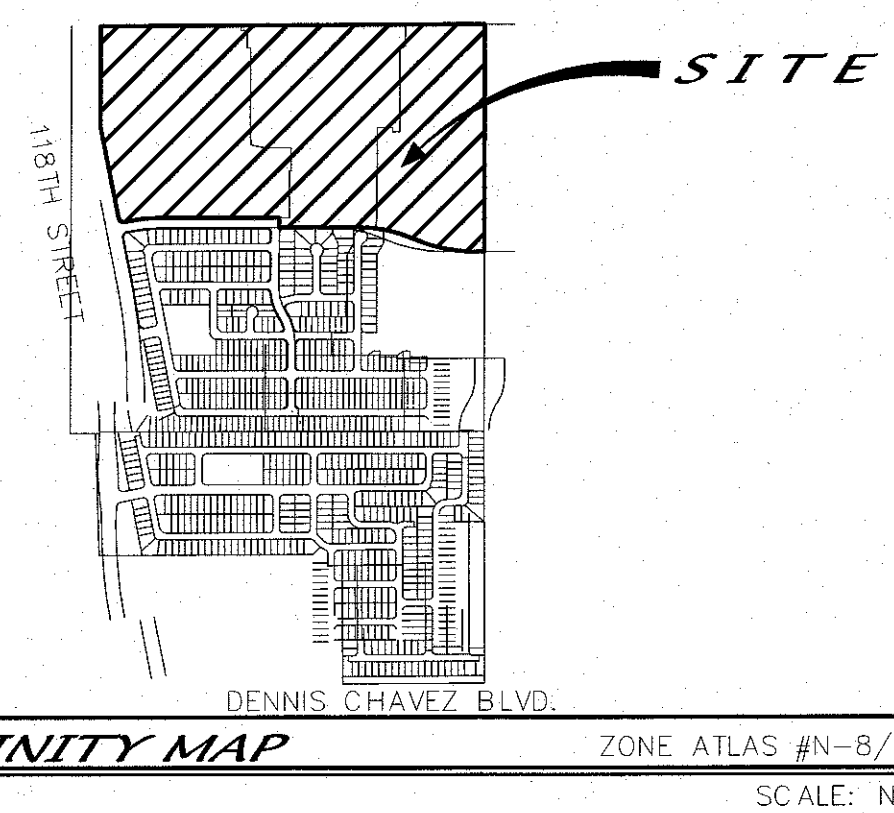


- NOTES**
- SEE SHEET 2 FOR RETAINING WALL DETAILS AND SEE SHEET 3 FOR EAST BOUNDARY RETAINING WALL DETAIL.
 - SEE SHEET 2 FOR TYPICAL LOT LAYOUT DETAIL.

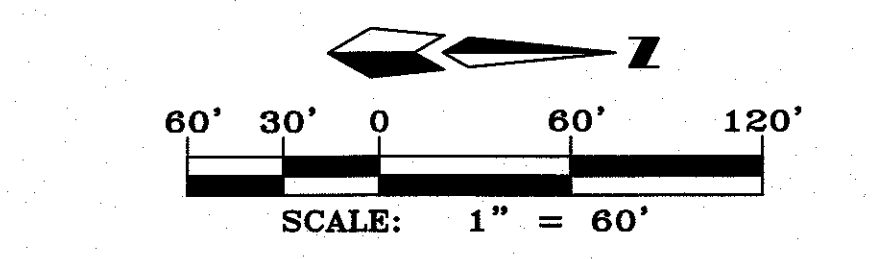
- KEYED NOTES:**
- (A) EXISTING RETAINING WALL TO BE REMOVED & DISPOSED (TYPICAL).



VICINITY MAP ZONE ATLAS #N-8/P-8 SCALE: NONE

- LEGEND**
- EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - x 00.0 EXISTING SPOT ELEVATION
 - TC= EXISTING TOP CURB/FLOWLINE ELEVATION
 - FL= EXISTING TOP WEST RETAINING WALL ELEV.
 - TWRW=56.50 EXISTING TOP WEST GROUND ELEVATION
 - TGW=59.20 EXISTING TOP EAST RETAINING WALL ELEV.
 - TERW=53.90 EXISTING TOP EAST GROUND ELEV.
 - EW=50.6 EXISTING BOTTOM WALL EAST GROUND ELEV.
 - ⊙ EXISTING FIRE HYDRANT
 - ⊠ EXISTING ELECTRIC TRANSFORMER
 - EXISTING FENCE
 - EXISTING POWER POLE
 - 6" GAS EXISTING GAS LINE
 - 30" SD EXISTING STORM DRAIN
 - 6" SAS EXISTING SAS LINE
 - 10" WL EXISTING WATER LINE
 - NEW MOUNTABLE CURB & GUTTER
 - NEW STANDARD CURB & GUTTER
 - NEW SIDEWALK (THIS PROJECT)
 - NEW RIGHT-OF-WAY
 - NEW CENTERLINE
 - NEW LOT LINES
 - NEW EASEMENTS
 - +81.77 NEW SPOT ELEVATIONS
 - NEW FLOW DIRECTION
 - NEW SLOPE
 - HIGH PT NEW HIGH POINT
 - NEW STORM DRAIN INLET
 - ZONE BOUNDARY LINE
 - NEW SINGLE RETAINING WALL
 - NEW DOUBLE RETAINING WALL
 - PVI 94.60 NEW POINT OF VERTICAL INTERSECTION
 - 24" RCP NEW STORM DRAIN
 - NEW STORM DRAIN MANHOLE
 - EXISTING ASPHALT PAVEMENT
 - EXISTING CONCRETE

APPROVED ROUGH GRADING ±18" CITY HYDROLOGY DATE



dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS
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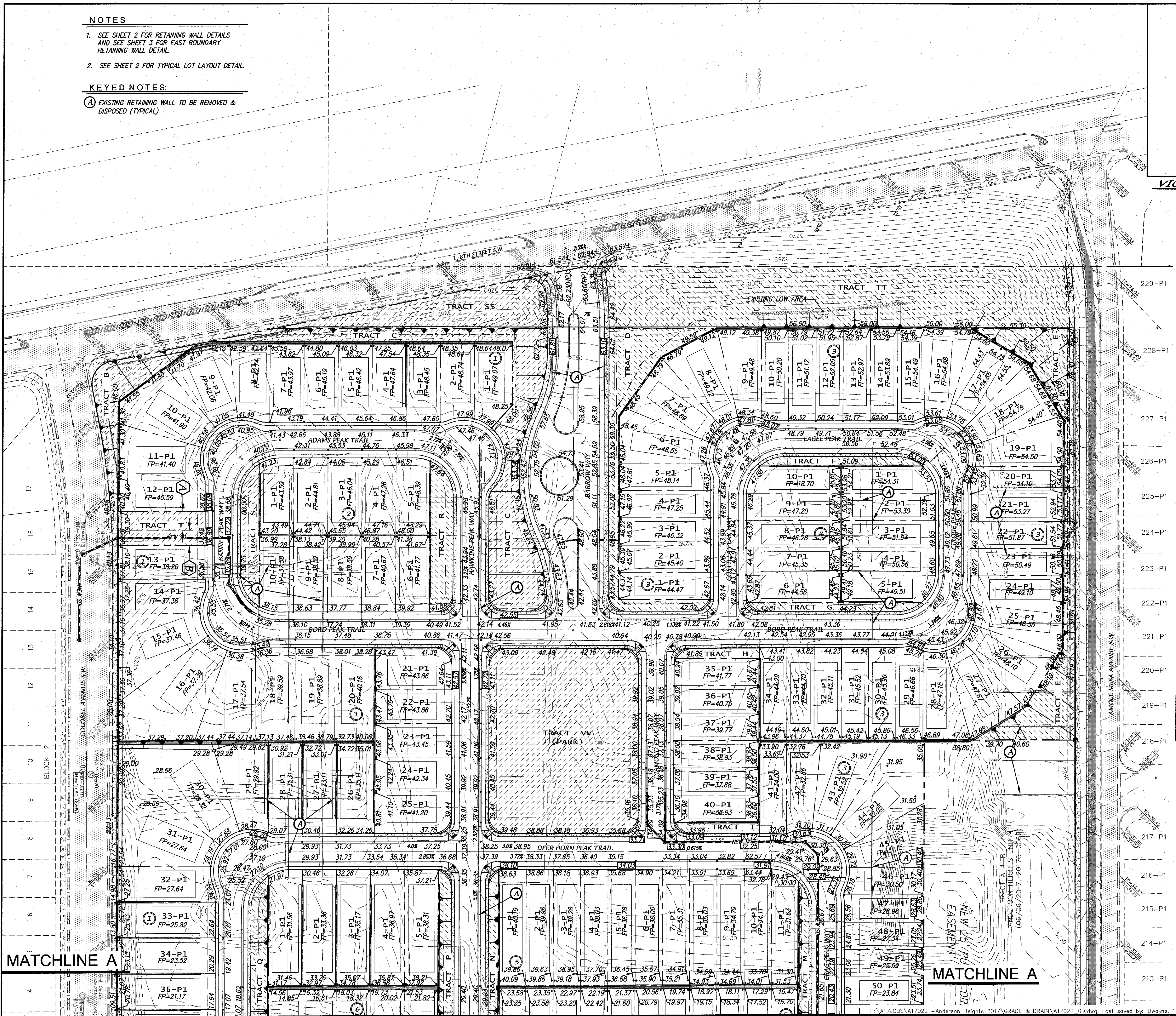
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **HERITAGE TRAILS SUBDIVISION**
OVERALL GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

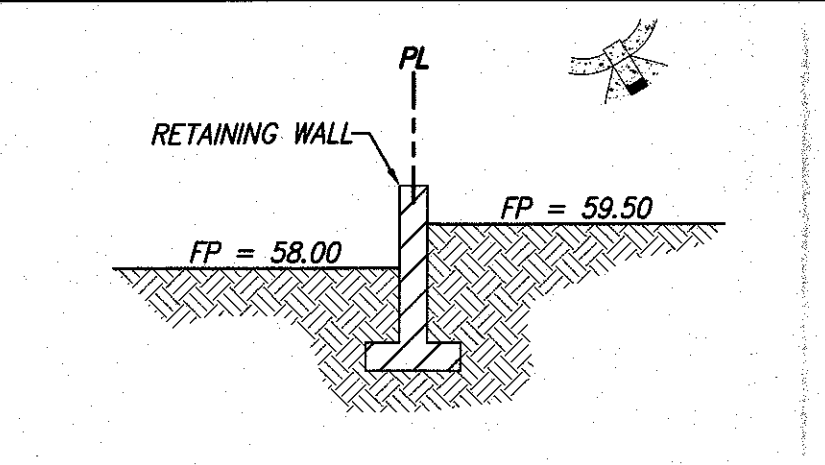
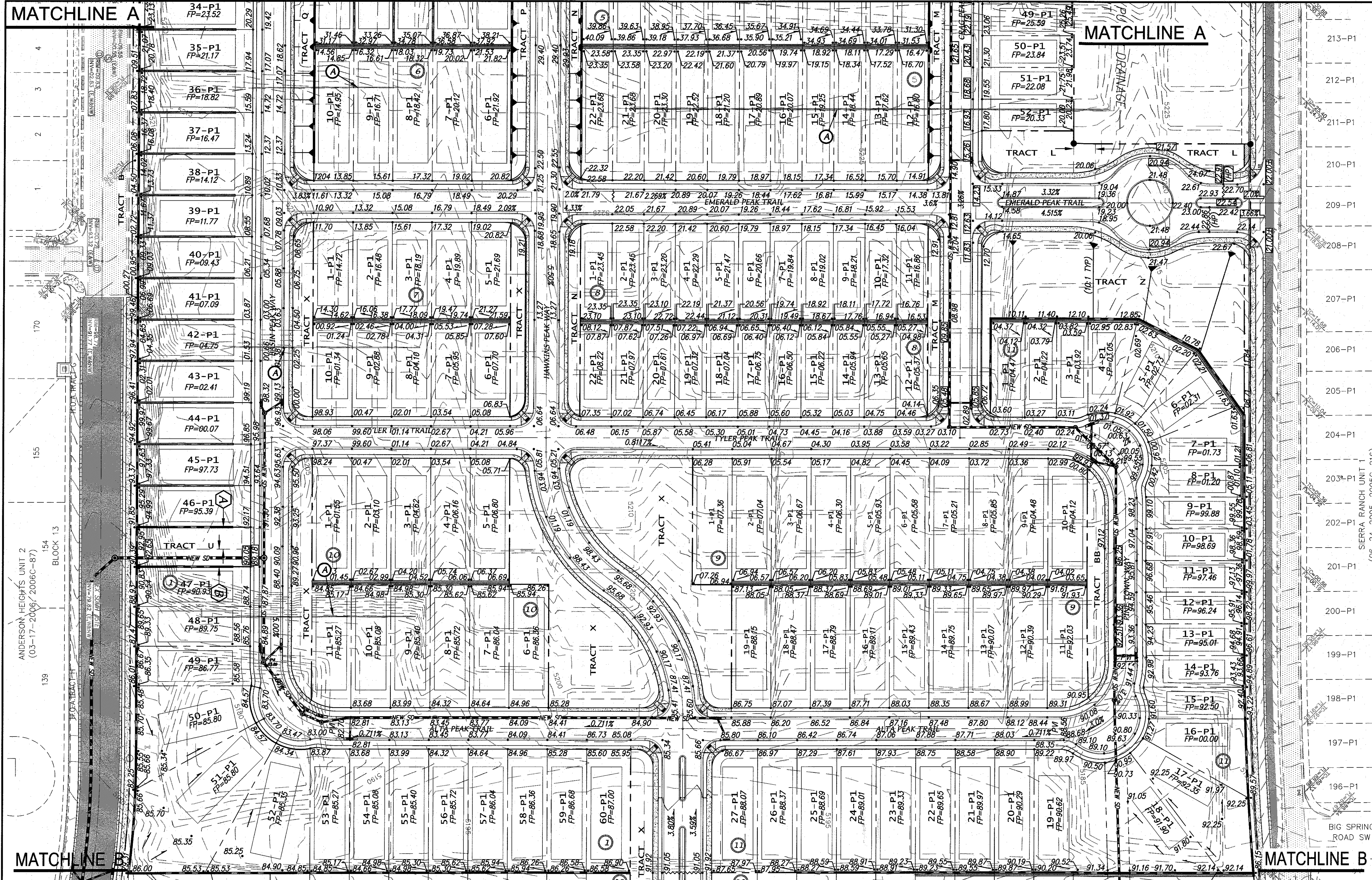
CITY PROJECT NO. ZONE MAP NO. SHEET OF

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACRS MONUMENT & BENCHMARK "1-18"	DATE	FIELD NOTES	NO.	BY	REMARKS
WORK STAKED BY	DATE	N=1470741.879, E=1488701.820	DATE	NO.	BY	BY	REVISIONS
INSPECTOR'S FIELD CHANGE BY	DATE	G-G=0.999676466	DATE				DESIGN
FIELD VERIFICATION BY	DATE	AA=0.011727.0"	DATE				DER
ADJUSTMENT BY	DATE	CENTRAL ZONE	DATE				DWG
		ELEVATION=5307.250					DATE 10/17
		(NAD83/NAVD88)					DATE 10/17

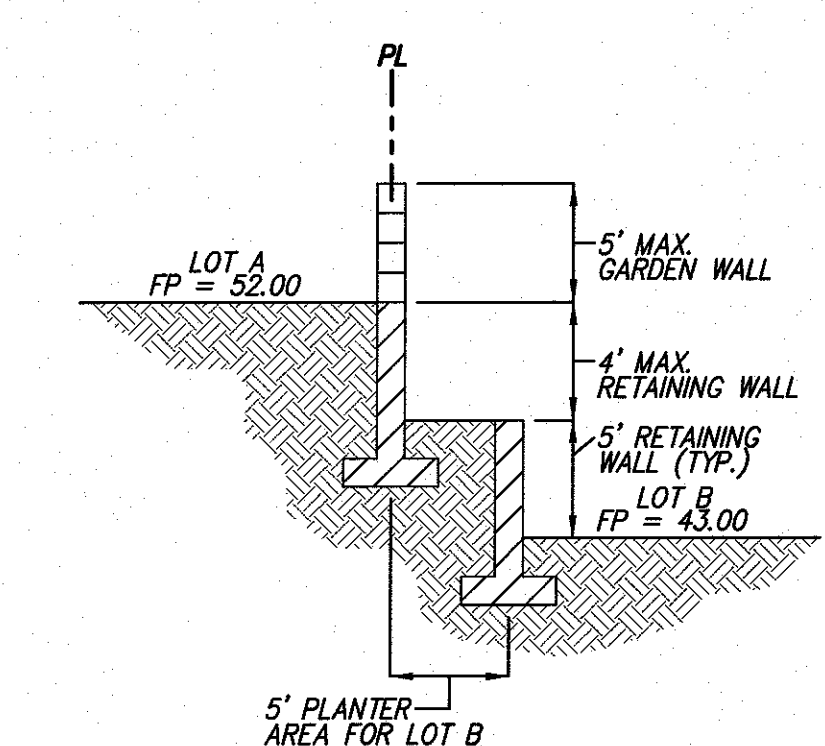


MATCHLINE A

MATCHLINE A



NOTE: RETAINING WALL REQUIRED WHEN THE DIFFERENCE BETWEEN PAD ELEVATIONS IS GREATER THAN 1.5



NOTES

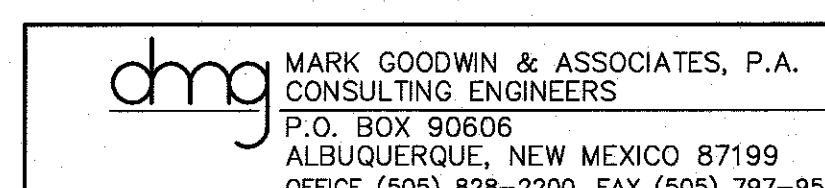
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NO.	BY	NO.	BY
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2	DMG	2	DMG
3	DMG	3	DMG
4	DMG	4	DMG
5	DMG	5	DMG
6	DMG	6	DMG
7	DMG	7	DMG
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60	DMG	60	DMG

NOTES

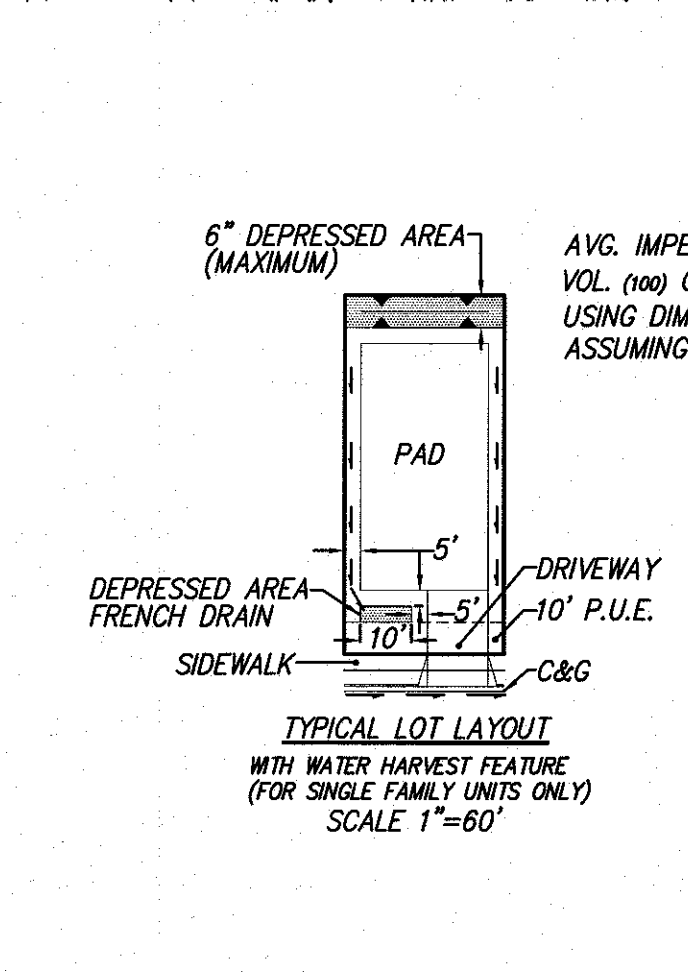
- SEE SHEET 3 FOR EAST BOUNDARY RETAINING WALL DETAIL.

KEYED NOTES:

(A) EXISTING RETAINING WALL TO BE REMOVED & DISPOSED (TYPICAL).



LEGEND	
---	EXISTING CONTOUR (MAJOR)
- - -	EXISTING CONTOUR (MINOR)
x 00.0	EXISTING SPOT ELEVATION
TL	EXISTING TOP CURB/FLOWLINE ELEVATION
TWRW=56.50	EXISTING TOP WEST RETAINING WALL ELEV.
TOW=59.20	EXISTING TOP WEST GROUND ELEVATION
TERW=53.90	EXISTING TOP EAST RETAINING WALL ELEV.
BW=50.6	EXISTING BOTTOM WALL EAST GROUND ELEV.
⊙	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING FIRE HYDRANT
⊞	EXISTING ELECTRIC TRANSFORMER
---	EXISTING FENCE
⊞	EXISTING POWER POLE
6" GAS	EXISTING GAS LINE
30" SD	EXISTING STORM DRAIN
8" SAS	EXISTING SAS LINE
10" W	EXISTING WATER LINE
---	NEW MOUNTABLE CURB & GUTTER
---	NEW STANDARD CURB & GUTTER
---	NEW SIDEWALK (THIS PROJECT)
---	NEW RIGHT-OF-WAY
---	NEW CENTERLINE
---	NEW LOT LINES
---	NEW EASEMENTS
---	NEW SPOT ELEVATIONS
---	NEW FLOW DIRECTION
---	NEW SLOPE
---	NEW HIGH POINT
---	NEW STORM DRAIN INLET
---	ZONE BOUNDARY LINE
---	NEW SINGLE RETAINING WALL
---	NEW DOUBLE RETAINING WALL
---	NEW POINT OF VERTICAL INTERSECTION
---	NEW STORM DRAIN
---	NEW STORM DRAIN MANHOLE
---	EXISTING ASPHALT PAVEMENT
---	EXISTING CONCRETE



NOTE: USE RETAINING WALLS: WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE ADJACENT PADS IS 3.0' OR MORE A RETAINING WALL MUST BE CONSTRUCTED BETWEEN THE LOTS AS SHOWN ON THE PLAN AND THERE WILL BE NO PRIVATE DRAINAGE EASEMENT.

USE STEM WALLS: WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE ADJACENT PADS IS GREATER THAN 1.5' BUT LESS THAN 3.0', A STEM WALL SHALL BE CONSTRUCTED BY THE BUILDER ON THE "HIGH SIDE" OF LOT PAD.

FOR ALL SIDE YARDS: EACH LOT OWNER MUST CONSTRUCT, OPERATE, AND MAINTAIN HIS OWN SEPARATE DRAINAGE SWALE ALL THE WAY TO THE STREET AND CROSS LOT DRAINAGE WILL BE PREVENTED BY SOME COMBINATION OF WALLS AND BERMS ON THE COMMON LOT LINE TO BE JOINTLY MAINTAINED BY BOTH LOT OWNERS.

EROSION CONTROL NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND MUST BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

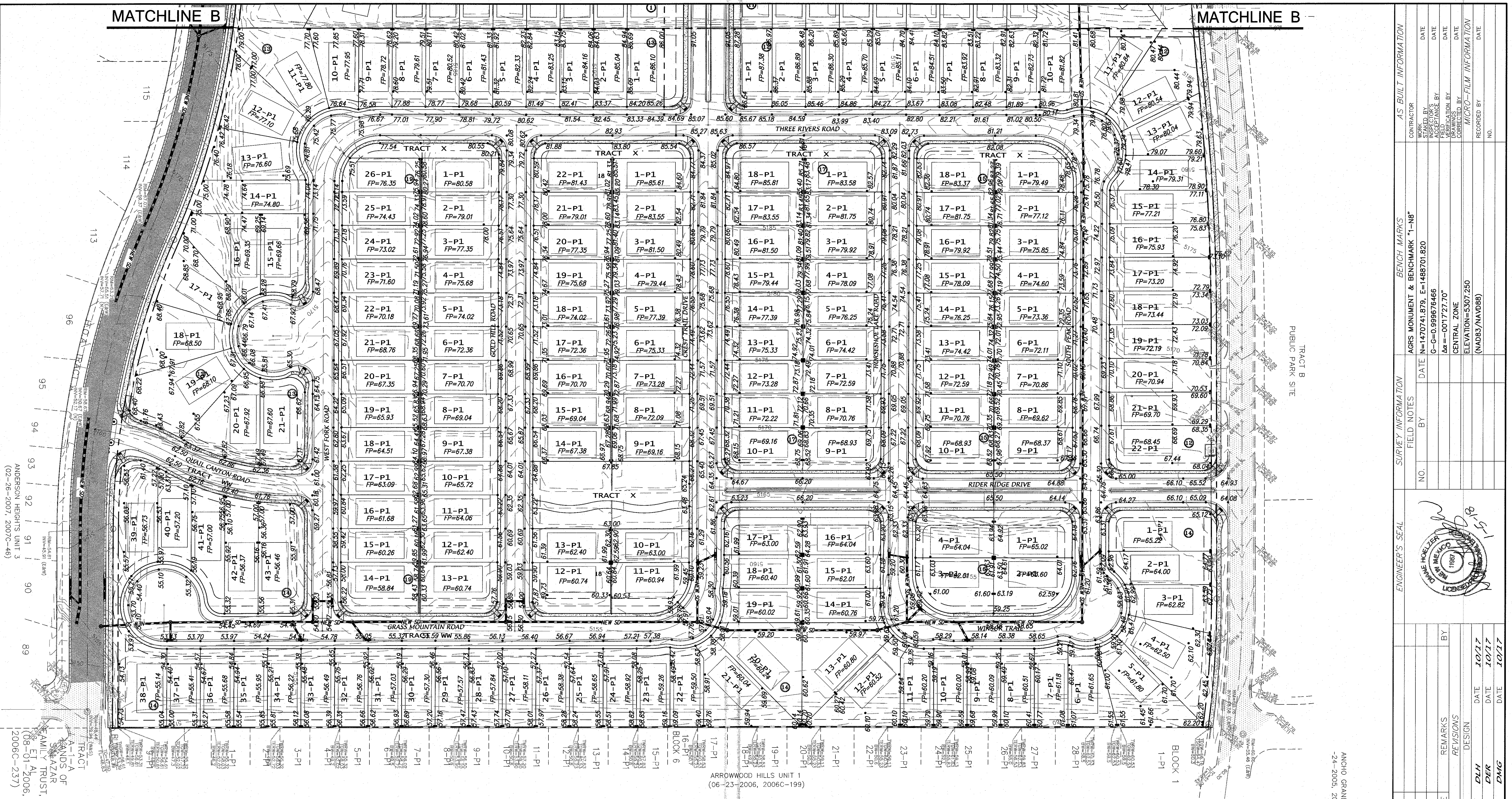
TITLE: **HERITAGE TRAILS SUBDIVISION
OVERALL GRADING & DRAINAGE PLAN**

DESIGNED BY	DMG	DATE	10/17
DRAWN BY	DER	DATE	10/17
CHECKED BY	DMG	DATE	10/17

CITY PROJECT NO. _____ ZONE MAP NO. **N-8-Z** SHEET **2** OF **3**

MATCHLINE B

MATCHLINE B



SECTION A-A EAST BOUNDARY DOUBLE RETAINING WALL (TYP)
 (*NOTE: REMOVE & DISPOSE EXISTING N.T.S. RETAINING WALLS*)

FRONT LOT FRENCH DRAIN DETAIL
 NOTE: TO BE CONSTRUCTED WITH THE HOUSE (AVG. DIMENSIONS = 5'x10'x5')
 SCALE 1"=5'

TYPICAL LOT LAYOUT WITH WATER HARVEST FEATURE (FOR SINGLE FAMILY UNITS ONLY)
 SCALE 1"=60'

AVG. IMPERVIOUS AREA = 2500 SQ. FT.
 VOL. (100) OF RUNOFF = 0.34 IN. (2500 SQ. FT.) = 71 CU. FT.
 USING DIMENSIONS 5x10'x5' = 100 CU. FT. ASSUMING 40% VOIDS

NOTES

- SEE SHEET 2 FOR RETAINING WALL DETAILS.

KEYED NOTES:

(A) EXISTING RETAINING WALL TO BE REMOVED & DISPOSED (TYPICAL).

SCALE: 1" = 60'

AS BUILT INFORMATION	
CONTRACTOR	WORKED BY
DATE	INSPECTOR'S ACCEPTANCE BY
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE

BENCH MARKS	
AGRS MONUMENT & BENCHMARK "1-NB"	NO.
G-G-0.999676466	14170741.979, E=1488701.820
Aw = -001727.70"	DATE
CENTRAL ZONE	BY
ELEVATION=5307.250	NO.
(NAD83/NAVD88)	DATE

SURVEY INFORMATION	
FIELD NOTES	NO.
DATE	BY

ENGINEER'S SEAL

NO.	DATE	REMARKS	BY
DESIGNED BY	DLH	DATE	10/17
DRAWN BY	DER	DATE	10/17
CHECKED BY	DMG	DATE	10/17

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**CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT**

TITLE: **HERITAGE TRAILS SUBDIVISION
 OVERALL GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

LAST DESIGN UPDATE: _____

CITY PROJECT NO. _____ ZONE MAP NO. **N-8-Z** SHEET **3** OF **3**