

VICINITY MAP ZONE MAP: N-8-Z

**SUBDIVISION DATA**

GROSS ACREAGE	84.9303 AC
ZONE ATLAS NO.	N-8-Z
NO. OF LOTS CREATED	425 LOTS
NO. OF TRACTS CREATED	50 TRACTS
RIGHT-OF-WAY AREA DEDICATED TO CITY	21.18 AC
ZONING	R-D/R-LT
DATE OF SURVEY	MARCH, 2015

**LEGAL DESCRIPTION**

A tract of land situate within the Town of Atrisco Grant, projected Sections 5 and 8, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of TRACT A-1-A, ANDERSON HEIGHTS UNIT 4, as the same is shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on June 06, 2017 in Plat Book 2017C, Page 0069, together with TRACT B-1, ANDERSON HEIGHTS UNIT 4, as the same is shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on March 23, 2015, in Plat Book 2015C, Page 29, and containing 84.9303 acres more or less.

PROJECT NUMBER: 1002739  
APPLICATION NUMBER: 18DRB 70002

Is an Infrastructure List required? (X) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

*Rosendo Murrant* 4/25/18  
Traffic Engineering, Transportation Division DATE

*Jim Eatsgaard* 4/25/18  
A.B.&W.U.A. DATE

*Joe Hill* 4/25/18  
Parks and Recreation Department DATE

*R. J. Hill* 4/25/18  
City Engineer DATE

\* Environmental Health Department (conditional) DATE

Solid Waste Management DATE

DRB Chairperson, Planning Department DATE

*[Signature]* 4/25/19  
CODE ENFORCEMENT DATE

**SITE AND DESIGN STANDARDS**

- DEVELOPMENT DENSITY:**  
Site area of Parcels 4 and 6, Anderson Heights Unit 1 & Anderson Heights Unit 9 is 87.4236 acres. Density = 5.6 DU's per Acre.  
  
Parcels 4 and 6, Anderson Heights Unit 1 is zoned R-D & Anderson Heights Unit 9 is zoned R-LT.
- MAXIMUM TOTAL DWELLING UNITS:**  
Maximum total number of residential units shall be 482.
- BUILDING HEIGHTS & SETBACKS:**  
Maximum allowed building heights shall be 26 feet. Setbacks shall be in accordance with the R-D/R-LT zone. (See detail this sheet).
- PARK DEVELOPMENT:**  
A. 1.0 Acre Private Park shall be developed for the benefit of all lot owners in Unit 4 and will be maintained by the H.O.A.
- OPEN SPACE:**  
Open Space shall be provided on each lot in accordance with section 14-16-3-8 of the Zoning Code (Detached Open Space Regulations).
- WATER AND SEWER:**  
Prior to development, Albuquerque Bernalillo County Water Utility Authority (ABCWUA), Water and Sanitary Sewer Service to the site must be verified and coordinated with ABCWUA.
- PARKING:**  
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code for lots with "P1" designation.
- PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
**Vehicular Access:** Primary access will be off (1) 118TH Street, (2) Amole Mesa Avenue and (1) Colobel Avenue. Unit 2 and 3 will be private gated community with private roads, Unit 1 is all public roads.  
**Pedestrian Access:** There is existing sidewalk along east side of 118TH Street. New sidewalk will be constructed along the south side of Amole Mesa Avenue and the north side of Colobel Avenue. Sidewalks will be installed on both side of new streets within the site. Pedestrian access into the site from 118TH Street, Amole Mesa Avenue & Colobel Avenue will also be granted.
- BUILDINGS:**  
Buildings will be traditional of southwest style with flat or pitched roofs and siding will be stucco with stone accents and wood trim. The exterior stucco finish will consist of colors in shades of earthtone.
- LANDSCAPING:**  
Both individual and community landscaping shall comply with the Water Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping shall be in accordance with the Street Tree Ordinance and trees planted will be in accordance with the list of deciduous and evergreen trees listed in the City of Albuquerque Guide to Xeriscaping.
- WALLS:**  
A. Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code.  
B. Perimeter walls shall be colored or consist of a colored scheme and constructed of split-face concrete masonry topped with a continuous cap.  
C. Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.  
D. Maximum wall heights shall be 6 feet, unless they are retaining walls.  
E. Walls shall not be allowed within the clear-sight triangle.
- PEDESTRIAN SITE INGRESS/EGRESS:**  
Consists of the internal sidewalks.
- LOT SIZE AND LOT WIDTH:**  
Minimum lot size is 3600.00 sf = 0.0826 ac  
Minimum lot width is 36 feet
- UTILITIES:**  
A. All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground.  
B. Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies and PNM's Electric Service Guide.
- SIGNAGE:**  
Any signage proposed to identify the subdivision shall be provided in accordance with the Zoning Code General Sign Regulations, per section 14-16-3-5. The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face abutting residential zones.

**OWNERS**  
KB HOME COLORADO Inc  
7807 PeakView Ave  
Suite 300  
CENTENNIAL, COLORADO 80111  
(303) 323-1130

**ENGINEERS**  
D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200

**SURVEYOR**  
ALDRICH LAND SURVEY  
P.O. BOX 30701  
ALBUQUERQUE, NEW MEXICO 87190  
(505) 884-1990

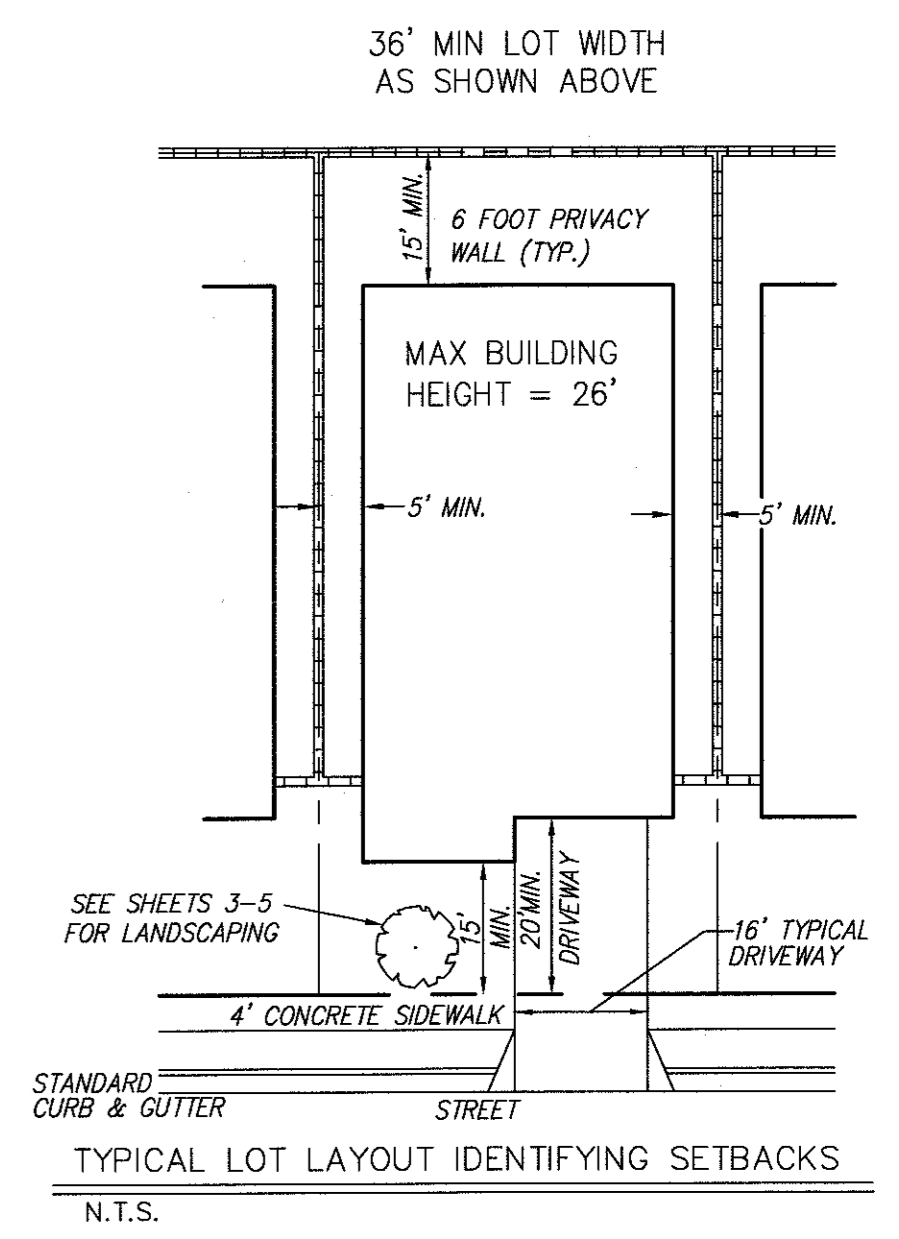
**SITE BENCHMARK**  
AGRS MONUMENT  
"1-N8"  
ELEVATION=5307.250  
(NAD83/NAVD88)

**SITE AND DESIGN STANDARDS (CONT.)**

- APPROVALS PROCESS:**  
Upon approval of this SITE PLAN FOR SUBDIVISION, site development plan for building permit approval shall conform to the design standards presented herein and be delegated to Building Permit for final approval.
- BENEFICIARY AND MAINTENANCE:**  
A. Tract "WW" is a Private Access & Drainage Easement and Public Waterline & Sanitary Sewer Easement. It is for the benefit of all lots within Unit 4 and will be maintained by the H.O.A.  
B. Tract "UU" will be Deeded to the City of Albuquerque for the purpose of a Memorial Park.  
C. Tracts "A thru TT" and Tract "VV" are Private Common Areas for the benefit of all lots within Unit 4. Tracts will be deeded to the H.O.A. and will be maintained by the H.O.A.
- SOLAR:**  
No property within the area of requested final action shall at any time be subject to a Deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision.
- CLEAR SIGHT AREA-ENTRANCE ROADS:**  
Landscaping, fencing and signing shall not interfere with clear sight requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) shall not be acceptable in the Clear Sight triangle.
- BUILDING HEIGHT LIMITATIONS TO PRESERVE SOLAR ACCESS:**  
The additional height limitations of this division (A) shall apply to all residential zones where the basic height limitation is 26 feet. In any subdivision for which the preliminary or preliminary/final plats submitted to the city after February 1, 1981, the height of any building shall comply with one of the following additional height limitations, either:  
  
(a) The building height shall not exceed the following heights, determined by the distance cardinally south from the northern boundary of the lot as follows:

Lot Line (feet)	Height (feet)
0-5	10
5-10	11
10-15	14
15-20	17
20-25	20
25-30	23
30-35	25
35 or more	26

- or alternatively:
- The height shall not exceed 31° angle plane (as further defined in division 3, below) drawn upward from a horizontal line located two feet above the mean grade at either:
    - A line lying ten feet within the lot lying to the north and parallel to the general south side of the neighboring lot which is mostly nearly perpendicular to cardinal north, if the lot is vacant and no building permit for a structure has been applied for;
    - The facade of the principal residential building on the lot lying to the north, which most nearly faces cardinal south if the lot has an existing building intended for permanent occupancy or a building permit for a structure has been issued; or
    - The plane shall be made up of lines drawn cardinally south, 31° above horizontal, along all points identifying said southerly setback lines or building lines.
  - The Zoning Enforcement Officer shall waive all or part of the provisions of divisions (a) and (b) above if he finds that, pursuant to rules and regulations promulgated by the Mayor and so records in his files, beneficial and important solar access can be protected for a lot to the north through the height requirements of this division (A) due to:
    - The lot(s) to the north being exceptionally large or high, so that there are many good locations for solar collector relating to passive or active solar energy systems which will not be blocked by the proposed construction; or
    - The development on the lot(s) to the north is already served by as much solar collector area as is likely to ever be needed and solar access to that collector surface will not be impaired by the proposed construction.
  - The Zoning Enforcement Officer shall waive the provisions of divisions (a) and (b) above if he finds that the owner or builder proposing the height limit waiver has demonstrated:
    - That there will clearly not be a principal building in the area within 35 feet to the north of the proposed building; or
    - That any heated building which is on separate lot, is built or is under construction to minimum energy efficient standards with a maximum average U value for the walls (Uo wall) not to exceed .16 BTUs per hour per square foot degrees Fahrenheit and with a maximum average U value for the roof (Uo roof) not to exceed .04 BTUs per hour per square foot degrees Fahrenheit. The fact that the building adjacent to the north is connected to the proposed building does not change the regulations.



TYPICAL LOT LAYOUT IDENTIFYING SETBACKS  
N.T.S.

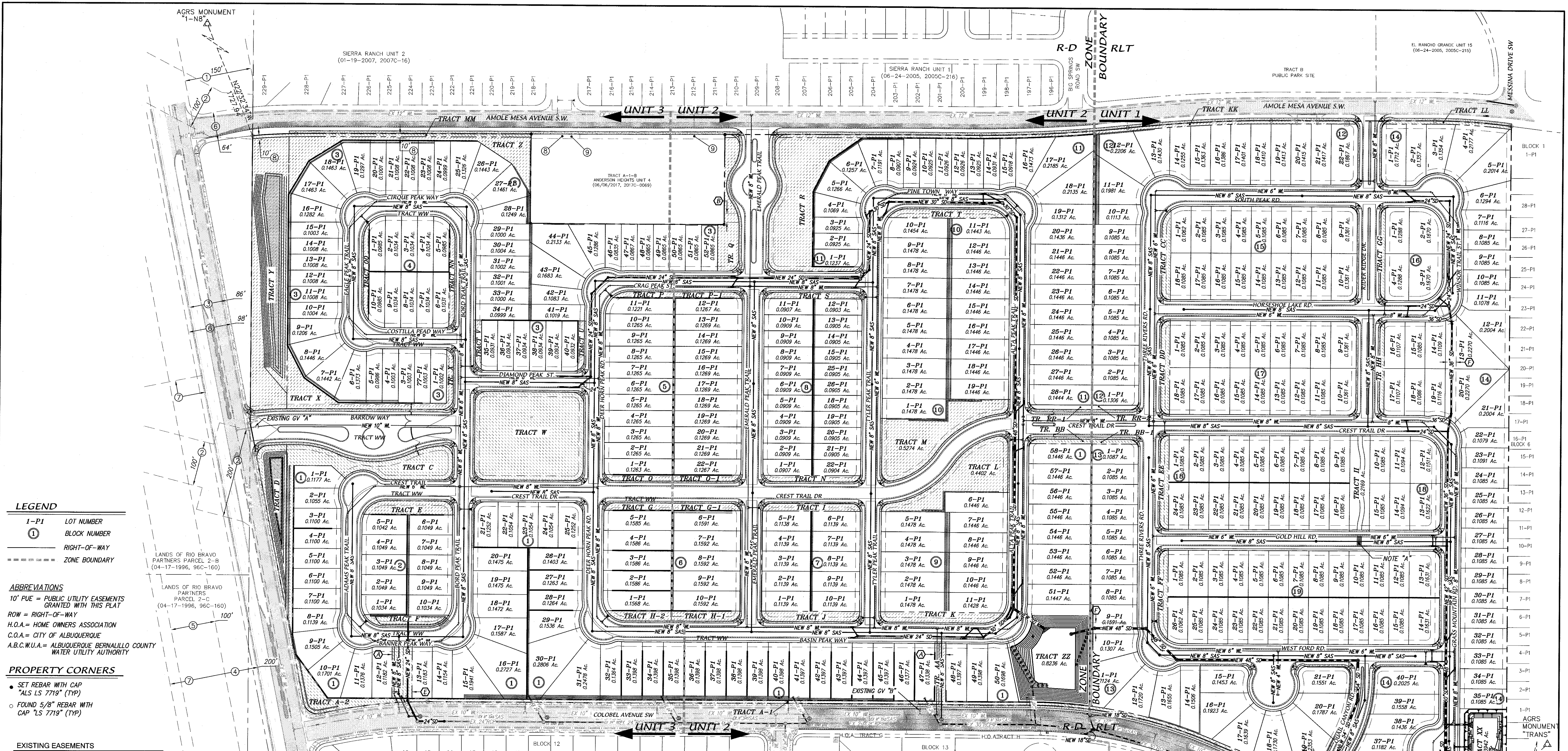
LOT WIDTH ≥ 40' (60.7 MAX.)	
LOT LENGTH	PAD LENGTH
94'-122'	55'-86'
122'-154'	86'
LOT WIDTH = 36' (MINIMUM)	
LOT LENGTH	PAD LENGTH
98'-132'	50'-78'
132'-153'	78'-86'

**HERITAGE TRAILS**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

*dmg* MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: SPS	Checked: DMG	Sheet 2 of 5
Scale: 1" = 100'	Date: 3/5/18	Job: A17022	



**LEGEND**

1-P1 LOT NUMBER  
 ① BLOCK NUMBER  
 --- RIGHT-OF-WAY  
 - - - - - ZONE BOUNDARY

**ABBREVIATIONS**

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT  
 ROW = RIGHT-OF-WAY  
 H.O.A. = HOME OWNERS ASSOCIATION  
 C.O.A. = CITY OF ALBUQUERQUE  
 A.B.C.W.U.A. = ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY

**PROPERTY CORNERS**

- SET REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "LS 7719" (TYP)

**EXISTING EASEMENTS**

- ① 150' AMAFCA DRAINAGE EASEMENT (04-17-1996, 96C-160)
- ② 100' OR 200' AMAFCA DRAINAGE EASEMENT (07-19-1990, 90C-163)
- ③ 86' PUBLIC ROADWAY EASEMENT (04-17-1996, 96C-160)
- ④ 200' POWER LINE EASEMENT U.S.B.R. (02-05-1952, BK. D197, PG. 587) (06-16-2000, BK. AG, PG. 8301)
- ⑤ 100' PNM EASEMENT (04-20-1978, BK. MISC 602, PG. 558-561)
- ⑥ 64' OR 98' FUTURE R/W (05-04-2005, 2005C-138)
- ⑦ 200' C.O.A. PUBLIC DRAINAGE EASEMENT (04-20-2005, BK. AGS, PG. 4278)
- ⑧ 10' PNM ELECTRIC EASEMENT (04-28-2009, DOC. 2009056097)
- ⑨ 10' PUE (GRANTED BY TRACT A-1-B (06/06/2017, 2017C-0069)

**AREA TABLE**

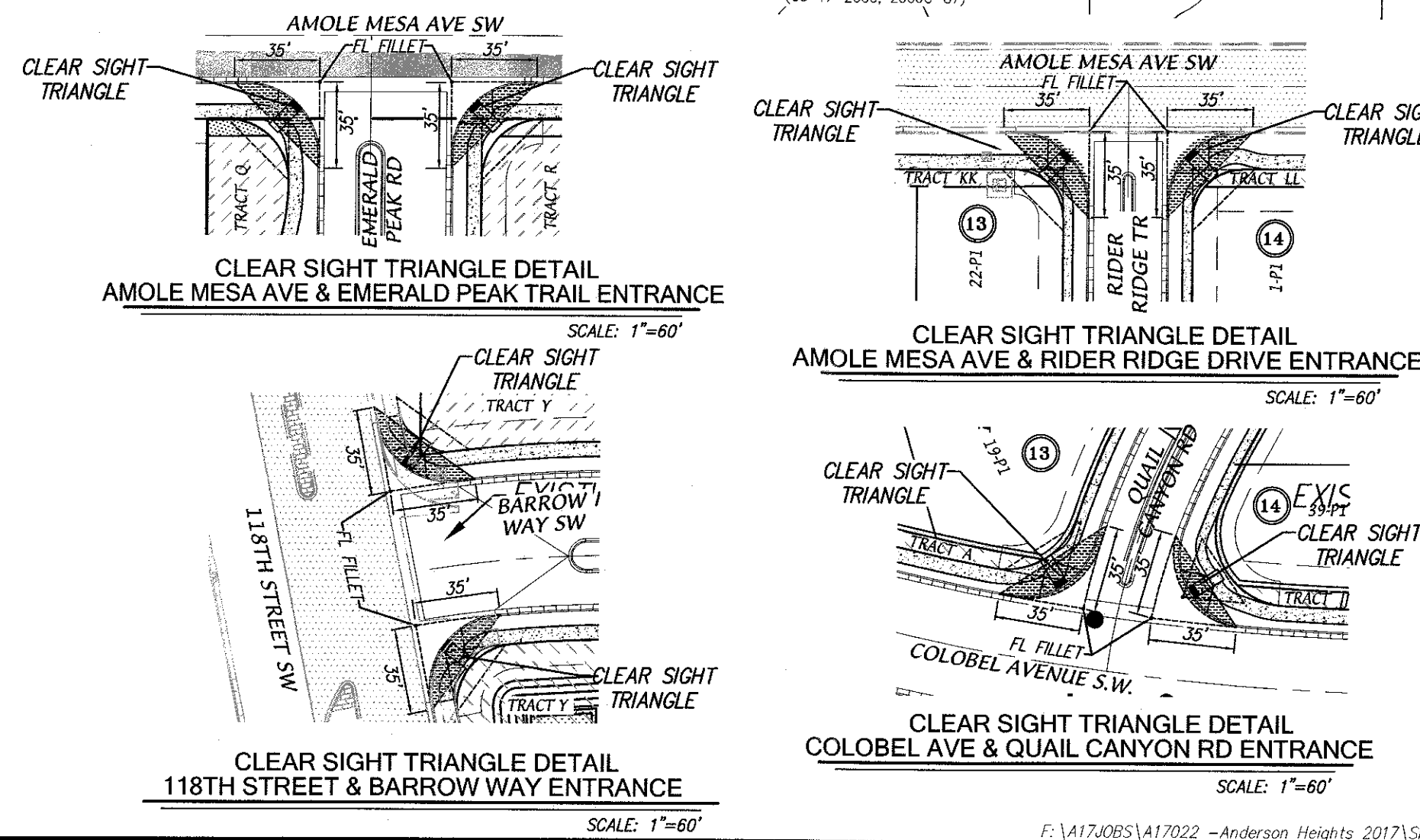
TRACT ID	AREA (AC)	TRACT ID	AREA (AC)
TRACT A	0.0846 AC	TRACT V	0.0319 AC
TRACT A-1	1.1600 AC	TRACT W	1.0914 AC
TRACT A-2	0.2750 AC	TRACT X	0.2827 AC
TRACT B	0.1183 AC	TRACT Y	1.1390 AC
TRACT C	0.5330 AC	TRACT Z	0.3626 AC
TRACT D	0.2931 AC	TRACT AA	0.0743 AC
TRACT E	0.1275 AC	TRACT BB	0.0304 AC
TRACT F	0.0933 AC	TRACT BB-1	0.0223 AC
TRACT G	0.0558 AC	TRACT CC	0.0842 AC
TRACT G-1	0.0560 AC	TRACT DD	0.0925 AC
TRACT H-1	0.0783 AC	TRACT EE	0.0925 AC
TRACT H-2	0.0698 AC	TRACT FF	0.0842 AC
TRACT I	0.0783 AC	TRACT GG	0.0447 AC
TRACT J	0.1114 AC	TRACT HH	0.0447 AC
TRACT K	0.1362 AC	TRACT II	0.2169 AC
TRACT L	0.4402 AC	TRACT JJ	0.0546 AC
TRACT M	0.5274 AC	TRACT KK	0.0937 AC
TRACT N	0.0641 AC	TRACT KK-1	0.1129 AC
TRACT O	0.0453 AC	TRACT LL	0.0452 AC
TRACT O-1	0.0455 AC	TRACT MM	1.0003 AC
TRACT P-1	0.0395 AC	TRACT NN	0.0601 AC
TRACT P	0.0455 AC	TRACT OO	0.0548 AC
TRACT Q	0.2046 AC	TRACT RR-1	0.0304 AC
TRACT R	0.7389 AC	TRACT RR-2	0.0223 AC
TRACT S	0.0634 AC	TRACT WW	25.5571 AC
TRACT T	0.1083 AC	TRACT XX	0.3942 AC
TRACT U	0.0341 AC	TRACT ZZ	0.7587 AC

**Curve Table**

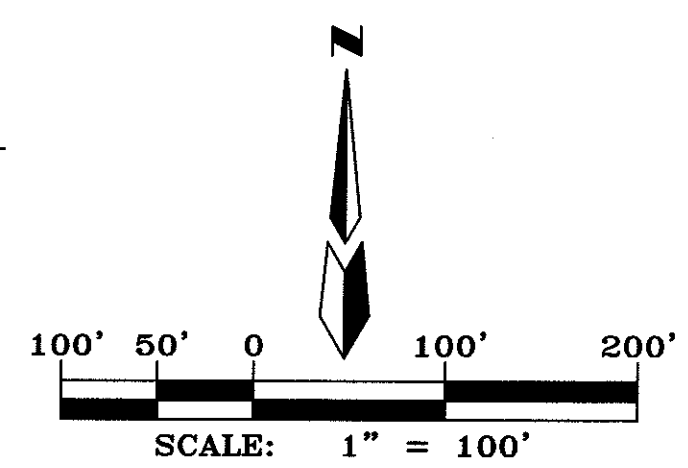
C#	Length	Radius	Delta	Chord B.	Chord L.
C1	97.16'	966.00'	5'45'45"	N86°55'19"E	97.11'
C2	327.48'	3155.42'	5'56'47"	N86°47'47"E	327.33'
C3	322.44'	3087.42'	5'59'02"	N86°48'55"E	322.29'
C4	171.92'	1281.12'	7'41'21"	S86°20'55"E	171.80'
C5	392.99'	966.00'	23'18'33"	N78°18'49"W	390.28'
C6	428.62'	1034.00'	23'45'02"	N78°05'35"W	425.56'
C7	203.77'	1034.00'	11'17'29"	S84°23'10"W	203.44'
C8	47.12'	30.00'	90°00'00"	N56°15'35"W	42.43'

**Line Table**

Line #	Direction	Length
L1	S78°44'25"W	40.72'



NOTE "A"  
 10' WIDE TRAFFIC CALMING PEDESTRIAN CROSS WALK EXACT LOCATION AND DESIGN TO BE DETERMINED AT DRC.



**HERITAGE TRAILS**

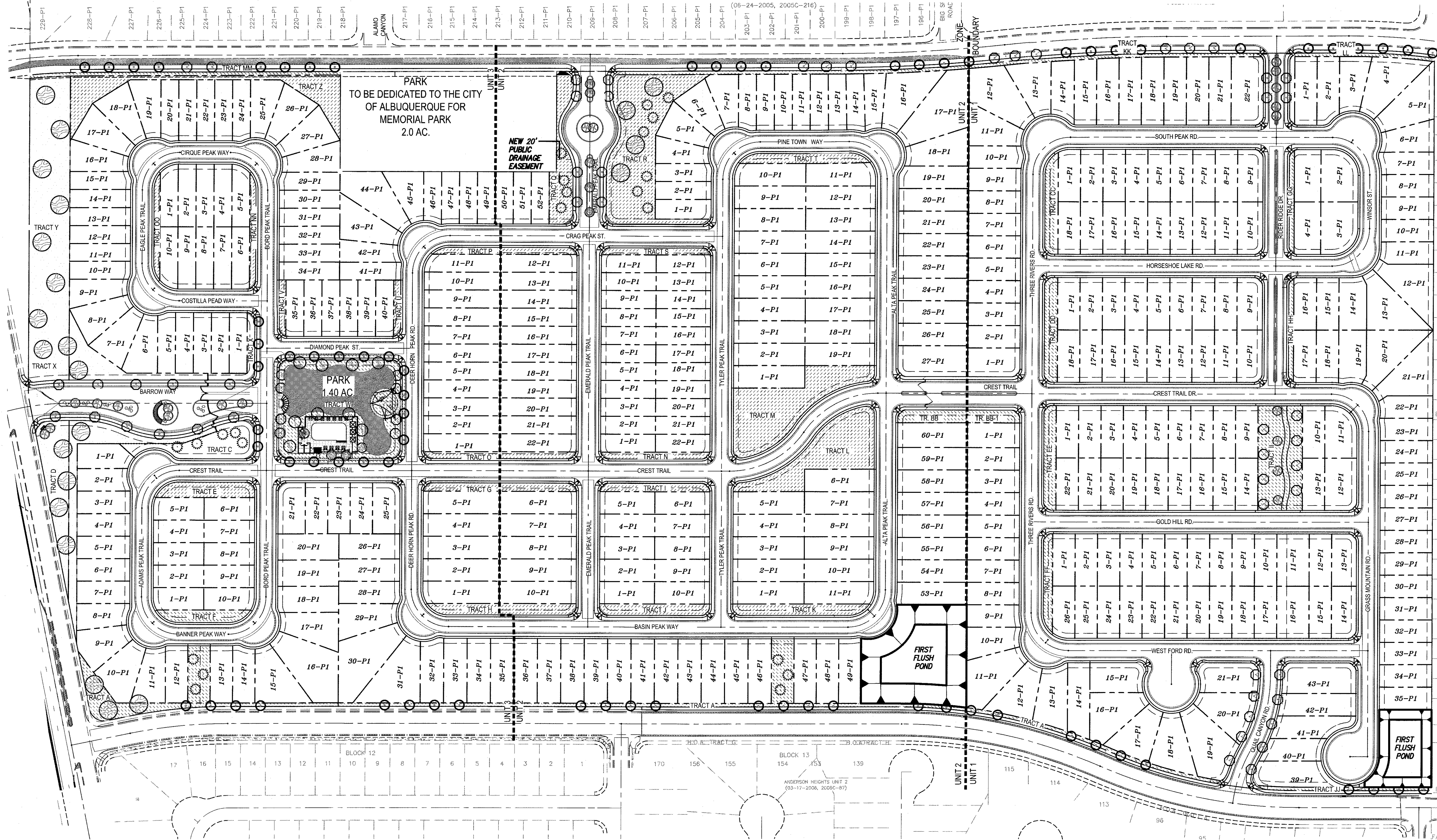
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Designed: DMG Drawn: SPS Checked: DMG Sheet 2 of 5  
 Scale: 1" = 100' Date: 4/16/18 Job: A17022

F:\172025\A17022 -Anderson Heights (2017)\SITE PLANS\A17022\_Site Plan\_2.dwg, Last saved by: Dime, 4/16/18



**PLANT MATERIALS LEGEND**

Trees	Plant Name	Size
	Chilopsis linearis Desert Willow	8' Multi-Stem
	Fraxinus pennsylvanica 'Urbanite' 2' Caliper, B&B Urbanite Ash	6' HT.
	Pinus edulis Piñon Pine	6' HT.
	Pistacia chinensis Chinese Pistache	2" caliper, B&B
	Quercus shumardii Shumard Oak	2" caliper, B&B
	Vitex Agnus Castus Vitex	6' Multi-Stem
<b>Large Shrubs</b>		
	Elaeagnus ebbingei silveryberry	5 gal.
<b>Medium &amp; Small Shrubs</b>		
	Calamagrostis Acauliflora 'Karl Foerster' Feather Reed Grass	5 gal.
<b>Groundcover</b>		
	Juniperus Sabina Buffalo Juniper	1 gal.
<b>Cacti/Accents</b>		
	Festuca ovina Blue Fescue	1 gal.
	Hesperaloe parviflora Red Yucca	1 gal.
	Nassella tenuissima Mexican Feather Grass	1 gal.
	Yucca flata Soapstone Yucca	5 Gal.
	Annuals (seasonal)	
<b>Inerts</b>		
	3/4" minus Crushed rock, 3" depth over filter fabric Color Grey	
	3/4" minus Crushed rock, 3" depth over filter fabric Color Brown	
	Concrete Mow Curb, 6" wide Standard Color and smooth Finish	
	Turf - Park Blend seed mix by Gardner Turfgrass, Inc. Application Rate: 4lbs per 1,000sf	23,370 sf
	Boulder - small to medium	per plan
	Boulder - larger	per plan
	Steel Edging, 1/4"x5" with 15" steel stakes Color: green	

**GENERAL NOTES**

- 1. MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER AND HOA.
- 2. LANDSCAPE MATERIAL TO BE WATERED BY AN AUTOMATIC UNDERGROUND DRIP IRRIGATION SYSTEM WITH A REDUCED PRESSURE BACKFLOW PREVENTER PER THE CITY OF ALBUQUERQUE.
- 3. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER AND HOA.
- 4. THIS PLAN IS TO COMPLY WITH THE CITY OF ALBUQUERQUE LANDSCAPE AND WASTE WATER ORDINANCE 6-1-1. (PLANTING RESTRICTIONS APPROACH).
- 5. LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH, MINIMUM OF 3" DEPTH OVER FILTER FABRIC.
- 6. TREES ARE NOT TO BE PLACED WITHIN THE PUBLIC UTILITY EASEMENTS AND/OR LOCATED 10'-0" FROM EASEMENTS.
- 7. STREET TREES TO CONFORM TO THE STREET TREE ORDINANCE 6-2-2.
- 8. LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS AND ORDINANCE 14-16-3-10.

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ZONE ATLAS NO.	N-8-Z
NO. OF LOTS CREATED	438 LOTS
NO. OF TRACTS CREATED	46 TRACTS
RIGHT-OF-WAY AREA DEDICATED TO CITY	2.0 AC
ZONING	R-D/R-LT
DATE OF SURVEY	MARCH, 2015
TOTAL LANDSCAPE AREA	403,986 SF

**PLANT RESTRICTIONS APPROACH**

A MINIMUM OF 80% OF THE PLANT MATERIAL TO BE LOW OR MEDIUM WATER USE PLANTS.

A MAXIMUM OF 20% OF THE PLANT MATERIAL AND LANDSCAPE AREA TO BE HIGH WATER USE TURF

date: 12.28.17



**HERITAGE HEIGHTS**

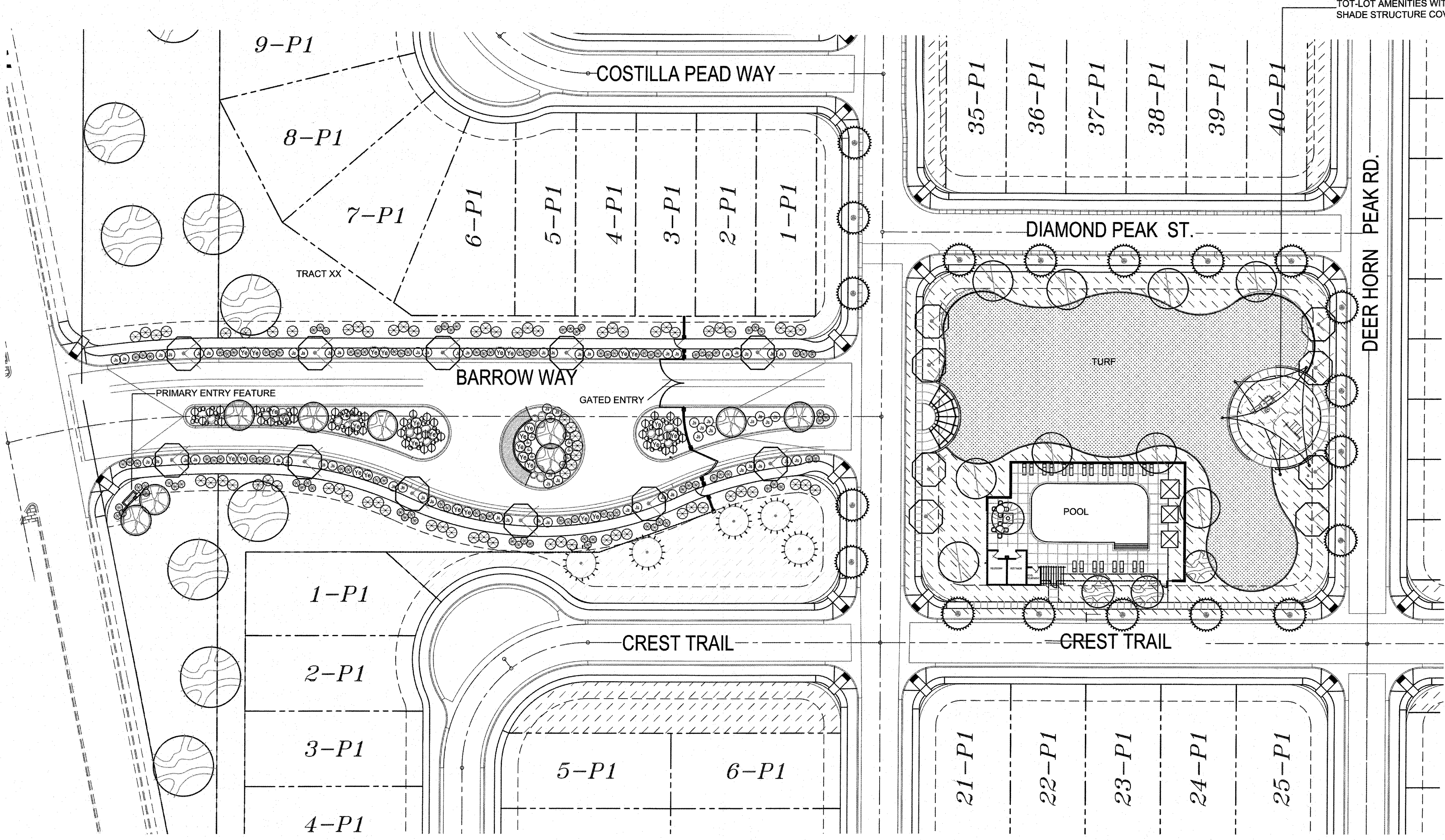
SITE DEVELOPMENT PLAN FOR SUBDIVISION

OVERALL LANDSCAPING PLAN

andersonbaron  
plan · design · achieve  
50 n. mcclintock dr. ste 1  
chandler, arizona 85226  
p. 480.699.7956 f. 480.699.7986

SHT. 3 OF 5

TOT-LOT AMENITIES WITH SHADE STRUCTURE COVER



**PLANT MATERIALS LEGEND**

Trees	Plant Name	Size
	Chilopsis linearis Desert Willow	8' Multi-Stem
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	Vitex Agnus Castus Vitex	6' Multi-Stem
<b>Large Shrubs</b>		
	Eleagnus ebbingei silverberry	5 gal.
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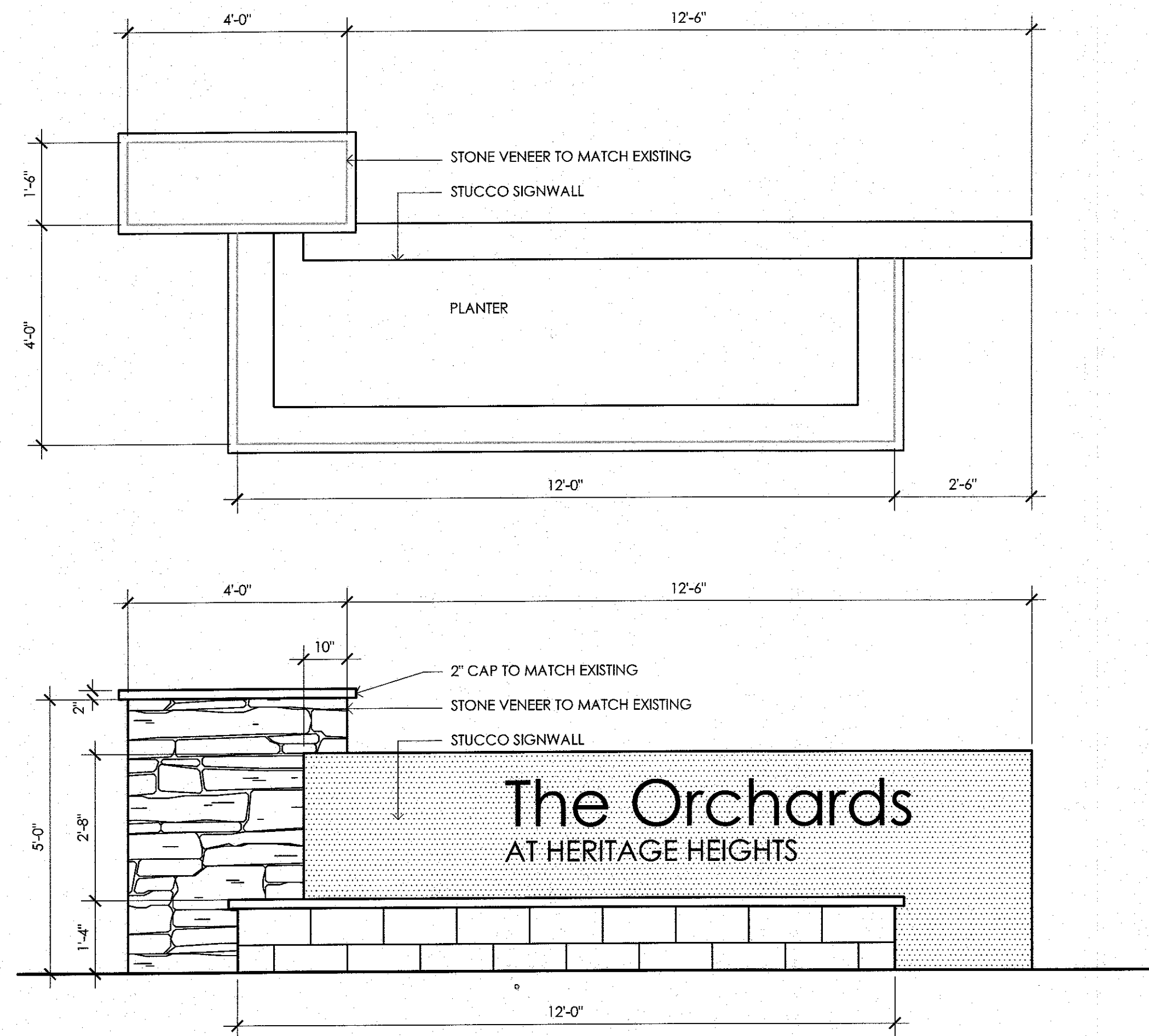


HERITAGE TRAILS

LANDSCAPING ENLARGEMENT PLAN

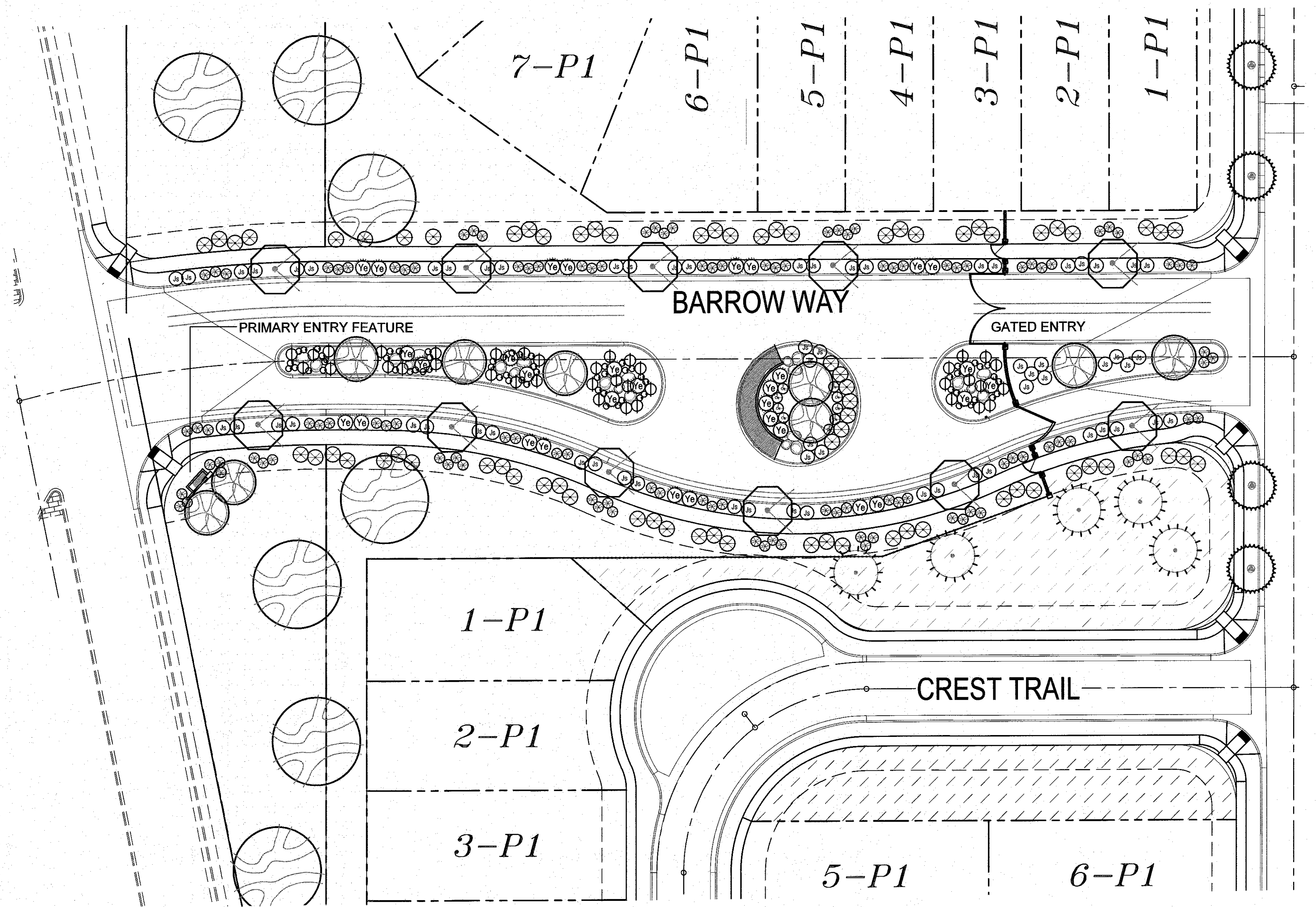
date: 12.28.17

**andersonbaron**  
plan · design · achieve  
50 n. mcclintock dr, ste 1  
chandler, arizona 85226  
ph. 480.699.7956 f.480.699.7986



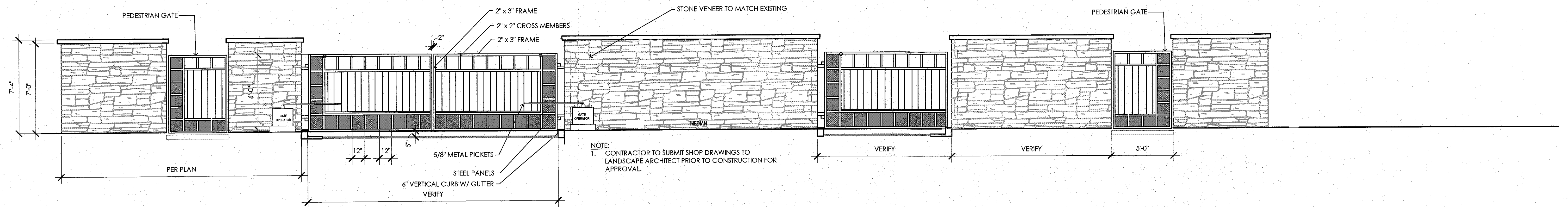
**PRIMARY ENTRY FEATURE**

SCALE: 1/2" = 1'-0"



**ENTRY PLAN VIEW**

SCALE: 1" = 30'-0"



**GATED ENTRY ELEVATION**


SCALE: 1/4" = 1'-0"

date: 12.28.17



**HERITAGE TRAILS**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

**SITE DETAILS**  **andersonbaron**  
 plan · design · achieve  
 50 n. mcclintock dr. ste 1  
 chandler, arizona 85226  
 ph. 480.699.7956 f.480.699.7986  
 SHT. 5 OF 5