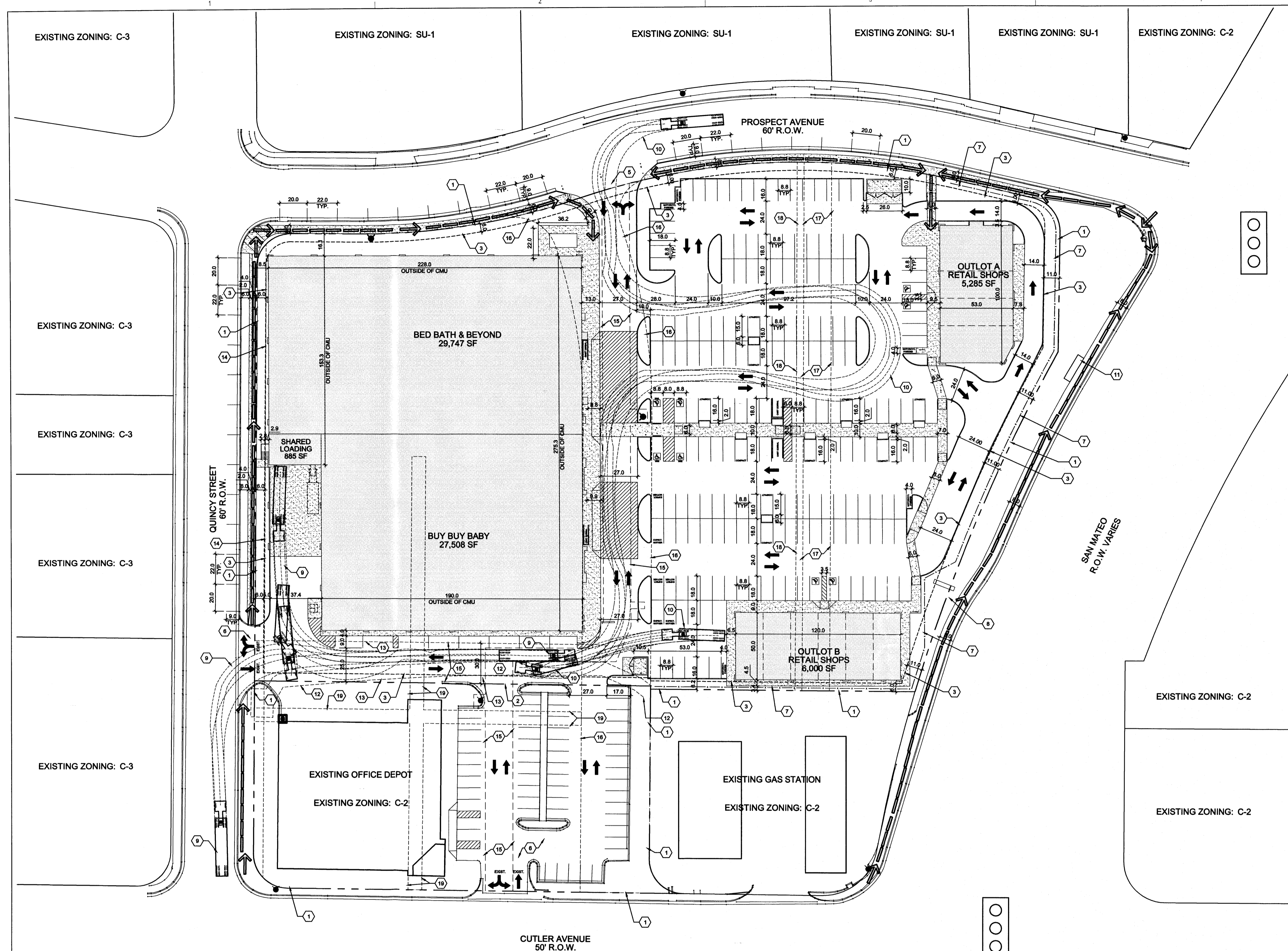
Is an Infrastructure List Required? ( ) Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

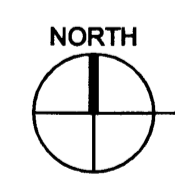
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



**VICINITY MAP**  
1" = 500' Zone Atlas Page: H-17-Z 0 250' 500'



**OVERALL SITE PLAN**  
1" = 40' 0 20' 40' 80'

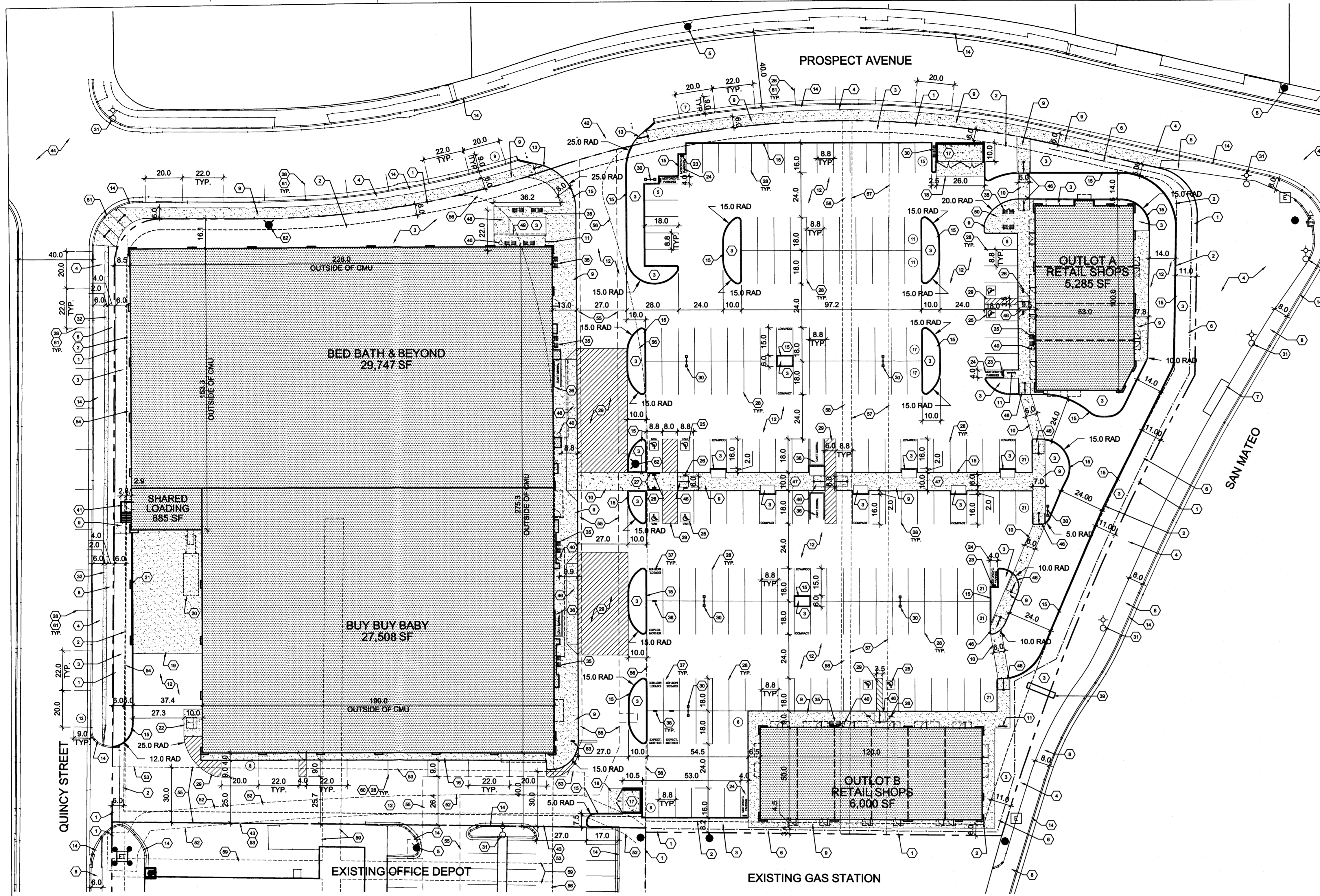


**GENERAL SHEET NOTES**

- A. SEE CIVIL PLANS FOR GRADING, DRAINAGE, UTILITY AND CURB CUT LOCATIONS INFO.
- B. PARKING AREA SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
- C. DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ABQ. STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHEREVER POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- E. ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- F. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ABQ. ZONING CODE.
- G. BUS ROUTE #140 AND 141 RUNS ALONG BALLOON FIESTA PARKWAY & SAN MATEO DRIVE NE. TRANSIT STOPS ARE LOCATED WITHIN 600 FEET OF THE DEVELOPMENT.
- H. SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- I. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- J. THERE ARE NO EXISTING STRUCTURES WITHIN 20' OF SITE.
- K. AT GROUND MOUNTED TRANSFORMER LOCATIONS WHERE LANDSCAPE MAY INTERFERE, ADEQUATE CLEARANCES WILL BE PROVIDED AS PER PNM REQUIREMENTS.
- L. ROOF DRAINS ON WEST SIDE OF BED BATH & BEYOND / BUY BUY BABY BUILDING WILL DRAIN TO QUINCY STREET THROUGH SIDEWALK CULVERTS. FINAL LOCATION OF THE SIDEWALK CULVERTS TO BE DETERMINED AT BUILDING PERMIT.

**KEYED NOTES**

- 1. PROPERTY LINE.
- 2. BUILDING SETBACK.
- 3. LANDSCAPED AREA; SEE LANDSCAPE PLAN FOR EXACT CALCULATIONS.
- 4. EXISTING LANDSCAPE; SEE LANDSCAPE PLAN.
- 5. EXISTING FIRE HYDRANT; SEE CIVIL.
- 6. RETAINING WALL WITH 42" STEEL FENCE; SEE DETAIL 6 ON SHEET 5b.
- 7. BUS STOP / SHELTER, 5W x 20L, TYPE A AS PER CITY OF ABQ. DESIGN STANDARD 2355 WITH ASSOCIATED BENCH AND TRASH CAN.
- 8. EXISTING CONCRETE SIDEWALK.
- 9. CONCRETE SIDEWALK.
- 10. 6'-0" WIDE CONCRETE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING; SEE SHEET 6 DETAIL B5.
- 11. STEEL BIKE RACK WITH FIVE BICYCLE SPACES; SEE SHEET 6 DETAIL B2.
- 12. ASPHALT PAVING.
- 13. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES; SEE SHEET 6 DETAIL B4.
- 14. EXISTING CONCRETE CURB AND GUTTER.
- 15. CONCRETE CURB.
- 16. CONCRETE APRON.
- 17. REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; SEE: SHEET 6 DETAIL A4.
- 18. CONCRETE SLAB FOR REFUSE ENCLOSURE.
- 19. CONCRETE SLAB LOADING DOCK FOR DELIVERY TRUCKS AND TRASH COMPACTOR.
- 20. TRASH COMPACTOR FOR SOLID WASTE DISPOSAL.
- 21. 10' HIGH LOADING DOCK SCREEN WALL. SEE SHEET 5d ELEVATION 2b.
- 22. 8yd TRASH DUMPSTER ON CONCRETE PAD (FOR CARDBOARD). TENANT WILL CONTRACT WITH PRIVATE SOLID WASTE COMPANY FOR DUMPSTER AND PERIODIC REMOVAL.
- 23. POLE MOUNTED MOTORCYCLE PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
- 24. MOTORCYCLE PARKING, 4W x 8L MINIMUM.
- 25. PAINTED ACCESSIBLE PAVEMENT SYMBOL.
- 26. POLE MOUNTED ACCESSIBLE PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
- 27. 6" CONCRETE WHEEL STOP.
- 28. PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE.
- 29. PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: WHITE.
- 30. POLE MOUNTED PARKING LOT LIGHT, 20' MAX HEIGHT ABOVE FINISH GRADE; SEE SHEET 6 DETAIL A5.
- 31. EXISTING LIGHT POLE.
- 32. 2'-0" CONCRETE SIDEWALK TO BE ADDED TO EXISTING SIDEWALK.
- 35. 6'-0" WOOD BENCH; SEE SHEET 6 DETAIL B1.
- 36. CART CORRAL; SEE SHEET 6 DETAIL D1.
- 37. EXPECTANT MOTHER PARKING.
- 38. POLE MOUNTED EXPECTANT MOTHER PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
- 39. EXISTING MONUMENT SIGN, SEE SHEET SHEET 5b ELEVATION 5.
- 40. LITTER RECEPTACLE; SEE SHEET 6 DETAIL A1.
- 41. STEEL STAIR PAINTED TO MATCH BUILDING; SEE SHEET 5d ELEVATION 2a.
- 42. NEW DRIVE PAD, SEE CIVIL.
- 43. PROPOSED NEW PROPERTY LINE.
- 44. EXISTING INTERSECTION WITH STOP SIGNS.
- 45. EXISTING INTERSECTION WITH TRAFFIC LIGHT / SIGNAL.
- 46. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE.
- 47. SIDEWALK WIDTH: 10' MINUS 2' VEHICLE OVERHANG ON BOTH SIDES = 6' CLEAR SIDEWALK.
- 48. PUBLIC SPACE OUTDOOR SEATING AREA: 800sf CONCRETE PAD WITH 200sf OF LANDSCAPE FEATURE IN CENTER OF CONCRETE PAD, REFER TO LANDSCAPE PLAN.
- 49. SHADE CANOPY ABOVE PUBLIC SPACE OUTDOOR SEATING AREA: 200sf; SEE SHEET 5e ELEVATION 4a.
- 50. OUTDOOR SEATING AREA: 262sf.
- 51. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES, SEE SHEET 6 DETAIL C4.
- 52. PER ALTA SURVEY DATED: SEPTEMBER 2011; EXISTING 10' PNM EASEMENT FILED 6/18/2004, BK: A79, PAGE 5061, DOC. NO. 2004085286.
- 53. THE EXISTING NON-EXCLUSIVE ACCESS EASEMENT GRANTED ON SEPTEMBER 14, 2004 IN BOOK A83, PAGE 8617, AS DOC. NO. 2004128974, BERNALILLO COUNTY AND RESTATED IN THE MEMORANDUM OF LEASE RECORDED ON MAY 15, 2008 IN BOOK A56, PAGE 1795, BERNALILLO COUNTY IS HEREBY REPLACED WITH A NON-EXCLUSIVE PRIVATE CROSS ACCESS EASEMENT LIMITED TO THE ESTABLISHED DRIVEWAY AISLES WITHIN TRACTS A-1 AND A-2 GRANTED WITH THE FILING OF THE PLAT. OWNERS OF TRACT A-1 AND A-2 ARE RESPONSIBLE FOR MAINTAINING THE PORTION OF THIS EASEMENT LOCATED WITHIN THEIR RESPECTIVE TRACT.
- 54. PER ALTA SURVEY DATED: SEPTEMBER 2011; EXISTING 7' PNM EASEMENT FILED 8/28/1969, BK: MSC, 148 PAGE 166, DOC. NO. 47508 FILED 4/04/1973 VOL. C9, PAGE 65.
- 55. PRIVATE DRAINAGE EASEMENT, RE: CIVIL.
- 56. EXISTING 50' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATION ORDINANCE #2525 ADOPTED 5/12/1964 FILED 7/8/1964 DOC #2004085286, VACATED BY VACATION ACTION 012DRB.
- 57. EXISTING 20' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATION ORDINANCE #2525 ADOPTED 5/12/1964 FILED 7/8/1964 DOC #8165, VACATED BY VACATION ACTION 012DRB.
- 58. EXISTING 9' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATED BY VACATION ACTION 012DRB.
- 59. EXISTING 10' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATED BY VACATION ACTION 012DRB.
- 60. PARALLEL PARKING SPACE.
- 61. ON-STREET PARKING SPACE (STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY).
- 62. FIRE HYDRANT, SEE CIVIL.
- 63. STOP SIGN.



**OVERALL SITE PLAN**  
1" = 30'  
0 15' 30' 60'

**PARKING INFORMATION**

CUMULATIVE SF	BUILDING	SQUARE FEET	PARKING REQ'D APPLIED	REQ'D PARKING
15,000	Buy Buy Baby (27,508 sf + 442 sf of shared Loading Area = 27,950 sf total)			
20,893	Public Sales Area (total of 20,893)	15,000	1/200 for 1st 15,000	75
25,443	Stock/Storage	5,893	1/250 for 15,001-60,000	24
27,950	Office/Toilets/Walls/Unoccupied	4,550	1/1,000 for stock/storage	5
		2,507	1/250 for office/RR/unocc	10
27,950	Bed Bath & Beyond (29,747 sf + 443 sf of shared Loading Area = 30,190 sf total)			
52,065	Public Sales Area (total of 24,115)	24,115	1/250 for 15,001-60,000	96
55,427	Stock/Storage	3,362	1/1,000 for stock/storage	3
58,140	Office/Toilets/Walls/Unoccupied	2,713	1/250 for office/restroom/unocc.	11
58,140	Outlot A Building (5,285 sf total)			
59,919	Coffee (w/drive-thru)(+25 seats)	1,779	1 per 4 seats	6
63,425	Retail shops	3,506	1/300 for over 60,000	12
63,425	Outlot B Building (6,000 sf total)			
69,425	Retail shops	6,000	1/300 for over 60,000	20
			TOTAL REQUIRED: 262	
			TRANSIT REDUCTION (10%): -26	
			BUS SHELTER REDUCTION (6%): -13	
			TOTAL REQUIRED: 223	
			TOTAL PROVIDED (OFF-STREET): 209	
			TOTAL PROVIDED (ON-STREET): 28 / 2 = 14	
			TOTAL PROVIDED: 223	
			HANDICAP PARKING STALLS REQUIRED: 101-300 PARKING STALLS: 8 HC STALLS REQUIRED (2 VAN ACCESSIBLE)	
			PROVIDED: 8 HC STALLS (4 VAN ACCESSIBLE)	
			MOTORCYCLE PARKING REQUIRED: 151-300 PARKING STALLS: 5 SPACES REQUIRED.	
			PROVIDED: 5 SPACES	
			BICYCLE PARKING REQUIRED: 1 PER 20 PARKING SPACES: TOTAL: 200 / 20 = 10 SPACES	
			PROVIDED: 15 SPACES	

**SITE INFORMATION**

**LEGAL DESCRIPTION**  
NORTHERLY PORTION OF TRACT A OF VIDAS SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NM, FILED: MAY 4, 1973, MAP BOOK C9

ZONE ATLAS MAP NUMBER: H-17-Z      PRESENT ZONING: C-2 (SC)

**GROSS BUILDING AREA (GBA):**  
BUY BUY BABY - RETAIL (1 STORY) = 27,950 sf  
BED BATH & BEYOND - RETAIL (1 STORY) = 30,190 sf  
SHARED LOADING: 885 sf  
OUTLOT A - RETAIL (1 STORY) = 5,285 sf  
OUTLOT B - RETAIL (1 STORY) = 6,000 sf  
TOTAL = 69,425 sf

TOTAL SITE AREA: 195,771 SF = 4.5 ACRES  
GROSS F.A.R. (GBA / SITE AREA) = 69,425 / 195,771 = .35

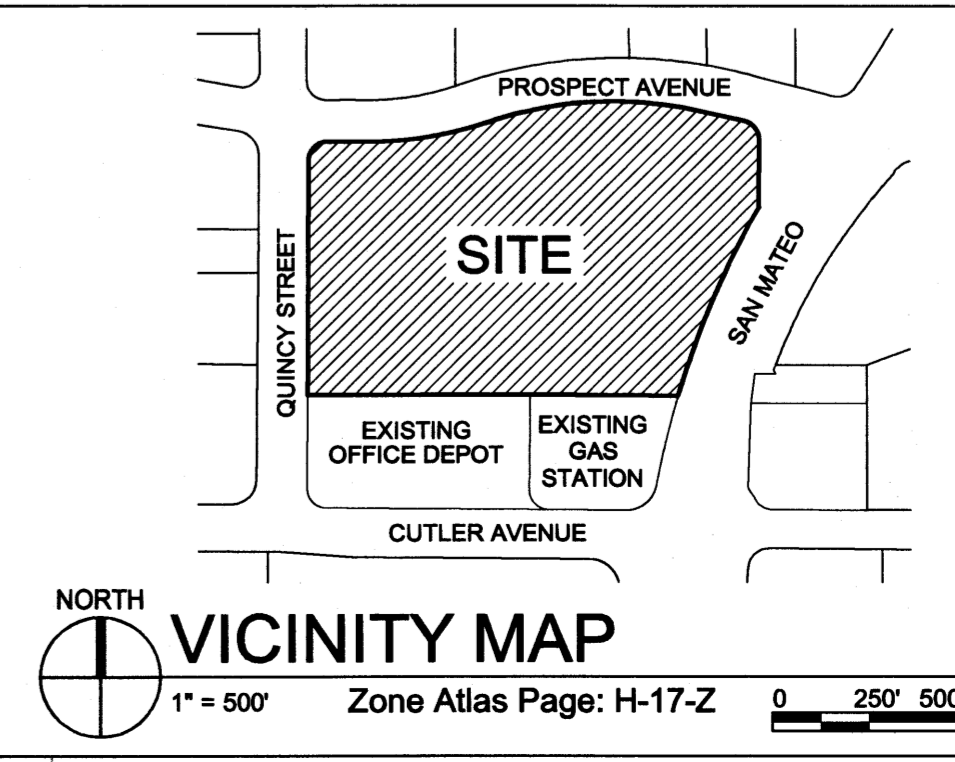
**PROJECT NUMBER:** \_\_\_\_\_

**APPLICATION NUMBER:** \_\_\_\_\_

Is an Infrastructure List Required? ( ) Yes ( x ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

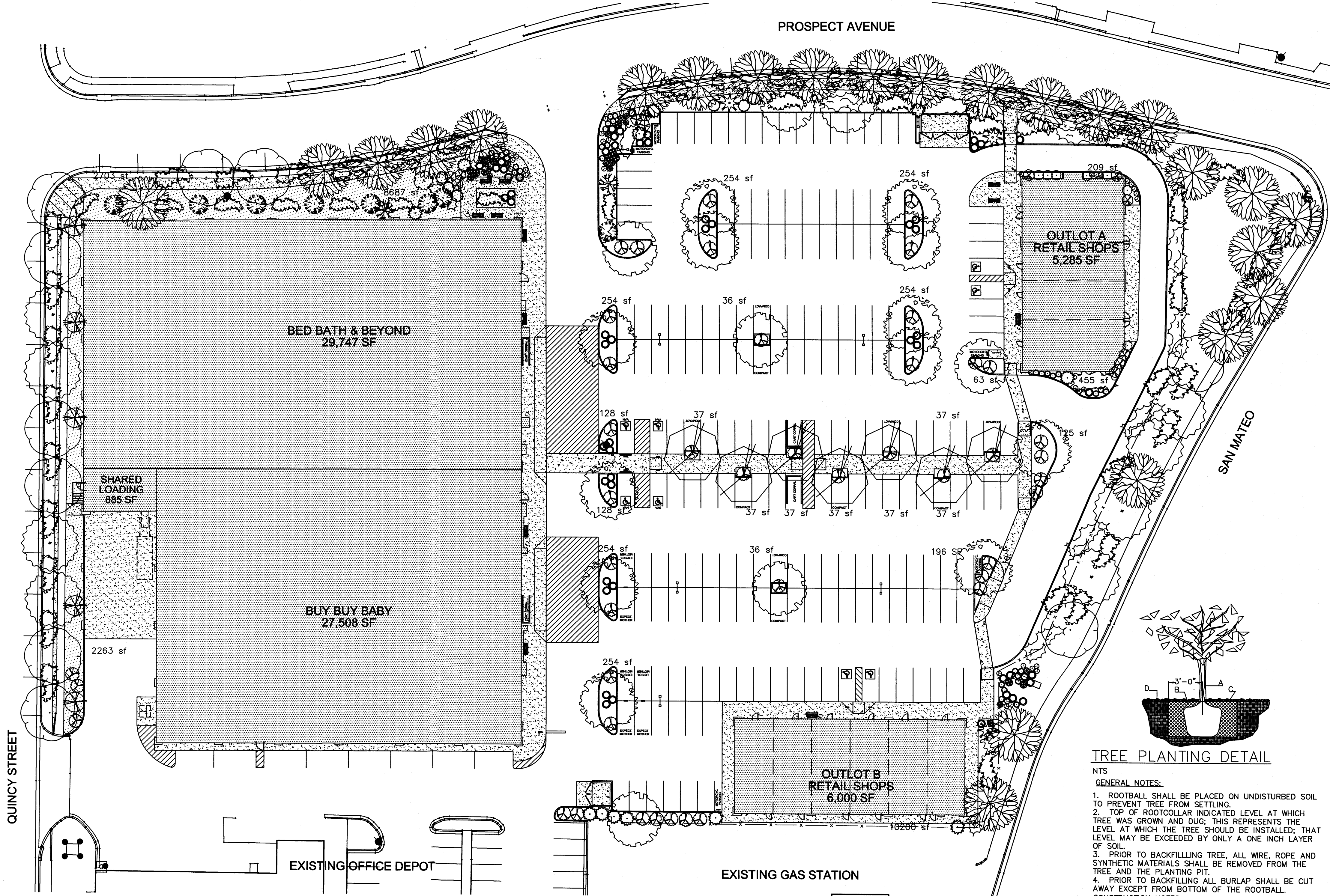
**DRB SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



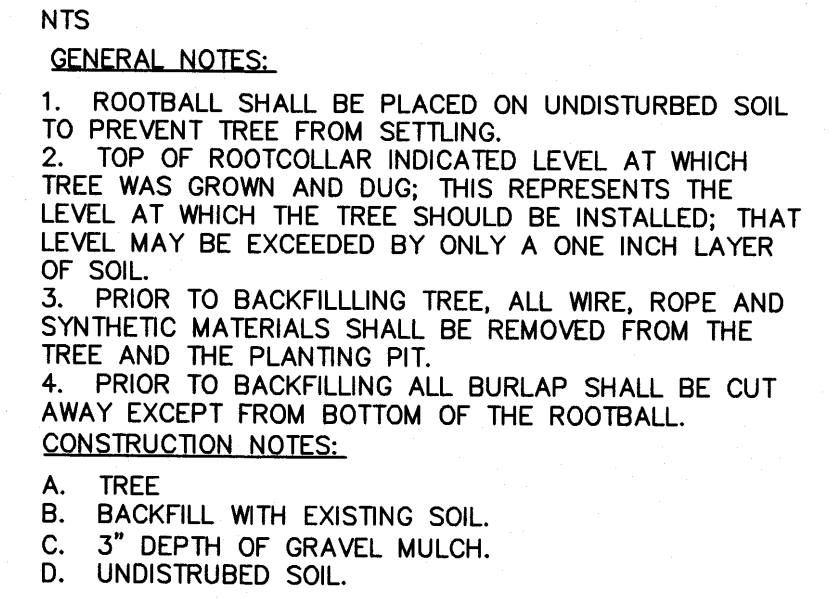
**VICINITY MAP**  
1" = 500'      Zone Atlas Page: H-17-Z      0 250' 500'



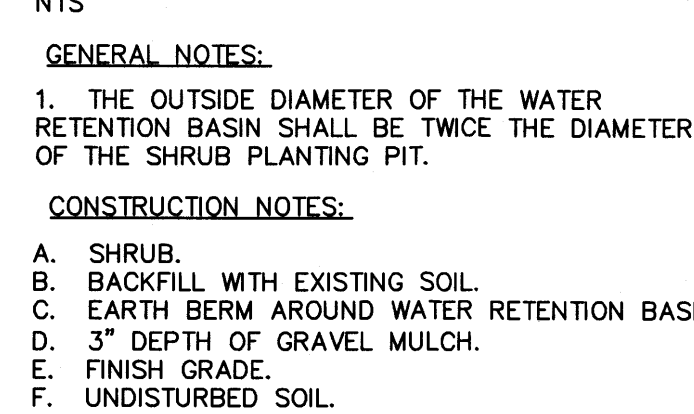


- AUTUMN BLAZE MAPLE 7  
Acer freemanii Autumn, Blooms maturity  
Water (M) Allergy (L) 0sf
- CHITALPA 12  
Catalpa x Crotalaria  
Water (M) Allergy (L) 30' x 30' maturity  
(Parking Lot Tree)
- COMMON HACKBERRY 7  
Celtis occidentalis  
Water (M) Allergy (L) 0sf
- PARNEY COTONEASTER 5  
Cotoneaster lucidus  
5 Gal., 2'-4" Inst./8' x 12' maturity  
Water (M) Allergy (L) 144sf
- WILLOWLEAF COTONEASTER 8  
Cotoneaster salicifolius  
5 Gal., 2'-4" Inst./6' x 10' maturity  
Water (M) Allergy (L) 100sf
- SPANISH BROOM 2  
Genista hispanica  
5 Gal., 2'-4" Inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf
- BUTTERFLY BUSH 1  
Buddleja davidii  
5 Gal., 2'-4" Inst./10' x 10' maturity  
Water (M) Allergy (L) 9sf
- ROSE OF SHARON 3  
Hibiscus syriacus  
5 Gal., 2'-4" Inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf
- PHOTINIA 13  
Photinia fraseri  
5 Gal., 2'-4" Inst./8' x 8' maturity  
Water (M+) Allergy (L) 64sf
- THREE-LEAF SUMAC 6  
Rhus trilobata  
5 Gal., 18"-3" Inst./6' x 6' maturity  
Water (L+) Allergy (L) 36sf
- INDIAN HAWTHORN 12  
Rhamnus indica  
5 Gal., 18"-3" Inst./6' x 6' maturity  
Water (M) Allergy (L) 36sf
- JAPANESE PAGODA TREE 8  
Sophora japonica  
Water (M) Allergy (L) 0sf
- EASTERN REDBUD 10  
Cereus canadensis  
2 Gal., 10" Inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf
- EXISTING ASH TREES TO REMAIN
- NANDINA 7  
Nandina domestica  
5 Gal., 2'-4" Inst./8' x 5' maturity  
Water (M+) Allergy (L) 25sf
- REGAL MIST 10  
Muhlenbergia capillaris  
5 Gal., 12"-3" Inst./3' x 3' maturity  
Water (M) Allergy (L) 9sf
- MUGO PINE 40  
Pinus mugo  
5 Gal., 12"-3" Inst./3' x 3' maturity  
Water (M) Allergy (L) 9sf
- BLUE MIST SPIREA 17  
Spiraea clematandra  
5 Gal., 12"-3" Inst./3' x 3' maturity  
Water (M) Allergy (L) 9sf
- TURPENTINE BUSH 16  
Ericameria laevis  
1 Gal., 8"-15" Inst./3' x 4" maturity  
Water (L+) Allergy (L) 16sf
- CATMINT 32  
Nepeta mussini  
1 Gal., 3"-15" Inst./1' x 2' maturity  
Water (M) Allergy (L) 4sf
- WILDFLOWER 33  
1 Gal., 3"-15" Inst./varies at maturity  
Water (varies) Allergy (varies) 4sf
- GREYLEAF COTONEASTER 27  
Cotoneaster glaucophyllus  
5 Gal., 24"-4" Inst./2' x 9' maturity  
Water (M) Allergy (L) 51sf  
Symbol indicates 3 plants
- LADY BANK'S ROSE 28  
Rosa bonicola  
5 Gal., 24"-4" Inst./2' x 20' maturity  
Water (M) Allergy (L) 400sf  
Unstaked Groundcover
- GREEN MOUND JUNIPER 15  
Juniperus procumbens 'Green Mound'  
1 Gal., 8"-15" Inst./8' x 8' maturity  
Water (L+) Allergy (H) 64sf  
Symbol indicates 3 plants
- HONEYSUCKLE 44  
Lonicera japonica 'Hollies'  
1 Gal., 6"-15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstaked Groundcover

**TREE PLANTING DETAIL**



**SHRUB PLANTING DETAIL**



**Netafim Spiral Detail**



**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	195771	square feet
TOTAL BUILDINGS AREA	69425	square feet
NET LOT AREA	126346	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	18951	square feet
TOTAL BED PROVIDED	26813 (21%)	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	20109	square feet
TOTAL GROUNDCOVER PROVIDED	20722 (78%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	26813 (21%)	square feet

**NOTE TO CLIENT:**  
Should the Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, the Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**  
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:  
Name of Street-SAN MATEO  
Required 13 Provided 13 (6 new) Required 17 Provided 17 (2 new)

Name of Street-QUINCY  
Required 10 Provided 10  
**GRAPHIC SCALE**  
30 15 0 15 30  
SCALE: 1"=30'

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**  
Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:  
1 Shade tree per 10 spaces  
Required 26 Provided 26

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

At ground mounted transformer locations where landscape may interfere, adequate clearances will be provided as per PNM requirements.

Only female junipers will be provided.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

**REVISIONS**

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△	
△	

**DRAWN BY**  
**REVIEWED BY**  
**DATE** February 17, 2012  
**PROJECT NO.** 11-0039  
**DRAWING NAME**

**LANDSCAPE PLAN**  
**SHEET NO.**

**GENERAL SHEET NOTES**

- A. PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC R.O.W. WILL BE CONSTRUCTED PER CITY OF ABQ. STANDARD DRAWING #2426.
- B. THE PROJECT WILL BE CONSTRUCTED ALL AT ONCE, IT WILL NOT BE PHASED.
- C. ALTERNATIVE TRANSPORTATION FACILITIES: THE PROJECT WILL INCORPORATE SIDEWALKS AND BIKE RACKS.
- D. REFER TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT PACKAGE FOR CONCEPTUAL UTILITIES PLAN.
- E. DESIGN STANDARDS ARE NOT PROVIDED. REFER TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT PACKAGE FOR SPECIFIC SITE AND BUILDING DESIGN INFORMATION.
- F. PEDESTRIAN / BICYCLE INGRESS AND EGRESS: ALONG PROSPECT AVENUE THE EXISTING SIDEWALK WILL BE REMOVED AND REPLACED WITH A NEW 6' WIDE SIDEWALK. ALONG QUINCY STREET, A 2' SIDEWALK WILL BE ADDED TO THE EXISTING 4' SIDEWALK TO CREATE A 6' WIDE SIDEWALK. AT THE CORNER OF PROSPECT AVENUE AND QUINCY STREET, A NEW ADA ACCESSIBLE RAMP WILL BE CONSTRUCTED. A NEW PEDESTRIAN SIDEWALK HAS BEEN ADDED FROM PROSPECT AVENUE CONNECTING TO THE SIDEWALK IN FRONT OF OUTLOT A TO CONNECT TO ALL INTERNAL SIDEWALKS. BICYCLE RACKS ARE INCLUDED IN FRONT OF ALL BUILDINGS AS SHOWN ON THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

**KEYED NOTES**

- 1. PROPERTY LINE.
- 2. PROPOSED NEW PROPERTY LINE.
- 3. BUILDING SETBACK.
- 4. EXISTING EASEMENTS, REFER TO SITE DEVELOPMENT PLAN KEYNOTE 52 AND 53.
- 5. PROPOSED DRIVEWAY.
- 6. EXISTING DRIVEWAY.
- 7. PROPOSED RETAINING WALL.
- 8. EXISTING MONUMENT SIGN.
- 9. DELIVERY VEHICLE ROUTE INGRESS AND EGRESS; TRUCK SIZE: WB 50.
- 10. DELIVERY VEHICLE ROUTE INGRESS AND EGRESS; TRUCK SIZE: WB 40.
- 11. BUS STOP / SHELTER, REFER TO SITE DEVELOPMENT PLAN KEYNOTE 7.
- 12. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 10' PNM EASEMENT FILED 6/18/2004, BK: A79, PAGE 5061, DOC. NO. 2004085286.
- 13. PER ALTA SURVEY DATED: FEBRUARY 2008: EXISTING 30'-0" OFFICE DEPOT NON-EXCLUSIVE EASEMENT, FILED 5/16/2003, BK: A56, PAGE 1795, DOC. NO. 20030081969.
- 14. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 7' PNM EASEMENT FILED 8/26/1969, BK: MISC, 148 PAGE 106, DOC NO. 47509 FILED 4/04/1973 VOL. C9, PAGE 65.
- 15. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 10' PNM EASEMENT FILED 6/19/1964, BK: D748, PAGE 676, DOC. NO. 3359.
- 16. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 50' EASEMENT FILED 5/17/1955 VOL. C3, FOLIO 09, VACATION ORDIN. NO. 2525 ADOPTED 5/12/1964 FILED 7/08/1964 DOC. NO. 6165.
- 17. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 20' EASEMENT FILED 5/17/1955 VOL. C3 FOLIO 09, VACATION ORDIN. NO. 2525 ADOPTED 5/12/1964 FILED 7/08/1964 DOC. NO. 6165.
- 18. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 5' EASEMENT FILED 5/17/1955 VOL. C3, FOLIO 09.
- 19. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 10' EASEMENT FILED 5/17/1955 VOL. C3, FOLIO 09.

**LEGEND**

- PEDESTRIAN INGRESS / EGRESS
- ↓ ↑ PROPOSED VEHICULAR INGRESS / EGRESS
- ↓ ↑ EXISTING VEHICULAR INGRESS / EGRESS
- EXIST. EXIST.

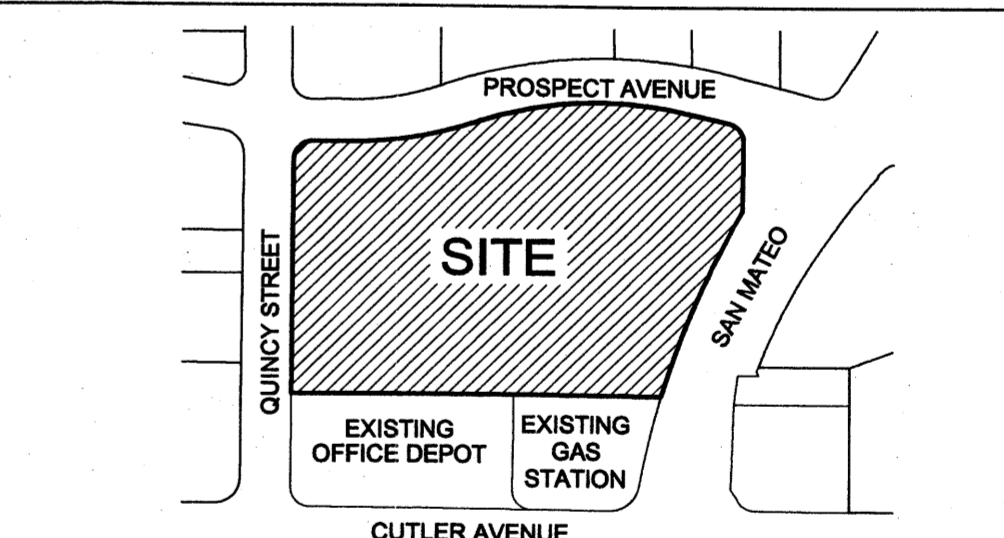
**SITE INFORMATION**

LEGAL DESCRIPTION  
NORTHERLY PORTION OF TRACT A OF VIDAS SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NM, FILED: MAY 4, 1973, MAP BOOK C9

TOTAL SITE AREA: 239,530 SF = 5.5 ACRES  
GROSS F.A.R. (GBA / SITE AREA) = EXISTING OFFICE DEPOT: 13,487 SF  
PROPOSED DEVELOPMENT: 89,425 SF  
82,912 SF / 239,530 SF = .35

EXISTING ZONING: C-2 (SC) PROPOSED USE: SHOPPING CENTER  
MAXIMUM BUILDING HEIGHT: PER C-2 ZONING = 26'-0"  
MAXIMUM BUILDING SETBACK: PER C-2 ZONING = 11'-0" AT EAST PROPERTY LINE

**VICINITY MAP**



**Zone Atlas Page: H-17-Z**  
1" = 500'

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

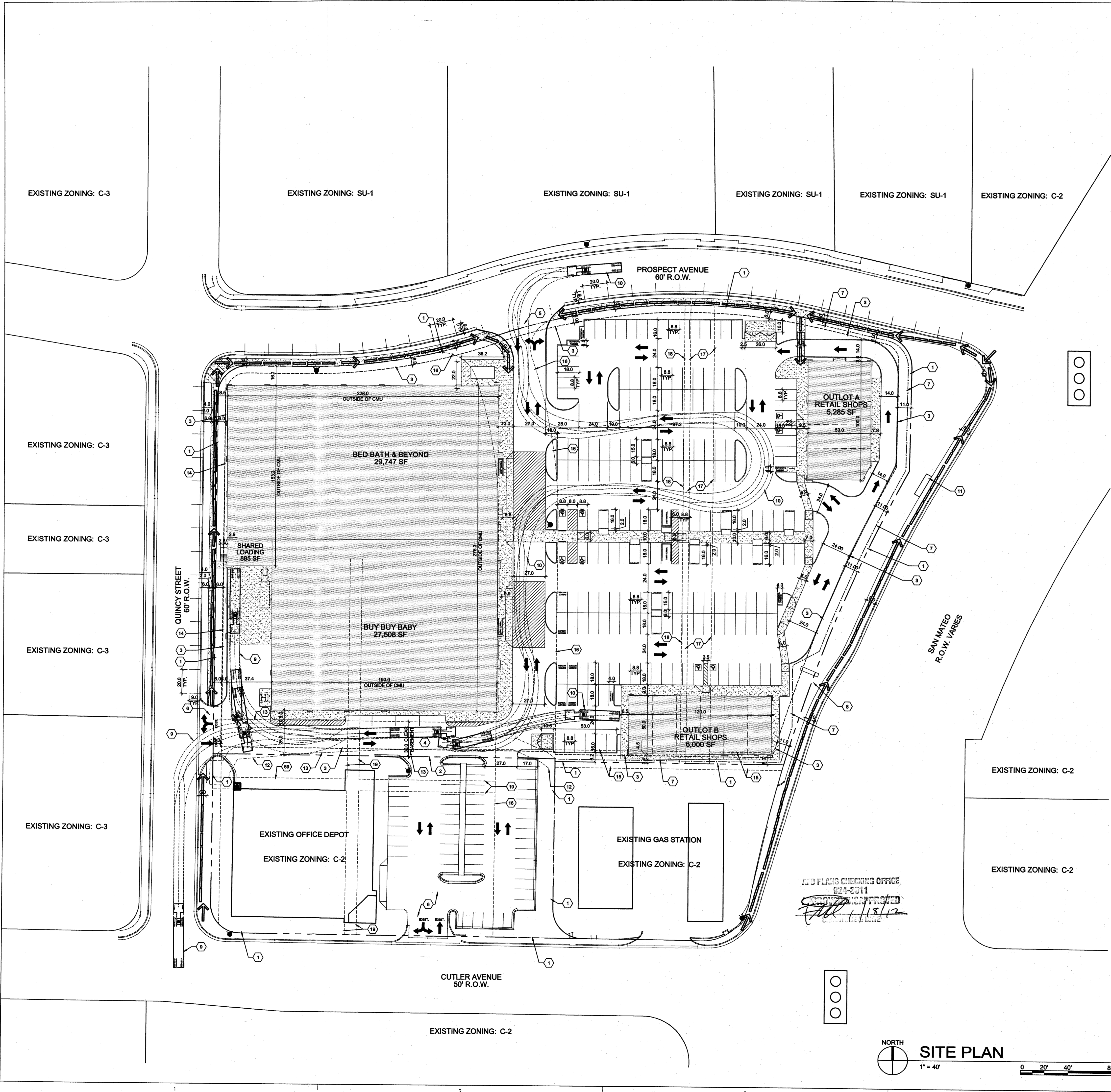
Is an Infrastructure List Required? ( ) Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**SITE PLAN**  
1" = 40'

AND PLANNING CHECKING OFFICE  
624-2011  
APPROVED  
1/12/12



ARCHITECT

ENGINEER

PROJECT

Plaza at San Mateo  
San Mateo Blvd. NE and Prospect Avenue NE  
Albuquerque, NM 87110

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE January 12, 2012

PROJECT NO. 11-0039

DRAWING NAME

**SITE DEVELOPMENT  
PLAN FOR BUILDING  
PERMIT**

SHEET NO.

**GENERAL SHEET NOTES**

- A. SEE CIVIL PLANS FOR GRADING, DRAINAGE, UTILITY AND CURB CUT LOCATIONS INFO.
- B. PARKING AREA SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
- C. DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ABQ. STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHEREVER POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- E. ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- F. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ABQ. ZONING CODE.
- G. BUS ROUTE #140 AND 141 RUNS ALONG BALLOON FIESTA PARKWAY & SAN MATEO DRIVE NE. TRANSIT STOPS ARE LOCATED WITHIN 600 FEET OF THE DEVELOPMENT.
- H. SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- I. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- J. THERE ARE NO EXISTING STRUCTURES WITHIN 20' OF SITE.
- K. AT GROUND MOUNTED TRANSFORMER LOCATIONS WHERE LANDSCAPE MAY INTERFERE, ADEQUATE CLEARANCES WILL BE PROVIDED AS PER PNM REQUIREMENTS.

**KEYED NOTES**

1. PROPERTY LINE.
2. BUILDING SETBACK.
3. LANDSCAPED AREA; SEE LANDSCAPE PLAN FOR EXACT CALCULATIONS.
4. EXISTING LANDSCAPE; SEE LANDSCAPE PLAN.
5. EXISTING FIRE HYDRANT; SEE CIVIL.
6. RETAINING WALL WITH 42" STEEL FENCE. SEE DETAIL 6 ON SHEET 5b.
7. BUS STOP / SHELTER, 5'W x 20', TYPE C AS PER CITY OF ABQ. DESIGN STANDARD 2355 WITH ASSOCIATED BENCH AND TRASH CAN.
8. EXISTING CONCRETE SIDEWALK.
9. CONCRETE SIDEWALK.
10. 6'-0" WIDE CONCRETE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING; SEE SHEET 6 DETAIL B5.
11. STEEL BIKE RACK WITH FIVE BICYCLE SPACES; SEE SHEET 6 DETAIL B2.
12. ASPHALT PAVING.
13. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES; SEE SHEET 6 DETAIL B4.
14. EXISTING CONCRETE CURB AND GUTTER.
15. CONCRETE CURB.
16. CONCRETE APRON.
17. REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; SEE: SHEET 6 DETAIL A4.
18. CONCRETE SLAB FOR REFUSE ENCLOSURE.
19. CONCRETE SLAB LOADING DOCK FOR DELIVERY TRUCKS AND TRASH COMPACTOR.
20. TRASH COMPACTOR FOR SOLID WASTE DISPOSAL.
21. 10' HIGH LOADING DOCK SCREEN WALL. SEE SHEET 5d ELEVATION 2B.
22. 8yd TRASH DUMPSTER ON CONCRETE PAD (FOR CARDBOARD). TENANT WILL CONTRACT WITH PRIVATE SOLID WASTE COMPANY FOR DUMPSTER AND PERIODIC REMOVAL.
23. POLE MOUNTED MOTORCYCLE PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
24. MOTORCYCLE PARKING, 4'W x 8'L MINIMUM.
25. PAINTED ACCESSIBLE PAVEMENT SYMBOL.
26. POLE MOUNTED ACCESSIBLE PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
27. 6" CONCRETE WHEEL STOP.
28. PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE.
29. PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: WHITE.
30. POLE MOUNTED PARKING LOT LIGHT, 20' MAX HEIGHT ABOVE FINISH GRADE; SEE SHEET 6 DETAIL A5.
31. EXISTING LIGHT POLE.
32. 2'-0" CONCRETE SIDEWALK TO BE ADDED TO EXISTING SIDEWALK.
35. 6'-0" WOOD BENCH; SEE SHEET 6 DETAIL B1.
36. CART CORRAL; SEE SHEET 6 DETAIL D1.
37. EXPECTANT MOTHER PARKING.
38. POLE MOUNTED EXPECTANT MOTHER PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
39. EXISTING MONUMENT SIGN. SEE SHEET SHEET 5b ELEVATION 5.
40. LITTER RECEPTACLE; SEE SHEET 6 DETAIL A1.
41. STEEL STAIR PAINTED TO MATCH BUILDING; SEE SHEET 5d ELEVATION 2A.
42. NEW DRIVE PAD. SEE CIVIL.
43. PROPOSED NEW PROPERTY LINE.
44. EXISTING INTERSECTION WITH STOP SIGNS.
45. EXISTING INTERSECTION WITH TRAFFIC LIGHT / SIGNAL.
46. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE.
47. SIDEWALK WIDTH: 10' MINUS 2" VEHICLE OVERHANG ON BOTH SIDES = 6' CLEAR SIDEWALK.
48. PUBLIC SPACE OUTDOOR SEATING AREA: 800sf CONCRETE PAD WITH 200sf OF LANDSCAPE FEATURE IN CENTER OF CONCRETE PAD, REFER TO LANDSCAPE PLAN.
49. SHADE CANOPY ABOVE PUBLIC SPACE OUTDOOR SEATING AREA: 200sf; SEE SHEET 5e ELEVATION 4A.
50. OUTDOOR SEATING AREA: 282sf.
51. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES. SEE SHEET 6 DETAIL C4.
52. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 10' PNM EASEMENT FILED 6/18/2004, BK: A79, PAGE 5061, DOC. NO. 200408286.
53. PER ALTA SURVEY DATED: FEBRUARY 2008: EXISTING 30'-0" OFFICE DEPOSIT NON-EXCLUSIVE EASEMENT, FILED 5/16/2003, BK: A56, PAGE 1795, DOC. NO. 20030081969.
54. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 7' PNM EASEMENT FILED 8/26/1969, BK: MISC, 148 PAGE 186, DOC. NO. 47509 FILED 4/04/1973 VOL. C9, PAGE 65.
55. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 10' PNM EASEMENT FILED 6/19/1964, BK: D748, PAGE 678, DOC. NO. 3359.
56. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 50' EASEMENT FILED 5/17/1955 VOL. C3, FOLIO 09, VACATION ORDIN. NO. 2525 ADOPTED 5/12/1964 FILED 7/08/1964 DOC. NO. 6165.
57. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 20' EASEMENT FILED 5/17/1955 VOL. C3 FOLIO 09, VACATION ORDIN. NO. 2525 ADOPTED 5/12/1964 FILED 7/08/1964 DOC. NO. 6165.
58. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 5' EASEMENT FILED 5/17/1955 VOL. C3, FOLIO 09.
59. PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 10' EASEMENT FILED 5/17/1955 VOL. C3, FOLIO 09.
60. PARALLEL PARKING SPACE.
61. ON-STREET PARKING SPACE.
62. FIRE HYDRANT, SEE CIVIL.

PROJECT NUMBER:

APPLICATION NUMBER:

Is an Infrastructure List Required? ( ) Yes ( x ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

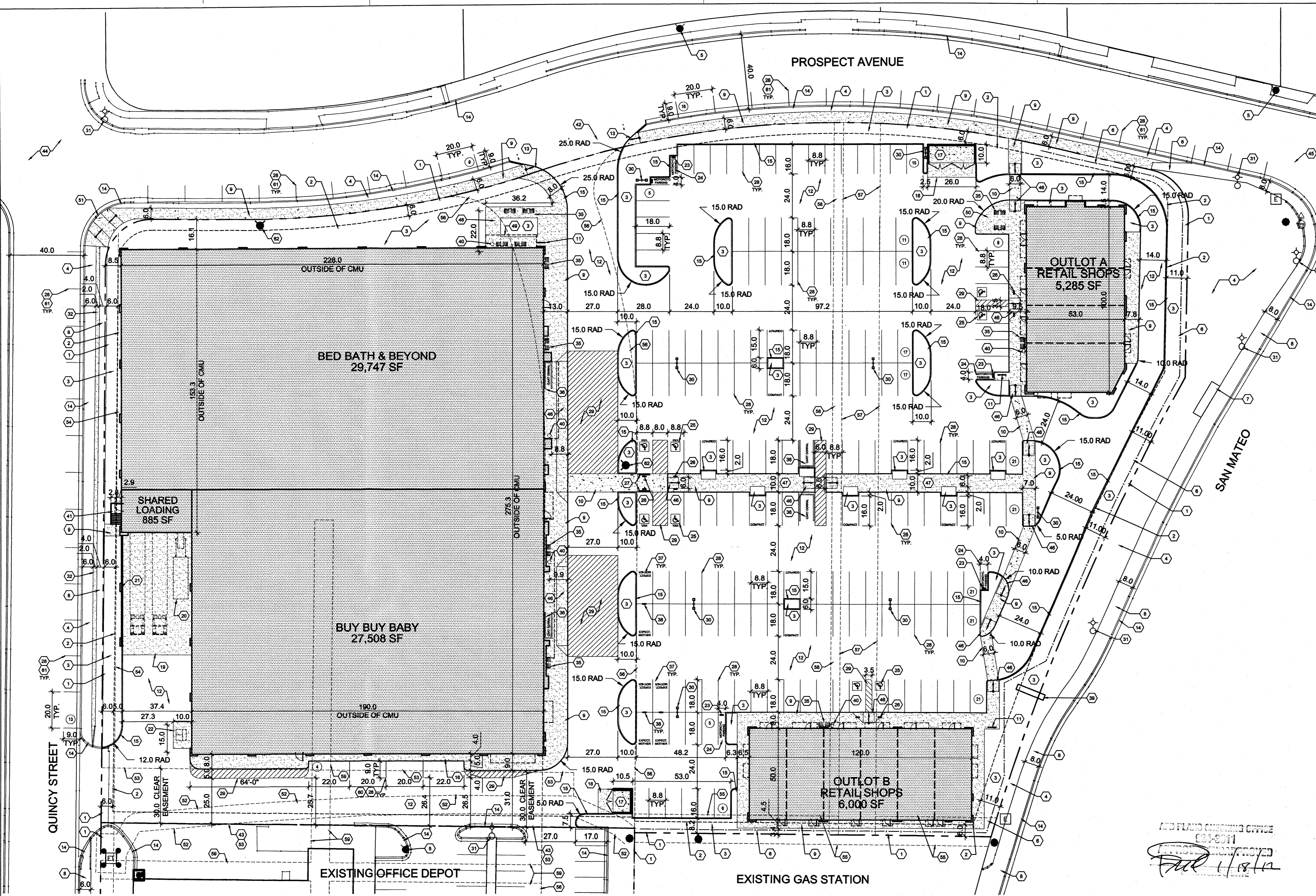
ABCWIA DATE

PARKS AND RECREATION DEPARTMENT DATE

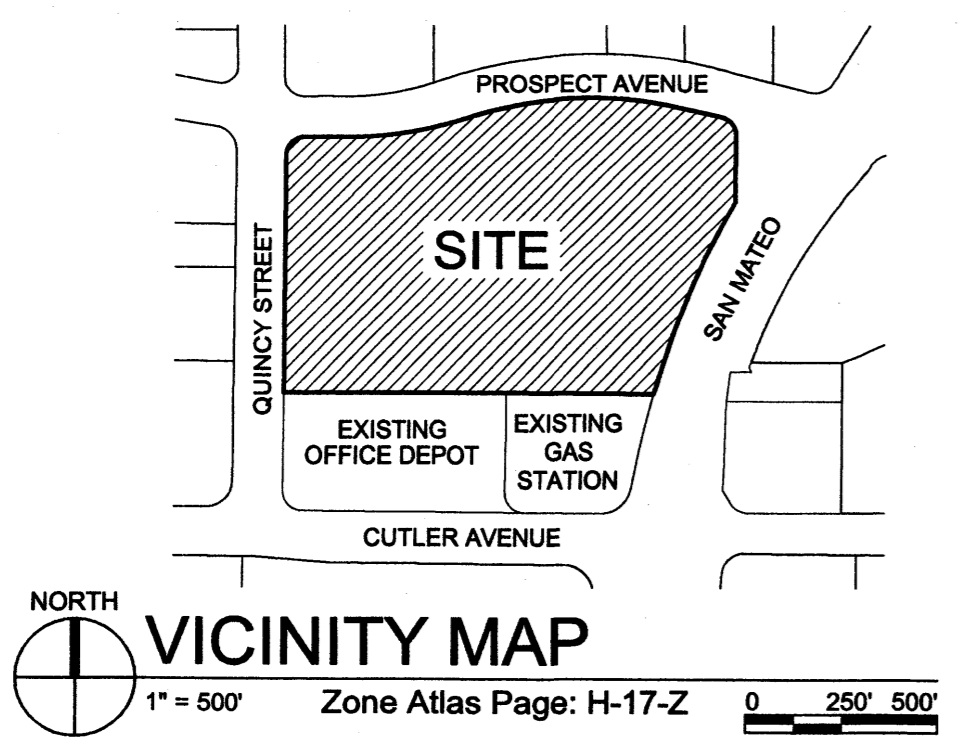
CITY ENGINEER DATE

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE



**OVERALL SITE PLAN**  
1" = 30'



**VICINITY MAP**  
1" = 500' Zone Atlas Page: H-17-Z

**SITE INFORMATION**

LEGAL DESCRIPTION  
NORTHERLY PORTION OF TRACT A OF VIDAS SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NM, FILED: MAY 4, 1973, MAP 800K C9

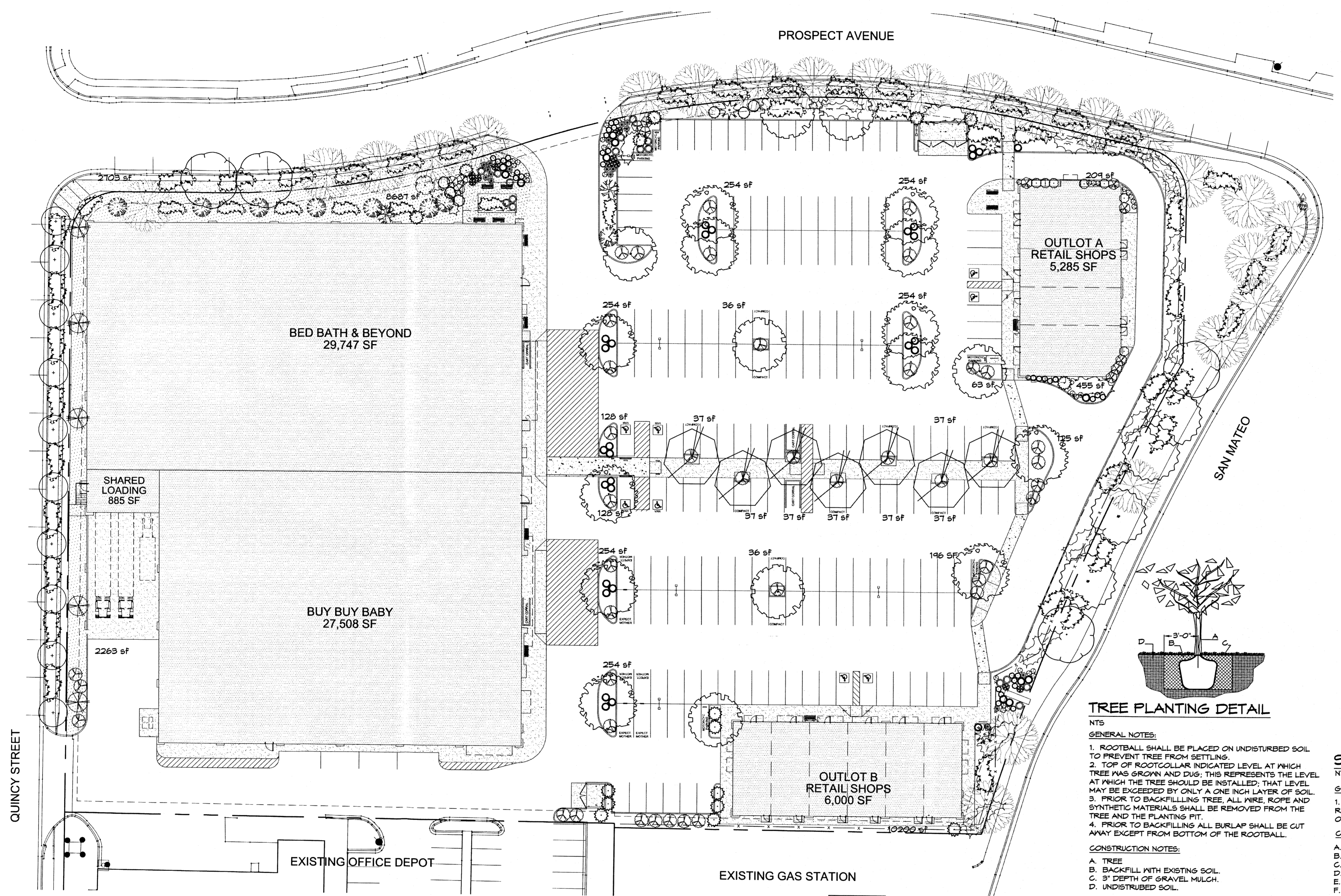
ZONE ATLAS MAP NUMBER: H-17-Z PRESENT ZONING: C-2 (CQ)

GROSS BUILDING AREA (GBA):  
BUY BUY BABY - RETAIL (1 STORY) = 27,950 sf  
BED BATH & BEYOND - RETAIL (1 STORY) = 30,190 sf  
SHARED LOADING: 885 sf  
OUTLOT A - RETAIL (1 STORY) = 5,285 sf  
OUTLOT B - RETAIL (1 STORY) = 6,000 sf  
TOTAL = 69,425 sf

TOTAL SITE AREA: 195,771 SF = 4.5 ACRES  
GROSS F.A.R. (GBA / SITE AREA) = 69,425 / 195,771 = .35

**PARKING INFORMATION**

CUMULATIVE SF	BUILDING	SQUARE FEET	PARKING REQ'D APPLIED	REQ'D PARKING
15,000	Buy Buy Baby (27,508 sf + 442 sf of shared Loading Area = 27,950 sf total)			
20,893	Public Sales Area (total of 20,893)	15,000	1/200 for 1st 15,000	75
25,443	Stock/Storage	5,893	1/250 for 15,001-60,000	24
27,950	Office/Toilets/Walls/Unoccupied	4,550	1/1,000 for stock/storage	5
		2,507	1/250 for office/RR/unocc	10
27,950	Bed Bath & Beyond (29,747 sf + 443 sf of shared Loading Area = 30,190 sf total)			
52,095	Public Sales Area (total of 24,115)	24,115	1/250 for 15,001-60,000	96
55,427	Stock/Storage	3,362	1/1,000 for stock/storage	3
58,140	Office/Toilets/Walls/Unoccupied	2,713	1/250 for office/restroom/unocc.	11
58,140	Outlot A Building (5,285 sf total)			
59,919	Coffee (w/drive-thru)(+25 seats)	1,779	1 per 4 seats	6
63,425	Retail shops	3,506	1/300 for over 60,000	12
63,425	Outlot B Building (6,000 sf total)			
69,425	Retail shops	6,000	1/300 for over 60,000	20
			TOTAL REQUIRED: 262	
			TRANSIT REDUCTION (10%): -26	
			BUS SHELTER REDUCTION (5%): -13	
			TOTAL REQUIRED: 223	
			TOTAL PROVIDED (OFF-STREET): 204	
			TOTAL PROVIDED (ON-STREET): 38 / 2 = 19	
			TOTAL PROVIDED: 223	
			HANDICAP PARKING STALLS REQUIRED: 101-300 PARKING STALLS: 8 HC STALLS REQUIRED (2 VAN ACCESSIBLE)	
			PROVIDED: 8 HC STALLS (4 VAN ACCESSIBLE)	
			MOTORCYCLE PARKING REQUIRED: 151-300 PARKING STALLS: 5 SPACES REQUIRED.	
			PROVIDED: 5 SPACES	
			BICYCLE PARKING REQUIRED: 1 PER 20 PARKING SPACES: TOTAL: 200 / 20 = 10 SPACES	
			PROVIDED: 15 SPACES	



- TREES**
- AUTUMN BLAZE MAPLE 7  
2 Cal. 12-14" inst./40' x 30' maturity  
Water (M) Allergy (L) 0sf  
(Parking Lot Tree)
  - CHITALPA 12  
2 Cal. 12-14" inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf  
(Parking Lot Tree)
  - COMMON HAZELBERRY 7  
2 Cal. 12-14" inst./40' x 40' maturity  
Water (M) Allergy (L) 0sf  
(Parking Lot Tree)
  - JAPANESE PAGODA TREE 4  
2 Cal. 12-14" inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf  
(Street Tree)
  - EASTERN REDBUD 4  
2 Cal. 12-14" inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf  
(Street Tree)
  - EXISTING ASH TREES TO REMAIN
- SHRUBS/ORNAMENTAL GRASSES**
- NEW MEXICO OLIVE  
15 Gal. 4-10" inst./15' x 15' maturity  
Water (M) Allergy (L) 225sf
  - PARNEY COTONEASTER 5  
3 Gal. 2-4" inst./20' x 12' maturity  
Water (M) Allergy (L) 144sf
  - MILLOWLEAF COTONEASTER 8  
3 Gal. 2-4" inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf
  - SPANISH BROOM 2  
3 Gal. 2-4" inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf
  - BUTTERFLY BUSH 1  
3 Gal. 12-15" inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf
  - ROSE OF SHARON 3  
3 Gal. 2-4" inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf
  - PHACELIA 16  
3 Gal. 2-4" inst./8' x 8' maturity  
Water (M) Allergy (L) 64sf
  - THREE-LEAF SUMAC 6  
3 Gal. 18-24" inst./6' x 6' maturity  
Water (L) Allergy (L) 36sf
  - INDIAN HAWTHORN 12  
5 Gal. 18-24" inst./6' x 6' maturity  
Water (M) Allergy (L) 36sf
  - NANDINA 7  
5 Gal. 2-4" inst./5' x 5' maturity  
Water (M) Allergy (L) 25sf
  - REGAL MIST 10  
5 Gal. 12-15" inst./2' x 2' maturity  
Water (M) Allergy (L) 4sf
  - MUGO PINE 40  
5 Gal. 12-15" inst./2' x 2' maturity  
Water (M) Allergy (L) 4sf
  - BLUE MIST SPREA 17  
5 Gal. 12-15" inst./2' x 2' maturity  
Water (M) Allergy (L) 4sf
  - TURPENTINE BUSH 16  
5 Gal. 6-15" inst./2' x 4' maturity  
Water (L) Allergy (L) 16sf
  - CATHMINT 32  
1 Gal. 3-15" inst./2' x 2' maturity  
Water (M) Allergy (L) 4sf
  - MELDRAFTER 33  
1 Gal. 3-15" inst./varies at maturity  
Water (varies) Allergy (varies) 4sf
- GROUNDCOVERS**
- GREYLEAF COTONEASTER 27  
3 Gal. 24-48" inst./2' x 2' maturity  
Water (M) Allergy (L) 6sf  
Symbol indicates 3 plants
  - LADY BANK'S ROSE 20  
3 Gal. 24-48" inst./5' x 20' maturity  
Water (M) Allergy (L) 400sf  
Unstaked-groundcover
  - GREEN MOUND JUNPER 15  
1 Gal. 6-15" inst./2' x 2' maturity  
Water (L) Allergy (H) 64sf  
Symbol indicates 3 plants
  - HONEYSUCKLE 44  
1 Gal. 6-15" inst./2' x 2' maturity  
Water (M) Allergy (L) 144sf  
Unstaked-groundcover
- HARDSCAPES**
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 5" DEPTH
  - RIP RAP OVER FILTER FABRIC

### TREE PLANTING DETAIL

NTS  
GENERAL NOTES:  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

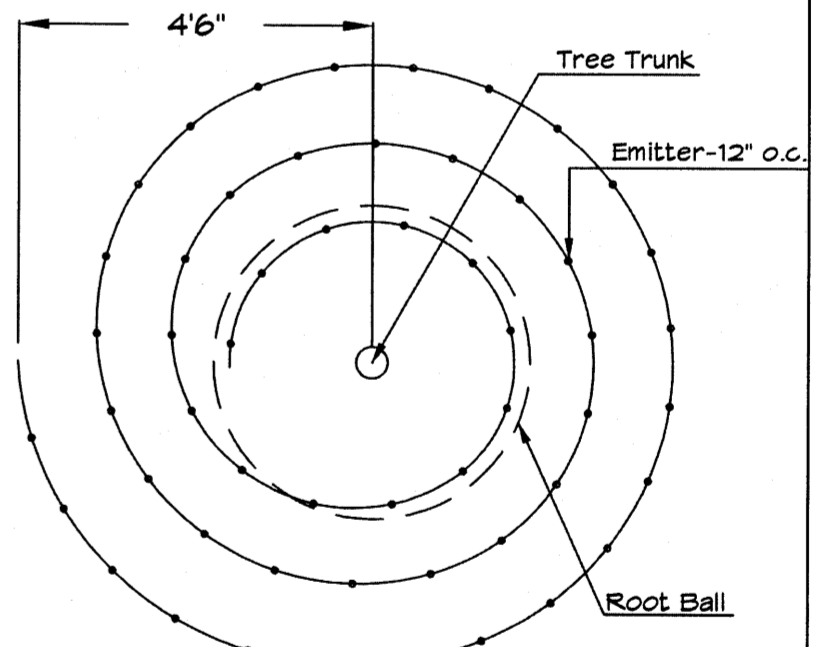
CONSTRUCTION NOTES:  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.

### SHRUB PLANTING DETAIL

NTS  
GENERAL NOTES:  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:  
A. SHRUB.  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.

### Netafim Spiral Detail



### LANDSCAPE CALCULATIONS

TOTAL LOT AREA	145711	square feet
TOTAL BUILDINGS AREA	64425	square feet
NET LOT AREA	126346	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	19451	square feet
TOTAL BED PROVIDED	26813 (21%)	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	20104	square feet
TOTAL GROUND COVER PROVIDED	20914 (78%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	26813 (21%)	square feet

### NOTE TO CLIENT:

Should the hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, the hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

### STREET TREE REQUIREMENTS - Minimum 2" Caliper

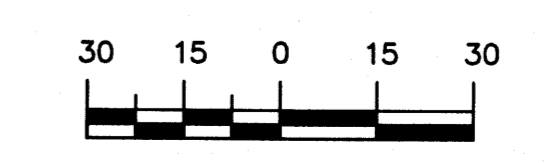
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street-SAN MATEO	Provided 13 (6 new)	Name of Street-PROSPECT	Required 17 (2 new)
Required 13	Provided 17 (2 new)	Name of Street-QUINCY	Required 10
		Required 10	Provided 10

### PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:  
1 Shade tree per 10 spaces  
Required 26 Provided 26

### GRAPHIC SCALE



**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

AT GROUND MOUNTED TRANSFORMER LOCATIONS WHERE LANDSCAPE MAY INTERFERE, ADEQUATE CLEARANCES WILL BE PROVIDED AS PER PNM REQUIREMENTS.

ONLY FEMALE JUNIPERS WILL BE PROVIDED.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

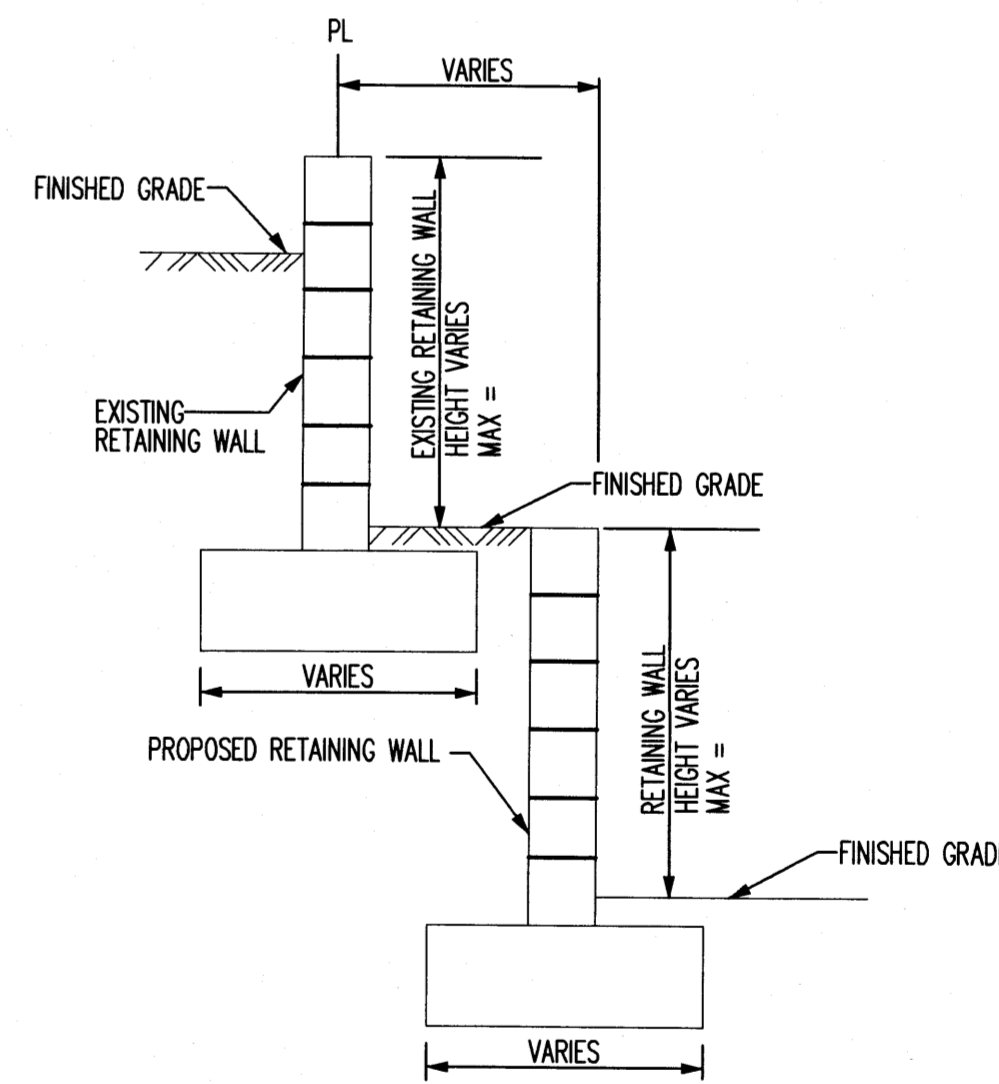
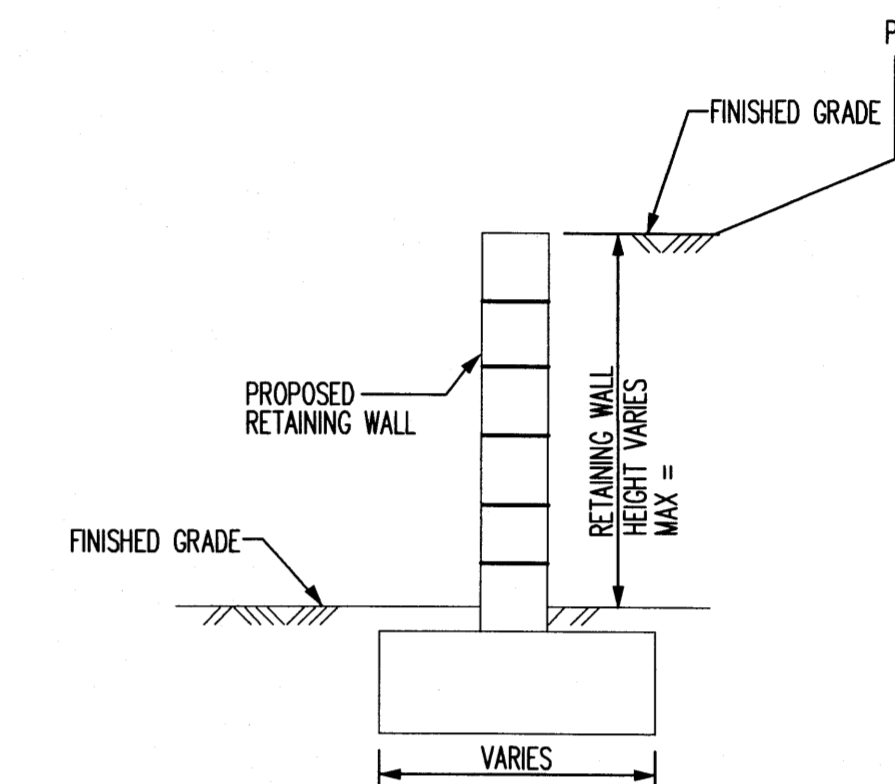
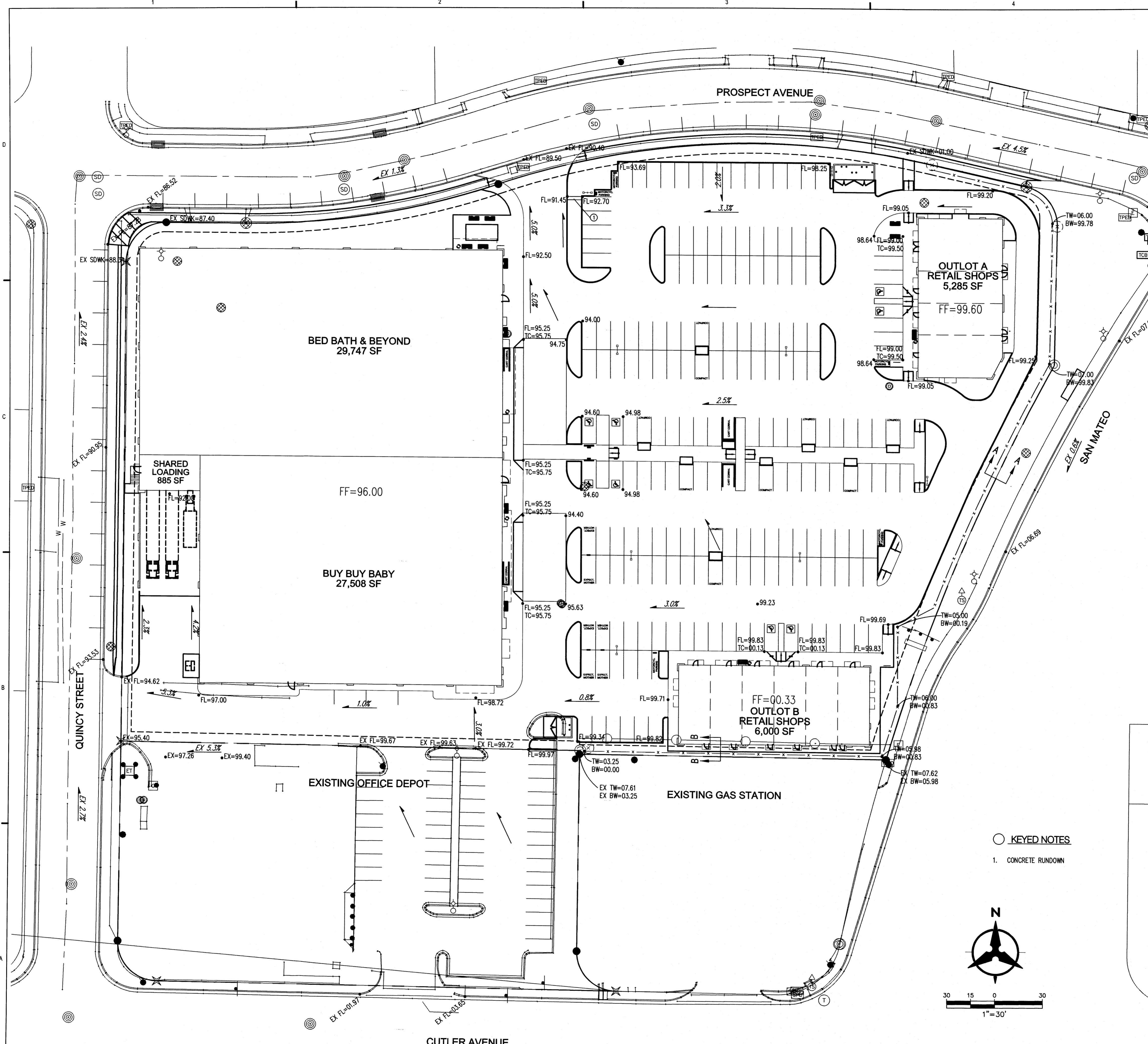
**GRADING NARRATIVE**

**I. INTRODUCTION**  
The purpose of this sheet is to present a conceptual grading plan for a proposed commercial redevelopment in NE Albuquerque. The site is located at the southwest corner of the San Mateo Blvd and Prospect Avenue. The project will include a Bed Bath & Beyond/Buy Baby Combo Store and outlet retail buildings with pedestrian access, parking, and landscaping on approximately 4.5 acres. This submittal is in support of the Site Plan for Bulding Permit application at EPC.

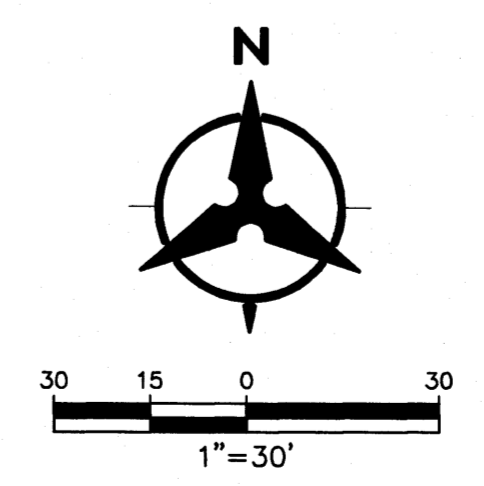
**II. SITE LOCATION**  
The site is located within zone atlas map H-17-Z. The project is bounded along the east by San Mateo Blvd, along the north by Prospect Avenue, along the west by Quincy Street and along the south by Office Depot and a gas station.

**III. EXISTING CONDITIONS**  
The site encompasses approximately 4.5 acres and is developed with existing office space. Slopes for the site range between 2 to 5% to the northwest, with an existing retaining wall on the east side of the site with heights up to 5 ft. Currently, the site drains via surface flow north to Prospect Avenue or West towards Quincy Street where the flows discharge into existing storm drain inlets in Prospect Avenue.

**IV. PROPOSED CONDITIONS**  
In the proposed conditions the site will mimic the existing conditions. A new retaining wall is proposed on the east side of the site, with slopes on the site ranging from 1 to 5%. The site will continue to drain via surface flow towards Prospect Avenue and Quincy Street.



- KEYED NOTES
1. CONCRETE ROUNDOFF



- LEGEND**
- PROPERTY LINE
  - - - - 5301 - - - - EXISTING CONTOURS
  - X EX5.301.15 EXISTING GROUND SPOT ELEVATION
  - 96.25 ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE STATED.
  - - - - S=2.0% PROPOSED DIRECTION OF FLOW
  - ~~~~~ WATER BLOCK
  - - - - PROPOSED CURB
  - - - - EASEMENT
  - PROPOSED STORM DRAIN INLET
  - - - - PROPOSED RETAINING WALL

ARCHITECT

ENGINEER

PROJECT

**Plaza at San Mateo**  
San Mateo Blvd. NE and Prospect Avenue NE  
Albuquerque, NM 87110

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

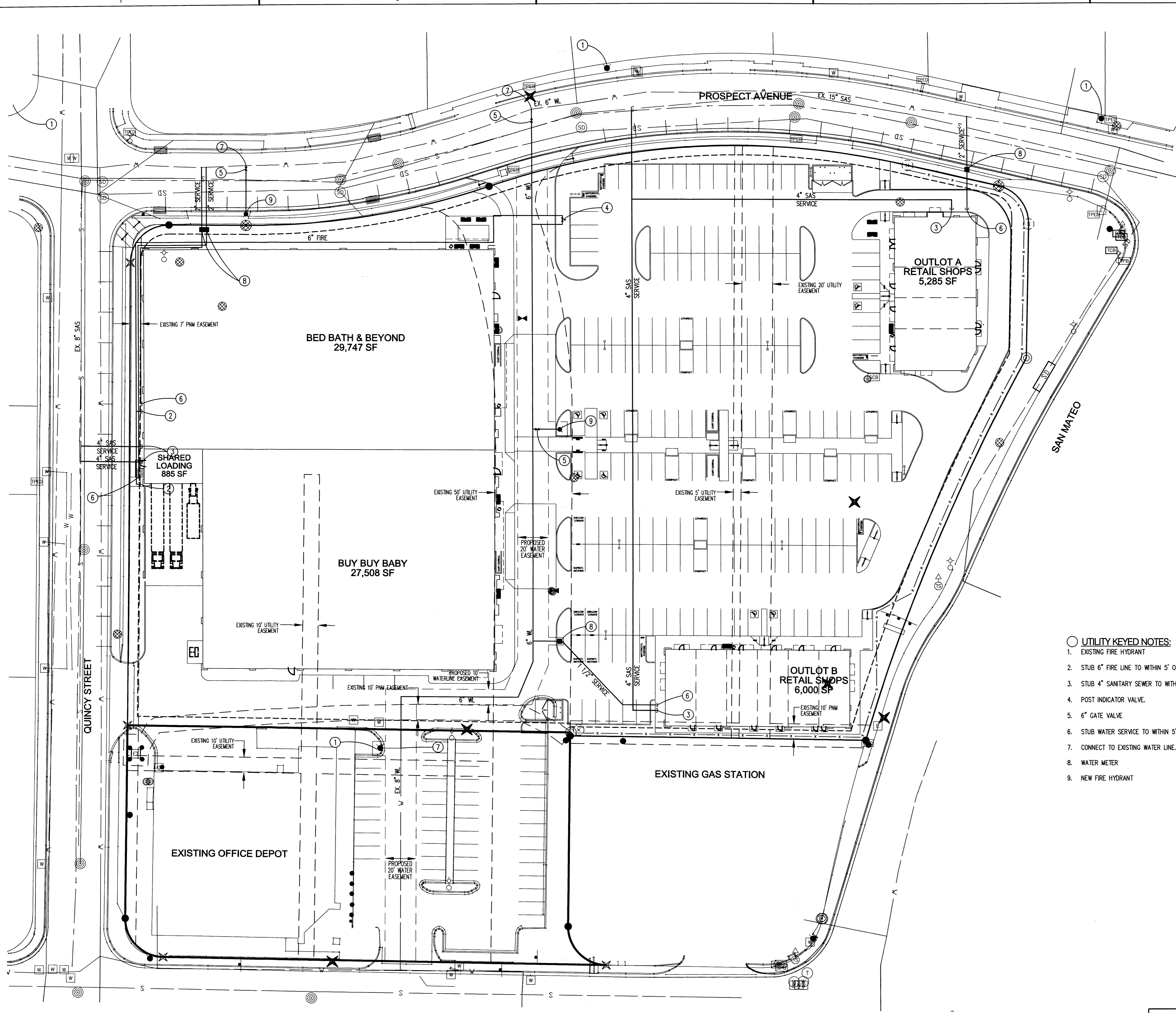
DATE January 23, 2012

PROJECT NO. 11-0039

DRAWING NAME

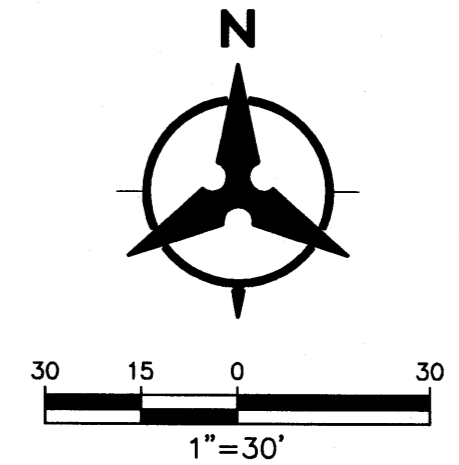
CONCEPTUAL  
UTILITY  
PLAN

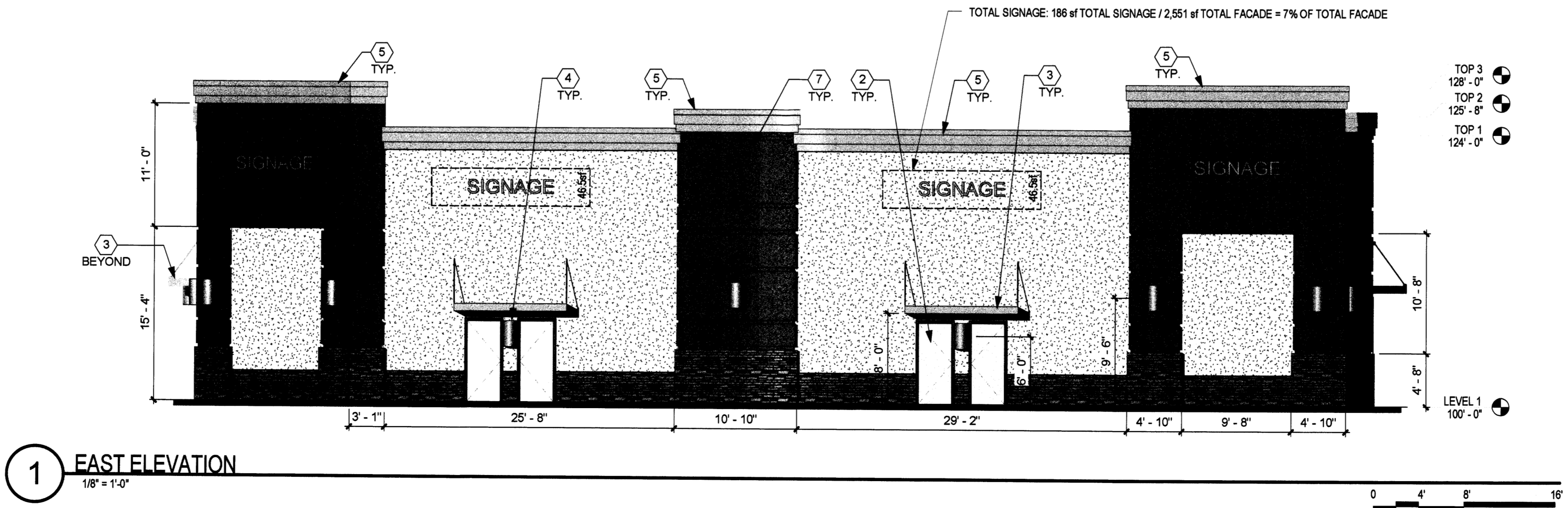
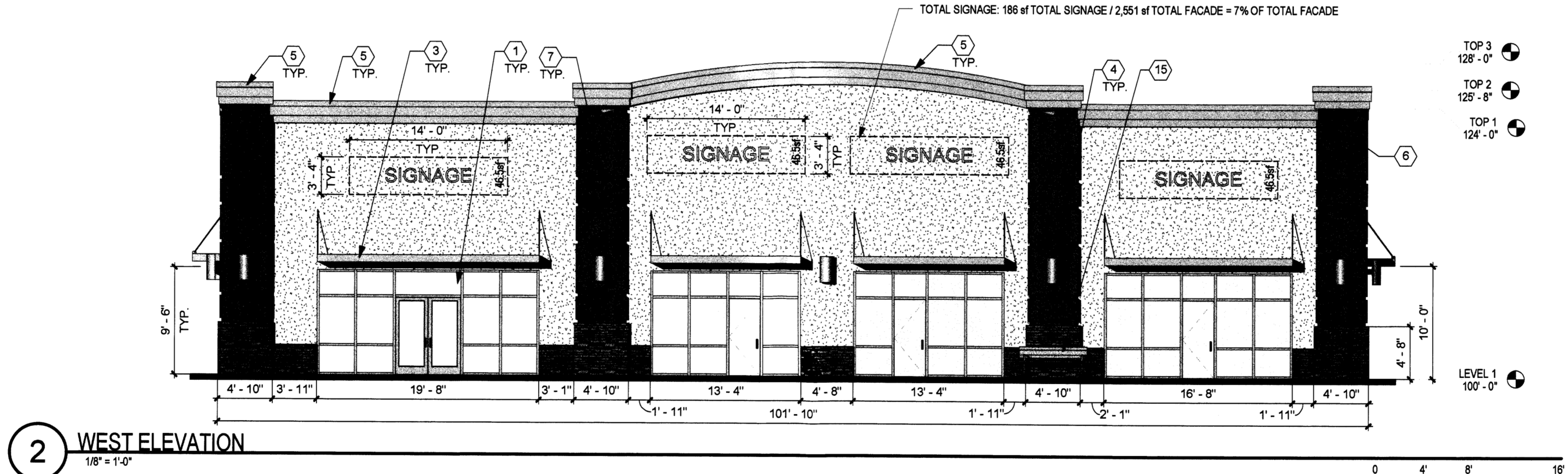
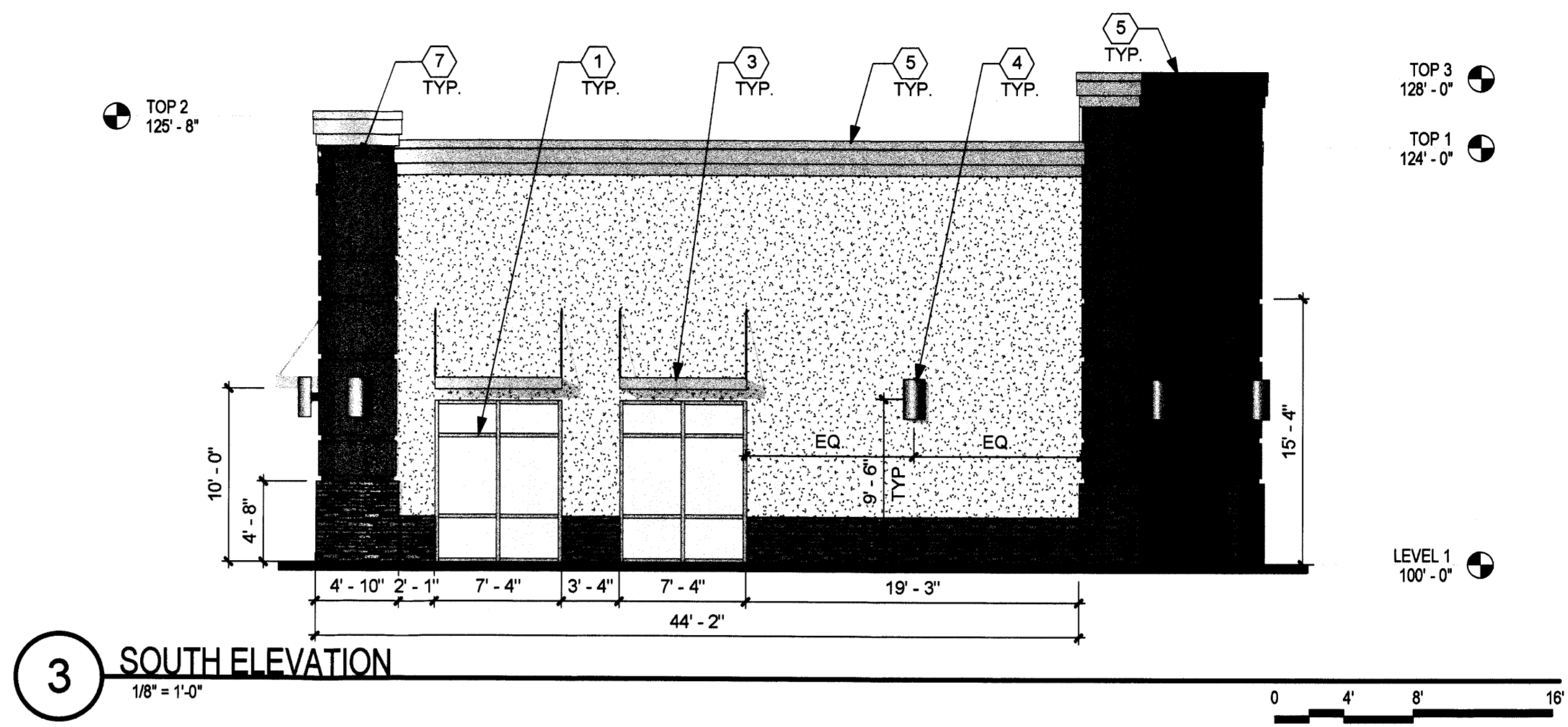
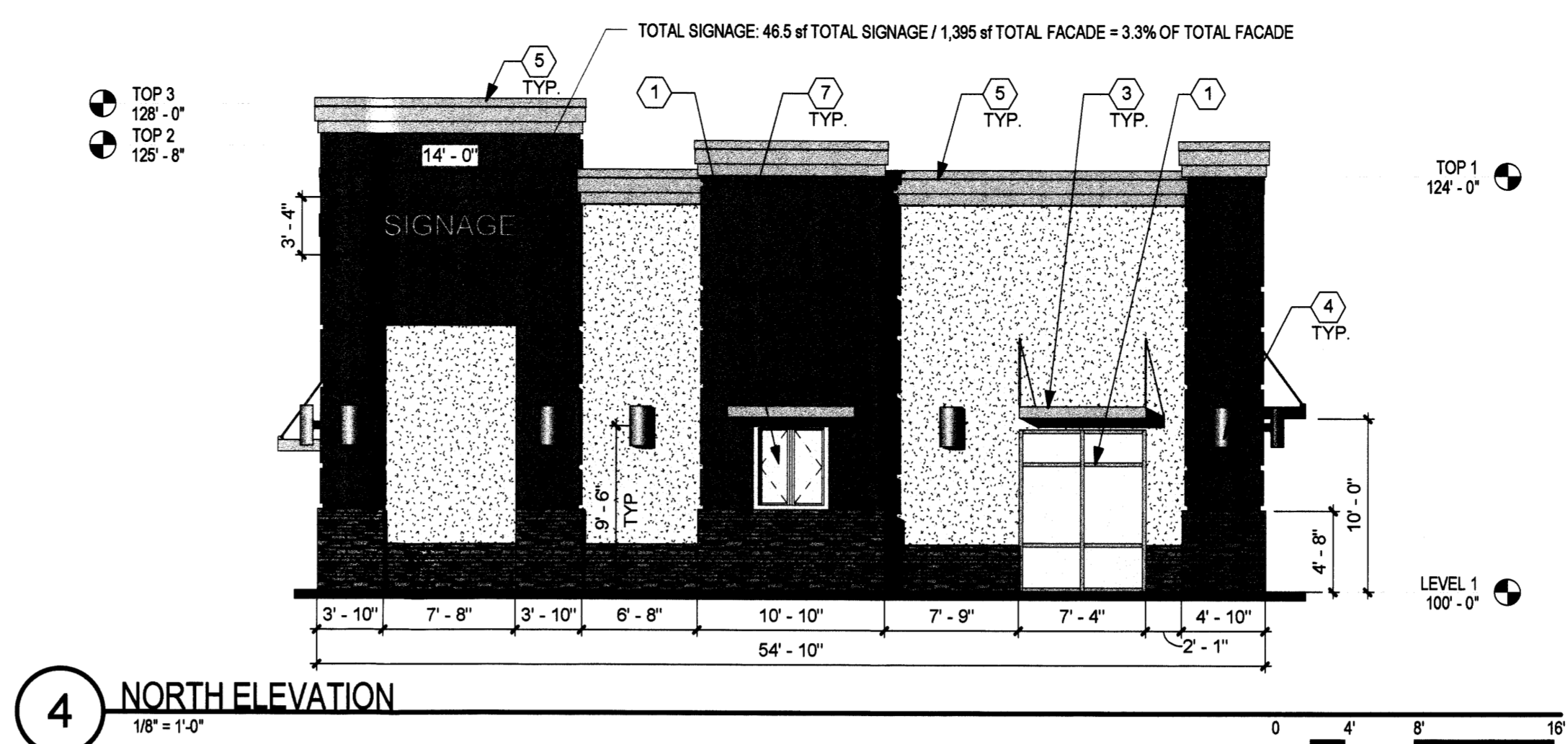
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**UTILITY KEYED NOTES:**

1. EXISTING FIRE HYDRANT
2. STUB 6" FIRE LINE TO WITHIN 5' OF BUILDING.
3. STUB 4" SANITARY SEWER TO WITHIN 5' OF BUILDING.
4. POST INDICATOR VALVE.
5. 6" GATE VALVE
6. STUB WATER SERVICE TO WITHIN 5' OF BUILDING.
7. CONNECT TO EXISTING WATER LINE.
8. WATER METER
9. NEW FIRE HYDRANT





**GENERAL SHEET NOTES**

- A. SIGNAGE: BUILDING MOUNTED SIGNS WILL MEET ALL CITY OF ABO REQUIREMENTS. SIGNAGE AS SHOWN IS FOR ILLUSTRATION PURPOSES AND MAY CHANGE TO MEET FUTURE TENANT REQUIREMENTS.
- B. ALL BUILDING FACADES SHALL BE COMPOSED OF THE DESIGN ELEMENTS SHOWN OR DESCRIBED IN THIS PLAN. DESIGN ELEMENTS INCLUDE, AS EXAMPLES, THE BUILDING COLORS, MASSING, WINDOWS, AND DOORS. THESE DESIGN ELEMENTS NEED NOT BE ARRANGED AS SHOWN ON THIS PLAN, BUT MAY BE FREELY INTERCHANGED TO ACCOMMODATE FUTURE TENANTS.
- C. ENTRY STOREFRONTS TO THE BUILDING MAY BE MODIFIED TO ACCOMMODATE SPECIFIC NEEDS OF FUTURE TENANTS. THESE STOREFRONTS ARE TO MAINTAIN THE OVERALL DESIGN INTENT OF THE BUILDINGS AS SHOWN AND MUST BE COMPATIBLE WITH THE BUILDING FACADES IN TERMS OF QUALITY OF MATERIALS AND SYSTEMS.
- D. FLAT PORTION OF BUILDING ROOFS SHALL BE AN ENERGY EFFICIENT COLOR AND MATERIAL.

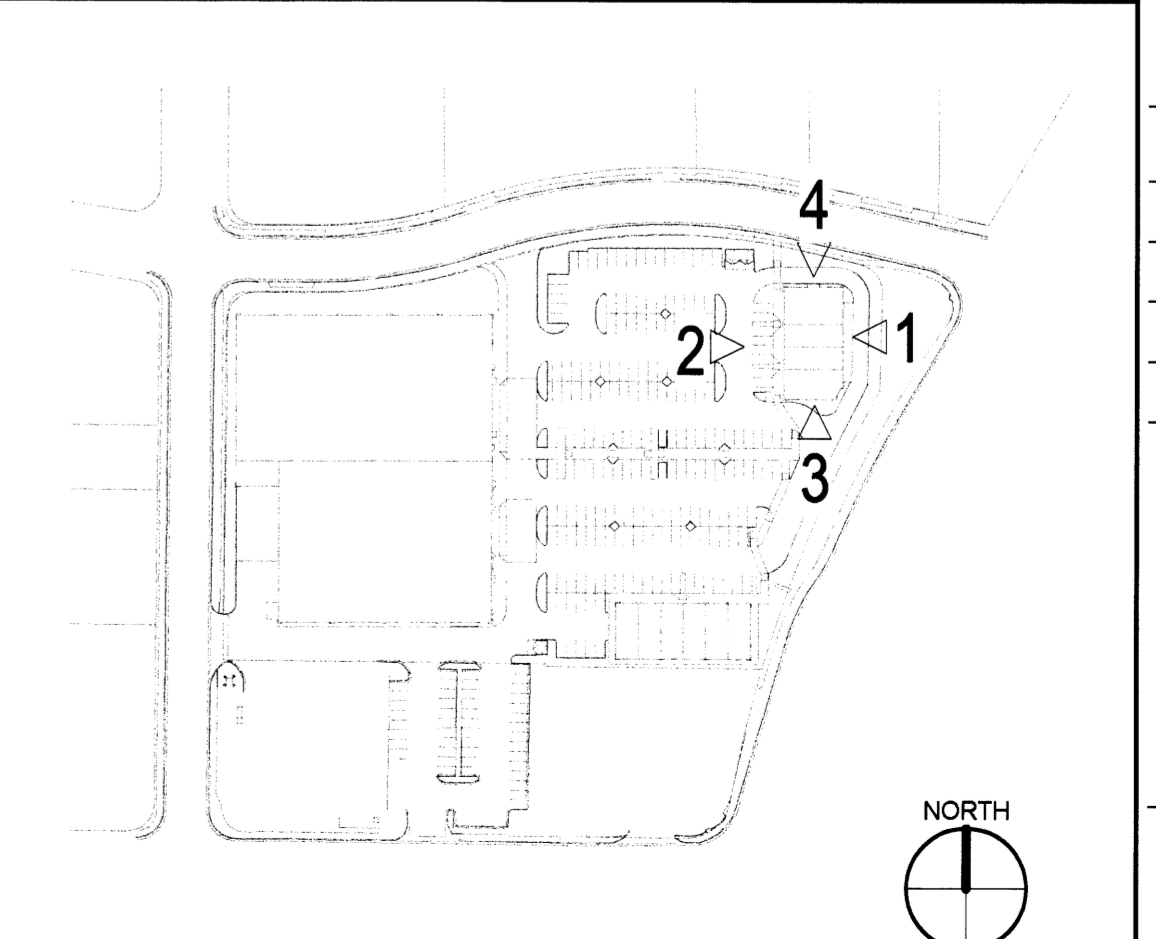
**KEYNOTES**

- NOTE: KEYNOTES MAY NOT NECESSARILY FOLLOW NUMERICAL ORDER ON THIS SHEET.
- 1 ALUMINUM STOREFRONT, COLOR: CLEAR ANODIZED
  - 2 HOLLOW METAL DOOR AND FRAME, PAINT COLOR TO MATCH ADJACENT WALL
  - 3 STEEL CANOPY WITH STEEL DECK AND HANGER RODS, COLOR: CLEAR ANODIZED
  - 4 WALL SCONCE
  - 5 METAL CAP OVER CORNICE, PAINT COLOR TO MATCH ADJACENT CORNICE
  - 6 8" (BRUSHED ALUMINUM) BUILDING ADDRESS IDENTIFICATION NUMBERS
  - 7 2" E.I.F.S. RELIEF / REVEAL
  - 15 6" WOOD BENCH

**LEGEND**

- E.I.F.S., COLOR: MEDIUM DARK BROWN (HONEY TWIST, Sto NA09-0028)
- WAINSCOT, STACKED STONE VENEER, COLOR: MIX OF DARK BROWN, MEDIUM BROWN AND LIGHT BROWN.
- E.I.F.S., COLOR: GRAYISH-BROWN (PRAIRIE CLAY, Sto NA09-0008)
- E.I.F.S., COLOR: DARK WHITE (BUCKSKIN, Sto NA09-0007)

**KEY PLAN** Not to Scale



**Dekker Perich Sabatini**  
7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org  
ARCHITECT

ENGINEER

PROJECT

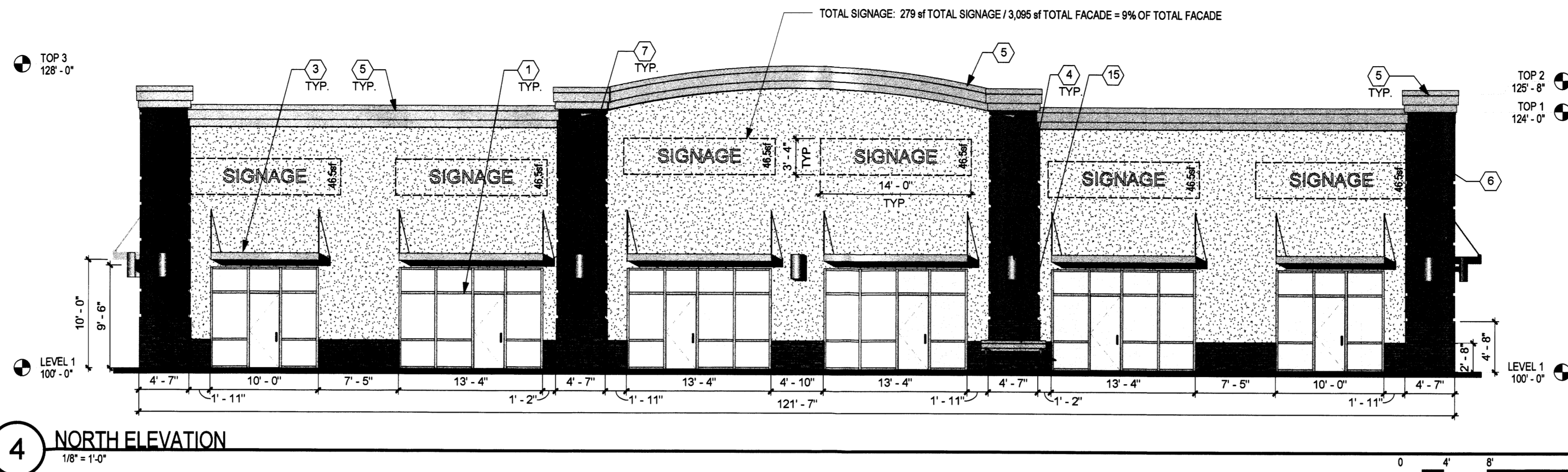
**Plaza at San Mateo**  
San Mateo Blvd. NE and Prospect Avenue NE  
Albuquerque, NM 87110

REVISIONS	DATE	DESCRIPTION
△		

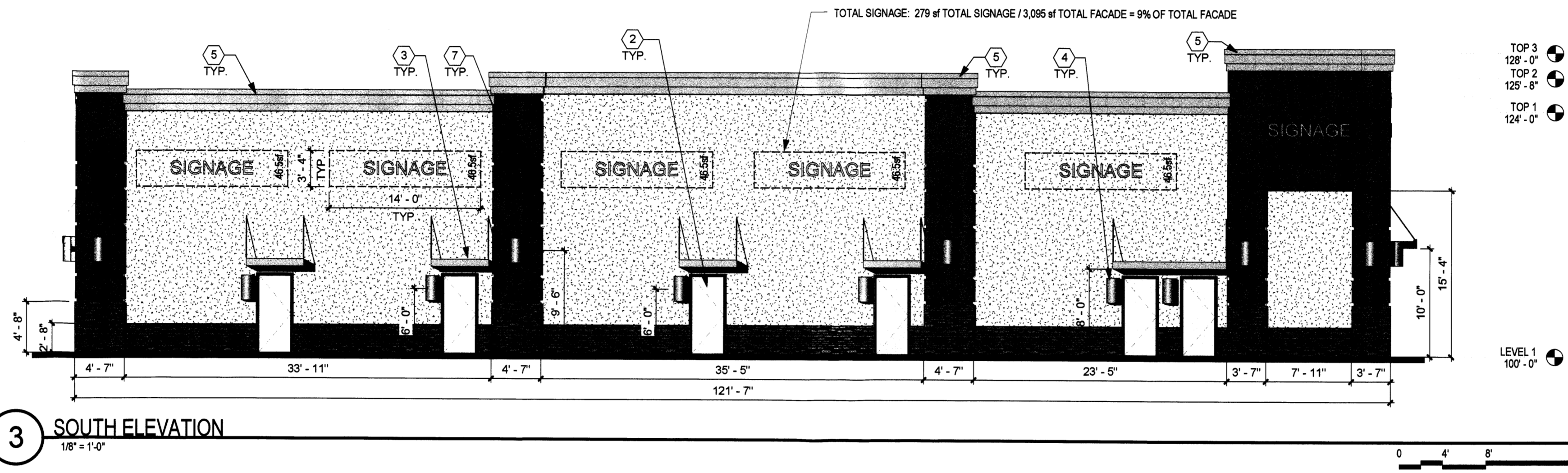
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REVIEWED BY  
DATE October 27, 2011  
PROJECT NO. 11-0039

DRAWING NAME  
**OUTLOT A BUILDING ELEVATIONS**

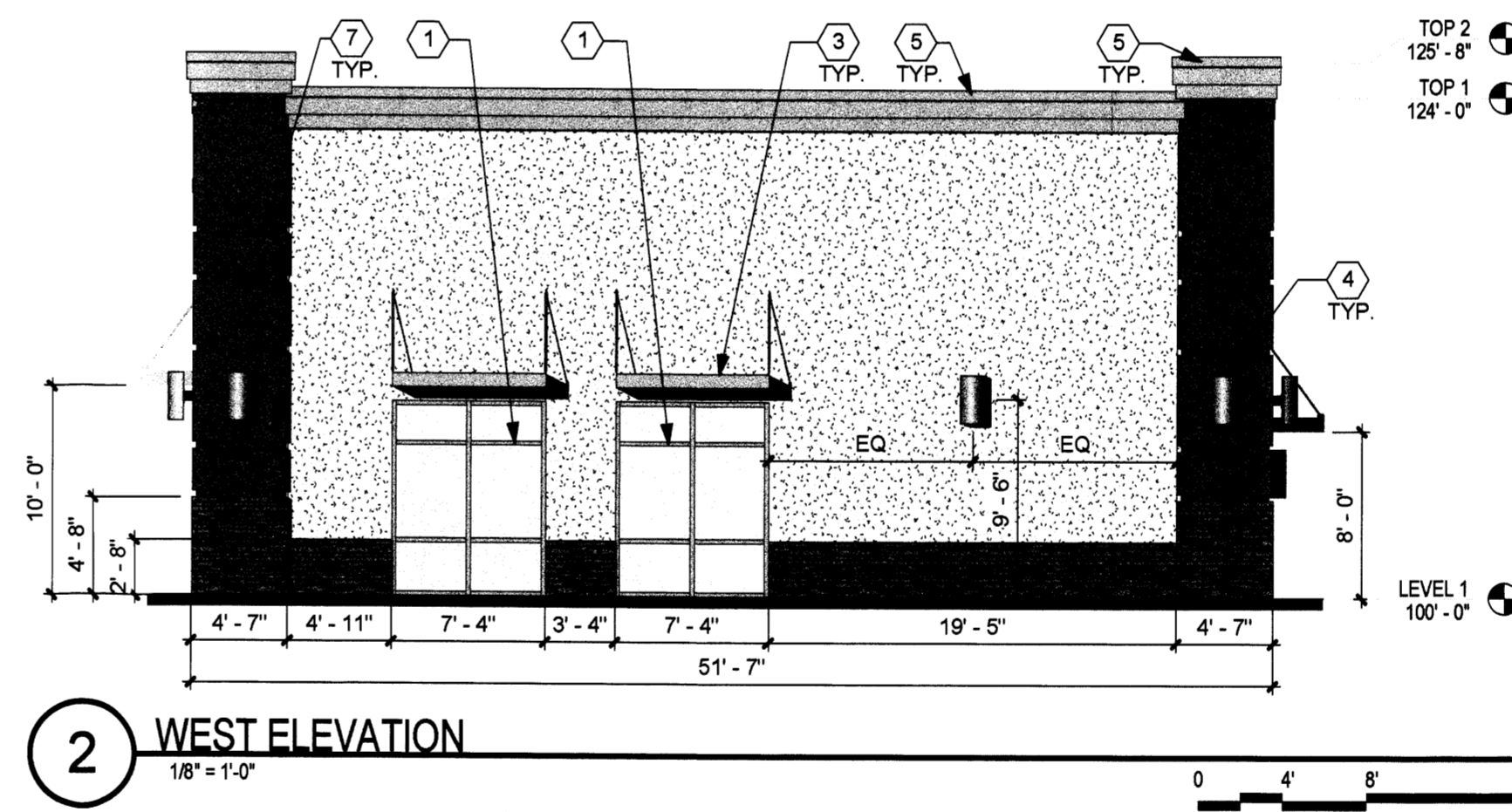
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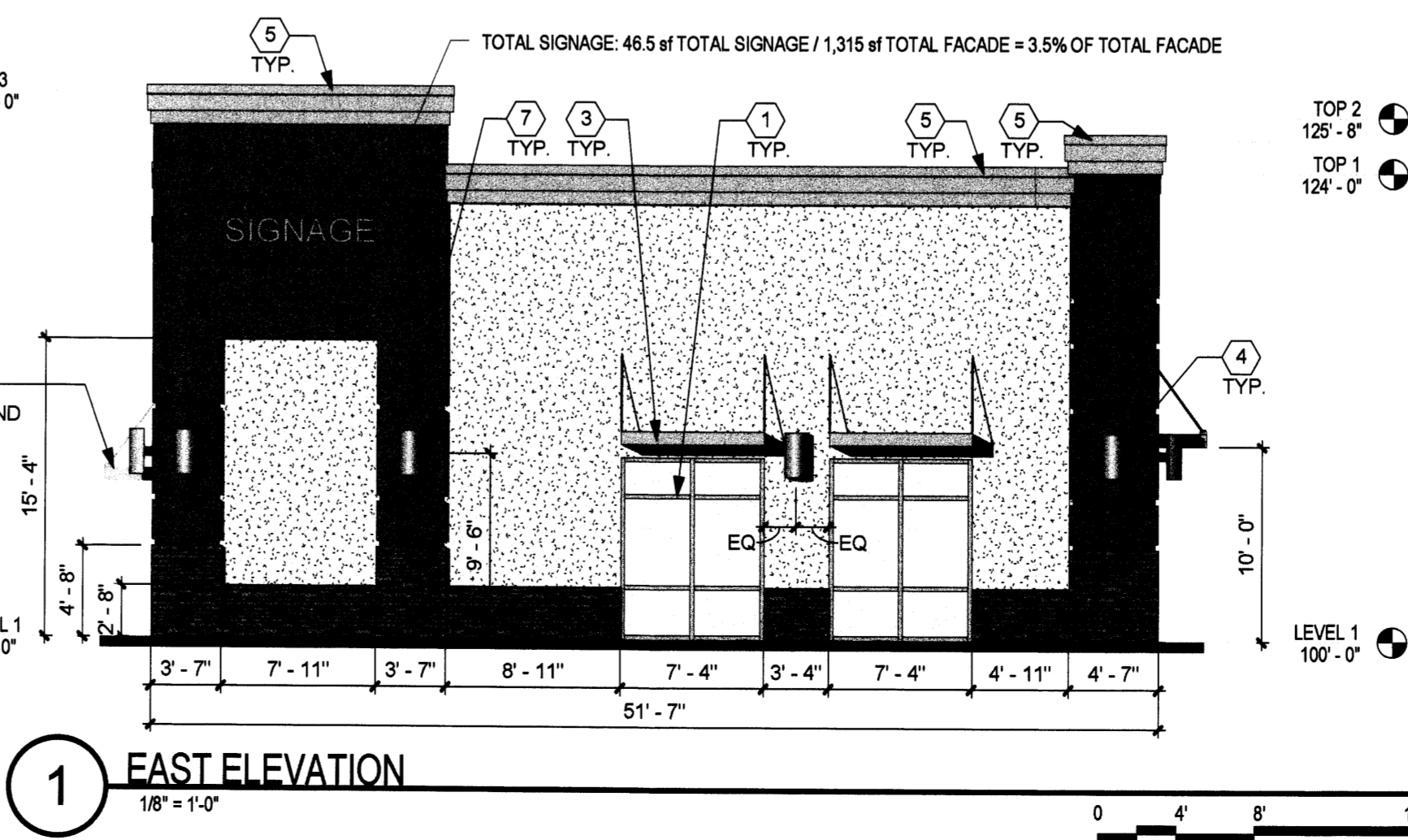
**4 NORTH ELEVATION**  
1/8" = 1'-0"



**3 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"



**1 EAST ELEVATION**  
1/8" = 1'-0"

**GENERAL SHEET NOTES**

- A. SIGNAGE: BUILDING MOUNTED SIGNS WILL MEET ALL CITY OF ABQ. REQUIREMENTS. SIGNAGE AS SHOWN IS FOR ILLUSTRATION PURPOSES AND MAY CHANGE TO MEET FUTURE TENANT REQUIREMENTS.
- B. ALL BUILDING FACADES SHALL BE COMPOSED OF THE DESIGN ELEMENTS SHOWN OR DESCRIBED IN THIS PLAN. DESIGN ELEMENTS INCLUDE, AS EXAMPLES, THE BUILDING COLORS, MASSING, WINDOWS, AND DOORS. THESE DESIGN ELEMENTS NEED NOT BE ARRANGED AS SHOWN ON THIS PLAN, BUT MAY BE FREELY INTERCHANGED TO ACCOMMODATE FUTURE TENANTS.
- C. ENTRY STOREFRONTS TO THE BUILDING MAY BE MODIFIED TO ACCOMMODATE SPECIFIC NEEDS OF FUTURE TENANTS. THESE STOREFRONTS ARE TO MAINTAIN THE OVERALL DESIGN INTENT OF THE BUILDINGS AS SHOWN AND MUST BE COMPATIBLE WITH THE BUILDING FACADES IN TERMS OF QUALITY OF MATERIALS AND SYSTEMS.
- D. FLAT PORTION OF BUILDING ROOFS SHALL BE AN ENERGY EFFICIENT COLOR AND MATERIAL.

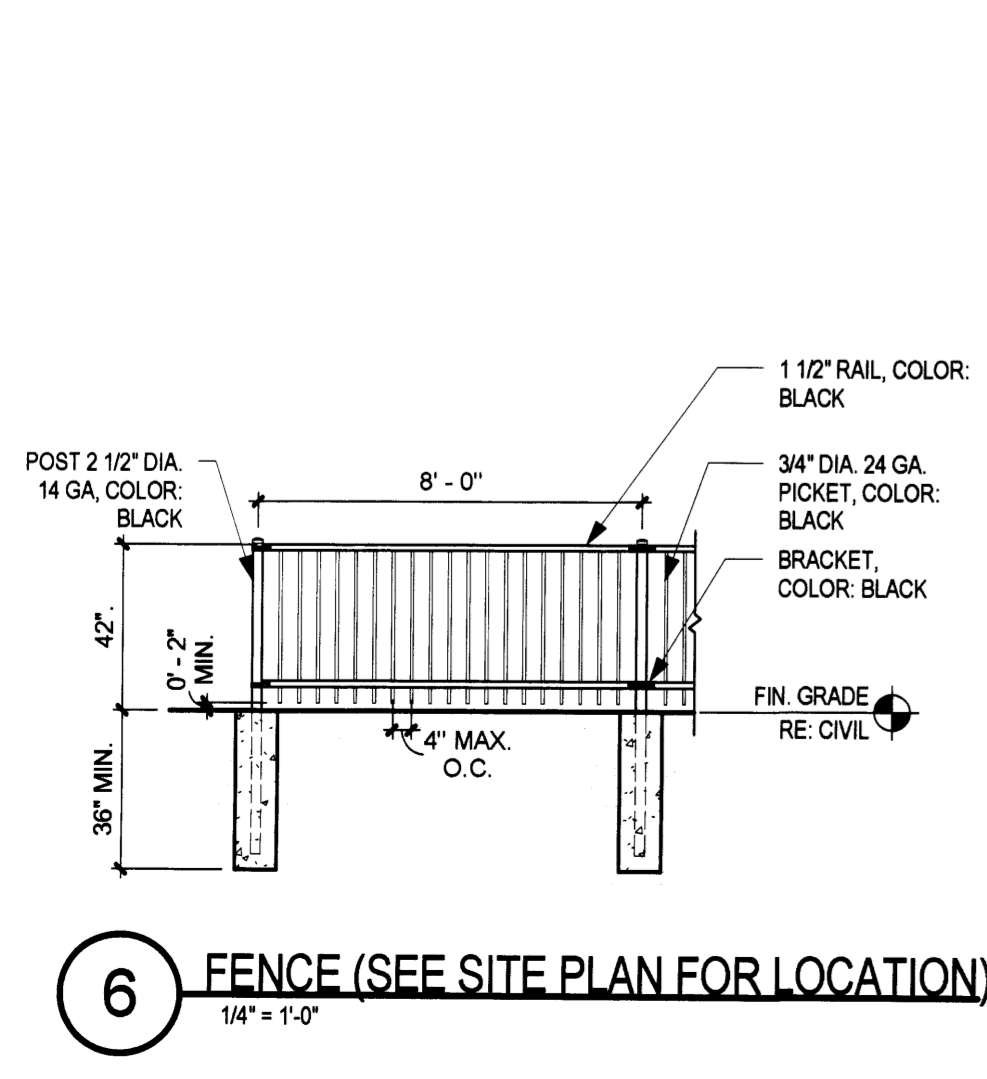
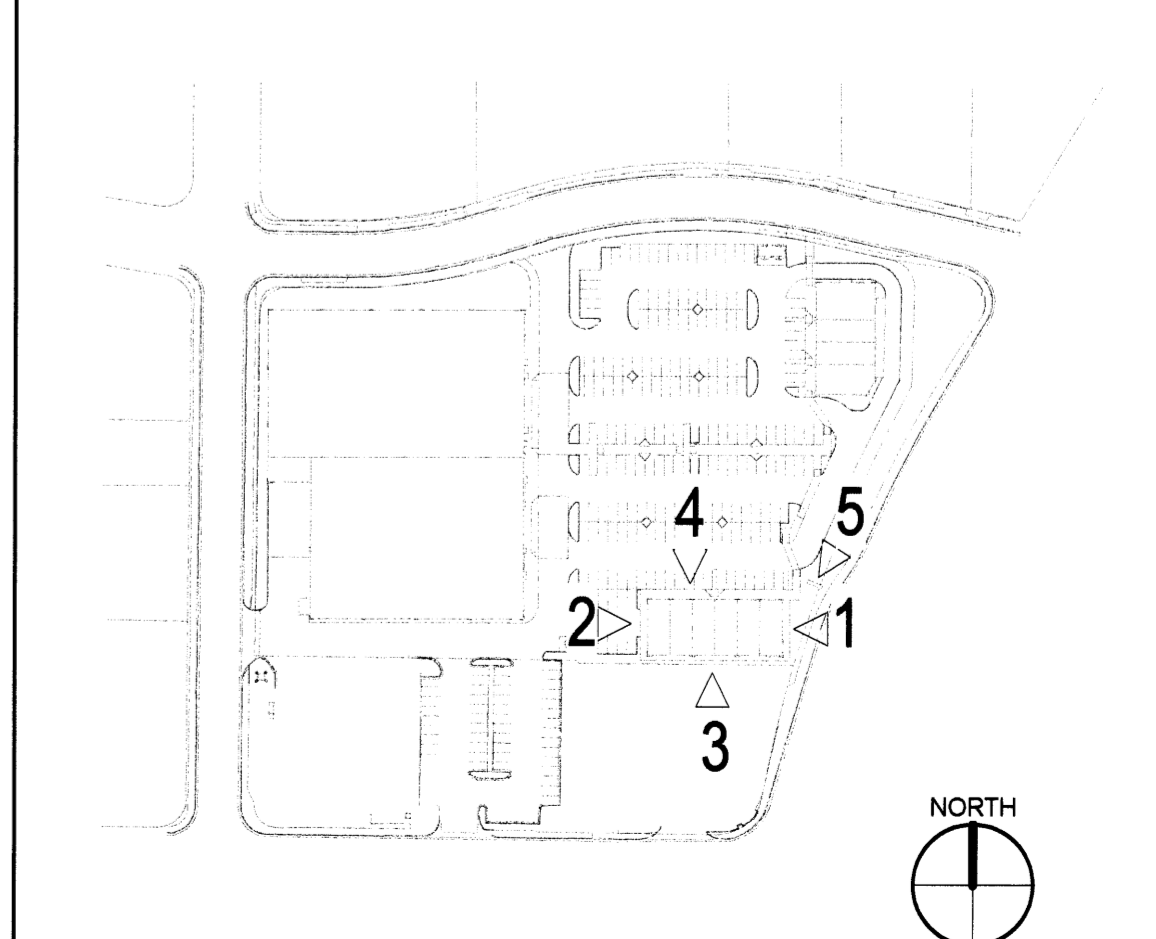
**KEYNOTES**

- NOTE: KEYNOTES MAY NOT NECESSARILY FOLLOW NUMERICAL ORDER ON THIS SHEET.
- 1 ALUMINUM STOREFRONT, COLOR: CLEAR ANODIZED
  - 2 HOLLOW METAL DOOR AND FRAME, PAINT COLOR TO MATCH ADJACENT WALL
  - 3 STEEL CANOPY WITH STEEL DECK AND HANGER RODS, COLOR: CLEAR ANODIZED
  - 4 WALL SCONCE
  - 5 METAL CAP OVER CORNICE, PAINT COLOR TO MATCH ADJACENT CORNICE
  - 6 8" (BRUSHED ALUMINUM) BUILDING ADDRESS IDENTIFICATION NUMBERS
  - 7 2" E.I.F.S. RELIEF / REVEAL
  - 15 6" WOOD BENCH

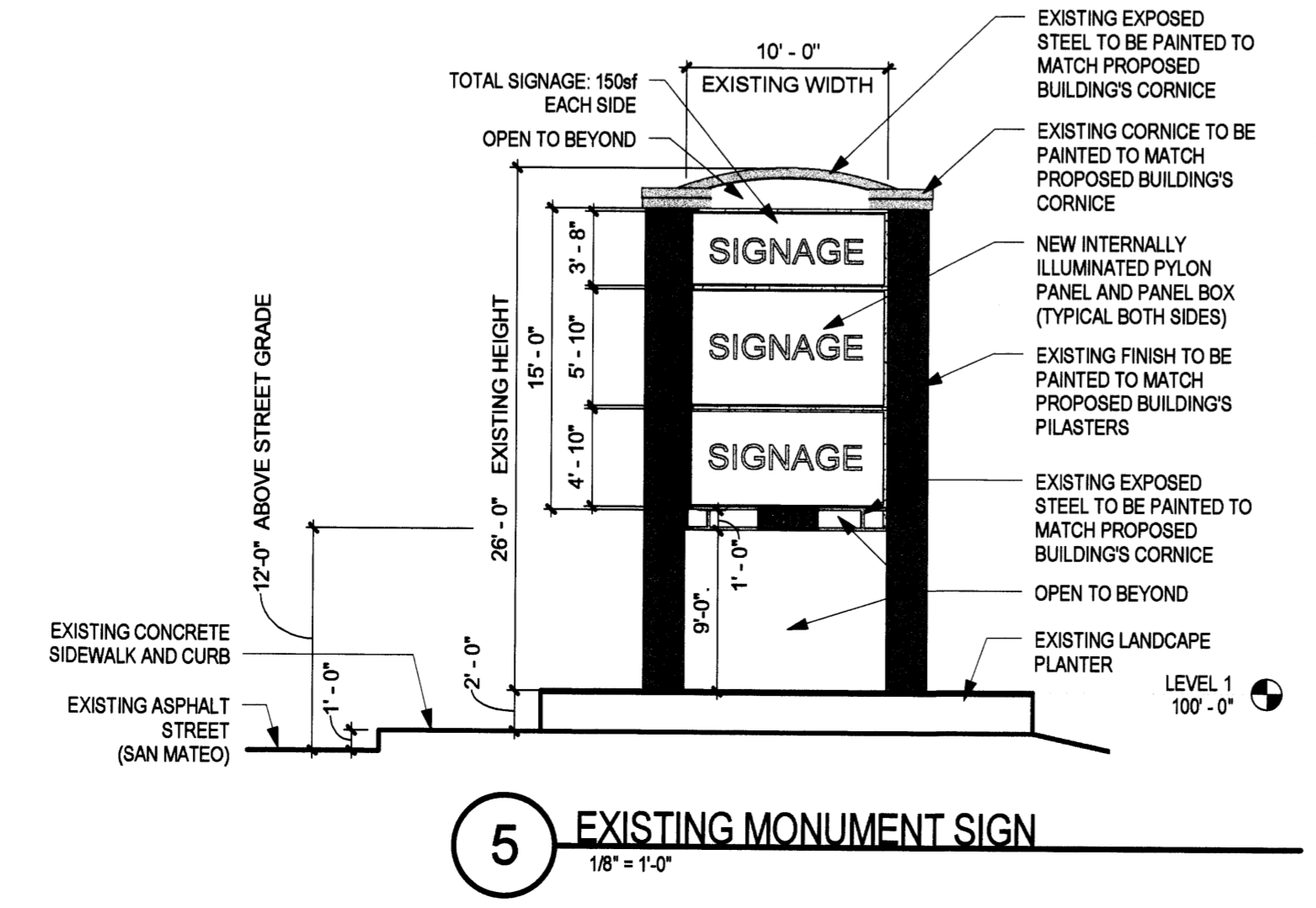
**LEGEND**

- E.I.F.S., COLOR: MEDIUM DARK BROWN (HONEY TWIST, Sls NA09-0028)
- WAINSCOT, STACKED STONE VENEER, COLOR: MIX OF DARK BROWN, MEDIUM BROWN AND LIGHT BROWN.
- E.I.F.S., COLOR: GRAYISH BROWN (PRAIRIE CLAY, Sls NA08-0008)
- E.I.F.S., COLOR: DARK WHITE (BUCKSKIN, Sls NA08-0007)

**KEY PLAN**



**6 FENCE (SEE SITE PLAN FOR LOCATION)**  
1/4" = 1'-0"



**5 EXISTING MONUMENT SIGN**  
1/8" = 1'-0"

architecture  
interiors  
landscape  
planning  
engineering

**Dekker Perich Sabatini**

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

**Plaza at San Mateo**  
San Mateo Blvd. NE and Prospect Avenue NE  
Albuquerque, NM 87110

REVISIONS	DATE	DESCRIPTION

DRAWN BY  
REVIEWED BY  
DATE October 27, 2011  
PROJECT NO. 11-0039

DRAWING NAME  
**OUTLOT B BUILDING ELEVATIONS**

SHEET NO.  
**5b**



**GENERAL SHEET NOTES**

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- D. FLAT PORTION OF BUILDING ROOFS SHALL BE AN ENERGY EFFICIENT COLOR AND MATERIAL.

**KEYNOTES**

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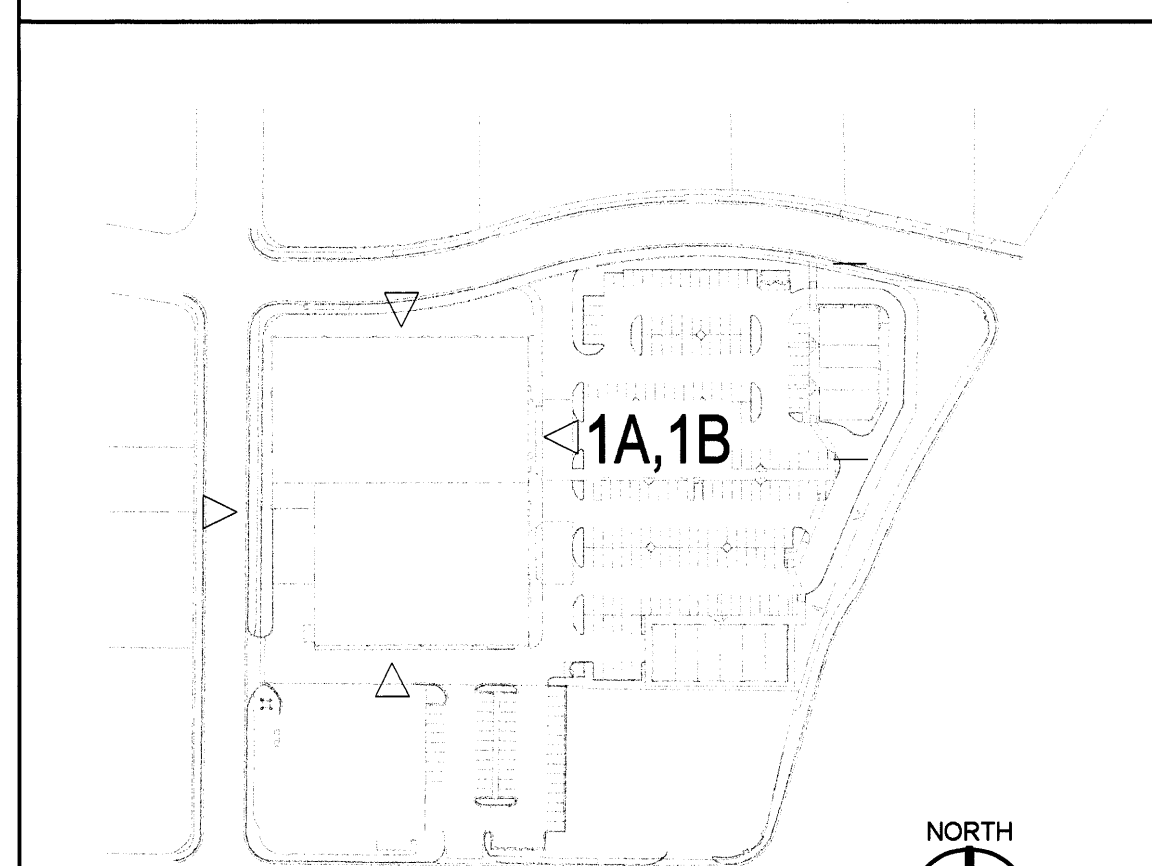
- 1 ALUMINUM STOREFRONT, COLOR: CLEAR ANODIZED
- 2 HOLLOW METAL DOOR AND FRAME, PAINT COLOR TO MATCH ADJACENT WALL
- 3 STEEL CANOPY WITH STEEL DECK AND HANGER RODS, COLOR: CLEAR ANODIZED
- 4 WALL SCONCE
- 5 METAL CAP OVER CORNICE, PAINT COLOR TO MATCH ADJACENT CORNICE
- 6 8" (BRUSHED ALUMINUM) BUILDING ADDRESS IDENTIFICATION NUMBERS
- 8 8' x 8' INTERNALLY ILLUMINATED SURFACE MOUNTED WINDOW BOXES WITH EXTERNALLY APPLIED GRAPHICS
- 9 E.I.F.S., COLOR: BLACK, BEHIND SIGNAGE ONLY
- 10 E.I.F.S., COLOR: BLACK (2 x 2), AT PILASTERS ONLY
- 15 6" WOOD BENCH
- 16 EXPOSED CONCRETE
- 18 STANDING SEAM METAL ROOF, COLOR TO MATCH ADJACENT STOREFRONT SYSTEM
- 19 PRE-CAST CONCRETE TRASH CAN

**LEGEND**

- EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.), COLOR YELLOWISH-WHITE (FRENCH VANILLA, Sto NA09-0027)
- E.I.F.S., COLOR MEDIUM DARK BROWN (HONEY TWIST, Sto NA09-0028)
- E.I.F.S., COLOR: DARK WHITE (BUCKSKIN, Sto NA09-0007)
- E.I.F.S., COLOR: BLACK (BLACK, Sto NA09-0026)
- E.I.F.S., COLOR: GRAYISH-BROWN (PRAIRIE CLAY, Sto NA09-0008)
- SPLIT FACE CMU PAINTED TO MATCH BUCKSKIN E.I.F.S., COLOR: DARK WHITE AT NORTH, WEST, AND SOUTH SIDE ONLY.
- SPLIT FACE CMU WITH INTEGRAL COLOR TO MATCH BUCKSKIN E.I.F.S., COLOR: DARK WHITE AT EAST SIDE ONLY.
- WAINSCOT, STACKED STONE VENEER, COLOR: MIX OF DARK BROWN, MEDIUM BROWN AND LIGHT BROWN.
- SPLIT FACE CMU, COLOR TO MATCH HONEY TWIST E.I.F.S., COLOR: MEDIUM DARK BROWN

**KEY PLAN**

Not to Scale



**Plaza at San Mateo**  
San Mateo Blvd. NE and Prospect Avenue NE  
Albuquerque, NM 87110

**REVISIONS**

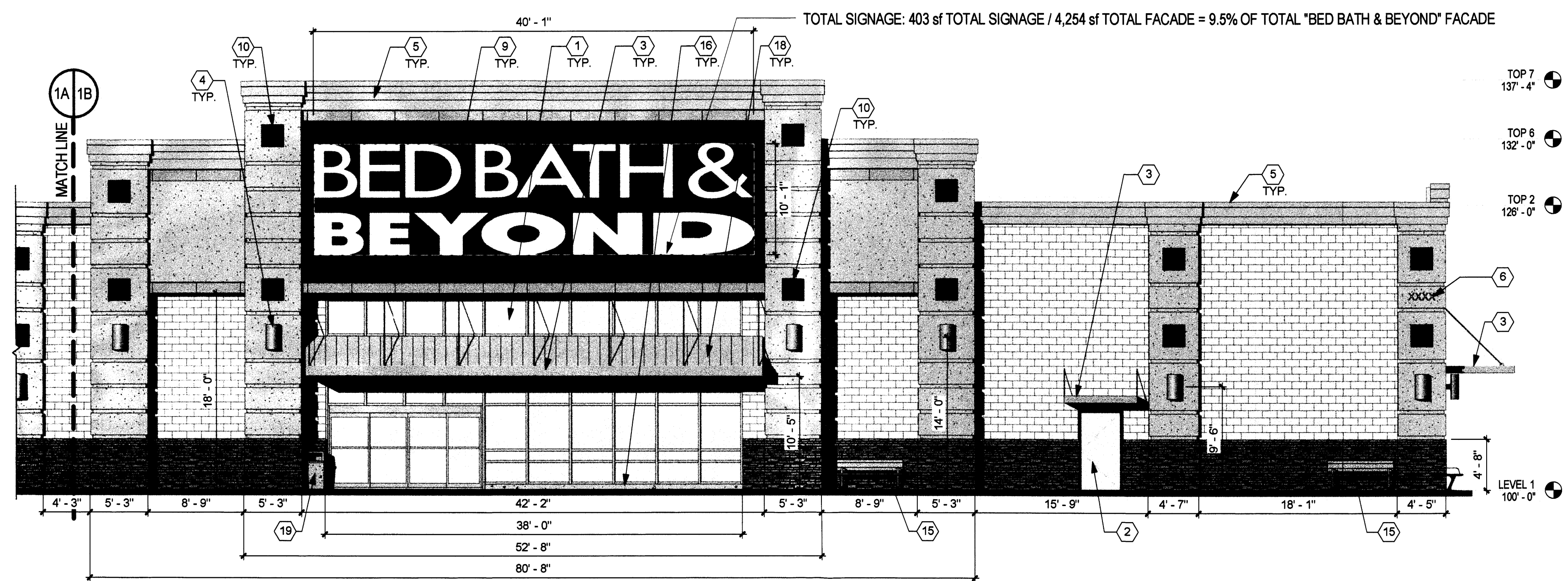
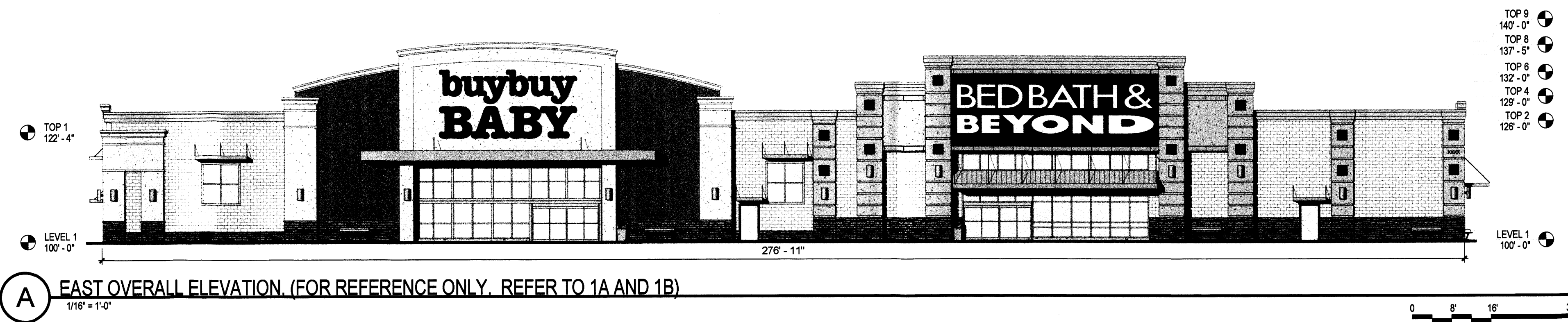
DATE	DESCRIPTION

DRAWN BY  
REVIEWED BY  
DATE October 27, 2011  
PROJECT NO. 11-0039  
DRAWING NAME

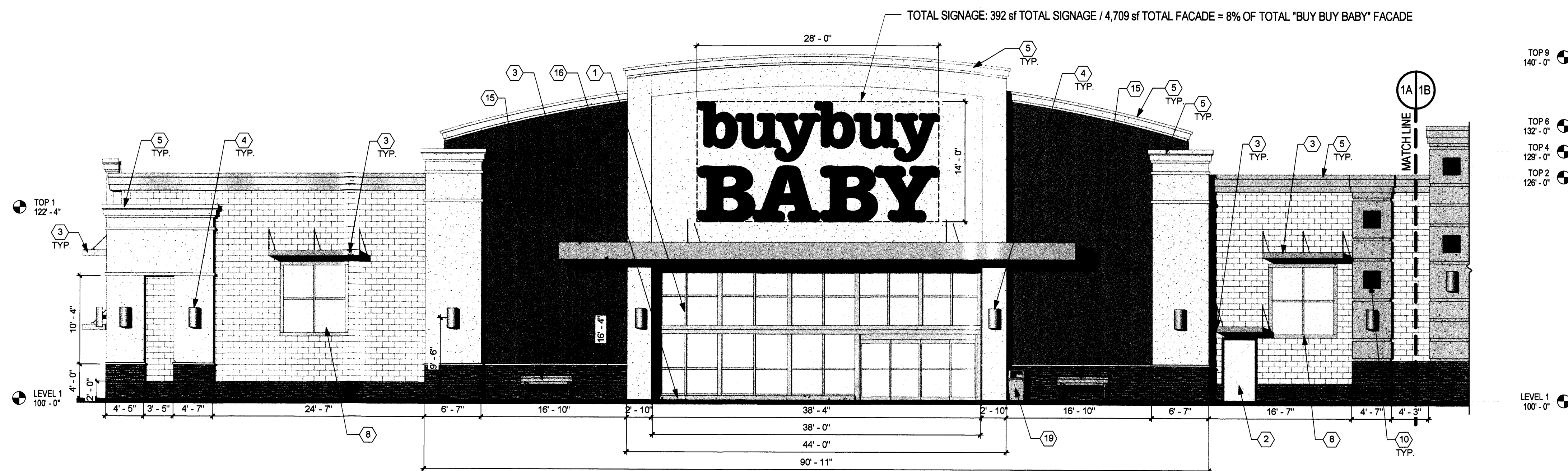
**BED BATH & BEYOND  
BUY BUY BABY  
BUILDING  
ELEVATIONS**

SHEET NO.

**5c**



**1B EAST ELEVATION**  
1/8" = 1'-0"



**1A EAST ELEVATION**  
1/8" = 1'-0"

**GENERAL SHEET NOTES**







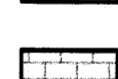


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**KEYNOTES**

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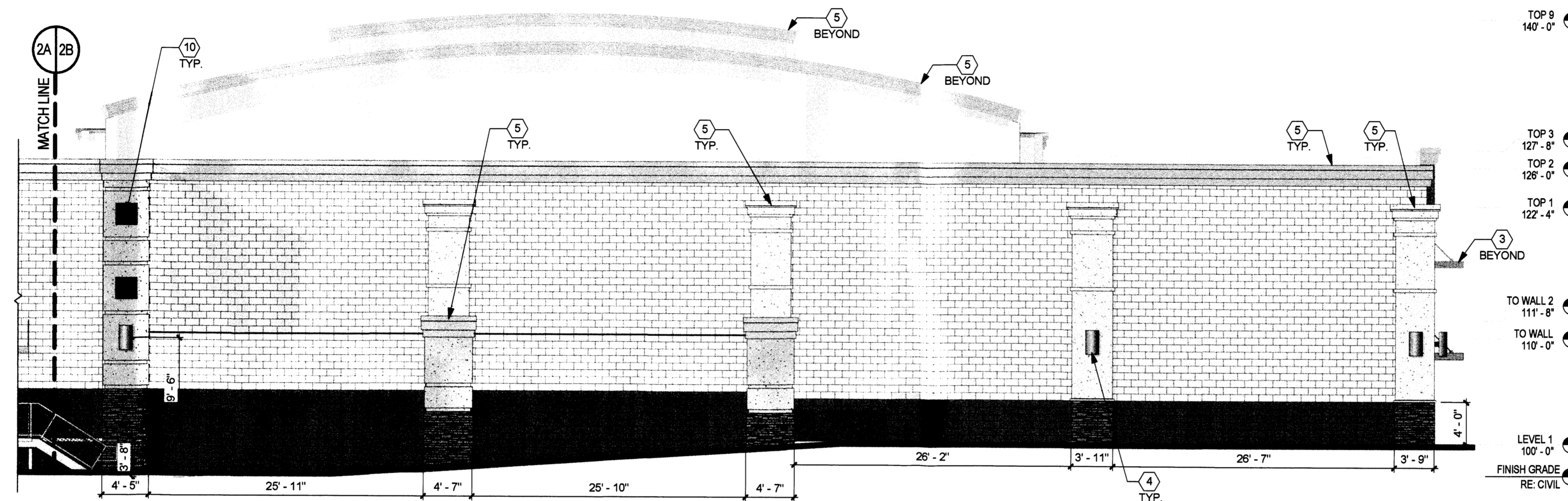
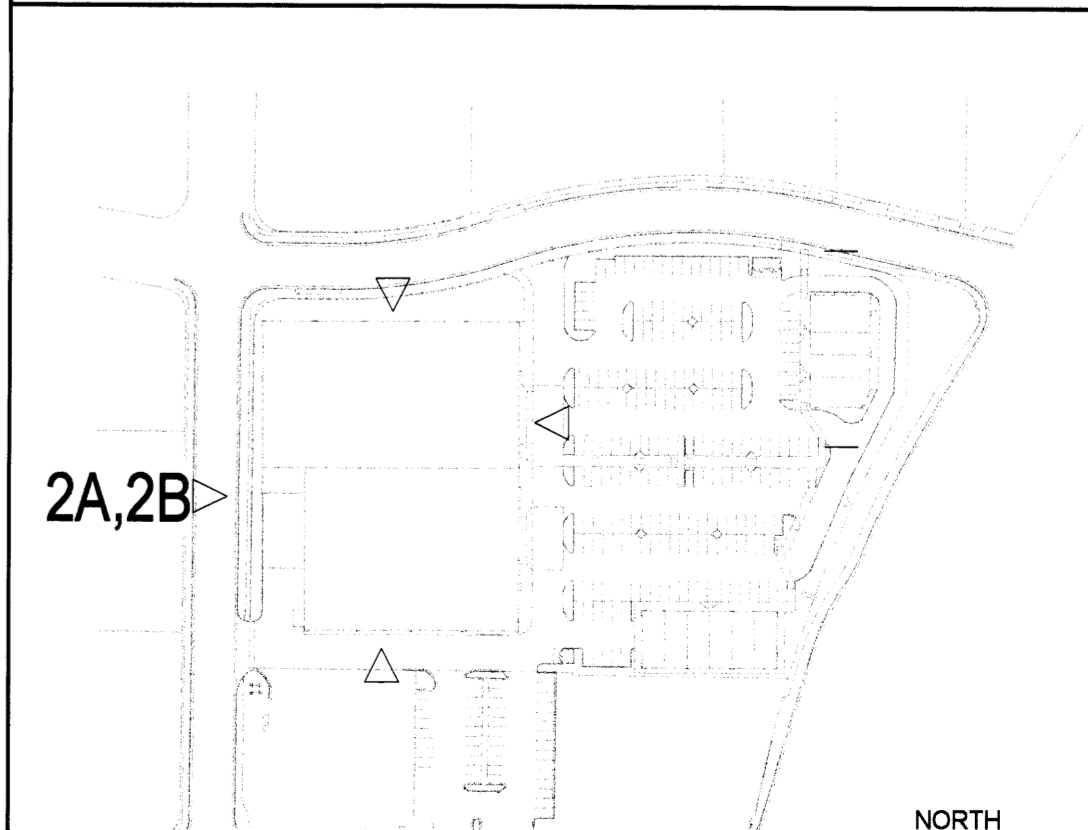
- HOLLOW METAL DOOR AND FRAME, PAINT COLOR TO MATCH ADJACENT WALL
- STEEL CANOPY WITH STEEL DECK AND HANGER RODS, COLOR: CLEAR ANODIZED
- WALL SCONCE
- METAL CAP OVER CORNICE, PAINT COLOR TO MATCH ADJACENT CORNICE
- E.I.F.S., COLOR: BLACK (2 x 2), AT PILASTERS ONLY
- 1 1/2" STEEL PIPE AND POST, PAINT COLOR TO MATCH ADJACENT WALL
- 2" x 2" GALVANIZED WELDED WIRE MESH, PAINT COLOR TO MATCH ADJACENT WALL
- E.I.F.S. RELIEF / REVEAL OVER CMU

**LEGEND**

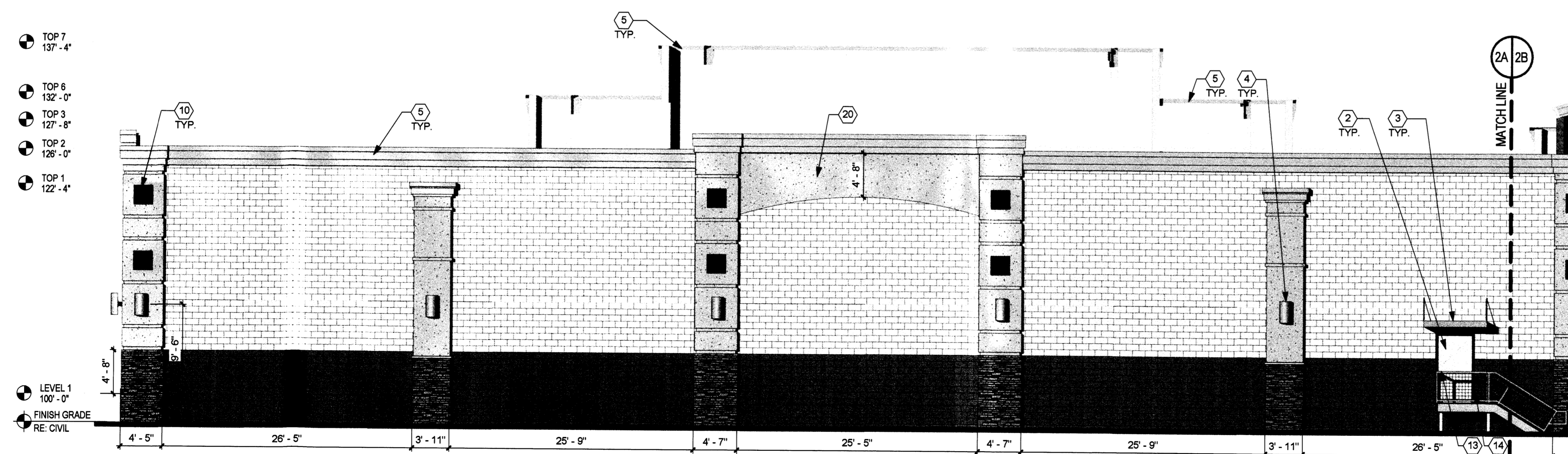
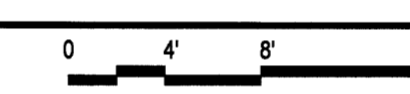
-  EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.), COLOR YELLOWISH-WHITE (FRENCH VANILLA, Sls NA09-0027)
-  E.I.F.S., COLOR MEDIUM DARK BROWN (HONEY TWIST, Sls NA09-0028)
-  E.I.F.S., COLOR DARK WHITE (BUCKSKIN, Sls NA09-0007)
-  E.I.F.S., COLOR BLACK (BLACK, Sls NA09-0026)
-  E.I.F.S., COLOR GRAYISH-BROWN (PRAIRIE CLAY, Sls NA09-0008)
-  SPLIT FACE CMU PAINTED TO MATCH BUCKSKIN E.I.F.S., COLOR: DARK WHITE AT NORTH, WEST, AND SOUTH SIDE ONLY.
-  SPLIT FACE CMU WITH INTEGRAL COLOR TO MATCH BUCKSKIN E.I.F.S., COLOR: DARK WHITE AT EAST SIDE ONLY.
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-  SPLIT FACE CMU, COLOR TO MATCH HONEY TWIST E.I.F.S., COLOR: MEDIUM DARK BROWN

**KEY PLAN**

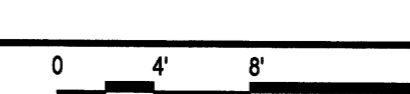
Not to Scale



**2B WEST ELEVATION**  
1/8" = 1'-0"



**2A WEST ELEVATION**  
1/8" = 1'-0"



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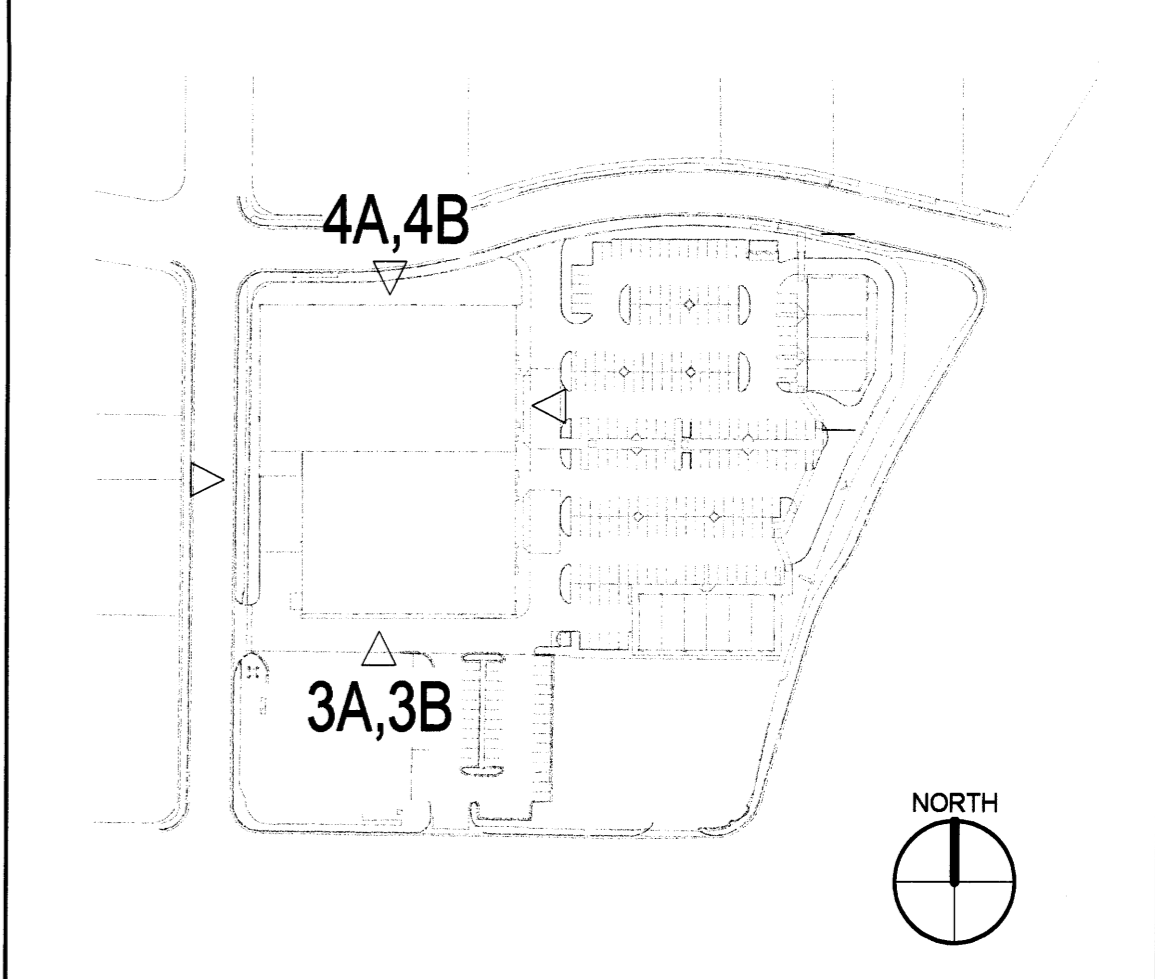
**KEYNOTES**

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  - 4 WALL SCONCE
  - 5 METAL CAP OVER CORNICE, PAINT COLOR TO MATCH ADJACENT CORNICE
  - 6 8" x 8" INTERNALLY ILLUMINATED SURFACE MOUNTED WINDOW BOXES WITH EXTERNALLY APPLIED GRAPHICS
  - 10 E.I.F.S., COLOR: BLACK (2 x 2), AT PILASTERS ONLY
  - 11 DOCK SEAL, COLOR: BLACK
  - 12 STEEL COMPACTOR DOOR, PAINT COLOR TO MATCH ADJACENT WALL
  - 15 6" WOOD BENCH
  - 17 DOCK DOOR, PAINT COLOR: TO MATCH ADJACENT WALL
  - 20 E.I.F.S. RELIEF / REVEAL OVER CMU

**LEGEND**

- EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.), COLOR YELLOWISH-WHITE (FRENCH VANILLA, Sto NA09-027)
- E.I.F.S., COLOR MEDIUM DARK BROWN (HONEY TWIST, Sto NA09-0028)
- E.I.F.S., COLOR DARK WHITE (BUCKSKIN, Sto NA09-0007)
- E.I.F.S., COLOR: BLACK (BLACK, Sto NA09-0026)
- E.I.F.S., COLOR: GRAYISH-BROWN (PRAIRIE CLAY, Sto NA09-0036)
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- SPLIT FACE CMU WITH INTEGRAL COLOR TO MATCH BUCKSKIN E.I.F.S., COLOR: DARK WHITE AT EAST SIDE ONLY.
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**KEY PLAN**



ARCHITECT

ENGINEER

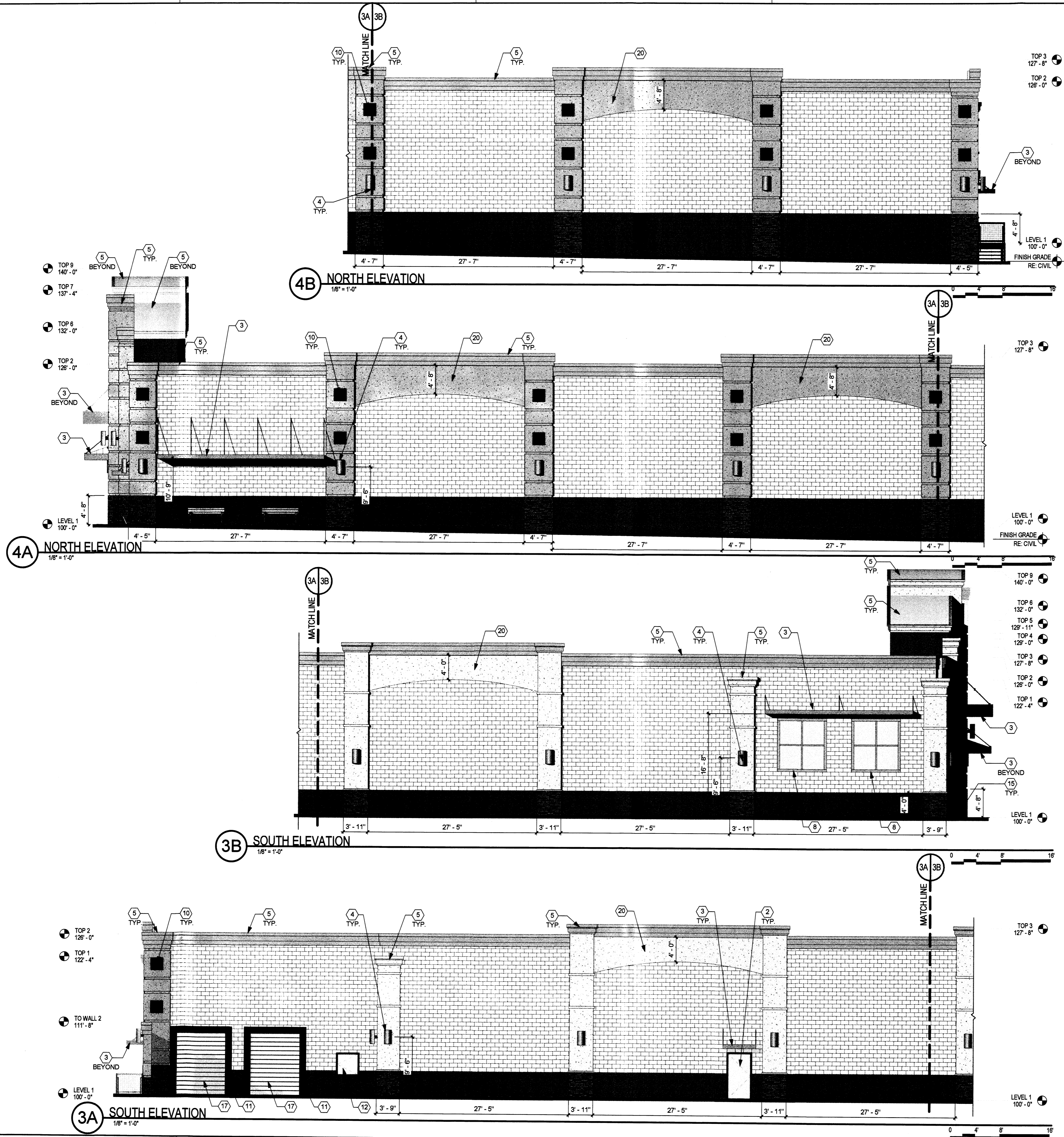
PROJECT

**Plaza at San Mateo**  
San Mateo Blvd. NE and Prospect Avenue NE  
Albuquerque, NM 87110

REVISIONS	DATE	DESCRIPTION

DRAWN BY  
REVIEWED BY  
DATE October 27, 2011  
PROJECT NO. 11-0039  
DRAWING NAME  
**BED BATH & BEYOND  
BUY BUY BABY  
BUILDING  
ELEVATIONS**

SHEET NO.  
**5e**



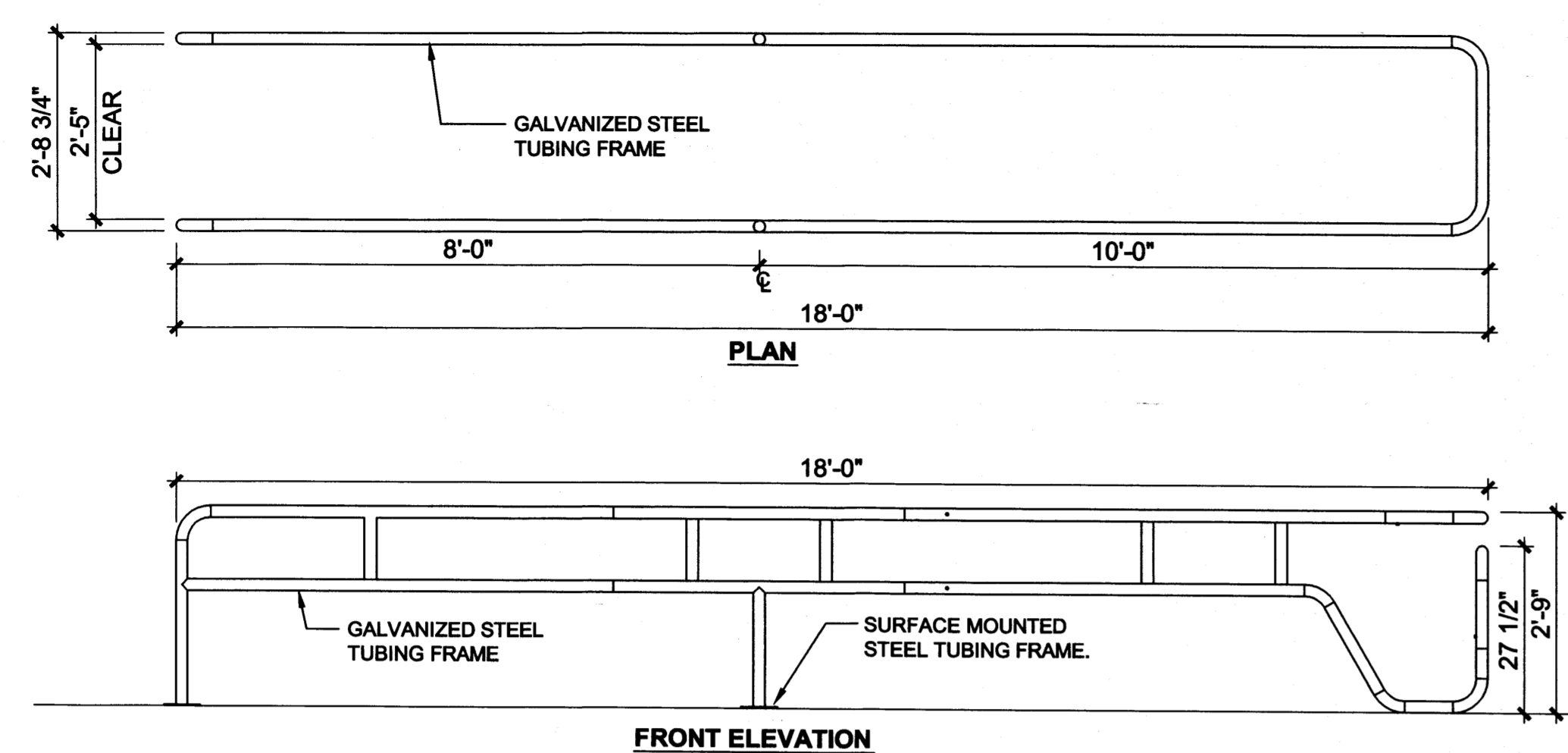
REVISIONS

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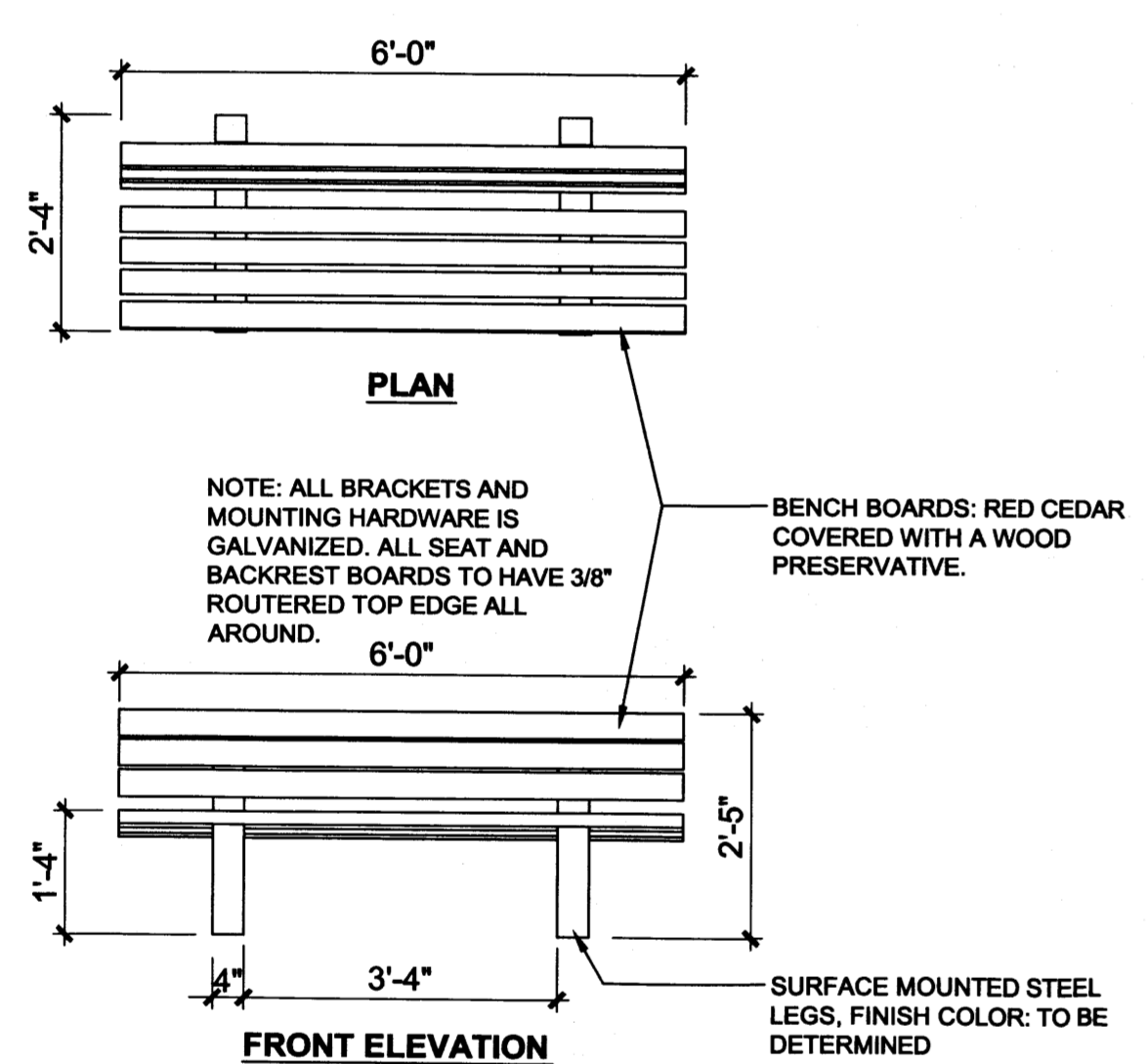
DRAWN BY  
REVIEWED BY  
DATE January 12, 2012  
PROJECT NO. 11-0039  
DRAWING NAME

SITE DETAILS

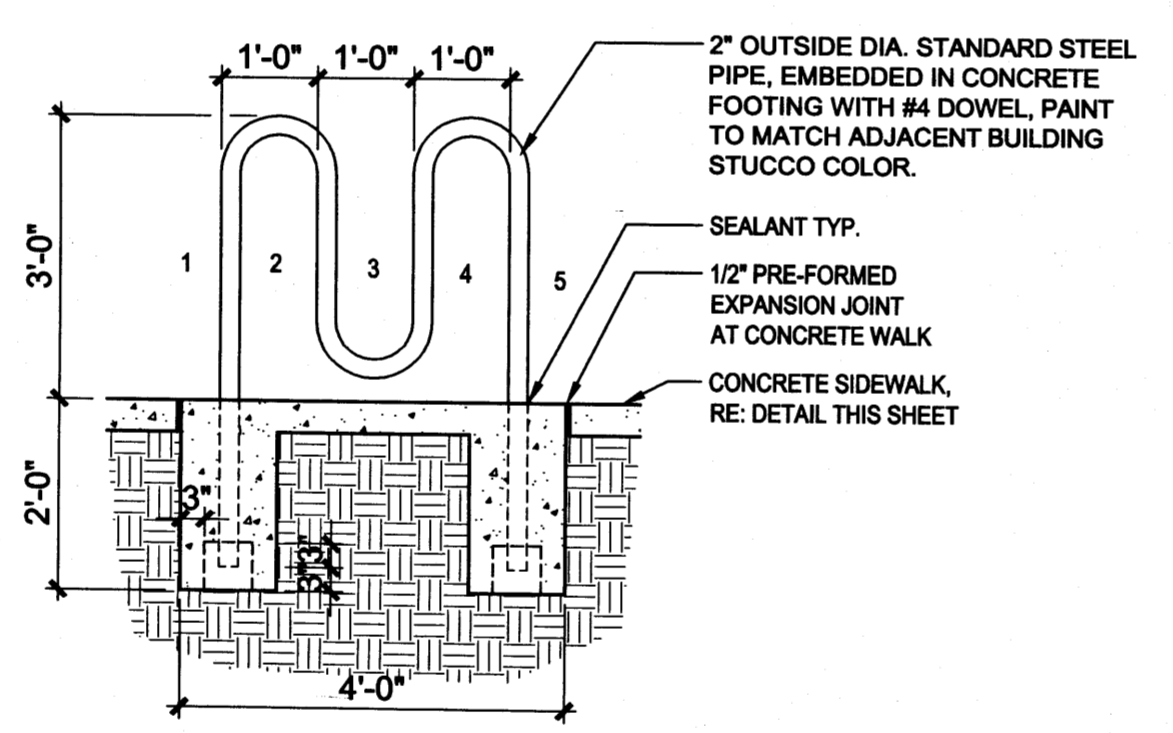
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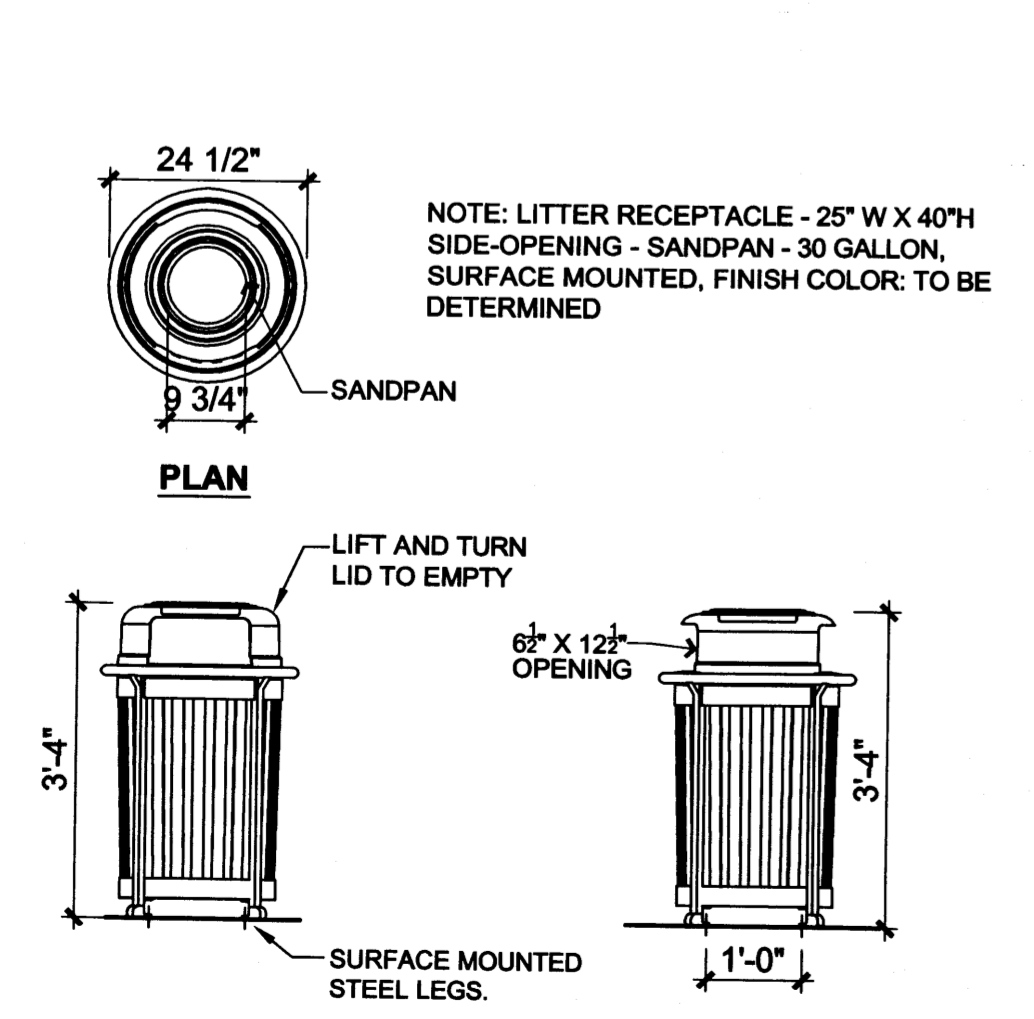
**D1 CART CORRAL**  
1/2" = 1'-0"  
0 1' 2' 4'



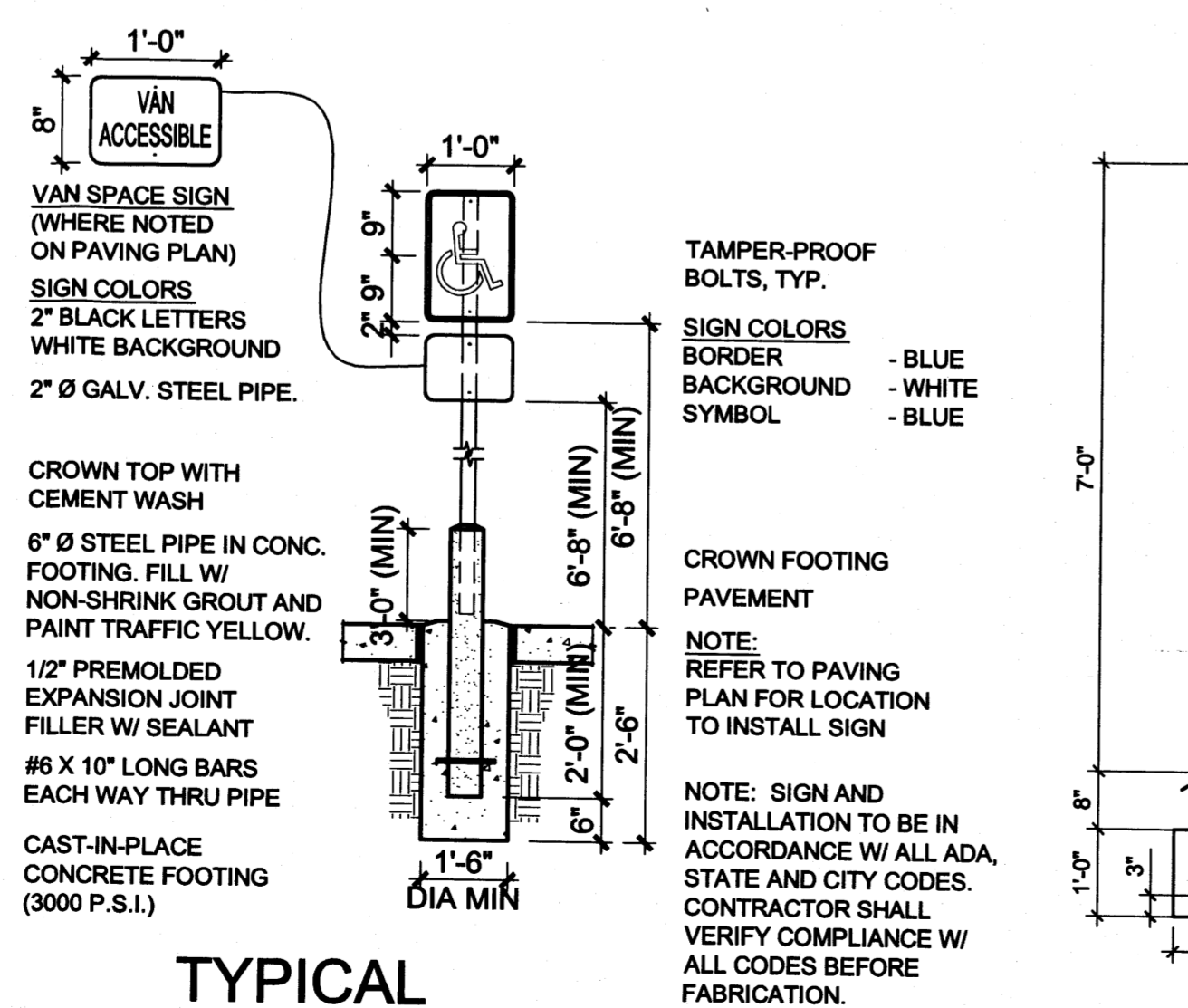
**B1 WOOD BENCH**  
1/2" = 1'-0"  
0 1' 2' 4'



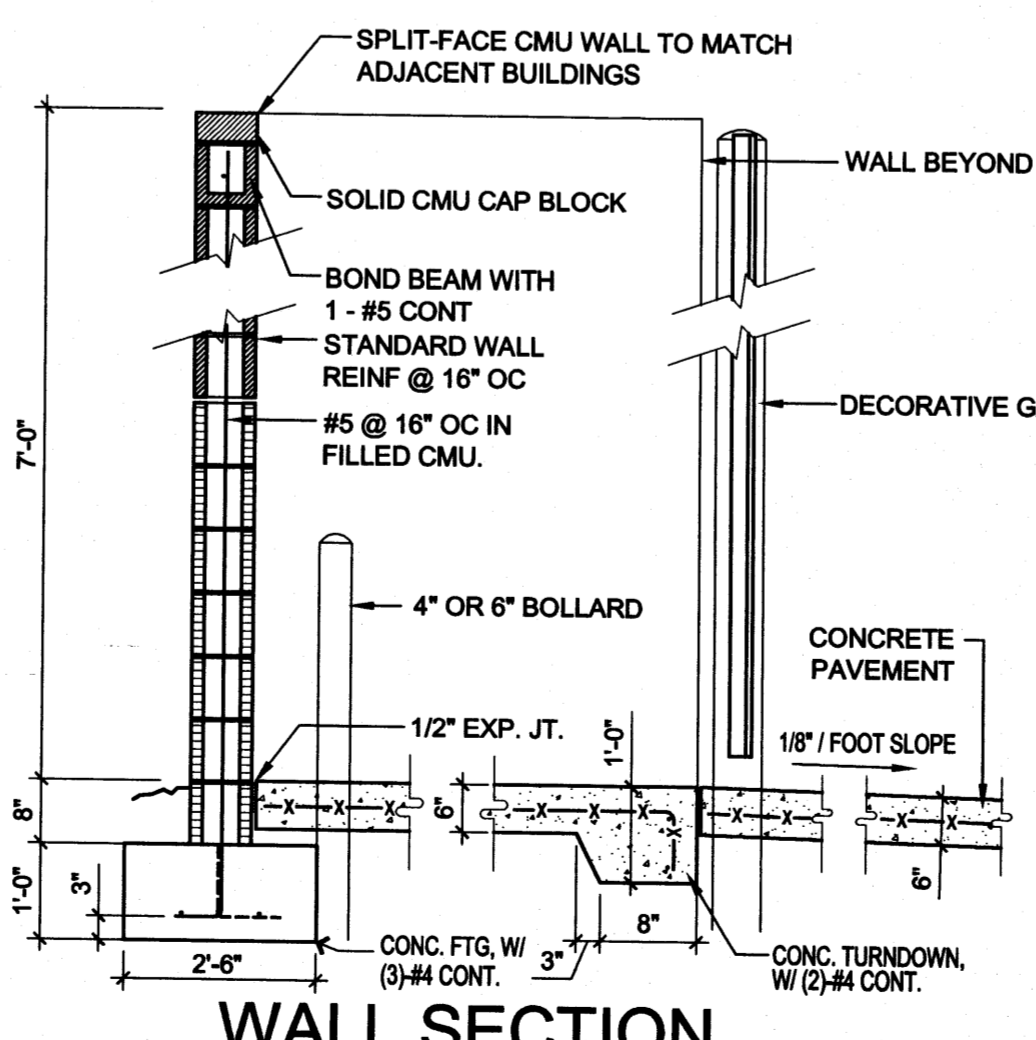
**B2 BIKE RACK**  
1/2" = 1'-0"  
0 1' 2' 4'



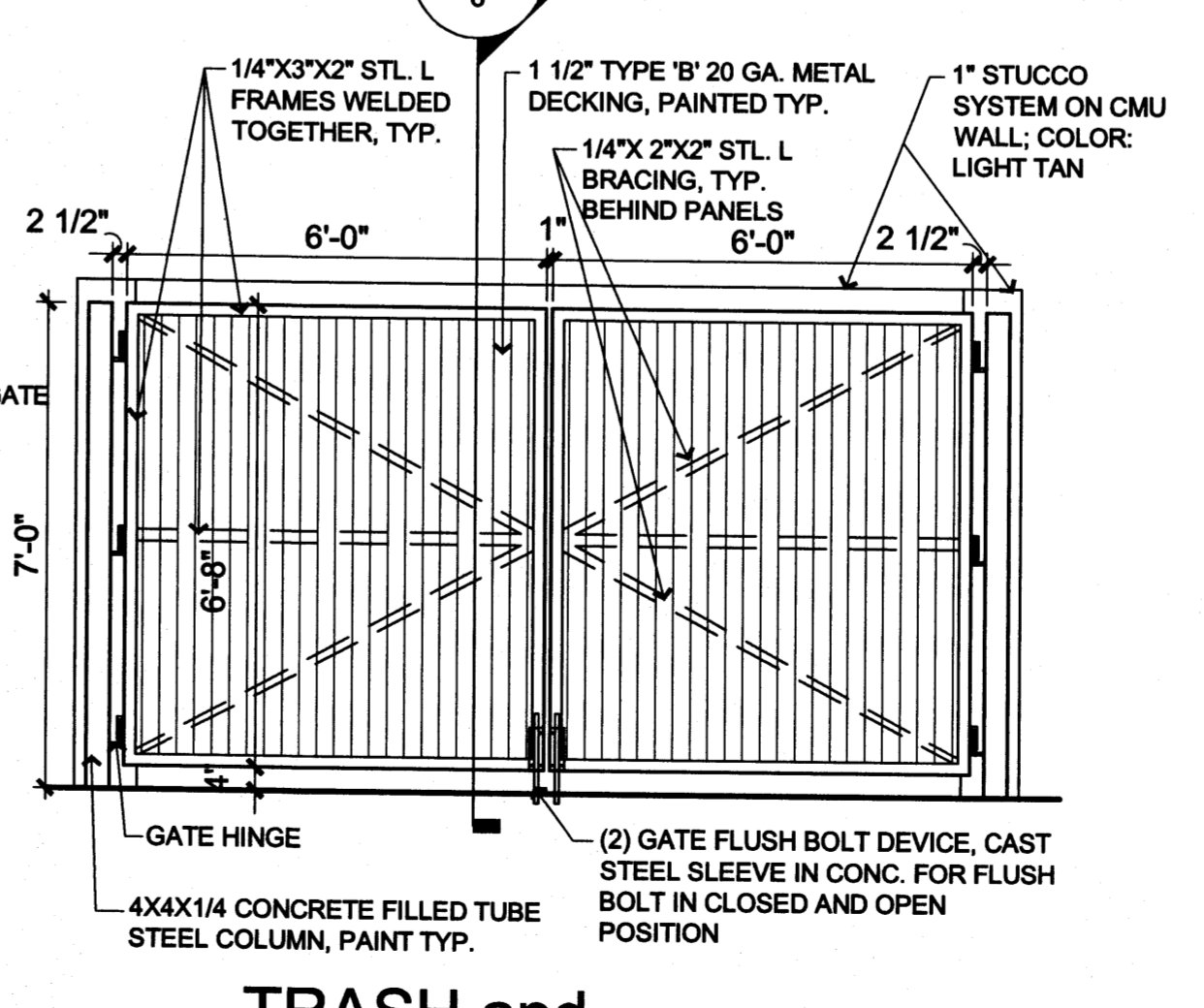
**A1 LITTER RECEPTACLE**  
1/2" = 1'-0"  
0 1' 2' 4'



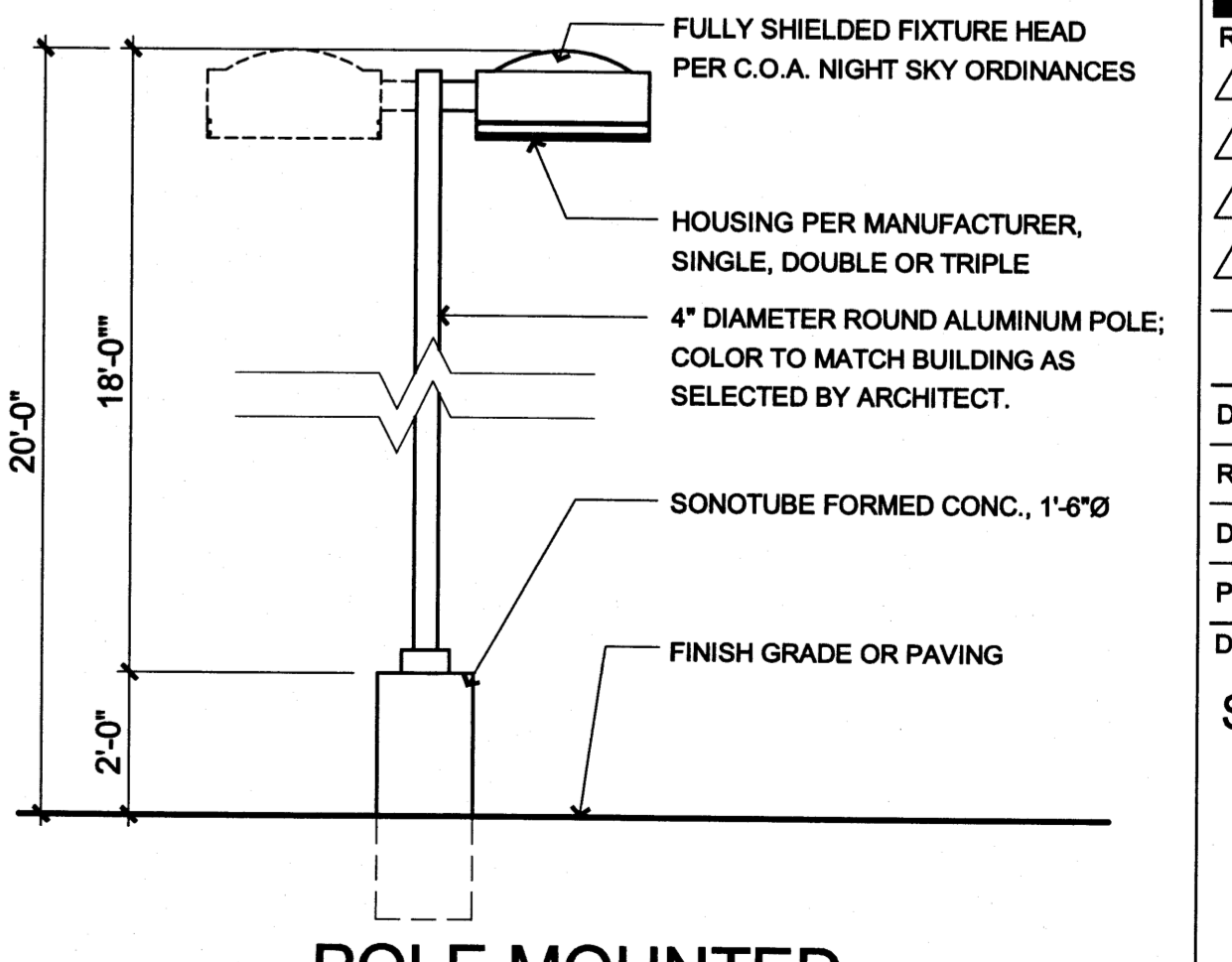
**A2 TYPICAL PARKING SIGNAGE**  
1/2" = 1'-0"  
0 1' 2' 4'



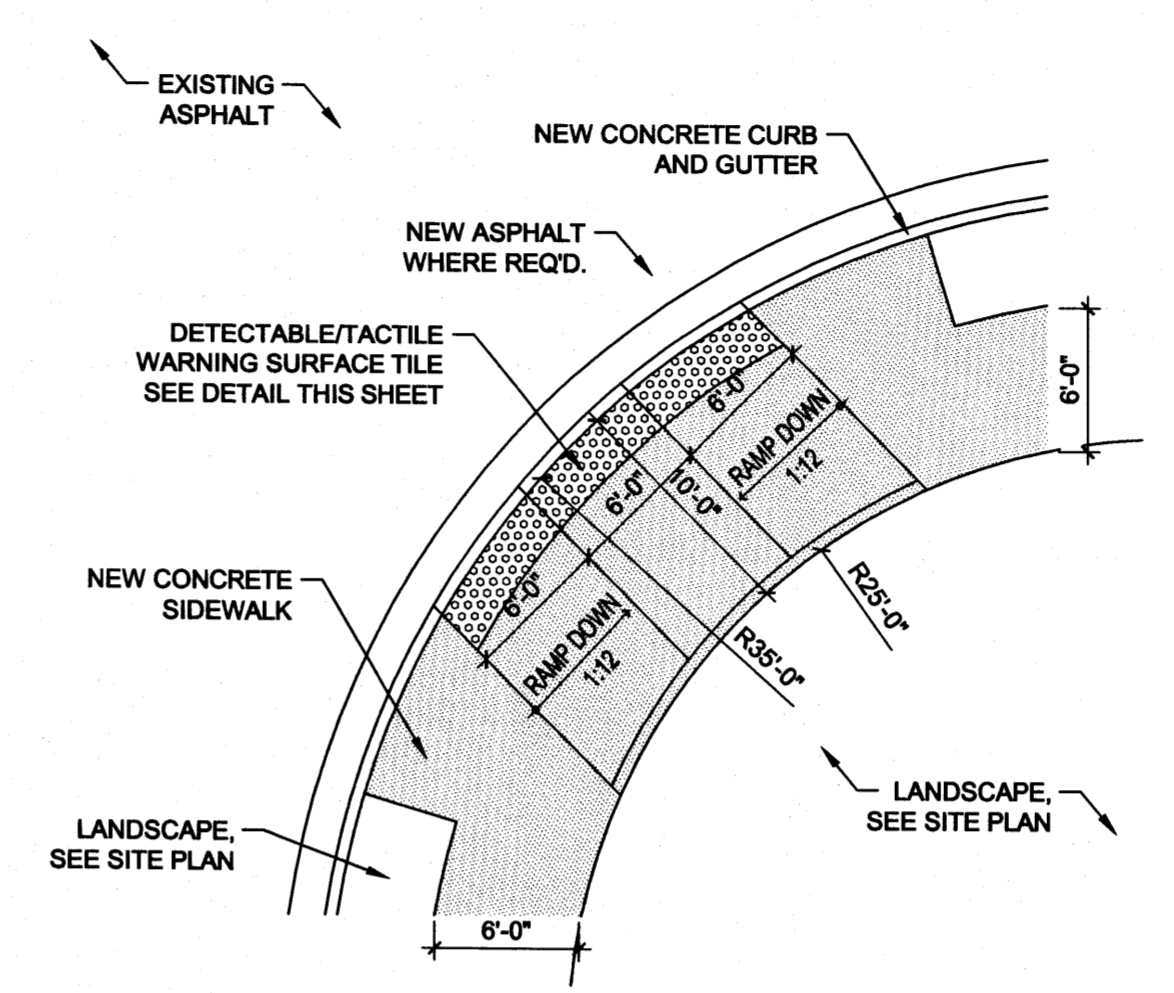
**A3 WALL SECTION at TRASH ENCLOSURE**  
1/2" = 1'-0"  
0 1' 2' 4'



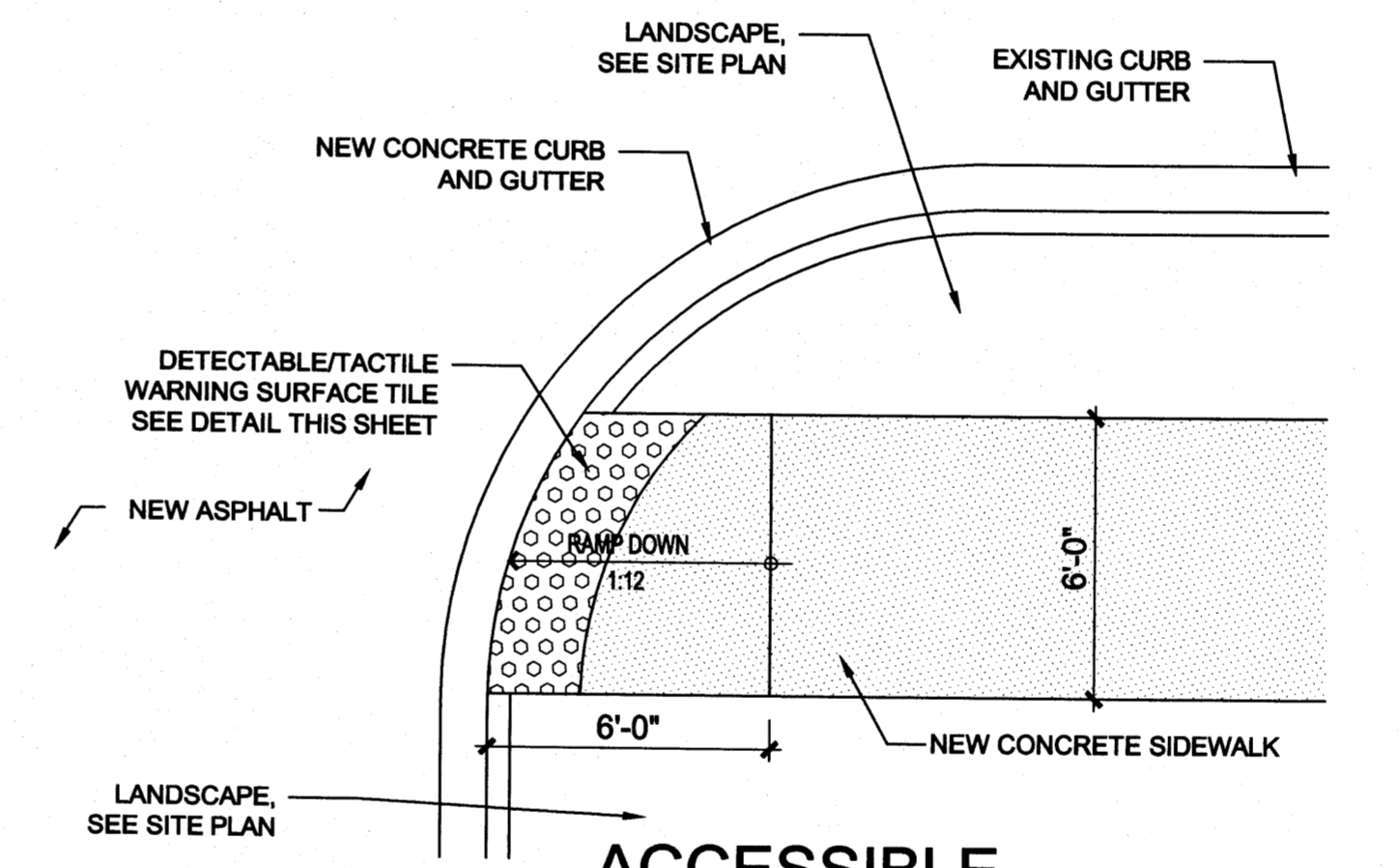
**A4 TRASH and RECYCLING ENCLOSURE**  
3/8" = 1'-0"  
0 2' 4' 6'



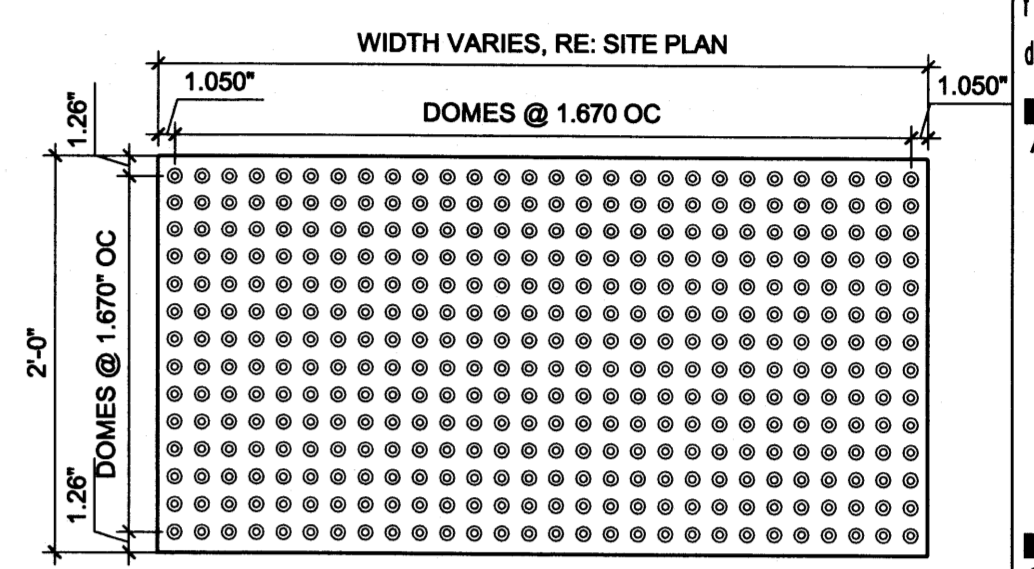
**A5 POLE MOUNTED PARKING LOT LIGHT**  
3/8" = 1'-0"  
0 2' 4' 6'



**C4 ACCESSIBLE RAMP at CORNER**  
1/8" = 1'-0"  
0 4' 8' 16'

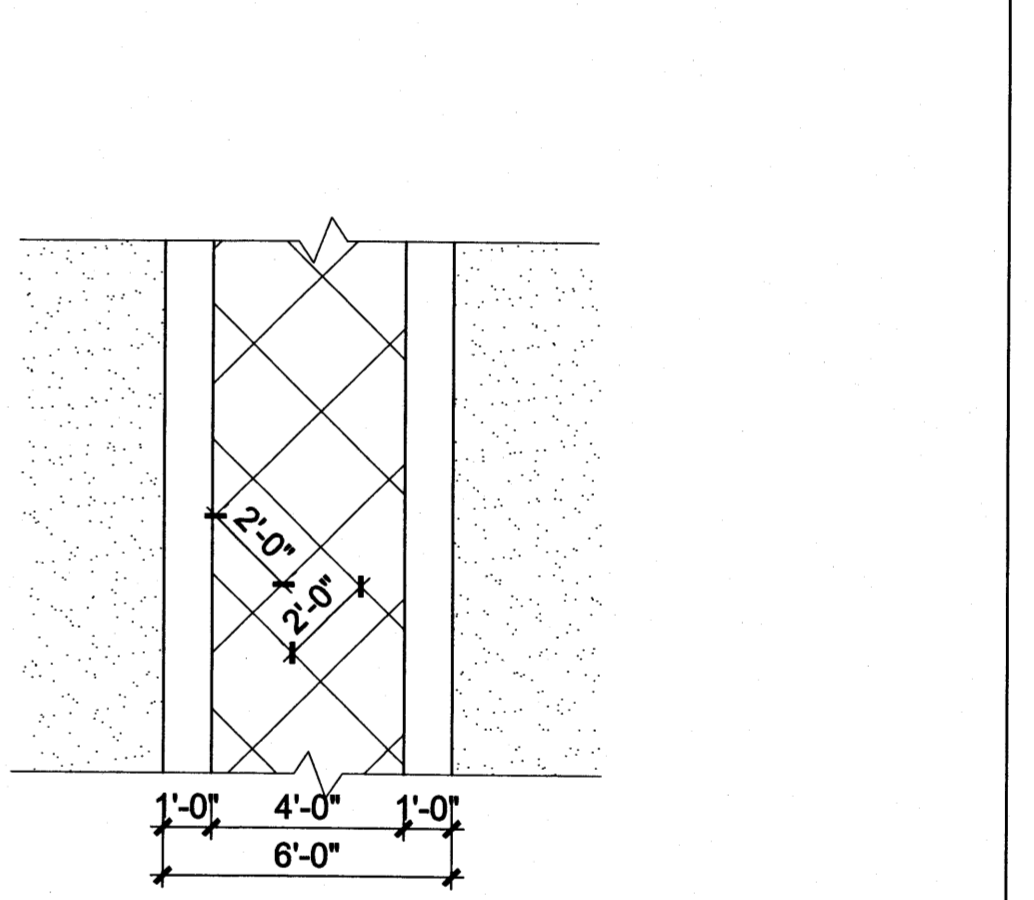


**B4 ACCESSIBLE RAMP at CORNER**  
1/4" = 1'-0"  
0 2' 4' 8'



**C5 DETECTABLE/TACTILE WARNING SURFACE TILE**  
1" = 1'-0"  
0 1/2' 1' 2'

MANUFACTURER: ARMOR-TILE ADA  
24" X 48" INLINE DOME TACTILE TILE OR APPROVED EQUAL  
PART NO.: ADA-C-2448-CR  
COLOR: DARK GREY  
DISTRIBUTOR: WHITE CAP CONSTRUCTION SUPPLY  
(505) 872-2244 - WWW.ARMOR-TILE.COM



**B5 CONCRETE PEDESTRIAN CROSSWALK**  
1/4" = 1'-0"  
0 2' 4' 8'