

VICINITY MAP ZONE MAP: N-8-Z

SUBDIVISION DATA

GROSS ACREAGE	87.4236 AC
ZONE ATLAS NO.	N-8-Z
NO. OF LOTS CREATED	474 LOTS
NO. OF TRACTS CREATED	43 TRACTS
RIGHT-OF-WAY AREA DEDICATED TO CITY	2.4924 AC
ZONING	R-D/R-LT
DATE OF SURVEY	MARCH, 2014

LEGAL DESCRIPTION

A tract of land situate, within the Town of Atresco Grant, projected Sections 5 and 8, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of PARCELS 4 and 6, ANDERSON HEIGHTS UNIT 1, and ANDERSON HEIGHTS UNIT 9, and containing 87.4236 acres more or less.

PROJECT NUMBER: 1002739
APPLICATION NUMBER: 04DRB-00894

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Ramona M. Masch</i> Traffic Engineering, Transportation Division	5/6/15 DATE
<i>Kevin J. Anderson</i> A.B.C.W.U.A.	05/06/15 DATE
<i>Carol S. Dumont</i> Parks and Recreation Department	5-6-15 DATE
<i>Patricia T. H.</i> City Engineer	5-6-15 DATE
* Environmental Health Department (conditional)	DATE
Solid Waste Management	DATE
DRB Chairperson, Planning Department	DATE

SITE AND DESIGN STANDARDS

- DEVELOPMENT DENSITY:**
Site area of Parcels 4 and 6, Anderson Heights Unit 1 & Anderson Heights Unit 9 is 87.4236 acres. Density = 5.6 DU's per Acre.

Parcels 4 and 6, Anderson Heights Unit 1 is zoned R-D & Anderson Heights Unit 9 is zoned R-LT.
- MAXIMUM TOTAL DWELLING UNITS:**
Maximum total number of residential units shall be 482.
- BUILDING HEIGHTS & SETBACKS:**
Maximum allowed building heights shall be 26 feet. Setbacks shall be in accordance with the R-D/R-LT zone. (See detail this sheet).
- PARK DEVELOPMENT:**
A. 1.0 Acre Private Park shall be developed for the benefit of all lot owners in Unit 4 and will be maintained by the H.O.A.
- OPEN SPACE:**
Open Space shall be provided on each lot in accordance with section 14-16-3-8 of the Zoning Code (Detached Open Space Regulations).
- WATER AND SEWER:**
Prior to development, Albuquerque Bernalillo County Water Utility Authority (ABCWUA), Water and Sanitary Sewer Service to the site must be verified and coordinated with ABCWUA.
- PARKING:**
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code for lots with "P1" designation.
- PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**
Vehicular Access: Primary access will be off (1) 118TH Street, (2) Amole Mesa Avenue and (1) Colobel Avenue with all new private streets, all of which will be gated.
Pedestrian Access: There is existing sidewalk along east side of 118TH Street. New sidewalk will be constructed along the south side of Amole Mesa Avenue and the north side of Colobel Avenue. Sidewalks will be installed on both side of new streets within the site. Pedestrian access into the site from 118TH Street, Amole Mesa Avenue & Colobel Avenue will also be granted.
- BUILDINGS:**
Buildings will be traditional of southwest style with flat or pitched roofs and siding will be stucco with stone accents and wood trim. The exterior stucco finish will consist of colors in shades of earthtone.
- LANDSCAPING:**
Both individual and community landscaping shall comply with the Water Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping shall be in accordance with the Street Tree Ordinance and trees planted will be in accordance with the list of deciduous and evergreen trees listed in the City of Albuquerque Guide to Xeriscaping.
- WALLS:**
A. Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code.
B. Perimeter walls shall be colored or consist of a colored scheme and constructed of split-face concrete masonry topped with a continuous cap.
C. Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
D. Maximum wall heights shall be 6 feet, unless they are retaining walls.
E. Walls shall not be allowed within the clear-sight triangle.
- PEDESTRIAN SITE INGRESS/EGRESS:**
Consists of the internal sidewalks.
- LOT SIZE AND LOT WIDTH:**
Minimum lot size is 3600.00 sf = 0.0826 ac
Minimum lot width is 36 feet

SITE AND DESIGN STANDARDS (CONT.)

- UTILITIES:**
A. All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground.
B. Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies and PNM's Electric Service Guide.
- SIGNAGE:**
Any signage proposed to identify the subdivision shall be provided in accordance with the Zoning Code General Sign Regulations, per section 14-16-3-5. The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face abutting residential zones.

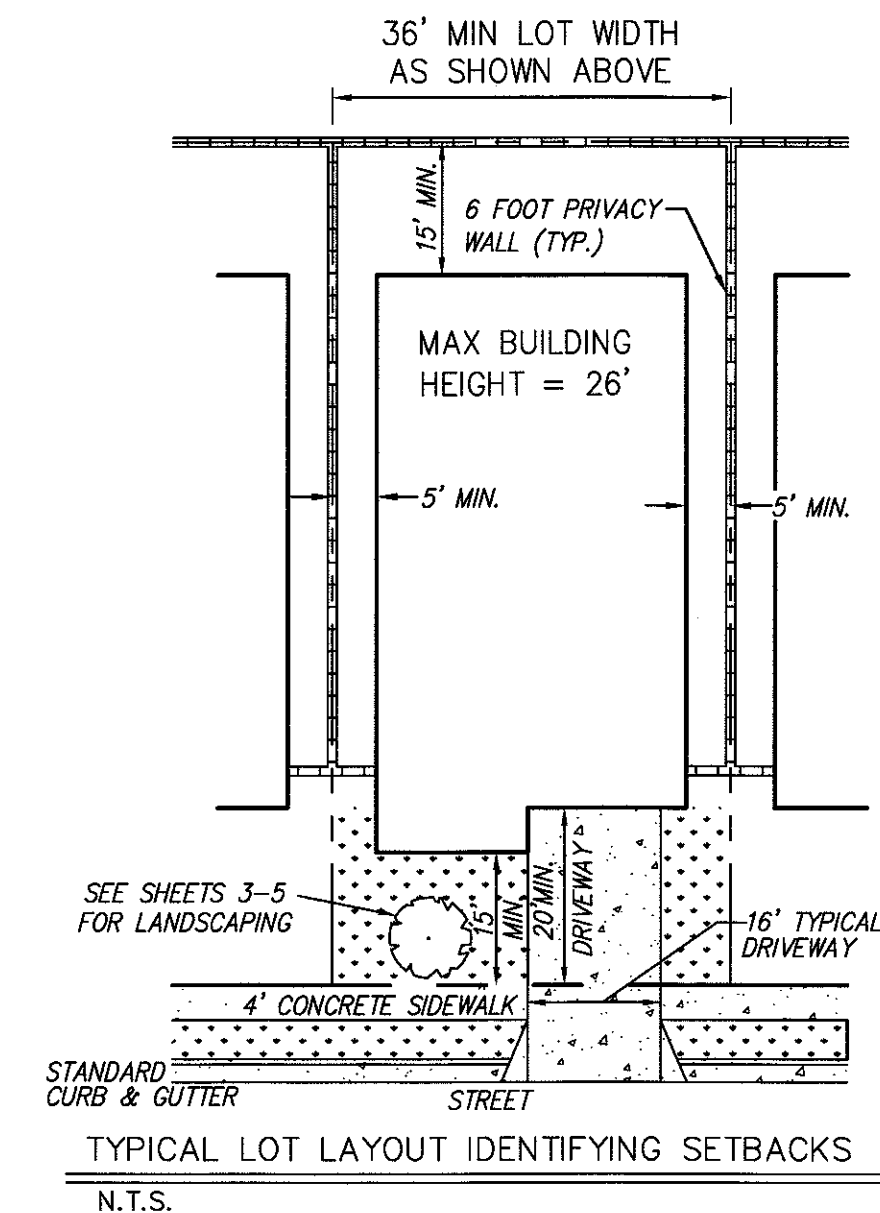
SITE AND DESIGN STANDARDS (CONT.)

- APPROVALS PROCESS:**
Upon approval of this SITE PLAN FOR SUBDIVISION, site development plan for building permit approval shall conform to the design standards presented herein and be delegated to Building Permit for final approval.
- BENEFICIARY AND MAINTENANCE:**
A. Tract "WW" is a Private Access & Drainage Easement and Public Waterline & Sanitary Sewer Easement. It is for the benefit of all lots within Unit 4 and will be maintained by the H.O.A.
B. Tract "UU" will be Deeded to the City of Albuquerque for the purpose of a Memorial Park.
C. Tracts "A thru TT" and Tract "VV" are Private Common Areas for the benefit of all lots within Unit 4. Tracts will be deeded to the H.O.A. and will be maintained by the H.O.A.
- SOLAR:**
No property within the area of requested final action shall at any time be subject to a Deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision.
- CLEAR SIGHT AREA-ENTRANCE ROADS:**
Landscaping, fencing and signing shall not interfere with clear sight requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) shall not be acceptable in the Clear Sight triangle.
- BUILDING HEIGHT LIMITATIONS TO PRESERVE SOLAR ACCESS:**
The additional height limitations of this division (A) shall apply to all residential zones where the basic height limitation is 26 feet. In any subdivision for which the preliminary or preliminary/final plats submitted to the city after February 1, 1981, the height of any building shall comply with one of the following additional height limitations, either:

(a) The building height shall not exceed the following heights, determined by the distance cardinally south from the northern boundary of the lot as follows:

Lot Line (feet)	Height (feet)
0-5	10
5-10	11
10-15	14
15-20	17
20-25	20
25-30	23
30-35	25
35 or more	26

- or alternatively:
- The height shall not exceed 31° angle plane (as further defined in division 3, below) drawn upward from a horizontal line located two feet above the mean grade at either:
 - A line lying ten feet within the lot lying to the north and parallel to the general south side of the neighboring lot which is mostly nearly perpendicular to cardinal north, if the lot is vacant and no building permit for a structure has been applied for;
 - The facade of the principal residential building on the lot lying to the north, which most nearly faces cardinal south if the lot has an existing building intended for permanent occupancy or a building permit for a structure has been issued; or
 - The plane shall be made up of lines drawn cardinally south, 31° above horizontal, along all points identifying said southerly setback lines or building lines.
- (c) The Zoning Enforcement Officer shall waive all or part of the provisions of divisions (a) and (b) above if he finds that, pursuant to rules and regulations promulgated by the Mayor and so records in his files, beneficial and important solar access can be protected for a lot to the north through the height requirements of this division (A) due to;
- The lot(s) to the north being exceptionally large or high, so that there are many good locations for solar collector relating to passive or active solar energy systems which will not be blocked by the proposed construction; or
 - The development on the lot(s) to the north is already served by as much solar collector area as is likely to ever be needed and solar access to that collector surface will not be impaired by the proposed construction.
- (d) The Zoning Enforcement Officer shall waive the provisions of divisions (a) and (b) above if he finds that the owner or builder proposing the height limit waiver has demonstrated:
- That there will clearly not be a principal building in the area within 35 feet to the north of the proposed building; or
 - That any heated building which is on separate lot, is built or is under construction to minimum energy efficient standards with a maximum average U value for the walls (Uo wall) not to exceed .16 BTUs per hour per square foot degrees Fahrenheit and with a maximum average U value for the roof (Uo roof) not to exceed .04 BTUs per hour per square foot degrees Fahrenheit. The fact that the building adjacent to the north is connected to the proposed building does not change the regulations.



TYPICAL LOT LAYOUT IDENTIFYING SETBACKS
N.T.S.

LOT WIDTH ≥ 40' (60.7 MAX.)	
LOT LENGTH	PAD LENGTH
94'-122'	55'-86'
122'-154'	86'
LOT WIDTH = 36' (MINIMUM)	
LOT LENGTH	PAD LENGTH
98'-132'	50'-78'
132'-153'	78'-86'

*SEE SHEET 6 FOR SPECIFIC PAD ALLOWANCES.

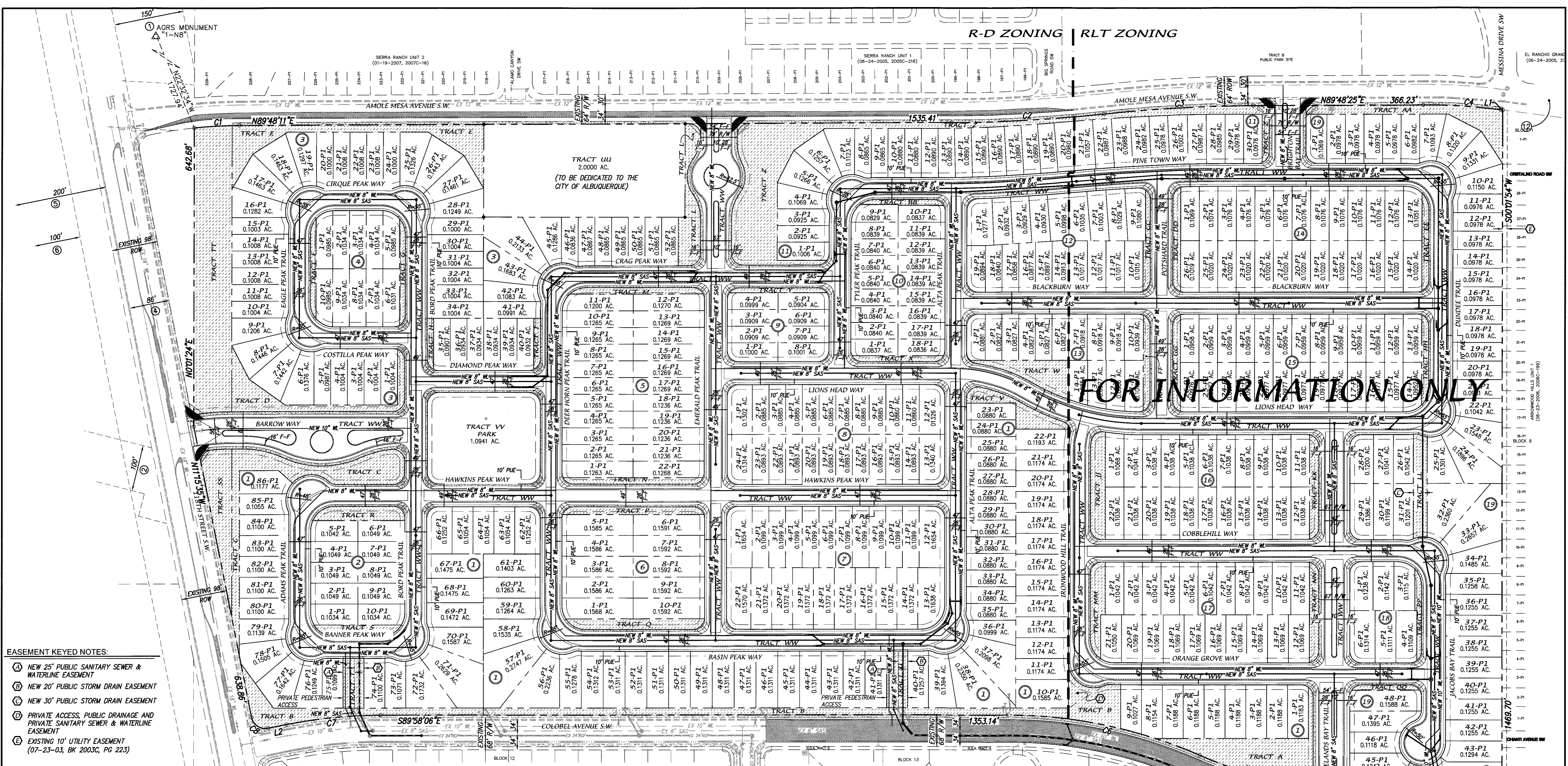
PLAN INDEX	SHEETS
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SITE PLAN FOR SUBDIVISION	2
LANDSCAPING PLAN	3-5

ANDERSON HEIGHTS - UNIT 4

SITE DEVELOPMENT PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DER	Drawn: DER	Checked: DMG	Sheet 1 of 6
Scale: 1" = 100'	Date: 5-05-15	Job: A13034	



- EASEMENT KEYED NOTES:**
- Ⓐ NEW 25' PUBLIC SANITARY SEWER & WATERLINE EASEMENT
 - Ⓑ NEW 20' PUBLIC STORM DRAIN EASEMENT
 - Ⓒ NEW 30' PUBLIC STORM DRAIN EASEMENT
 - Ⓓ PRIVATE ACCESS, PUBLIC DRAINAGE AND PRIVATE SANITARY SEWER & WATERLINE EASEMENT
 - Ⓔ EXISTING 10' UTILITY EASEMENT (07-23-03, BK 2003C, PG 223)

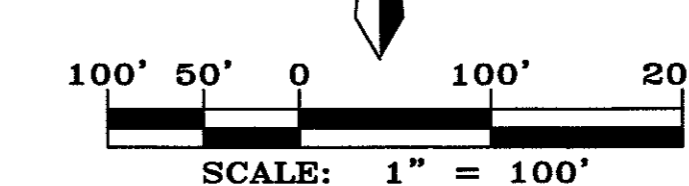
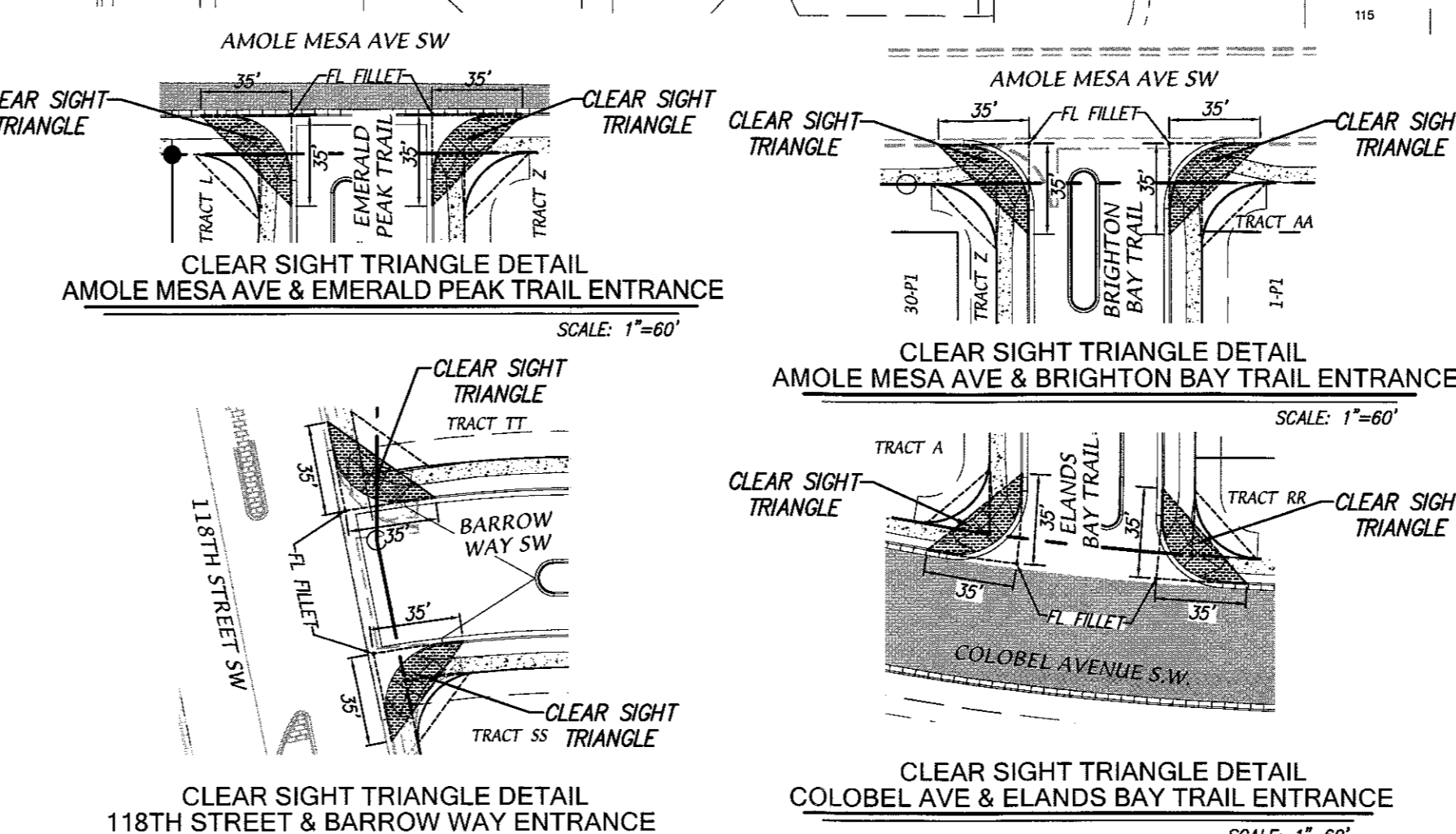
- EXISTING EASEMENTS**
- ① EXISTING 150' AMAFCA DRAINAGE EASEMENT (04-17-96, 96C-160)
 - ② EXISTING 100' OR 200' AMAFCA DRAINAGE EASEMENT (07-19-90, 90C-163)
 - ③ EXISTING 86' PUBLIC ROADWAY EASEMENT (04-17-96, 96C-160)
 - ④ EXISTING 200' POWER LINE EASEMENT U.S.B.R. (02-05-52, D197-567)
 - ⑤ EXISTING 100' PNM EASEMENT (04-20-78, BK.MISC 602, 558-561)
 - ⑥ EXISTING 60' PUBLIC ACCESS EASEMENT - TO 98TH STREET S.W. (07-23-03, 03C-223)
 - ⑦ EXISTING 68' PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT - TO 98TH STREET S.W. (07-23-03, 03C-223)

AREA TABLE			
TRACT ID	AREA (AC)	TRACT ID	AREA (AC)
TRACT A	0.4867 AC	TRACT AA	0.2794 AC
TRACT B	0.9600 AC	TRACT BB	0.0450 AC
TRACT C	0.5331 AC	TRACT CC	0.0596 AC
TRACT D	0.2827 AC	TRACT DD	0.0811 AC
TRACT E	0.4490 AC	TRACT EE	0.0665 AC
TRACT F	0.0548 AC	TRACT FF	0.0634 AC
TRACT G	0.0601 AC	TRACT GG	0.0747 AC
TRACT H	0.0328 AC	TRACT HH	0.0606 AC
TRACT I	0.0341 AC	TRACT II	0.1662 AC
TRACT L	0.2079 AC	TRACT KK	0.0976 AC
TRACT M	0.0850 AC	TRACT LL	0.1516 AC
TRACT N	0.0908 AC	TRACT MM	0.1239 AC
TRACT P	0.1118 AC	TRACT NN	0.0935 AC
TRACT Q	0.1481 AC	TRACT PP	0.0494 AC
TRACT R	0.1275 AC	TRACT QQ	0.0354 AC
TRACT S	0.0833 AC	TRACT RR	0.2577 AC
TRACT T	0.1100 AC	TRACT SS	0.2931 AC
TRACT U	0.1255 AC	TRACT TT	1.1522 AC
TRACT V	0.1514 AC	TRACT UU	2.0000 AC
TRACT X	0.1871 AC	TRACT VV	1.0914 AC
TRACT Y	0.0541 AC	TRACT WW	25.5571 AC
TRACT Z	1.0767 AC		

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD LENGTH
C1	97.16'	966.00'	05°45'45"	S86°55'19"W	97.11'
C2	329.33'	3155.42'	05°58'48"	N86°48'47"E	329.18'
C3	322.44'	3087.42'	05°59'02"	S86°48'54"W	322.30'
C4	167.58'	1281.12'	07°29'42"	N86°26'44"W	167.47'
C5	396.84'	966.00'	23°32'15"	S78°11'58"E	394.05'
C6	424.77'	1034.00'	23°32'15"	N78°11'58"W	421.79'
C7	203.77'	1034.00'	117°29'29"	S84°23'10"W	203.44'
C8	47.12'	30.00'	90°00'00"	S56°15'35"E	42.43'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S82°41'53"E	4.34'
L2	S78°44'25"W	40.72'

- LEGEND**
- 1-P1 LOT NUMBER
 - Ⓐ BLOCK NUMBER
 - RIGHT-OF-WAY
 - ZONE BOUNDARY



ANDERSON HEIGHTS - UNIT 4

SITE DEVELOPMENT PLAN FOR SUBDIVISION

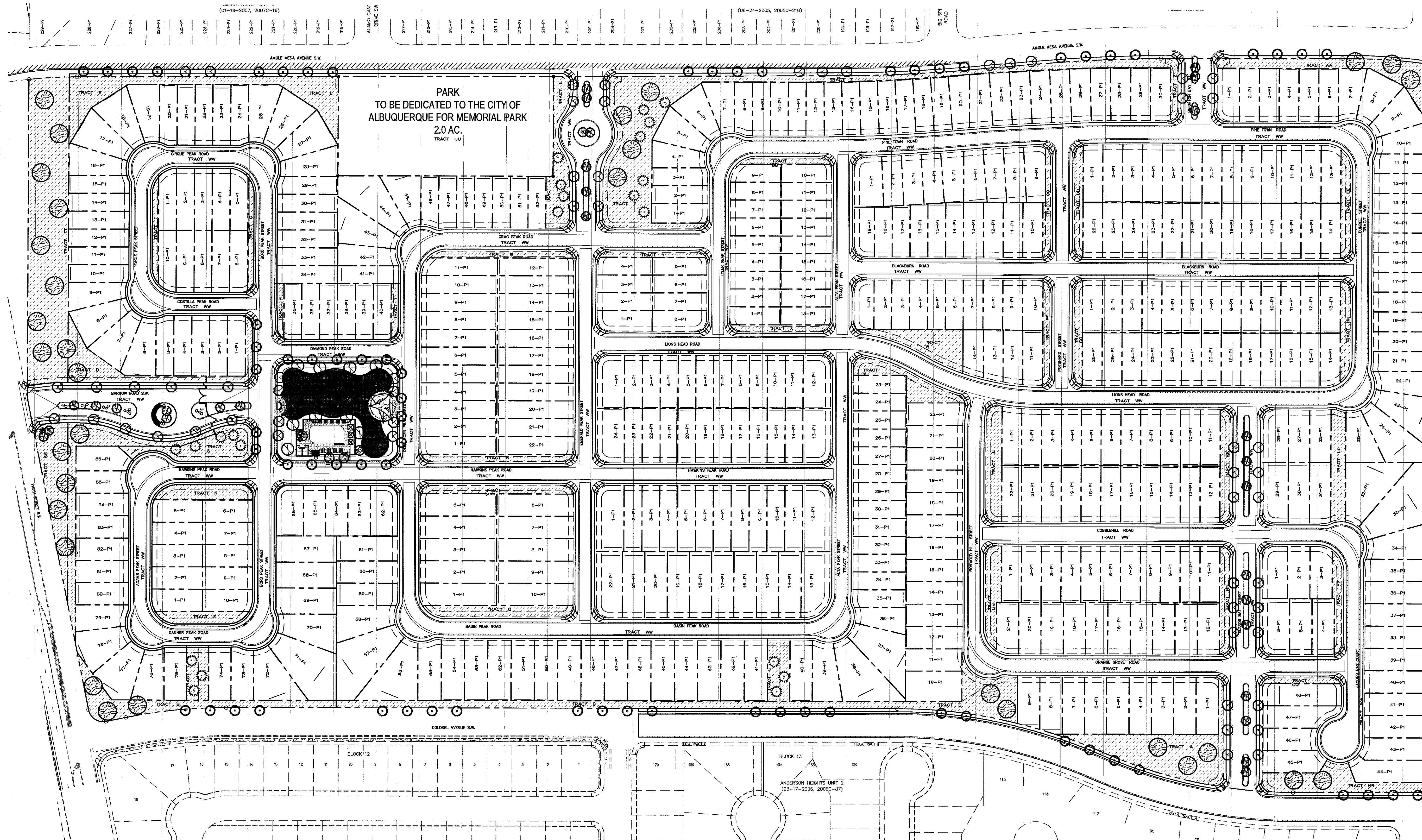
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Designed: DLH	Drawn: DER	Checked: DMG
Scale: 1" = 100'	Date: 5-05-15	Job: A13034

Sheet 2 of 6

FOR INFORMATION ONLY



PLANT MATERIALS LEGEND

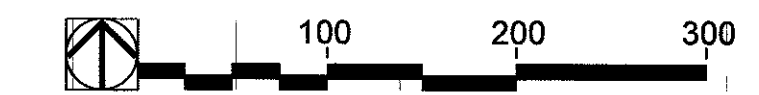
Trees	Plant Name	Size
	Chilopsis linearis	8' Multi-Stem
	Desert Willow	
	Fraxinus pennsylvanica 'Urbanite'	2" Caliper, B&B
	Urbanite Ash	
	Pinus edulis	6' HT.
	Pylon Pine	
	Pistacia chinensis	2" caliper, B&B
	Chinese Pistache	
	Quercus shumardii	2" caliper, B&B
	Shumard Oak	
	Vitex Agnus Castus	6' Multi-Stem
	Vitex	
Large Shrubs		
	Elaeagnus ebbingei silverberry	5 gal.
Medium & Small Shrubs		
	Calamagrostis Acutiflora 'Karl Foerster'	5 gal.
	Feather Reed Grass	
Groundcover		
	Juniperus Sabina	1 gal.
	Buffalo Juniper	
Cacti/Accents		
	Festuca ovina	1 gal.
	Blue Fescue	
	Hesperaloe parviflora	1 gal.
	Red Yucca	
	Nassella tenuissima	1 gal.
	Mexican Feather Grass	
	Yucca elata	5 Gal.
	Sagebrush Yucca	
	Annule (seasonal)	
Inerts		
	3/4" minus Crushed rock, 3" depth over filter fabric	
	Color Grey - See Detail 12, Sheet LA7.1	
	3/4" minus Crushed rock, 3" depth over filter fabric	
	Color Brown - See Detail 12, Sheet LA7.1	
	Concrete Mow Curb, 6" wide	
	Standard Color and smooth Finish	
	Turf - Park Blend seed mix by Gardner Turfgrass, Inc.	23,370 sf
	Application Rate: 4lbs per 1,000sf	
	Boulder - small to medium	per plan
	see detail 7, sheet LA6.1	
	Boulder - larger	per plan
	see detail 7, sheet LA6.1	
	Steel Edging, 1/4"x3" with 15" steel stakes	
	Color: green	

GENERAL NOTES

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER AND HOA.
- LANDSCAPE MATERIAL TO BE WATERED BY AN AUTOMATIC UNDERGROUND DRIP IRRIGATION SYSTEM WITH A REDUCED PRESSURE BACKFLOW PREVENTER PER THE CITY OF ALBUQUERQUE.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER AND HOA.
- THIS PLAN IS TO COMPLY WITH THE CITY OF ALBUQUERQUE LANDSCAPE AND WASTE WATER ORDINANCE 6-1-1. (PLANTING RESTRICTIONS APPROACH).
- LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH, MINIMUM OF 3" DEPTH OVER FILTER FABRIC.
- TREES ARE NOT TO BE PLACED WITHIN THE PUBLIC UTILITY EASEMENTS AND/OR LOCATED 10'-0" FROM EASEMENTS.
- STREET TREES TO CONFORM TO THE STREET TREE ORDINANCE 6-2-2.
- LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS AND ORDINANCE 14-16-3-10.

SUBDIVISION DATA		PLANT RESTRICTIONS APPROACH	
GROSS ACREAGE	84.9311 AC	A MINIMUM OF 80% OF THE PLANT MATERIAL TO BE LOW OR MEDIUM WATER USE PLANTS.	
ZONE ATLAS NO.	N-8-Z	A MAXIMUM OF 20% OF THE PLANT MATERIAL AND LANDSCAPE AREA TO BE HIGH WATER USE TURF	
NO. OF LOTS CREATED	474 LOTS		
NO. OF TRACTS CREATED	44 TRACTS		
RIGHT-OF-WAY AREA DEDICATED TO CITY	2.0 AC		
ZONING	R-D/R-LT		
DATE OF SURVEY	MARCH, 2014		
TOTAL LANDSCAPE AREA	389,758 SF		

date: 04.30.15



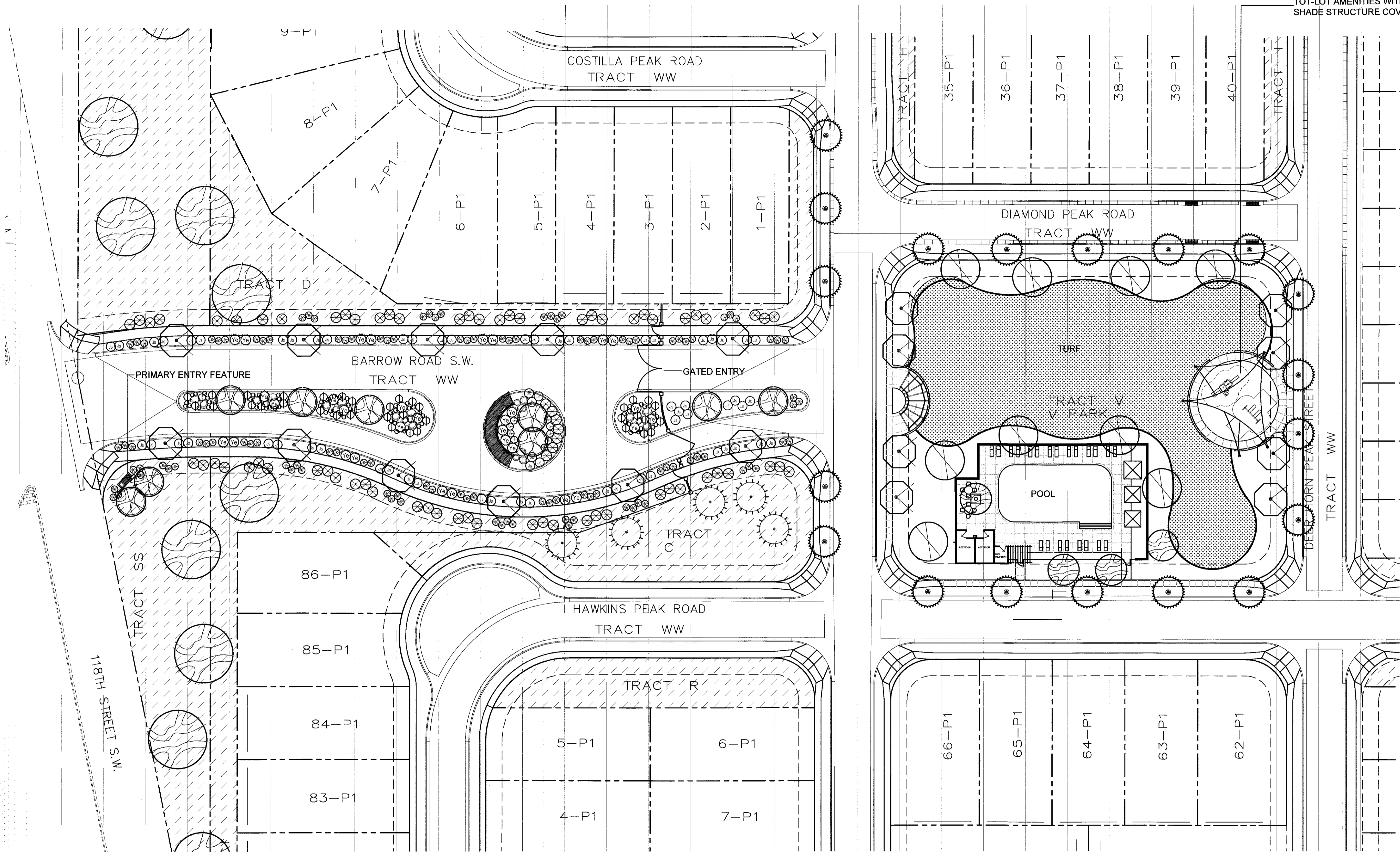
ANDERSON HEIGHTS - UNIT A

SITE DEVELOPMENT PLAN FOR SUBDIVISION

OVERALL LANDSCAPING PLAN

andersonbaron
 plan design achieve
 50 n. mcclintock dr, ste 1
 chandler, arizona 85226
 ph. 480.699.7956 f. 480.699.7986
 SHT. 3 OF 5

TOT-LOT AMENITIES WITH SHADE STRUCTURE COVER



PLANT MATERIALS LEGEND

Trees	Plant Name	Size
	Chilopsis linearis Desert Willow	8' Multi-Stem
	Fraxinus pennsylvanica 'Urbanite' Urbanite Ash	2" Caliper, B&B
	Pinus edulis Pinyon Pine	6' HT.
	Pistacia chinensis Chinese Pistache	2" caliper, B&B
	Quercus shumardii Shumard Oak	2" caliper, B&B
	Vitex Agnus Castus Vitex	6' Multi-Stem
Large Shrubs		
	Elaeagnus ebbingei silverberry	5 gal.
Medium & Small Shrubs		
	Calamagrostis Acutiflora 'Karl Foerster' Feather Reed Grass	5 gal.
Groundcover		
	Juniperus Selina Buffalo Juniper	1 gal.
Cacti/Accents		
	Festuca ovina Blue Fescue	1 gal.
	Hesperaloe parviflora Red Yucca	1 gal.
	Nassella tenuissima Mexican Feather Grass	1 gal.
	Yucca elata Soapstone Yucca	5 Gal.
	Annuals (seasonal)	
Inerts		
	3/4" minus Crushed rock, 3" depth over filter fabric Color Grey - See Detail 12, Sheet LA7.1	
	3/4" minus Crushed rock, 3" depth over filter fabric Color Brown - See Detail 12, Sheet LA7.1	
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GENERAL NOTES

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER AND HOA.

LANDSCAPE MATERIAL TO BE WATERED BY AN AUTOMATIC UNDERGROUND DRIP IRRIGATION SYSTEM WITH A REDUCED PRESSURE BACKFLOW PREVENTER PER THE CITY OF ALBUQUERQUE.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER AND HOA.

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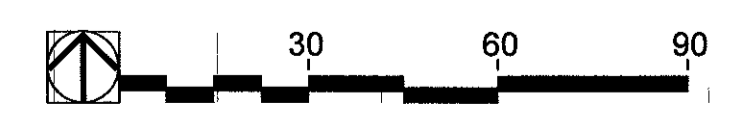
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TREES ARE NOT TO BE PLACED WITHIN THE PUBLIC UTILITY EASEMENTS AND/OR LOCATED 10'-0" FROM EASEMENTS.

STREET TREES TO CONFORM TO THE STREET TREE ORDINANCE 6-2-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS AND ORDINANCE 14-16-3-10.

date: 04.30.15



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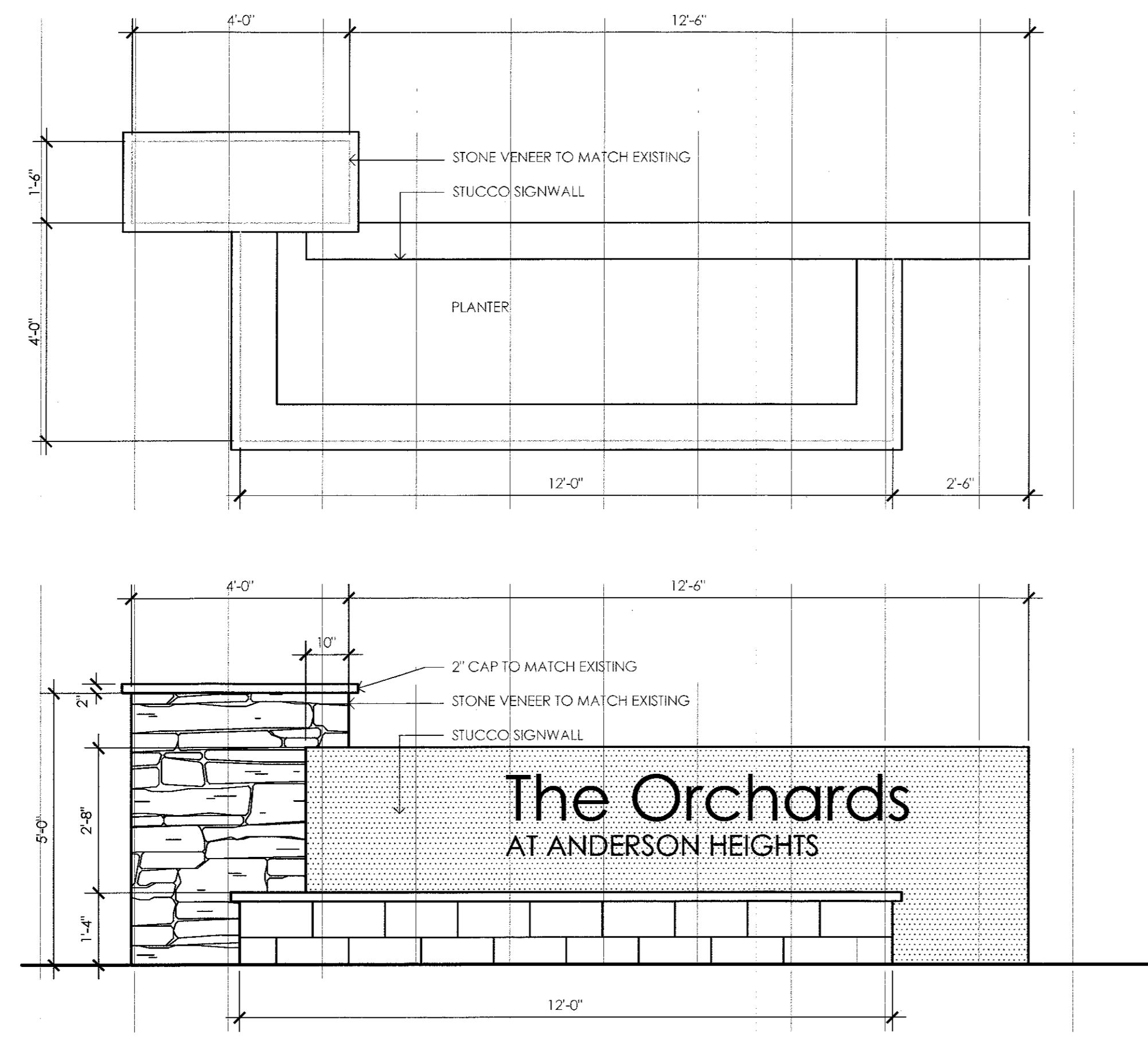


ANDERSON HEIGHTS - UNIT A

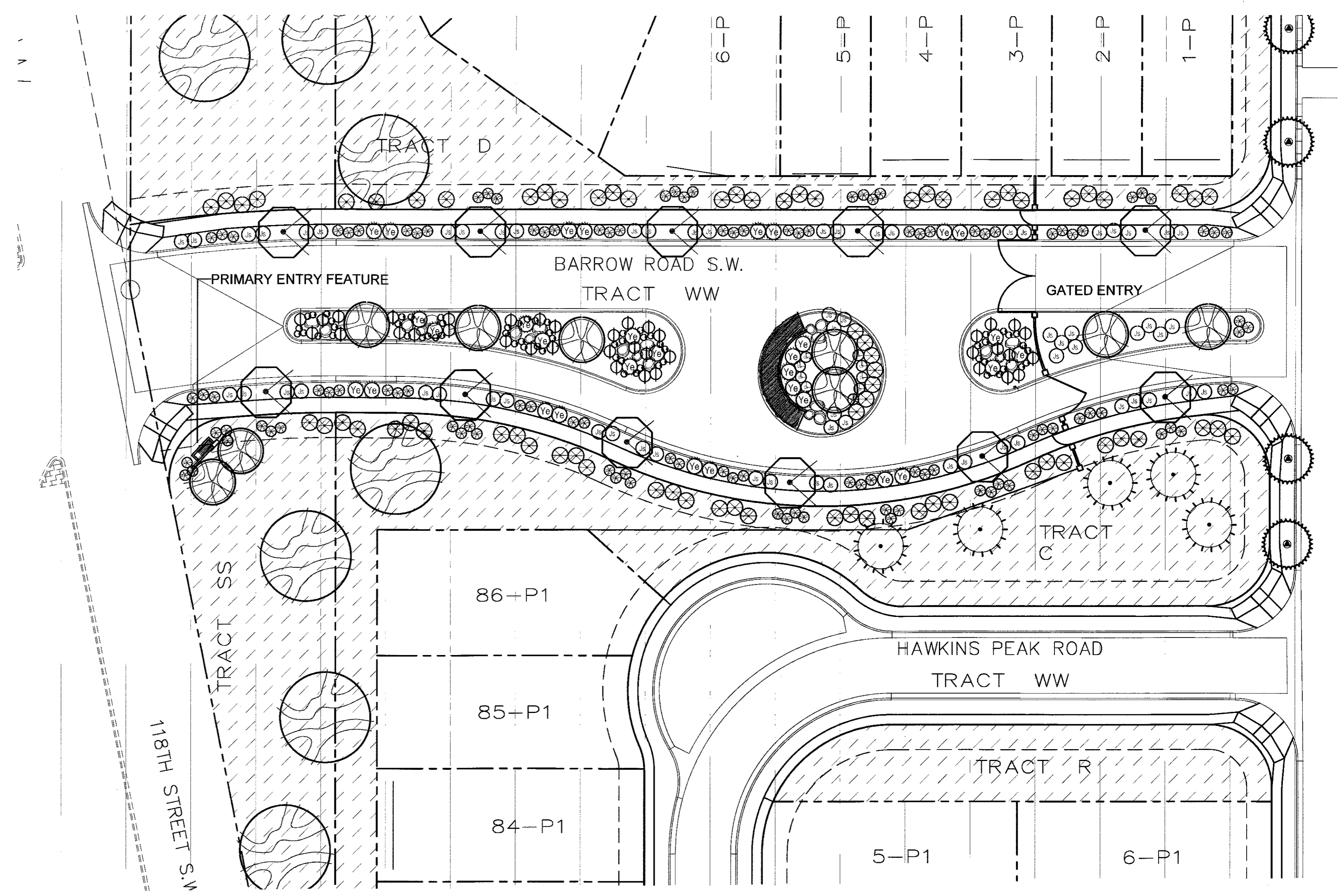
SITE DEVELOPMENT PLAN FOR SUBDIVISION

LANDSCAPING ENLARGEMENT PLAN

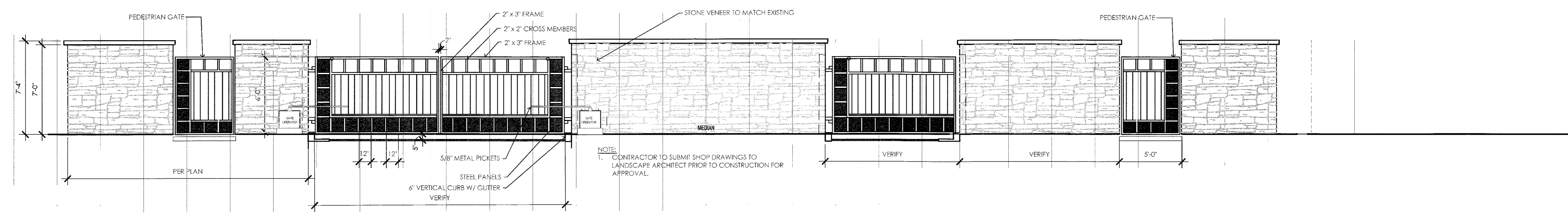
andersonbaron
plan · design · achieve
50 n. mcclintock dr. ste 1
chandler, arizona 85226
ph. 480.699.7956 f.480.699.7986



PRIMARY ENTRY FEATURE
SCALE: 1/2" = 1'-0"



ENTRY PLAN VIEW
SCALE: 1" = 30'-0"



GATED ENTRY ELEVATION
SCALE: 1/4" = 1'-0"

date: 04.30.15



ANDERSON HEIGHTS - UNIT A
SITE DEVELOPMENT PLAN FOR SUBDIVISION