

~~1002776~~

1002776

TAYLOR RANCH SELF STORAGE

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

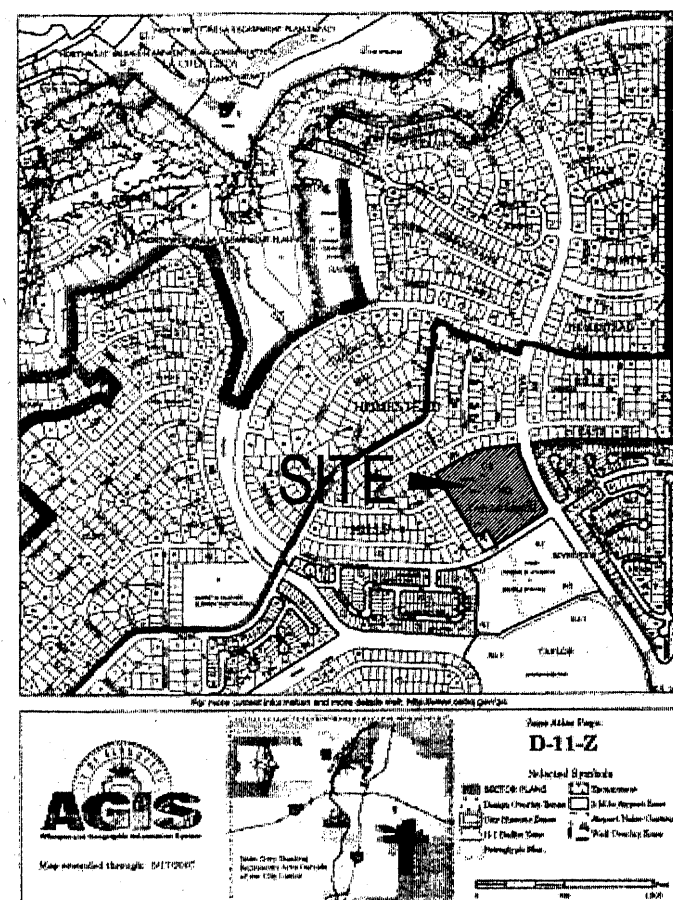
6971 TAYLOR RANCH DR. NW



A R C H I T E C T S

7925 Bosque St. NW, Albuquerque, NM. 87114 Ph. (505) 892-8453 Fax. (505) 896-3438

LOCATION MAP



SHEET INDEX

CVR	COVER SHEET
AS1.1	AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
AS1.2	AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION
L1.1	LANDSCAPE PLAN
C-101	GRADING AND DRAINAGE PLAN - NORTH
C-102	GRADING AND DRAINAGE PLAN - SOUTH
A2.1	RENDERING
A2.2	RETAIL/SERVICE BUILDING 'A' ELEVATIONS
A2.3	RETAIL/SERVICE BUILDING 'B' ELEVATIONS
1	OFFICE/WATCHMAN QUARTERS ELEVATIONS
2	STORAGE BUILDINGS A, B & C ELEVATIONS
A2.4	STORAGE BUILDINGS D, E, F & G ELEVATIONS
	DETAILS
C-103	MASTER UTILITY PLAN
	APPROVED SITE DEVELOPMENT PLAN
	APPROVED SITE DEVELOPMENT PLAN
	APPROVED LANDSCAPE PLAN



DATE:
10-19-07
PROJECT NO.
0621
SHEET NO.

Kevin Juno 10-19-07 CVR

SITE CRITERIA

PROJECT: TAYLOR RANCH STORAGE
 LOCATION: 6971 TAYLOR RANCH DR. NW
 OWNER: DAN RICH
 ARCHITECT: JUNO ARCHITECTS
 LEGAL DESCRIPTION: TRACTS Y-2A-A, Y-2A-B, Y-2A-C, & Y-2A-D, TAYLOR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
 ZONING ATLAS MAP: D-11-Z
 CURRENT ZONING CLASSIFICATION: C-2
 PROPOSED ZONING CLASSIFICATION: C-2 CONDITIONAL USE FOR STORAGE OF HOUSEHOLD GOODS AND A DWELLING UNIT.
 BUILDING TYPE: TYPE II-B, NON-SPRINKL. (STORAGE); TYPE V-B, NON-SPRINKL. (SALES, APARTMENT, RETAIL/SERVICE)
 TOTAL BUILDING AREA:
 EXISTING RETAIL/SERVICE = 34136 SF
 EXISTING DAY-CARE = 5400 SF
 EXISTING FAST FOOD = 2780 SF
 NEW SALES = 1032 SF
 NEW DWELLING = 1642 SF
 GARAGE = 456 SF
 NEW STORAGE = 69086 SF
 NEW RETAIL/SERVICE = 15797 SF
 TOTAL = 130309 SF

TOTAL LOT AREA: 10,115.4 AC.
 TOTAL PARKING AREA:
 PARKING ANALYSIS:
 RETAIL/SERVICE: 49933 SF/200 = 250
 DAY-CARE: 5400 SF/500 + 2 = 13
 FAST FOOD: 1 SP/4 SEATS = 37
 SALES: 1032 SF/200 = 6
 DWELLING: 1 SPACE/BATH = 2
 STORAGE: 69086 SF/2000 = 35
 TOTAL = 343
 15% CREDIT = 51
 TOTAL REQUIRED = 292

ACCESSIBLE PARKING (8 REQUIRED): 12 (PROVIDED)
 MOTORCYCLE PARKING (5 REQUIRED): 6 (PROVIDED)
 TOTAL PARKING PROVIDED: 326

PARKING SPACE SIZES:
 REGULAR 8'-6" X 20'-0" MIN.
 ACCESSIBLE 8'-6" X 20'-0" + 8' ISLE MIN.
 MOTORCYCLE 4' X 8' MIN.
 REQUIRED BICYCLE SPACES: 1 SPACE/20 PARKING SP. = 15
 MAXIMUM NUMBER OF STORAGE UNITS: 530
 MAXIMUM BUILDING HEIGHT: AS ALLOWED BY C-2 ZONING
 MINIMUM BUILDING SETBACK: AS ALLOWED BY C-2 ZONING
 MAXIMUM TOTAL DWELLING UNITS: 1
 MAXIMUM FLOOR AREA RATIO (F.A.R.): .3

LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- PHASE 1
- PHASE 2
- PHASE 3
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT
- FIRE TRUCK TURNING RADIUS
- EXISTING 30' HIGH POLE LIGHT TO REMAIN UNLESS OTHERWISE NOTED
- BUILDING MOUNTED LIGHT FIXTURE (7'-6" A.F.F. TO BOTTOM)
- VEHICLE ACCESS
- 4'x8' MIN. MOTORCYCLE PARKING SPACE W/12" X 16" SIGN. BOTTOM OF SIGN SHALL HAVE ITS LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE.

PROJECT NUMBER: 100 2776
 APPLICATION NUMBER: 07026-70329

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

11-28-07
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

11-14-07
 ALBUQUERQUE/BERNALILLO COUNTY WATER UTILITY AUTHORITY DATE

11/14/07
 PARKS AND RECREATION DEPARTMENT DATE

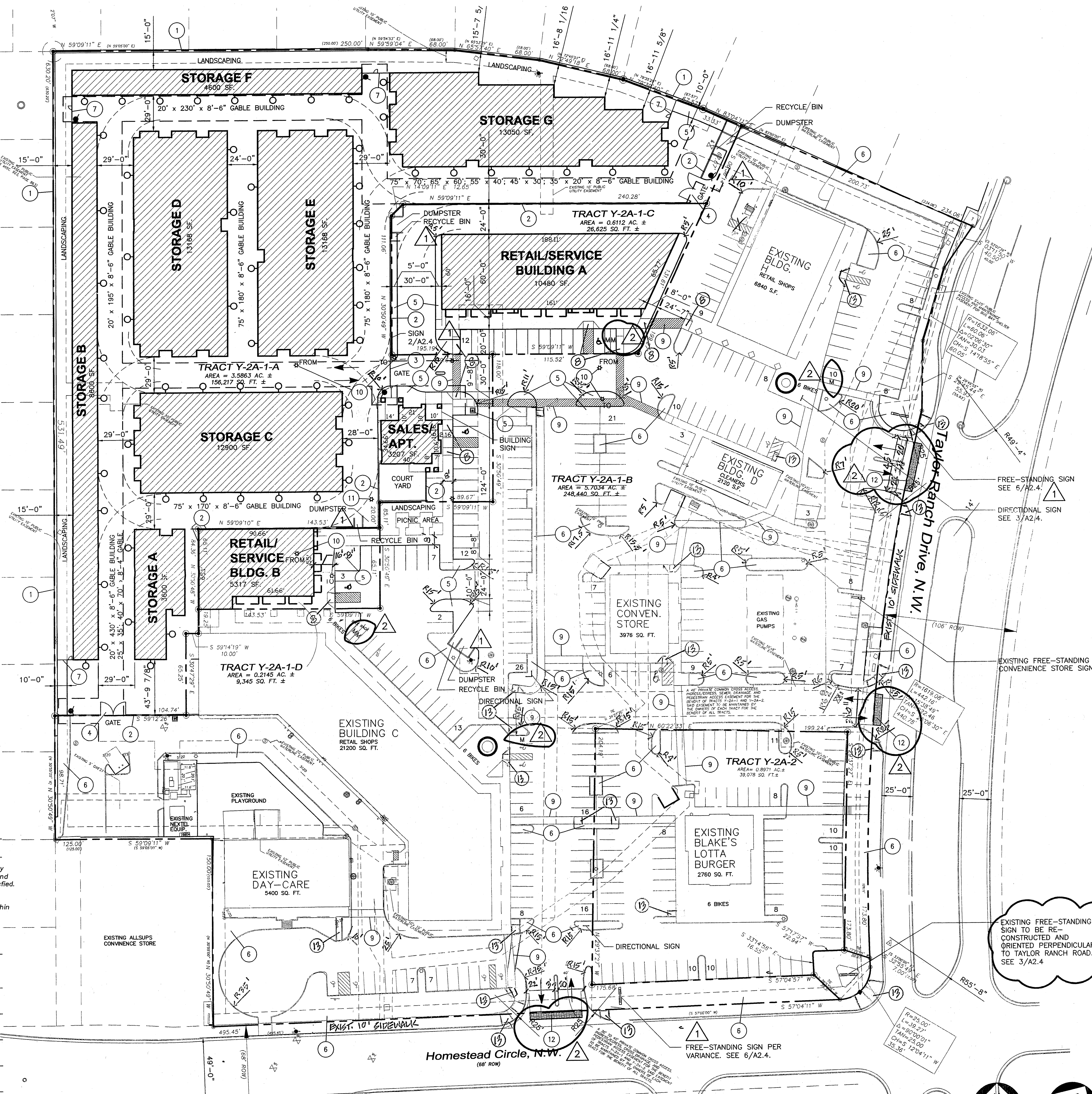
11/14/07
 CITY ENGINEER DATE

N/A
 * ENVIRONMENTAL HEALTH DEPARTMENT (conditional) DATE

11/2/07
 SOLID WASTE MANAGEMENT DATE

11/29/07
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

11-8-07



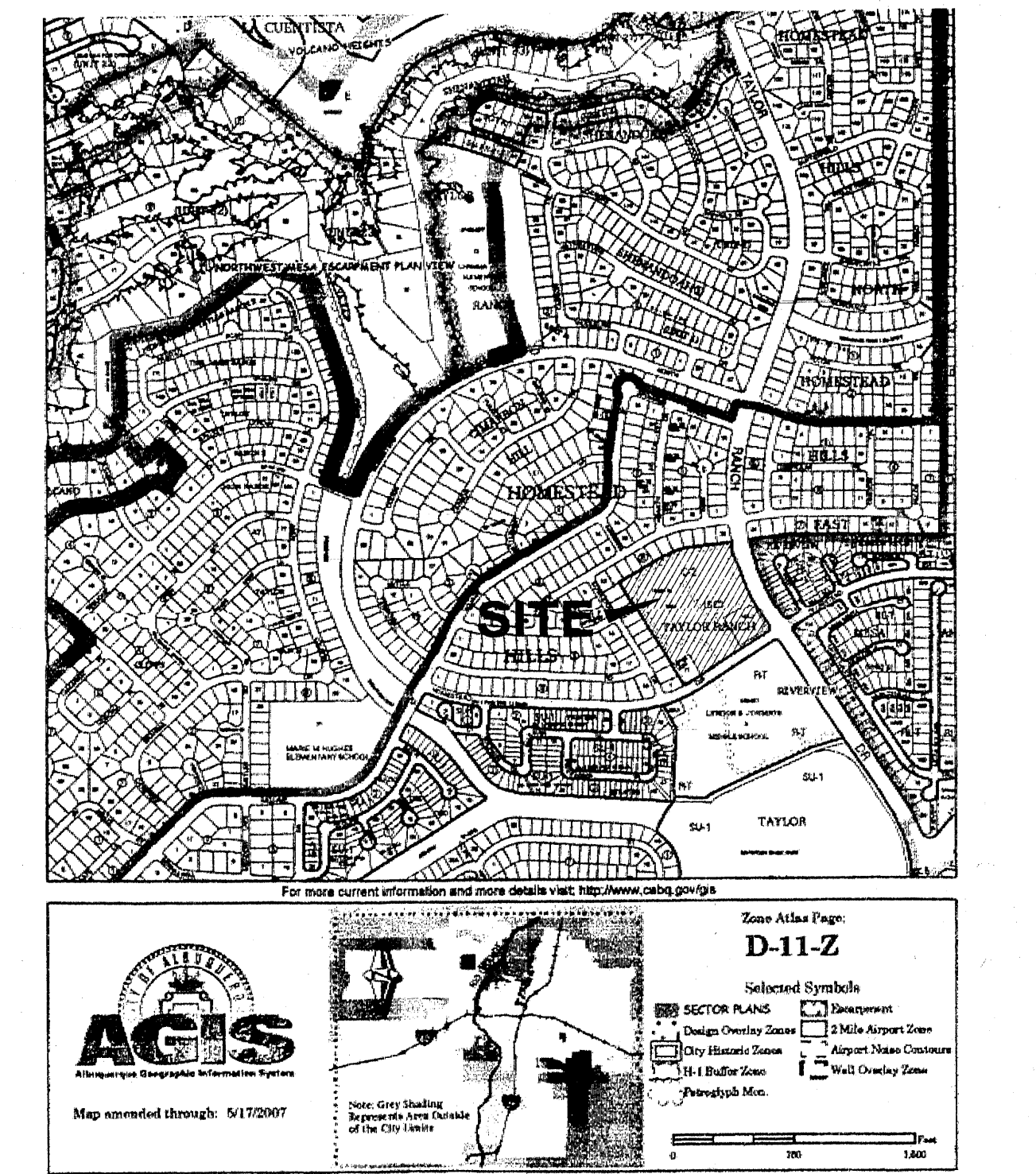
KEYED NOTES

- 1 EXISTING CMU WALL, 8'-0" TO 9'-7" HIGH ON RESIDENTIAL SIDE AND 4'-6" TO 5'-10" HIGH ON COMMERCIAL SIDE.
- 2 8'-10"-6" H. CMU WALL WITH DECORATIVE STUCCO AND BRICK SOLDIER COURSE BANDING AT TOP TO MATCH EXISTING BUILDING WALLS.
- 3 8' H X 16' W AUTOMATIC GATE W/ ADDITIONAL 8' H X 4' W MANUAL GATE (20' TOTAL WIDTH) W/KNOX-BOX FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 4 DOUBLE 8' H X 10' W MANUAL GATES W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 5 LANDSCAPING.
- 6 EXISTING LANDSCAPING.
- 7 6' HIGH CHAINLINK FENCE & GATE W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 8 ASPHALT DRIVE MIN. RAMP W/1% MAX. SLOPE & 1:10 MAX. FRAISED SIDES WHERE SHOWN.
- 9 6' WIDE PEDESTRIAN WALKWAY W/PRE-FORMED THERMOPLASTIC OR SIMILAR TYPE MATERIAL.
- 10 EXISTING POLE MOUNTED FIXTURE SHALL BE RELOCATED. EXISTING LIGHT FIXTURE LENS WILL BE REPLACED TO A FLAT LENS.
- 11 EXISTING POLE MOUNTED FIXTURE SHALL BE REMOVED.
- 12 8' WIDE PEDESTRIAN PATHWAY OF TEXTURED, COLORED CONCRETE ACROSS VEHICLE ENTRANCES ON TAYLOR RANCH ROAD AND HOMESTEAD CIRCLE. EXISTING 30" WIDE MIN. RAMP W/1% MAX. SLOPE & 1:10 MAX. FRAISED SIDES (1:12 MAX. WHERE TOP BANDING IS LESS THAN 48" W) WHERE SHOWN.

GENERAL NOTES

- 1 MANAGER'S APARTMENT IS LOCATED ABOVE THE SALES OFFICE AND SHALL BE A 2-BEDROOM UNIT. MANAGER SHALL PROVIDE 24 HOUR SECURITY 7 DAYS PER WEEK. UNUSABLE OPEN SPACE SHALL BE PROVIDED IN THE COURTYARD ADJACENT TO THE UNIT.

VICINITY MAP



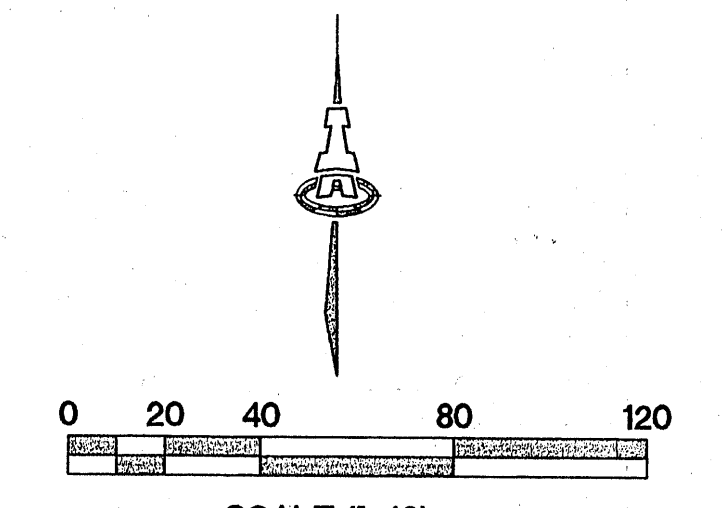
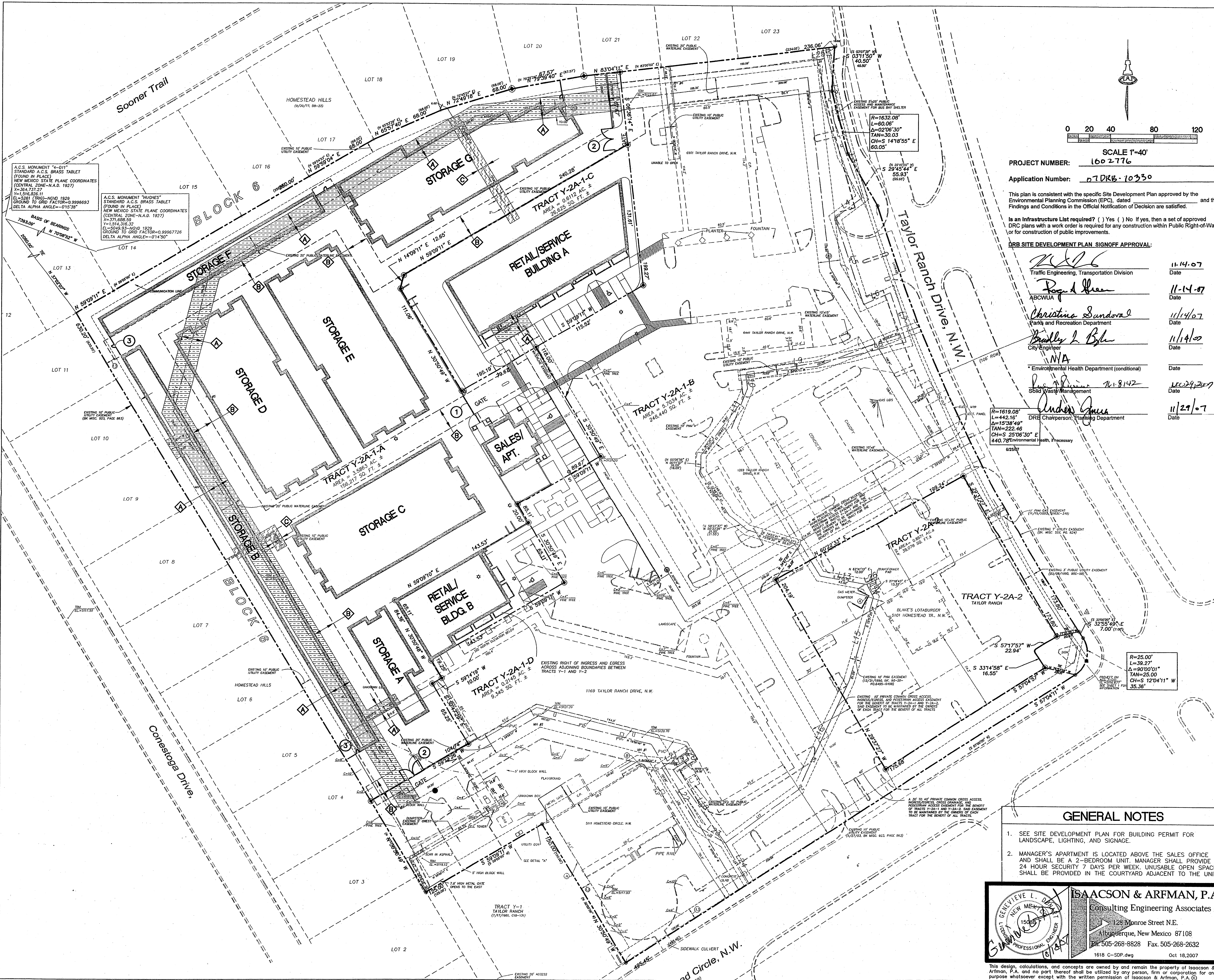
JUNO ARCHITECTS
 7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)896-3438

PROJECT: TAYLOR RANCH SELF STORAGE
 SHEET TITLE: AMENDED SITE DEVELOPMENT PLAN

NO. REVISION DATE
 1 REVISIONS FOR EPC 9-7-07
 2 EPC CONDITIONS 10-15-07

ARCHITECT STAMP CONSULTANT STAMP DATE: 10-19-07
 PROJECT NO. 0621
 SHEET NO. AS1.1

10-19-07



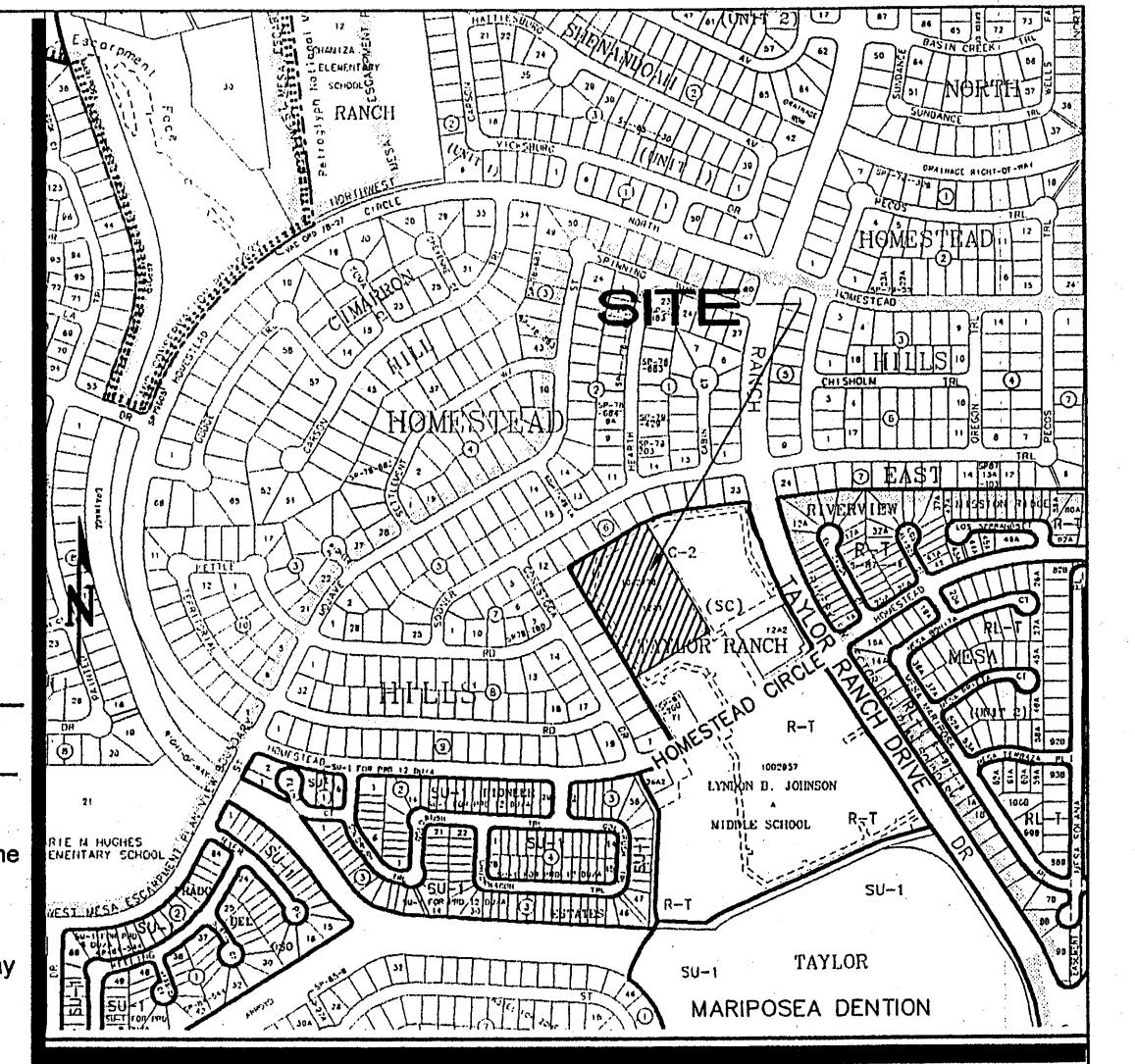
PROJECT NUMBER: 1602776
 Application Number: 07026-10330

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature] 11/14/07
 Traffic Engineering, Transportation Division
 Date
[Signature] 11/14/07
 ABCWUA
 Date
[Signature] 11/14/07
 Parks and Recreation Department
 Date
[Signature] 11/14/07
 City Engineer
 Date
 * Environmental Health Department (conditional)
 Date
[Signature] 11/29/07
 Solid Waste Management
 Date
[Signature] 11/29/07
 DRE Chairperson, Planning Department
 Date
[Signature] 11/29/07
 Environmental Health, Preprocessor
 Date



D-11 VICINITY MAP 1"=750'

SITE INFORMATION

PROJECT: TAYLOR RANCH STORAGE
 LOCATION: 6971 TAYLOR RANCH DR. NW
 OWNER: DAN RICH
 ARCHITECT: JUNO ARCHITECTS
 LEGAL DESCRIPTION: TRACTS Y-2A-A, Y-2A-B, Y-2A-C, & Y-2A-D, TAYLOR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
 ZONING ATLAS MAP: D-11-Z
 CURRENT ZONING CLASSIFICATION: C-2
 PROPOSED ZONING CLASSIFICATION: C-2 CONDITIONAL USE FOR STORAGE OF HOUSEHOLD GOODS AND A DWELLING UNIT.
 BUILDING TYPE: TYPE II-B, NON-SPRINKL. (STORAGE); TYPE V-B, NON-SPRINKL. (SALES, APARTMENT, RETAIL/SERVICE)
 TOTAL BUILDING AREA:
 EXISTING RETAIL/SERVICE = 34136 SF
 EXISTING DAY-CARE = 5400 SF
 EXISTING FAST FOOD = 2760 SF
 NEW SALES = 1032 SF
 NEW DWELLING = 1642 SF
 GARAGE = 458 SF
 NEW STORAGE = 69086 SF
 NEW RETAIL/SERVICE = 15797 SF
 TOTAL = 130309 SF
 TOTAL LOT AREA: 10,1154 AC.
 TOTAL PARKING AREA:
 PARKING ANALYSIS:
 RETAIL/SERVICE: 49933 SF/200 = 250
 DAY-CARE: 5400 SF/500 + 2 = 13
 FAST FOOD: 1 SP/4 SEATS = 37
 SALES: 1032 SF/200 = 6
 DWELLING: 1 SPACE/BATH = 2
 STORAGE: 69086 SF/2000 = 35
 TOTAL = 343
 15% CREDIT = 51
 TOTAL REQUIRED = 292
 ACCESSIBLE PARKING (5 REQUIRED): 12 (PROVIDED)
 MOTORCYCLE PARKING (5 REQUIRED): 6 (PROVIDED)
 TOTAL PARKING PROVIDED = 326
 PARKING SPACE SIZES:
 REGULAR: 8'-6" X 20'-0" MIN.
 ACCESSIBLE: 8'-6" X 20'-0" + 8' ISLE MIN.
 MOTORCYCLE: 4' X 8' MIN.
 REQUIRED BICYCLE SPACES: 1 SPACE/20 PARKING SP. = 15
 MAXIMUM NUMBER OF STORAGE UNITS: 530
 MAXIMUM BUILDING HEIGHT: AS ALLOWED BY C-2 ZONING
 MINIMUM BUILDING SETBACK: AS ALLOWED BY C-2 ZONING
 MAXIMUM TOTAL DWELLING UNITS: 1
 MAXIMUM FLOOR AREA RATIO (F.A.R.): .3

EASEMENT NOTES

- EXISTING 20' PUBLIC WATERLINE EASEMENT TO BE VACATED BY FINAL PLAT.
- PROPOSED 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED BY FINAL PLAT.
- EXISTING 10' P.U.E. TO BE VACATED BY FINAL PLAT.
- PROPOSED BLANKET EASEMENTS COVERING TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, AND Y-2A-1-D FOR PRIVATE CROSS-LOT ACCESS, AND DRAINAGE GRANTED TO THE OWNER BY FINAL PLAT.
- PROPOSED BLANKET EASEMENTS COVERING TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, AND Y-2A-1-D FOR PRIVATE SANITARY SEWER AND IRRIGATION GRANTED TO THE OWNER BY FINAL PLAT.

KEYED NOTES

- 8' H X 16' W AUTOMATIC GATE W/ ADDITIONAL 8' H X 4' W MANUAL GATE (20' TOTAL WIDTH) W/KNOX-BOX FOR FIRE DEPARTMENT EMERGENCY ENTRY. MAIN VEHICULAR ACCESS.
- DOUBLE 8' H X 10' W MANUAL GATES W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY. SECONDARY VEHICULAR ACCESS.
- 6' HIGH CHAINLINK FENCE & GATE W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY. PEDESTRIAN ACCESS.

GENERAL NOTES

- SEE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR LANDSCAPE, LIGHTING, AND SIGNAGE.
- MANAGER'S APARTMENT IS LOCATED ABOVE THE SALES OFFICE AND SHALL BE A 2-BEDROOM UNIT. MANAGER SHALL PROVIDE 24 HOUR SECURITY 7 DAYS PER WEEK. UNUSABLE OPEN SPACE SHALL BE PROVIDED IN THE COURTYARD ADJACENT TO THE UNIT.

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 129 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 PH: 505-268-8828 Fax: 505-268-2632
 1618 C-SDP.dwg Oct 18, 2007

TAYLOR RANCH STORAGE

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

Date:	No.:	Revision:	Date:	Job No.:
08-01-07				1618
Drawn By:	GLD			AS 12
Ckd By:	GLD			

M:\ACTIVE\CAD FILES\JOB 1600-1699\1618\dwg\1618 C-SDP.dwg, 10/18/2007 2:32:32 PM, C:\24636 ROLL.pcd

LANDSCAPE NOTES:

- /// LAWN AREA TO BE WATERED BY PERMANENT UNDERGROUND SPRINKLER SYSTEM CONTROLLED BY AN AUTOMATIC TIMER.
- /// SHRUBS SHALL BE WATERED BY A DRIP IRRIGATION SYSTEM.
- /// TREES NOT IN LAWN AREAS SHALL BE WATERED BY BUBBLERS OR AUTOMATIC TIERS.
- /// STEEL EDGING SHALL SEPARATE LAWN AND GRAVEL BEDS.
- /// FILTER FABRIC UNDER GRAVEL AREAS.
- /// LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE, PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

IRRIGATION NOTES:

TREES TO RECEIVE (5) 1/2 GPM DRIP EMITTERS
SHRUBS TO RECEIVE (1) 1/2 GPM DRIP EMITTERS
DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.

IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

LANDSCAPE CALCULATIONS

STREET SCAPE LANDSCAPE	20,240	SQ. FT.
BUFFER LANDSCAPE	11,715	SQ. FT.
PARKING AREA LANDSCAPE	10,471	SQ. FT.
TOTAL LANDSCAPE	56,486	SQ. FT.
TOTAL LOT AREA (11.04 ACRES)	480,202	SQ. FT.
TOTAL BUILDING AREAS	90,796	SQ. FT.
SCREENED AREA BEHIND BLDGS. A, B & C (PARKING LOT, BUT NOT REQUIRED)	80,591	SQ. FT.
PLAYGROUND AT DAY CARE	6,830	SQ. FT.
NET LOT AREA	302,518	SQ. FT.
COVERED AND OPEN CONCRETE WALKS	41,883	SQ. FT.
ASPHALT PAVED AREAS (INCLUDES DUMPSTERS)	284,207	SQ. FT.
LANDSCAPE REQUIREMENT (15%)	45,381	SQ. FT.
TOTAL LANDSCAPE PROPOSED	60,880	SQ. FT.

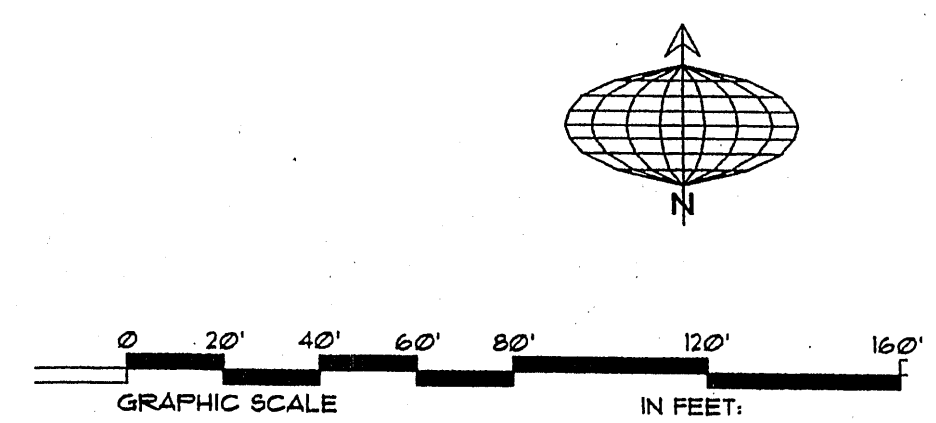
LANDSCAPING LEGEND

NOTE: ALL TREES SHALL BE MINIMUM OF 8'-0" HIGH AT TIME OF PLANTING.

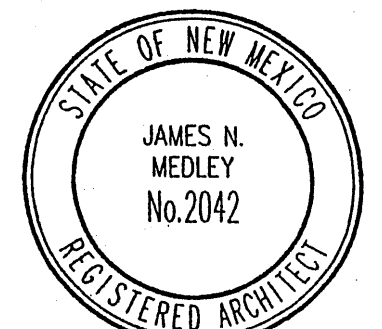
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USAGE	NEW/EXISTING
	CHILOPSIS LINEARIS	DESERT WILLOW	2" CALIPER	LOW WATER	NEW
	CUPRESSUS ARIZONICA	ARIZONA CYPRESS	2" CALIPER	MEDIUM WATER	NEW
	FRAXINUS AMERICANA "ROSEHILL"	ROSEHILL ASH	2" CALIPER	HIGH WATER	EXISTING
	FRAXINUS PENNSYLVANICA "MARSHALL"	MARSHALL ASH	2" CALIPER	HIGH WATER	EXISTING
	PRUNUS CERASTIFERA	FLOWERING PLUM	2" CALIPER	HIGH WATER	EXISTING
	PINUS NIGRA	AUSTRIAN PINE	2" CALIPER	HIGH WATER	EXISTING
	JUNIPERUS SABINA "BROADMOOR"	BROADMOOR JUNIPER	5 GAL.	MEDIUM WATER	EXISTING
	LONICERA JAPONICA "HALLIANA"	HONEYSUCKLE	1 GAL.	MEDIUM WATER	EXISTING & NEW
	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	1 GAL.	MEDIUM WATER	EXISTING & NEW
	B. THUNBERII "ATROPURPUREA"	REDLEAF BARBERRY	2" CALIPER	MEDIUM WATER	NEW



20,240 * TOTAL LANDSCAPE AND BETWEEN PARKING AND PROPERTY LINE.



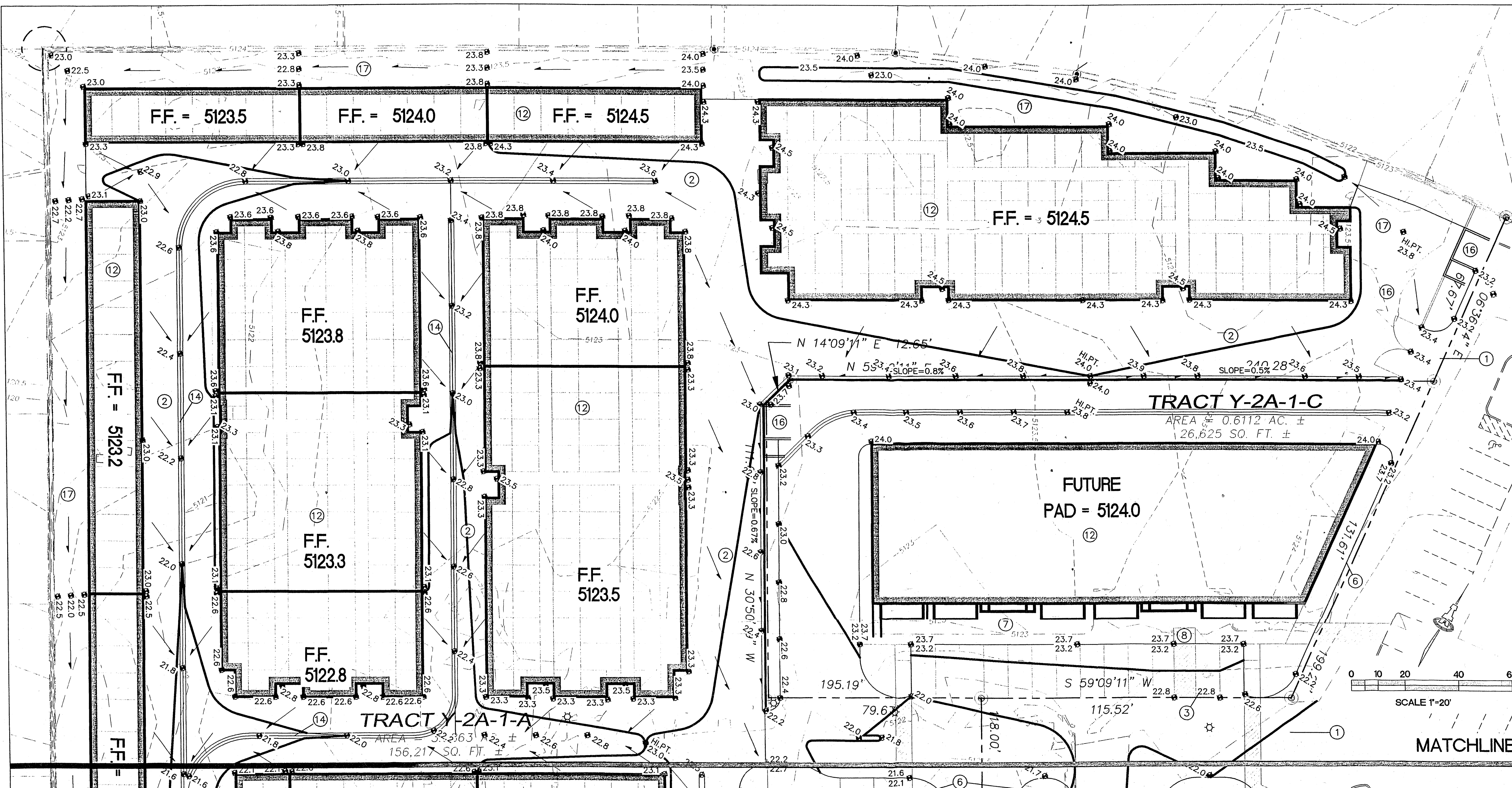
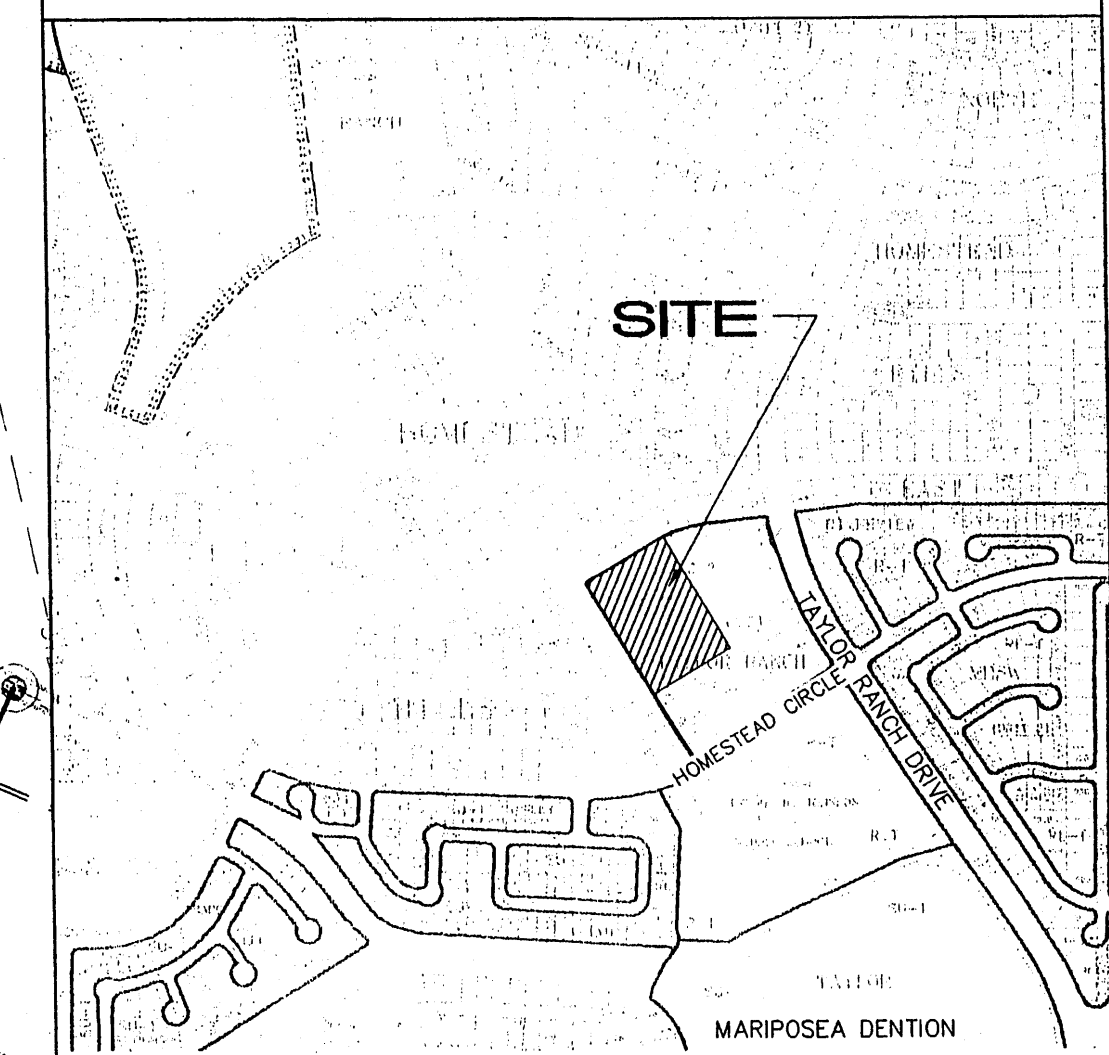
LANDSCAPING PLAN



OCTOBER 28, 1998

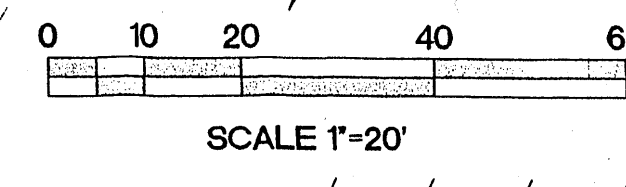
project: **HOMESTEAD HILLS SHOPPING CENTER**
 ALBUQUERQUE, NM
 TAYLOR RANCH
 sheet description: **REVISED LANDSCAPE PLAN**
 date: OCT '98
 architect: **JIM MEDLEY, Architect**
 N.A.A.B. Certificate No. 36,895
 3100 Christine N. E. Albuquerque, NM 87111
 Phone (505) 292-3514
 project no: **9846**
 sheet of

V:\lake-s\9846\Revised\New-Landscape.dwg Prepared using computer with AutoCAD R14 by JDM

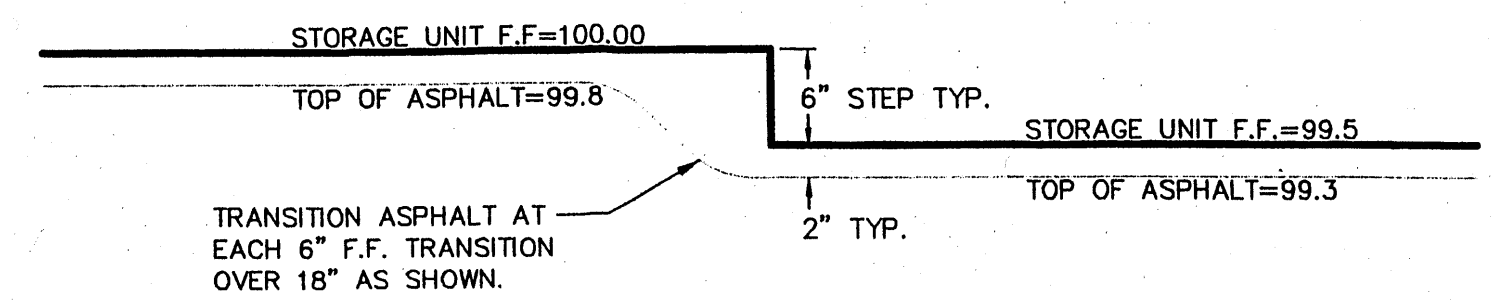


KEYED NOTES

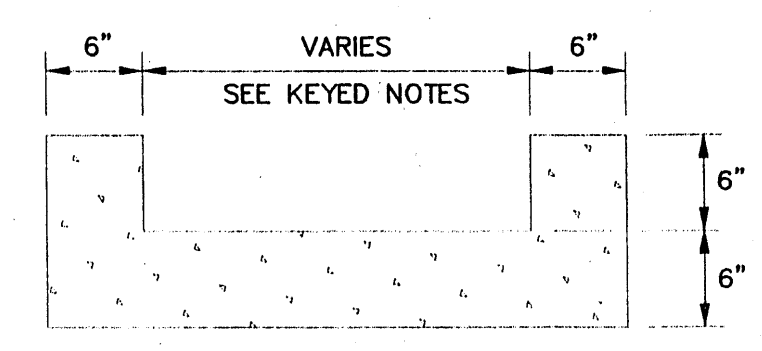
- SAWCUT EXISTING ASPHALT (SEE DEMOLITION PLAN FOR EXTENTS) TO PROVIDE SMOOTH BONDING EDGE. CONSTRUCT NEW ASPHALT PAVING TO ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION TO EXISTING WHILE MAINTAINING POSITIVE DRAINAGE.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA. PROVIDE SMOOTH TRANSITION WITHIN ASPHALT PAVING FROM FLUSH WITH WALK TO 6" MEDIAN CURB AND GUTTER OVER 2' EACH SIDE.
- PROVIDE SWALE WITHIN NEW ASPHALT AT FLOWLINE ELEVATIONS SHOWN TO DIRECT DISCHARGE (MIN. 1% SLOPE).
- CONSTRUCT MEDIAN CURB AND GUTTER AT ALL CURB LOCATIONS UNLESS NOTED OTHERWISE. SEE DETAIL THIS SHEET.
- CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE ARCHITECTURAL.
- CONSTRUCT 6" DEPRESSED LANDSCAPED BASIN TO ACCEPT SITE DRAINAGE. FLOW IN EXCESS OF LANDSCAPE BASIN CAPACITY WILL PASS BACK TO PAVEMENT TO CONTINUE ALONG PROPOSED DRAINAGE PATH.
- PROVIDE 2' WIDE X 6" HIGH OPENING IN PERIMETER WALL AT FLOWLINE ELEVATION. CONSTRUCT 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH LANDSCAPED AREA TO PASS FLOW. MIN. SLOPE = 1%.
- EXTEND NEW ALLEY GUTTER TO EXISTING PAVEMENT LOW POINT. PROVIDE THREE TURNED BLOCKS (EQUIVALENT TO 3' WIDE X 6" HIGH OPENING) IN PERIMETER WALL AT FLOWLINE.
- ALL BUILDING ROOF DISCHARGE TO BE RELEASED DIRECTLY TO INTERIOR PAVEMENT. NO DRAINAGE WILL BE PASSED TO PERIMETER LANDSCAPING.
- EXISTING COVERED SIDEWALK CULVERTS DRAIN ALL SITE FLOW TO HOMESTEAD CIRCLE, N.W. SEE PHOTO EXHIBIT. (INFO. ONLY)
- CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN AT ALL FLOWLINES < 1% SLOPE. SEE DETAIL THIS SHEET.
- PROVIDE 1' OPENING (BOTTOM WIDTH) IN CURB TO PASS FLOW TO LANDSCAPED BASIN. EXCESS FLOW WILL SPILL OVER TOP OF CURB ON LOW SIDE. FILLET EDGES.
- CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
- GRADES SHOWN WITHIN LANDSCAPED AREAS ARE FOR GENERAL GRADING INFORMATION TO INDICATE DRAINAGE DIRECTION. PROVIDE POSITIVE GRADING AWAY FROM BUILDING AND PERIMETER WALLS. SEE LANDSCAPE PLAN FOR ADDITIONAL LANDSCAPE INFORMATION.



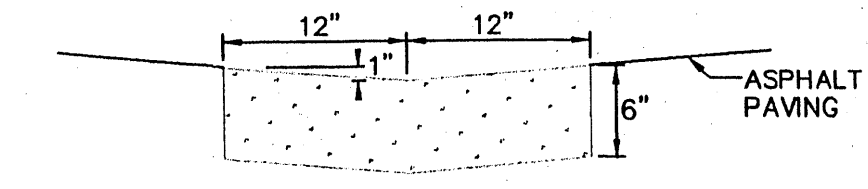
MATCHLINE



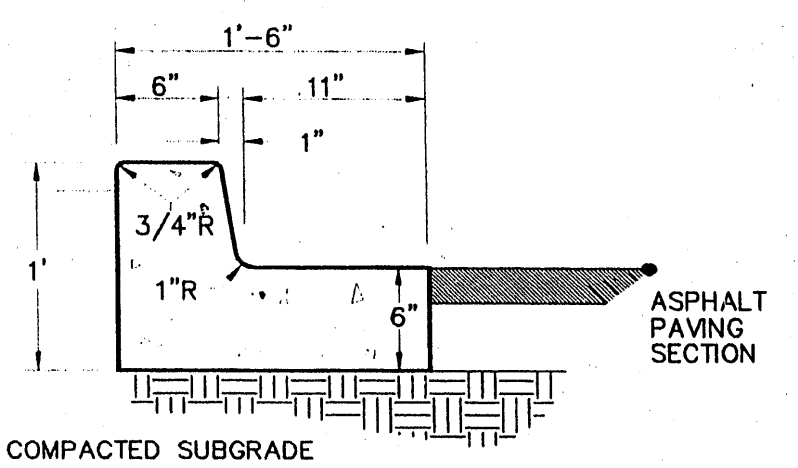
ASPHALT TRANSITION AT BLDG. STEPS



- GENERAL NOTES
- PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX.
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

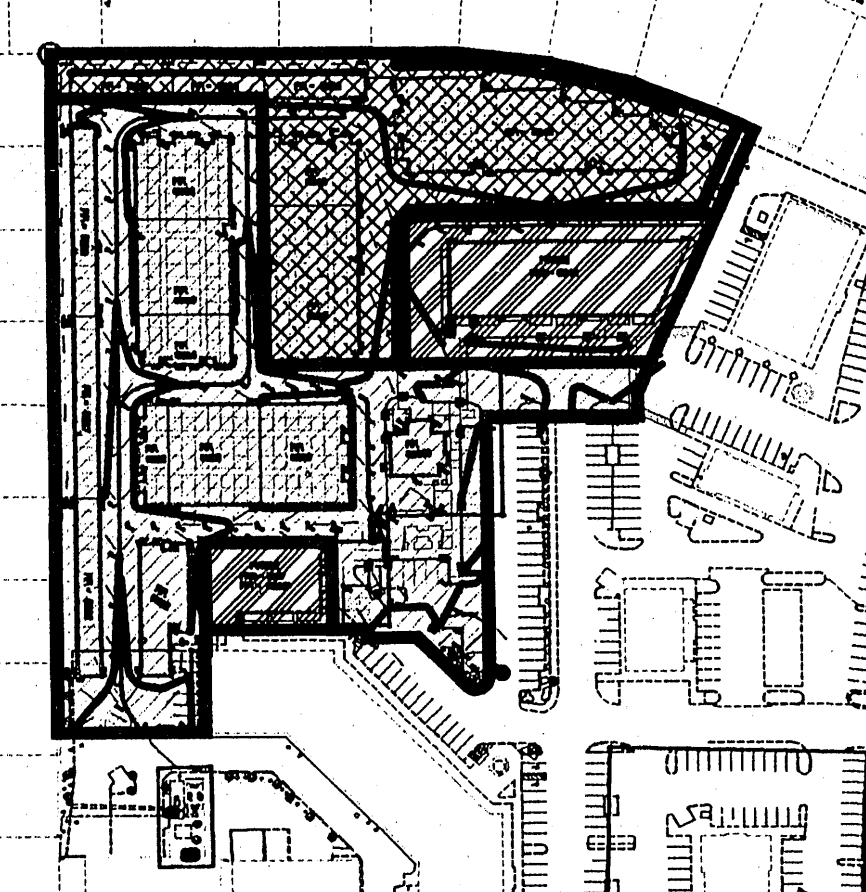


- GENERAL NOTES
- PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX.
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL



- GENERAL NOTES
- PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL
 - MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

PHASING DIAGRAM



- PHASE 1
- PHASE 2
- PHASE 3

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5123.3 FINISH FLOOR ELEVATION
- FL FLOWLINE ELEVATION

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 123 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 PH: 505-268-8828 Fax: 505-268-2632
 1618 C-101.dwg Oct 18, 2007

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

TAYLOR RANCH SELF STORAGE

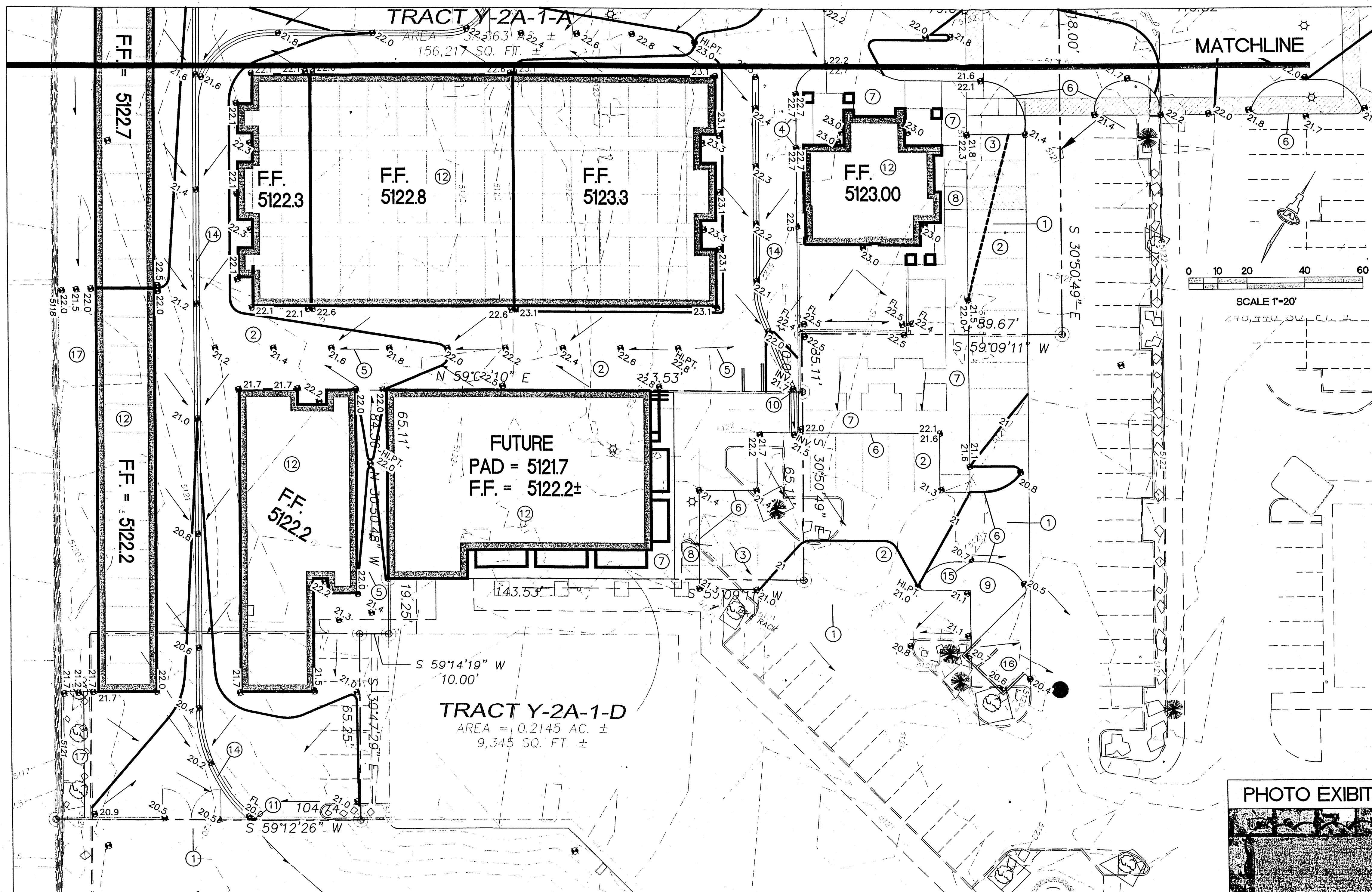
GRADING AND DRAINAGE PLAN - NORTH

Date:	No.	Revision	Date	Job No.
10-17-07				1618
Drawn By:				C-101
BUB				
Ckd By:				
GLD				

'U' SHAPED CONC. CHANNEL

CONCRETE ALLEY GUTTER

MEDIAN CURB AND GUTTER



LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5123.3 FINISH FLOOR ELEVATION
- FL FLOWLINE ELEVATION

PROJECT DATA

EXISTING: THE SITE IS AN UNDEVELOPED PORTION OF A COMMERCIAL PROPERTY WITHIN C.O.A. VICINITY MAP D-11. THE SITE IS BOUND TO THE EAST BY TAYLOR RANCH DR. NW, TO THE SOUTH BY HOMESTEAD CIRCLE, NW, AND TO THE NORTH AND EAST BY DEVELOPED RESIDENTIAL.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE SELF-STORAGE BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, LANDSCAPING AND MANAGERS RESIDENCE. TWO ADDITIONAL COMMERCIAL PADS WILL BE GRADED AS PART OF THIS PHASE OF CONSTRUCTION.

LEGAL: LOT Y2A1, TAYLOR RANCH, ALBUQUERQUE, NM
ADDRESS: 5105 HOMESTEAD CIRCLE S.W.

BENCHMARK: ELEVATION DATUM IS BASED ON NGVD 1929 FROM ACS MONUMENT "7-D11", ELEVATION (FEET) = 5116.66.
DESCRIBED AS: ACS 1 3/4" ALUMINUM DISK, STAMPED "ACS BM, 7-D11", 3-RD ORDER, EPOXY TO TOP OF CONCRETE BASE OF TRAFFIC LIGHT STANCHION, NORTHWESTERLY QUADRANT OF TAYLOR RANCH RD. AND HOMESTEAD CIR. (SOUTHERLY PORTION), NW, ON THE WESTERLY CORNER OF SAID CONCRETE BASE.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #112, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

KEYED NOTES

SEE SHEET C-101 FOR ALL GRADING AND DRAINAGE PLAN KEYED NOTES

GENERAL NOTES

- A. COORDINATE WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- B. SEE SITE DEMOLITION PLAN FOR ALL SITE DEMOLITION INFORMATION.
- C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- D. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
- E. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING / PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS '+', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- F. WATER SHALL NOT POND ON PAVED AREAS. WHERE NEW/EXIST. GRADES ARE SHOWN AS 'MATCH', TRANSITION SHALL BE SMOOTH AND LEVEL.
- G. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- H. SWPPP REQUIREMENTS: BECAUSE THIS SITE DEVELOPMENT DISTURBS MORE THAN 1 ACRE OF LAND IN BERNALILLO COUNTY, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) INCLUDING A COPY OF THE NOI SUBMITTED TO EPA, MUST BE SUBMITTED TO BERNALILLO COUNTY FOR ACCEPTANCE PRIOR TO ISSUANCE OF A GRADING OR PAVING PERMIT.



CALCULATIONS

THE PROPOSED IMPROVEMENTS INCREASE THE DISCHARGE FROM THE ENTIRE PROPERTY (LOT Y2A1) FROM 35.2 CFS TO 45.1 CFS FOR THE 100-YEAR, 6-HOUR STORM EVENT.

THE PROPOSED ON-SITE IMPROVEMENTS WILL SURFACE DRAIN TO THE SURROUNDING EXISTING PAVEMENT TO FOLLOW THE HISTORIC ON-SITE DISCHARGE PATHS TO THE PAVED CUL-DE-SAC AT THE SOUTHWEST CORNER OF THE PROPERTY.

PER THE APPROVED OVERALL GRADING PLAN FOR THE HOMESTEAD HILLS SHOPPING CENTER, THE FULLY DEVELOPED SITE IS PERMITTED FREE DISCHARGE TO HOMESTEAD CIRCLE, N.W. VIA FOUR 24" WIDE SIDEWALK CULVERTS CONSTRUCTED AS PART OF C.O.A. PROJECT 26-4091.90-91. FLOW WILL CONTINUE ALONG THE HISTORIC ROUTE ACROSS HOMESTEAD CIRCLE TO AN EXISTING DRAINAGE RUNDOWN TO THE MARIPOSA DETENTION FACILITY (A.M.A.F.C.A.). NO DISCHARGE WILL BE DIRECTED TO TAYLOR RANCH DR. S.W.

PER THE CONCEPTUAL GRADING AND DRAINAGE PLAN AT LEFT, THE STORAGE FACILITY WILL SPLIT DISCHARGE WITH APPROX. 50% EACH TO THE EAST AND SOUTH TO AVOID OVERTAXING A SINGLE ROUTE.

CALCULATIONS: 1618 - TAYLOR RANCH SELF-STORAGE : July 26, 2007
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE	
AREA: TOTAL SITE (LOT Y2A1):	440627 SF = 10.1 Ac.

HISTORIC FLOWS:	DEVELOPED FLOWS:	EXCESS PRECIP:
On-Site Historic Land Condition	On-Site Developed Land Condition	Precip. Zone
Area a = 0 SF	Area a = 0 SF	Ea = 0.44
Area b = 154219 SF	Area b = 22031 SF	Eb = 0.67
Area c = 22031 SF	Area c = 44063 SF	Ec = 0.99
Area d = 264376 SF	Area d = 374533 SF	Ed = 1.97
Total Area = 440627 SF	Total Area = 440627 SF	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
Weighted E = $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$

Historic E = 1.47 in.	Developed E = 1.81 in.
-----------------------	------------------------

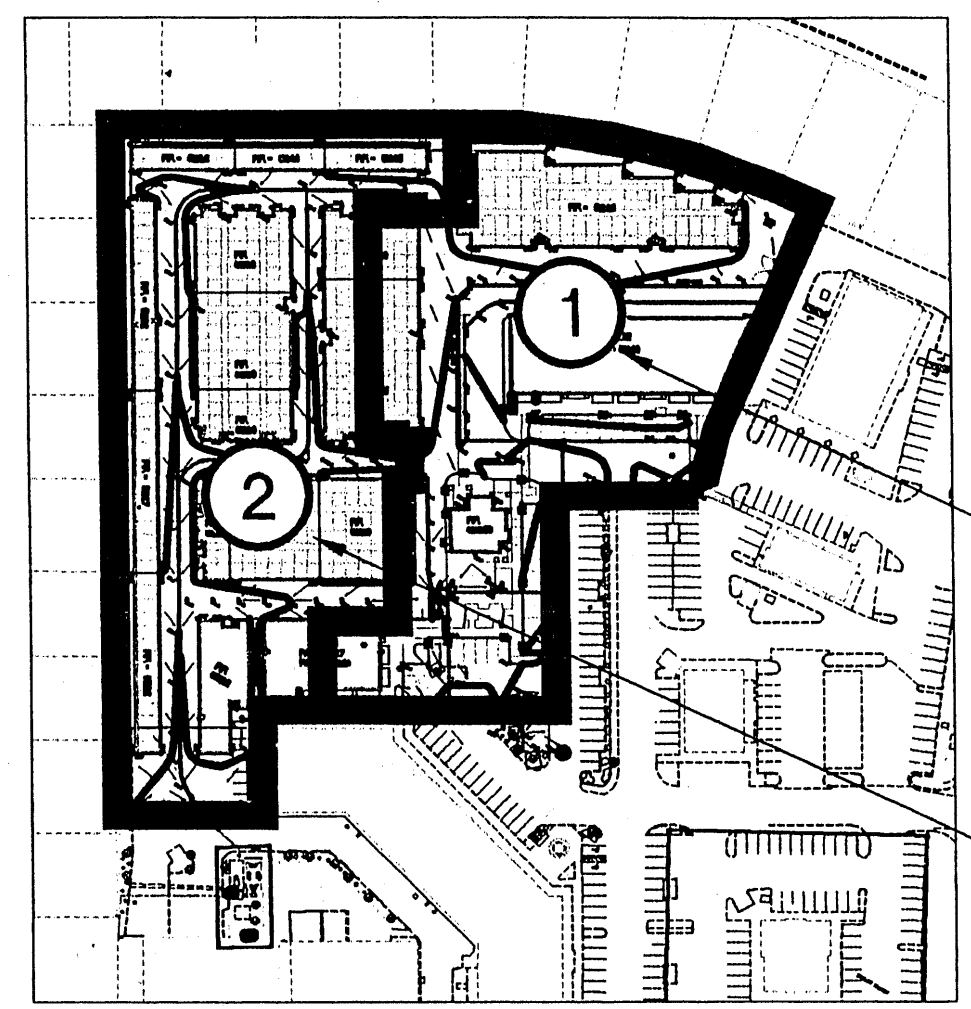
On-Site Volume of Runoff: $V360 = E^*A / 12$

Historic V360 = 53830 CF	Developed V360 = 66351 CF
--------------------------	---------------------------

On-Site Peak Discharge Rate: $Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560$

For Precipitation Zone 1

Qpa = 1.29	Qpc = 2.87
Qpb = 2.03	Qpd = 4.37
Historic Qp = 35.2 CFS	Developed Qp = 41.5 CFS



BASIN NO.	DESCRIPTION	DRAINING TO EAST
1	Area of basin flows = 102618 SF	2.4 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Area of basin flows = 102618 SF		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E = 1.82 in.	TREATMENT	
Sub-basin Volume of Runoff (see formula above)	A = 0%	
V360 = 15589 CF	B = 0%	
Sub-basin Peak Discharge Rate (see formula above)	C = 15%	
Qp = 9.8 cfs	D = 85%	

BASIN NO.	DESCRIPTION	DRAINING TO SOUTH
2	Area of basin flows = 99922 SF	2.3 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Area of basin flows = 99922 SF		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E = 1.82 in.	TREATMENT	
Sub-basin Volume of Runoff (see formula above)	A = 0%	
V360 = 15183 CF	B = 0%	
Sub-basin Peak Discharge Rate (see formula above)	C = 15%	
Qp = 9.5 cfs	D = 85%	

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
123 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1618 C-101.dwg Oct 18, 2007

TAYLOR RANCH SELF STORAGE

GRADING AND DRAINAGE PLAN - SOUTH

Date:	No.:	Revision:	Date:	Job No.:
10-17-07				1618
Drawn By:				C-102
BJB				
Ckd By:				
GLD				



Existing Building 'C'

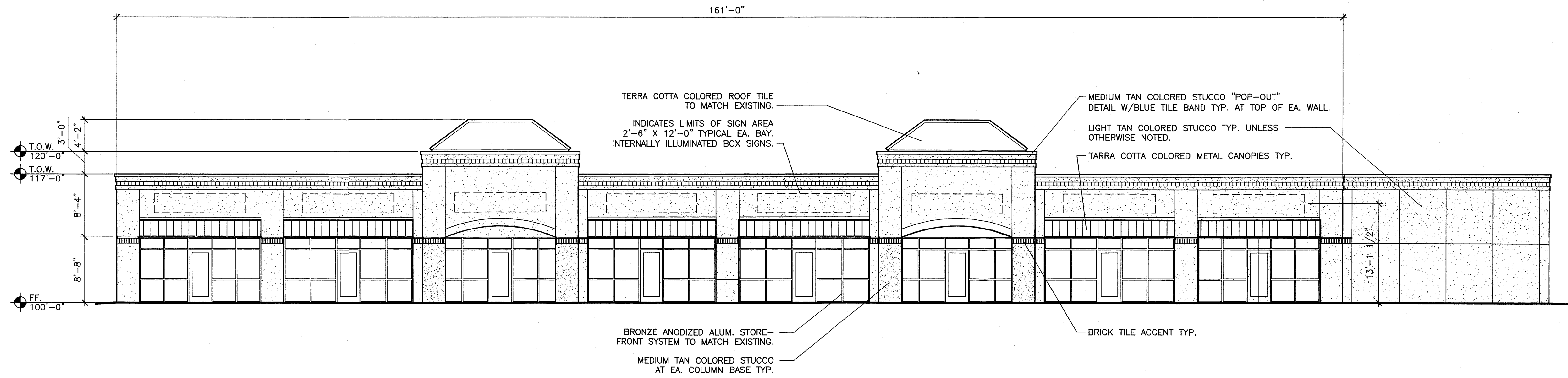
Future Retail/Service 'B'

Storage Facility

Future Retail/Service 'A'

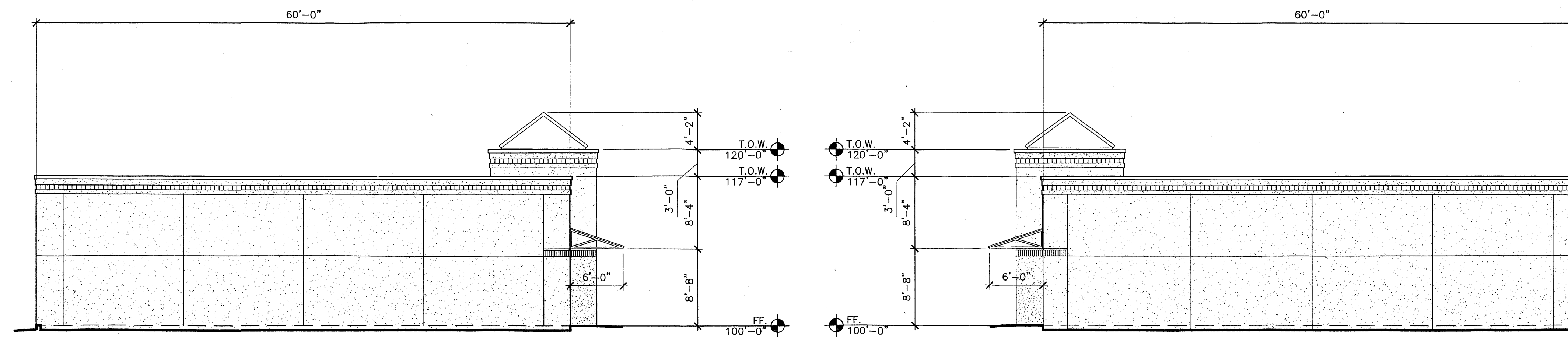
Taylor Ranch Storage - Elevation Rendering

KEYED NOTES



SOUTH ELEVATION - RETAIL/SERVICE BUILDING 'A'

0 4' 8' 16' **1**
SCALE: 1/8" = 1'-0" **A2.1**

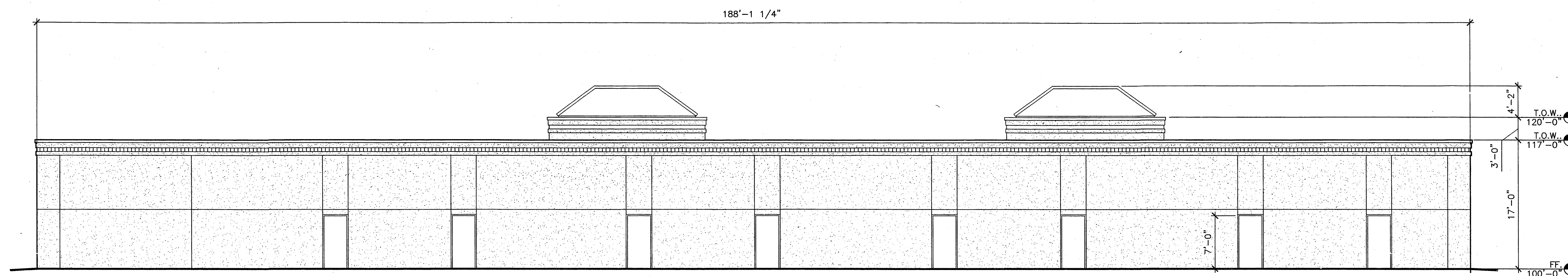


WEST ELEVATION - RETAIL/SERVICE BUILDING 'A'

0 4' 8' 16' **3**
SCALE: 1/8" = 1'-0" **A2.1**

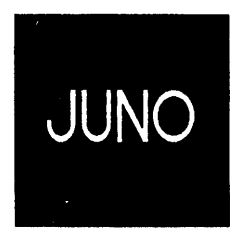
EAST ELEVATION - RETAIL/SERVICE BUILDING 'A'

0 4' 8' 16' **2**
SCALE: 1/8" = 1'-0" **A2.1**



NORTH ELEVATION - RETAIL/SERVICE BUILDING 'A'

0 4' 8' 16' **4**
SCALE: 1/8" = 1'-0" **A2.1**



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 896-3438

PROJECT:
**TAYLOR RANCH
SELF STORAGE**

SHEET TITLE:
RETAIL/SERVICE BUILDING 'A' ELEVATIONS

NO. REVISION DATE

ARCHITECT STAMP CONSULTANT STAMP DATE:

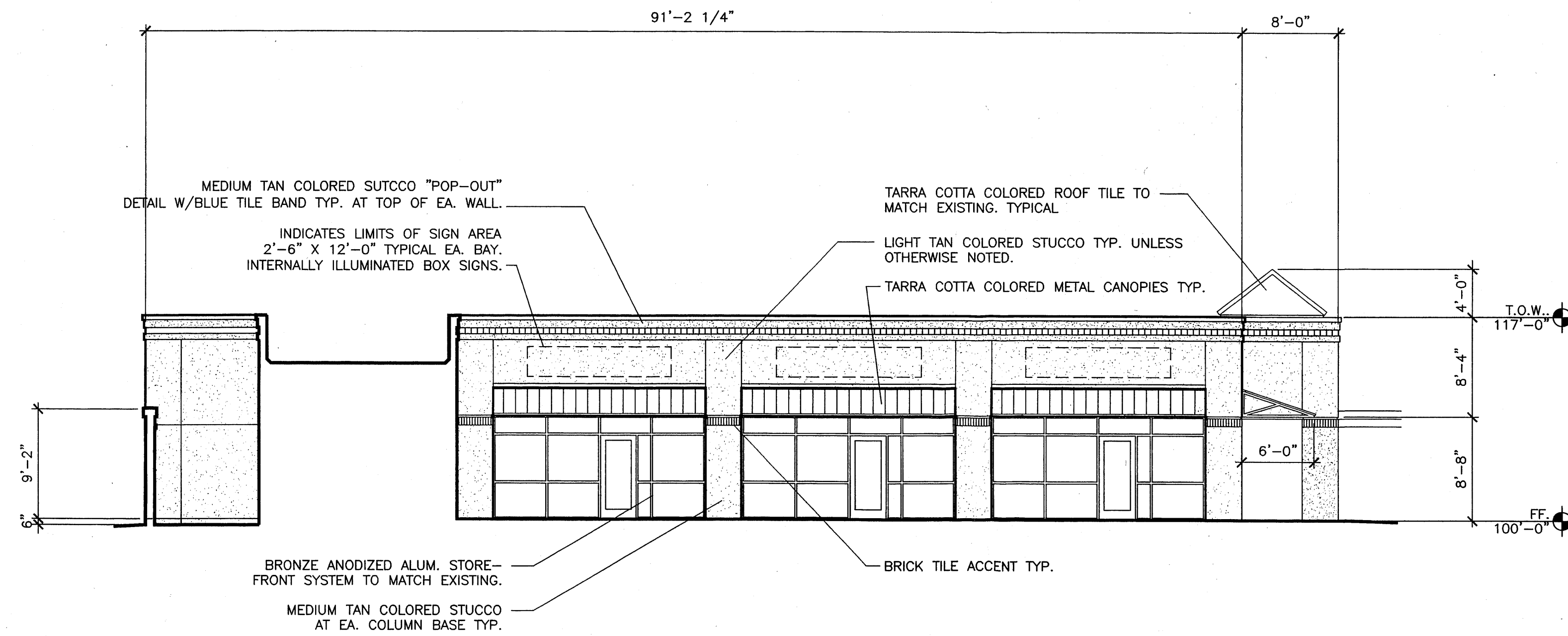
STATE OF NEW MEXICO
KEVIN JUNO
No. 1603

DATE:
10-19-07
PROJECT NO.
0621
SHEET NO.

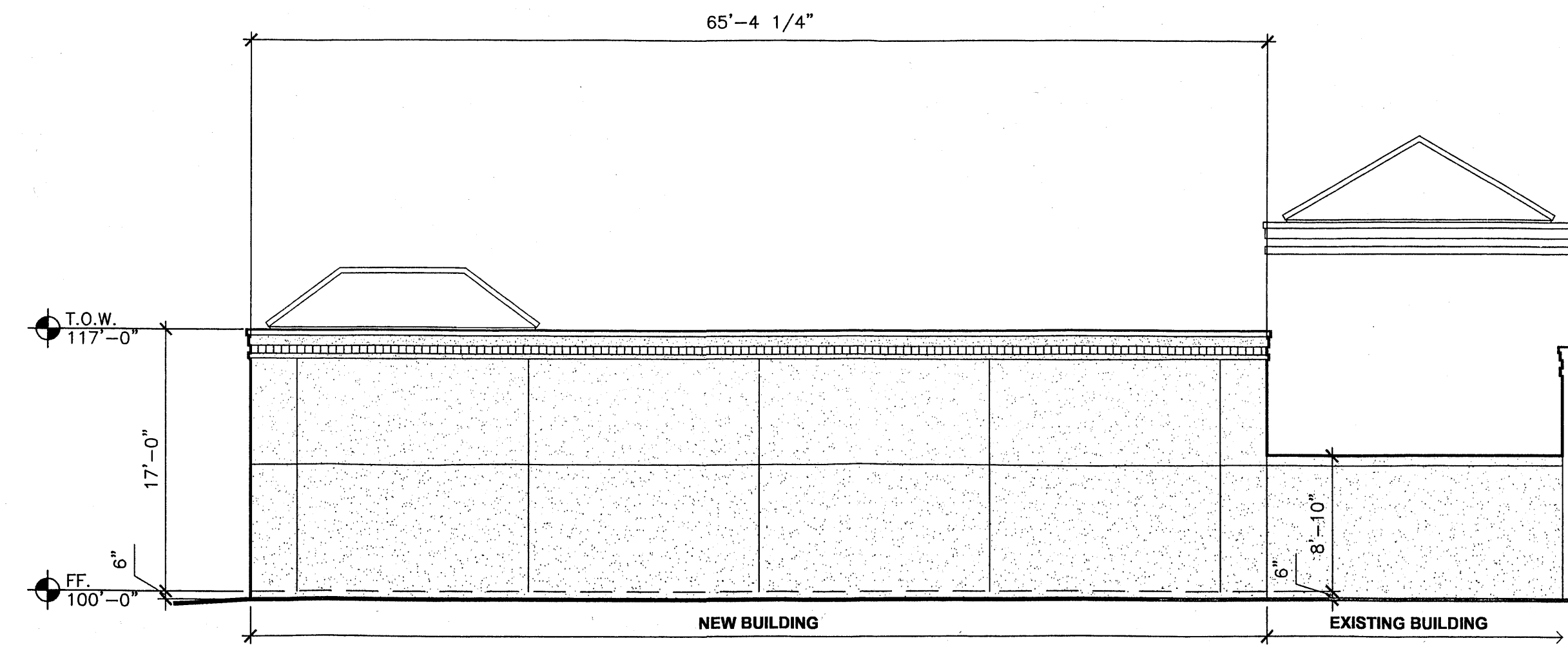
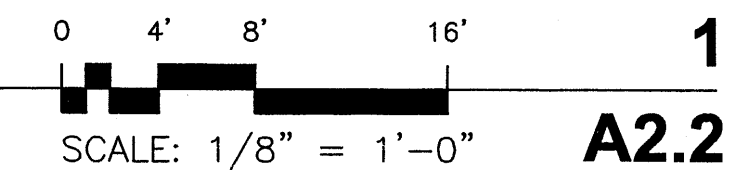
Kevin Juno 10-19-07

A2.1

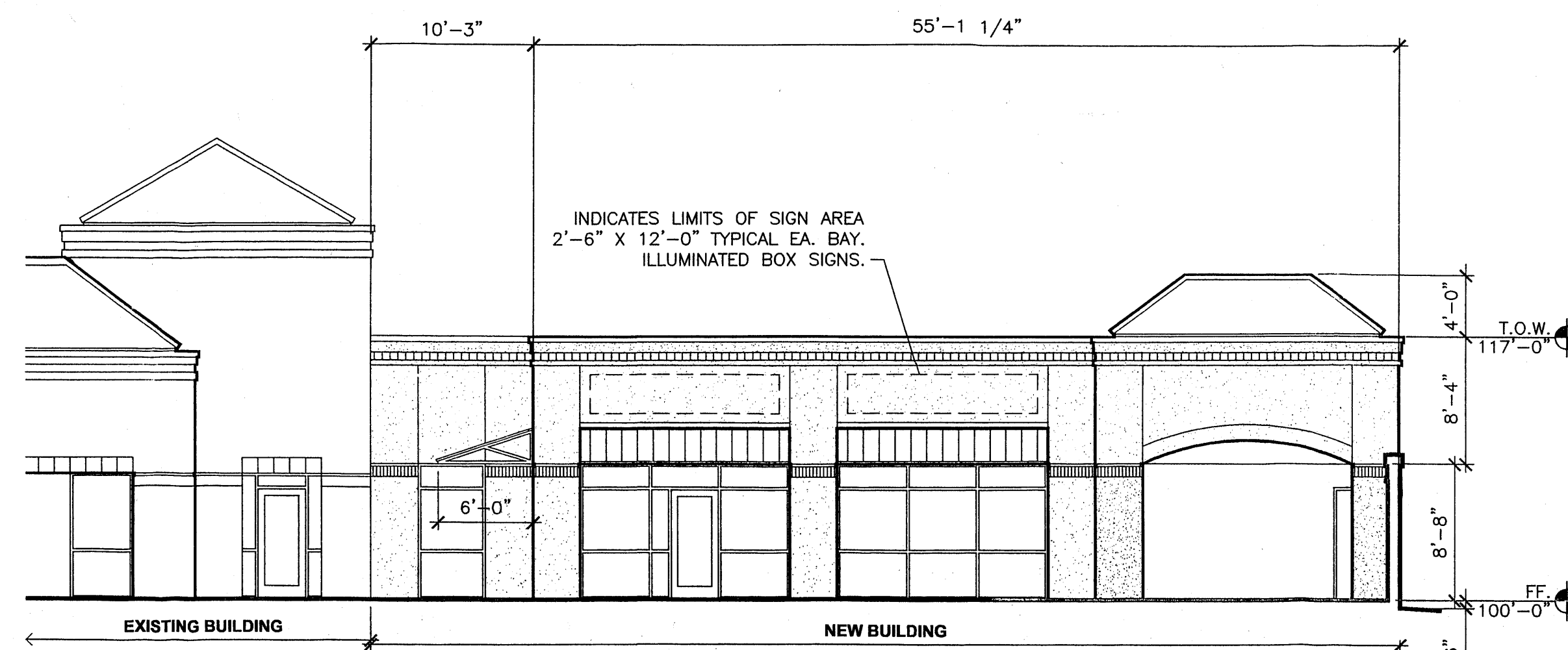
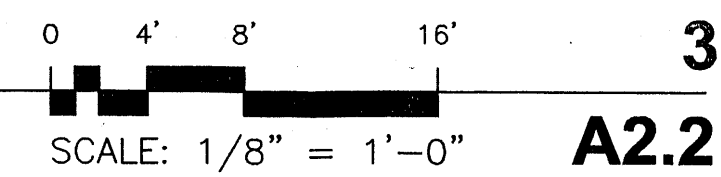
KEYED NOTES



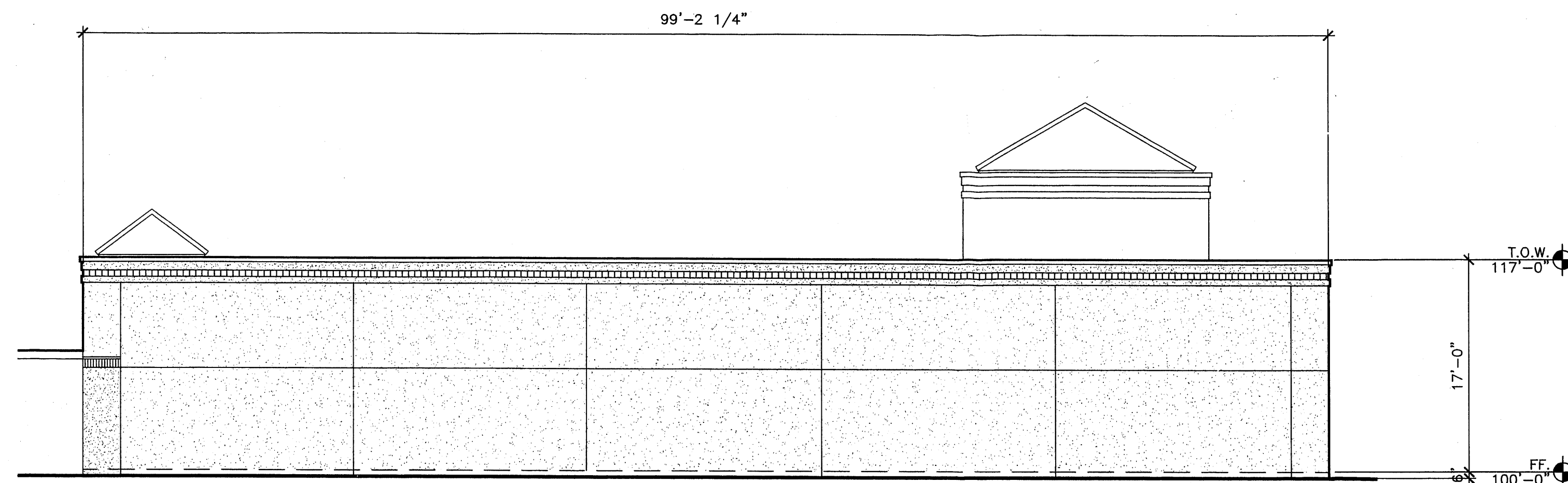
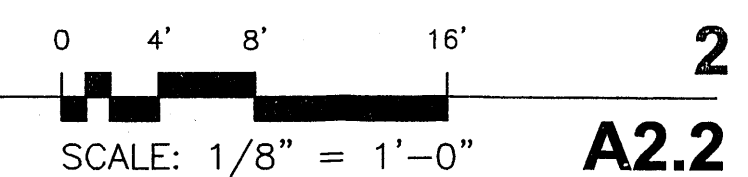
SOUTH ELEVATION - RETAIL/SERVICE BUILDING 'B'



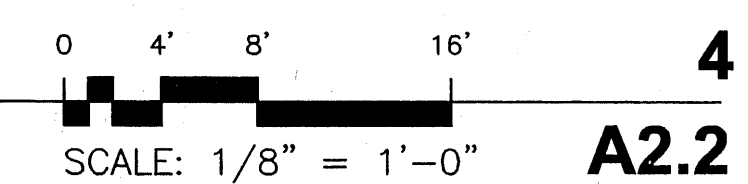
WEST ELEVATION - RETAIL/SERVICE BUILDING 'B'



EAST ELEVATION - RETAIL/SERVICE BUILDING 'B'



NORTH ELEVATION - RETAIL/SERVICE BUILDING 'B'



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)896-3438

PROJECT:
**TAYLOR RANCH
SELF STORAGE**

SHEET TITLE:
RETAIL/SERVICE BUILDING 'B' ELEVATIONS

NO.	REVISION	DATE

ARCHITECT STAMP CONSULTANT STAMP DATE:

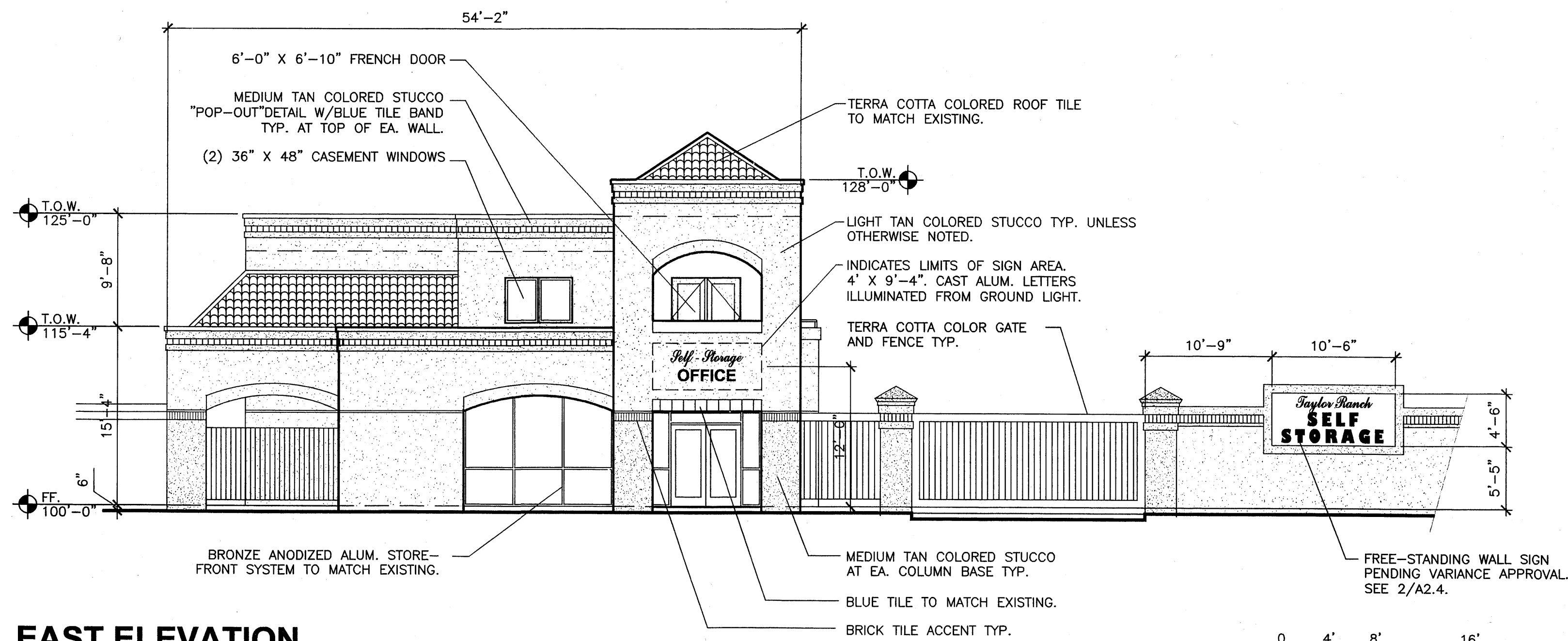
STATE OF NEW MEXICO
KEVIN JUNO
No. 1603

Kevin Juno 10-19-01

DATE:
10-19-07
PROJECT NO.
0621
SHEET NO.

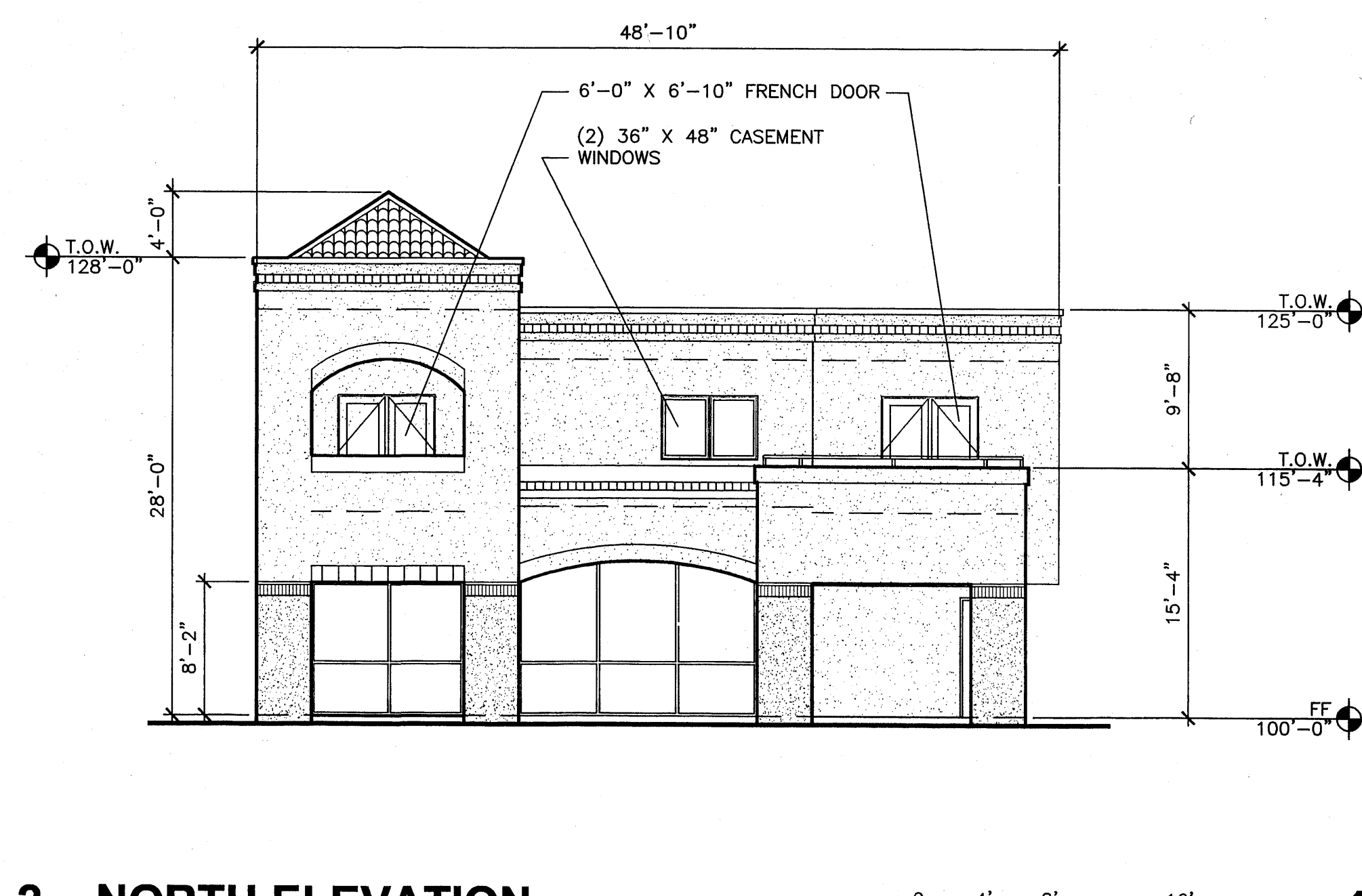
A2.2

KEYED NOTES



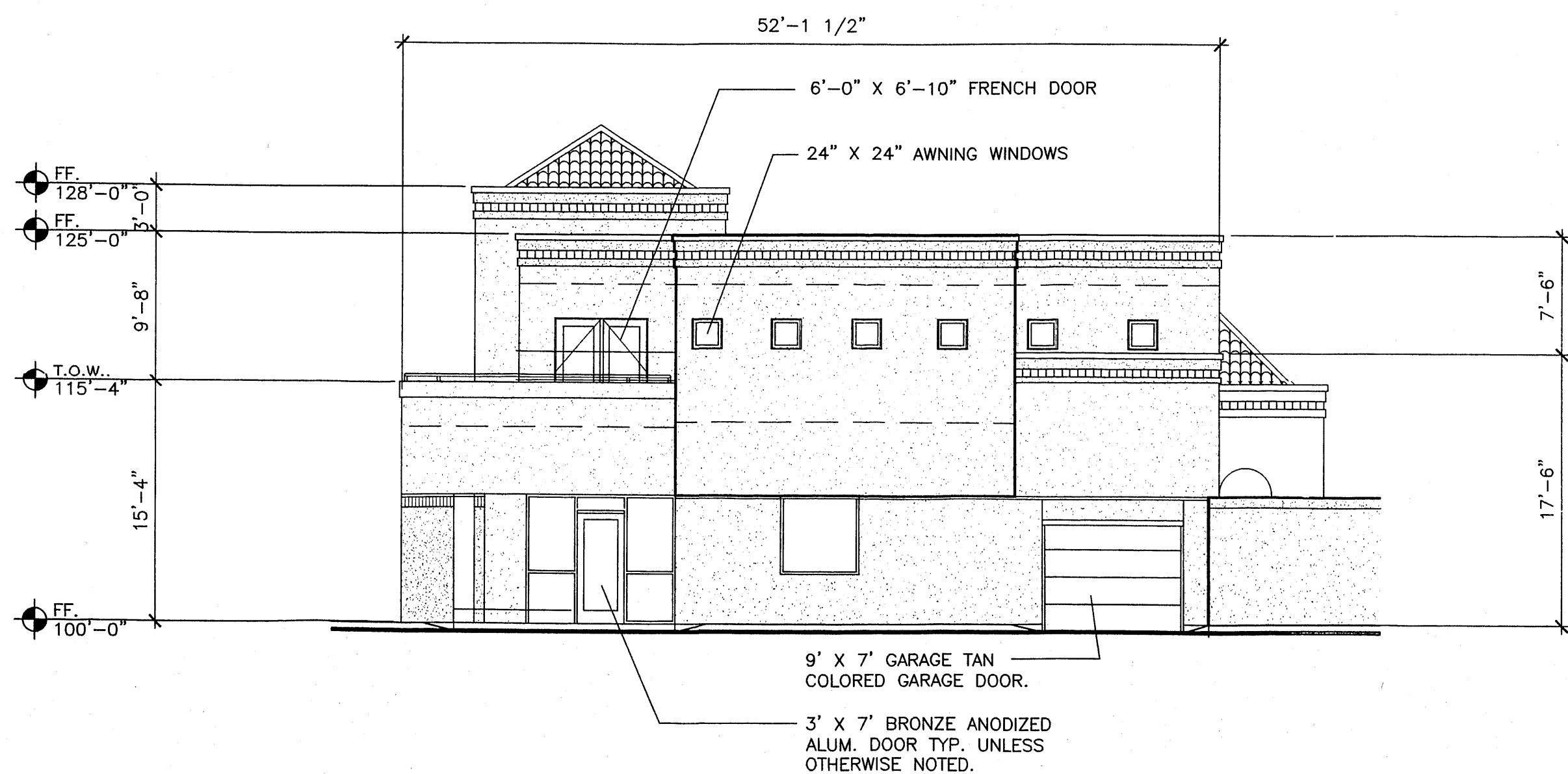
EAST ELEVATION

0 4' 8' 16' **2**
SCALE: 1/8" = 1'-0" **A2.3**



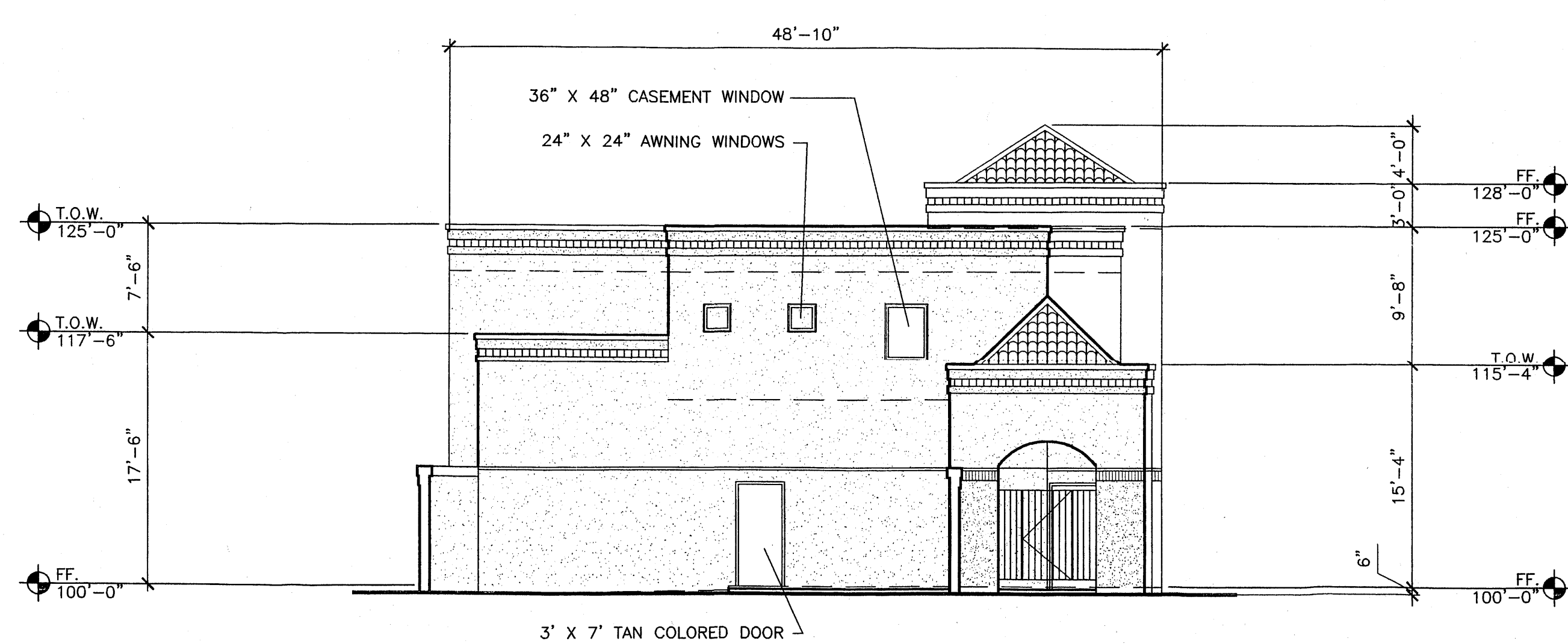
NORTH ELEVATION

0 4' 8' 16' **1**
SCALE: 1/8" = 1'-0" **A2.3**



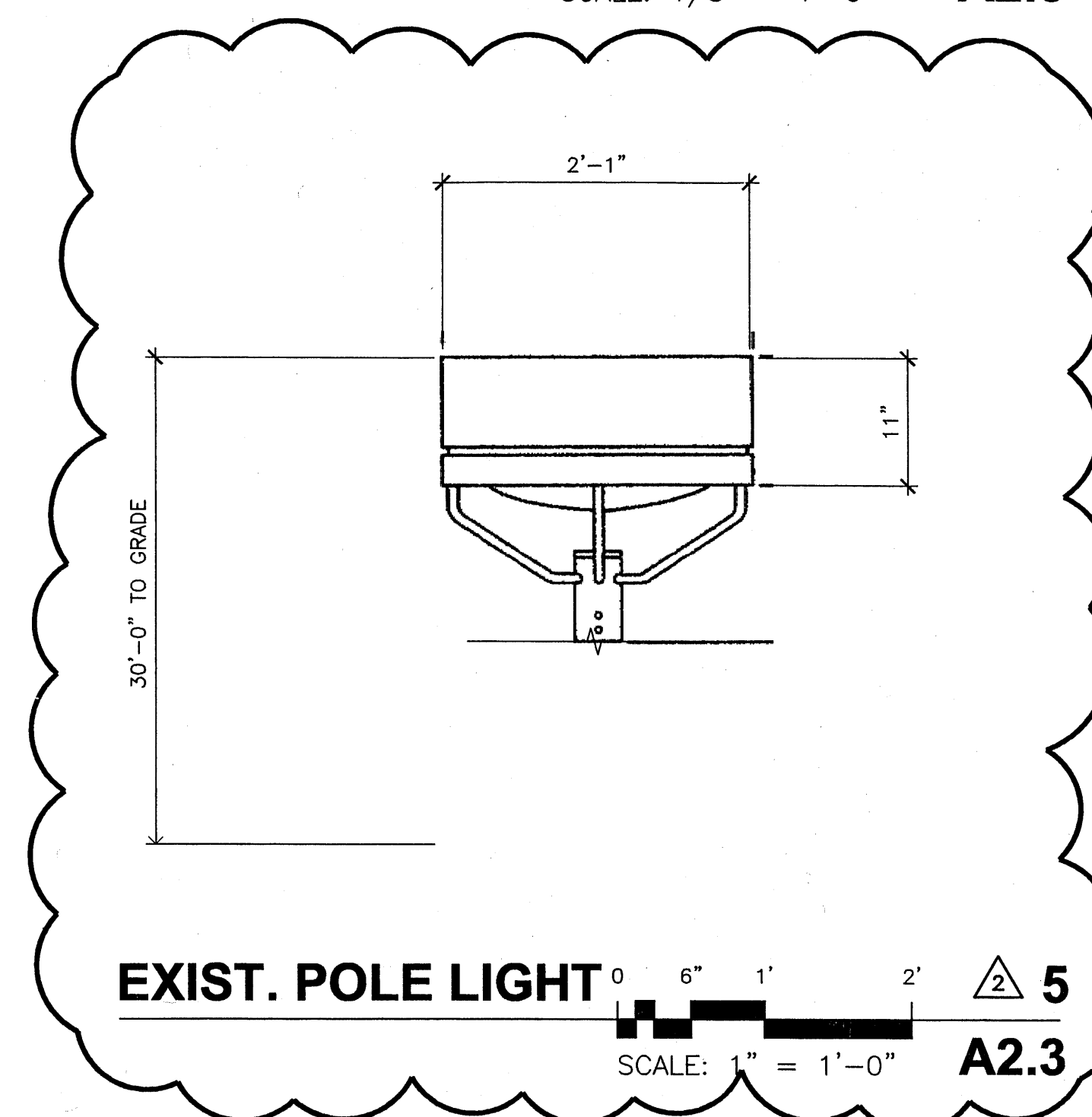
WEST ELEVATION

0 4' 8' 16' **4**
SCALE: 1/8" = 1'-0" **A2.3**



SOUTH ELEVATION

0 4' 8' 16' **3**
SCALE: 1/8" = 1'-0" **A2.3**



EXIST. POLE LIGHT 0 6" 1' 2' **5**
SCALE: 1" = 1'-0" **A2.3**



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 896-3438

PROJECT:
**TAYLOR RANCH
SELF STORAGE**

SHEET TITLE:
OFFICE/MANAGER'S QUARTERS ELEVATIONS

NO.	REVISION	DATE
2	EPC CONDITIONS	10-15-07

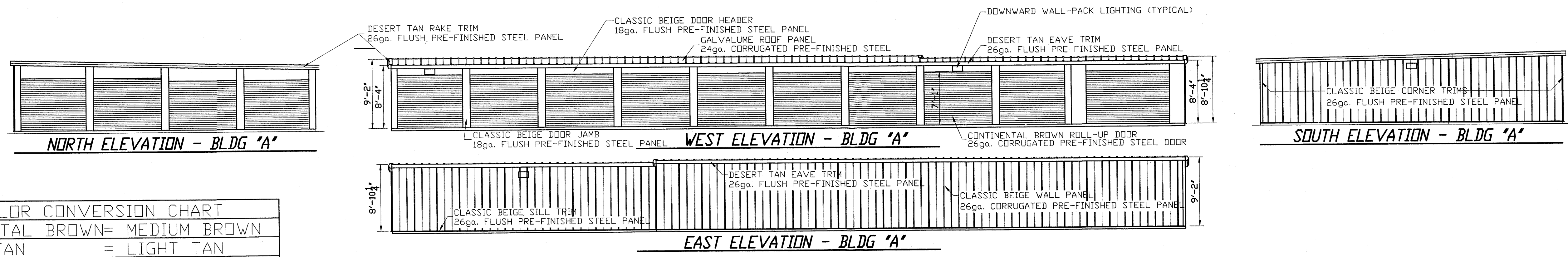
ARCHITECT STAMP CONSULTANT STAMP DATE:



DATE:
10-19-07
PROJECT NO.
0621
SHEET NO.

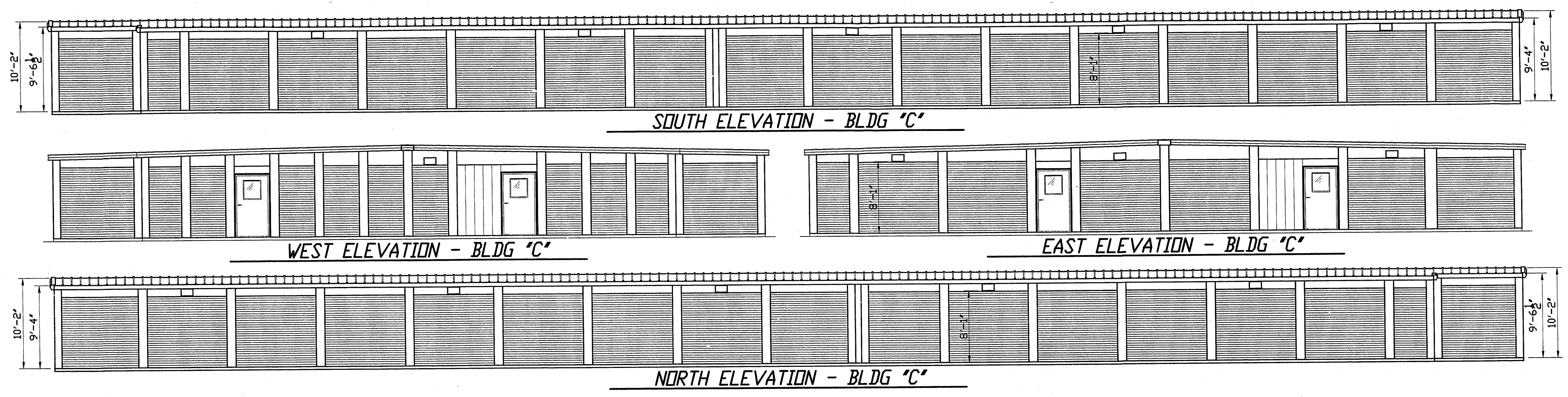
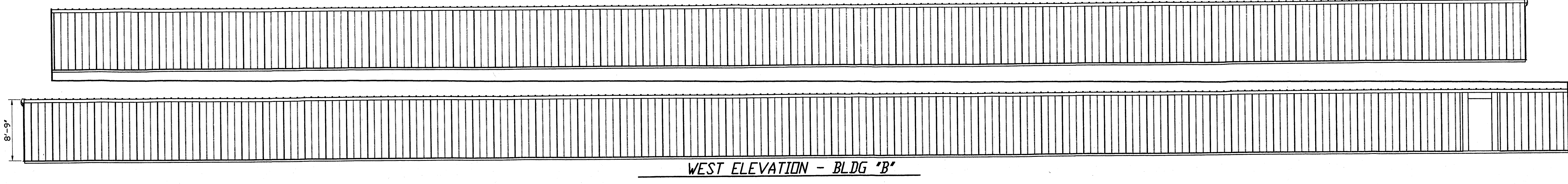
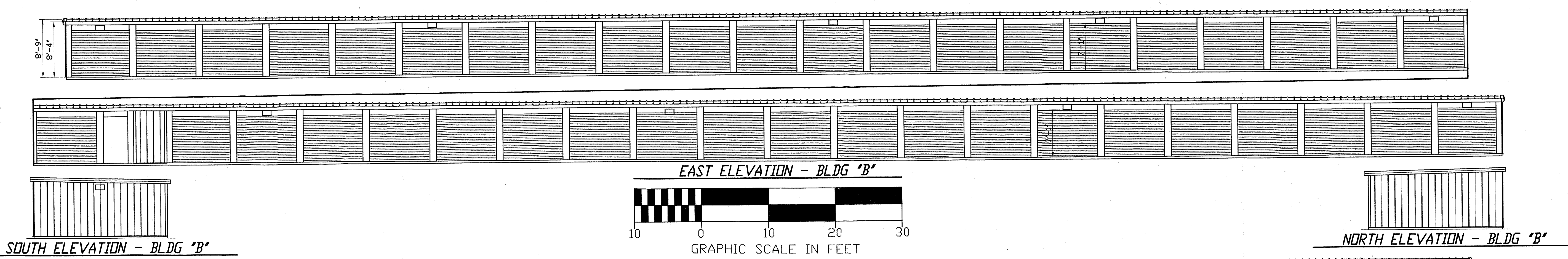
Kevin Juno 10-19-07

A2.3

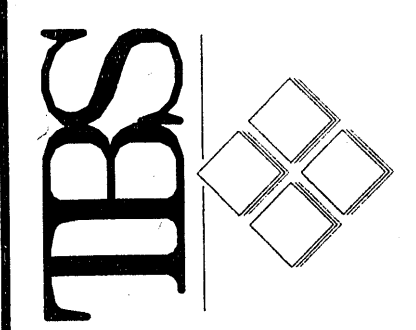


COLOR CONVERSION CHART

CONTINENTAL BROWN	=	MEDIUM BROWN
DESERT TAN	=	LIGHT TAN
CLASSIC BEIGE	=	MEDIUM BROWN
GALVALUME	=	SATIN ALUMINUM

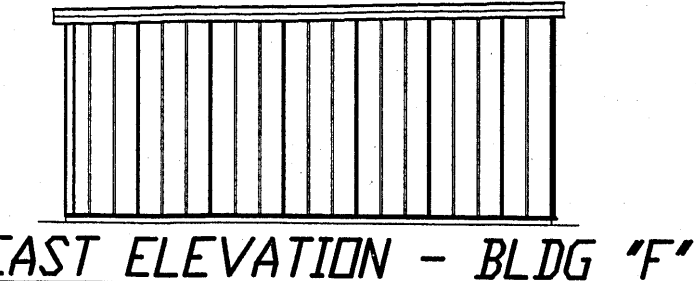
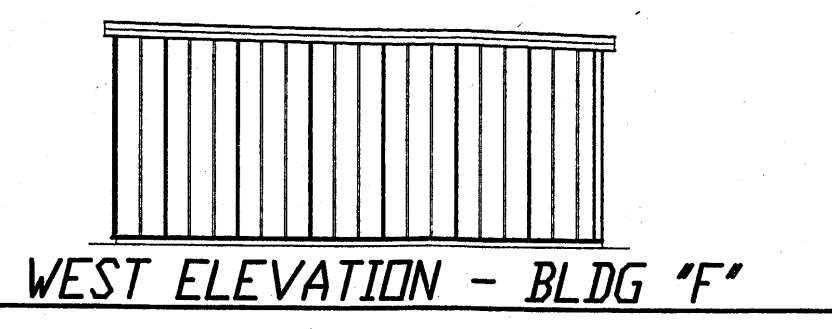
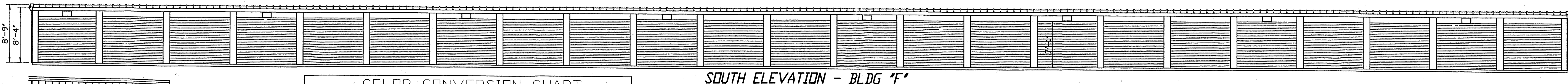
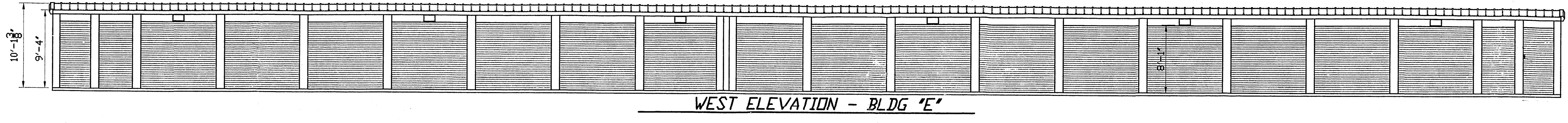
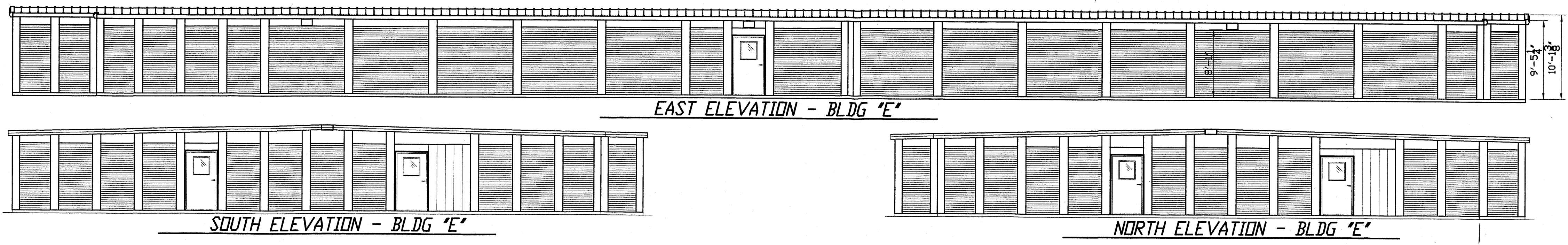
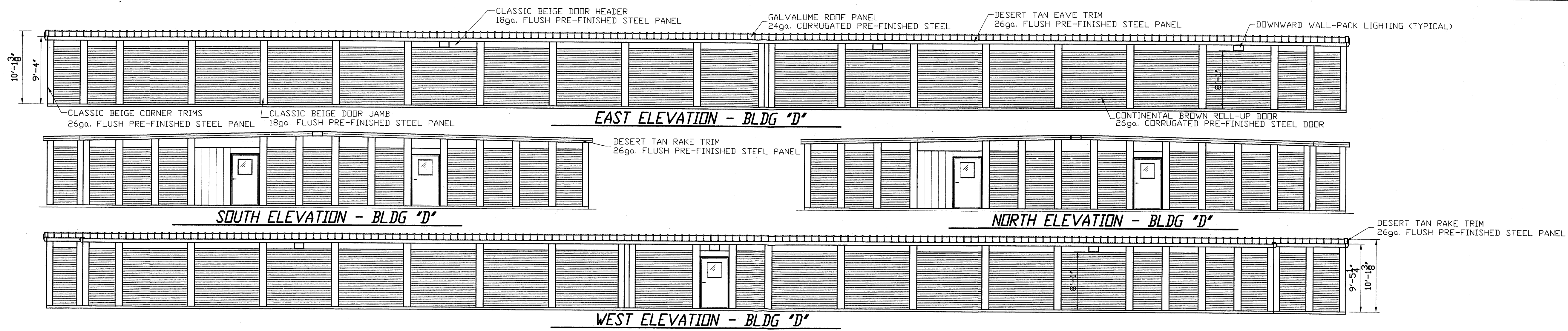


TRACHTE BUILDING SYSTEMS, Inc.
 This drawing and all parts thereof
 is the exclusive property of
 Trachte Building Systems, Inc.
 314 Wilburn Road, Sun Prairie, Wisconsin
 (608) 356-5824 (Local 608/837-7899)
 and may not be reproduced in whole
 or part without written permission.



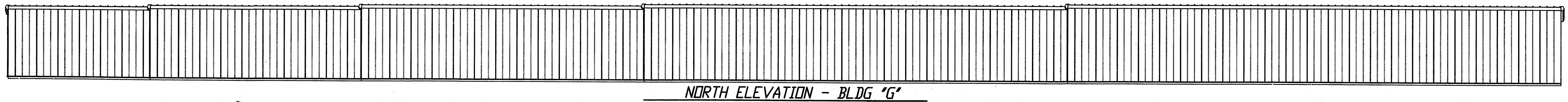
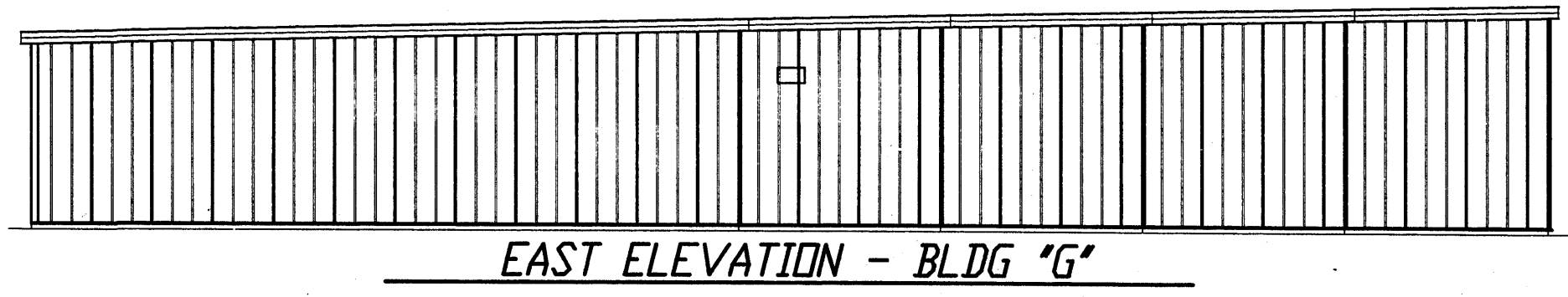
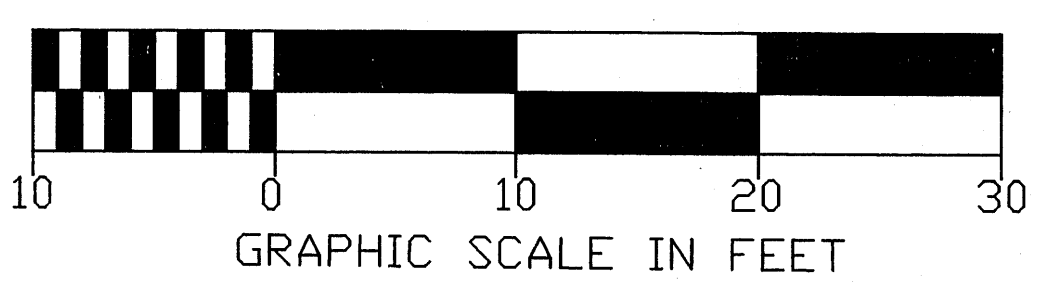
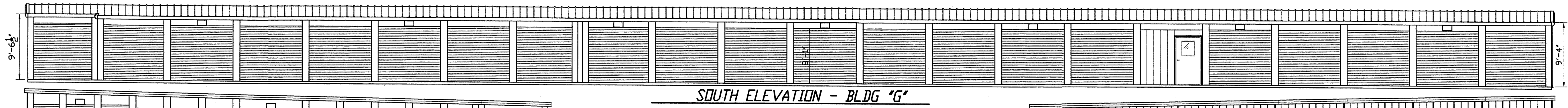
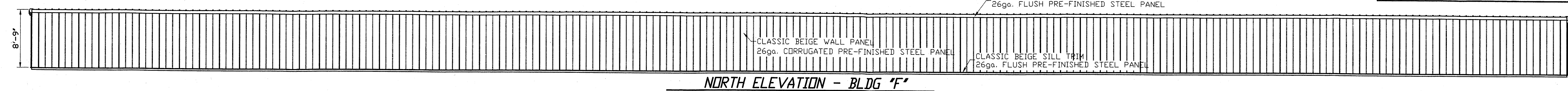
PROPOSED MINI STORAGE SYSTEM for:
 DAN RICH
 ALBUQUERQUE, NM

Date: JULY 27, 2007
 Drawn by: MAS
 Scale: 1/8" = 1'-0"
 Plan No.: P-35371
 Order No.:
 Sheet No.:



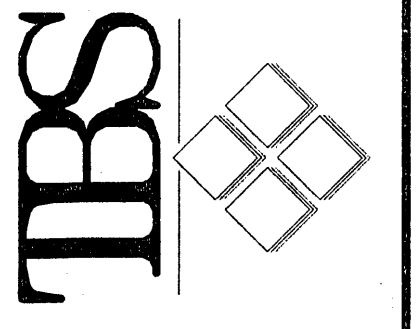
COLOR CONVERSION CHART

CONTINENTAL BROWN	=	MEDIUM BROWN
DESERT TAN	=	LIGHT TAN
CLASSIC BEIGE	=	MEDIUM BROWN
GALVALUME	=	SATIN ALUMINUM



REVISION	By
SEPTEMBER 8, 2007	MAS

TRACHTE BUILDING SYSTEMS, Inc.
 This drawing and all parts thereof
 is the exclusive property of
 Trachte Building Systems, Inc.
 5440 Mountain Road, Sun Prairie, Wisconsin
 53591-5824, Local 608/837-7899
 and may not be reproduced in whole
 or part without written permission.

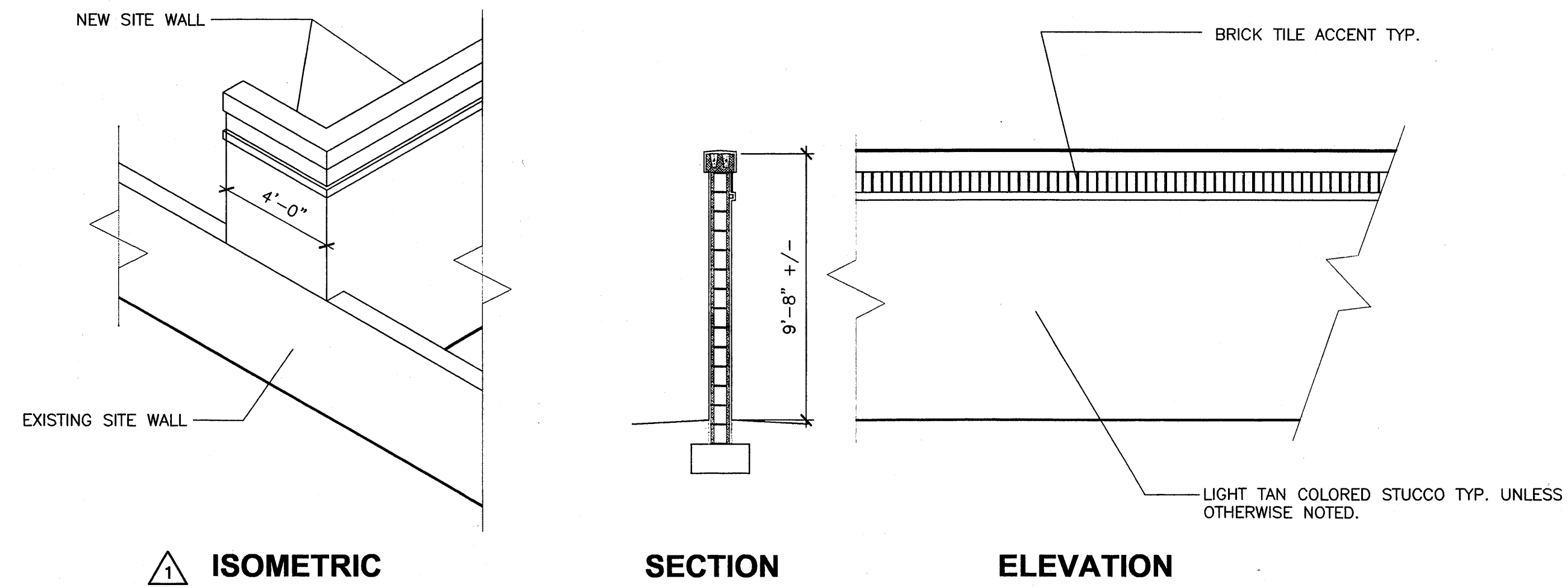


PROPOSED MINI STORAGE SYSTEM for:
DAN RICH
ALBUQUERQUE, NM

Job Description
 Date
 Drawn by
 Scale
 Plan No.
 Order No.
 Sheet Title

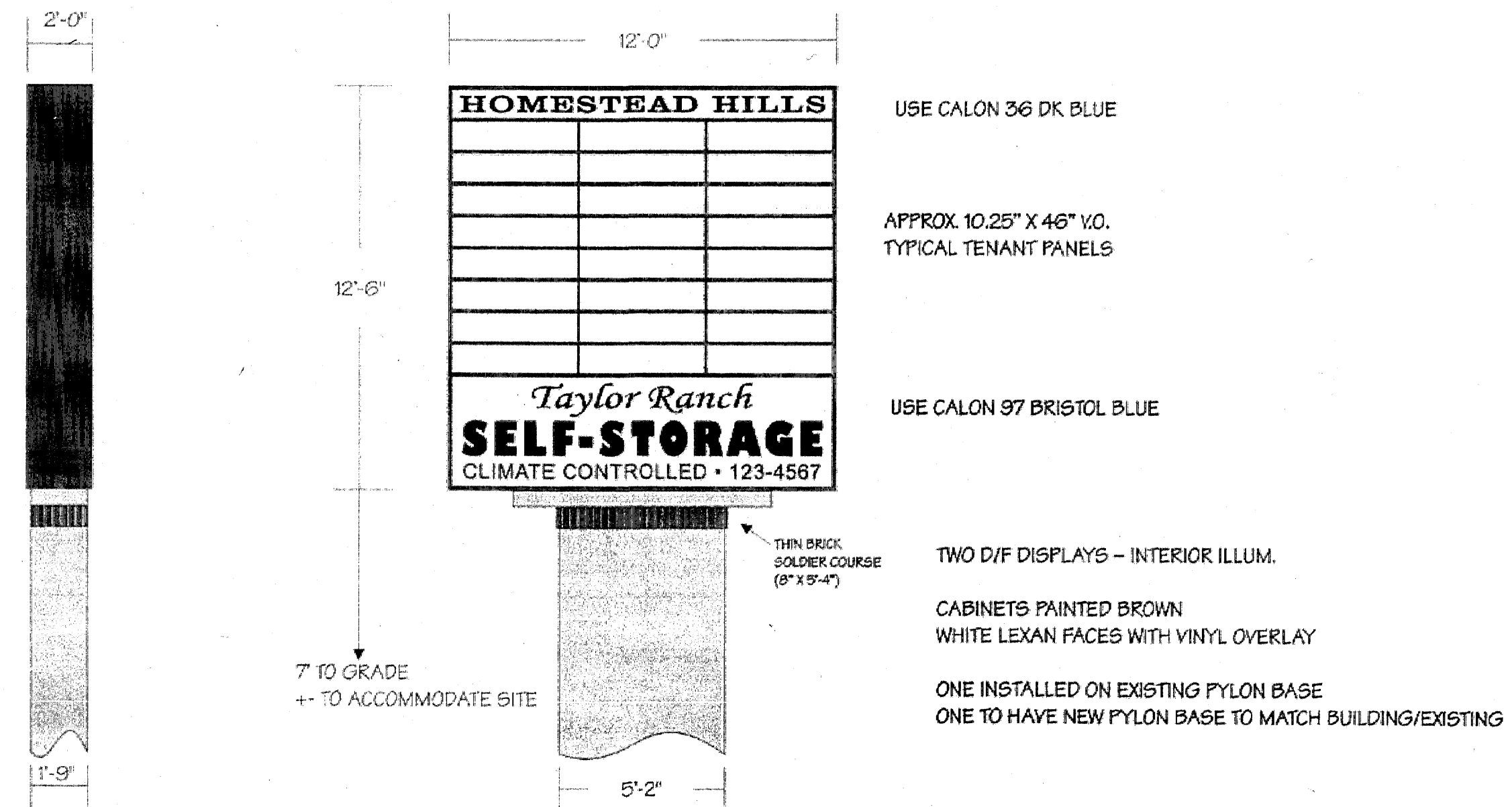
JULY 27, 2007
 MAS
 1/8" = 1'-0"
 P-35371

KEYED NOTES



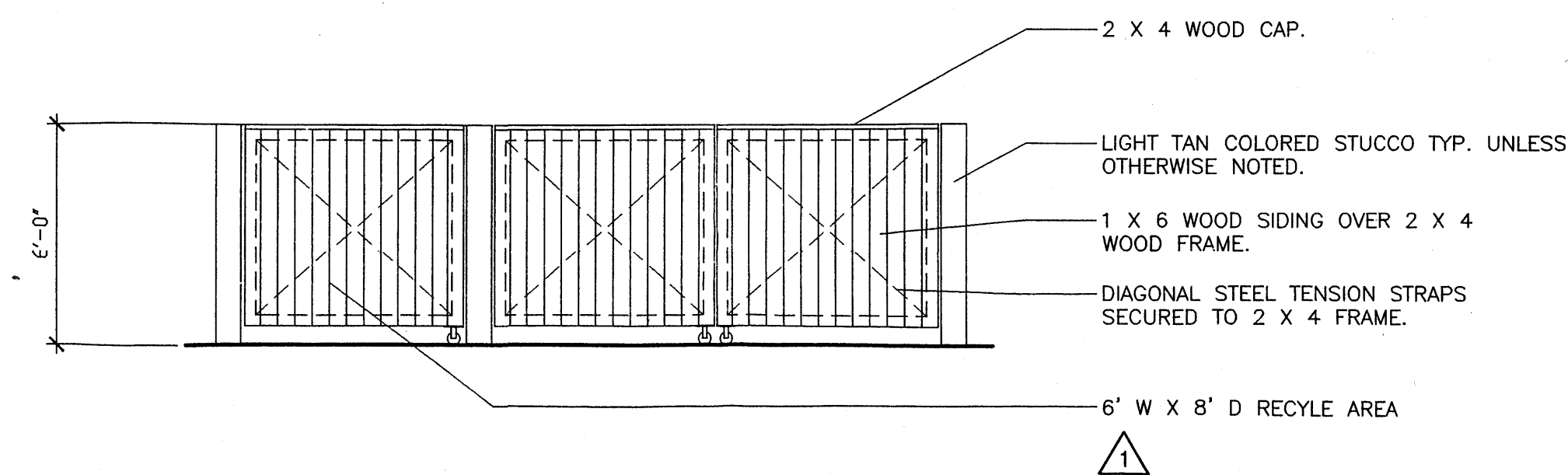
SITE WALL

0 2' 4' 8'
SCALE: 1/4" = 1'-0" **4**
A2.4



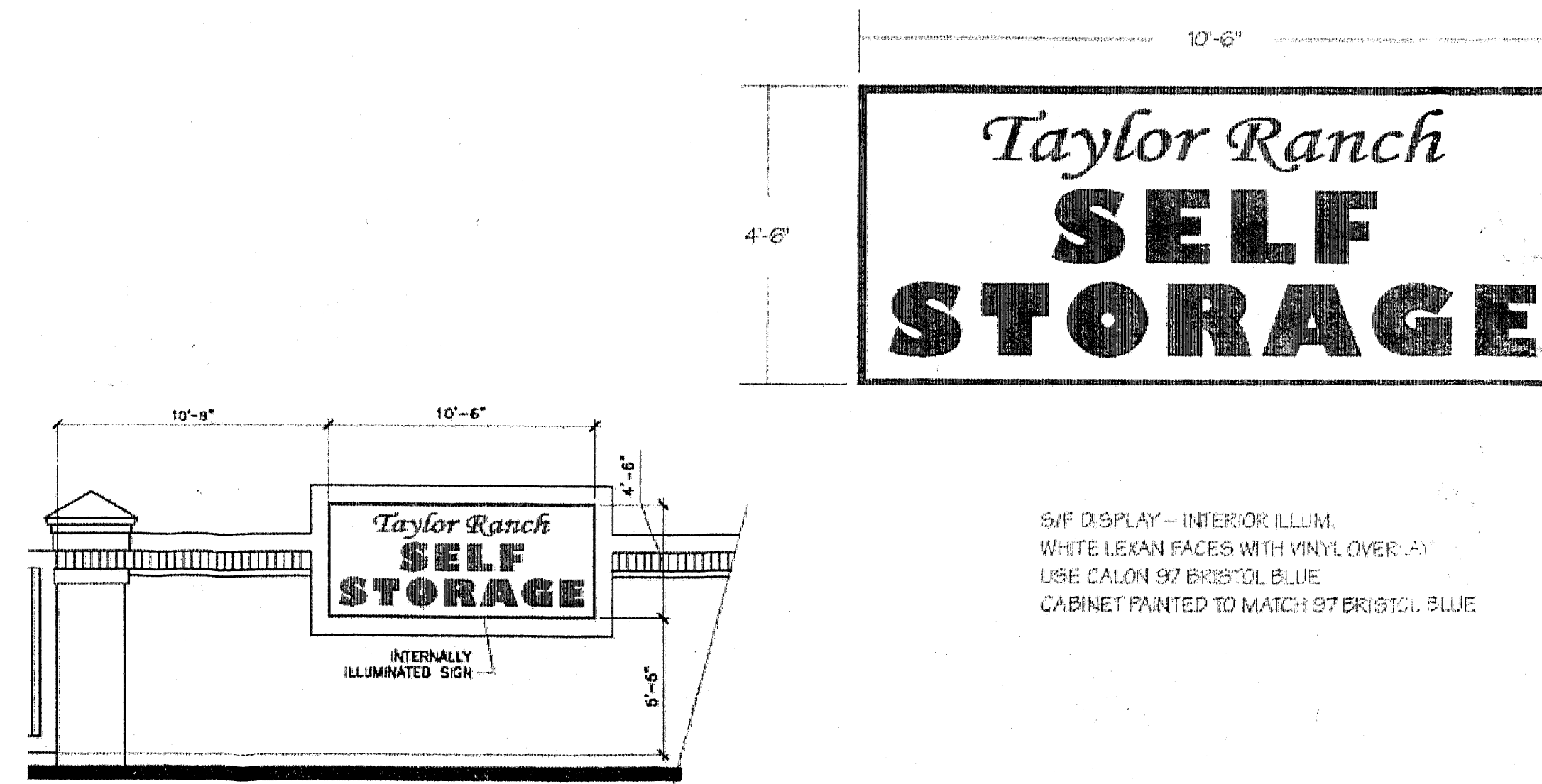
EXISTING MONUMENT SIGN W/REVISIONS

0 2' 4' 8'
SCALE: 1/4" = 1'-0" **3**
A2.4



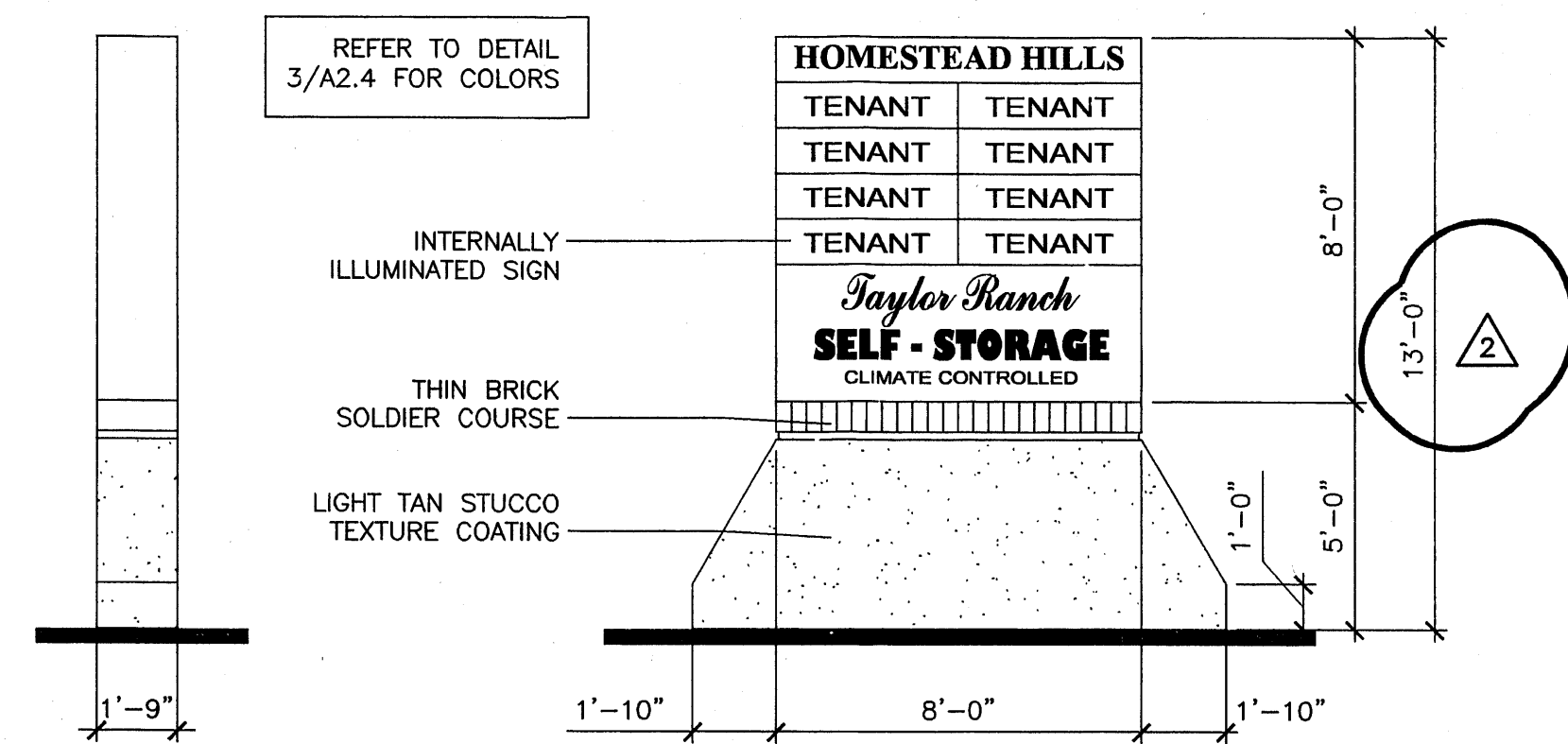
TRASH ENCLOSURE ELEVATION

0 2' 4' 8'
SCALE: 1/4" = 1'-0" **5**
A2.4



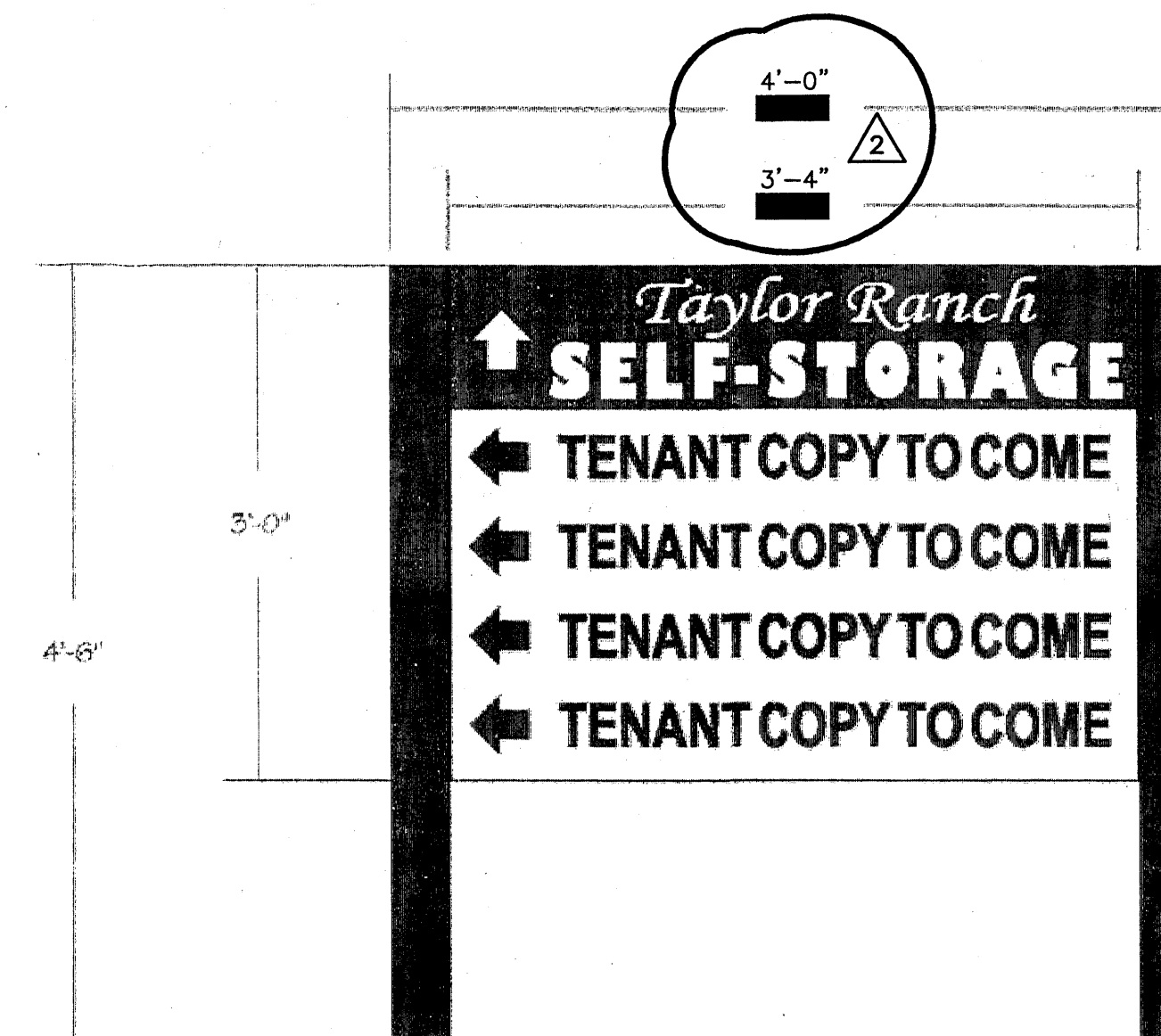
FREE-STANDING SIGN

0 1' 2' 4'
SCALE: 1/2" = 1'-0" **2**
A2.4



NEW FREE-STANDING MONUMENT SIGNS

0 2' 4' 8'
SCALE: 1/4" = 1'-0" **6**
A2.4



DIRECTIONAL SIGN

0 6" 1' 2'
SCALE: 1" = 1'-0" **1**
A2.4

JUNO
ARCHITECTS
7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)896-3438

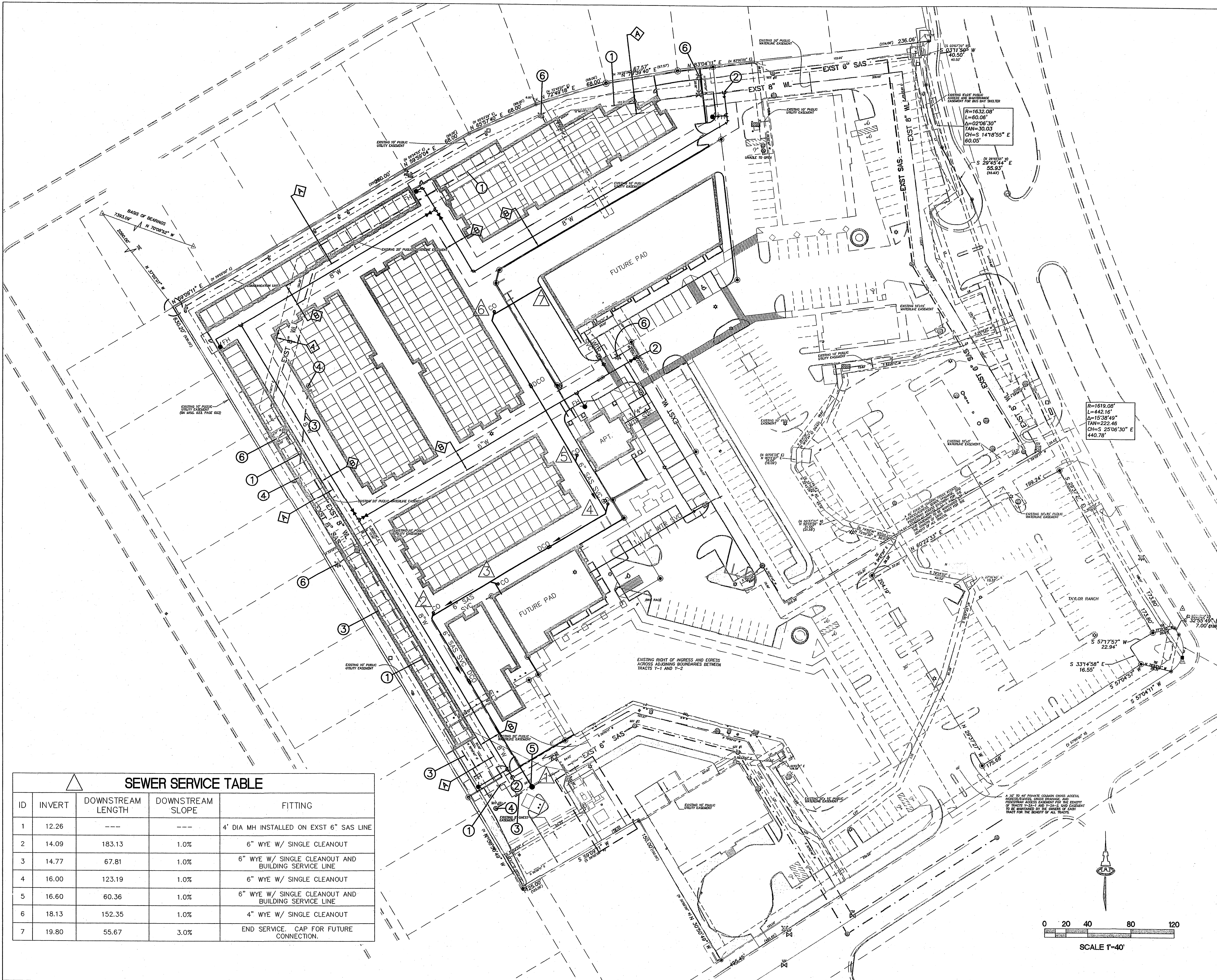
PROJECT:
TAYLOR RANCH SELF STORAGE

SHEET TITLE:
DETAILS

NO.	REVISION	DATE
1	REVISIONS FOR EPC	9-7-07
2	EPC CONDITIONS	10-15-07

ARCHITECT STAMP: KEVIN JUNO No. 1603
CONSULTANT STAMP
DATE: **10-19-07**
PROJECT NO. **0621**
SHEET NO. **A2.4**

10-19-07



KEYED NOTES

1. EXISTING WATERLINE TO BE GROUT FILLED AND ABANDONED.
2. TIE PROPOSED 8" WL TO EXISTING WL.
3. EXISTING SAS LINE TO BE GROUT FILLED AND ABANDONED.
4. REMOVE EXISTING SAS MANHOLE.
5. INSTALL NEW 4" DIA TYPE 'E' MANHOLE ON EXISTING SAS LINE. MATCH EXIST INVERT.
6. REMOVE & SALVAGE EXISTING FIRE HYDRANT.

EASEMENT NOTES

- A. EXISTING 20' PUBLIC WATERLINE EASEMENT TO BE VACATED BY FINAL PLAT.
- B. PROPOSED 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED BY FINAL PLAT.
- C. PROPOSED BLANKET PRIVATE SANITARY SEWER EASEMENT TO BE GRANTED BY FINAL PLAT. SANITARY SEWER TO BE MAINTAINED BY THE BENEFITTING LOT OWNERS.

LEGEND

- EXIST 8" SAS --- EXISTING SAS LINE
- EXIST 8" WL --- EXISTING WATERLINE
- EXISTING CURB AND GUTTER
- 3/4" SINGLE WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- SAS MANHOLE
- WATER LINE W/ FITTING
- SAS CLEANOUT
- DBLCO DOUBLE SAS CLEANOUT

GENERAL NOTES

1. PUBLIC WATERLINES TO BE CONSTRUCTED BY WORK ORDER.

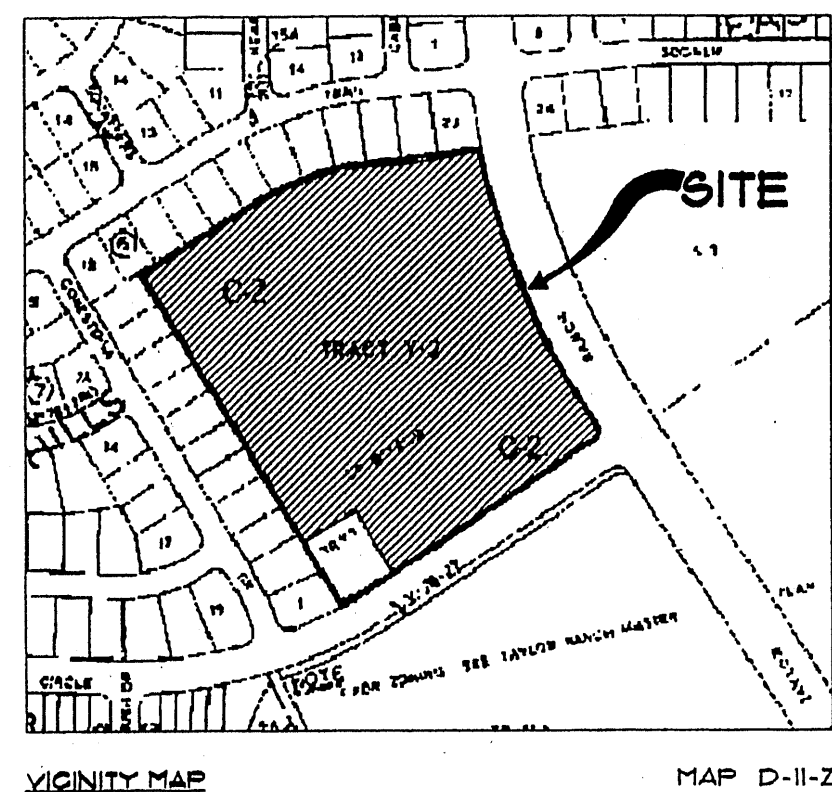
SEWER SERVICE TABLE				
ID	INVERT	DOWNSTREAM LENGTH	DOWNSTREAM SLOPE	FITTING
1	12.26	---	---	4" DIA MH INSTALLED ON EXST 6" SAS LINE
2	14.09	183.13	1.0%	6" WYE W/ SINGLE CLEANOUT
3	14.77	67.81	1.0%	6" WYE W/ SINGLE CLEANOUT AND BUILDING SERVICE LINE
4	16.00	123.19	1.0%	6" WYE W/ SINGLE CLEANOUT
5	16.60	60.36	1.0%	6" WYE W/ SINGLE CLEANOUT AND BUILDING SERVICE LINE
6	18.13	152.35	1.0%	4" WYE W/ SINGLE CLEANOUT
7	19.80	55.67	3.0%	END SERVICE. CAP FOR FUTURE CONNECTION.

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph: 505-268-8828 Fax: 505-268-2632
 1618 C-102.dwg Oct 17, 2007

TAYLOR RANCH SELF STORAGE

MASTER UTILITY PLAN

Date:	07-12-07	No.:	1618
Drawn By:	DLP	Checked By:	GLD
Scale:	1"=40'	Job No.:	C-102
			C-103



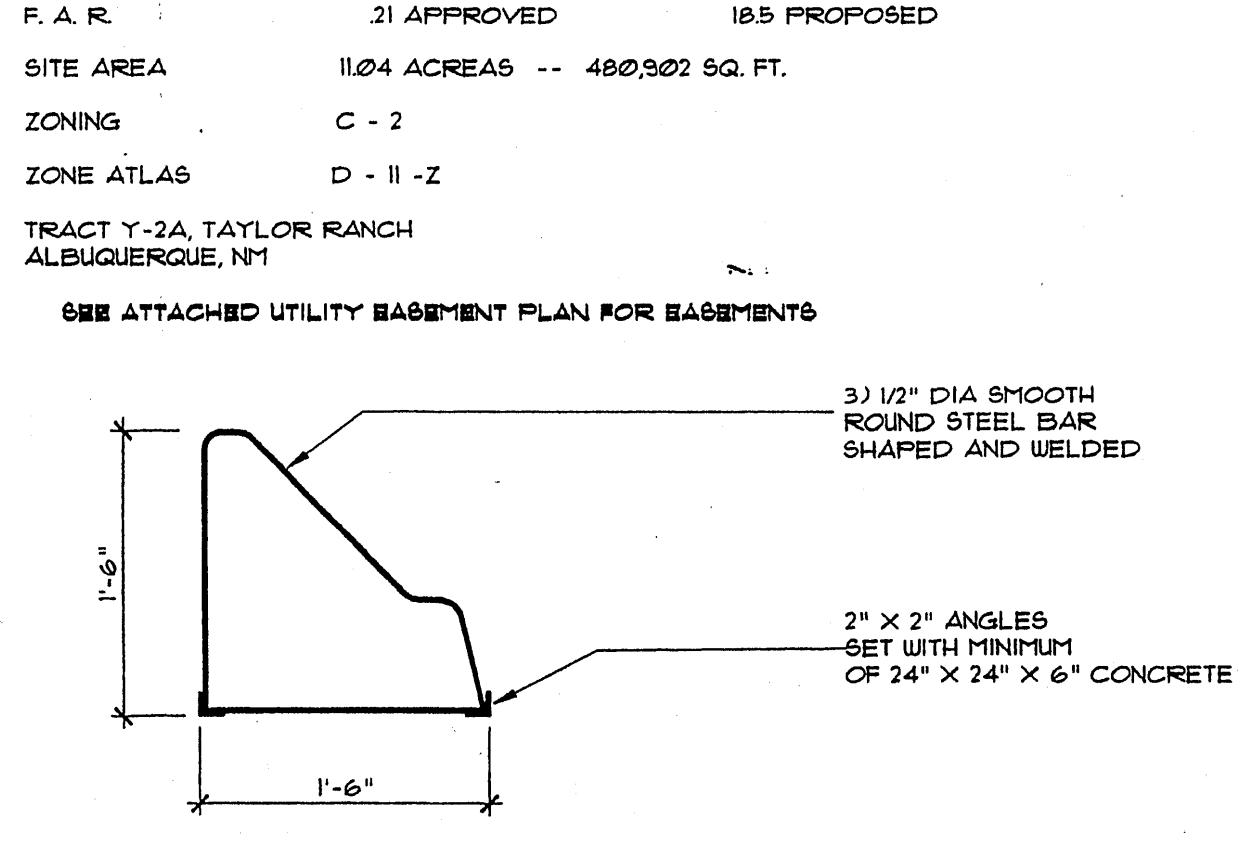
ORIGINAL SUBMISSION USES	APPROVED
RETAIL LEASE	420
MGR'S OFFICE/MAINT.	3
CLEANERS	11
BLAKE'S LOTBURGER	21
PADS	51
TOTAL	512
CREDIT (15%)	16
TOTAL REQUIRED	436
PROVIDED: FRONT	419 (16.8%)
REAR	164 (23.3%)
TOTAL	622
STD	515
SC	93
HC	16

THIS APPLICATION USES	PROPOSED
RETAIL LEASE	369
MGR'S OFFICE/MAINT.	4
CLEANERS	11
BLAKE'S LOTBURGER	31
PADS	20
TOTAL	441
CREDIT (15%)	67
TOTAL REQUIRED	380
PROVIDED: FRONT	431 (12.9%)
REAR	160 (21.1%)
TOTAL	591
STD	510
SC	63
HC	18

BUILDING - USE	APPROVED FLOOR AREA	PROPOSED FLOOR AREA
A - RETAIL LEASE	43,100 SQ. FT.	27,000 SQ. FT.
B - RETAIL LEASE	19,700 SQ. FT.	19,700 SQ. FT.
C - RETAIL LEASE	21,200 SQ. FT.	21,200 SQ. FT.
D - CLEANERS	2,400 SQ. FT.	2,120 SQ. FT.
E - BUILDING PAD	5,850 SQ. FT.	3,916 SQ. FT.
F - BLAKE'S	2,800 SQ. FT.	2,710 SQ. FT.
G - DAY-CARE	5,500 SQ. FT.	5,400 SQ. FT.
H - RETAIL LEASE	0	6,840 SQ. FT.
TOTALS	100,550 SQ. FT.	90,796 SQ. FT.

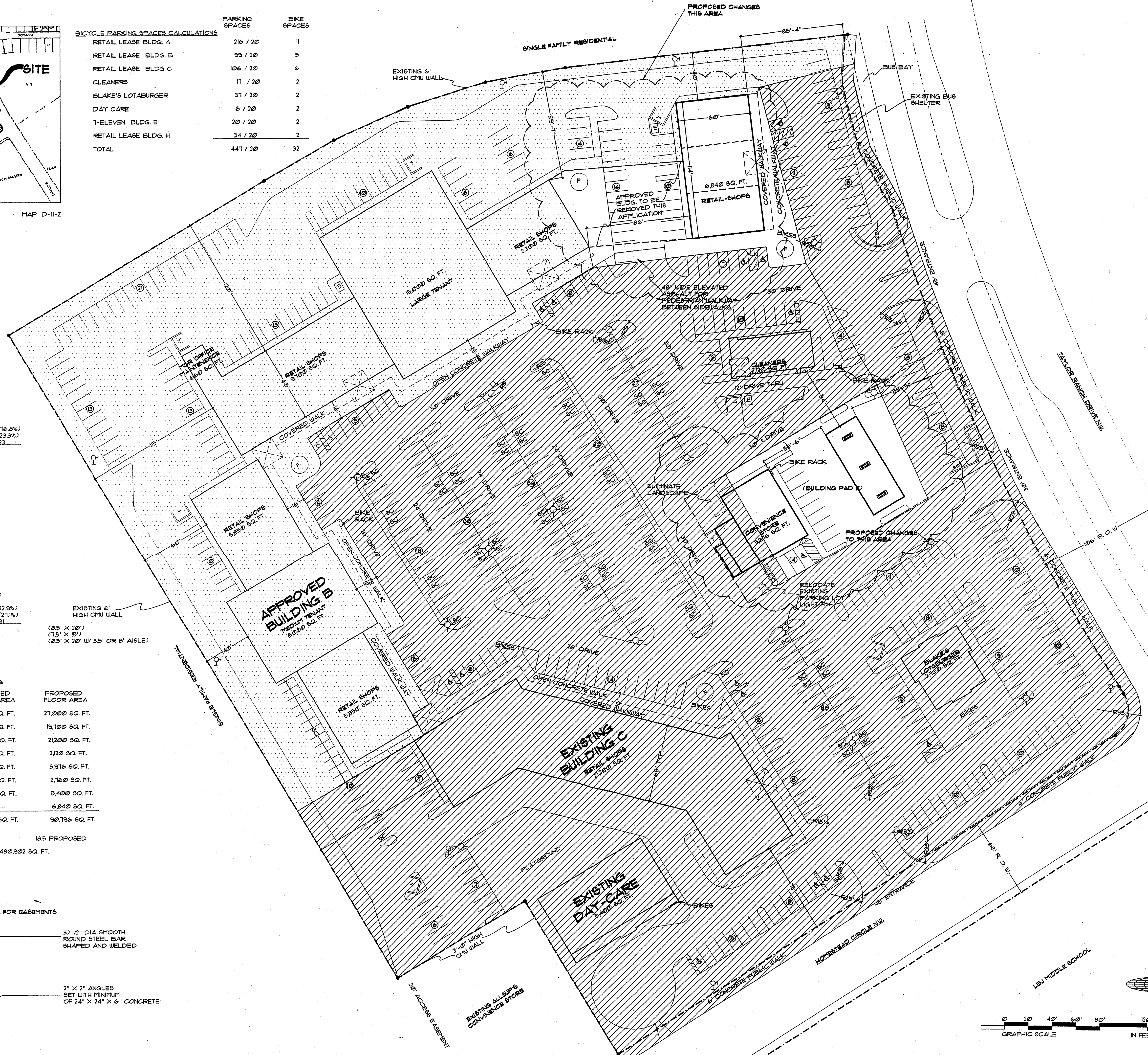
F.A.R.	21 APPROVED	18.5 PROPOSED
SITE AREA	11.04 ACRES	480,902 SQ. FT.
ZONING	C-2	
ZONE ATLAS	D-II-Z	

TRACT Y-2A, TAYLOR RANCH ALBUQUERQUE, NM



BIKE RACK DETAIL
SCALE: 1/4" = 1'-0"

USE	PARKING SPACES	BIKE SPACES
RETAIL LEASE BLDG. A	216 / 20	11
RETAIL LEASE BLDG. B	99 / 20	5
RETAIL LEASE BLDG. C	106 / 20	6
CLEANERS	11 / 20	2
BLAKE'S LOTBURGER	31 / 20	2
DAY CARE	6 / 20	2
T-ELEVEN BLDG. E	20 / 20	2
RETAIL LEASE BLDG. H	34 / 20	2
TOTAL	441 / 20	32



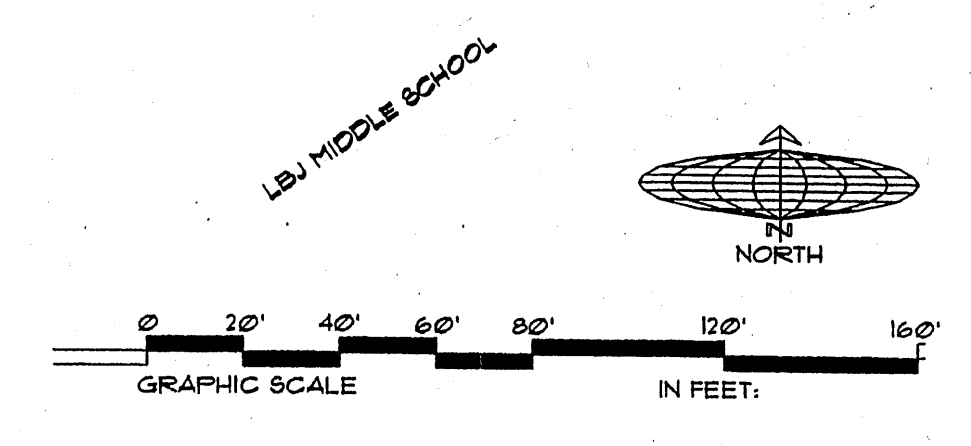
EXISTING v. PROPOSED v. APPROVED (UNBUILT)

- EXISTING BUILD-OUT (BUILDING - PARKING LOT - PAVING - PLANTERS - LANDSCAPE - WALKS AND LIGHTING)
- APPROVED -- TO BE BUILT IN FUTURE
- PROPOSED WITH THIS AMENDMENT

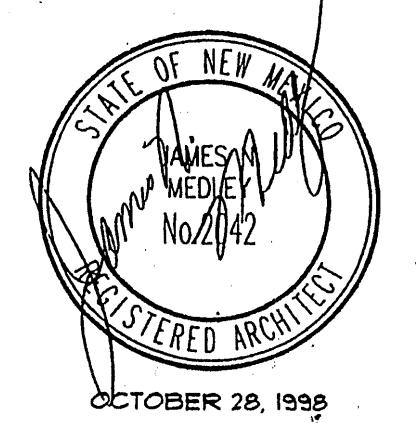
KEY

- T TRASH ENCLOSURE
- E ELECTRICAL TRANSFORMER
- F FOUNTAIN
- SC SMALL CAR PARKING 15' X 15'
- ⊕ HANDICAP PARKING 8.5' X 20' PLUS AISLE EITHER 3.5' OR 8' FOR VAN
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING 18" ELECTRIC POLE PARKING LOT LIGHT
- STANDARD PARKING SPACE 8.5' X 20'

REVISED SITE DEVELOPMENT PLAN



SITE PLAN
SCALE: 1/4" = 1'-0"



D:\Bike\138046\11-dss.dwg Mon Feb 22 09:20:32 1999 Prepared with computer using AutoCAD R14 by jmm

project no. **9846**
 sheet description: **REVISED SITE DEVELOPMENT PLAN**
 ARCHITECT: **JIM MEDLEY, Architect**
 LICENSE NO. 35895 Albuquerque, NM 87111
 3100 Christine N.E. Albuquerque, NM 87111
 Phone (505) 292-3514
 project: **HOMESTEAD HILLS SHOPPING CENTER**
 ALBUQUERQUE, NM
 TAYLOR RANCH
 Sheet of

CASE NUMBER: Z- 98-135

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

[Signature] **3-5-99**
 Traffic Engineer, Transportation Division Date

[Signature] **2-23-99**
 Design & Development, CIP Date

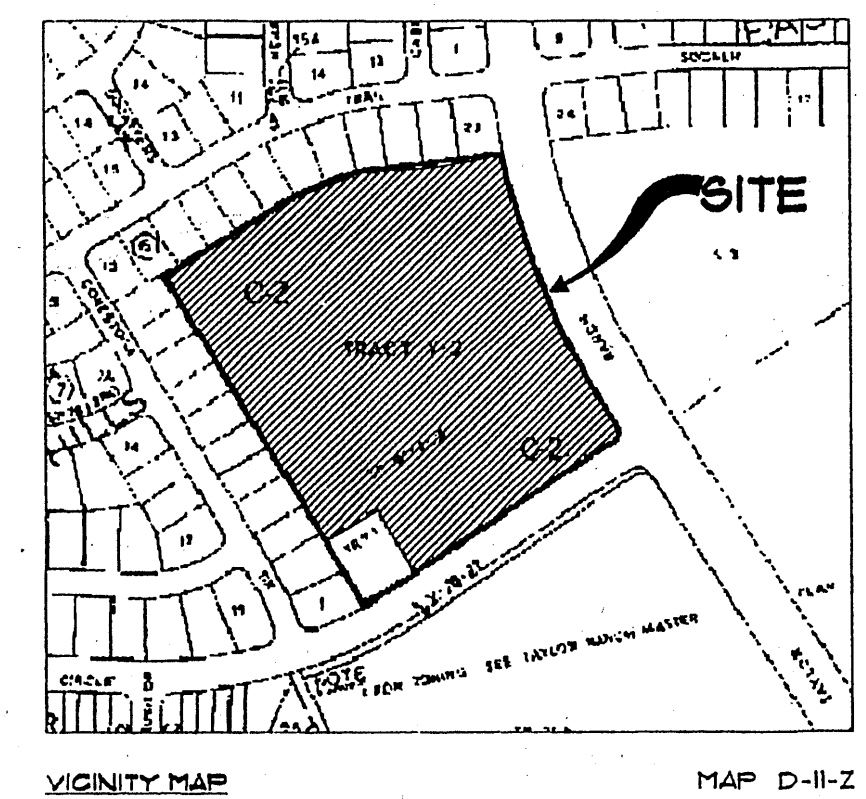
[Signature] **2-23-99**
 Public Works, Utilities Development Division Date

[Signature] **4-12-99**
 City Engineer, Engineering Division / AMAFCA Date

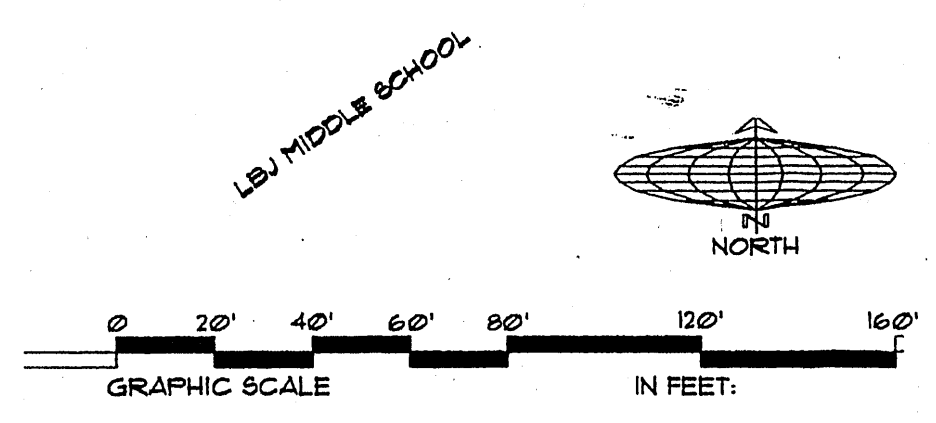
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

[Signature] **4/13/99**
 City Planner, Albuquerque Planning Department Date

PLN7, (10706) 4/96

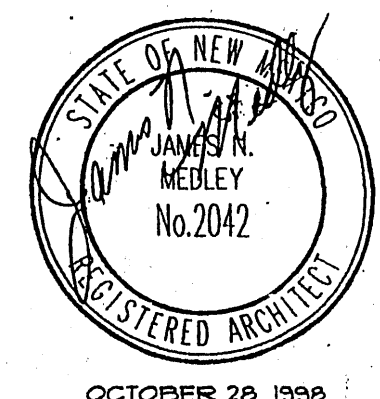


- KEY**
- T TRASH ENCLOSURE
 - E ELECTRICAL TRANSFORMER
 - F FOUNTAIN
 - SC SMALL CAR PARKING 7.5' x 15'
 - ♿ HANDICAP PARKING 8.5' x 20' PLUS AISLE EITHER 3.5' OR 8' FOR VAN
 - ⊕ EXISTING FIRE HYDRANT
 - ⊙ EXISTING 18" ± ELECTRIC POLE PARKING LOT LIGHT (ALL LIGHTING IS DOWN LIGHTING)
 - STANDARD PARKING SPACE 8.5' x 20'
 - 24' MINIMUM DRIVE



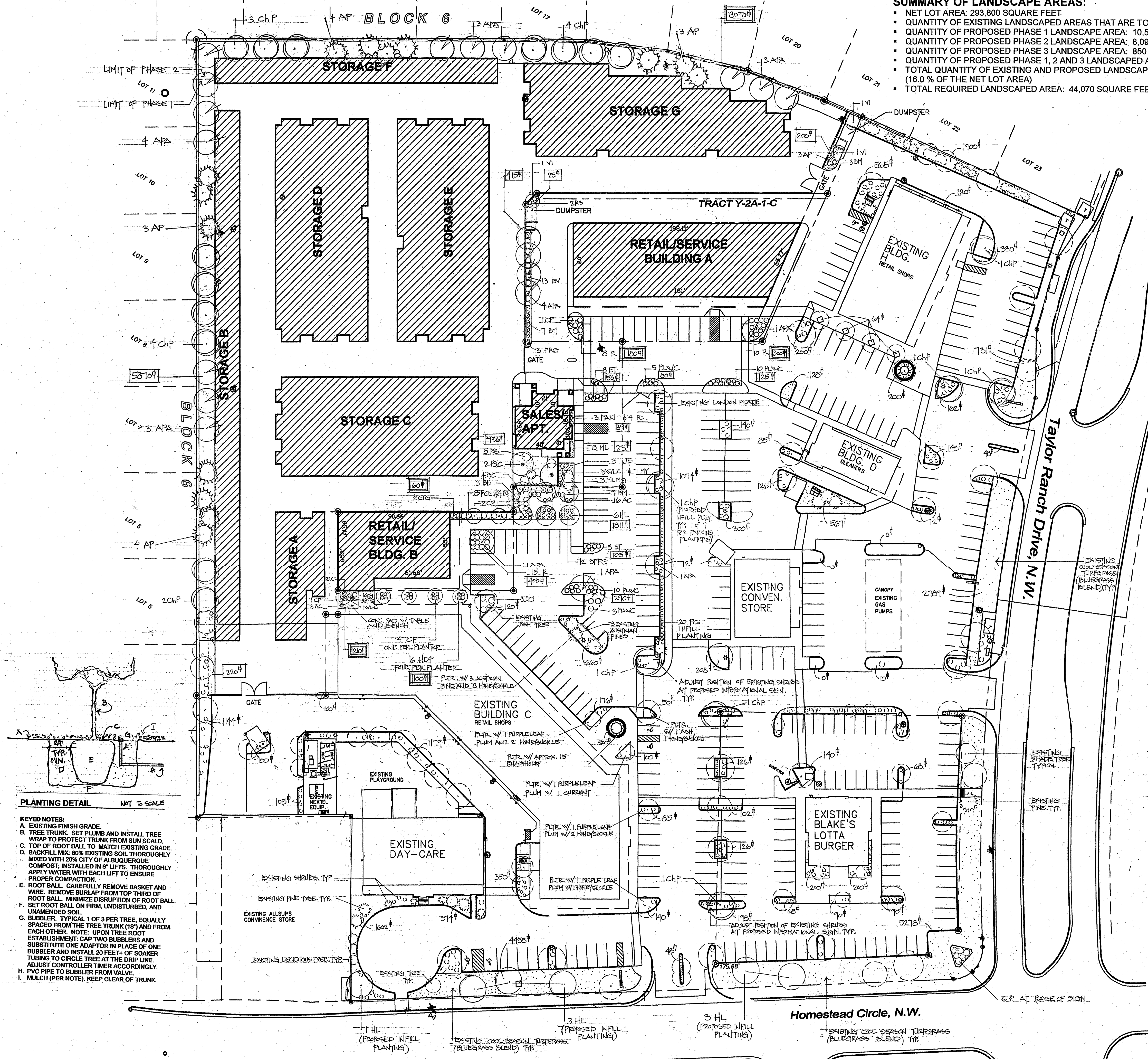
SITE DEVELOPMENT PLAN WITH PEDESTRIAN PATHWAYS

SITE PLAN
 SCALE 1" = 40'



OCTOBER 28, 1998

13:ace 3:5(3d)revis:5em:1.dwg Prepared using computer with AutoCAD R14 by jmm.



PLANTING DETAIL NOT TO SCALE

KEYED NOTES:

- EXISTING FINISH GRADE.
- TREE TRUNK. SET PLUMB AND INSTALL TREE WRAP TO PROTECT TRUNK FROM SUN SCALD.
- TOP OF ROOT BALL TO MATCH EXISTING GRADE.
- BACKFILL MIX: 80% EXISTING SOIL THOROUGHLY MIXED WITH 20% CITY OF ALBUQUERQUE COMPOST, INSTALLED IN 6" LIFTS. THOROUGHLY APPLY WATER WITH EACH LIFT TO ENSURE PROPER COMPACTION.
- ROOT BALL. CAREFULLY REMOVE BASKET AND WIRE. REMOVE BURLAP FROM TOP THIRD OF ROOT BALL. MINIMIZE DISRUPTION OF ROOT BALL. SET ROOT BALL ON FIRM, UNDISTURBED, AND UNAMENDED SOIL.
- BUBBLER. TYPICAL 1 OF 3 PER TREE, EQUALLY SPACED FROM THE TREE TRUNK (18") AND FROM EACH OTHER. NOTE: UPON TREE ROOT ESTABLISHMENT: CAP TWO BUBBLERS AND SUBSTITUTE ONE ADAPTOR IN PLACE OF ONE BUBBLER AND INSTALL 20 FEET+ OF SOAKER TUBING TO CIRCLE TREE AT THE DRIP LINE. ADJUST CONTROLLER TIMER ACCORDINGLY.
- PVC PIPE TO BUBBLER FROM VALVE.
- MULCH (PER NOTE). KEEP CLEAR OF TRUNK.

LANDSCAPE PLAN

SCALE: 1" = 40' - 0"

SUMMARY OF LANDSCAPE AREAS:

- NET LOT AREA: 293,800 SQUARE FEET
- QUANTITY OF EXISTING LANDSCAPED AREAS THAT ARE TO REMAIN: 27,650 SQUARE FEET
- QUANTITY OF PROPOSED PHASE 1 LANDSCAPE AREA: 10,560 SQUARE FEET
- QUANTITY OF PROPOSED PHASE 2 LANDSCAPE AREA: 8,090 SQUARE FEET
- QUANTITY OF PROPOSED PHASE 3 LANDSCAPE AREA: 850 SQUARE FEET
- QUANTITY OF PROPOSED PHASE 1, 2 AND 3 LANDSCAPED AREAS: 19,500 SQUARE FEET
- TOTAL QUANTITY OF EXISTING AND PROPOSED LANDSCAPED AREA: 47,150 SQUARE FEET (16.0% OF THE NET LOT AREA)
- TOTAL REQUIRED LANDSCAPED AREA: 44,070 SQUARE FEET.

PLANT MATERIAL LEGEND

TREES	SYMBOL	COMMON NAME	BOTANICAL NAME	APPROXIMATE QUANTITY	IRRIGATION	SIZE / NOTES
SHADEMASTER HONEY LOCUST	[Symbol]	GLIOSTYIA THRICANTHOS	12	1.0 GPH	2" CALIPER, B & B, SPREAD AT MATURITY	
CHINESE PISTACHE	[Symbol]	PISTACHIA CHINENSIS	20	1.0 GPH	2" CALIPER, B & B, SPREAD AT MATURITY	
ALFALFA PURPLE ASH	[Symbol]	FRAXINUS AMERICANA 'ALFALFA'	21	1.0 GPH	2" CALIPER, B & B, SPREAD AT MATURITY	
INDIAN SUMMER CRABAPPLE	[Symbol]	MALUS INDIAN SUMMER	2	1.0 GPH	2" CALIPER, B & B, SPREAD AT MATURITY	
AUSTRIAN BLACK PINE	[Symbol]	PRINUS NIGRA	14	1.0 GPH	2" CALIPER, B & B, SPREAD AT MATURITY	
VITEX - CHASTE TREE	[Symbol]	VITEX AGNUS-CASTUS	3	1.0 GPH	2" CALIPER, B & B, SPREAD AT MATURITY	
CHANTICLEER PEAR	[Symbol]	PIRUS CALLERYANA 'CHANTICLEER'	7	1.0 GPH	2" CALIPER, B & B, SPREAD AT MATURITY	

SHRUBS	SYMBOL	COMMON NAME	BOTANICAL NAME	APPROXIMATE QUANTITY	IRRIGATION	SIZE / NOTES
GOLDEN GUINEA	[Symbol]	KERRIA JAPONICA 'GOLDEN GUINEA'	6	1.2 GPH	5 GALLON CONTAINER, SPREAD: UP TO 6'	
JAPANESE KENRIA	[Symbol]	PHOTINA X FRASERI	6	1.2 GPH	5 GALLON CONTAINER, SPREAD: 10 TO 15'	
BURWOOD VIBURNUM	[Symbol]	VIBURNUM BURWOODII	13	1.2 GPH	5 GALLON CONTAINER, SPREAD: 4 TO 6'	
PINK DELIGHT BUTTERFLY BUSH	[Symbol]	BUDLOZIA DAVIDS 'PINK DELIGHT'	3	1.2 GPH	5 GALLON CONTAINER, SPREAD: UP TO 10'	
GOLDEN CURRANT	[Symbol]	RIBES AUREUM	4	1.2 GPH	5 GALLON CONTAINER, SPREAD: 3' 6" WIDE	
BLUE MIST SPIREA	[Symbol]	CARYOPHTERIS X CLAUDONENSIS 'DARK KNIGHT'	22	1.2 GPH	5 GALLON CONTAINER, SPREAD: 2' - 3' WIDE	
APACHE PLUME	[Symbol]	FALLUGIA PARADOXA	16	1.2 GPH	5 GALLON CONTAINER, SPREAD: 6' - 8'	
PERSIAN CUTLEAF LEAC	[Symbol]	PERSICIA SYRINCA LACINATA	8	1.2 GPH	5 GALLON CONTAINER, SPREAD: 9'	
PURPLE LEAF WINTER CREEPER	[Symbol]	EUONYMUS FORTUNEI	28	1.2 GPH	5 GALLON CONTAINER, SPREAD: 6' - 8'	
RUSSIAN SAGE	[Symbol]	PEROVSKIA ATROPURPUREA	2	1.2 GPH	5 GALLON CONTAINER, SPREAD: 9'	
ROSEMARY	[Symbol]	ROMARINUS OFFICINALIS 'ARP'	33	1.2 GPH	5 GALLON CONTAINER, SPREAD: UP TO 4'	
CRANBERRY COTONNEASTER	[Symbol]	COTONNEASTER APICULATUS	2	1.2 GPH	5 GALLON CONTAINER, SPREAD: UP TO 6'	
POWIS CASTLE SAGE	[Symbol]	ARTEMISIA X POWIS CASTLE	4	1.2 GPH	5 GALLON CONTAINER, SPREAD: UP TO 6'	

PERENNIALS	SYMBOL	COMMON NAME	BOTANICAL NAME	APPROXIMATE QUANTITY	IRRIGATION	SIZE / NOTES
WALKER'S LOW CATMINT	[Symbol]	REPETA X WALKERS LOW	6	1.1 GPH	1 GALLON CONTAINER, SPREAD: 18"	
MANSTEAD LAVENDER	[Symbol]	LAVANDULA ANGUSTIFOLIA 'MANSTEAD'	8	1.1 GPH	1 GALLON CONTAINER, SPREAD: 24"	
JUPITER'S BEARD	[Symbol]	CENTRANTHUS RUBER	3	1.1 GPH	1 GALLON CONTAINER, SPREAD: 3'	
PRAIRIE CONEFLOWER	[Symbol]	RATIBIDA COLUMMIFERA 'MEXICAN HAT'	20	1.1 GPH	1 GALLON CONTAINER, SPREAD: 18"	
MOONSHINE YARROW	[Symbol]	ACHILLEA X MOONSHINE	7	1.1 GPH	1 GALLON CONTAINER, SPREAD: 18"	
AGASTACHE CANA	[Symbol]	AGASTACHE CANA	19	1.1 GPH	1 GALLON CONTAINER, SPREAD: 18"	
HARDY DWARF PLUMBAGO	[Symbol]	CELATOSTOMA PLUMBAGINODES	24	1.1 GPH	1 GALLON CONTAINER, SPREADING: GROUND COVER	

GRASSES	SYMBOL	COMMON NAME	BOTANICAL NAME	APPROXIMATE QUANTITY	IRRIGATION	SIZE / NOTES
KARL FERSTER FEATHER FESCUE GRASS	[Symbol]	CALAMAGROSTIS X ACUTER 'KARL FERSTER'	3	1.0 GPH	1 GALLON CONTAINER	
BLACK FLOWERING FOXTAIL GRASS	[Symbol]	PENISSETUM ALOPECUROIDES	15	1.2 GPH	1 GALLON CONTAINER	
MAUDRY	[Symbol]	PANICUM VIRGATUM 'HEAVY METAL'	3	1.2 GPH	1 GALLON CONTAINER	
EL YORO MULCH GRASS	[Symbol]	MULLEBERGIA EMERSONII	17	1.1 GPH	1 GALLON CONTAINER, 3' X 3'	
MORNING LIGHT MAIDEN GRASS	[Symbol]	MISCANTHUS SINENSIS 'MORNING LIGHT'	3	1.2 GPH	1 GALLON CONTAINER	

LANDSCAPE NOTES:

PLANTING IMPROVEMENTS (TREES, SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS) ARE TO TAKE PLACE CONSISTENTLY WITH THE PLAN AT THE LEFT AND THE PLANT LEGEND ABOVE. PLANT MATERIAL SIZES SHALL BE THE MINIMUM SIZES INDICATED ON THE LEGEND.

ALL PLANTING IMPROVEMENTS SHALL BE IRRIGATED BY MEANS OF AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM FEATURING THE FOLLOWING ELEMENTS:

- TREES ARE TO BE WATERED BY MEANS OF PRESSURE COMPENSATING FIXED PERCIPITATION RATE BUBBLER HEADS.
- ALL OTHER PLANTINGS (SHRUBS, GRASSES AND PERENNIALS) ARE TO BE WATERED BY MEANS OF DRIP TYPE EMITTERS SECURED TO POLYETHYLENE TUBING.
- AN ELECTRICAL CONTROLLER SHALL OPERATE THE VALVES, RELEASING WATER TO THE BUBBLERS AND EMITTERS (AS APPLICABLE) IN A FULLY PROGRAMMABLE MANNER.

ALL PROPOSED PLANTING AREAS SHALL HAVE FILTER FABRIC THROUGHOUT COVERED WITH 3" TO 4" DEPTH OF 1" DIAMETER ROUND GREY GRAVEL MULCH THROUGHOUT TO MATCH EXISTING.

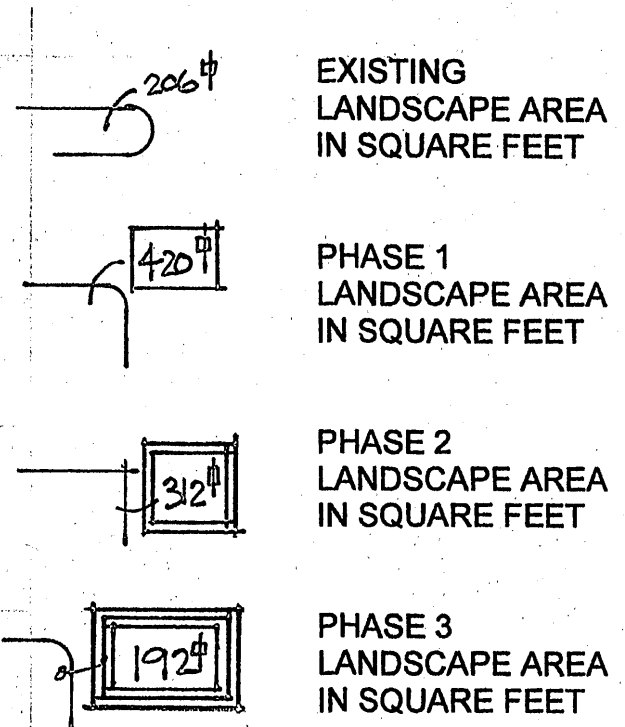
THE PROPERTY OWNER SHALL HAVE FULL RESPONSIBILITY FOR THE ONGOING MAINTENANCE OF THE PROPOSED PLANTING AND IRRIGATION IMPROVEMENTS. MAINTENANCE SHALL INCLUDE REMOVAL AND REPLACEMENT OF DEAD PLANT MATERIAL AND PLANT MATERIAL IN POOR CONDITION.

THE EXISTING TURFGRASS AREAS TYPICALLY FEATURE A COOL SEASON TYPE BLUEGRASS BLEND OF BLUEGRASS, FESCUE, AND RYE.

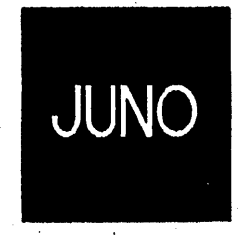
THE EXISTING TREES (LONDON PLANE, ASH, HONEY LOCUST, PEAR, PURPLE LEAF PLUM, PISTACHE, HAWTHORN, AND OTHER), EVERGREEN TREES (AUSTRIAN PINE, DEODAR CEDAR) AND SHRUBS THAT ARE TO REMAIN ARE PORTRAYED WITH DASHED SYMBOLS:

DECIDUOUS TREES: EVERGREEN TREES: SHRUBS:

LEGEND:



William S. Perkins, ASLA
Landscape Architect



7925 Bosque St. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 896-3438

TAYLOR RANCH STORAGE

LANDSCAPE PLAN

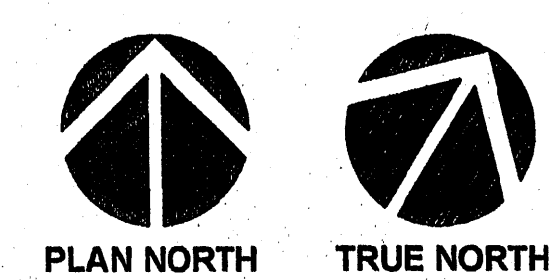
NO.	REVISION	DATE
1	ADD DETAIL/NOTES	8-9-2007
2	REVISE TREE PLANTING	9-7-2007
3	PLANTING REFINEMENTS	10-16-2007

ARCHITECT STAMP CONSULTANT STAMP DATE:



PROJECT NO. 0621
SHEET NO.

L1.1



1
L1.1