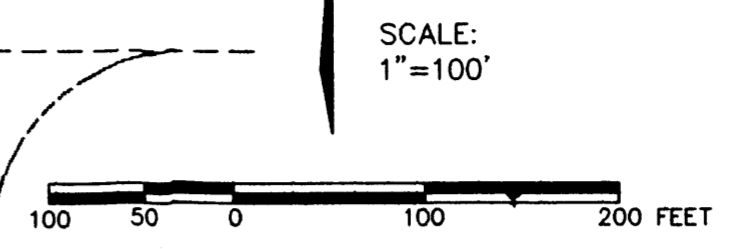


PLAT FOR BOULEVARD LTD.

BEING A REPLAT OF
 LOTS 1, 2, 3, & 4
 REPLAT OF TRACT H, LANDS OF HORIZON CORPORATION
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 18, T. 11 N., R. 3 E., NMPM
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
 NEW MEXICO
 JUNE 2004

INTERSECTION NOTES:

- FULL MEDIAN OPENING ON PARADOSE BLVD.
- RIGHT-IN/RIGHT-OUT AT UNSER BLVD/BUGLO AVE



BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	3199.29	1079.18 (1079.56')	544.76	1074.07	S 78°56'56" W	19°19'37" (19°20'02")
C2	30.00	47.99 (47.14')	30.87	43.03	N 45°33'54" W	91°38'43" (90°01'42")
C3	1658.00	161.01	80.57	160.94	N 21°11'24" E	5°33'50"
C4	275.00	56.80	28.50	56.70	S 66°21'39" E	11°50'05"
C5	325.00	18.06	9.03	18.05	S 65°48'43" E	3°11'00"
C6	25.00	29.52	16.76	27.84	N 33°34'23" W	67°39'39"
C7	100.00	162.79	105.88	145.40	N 46°22'46" W	93°16'25"
C8	1422.00	727.16	371.72	719.26	N 14°54'25" E	29°17'57"
C9	1502.00	297.09	149.03	296.61	N 36°28'18" E	11°19'59"
C13	500.00	165.98	83.76	165.22	N 29°44'09" W	19°01'13"
C14	500.00	165.98	83.76	165.22	S 29°44'09" E	19°01'13"
C15	1658.00	265.67	133.12	265.38	N 37°04'35" E	9°10'50"
C17	325.00	39.48	19.76	39.45	S 63°55'25" E	6°57'36"
C18	1658.00	308.79	154.84	308.35	N 23°44'37" E	10°40'16"
C19	25.00	39.10	24.83	35.23	S 15°38'20" E	89°36'34"
C20	275.00	56.80	28.50	56.70	S 66°21'39" E	11°50'05"
C23	3199.29	198.33	99.20	198.30	S 71°03'41" W	3°33'07"
C24	3199.29	789.91	396.97	787.90	S 79°54'38" W	14°08'47"
FC21	1580.00	310.93	155.97	310.43	N 36°30'01" E	11°16'32"
FC22	1580.00	399.88	201.02	398.82	N 23°36'43" E	14°30'04"

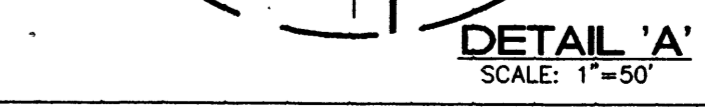
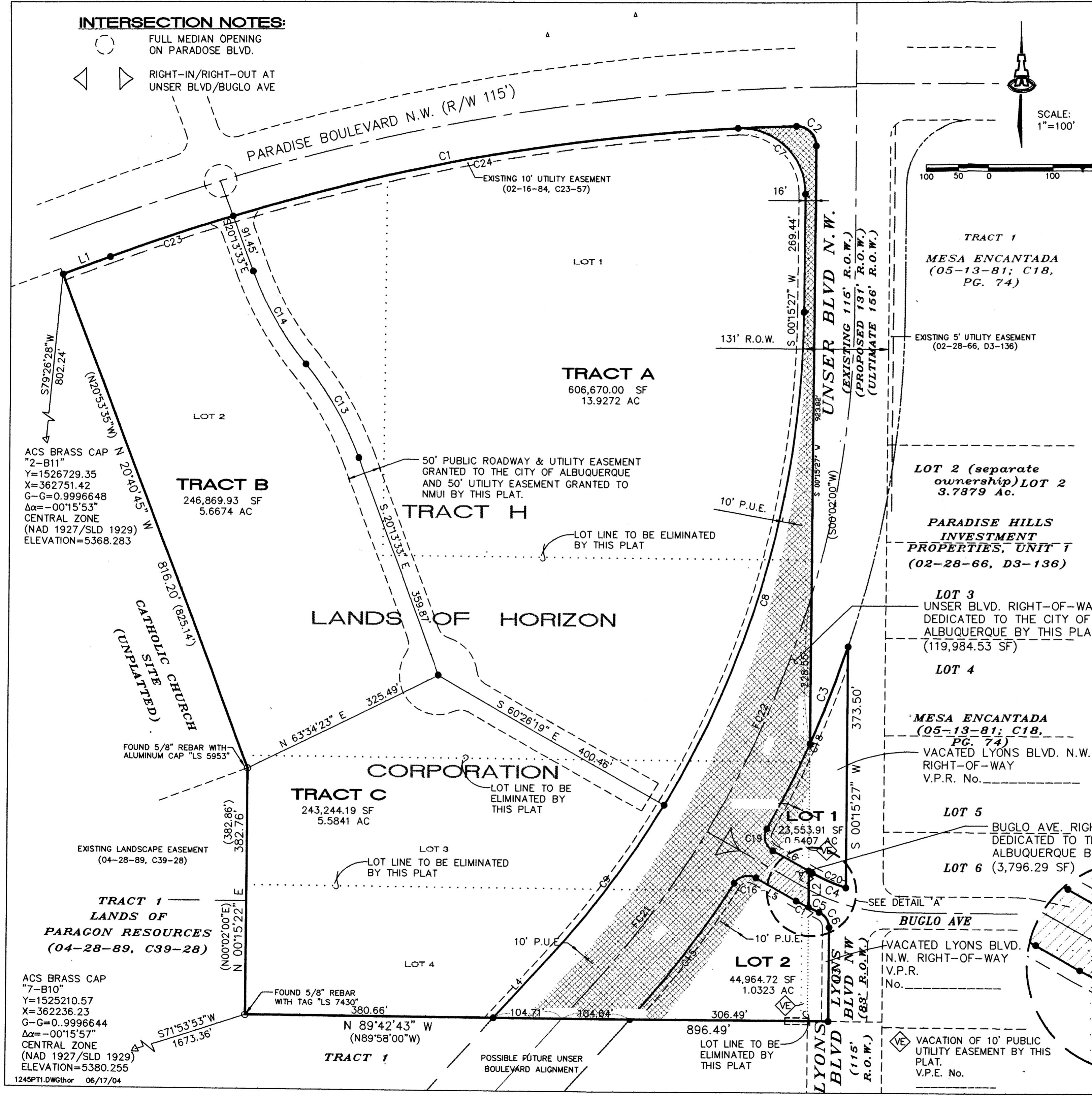
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 69°17'08" E (N68°57'20"E)	77.20 (78.65')
L2	S 00°15'27" W	56.53
L3	S 00°15'27" W	145.38
L5	S 60°26'37" E	72.31
L7	S 60°26'37" E	6.25

NOTES

1. DISTANCES IN BRACKETS ARE MONUMENT DISTANCES.
2. SEE THIS SHEET FOR EASEMENT NOTES AND BOUNDARY TIE INFORMATION.
3. N/R DESIGNATES NON-RADIAL LINE.

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP OR WASHER "LS 3516" (TYP)
- FOUND ALUMINUM CAP IN CONCRETE (TYP)



ACS BRASS CAP "7-B10"
 Y=1525210.57
 X=362236.23
 G-G=0.9996644
 Δα=-00°15'57"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5380.255

Beek
PLAT
FOR
BOULEVARD LTD.

BEING A REPLAT OF
LOTS 1, 2, 3, & 4
REPLAT OF TRACT H, LANDS OF HORIZON CORPORATION
TOWN OF ATRISCO GRANT

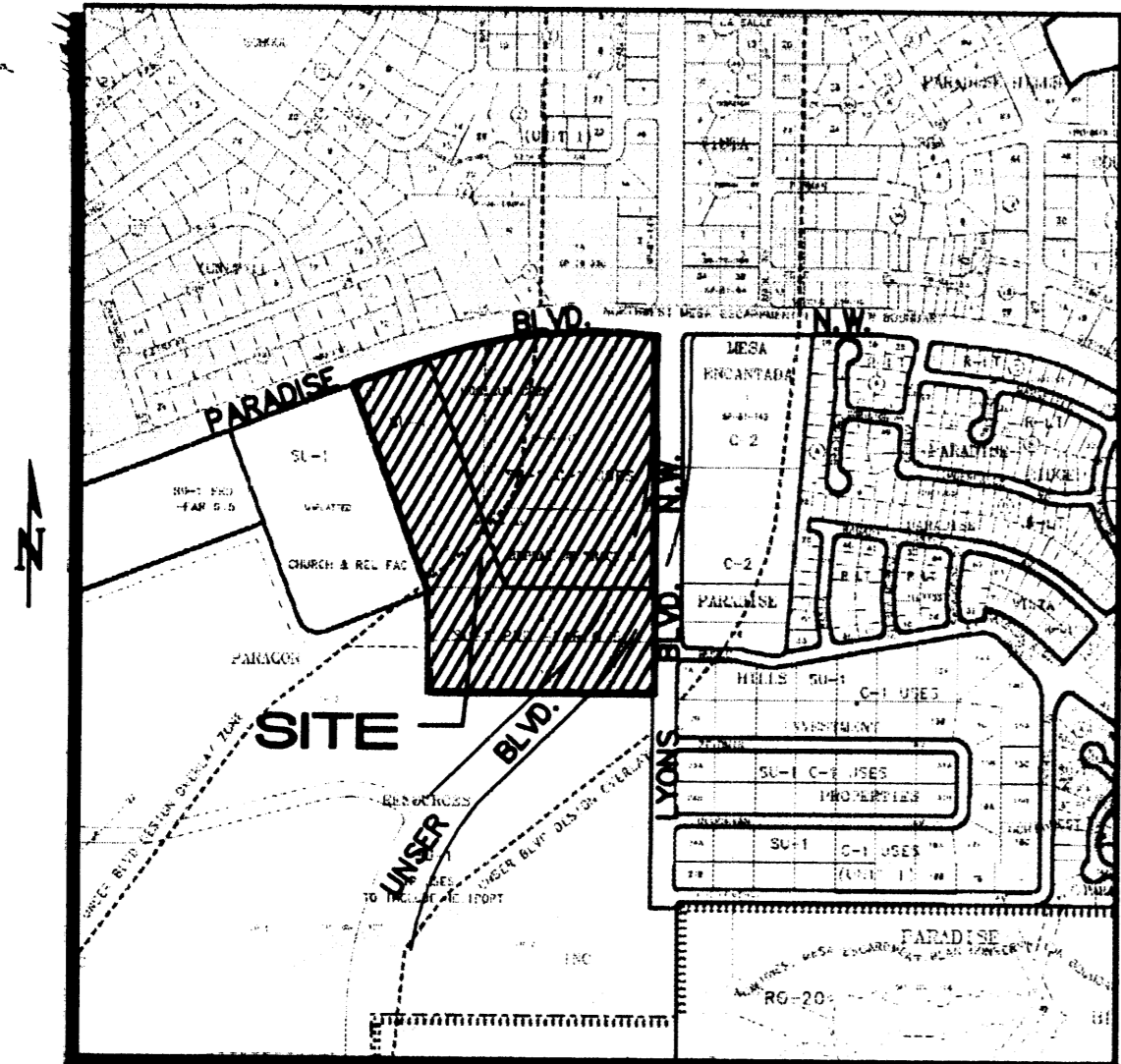
PRELIMINARY APPROVAL ON

PROJECTED SECTION 18, T. 11 N., R. 3 E., NMPM
CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO
JUNE 2004

v. Final
PRELIMINARY PLAT APPROVED BY DRB ON 8/25/04

APPROVALS
DRB PROJECT NO.
APPLICATION NO.
Utility Approvals

PNM ELECTRIC SERVICES DIVISION	DATE
PNM GAS SERVICES DIVISION	DATE
QWEST	DATE
COMCAST	DATE
NEW MEXICO UTILITIES <i>City Approvals</i> <i>[Signature]</i> CITY SURVEYOR	DATE 6-18-04
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



VICINITY MAP

SUBDIVISION DATA / NOTES

- Total Number of Existing Tracts: 1
- Total Number of Lots created: **5**
- Total Number of Tracts created: 0
- Gross Subdivision Acreage: 29.8336 Ac.
- Total Mileage of Full Width Streets Created: 0.128
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats (and documents) of record entitled:
"LANDS OF PARAGON RESOURCES, TRACTS 1 AND 2", (04-28-89, C39-28)
"REPLAT OF TRACT H, LANDS OF HORIZON CORPORATION, PARADISE HILLS DEVELOPMENT CORPORATION", (02-16-84, C23-57)
"PARADISE RIDGE", (01-15-03, 03C-8)
"PARADISE HILLS INVESTMENT PROPERTIES, UNIT 1", (02-28-66, D3-136)
"MESA ENCANTADA, TRACT 1", (05-13-81, C18-74)
records of Bernalillo County, New Mexico.
- Field Survey performed by Aldrich Land Surveying, January, 2004.
- Title Report(s): provided by First American Title Insurance Company GF NO. 78270.PJU(KM) (Effective date: 06-18-92) LOT 1 provided by LandAmerica Albuquerque Title Company File No: 238412TD (Effective date: 02-03-04) LOT 2 File No: 125760VM (Effective date: 04-13-94) LOTS 3 and 4
- This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
- City of Albuquerque zoning: C-2 and as affected by all applicable provisions of the NORTHWEST MESA ESCARPMENT PLAN.
- These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area, water and sanitary sewer system capabilities are based on the NMU, Inc. facilities, not the City of Albuquerque, water and sanitary sewer improvements must, however, be approved by both City of Albuquerque, and NMU, Inc.
- Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719".

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject lots and the vacated public right-of-way into commercial tracts, to dedicate and vacate public rights-of-way, and to grant those easements necessary to serve the residential development and to vacate easements.

LEGAL DESCRIPTION

A certain tract of land situate within Projected Section 18, Township 11 North, Range 3 East, New Mexico Principal Meridian, Town of Atrisco Grant, Bernalillo County, New Mexico. Being comprised of all of Lots 1, 2, 3, & 4. Replat of Tract H, Lands of Horizon Corporation as the same is shown and designated upon the Plat of said Lands of Horizon. Filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 16, 1984 in Vol. C23, Folio 57 together with a portion of vacated Lyons Blvd. N.W. a Public Right-Of-Way and containing an area of 29.8336 acres (1,299,552.27 sqft) more or less.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) warrants that [he/she] holds complete and indefeasible title in fee simple to the land subdivided and do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

BULK LAND VARIANCE NOTE

A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT. DETAILS OF THE VARIANCE OR WAIVER WERE FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON _____, 200__, IN _____, PAGE _____.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL. THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS OR SITE DEVELOPMENT PLANS ARE APPROVED. BY ITS APPROVAL THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

OWNER

**BOULEVARD LIMITED PARTNERSHIP,
A NEW MEXICO LIMITED PARTNERSHIP**

[Signature] **6/17/04**
Date
ROBERT J. SCHAEFER, PRESIDENT
R. J. SCHAEFER REALTY INVESTMENT CO.
MANAGING PARTNER

ACKNOWLEDGMENT

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO }

This instrument was acknowledged before me on **6/17/04**
2004, R.J. Schaefer as President of R.J. Schaefer Realty Investment Inc., Managing and limited partner of Boulevard Limited Partnership, New Mexico Limited Partnership, on behalf of said limited partnership.

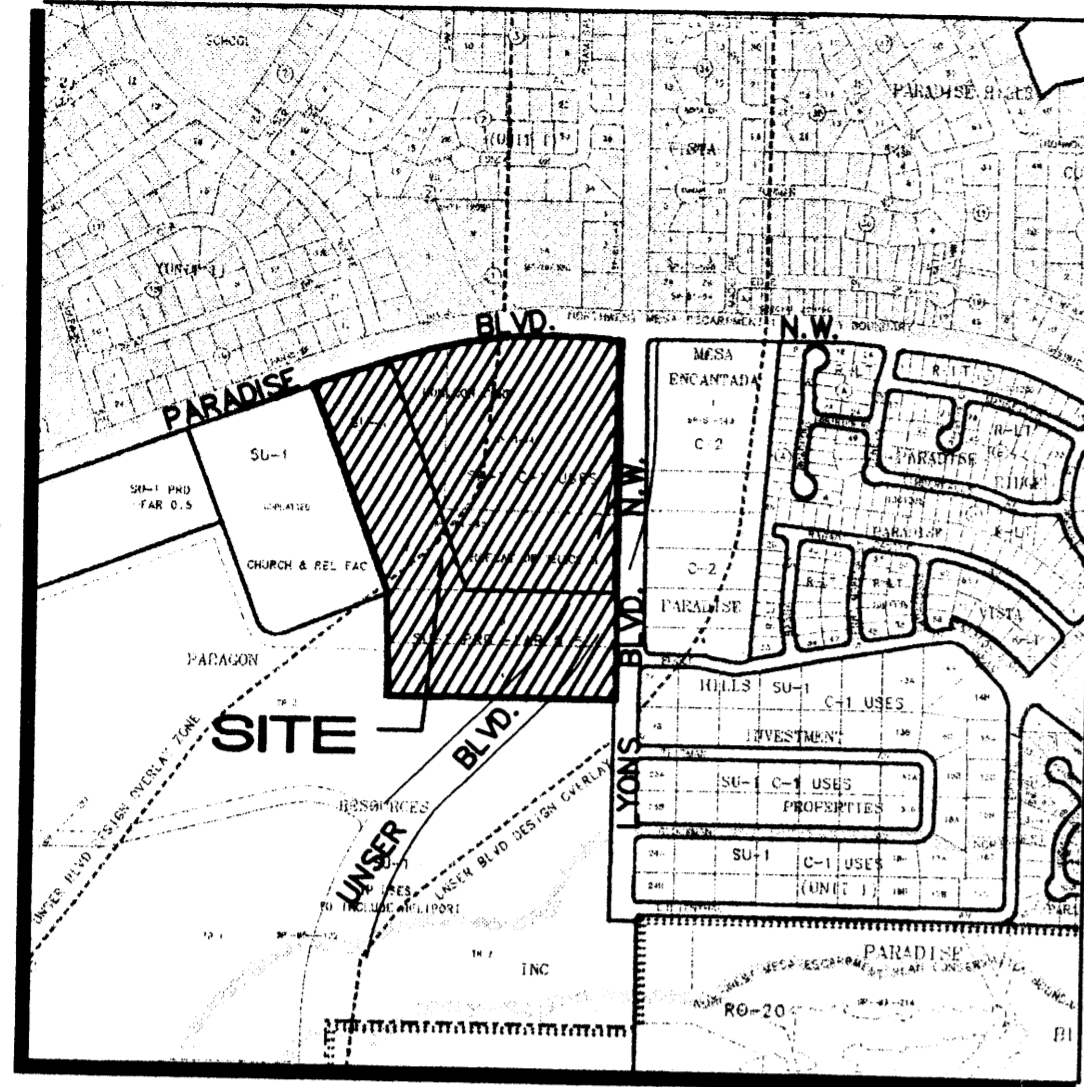
My Commission Expires: **6/30/07**
[Signature]
Notary Public

ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief."

[Signature] **06-17-04**
Date
Timothy Aldrich, P.S. No. 7719



B-11 VICINITY MAP 1"=750±

SUBMISSION DATA / NOTES

- Total Number of Existing Lots: 4
- Total Number of Lots created: 2
- Total Number of Tracts created: 1
- Gross Subdivision Acreage: 29.8336 Ac.
- Total Mileage of Full Width Streets Created: 0.128
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats (and documents) of record entitled:
 - LANDS OF PARAGON RESOURCES, TRACTS 1 AND 2", (04-28-89, C39-28)
 - REPLAT OF TRACT H, LANDS OF HORIZON CORPORATION, PARADISE HILLS DEVELOPMENT CORPORATION", (02-16-84, C23-57)
 - "PARADISE RIDGE", (01-15-03, 03C-8)
 - "PARADISE HILLS INVESTMENT PROPERTIES, UNIT 1", (02-28-86, D3-136)
 - "MESA ENCANTADA, TRACT 1", (05-13-81, C18-74)
 records of Bernalillo County, New Mexico.
- Field Survey performed by Aldrich Land Surveying, January, 2004.
- Title Report(s): provided by First American Title Insurance Company GF NO. 78270.PJU(KM) (Effective date: 06-18-92) LOT 1 provided by LandAmerica Albuquerque Title Company File No: 238412TD (Effective date: 02-03-04) LOT 2 File No: 125760VM (Effective date: 04-13-94) LOTS 3 and 4
- This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
- City of Albuquerque zoning: SU-1 for C-1 & SU-1 for PRD and as affected by all applicable provisions of the NORTHWEST MESA ESCARPMENT PLAN.
- These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area, water and sanitary sewer system capabilities are based on the NMU, Inc. facilities, not the City of Albuquerque.
- Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719".

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject lots and the vacated public right-of-way into commercial tract and lots, to dedicate and vacate public rights-of-way, and to grant those easements necessary to serve the residential development.

16. No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels with the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision.

LEGAL DESCRIPTION

A certain tract of land situate within Projected Section 18, Township 11 North, Range 3 East, New Mexico Principal Meridian, Town of Atrisco Grant, Bernalillo County, New Mexico. Being comprised of all of Lots 1, 2, 3, & 4. Replat of Tract H, Lands of Horizon Corporation as the same is shown and designated upon the Plat of said Lands of Horizon. Filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 16, 1984 in Vol. C23, Folio 57 together with a portion of vacated Lyons Blvd. N.W. a Public Right-Of-Way and containing an area of 29.8336 acres (1,299,552.27 sqft) more or less.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) warrants that [he/she] holds complete and indefeasible title in fee simple to the land subdivided and do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

BULK LAND VARIANCE NOTE

A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT. DETAILS OF THE VARIANCE OR WAIVER WERE FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON 7/27/07, IN Month, PAGE 2008026462

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL. THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS OR SITE DEVELOPMENT PLANS ARE APPROVED. BY ITS APPROVAL THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

OWNER

PARADISE AT UNSER, LLC.

Steven A. Jackson
STEVEN A. JACKSON
MEMBER
Date: 7-27-07

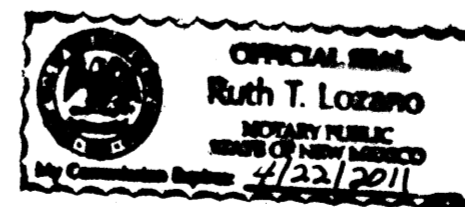
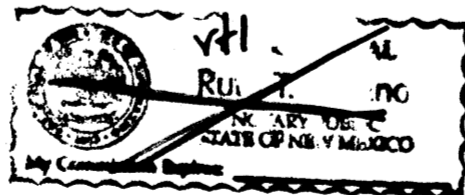
ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO }

This instrument was acknowledged before me on July 27 2007, Steven A. Jackson, a Member of Paradise At Unser, LLC., a New Mexico Limited Liability Company, on behalf of said company.

My Commission Expires: 4/22/2011

Ruth J. Logans
Ruth J. Logans
Notary Public



ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

DOCH 2008026463
03/07/2008 10:08 AM Page: 1 of 2
PLAT P: 912.00 S: 20080 P: 0092 N: Toulouse, Bernalillo County

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 101054815131309 PROPERTY OWNER OF RECORD: PARADISE UNSER LLC BERNALILLO COUNTY TREASURER'S OFFICE 3708

BULK LAND PLAT FOR PARADISE AT UNSER

BEING A REPLAT OF LOTS 1, 2, 3, & 4
REPLAT OF TRACT H, LANDS OF HORIZON CORPORATION
TOWN OF ATRISCO GRANT
PROJECTED SECTION 18, T. 11 N, R. 3 E, NMPM
CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO
JULY 2007

APPROVALS

DRB PROJECT NO. 1002715
APPLICATION NO. 07 DRB-70186
Utility Approvals

Leah D. Muth 8-13-07
PNM ELECTRIC SERVICES DIVISION DATE
Leah D. Muth 8-13-07
PNM GAS SERVICES DIVISION DATE
Doreen Balice 9-30-07
QWEST DATE
John Babin 8-23-07
COMCAST DATE
Christina Sandoval 8-30-07
NEW MEXICO UTILITIES DATE
City Approvals

Ruth T. Lozano August 19, 2007
CITY SURVEYOR DATE
Scott M. Howard 10-15-07
REAL PROPERTY DIVISION DATE
N/A
ENVIRONMENTAL HEALTH DEPARTMENT DATE
John D. ... 9-12-07
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

N/A
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DATE
Christina Sandoval 9/12/07
PARKS AND RECREATION DEPARTMENT DATE
Bradley S. Bingham 9/27/07
AMAFCA DATE
Ruth T. Lozano 9/12/07
CITY ENGINEER DATE
Jack Clark 3/05/08
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

SURVEYOR'S CERTIFICATION

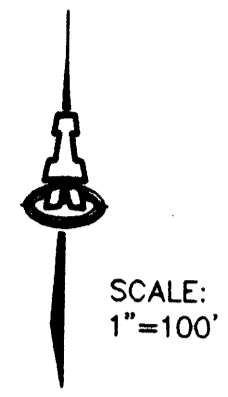
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 1, 1999 and October 2000), and is true and correct to the best of my knowledge and belief."

Timothy Aldrich
Timothy Aldrich, P.S. No. 7719
Date: 08-21-07
SHEET 1 OF 2



BULK LAND PLAT FOR PARADISE AT UNSER

BEING A REPLAT OF
 LOTS 1, 2, 3, & 4
 REPLAT OF TRACT H, LANDS OF HORIZON CORPORATION
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 11, T. 11 N., R. 2 E., NMPM
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
 NEW MEXICO
 JULY 2007



BOUNDARY CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	3199.29	1079.18	544.76	1074.07	N 78°56'56" E	19°19'37"
		(1079.56')				(19°20'02")
C2	30.00	47.99	30.87	43.03	S 45°33'54" E	91°38'43"
		(47.14')	(30.01')			(90°01'42")
C3	1078.00	131.04	65.60	130.96	N 26°18'05" E	6°57'54"
C4	272.00	16.59	8.30	16.59	N 87°59'17" W	3°29'42"
C5	328.00	7.69	3.84	7.69	S 87°30'37" E	1°20'34"
C6	25.00	38.59	24.33	34.87	S 43°57'44" E	88°26'21"
C7	100.00	162.79	105.88	145.40	N 46°22'46" W	93°16'25"
C8	922.00	670.45	350.82	655.78	N 21°05'22" E	41°39'51"
C16	30.00	47.12	30.00	42.43	S 86°55'17" W	90°00'00"
C17	328.00	221.89	115.38	217.68	S 67°27'32" E	38°45'38"
C18	1078.00	359.41	181.39	357.75	S 32°22'13" W	19°06'10"
C19	30.00	47.12	30.00	42.43	S 03°04'43" E	90°00'00"
C20	272.00	197.76	103.48	193.43	S 68°54'25" E	41°39'25"
C22	1000.00	373.19	188.79	371.03	N 31°13'49" E	21°22'57"
C24	3199.29	988.24	498.09	984.32	S 78°08'05" W	17°41'54"
C25	300.00	201.53	104.73	197.76	S 67°19'23" E	38°29'21"
C26	25.00	33.85	20.10	31.33	S 52°57'21" W	77°35'06"

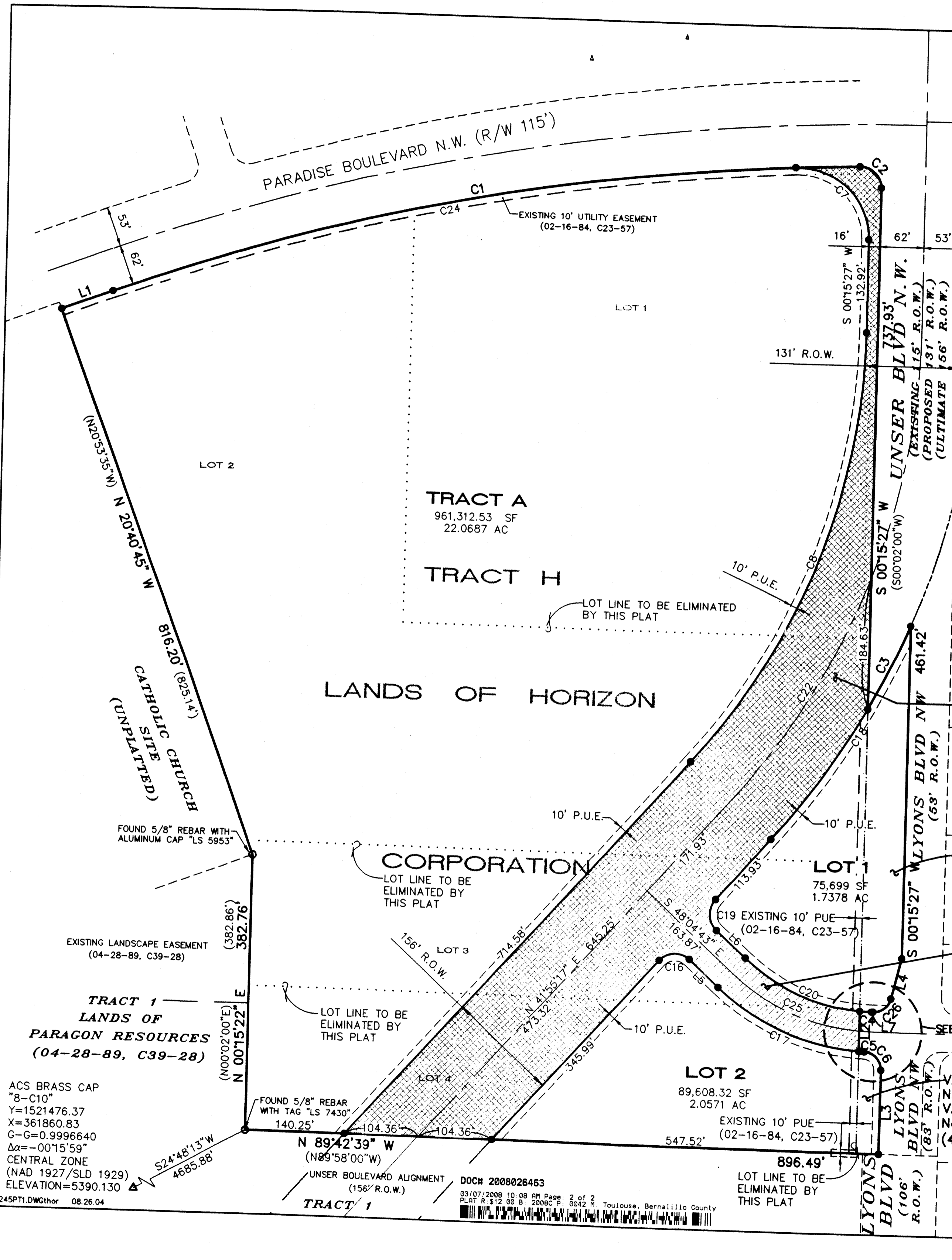
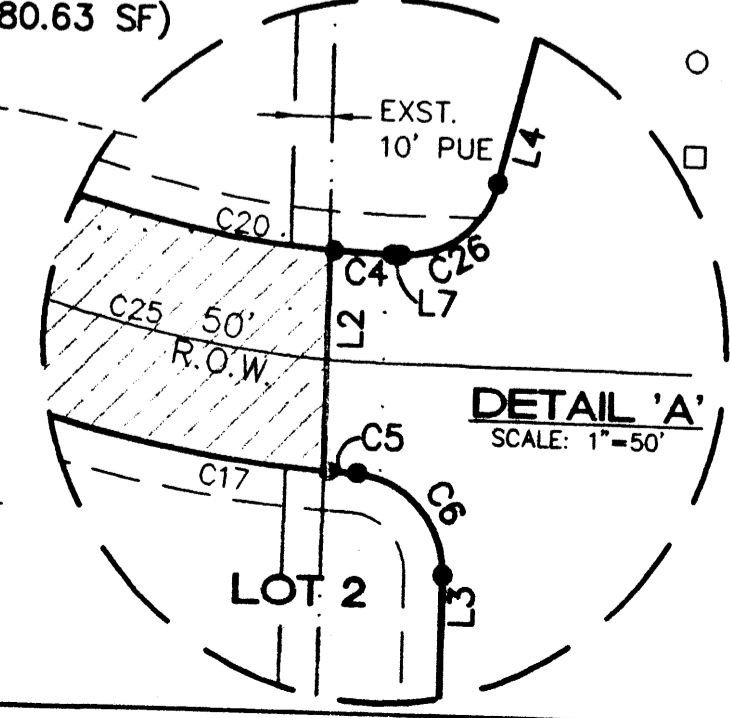
NOTE: C23 IS NOT USED

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 69°17'08" E	77.20
	(N68°57'20"E)	(78.65')
L2	S 00°15'27" W	56.09
L3	S 00°15'27" W	116.27
L4	S 14°09'47" W	57.69
L5	S 48°04'43" E	55.87
L6	N 48°04'43" W	55.87
L7	N 89°57'38" W	2.14

- NOTES**
- DISTANCES IN BRACKETS ARE MONUMENT DISTANCES.
 - SEE THIS SHEET FOR EASEMENT NOTES AND BOUNDARY TIE INFORMATION.
 - N/R DESIGNATES NON-RADIAL LINE.

- PROPERTY CORNERS**
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
 - FOUND 5/8" REBAR WITH CAP OR WASHER "LS 3516" (TYP)
 - FOUND ALUMINUM CAP IN CONCRETE (TYP)



ACS BRASS CAP
 "8-C10"
 Y=1521476.37
 X=361860.83
 G-G=0.9996640
 Δα=-00°15'59"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5390.130

DOCH 2008026463
 03/07/2008 10:08 AM Page: 2 of 2
 PLAT R. \$12.00 B. 2008C P. 0042 R. Toulouse, Bernalillo County

BULK LAND PLAT FOR PARADISE AT UNSER

BEING A REPLAT OF
 LOTS 1, 2, 3, & 4
 REPLAT OF TRACT H, LANDS OF HORIZON CORPORATION
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 18, T. 11 N., R. 3 E., NMPM
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
 NEW MEXICO
 JULY 2007

SCALE:
 1"=100'



BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	3199.29	1079.18	544.76	1074.07	N 78°56'56" E	19°19'37"
		(1079.56')				(19°20'02")
C2	30.00	47.99	30.87	43.03	S 45°33'54" E	91°38'43"
		(47.14')	(30.01')			(90°01'42")
C3	1078.00	131.04	65.60	130.96	N 26°18'05" E	6°57'54"
C4	272.00	16.59	8.30	16.59	N 87°59'17" W	3°29'42"
C5	328.00	7.69	3.84	7.69	S 87°30'37" E	1°20'34"
C6	25.00	38.59	24.33	34.87	S 43°57'44" E	88°26'21"
C7	100.00	162.79	105.88	145.40	N 46°22'46" W	93°16'25"
C8	922.00	670.45	350.82	655.78	N 21°05'22" E	41°39'51"
C16	30.00	47.12	30.00	42.43	S 86°55'17" W	90°00'00"
C17	328.00	221.89	115.38	217.68	S 67°27'32" E	38°45'38"
C18	1078.00	359.41	181.39	357.75	S 32°22'13" W	19°06'10"
C19	30.00	47.12	30.00	42.43	S 03°04'43" E	90°00'00"
C20	272.00	197.76	103.48	193.43	S 68°54'25" E	41°39'25"
C22	1000.00	373.19	188.79	371.03	N 31°13'49" E	21°22'57"
C24	3199.29	988.24	498.09	984.32	S 78°08'05" W	17°41'54"
C25	300.00	201.53	104.73	197.76	S 67°19'23" E	38°29'21"
C26	25.00	33.85	20.10	31.33	S 52°57'21" W	77°35'06"

NOTE: C23 IS NOT USED

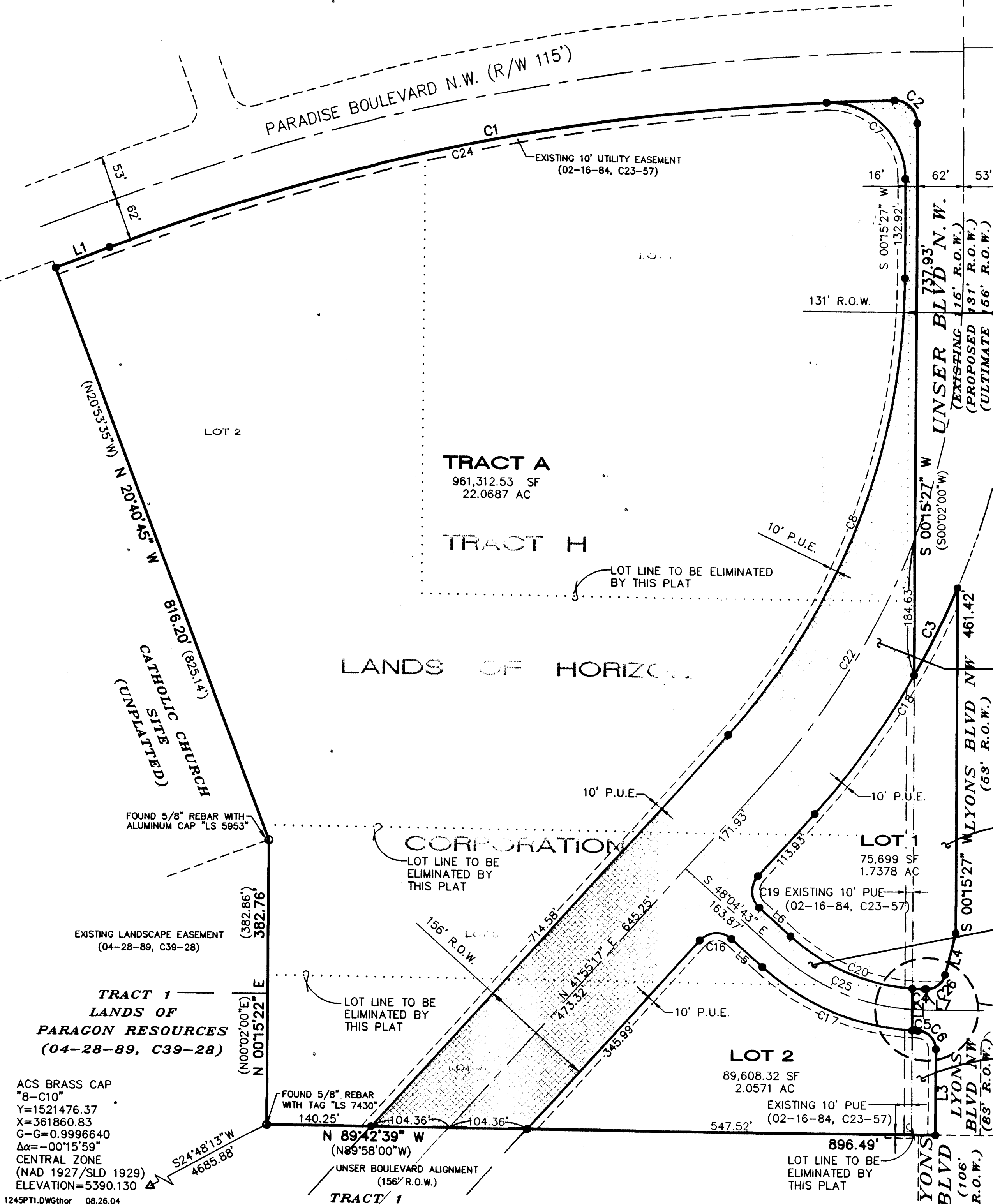
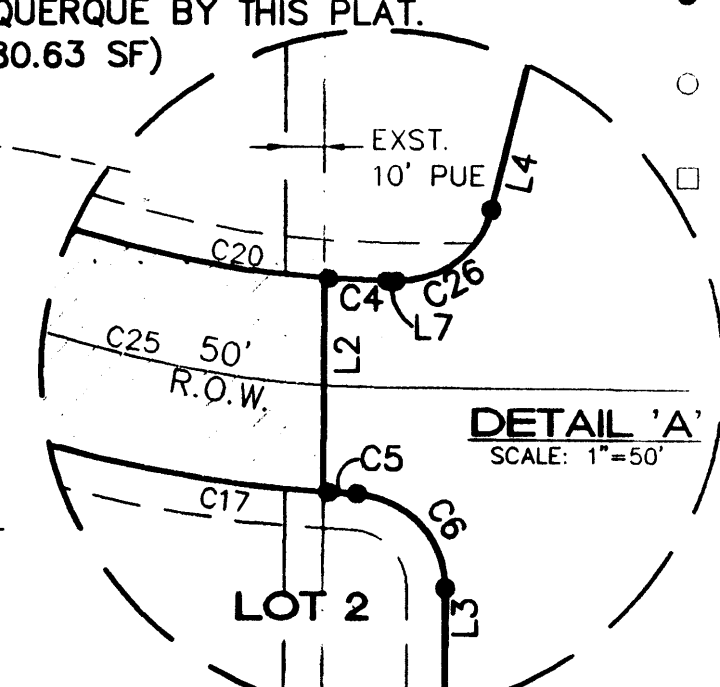
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 69°17'08" E	77.20
	(N68°57'20"E)	(78.65')
L2	S 00°15'27" W	56.09
L3	S 00°15'27" W	116.27
L4	S 14°09'47" W	57.69
L5	S 48°04'43" E	55.87
L6	N 48°04'43" W	55.87
L7	N 89°57'38" W	2.14

NOTES

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- SEE THIS SHEET FOR EASEMENT NOTES AND BOUNDARY TIE INFORMATION.
- N/R DESIGNATES NON-RADIAL LINE.

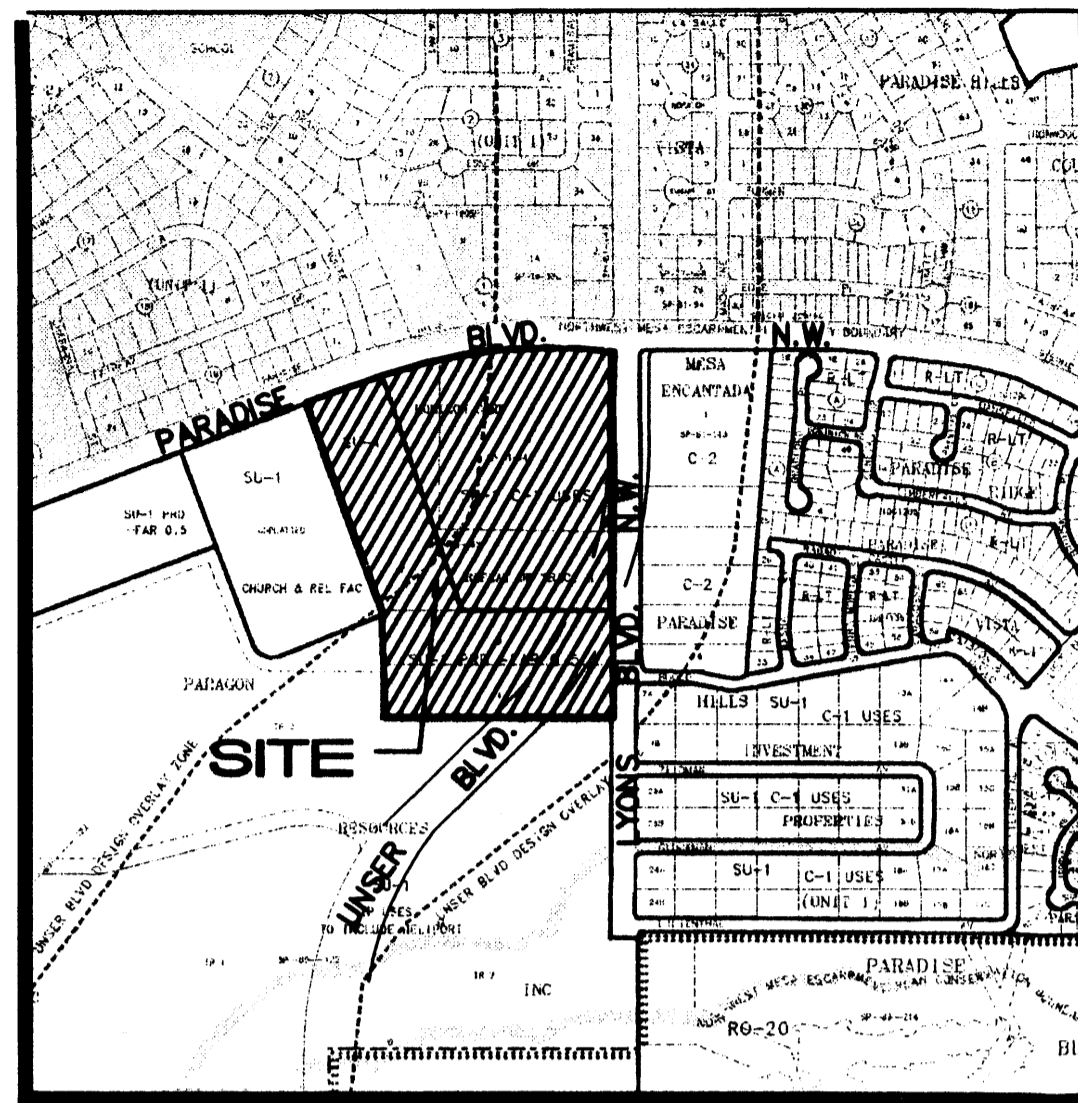
PROPERTY CORNERS

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- FOUND 5/8" REBAR WITH CAP OR WASHER "LS 3516" (TYP)
- FOUND ALUMINUM CAP IN CONCRETE (TYP)



ACS BRASS CAP
 "8-C10"
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 Δα=-00°15'59"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5390.130

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B-11 VICINITY MAP 1"=750'

SUBMISSION DATA / NOTES

- Total Number of Existing Lots: 4
- Total Number of Lots created: 2
- Total Number of Tracts created: 1
- Gross Subdivision Acreage: 29.8336 Ac.
- Total Mileage of Full Width Streets Created: 0.128
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats (and documents) of record entitled:
 - "LANDS OF PARAGON RESOURCES, TRACTS 1 AND 2", (04-28-89, C39-28)
 - "REPLAT OF TRACT H, LANDS OF HORIZON CORPORATION, PARADISE HILLS DEVELOPMENT CORPORATION", (02-16-84, C23-57)
 - "PARADISE RIDGE", (01-15-03, 03C-8)
 - "PARADISE HILLS INVESTMENT PROPERTIES, UNIT 1", (02-28-66, D3-136)
 - "MESA ENCANTADA, TRACT 1", (05-13-81, C18-74) records of Bernalillo County, New Mexico.
- Field Survey performed by Aldrich Land Surveying, January, 2004.
- Title Report(s): provided by First American Title Insurance Company GF NO. 78270.PJU(KM) (Effective date: 06-18-92) LOT 1 provided by LandAmerica Albuquerque Title Company File No: 238412TD (Effective date: 02-03-04) LOT 2 File No: 125760VM (Effective date: 04-13-94) LOTS 3 and 4
- This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
- City of Albuquerque zoning: SU-1 for C-1 & SU-1 for PRD and as affected by all applicable provisions of the NORTHWEST MESA ESCARPMENT PLAN.
- These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area, water and sanitary sewer system capabilities are based on the NMU, Inc. facilities, not the City of Albuquerque.
- Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719".

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject lots and the vacated public right-of-way into commercial tract and lots, to dedicate and vacate public rights-of-way, and to grant those easements necessary to serve the residential development.

BULK LAND PLAT FOR PARADISE AT UNSER

BEING A REPLAT OF LOTS 1, 2, 3, & 4
 REPLAT OF TRACT H, LANDS OF HORIZON CORPORATION
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 18, T. 11 N., R. 3 E., NMPM
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
 NEW MEXICO
 JULY 2007

LEGAL DESCRIPTION

A certain tract of land situate within Projected Section 18, Township 11 North, Range 3 East, New Mexico Principal Meridian, Town of Atrisco Grant, Bernalillo County, New Mexico. Being comprised of all of Lots 1, 2, 3, & 4. Replat of Tract H, Lands of Horizon Corporation as the same is shown and designated upon the Plat of said Lands of Horizon. Filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 16, 1984 in Vol. C23, Folio 57 together with a portion of vacated Lyons Blvd. N.W. a Public Right-Of-Way and containing an area of 29.8336 acres (1,299,552.27 sqft) more or less.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) warrants that [he/she] holds complete and indefeasible title in fee simple to the land subdivided and do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

BULK LAND VARIANCE NOTE

A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT. DETAILS OF THE VARIANCE OR WAIVER WERE FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON _____, 200___, IN _____, PAGE _____.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL. THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS OR SITE DEVELOPMENT PLANS ARE APPROVED. BY ITS APPROVAL THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

OWNER

PARADISE AT UNSER, LLC.

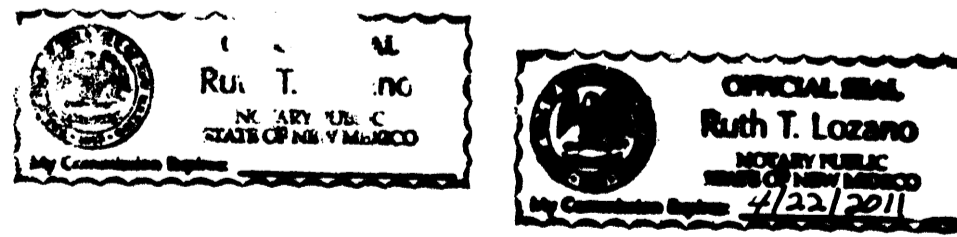
Steven A. Jackson
 STEVEN A. JACKSON
 MEMBER
 Date: 7-27-07

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
 COUNTY OF BERNALILLO }

This instrument was acknowledged before me on July 27, 2007, Steven A. Jackson, a Member of Paradise At Unser, LLC., a New Mexico Limited Liability Company, on behalf of said company.

My Commission Expires: 4/22/2011
Ruth T. Lozano
 Notary Public



ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

APPROVALS

DRB PROJECT NO. APPLICATION NO. Utility Approvals	PRELIMINARY PLAT APPROVED BY DRB ON _____ DATE _____
PNM ELECTRIC SERVICES DIVISION	DATE _____
PNM GAS SERVICES DIVISION	DATE _____
QWEST	DATE _____
COMCAST	DATE _____
NEW MEXICO UTILITIES City Approvals	DATE _____
for <i>Timothy Aldrich</i> CITY SURVEYOR	August 10, 2007 DATE
REAL PROPERTY DIVISION	DATE _____
ENVIRONMENTAL HEALTH DEPARTMENT	DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	DATE _____
PARKS AND RECREATION DEPARTMENT	DATE _____
AMAFCA	DATE _____
CITY ENGINEER	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or rgrade known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1989 and revisions effective December 25, 1991, February 2000, and October 2000), and is true and correct to the best of my knowledge and belief."

Timothy Aldrich
 Timothy Aldrich, P.S. No. 7719
 Date: 08-01-07
SHEET 1 OF 2

PLAT FOR BOULEVARD LTD.

BEING A REPLAT OF
 LOTS 1, 2, 3, 4
 REPLAT OF TRACT H, LANDS OF HORIZON CORPORATION
 TOWN OF ATRISCO GRANT

PROJECTED SECTION 18, T. 11 N., R. 3 E., NMPM
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
 NEW MEXICO

APPROVED BY DRE
 ON 9/28/05

INTERSECTION NOTES:

- FULL MEDIAN OPENING ON PARADISE BLVD.
- RIGHT-IN/RIGHT-OUT AT UNSER BLVD/BUGLO AVE

SCALE: 1"=100'

100 50 0 100 200 FEET

BOUNDARY CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	3199.29	1079.18 (1079.56')	544.76	1074.07	S 78°56'56" W	19°19'37" (19°20'02")
C2	30.00	47.99 (47.14')	30.87	43.03	N 45°33'54" W	91°38'43" (90°01'42")
C3	1658.00	161.01	80.57	160.94	N 21°11'24" E	5°33'50"
C4	275.00	56.80	28.50	56.70	S 66°21'39" E	11°50'05"
C5	328.00	7.69	3.84	7.69	S 87°30'37" E	1°20'34"
C6	25.00	29.52	16.76	27.84	N 33°34'23" W	67°39'39"
C7	100.00	162.79	105.88	145.40	N 46°22'46" W	93°16'25"
C8	1502.00	800.80	410.16	791.35	N 15°31'53" E	30°32'51"
C17	325.00	39.48	19.76	39.45	S 63°55'25" E	6°57'36"
C18	1658.00	308.79	154.84	308.35	N 23°44'37" E	10°40'16"
C22	275.00	56.80	28.50	56.70	S 66°21'39" E	11°50'05"
C23	3199.29	198.33	99.20	198.30	S 71°03'41" W	3°33'07"
C24	3199.29	789.91	396.97	787.90	S 79°54'38" W	14°08'47"
C25	300.00	201.53	104.73	197.76	S 67°19'23" E	38°29'21"

LINE TABLE

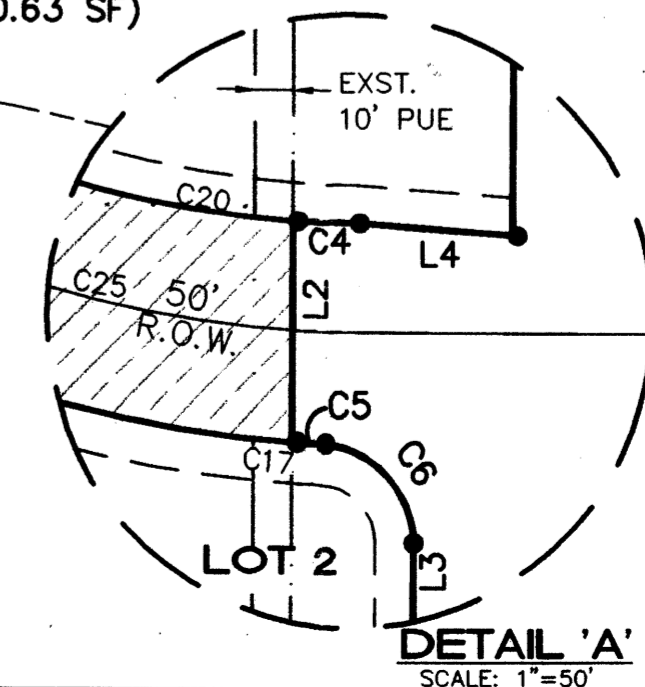
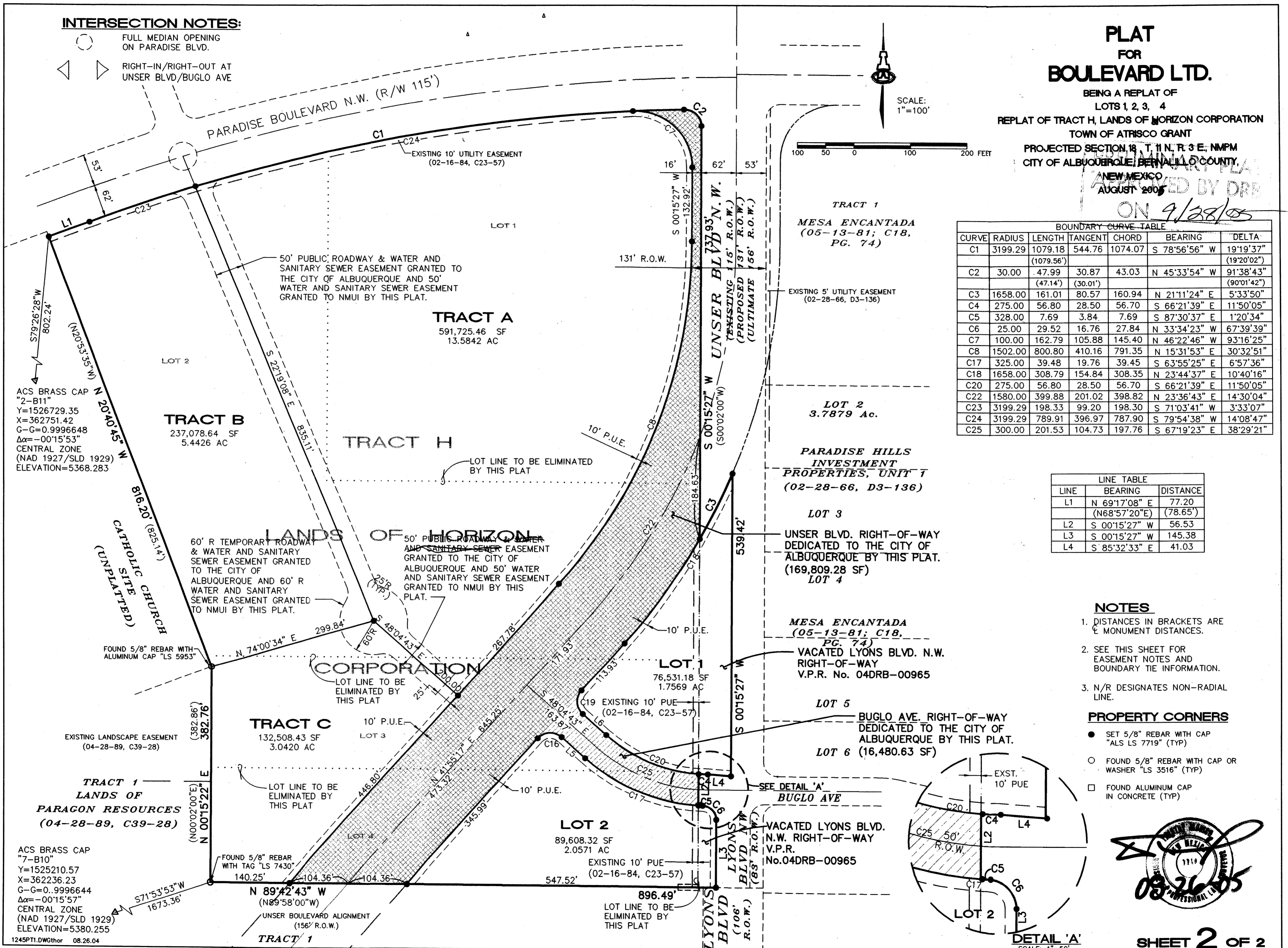
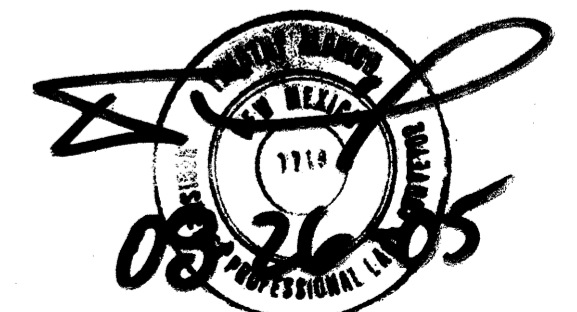
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	(N68°57'20"E)	(78.65')
L2	S 00°15'27" W	56.53
L3	S 00°15'27" W	145.38
L4	S 85°32'33" E	41.03

NOTES

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- SEE THIS SHEET FOR EASEMENT NOTES AND BOUNDARY TIE INFORMATION.
- N/R DESIGNATES NON-RADIAL LINE.

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP OR WASHER "LS 3516" (TYP)
- FOUND ALUMINUM CAP IN CONCRETE (TYP)



ACS BRASS CAP
 "2-B11"
 Y=1526729.35
 X=362751.42
 G-G=0.9996648
 $\Delta\alpha = -00^{\circ}15'53''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5368.283

TRACT B
 237,078.64 SF
 5.4426 AC

TRACT A
 591,725.46 SF
 13.5842 AC

TRACT C
 132,508.43 SF
 3.0420 AC

TRACT 1
LANDS OF
PARAGON RESOURCES
 (04-28-89, C39-28)

ACS BRASS CAP
 "7-B10"
 Y=1525210.57
 X=362236.23
 G-G=0.9996644
 $\Delta\alpha = -00^{\circ}15'57''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5380.255

TRACT 1

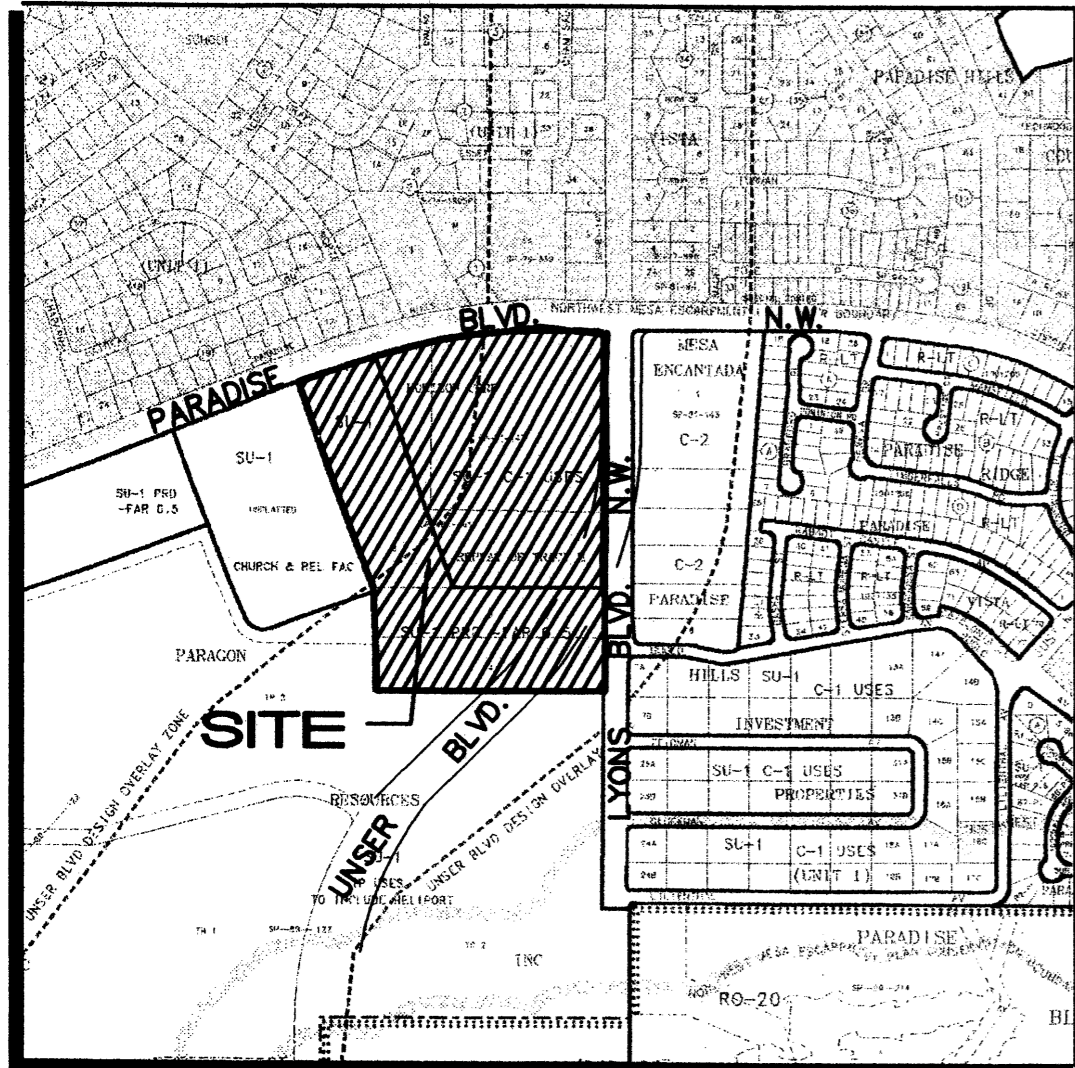
MESA ENCANTADA
 (05-13-81; C18,
 PG. 74)

VACATED LYONS BLVD. N.W.
 RIGHT-OF-WAY
 V.P.R. No. 04DRB-00965

LOT 5
 BUGLO AVE. RIGHT-OF-WAY
 DEDICATED TO THE CITY OF
 ALBUQUERQUE BY THIS PLAT.
LOT 6 (16,480.63 SF)

VACATED LYONS BLVD.
 N.W. RIGHT-OF-WAY
 V.P.R.
 No. 04DRB-00965

SCALE: 1"=50'



B-11

VICINITY MAP

1"=750'±

SUBMISSION DATA / NOTES

- Total Number of Existing Tracts: 1
- Total Number of Lots created: **5**
- Total Number of Tracts created: 0
- Gross Subdivision Acreage: 29.8336 Ac.
- Total Mileage of Full Width Streets Created: 0.128
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats (and documents) of record entitled:
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 - "PARADISE RIDGE", (01-15-03, O3C-8)
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- Field Survey performed by Aldrich Land Surveying, January, 2004.
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- This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
- City of Albuquerque zoning: **C-2** and as affected by all applicable provisions of the NORTHWEST MESA ESCARPMENT PLAN.
- These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area, water and sanitary sewer system capabilities are based on the NMU, Inc. facilities, not the City of Albuquerque, water and sanitary sewer improvements must, however, be approved by both City of Albuquerque, and NMU, Inc.
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DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject lots and the vacated public right-of-way into commercial tracts, to dedicate and vacate public rights-of-way, and to grant those easements necessary to serve the residential development and to vacate easements.

BULK LAND PLAT FOR BOULEVARD LTD.

PLAT FOR BOULEVARD LTD.
 BEING A REPLAT OF
 LOTS 1, 2, 3, 4
 REPLAT OF TRACT H, LANDS OF HORIZON CORPORATION
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 18, T. 11 N., R. 3 E., NMPM
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
 NEW MEXICO
 AUGUST 2005

PRELIMINARY PLAT APPROVED BY THE CITY OF ALBUQUERQUE

LEGAL DESCRIPTION

A certain tract of land situate within Projected Section 18, Township 11 North, Range 3 East, New Mexico Principal Meridian, Town of Atrisco Grant, Bernalillo County, New Mexico. Being comprised of all of Lots 1, 2, 3, & 4. Replat of Tract H, Lands of Horizon Corporation as the same is shown and designated upon the Plat of said Lands of Horizon. Filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 16, 1984 in Vol. C23, Folio 57 together with a portion of vacated Lyons Blvd. N.W. a Public Right-Of-Way and containing an area of 29.8336 acres (1,299,552.27 sqft) more or less.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) warrants that [he/she] holds complete and indefeasible title in fee simple to the land subdivided and do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

BULK LAND VARIANCE NOTE

A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT. DETAILS OF THE VARIANCE OR WAIVER WERE FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON _____, 200__, IN _____, PAGE _____.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL. THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS OR SITE DEVELOPMENT PLANS ARE APPROVED. BY ITS APPROVAL THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

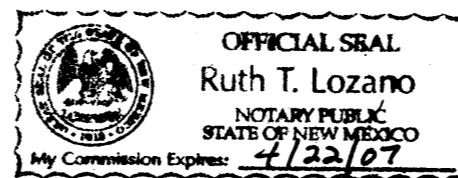
OWNER

**BOULEVARD LIMITED PARTNERSHIP,
 A NEW MEXICO LIMITED PARTNERSHIP**

Robert J. Schaefer 8/31/05
 ROBERT J. SCHAEFER, PRESIDENT
 R. J. SCHAEFER REALTY INVESTMENT CO.
 MANAGING PARTNER

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
 COUNTY OF BERNALILLO }



This instrument was acknowledged before me on August 31, 2005, R.J. Schaefer as President of R.J. Schaefer Realty Investment Inc., Managing and limited partner of Boulevard Limited Partnership, New Mexico Limited Partnership, on behalf of said limited partnership.

My Commission Expires: 4/22/07
Ruth T. Lozano
 Notary Public

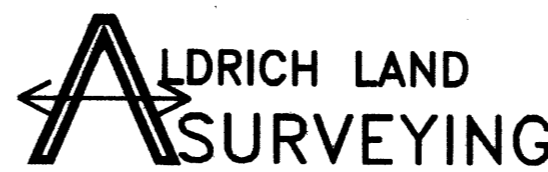
APPROVALS

DRB PROJECT NO. _____
 APPLICATION NO. _____
 Utility Approvals _____

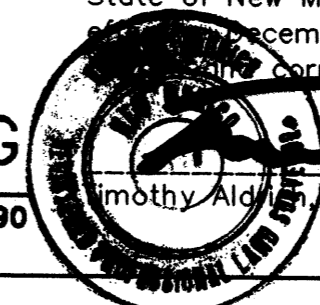
PNM ELECTRIC SERVICES DIVISION	DATE _____
PNM GAS SERVICES DIVISION	DATE _____
QWEST	DATE _____
COMCAST	DATE _____
NEW MEXICO UTILITIES City Approvals <i>[Signature]</i> CITY SURVEYOR	DATE <u>9-1-05</u>
REAL PROPERTY DIVISION	DATE _____
ENVIRONMENTAL HEALTH DEPARTMENT	DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
UTILITIES DEVELOPMENT - BERNALILLO COUNTY ALBUQUERQUE WATER UTILITY AUTHORITY	DATE _____
PARKS AND RECREATION DEPARTMENT	DATE _____
AMAFCA	DATE _____
CITY ENGINEER	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____

SURVEYOR'S CERTIFICATION

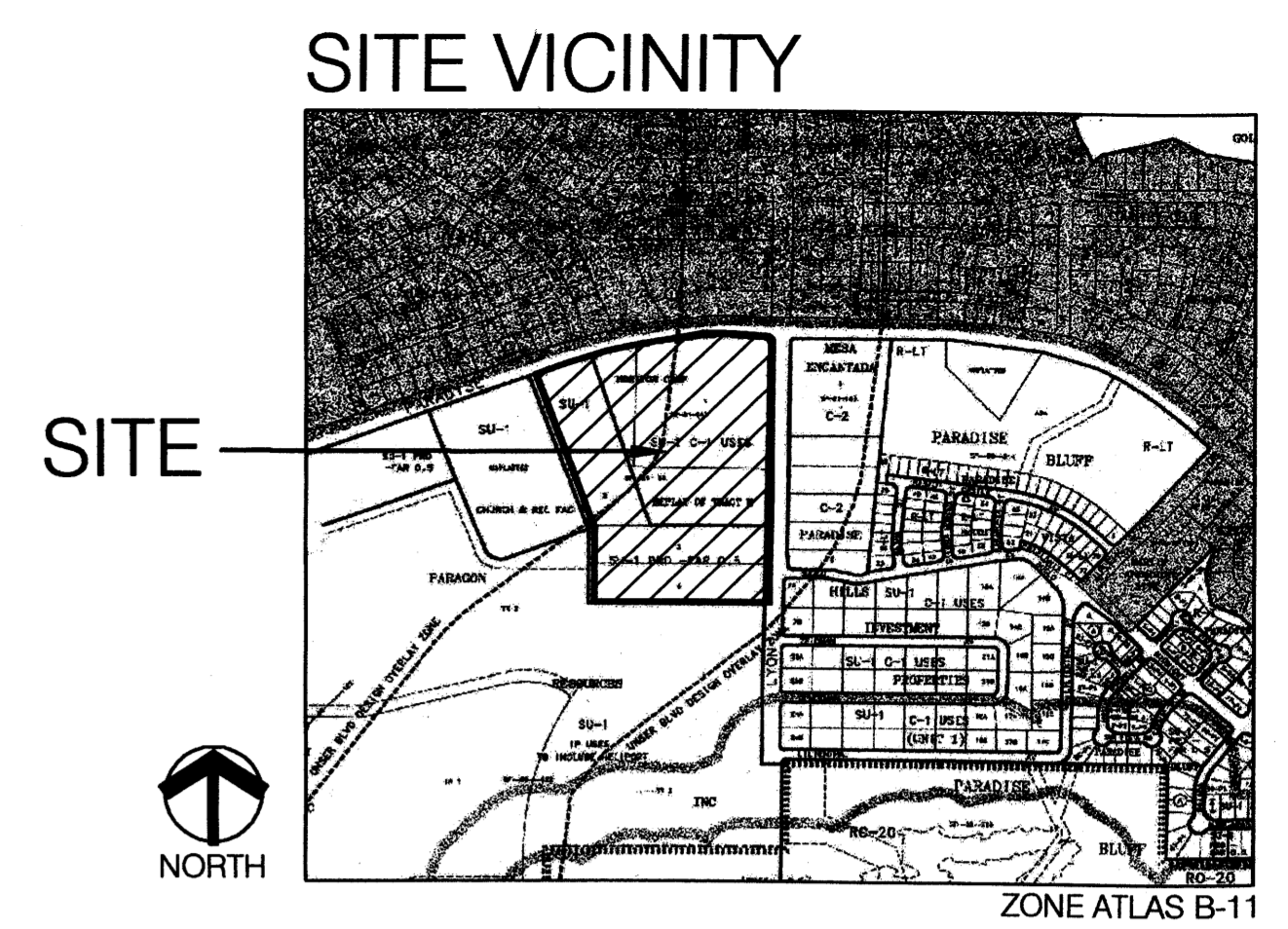
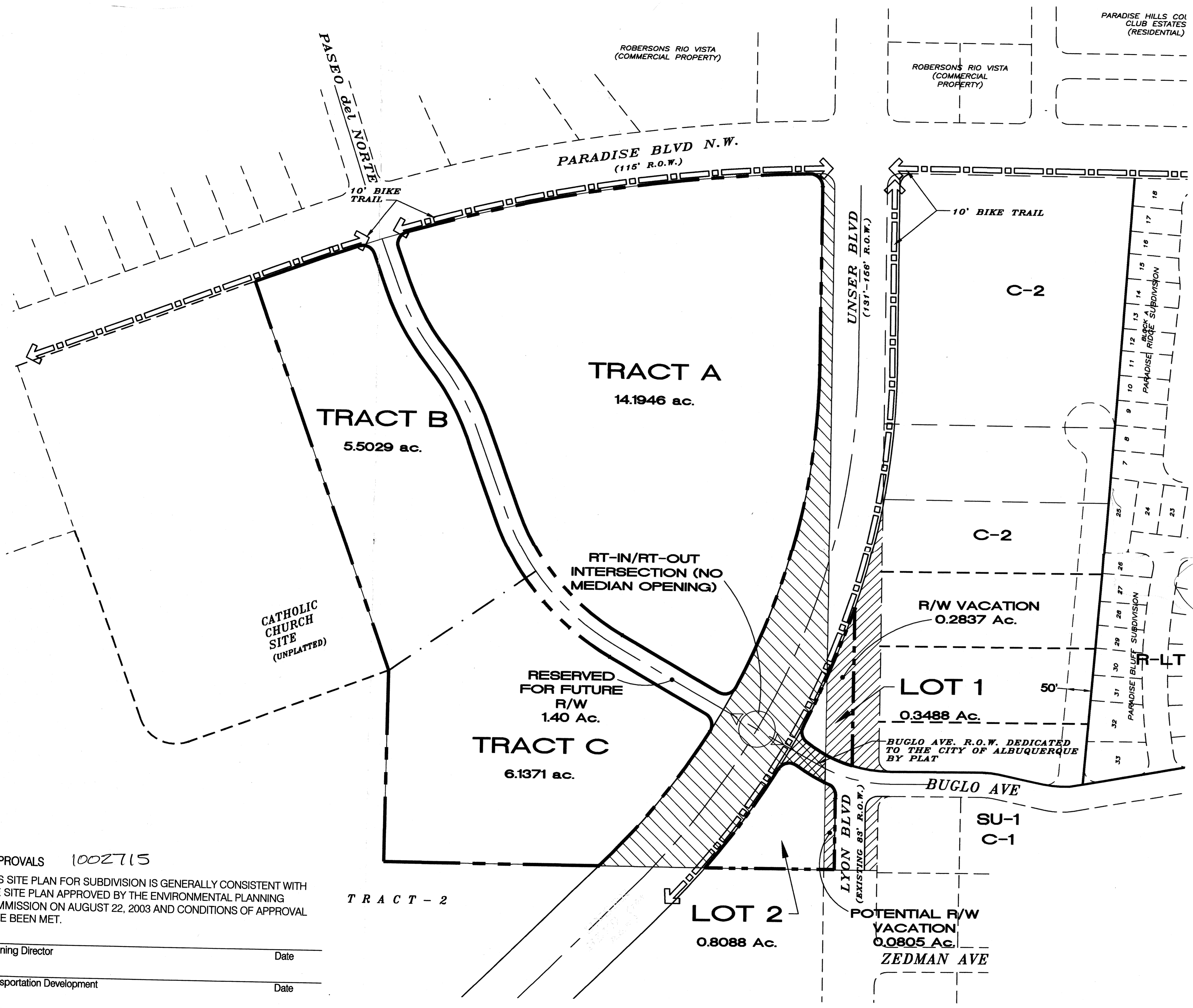
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions December 25, 1991, February 2, 1994 and October 2000), and is correct to the best of my knowledge and belief."



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



[Signature]
 Date 08-26-05
 SHEET 1 OF 2



SITE PLAN NOTES

Site:
The Site is composed of four tracts, Tracts 1-4, Horizon Corporation, Replat of Tract H. Upon platting, the four tracts will be reconfigured to reflect the new roadway alignments. In its entirety, the site consists of ±29 acres.

Lots 1 and 2 will be created by the dedication of the Unser Boulevard right-of-way. These parcels will be zoned consistent with the adjoining properties to the east.

Proposed Use:
The original Lot 1 and approximately 6.4 acres of Lot 2 are already zoned SU-1 for C-1 uses. A portion of the original lot 2 (5.3 acres) and the original Lots 3-4 are zoned SU-1 for PRD - FAR .5. The site is subject of a zone map amendment which seeks to change the zoning for the entire property to SU-1 for C-1 uses, with the exception of the proposed Tract D. Zoning for Tract D will be C-2 Neighborhood commercial uses are planned for the site. Tract D will become part of the contiguous properties to the east (Lots 4-6 Paradise Hills Investment Properties).

Pedestrian and Vehicular Ingress and Egress:
Primary vehicular access to the site will occur in three different places. Access will occur off of Paradise Boulevard and Unser Boulevard as indicated. Access to the tracts shall be from the new local street (Buglo Avenue Extension).

A Traffic Impact Study is required prior to Site Development Plan for Building Permit.

Transportation System:
The proposed Unser Boulevard right-of-way bisects the property from the southwest. The right-of-way will be dedicated to the City for the purposes of linking the proposed Unser Boulevard to the existing Unser Boulevard. Right-of-way will also be reserved for dedication for the Buglo Avenue extension to Paradise Boulevard (final alignment to be determined by the DRB).

Pedestrian, Bicycle, and Trail Access :
An existing trail is located on Paradise Boulevard. A trail is also proposed for the Unser Boulevard right-of-way. The design guidelines located on sheet 2 of this site plan describes the nature of the pedestrian connections.

Transit Access:
The site is currently not located on a Transit Route. however, a Commuter Route does exist on Unser Boulevard. It can be assumed that once the Unser Boulevard extension is completed that Route 94 would be extended to serve this area.

Building Height and Setbacks :
Customized height and setback standards have been created for development on the site. Maximum building height is 32 feet. Setbacks are as follows: 35 feet from the Unser Boulevard R.O.W. and 20' for internal roadways, 50 feet from the property line of a residential zone, and 10 feet from internal lot lines.

Drainage:
The Environmental Study for Unser Boulevard identified the need for an additional 60-feet of right-of-way for a drainage facility on the West Side of Unser Boulevard. The need for this additional right-of-way will be reviewed pursuant to the final grading and drainage plan, prepared with future Site Plans for Building Permit.

Maximum FAR:
A maximum FAR of .30 shall be allowed.

Landscape Plan:
Conceptual landscape plans shall be developed in accordance with the future Site Plan for Building Permit and consistent with the landscaping and screening requirements contained within the Design Guidelines (see sheet 2).

APPROVALS 1002715

THIS SITE PLAN FOR SUBDIVISION IS GENERALLY CONSISTENT WITH THE SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 22, 2003 AND CONDITIONS OF APPROVAL HAVE BEEN MET.

Planning Director	Date
Transportation Development	Date
City Engineer/AMAFCA	Date
Utility Development	Date
Parks and Recreation Department	Date

SITE PLAN FOR SUBDIVISION
UNSER & PARADISE VILLAGE CENTER

Prepared for : Boulevard Limited Partnership
P.O. Box 14708
Albuquerque, NM 87191

Prepared By : Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

Scale 1" = 100'

RECEIVED
HYDROLOGY SECTION
JUN 29 2004

Sheet 1 of 2

UNSER & PARADISE VILLAGE CENTER

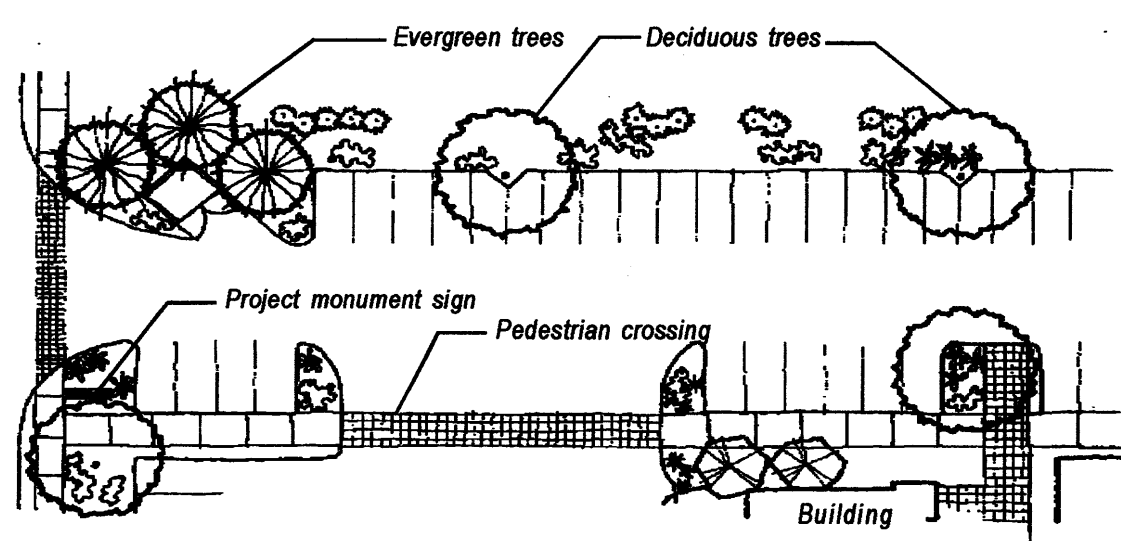
The purpose of these Design Guidelines is to provide a framework to assist developers and designers to understand the Owner's goals and objectives to create a high quality commercial development. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the property and Unser Boulevard Corridor. These standards are to be used as a supplement to the City of Albuquerque Zone Code and other pertinent City ordinances. These standards shall apply to all development located on the subject site.

A. Landscape Concept

The development of an overall landscape concept will establish a framework that unifies development that takes place on the site. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project and fall within the existing constraints imposed by the numerous power line, drainage, and utility easements that cross the site. Special landscape treatment shall be provided to minimize noise and sight impacts to adjacent residential areas.

The following are minimum standards for the development of specific site landscape plans:

- A mix of evergreen (coniferous and deciduous trees) shall be used within parking areas. Buffer areas shall include a mix of evergreen and deciduous trees.
- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way.
- Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.
- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure and/or adjacent to residential properties.
- As a minimum, a 15 foot landscaped buffer is required between industrial/commercial/office uses and residential properties. The buffer shall consist primarily of evergreen trees which must be at least 10 feet tall when planted and be capable of reaching a mature height twenty-five feet. The trees shall be spaced at an average of 25 feet on center.
- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.
- Landscaping regulations require that 75% of landscaped areas over 36 square feet in size must be covered with living, vegetative material. High-water use turf is discouraged and shall be limited to 20% of the landscaped area.
- One tree is required for each thirty-five linear feet of public or main access roadway. The required trees should be informally clustered with not more than a fifty-foot gap between groupings.
- Off-Street parking areas shall have one tree for every ten (10) parking spaces except in those areas.



Off-street parking areas shall have one tree per every 10 parking spaces.

- Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper, or be 10 to 12 in height; shrubs and groundcovers shall be a one gallon container; and turf grasses shall be capable of providing complete ground coverage within one growing season after installation.
- An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or similar materials, which extends completely under the plant material.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or pervious filter material.
- The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale, or form to highlight these areas.
- Xeriscape principles shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.

B. Setbacks

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of site.

Building Setbacks

Buildings shall be located on each site according to the following setback dimensions:

- 35 feet from the Unser Boulevard R.O.W. and 20' for internal roadways R.O.W.
- 50 feet from the property line of a residential zone
- 10 feet from internal lot lines

Parking/Circulation

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 20 feet from the Unser Boulevard R.O.W. line; and 10 feet for internal roadways; and, 10 feet from internal lot lines.
- The maximum allowed parking shall be equal to the required parking plus 10% unless approval by the Planning Director.
- ADA compliant parking shall be located adjacent to the building entry.
- For office buildings, pedestrian crossings shall be a minimum width of 6 feet. They should be clearly demarcated with textured paving and shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- Shaded pedestrian access shall be provided, including a clear 6-foot wide path with adjacent trees spaced approximately 25 feet on center with planters that have a minimum interior dimension of 5 feet square (or equivalent).
- For office buildings, a shaded sidewalk that is a minimum of 15 feet wide shall be provided along the entrance side of the building. For all other buildings, a standard sidewalk that is a minimum of 10 feet wide shall be provided along the entrance side of the building. Shade should be provided along this facade.

- For buildings over 10,000 square feet or groups of buildings on the same lot whose total floor area is over 10,000 square feet, an outdoor patio space that is a minimum of 1,000 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture. Outdoor patios shall be counted as landscaped area.

- Convenient connections shall be provided from each building to the internal circulation system and to adjacent roadways.
- Bicycle racks shall be conveniently located near building entrances, but not within pedestrian pathways or landscaped areas.

C. Sidewalks / Bikeways

To encourage and enhance the pedestrian nature of the site, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. All streets within the site are required to have sidewalks on both sides of the street.

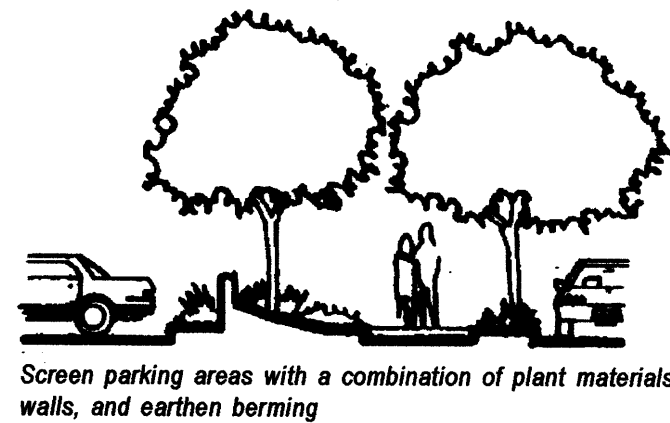
- Sidewalks shall be provided along public rights-of-way at a minimum of 6 foot width and shaded by trees planted 30 feet on center.

D. Screening Walls and Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions shall be away from any street or pedestrian area, whenever practical. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the development.

The following are standards to ensure effective screening of negative elements:

- All parking areas shall be screened from adjacent streets with a combination of plant materials, walls, and earthen berms. Such screening shall have a minimum height of 3 feet. Appropriate signage and/or highlighted landscaping should be used to direct visitors.
- Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a finished masonry wall of no less than 6-feet in height above adjacent grade and have a maximum height of 10-feet.
- All outdoor refuse containers shall be screened with a minimum 6 foot tall masonry enclosure, which is large enough to contain all refuse generated between collections.
- The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building with compatible materials and colors utilized. Refuse enclosures shall include gates if they are located adjacent to public rights-of-way.
- Refuse collection areas should not be allowed between the street and building front wherever practical.
- When security fencing is required, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. The use of chainlink fencing is not permitted between the building and any street right-of-way. Security fencing shall be compatible with the architectural theme of the building.
- Outdoor storage areas are permitted provided they shall be fenced and screened from adjacent public rights-of-way with vines, solid fencing, and/or shrubs.
- Loading docks visible from residential areas shall be screened by walls and landscaping which match building architecture, material, and color.



Screen parking areas with a combination of plant materials, walls, and earthen berms

E. Lighting Standards

In order to enhance the safety, security and visual aesthetics of the site, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

The maximum height for lighting fixtures shall be:

- 16 feet for all walkways and entry plazas.
- 20 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.
- Exterior elevations of any building fronting a street are encouraged to feature light to enhance the identity of the building and the appealing ambience of the total community.
- The use of spread lighting fixtures are required to accent landscapes and walkways. Uplighting fixtures are not permitted. The illustrations provide for allowable pedestrian lighting within the site.
- Required Street Light specifications: G.E. 100 watt, bronze, Lumen shoebox type with Lexington bronze pole per PNM specification SL3.
- All site lighting fixtures, shall be fully shielded of a full cut type. The color of fixtures must complement the architecture.

In addition to the guidelines listed below, all lighting shall be consistent with the provisions of the State of New Mexico's Night Sky Ordinance. The following are additional standards for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.
- All light fixtures shall be shown as fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture in order that no fugitive light shall escape beyond the property line and no site lighting light source shall be visible from the site perimeter.
- All light fixtures for pole and building mounted lights shall be fully shielded in order to prevent light spillage, with no light lens or bulb protruding below the fixture.
- A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

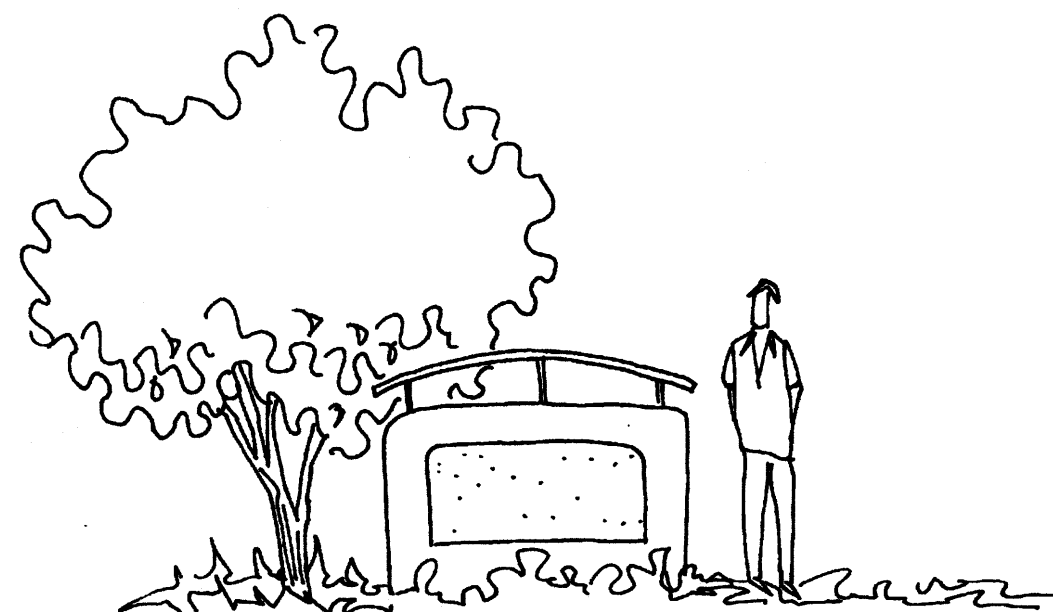
F. Signage Standards

The signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within the site and are pursuant to the Unser Boulevard Design Overlay Zone. A properly implemented signage program will serve

four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

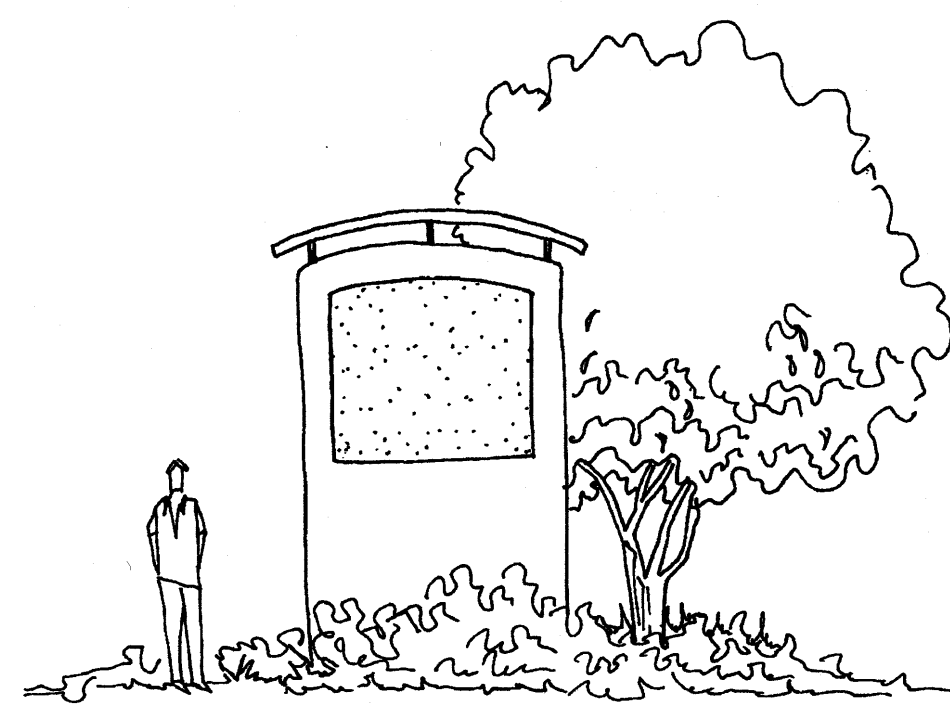
The following are general guidelines for signage design and placement:

- No off-premise signs are allowed.
- Signs shall be limited to wall signs and free-standing monument signs.
- All elements of a sign shall be maintained in a visually appealing manner.
- One wall sign shall be permitted per facade per business.
- One free-standing business monument sign shall be permitted per street frontage per premises; a second free-standing sign is permitted on any given street frontage greater than 1,500 linear feet.
- The height of a business monument sign shall not exceed 4 feet and the sign face shall not exceed 32 square feet.
- Individual buildings are allowed facade mounted signs whose area shall not exceed 6% of the area of the facade to which it is applied.
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- The height of a wall sign shall not exceed the height of the wall to which it is attached.
- The project is allowed two Project Entry signs at the access points on Unser Boulevard. The height of the free-standing Project Entry signs shall not exceed 12 feet. The size of the sign face shall not exceed 75 square feet.



Individual business monument sign shall not exceed four feet in height.

- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights (including searchlights used for promotional events).
- Signs that are portable, fixed on a moveable stand, self-supporting without being firmly embedded in the ground, supported by other objects, mounted on wheels or moveable vehicles, or easily moveable in any manner are not permitted.
- Signs located on rocks, trees, or other natural features are not permitted.
- Vinyl banner signs, vehicles used as sign mediums, roof mounted signs, and time/temperature signs are not permitted.
- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- No illuminated signage shall face any residential area, except along Unser Boulevard.



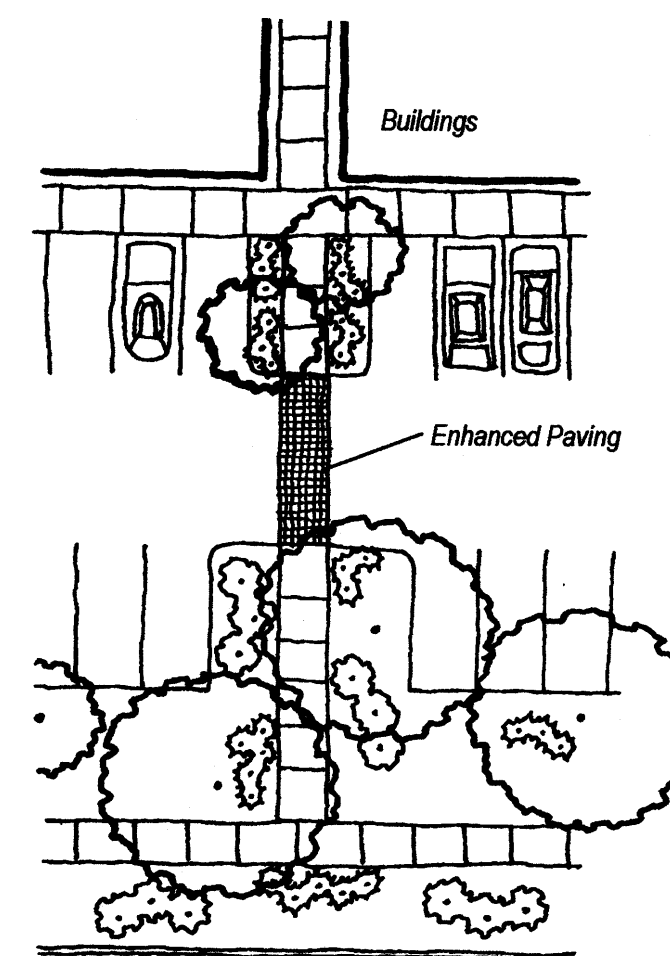
Project entry signs shall be free-standing and shall not exceed 12 feet in height.

G. Site / Architectural Objectives

Site

The creation of an active pedestrian environment in the site is dependent upon creative site and architectural design. It is the Owner's desire to have the individual sites within the site linked together as well as the surrounding neighborhoods. Important to the formation of a pedestrian-oriented development is the relationship between the buildings and the street.

- Parking areas shall be designed so that pedestrians walk parallel to moving cars. Site layout should minimize the need for pedestrians to cross parking aisles and landscaped islands.
- Pedestrian linkages shall be clearly visible and highlighted with enhanced paving.
- Parking areas shall be designed to include a pedestrian link to the street sidewalk network.
- All parking facilities adjacent to the streets be screened with low walls and/or landscaping. Such screening shall have a minimum height of 3 feet.
- All pedestrian paths shall be designed to be accessible to the handicapped (See Americans with Disabilities Act criteria for barrier free design).
- Pedestrian access and circulation shall provide direct connections from sidewalks to building entrances that minimize pedestrian/vehicular conflicts. All pedestrian ways and paths shall be at least 6' clear and lined with shade trees in 5' x 5' planters, spaced 25 feet on center.



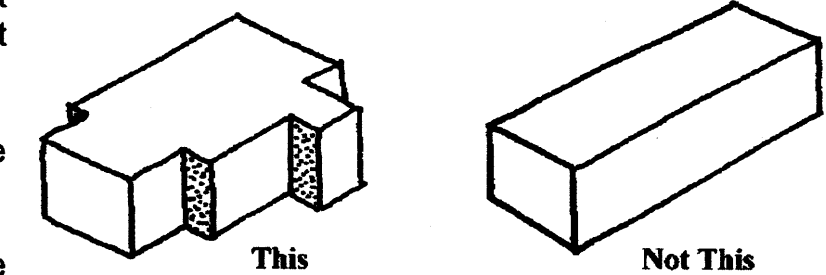
Pedestrian linkages shall be highlighted with enhanced paving and/or signage.

Architectural

The architectural objective is to create a site that is visually integrated through the use of a few select architectural styles. The recommended styles have many similarities of scale, proportion, massing, and color. Stucco, split face, or masonry block shall be used as the primary surface treatment.

Additionally, all buildings shall conform to the following requirements:

- The maximum building height shall be 22 feet, which includes a parapet screening.
- Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other local applicable codes.
- Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Finished building materials must be applied to all exterior sides of buildings and structures. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- Building elements such as displays, windows, and entries shall be oriented both externally to the streetscape and internally toward public areas to promote the urban experience.
- Entries to structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition.
- Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.
- The staggering of planes and/or distinct articulation of building facades is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual facades.
- Highly reflective surfaces (other than windows), exposed, untreated precision block walls, and materials with high maintenance requirements are undesirable and shall be avoided.
- Berms in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades.
- The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring.
- All rooftop and ground mounted equipment shall be screened from the public view by materials of the same nature as the building's basic materials.
- The top of all rooftop equipment shall be below the top of parapet or screened from view from the public rights-of-way.
- Screen walls shall screen all ground mounted equipment with the top of equipment below the top of screen wall.
- All out buildings and canopies shall be architecturally integrated and compatible in material and design.
- No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.
- No plastic or vinyl building panels, awnings, or canopies are permitted (metal panels are permitted as an accent feature only). Awnings and canopies shall be integrated with building architecture.
- Parapets and/or architectural tents shall be used to screen mechanical equipment and penetrations from the development on the adjacent properties.
- Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery.
- ATM's shall be architecturally integrated with building design.
- Outdoor storage is permitted within the site in accordance with the C-1 zone and shall be screened from view from public rights-of-way with a solid fence or wall that is a minimum of 6 feet and a maximum of 10 feet in height.



The staggering of planes along an exterior wall is encouraged.

H. Utilities

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of the site:

- All new electric distribution lines within the site shall be placed underground.
- When an above-ground backflow prevention device is required, the heated enclosure should be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and vegetation when viewed from the public right-of-way.

UNSER & PARADISE VILLAGE CENTER

SITE PLAN FOR SUBDIVISION

DESIGN GUIDELINES

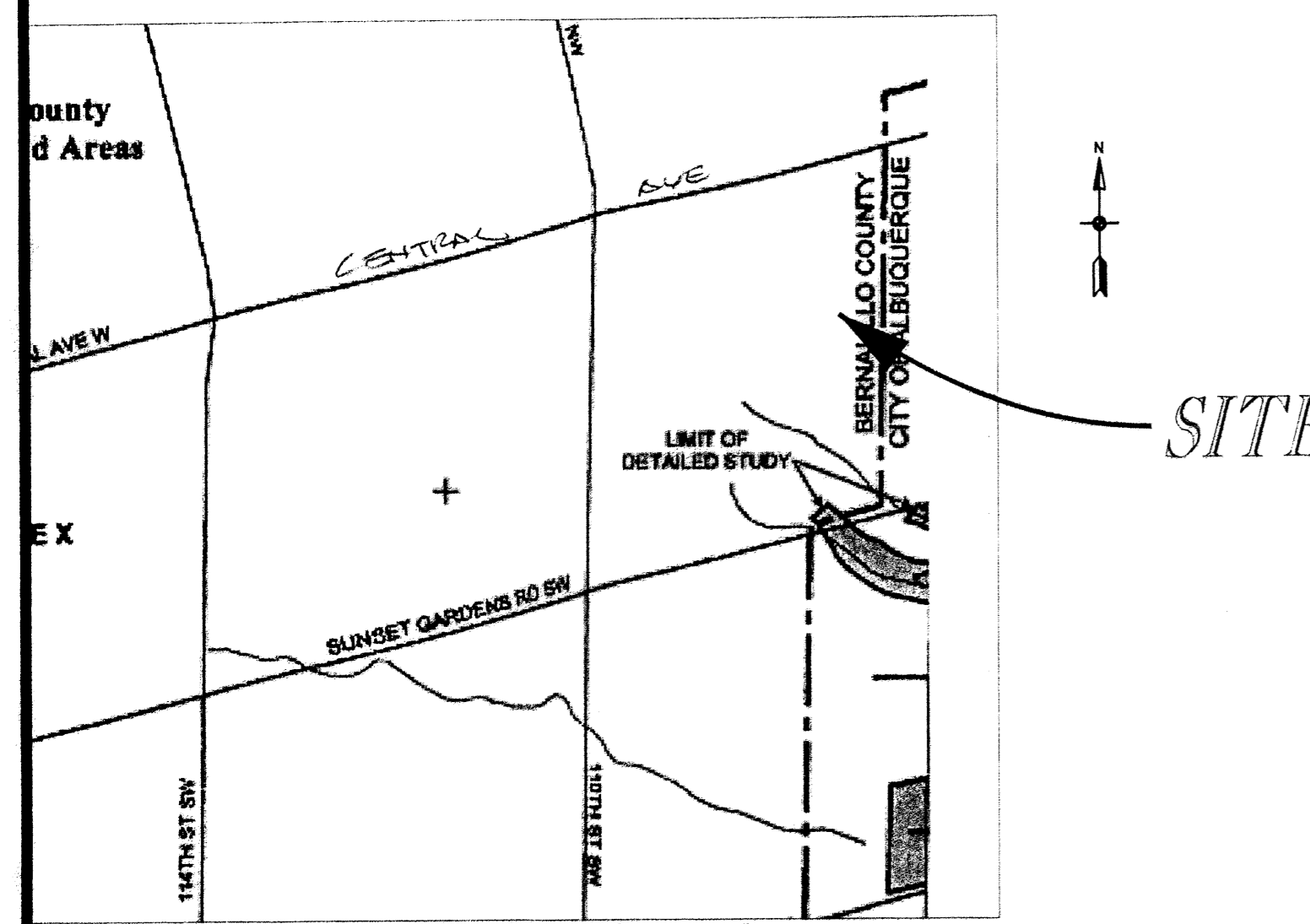
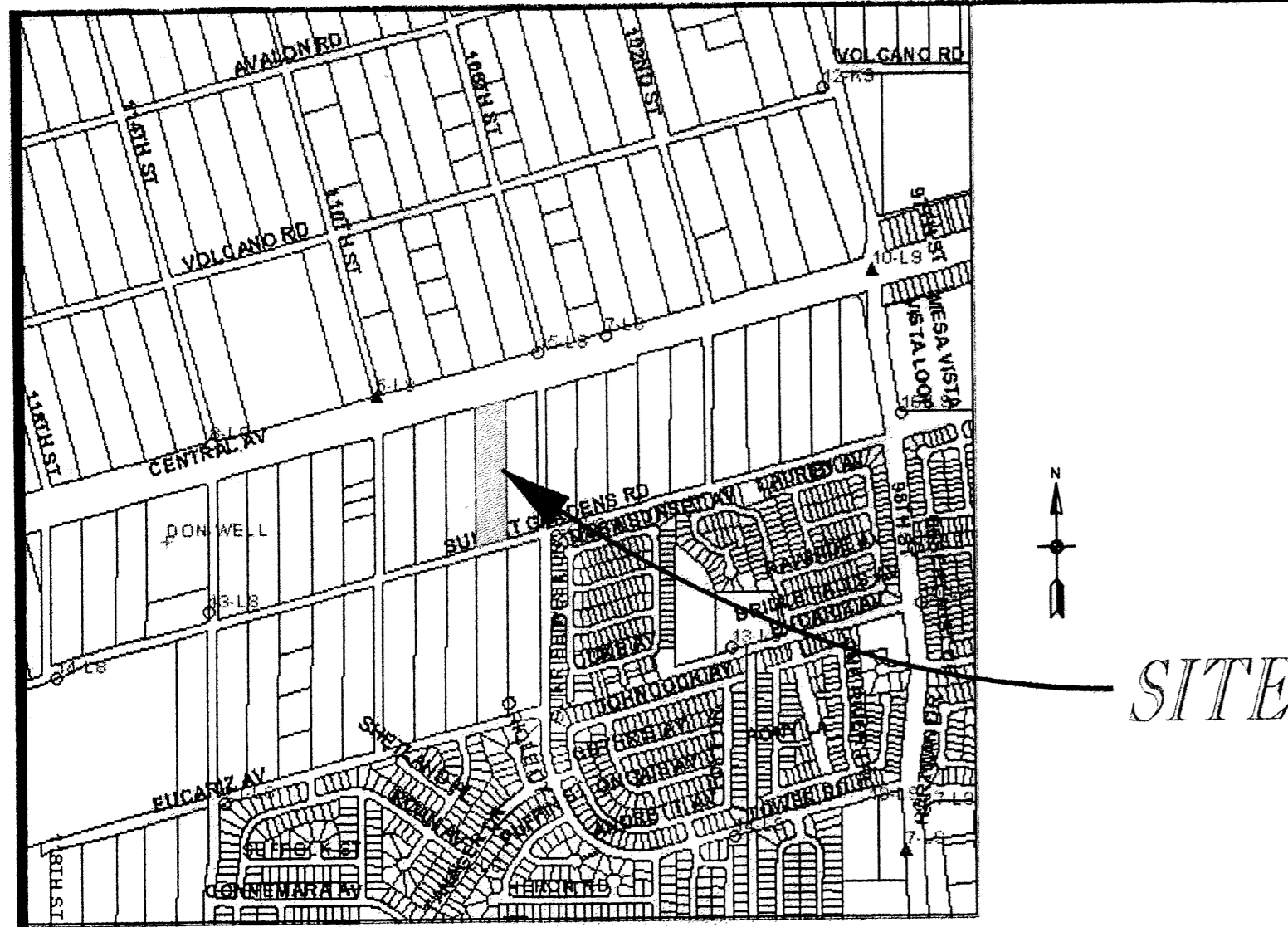
Prepared for:
Boulevard Limited Partnership,
PO Box 14708
Albuquerque, NM 87191

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

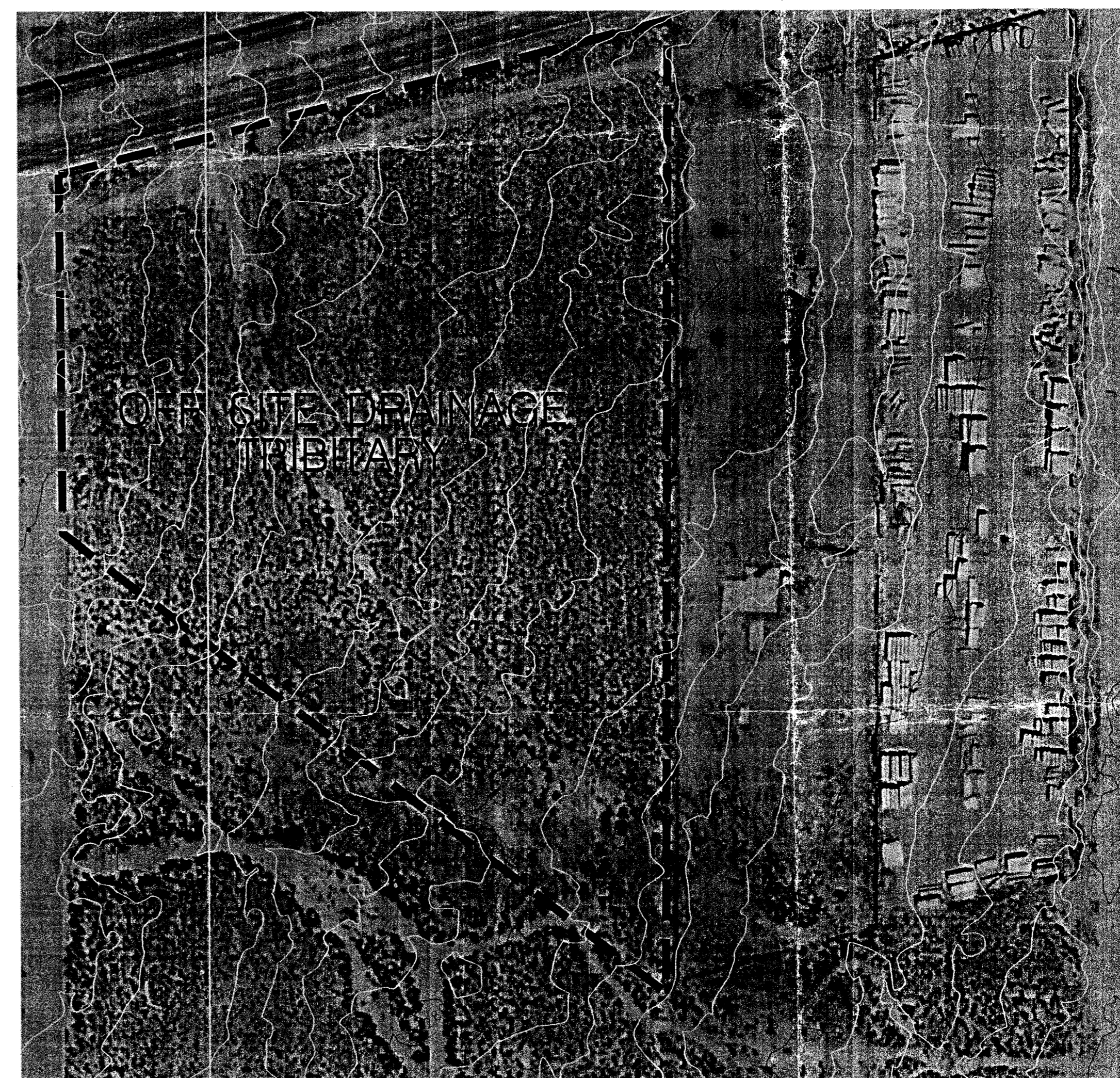
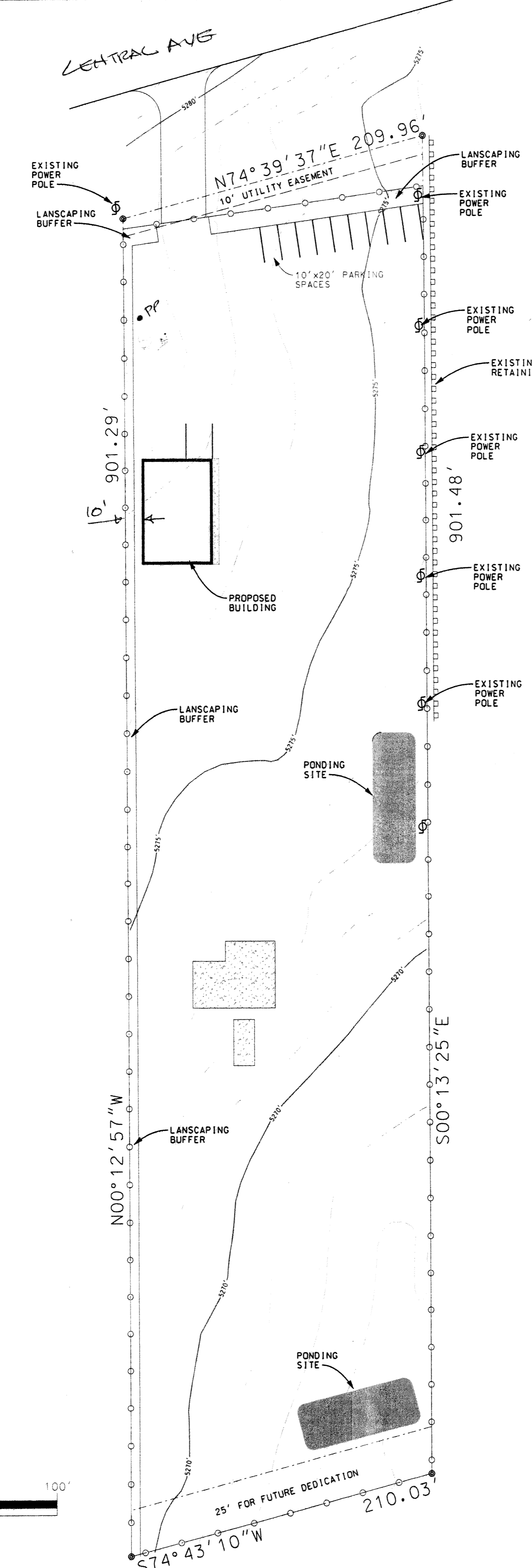
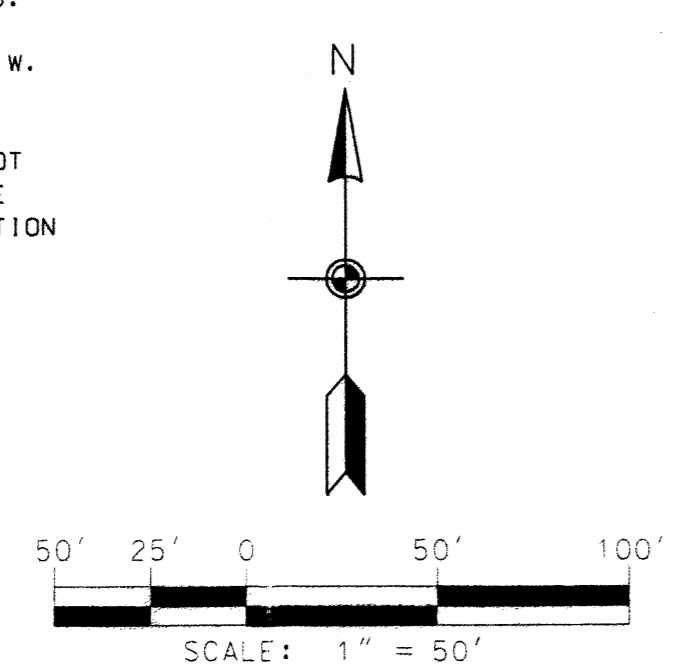


June 29, 2004

GRADING & DRAINAGE PLAN
 LOT 2, BLOCK 3
 LANDS OF THE ATRISCO GRANT
 WITHIN PROJECTED SECTION 29
 T. 10 N., R. 2 E., N.M.P.M.
 BERNALILLO COUNTY, NEW MEXICO
 BERNALILLO COUNTY



- DRAINAGE NOTES**
- PONDING VOLUME CALCULATIONS ARE BASED ON CITY OF ALBUQUERQUE DPM CHAPTER 22 FOR 100 YEAR, 24 HOUR STORM, ZONE 2.
 - TOTAL VOLUME OF RUNOFF FOR DEVELOPED CONDITIONS WILL BE PONDED ON SITE IN RETENTION PONDS AS SHOWN HEREON.
 - TOTAL AREA OF SITE IS 4.2 ACERS.
 - IMPROVEMENTS TO BE CONSTRUCTED TO DIRECT FLOWS TO RETENTION PONDS.
 - NO WORK WILL BE PERFORMED WITHIN CITY OF ALBUQUERQUE STREET RIGHT OF WAY.
 - BOUNDARY INFORMATION TAKEN FROM STAKE SURVEY BY SOUTHWEST SURVEYING CO. INC. DATE JULY 21 1999.
 - TOPOGRAPHIC SURVEY PERFORMED BY NMOC ON 12/20/03
 - BENCH MARK USED IS CITY OF ALBUQUERQUE BM NO. 7-L8 EL=5250.686.
 - PROJECT BENCH MARK ESTABLISHED TOP OF NAIL ON POWER POLE AT N.W. PROPERTY CORNER EL=5279.25.
 - IT IS HEREBY CERTIFIED THAT THE ABOVE DESCRIBED PROPERTY IS NOT WITHIN "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" IN ACCORDANCE WITH CURRENT HUD FEDERAL ADMINISTRATION FLOOD HAZARD BOUNDARY MAPS DATED NOVEMBER 19, 2003, ZONE "X", MAP NUMBER 35001C0358 F



THIS IS TO CERTIFY THAT I INSPECTED AND PERFORMED A TOPOGRAPHY SURVEY ON THE SUBJECT SITE ON FEBRUARY 21, 2003 AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

- LEGEND**
- POWER POLE
 - PROPERTY LINE
 - PROPERTY CORNER (PLATED)
 - EXISTING SPOT ELEVATION
 - NEW FINISHED GRADE SPOT ELEVATION
 - SLOPE
 - PROPOSED NEW ADDITION
 - EXISTING 5' CONTOUR
 - EXISTING 1' CONTOUR
 - NEW FINISHED GRADE CONTOUR
 - EXISTING CHAINLINK FENCE
 - EXISTING RR TIE RETAINING WALL
- ABBREVEATIONS**
- S = SLOPE
 - GD = GROUND
 - TC = TOP OF CURB
 - FL = FLOW LINE
 - P = PAVEMENT
 - EL = ELEVATIONS
 - S/W = SIDEWALK
 - FF = FINISHED FLOOR
 - LT = LIGHT

R CHARD LOVATO NMPE NO 6823 DATE

FILE: G&D	DATE	REVISION	DATE	APPROVED BY:
JOB# 03-0327	11-26-2003			
DES. BY RL	01-09-2004			
DRW. BY CCJP	01-09-2004			
CHK. BY RL	01-09-2004			

SHEET
1 OF 1

NEW MEXICO QUALITY CONSULTANTS
 CONSTRUCTION MANAGEMENT, SURVEYING & CIVIL ENGINEERING
GRADING & DRAINAGE PLAN
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