

SITE CRITERIA

PROJECT: TAYLOR RANCH STORAGE PHASE 3
 LOCATION: 6971 TAYLOR RANCH DR. NW
 OWNER: DAN RICH
 ARCHITECT: JUNO ARCHITECTS
 LEGAL DESCRIPTION: TRACTS Y-2A-A, Y-2A-B, Y-2A-C, & Y-2A-D, TAYLOR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 ZONING ATLAS MAP: D-11-Z
 CURRENT ZONING CLASSIFICATION: C-2 SC
 PROPOSED ZONING CLASSIFICATION: C-2 SC CONDITIONAL USE FOR STORAGE OF HOUSEHOLD GOODS AND A DWELLING UNIT.
 BUILDING TYPE: TYPE II-B, SPRINKLERED (STORAGE H); TYPE II-B NON-SPRINKLERED (STORAGE A ADDITION & STORAGE J)
 TOTAL BUILDING AREA:
 EXISTING RETAIL/SERVICE = 34136 SF
 EXISTING DAY-CARE = 5400 SF
 EXISTING FAST FOOD = 2780 SF
 EXISTING SALES = 1032 SF
 EXISTING DWELLING = 1642 SF
 EXISTING GARAGE = 456 SF
 EXISTING STORAGE = 69045 SF
 NEW STORAGE = 42128 SF
 NEW OFFICE = 1852 SF
 TOTAL = 158251 SF
 TOTAL LOT AREA: 10,1154 AC.
 TOTAL PARKING AREA:
 PARKING ANALYSIS:
 RETAIL/SERVICE: 15000 SF/200 = 75
 RETAIL/SERVICE: 20188 SF/250 = 81
 DAY-CARE: 5400 SF/500 + 2 = 13
 FAST FOOD: 1 SP/4 SEATS = 37
 OFFICE: 1852 SF/200 = 9
 DWELLING: 1 SPACE/BATH = 2
 STORAGE: 111173 SF/2000 = 56
 TOTAL = 273
 15% CREDIT = 40
 TOTAL REQUIRED = 233
 ACCESSIBLE PARKING (8 REQUIRED): 13 (PROVIDED)
 MOTORCYCLE PARKING (5 REQUIRED): 6 (PROVIDED)
 TOTAL PARKING PROVIDED = 340
 PARKING SPACE SIZES:
 REGULAR 8'-6" X 20'-0" MIN.
 ACCESSIBLE 8'-6" X 20'-0" + 8' ISLE MIN.
 MOTORCYCLE 4' X 8' MIN.
 REQUIRED BICYCLE SPACES: 1 SPACE/20 PARKING SP. = 15
 NUMBER OF STORAGE UNITS: 585 EXISTING + 356 NEW = 942
 MAXIMUM BUILDING HEIGHT: AS ALLOWED BY C-2 ZONING
 MINIMUM BUILDING SETBACK: AS ALLOWED BY C-2 ZONING
 MAXIMUM TOTAL DWELLING UNITS: 1
 MAXIMUM FLOOR AREA RATIO (F.A.R.): .3

LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING FIRE HYDRANT
- FIRE TRUCK TURNING RADIUS
- EXISTING 30' HIGH POLE LIGHT TO REMAIN UNLESS OTHERWISE NOTED
- BUILDING MOUNTED LIGHT FIXTURE (7'-6" A.F.F. TO BOTTOM)
- VEHICLE ACCESS.
- 4'x8' MIN. MOTORCYCLE PARKING SPACE W/12' X 18' SIGN. BOTTOM OF SIGN SHALL HAVE ITS LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE.

PROJECT NUMBER: 1002776

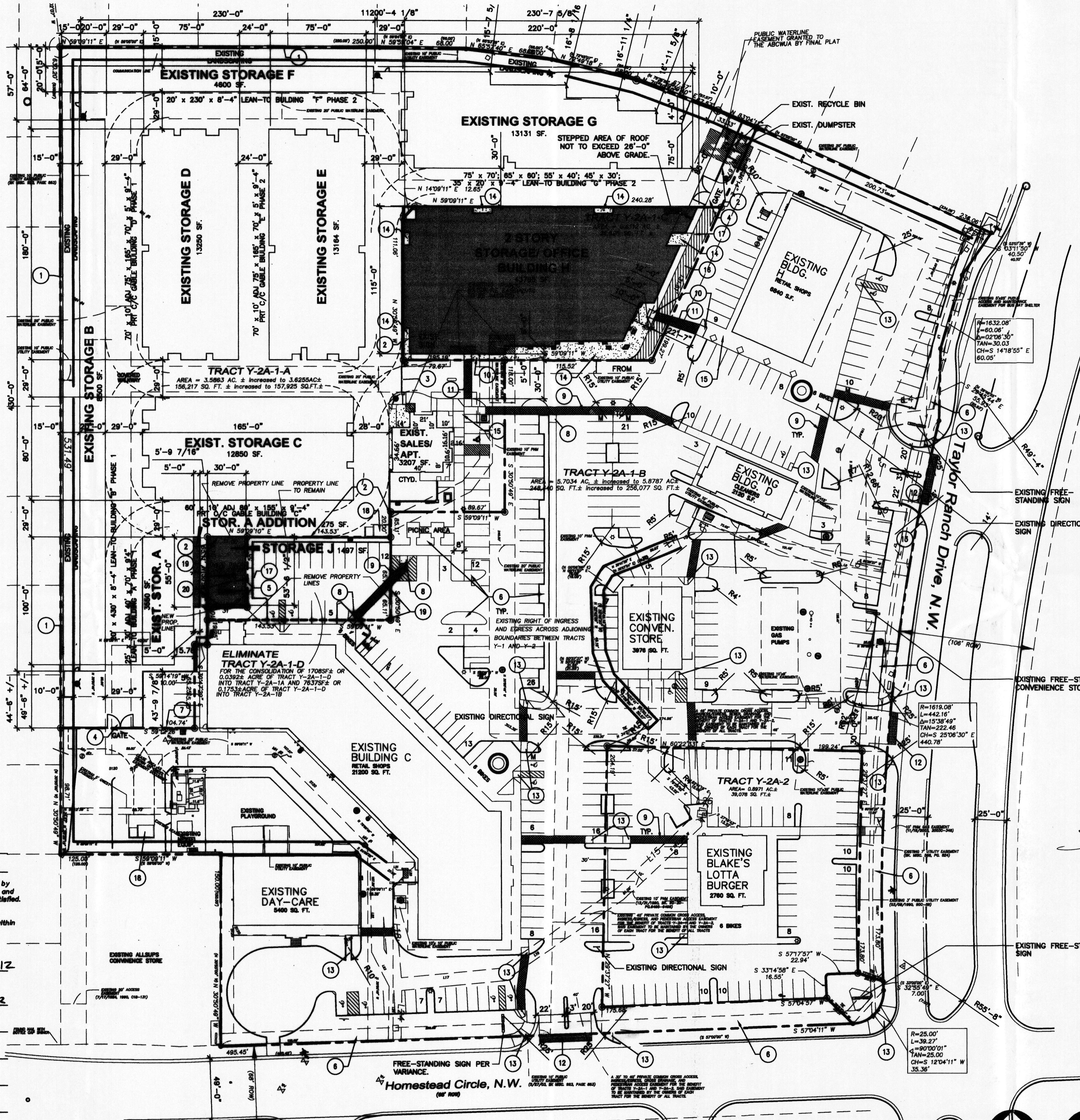
APPROVALS

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated Aug 3, 2012, and the Findings and Conditions in the Official Notification of Decision are satisfied.

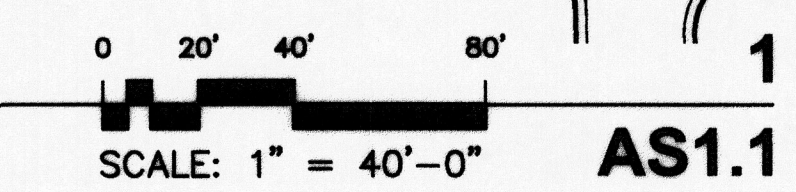
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE: 12-26-12
<i>Alan Pata</i>	DATE: 12/28/12
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	DATE: 11-28-12
<i>Carl S. Dumont</i>	DATE: 11-28-12
PARKS AND RECREATION DEPARTMENT	DATE: 11-28-12
<i>Ant. C. Chua</i>	DATE: 11-28-12
CITY ENGINEER	DATE: 11/27/12
<i>NA</i>	DATE: 11/27/12
* ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE: 11/27/12
<i>David...</i> 681-2767	DATE: 11/27/12
SOLID WASTE MANAGEMENT	DATE: 2-13-13
<i>Paul...</i>	DATE: 2-13-13
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE: 2-13-13



ARCHITECTURAL SITE PLAN



KEYED NOTES

- 1 EXISTING CMU WALL, 8'-0" TO 9'-7" HIGH ON RESIDENTIAL SIDE AND 4'-6" TO 5'-10" HIGH ON COMMERCIAL SIDE.
- 2 EXISTING 7'-8" H. CMU WALL WITH DECORATIVE STUCCO AND BRICK SOLDIER COURSE BANDING AT TOP TO MATCH EXISTING BUILDING WALLS.
- 3 EXISTING 7' H X 16' W AUTOMATIC GATE W/ ADDITIONAL 7' H X 4' W MANUAL GATE (20' TOTAL WIDTH) W/KNOX-BOX FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 4 EXISTING DOUBLE 7' H X 10' W MANUAL GATES W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 5 7'-8" H. CMU WALL WITH DECORATIVE STUCCO AND BRICK SOLDIER COURSE BANDING AT TOP TO MATCH EXISTING BUILDING WALLS.
- 6 EXISTING LANDSCAPING.
- 7 EXISTING 6' HIGH CHAINLINK FENCE & GATE W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 8 EXISTING 6' WIDE MIN. RAMP W/1:12 MAX. SLOPE & 1:10 MAX. FLARED SIDES WHERE SHOWN.
- 9 EXISTING 6' WIDE PEDESTRIAN WALKWAY W/COLORED CONCRETE.
- 10 6' WIDE MIN. RAMP W/1:12 MAX. SLOPE & 1:10 MAX. FLARED SIDES WHERE SHOWN.
- 11 6' WIDE PEDESTRIAN WALKWAY W/COLORED CONCRETE.
- 12 EXISTING 6' WIDE PEDESTRIAN PATHWAY OF TEXTURED, COLORED CONCRETE ACROSS VEHICLE ENTRANCES ON TAYLOR RANCH ROAD AND HOMESTEAD CIRCLE.
- 13 EXIST. 3' WIDE MIN. RAMP W/1:12 MAX. SLOPE & 1:10 MAX. FLARED SIDES (1:12 WHERE TOP LANDING IS LESS THAN 48") WHERE SHOWN.
- 14 CONCRETE SIDEWALK.
- 15 EXISTING CONCRETE SIDEWALK.
- 16 ASPHALT PAVING.
- 17 CONCRETE CURB.
- 18 EXISTING TRASH AND RECYCLE ENCLOSURE.
- 19 EXISTING PROPERTY LINE TO BE REMOVED.
- 20 NEW PROPERTY LINE.

VICINITY MAP

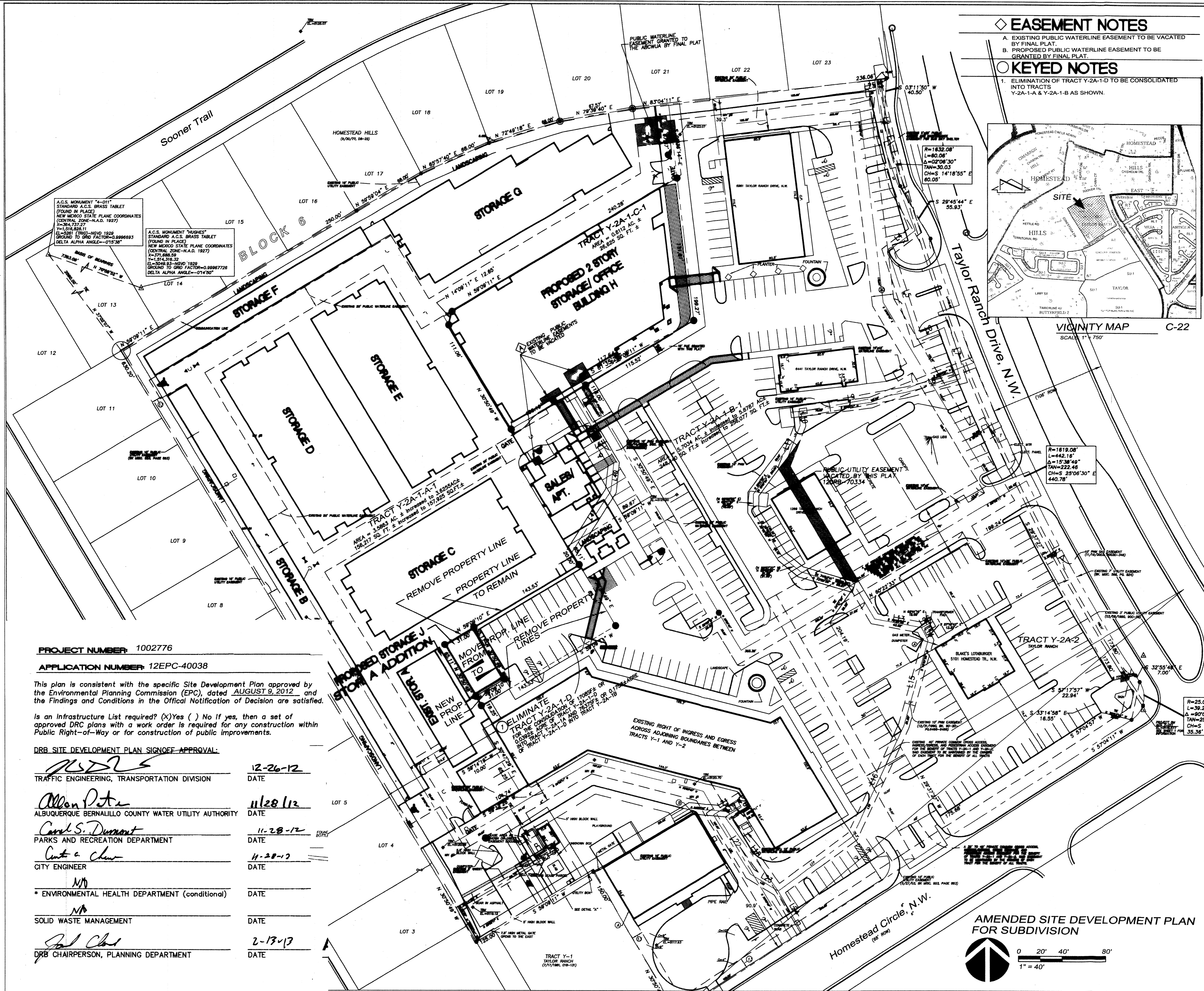


AGIS logo and project information: D-11-Z, May approved through: 9/12/2007

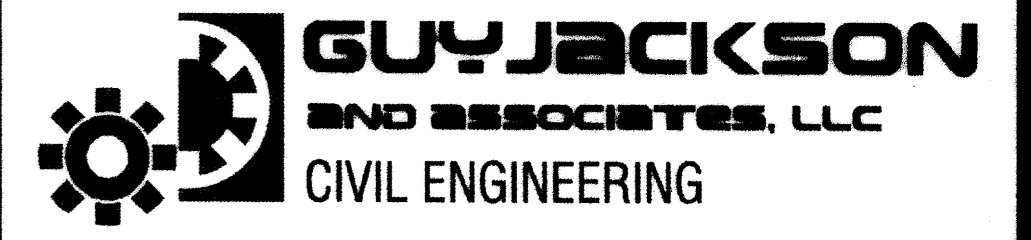
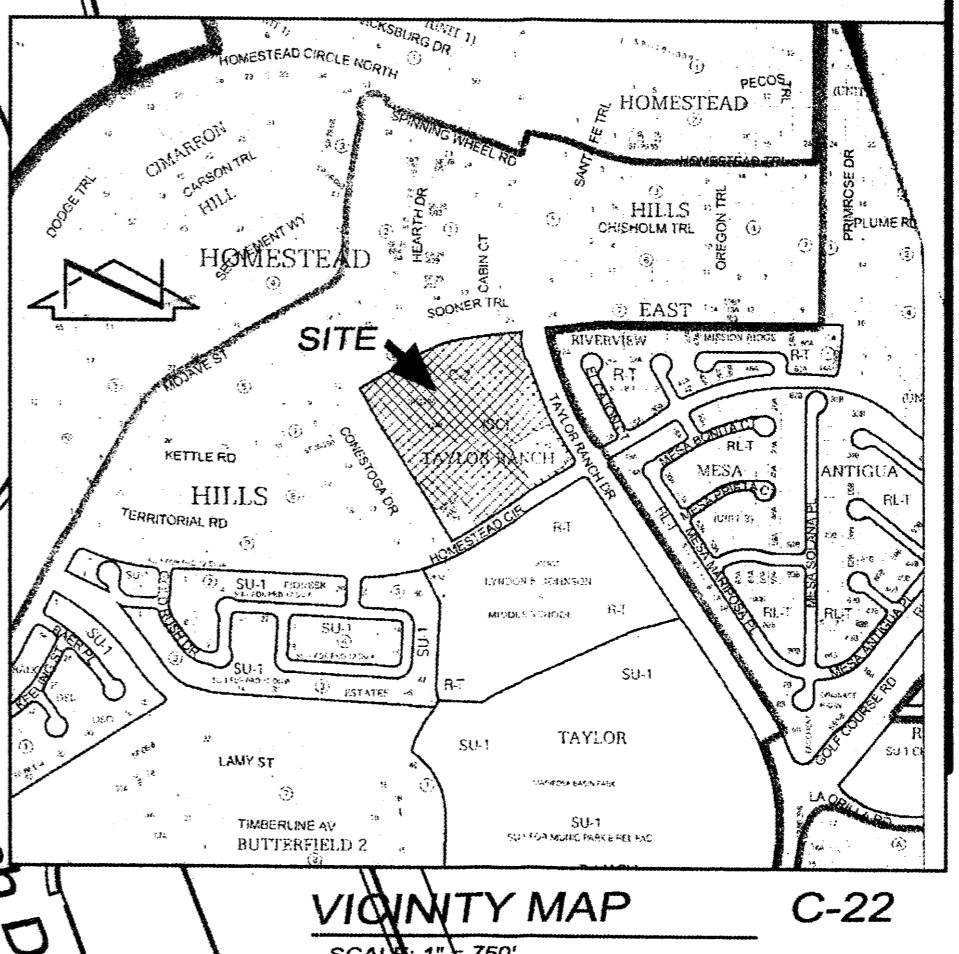
JUNO ARCHITECTS logo and contact information: 7925 Bosque St. NW, Albuquerque, NM 87114. Ph. (505) 892-8453 Fax. (505) 890-1736

PROJECT: TAYLOR RANCH SELF STORAGE BUILDINGS 'H', 'J' & 'A' ADDITION
 SHEET TITLE: AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 NO. REVISION DATE

ARCHITECT STAMP: KEVIN JUNO No. 1603
 CONSULTANT STAMP
 DATE: 11-13-12
 PROJECT NO. 0923
 SHEET NO. AS1.1



- EASEMENT NOTES**
- EXISTING PUBLIC WATERLINE EASEMENT TO BE VACATED BY FINAL PLAT.
 - PROPOSED PUBLIC WATERLINE EASEMENT TO BE GRANTED BY FINAL PLAT.
- KEYED NOTES**
- ELIMINATION OF TRACT Y-2A-1-D TO BE CONSOLIDATED INTO TRACTS Y-2A-1-A & Y-2A-1-B AS SHOWN.



SITE CRITERIA

PROJECT: TAYLOR RANCH STORAGE PHASE 3
 LOCATION: 1971 TAYLOR RANCH DR. NW
 OWNER: DAN RICH
 ARCHITECT: JUNO ARCHITECTS
 LEGAL DESCRIPTION: TRACTS Y-2A-A, Y-2A-B, Y-2A-C, & Y-2A-D, TAYLOR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
 ZONING ATLAS MAP: D-11-2
 CURRENT ZONING CLASSIFICATION: C-2 SC
 PROPOSED ZONING CLASSIFICATION: C-2 SC CONDITIONAL USE FOR STORAGE OF HOUSEHOLD GOODS AND A DWELLING UNIT.
 BUILDING TYPE: TYPE II-B, SPRINKLERED (STORAGE H); TYPE II-B NON-SPRINKLERED (STORAGE A ADDITION & STORAGE J)

TOTAL BUILDING AREA:

EXISTING RETAIL/SERVICE	=	34136 SF
EXISTING DAY-CARE	=	5400 SF
EXISTING FAST FOOD	=	2780 SF
EXISTING SALES	=	1032 SF
EXISTING DWELLING	=	1642 SF
EXISTING GARAGE	=	456 SF
EXISTING STORAGE	=	69045 SF
NEW STORAGE	=	42128 SF
NEW OFFICE	=	1652 SF
TOTAL	=	158251 SF

TOTAL LOT AREA: 10,1154 AC.
TOTAL PARKING AREA: 273
PARKING ANALYSIS:

RETAIL/SERVICE:	15000 SF/200	=	75
RETAIL/SERVICE:	20166 SF/250	=	81
DAY-CARE:	5400 SF/500 + 2	=	13
FAST FOOD:	1 SP/4 SEATS	=	37
OFFICE:	1652 SF/200	=	9
DWELLING:	1 SPACE/BATH	=	2
STORAGE:	111173 SF/2000	=	56
TOTAL			273
15% CREDIT			40
TOTAL REQUIRED			233
ACCESSIBLE PARKING (8 REQUIRED):			13 (PROVIDED)
MOTORCYCLE PARKING (5 REQUIRED):			6 (PROVIDED)
TOTAL PARKING PROVIDED			340

PARKING SPACE SIZES:
 REGULAR 8'-8" X 20'-0" MIN.
 ACCESSIBLE 8'-8" X 20'-0" + 8' ISLE MIN.
 MOTORCYCLE 4' X 8' MIN.
 REQUIRED BICYCLE SPACES: 1 SPACE/20 PARKING SP. = 15
 NUMBER OF STORAGE UNITS: 565 EXISTING + 356 NEW = 942
 MAXIMUM BUILDING HEIGHT: AS ALLOWED BY C-2 ZONING
 MINIMUM BUILDING SETBACK: AS ALLOWED BY C-2 ZONING
 MAXIMUM TOTAL DWELLING UNITS:
 MAXIMUM FLOOR AREA RATIO (F.A.R.): .3

TRACT LEGEND

(TO BE ELIMINATED)
 TRACT Y-2A-1-A-1 FOR THE CONSOLIDATION OF TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, Y-2A-1-D AND TRACT Y-2A-1-B INTO TRACT Y-2A-1-A AND TRACT Y-2A-1-B
 AREA = 3,586.3 AC. ± INCREASED TO 3,625.8 AC. ±
 156,217 SQ. FT. ± INCREASED TO 157,825 SQ. FT. ±
 TRACT Y-2A-1-B-1
 AREA = 5,703.6 AC. INCREASED TO 5,876.7 AC. ±
 248,440 SQ. FT. ± INCREASED TO 256,077 SQ. FT. ±
 TRACT Y-2A-1-C-1
 AREA = 0.6112 AC. ± UNCHANGED
 26,625 SQ. FT. ± UNCHANGED
 TRACT Y-2A-1-D
 AREA = 17,085.9 AC. ± INCREASED TO 17,085.9 AC. ±
 738,216 SQ. FT. ± INCREASED TO 738,216 SQ. FT. ±
 TRACT Y-2A-2
 NOT PART OF THIS PROJECT

PROJECT NUMBER: 1002776
APPLICATION NUMBER: 12EPC-40038

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated AUGUST 9, 2012 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X)Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	12-26-12
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	11-28-12
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	DATE
<i>[Signature]</i>	11-28-12
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	11-28-12
CITY ENGINEER	DATE
<i>[Signature]</i>	DATE
* ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
<i>[Signature]</i>	DATE
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	2-13-13
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

REV.	DESCRIPTION	DATE

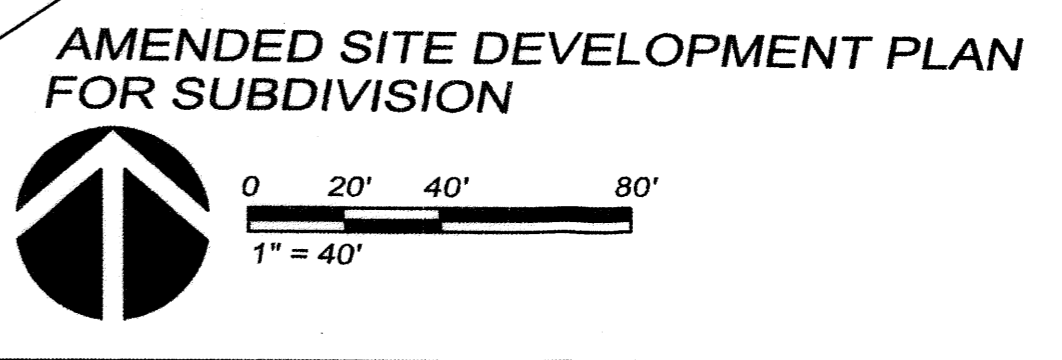
	ARCHITECT
ENGINEER	ARCHITECT

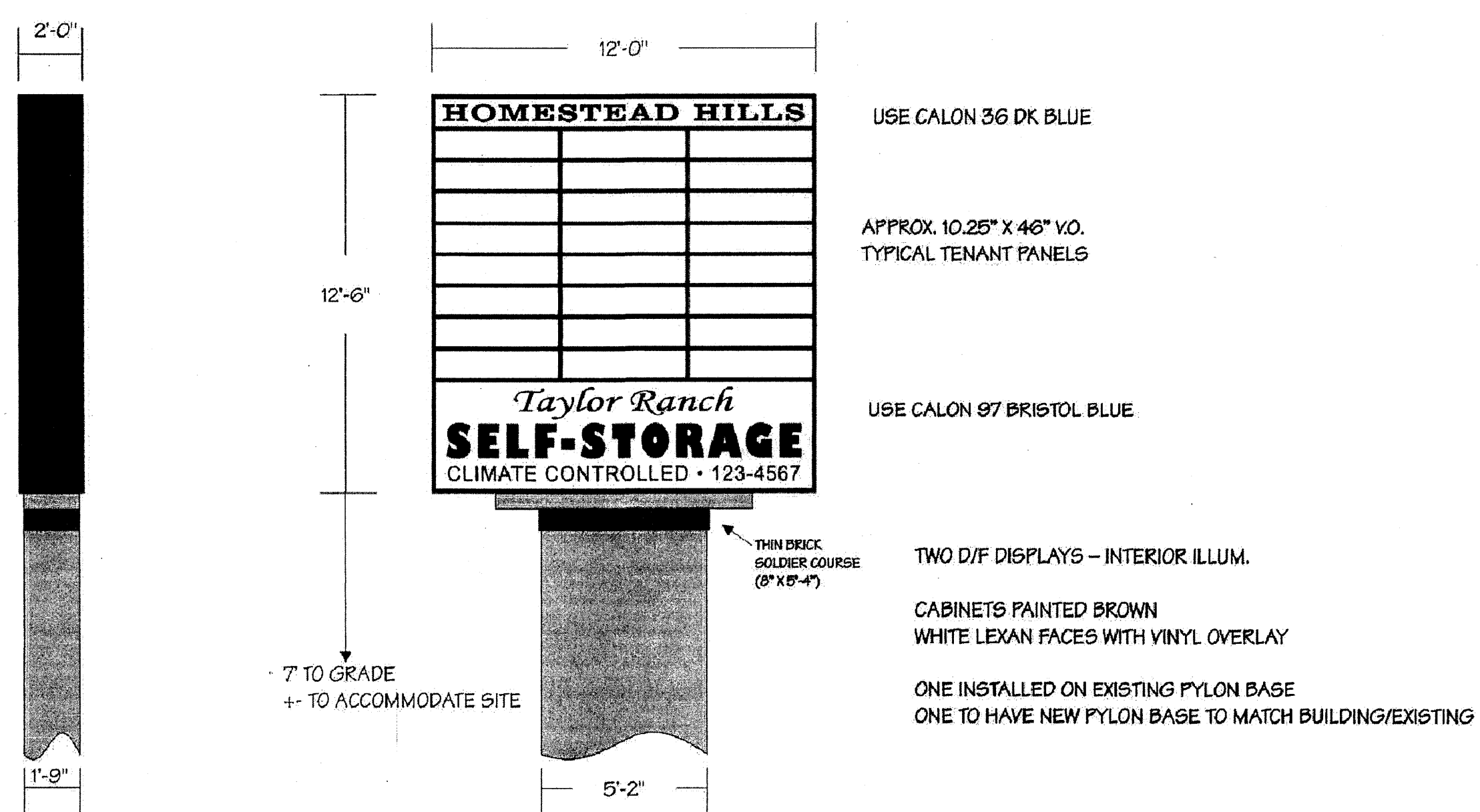
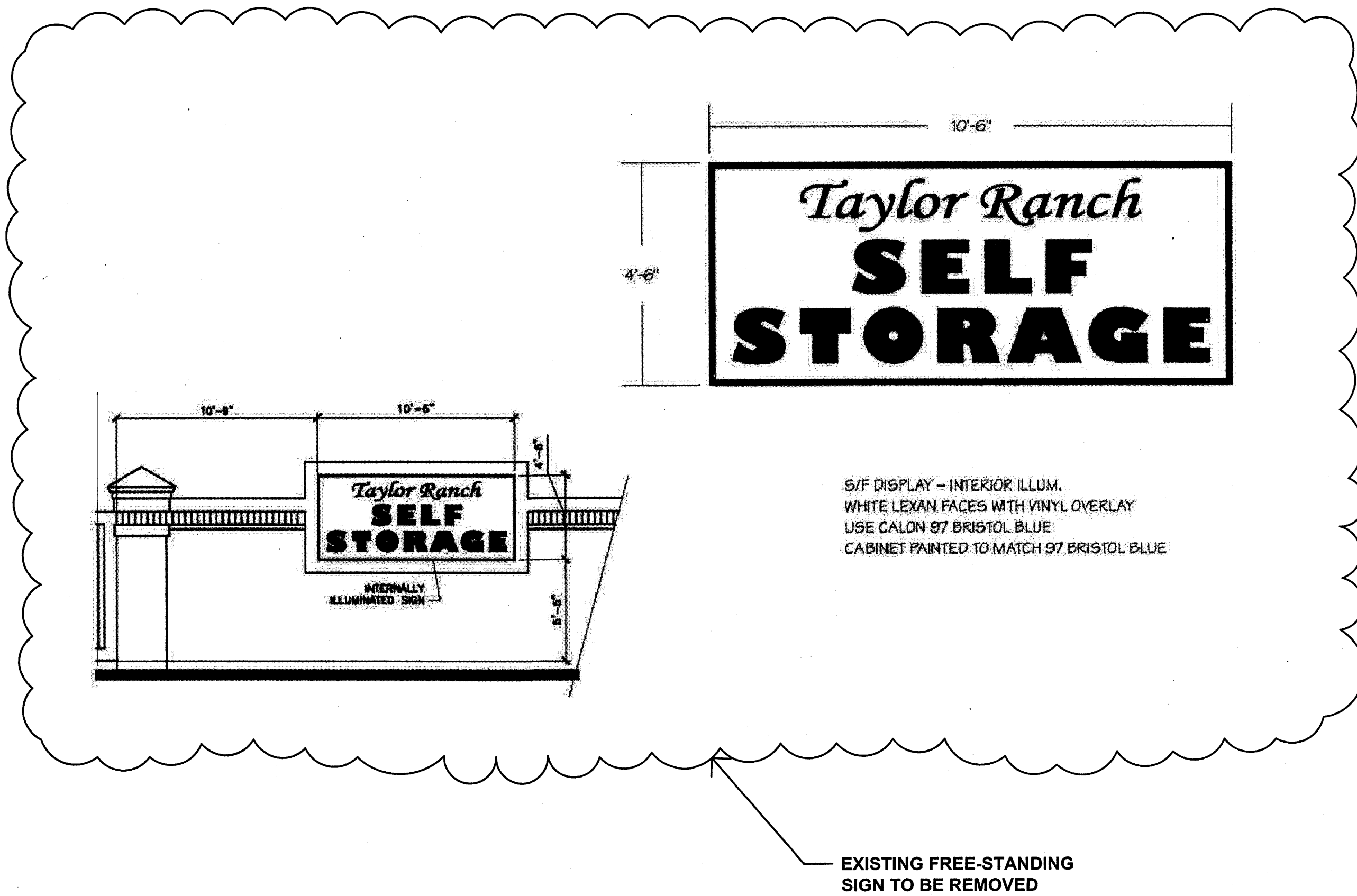
Taylor Ranch Self Storage Buildings 'H', 'J' & 'A' Addition

PROJECT NO. _____ DATE 7/25/2012

AMENDED SITE PLAN FOR SUBDIVISION

DRAWING NO. **AS1.2**





EXISTING FREE-STANDING SIGN AT SELF-STORAGE GATE (TO BE REMOVED)

4 EXISTING FREE-STANDING SIGN AT TAYLOR RANCH DR. & HOMESTEAD CIRCLE AS3.1

2 EXISTING FREE-STANDING SIGN AT TAYLOR RANCH DR. & HOMESTEAD CIRCLE AS3.1

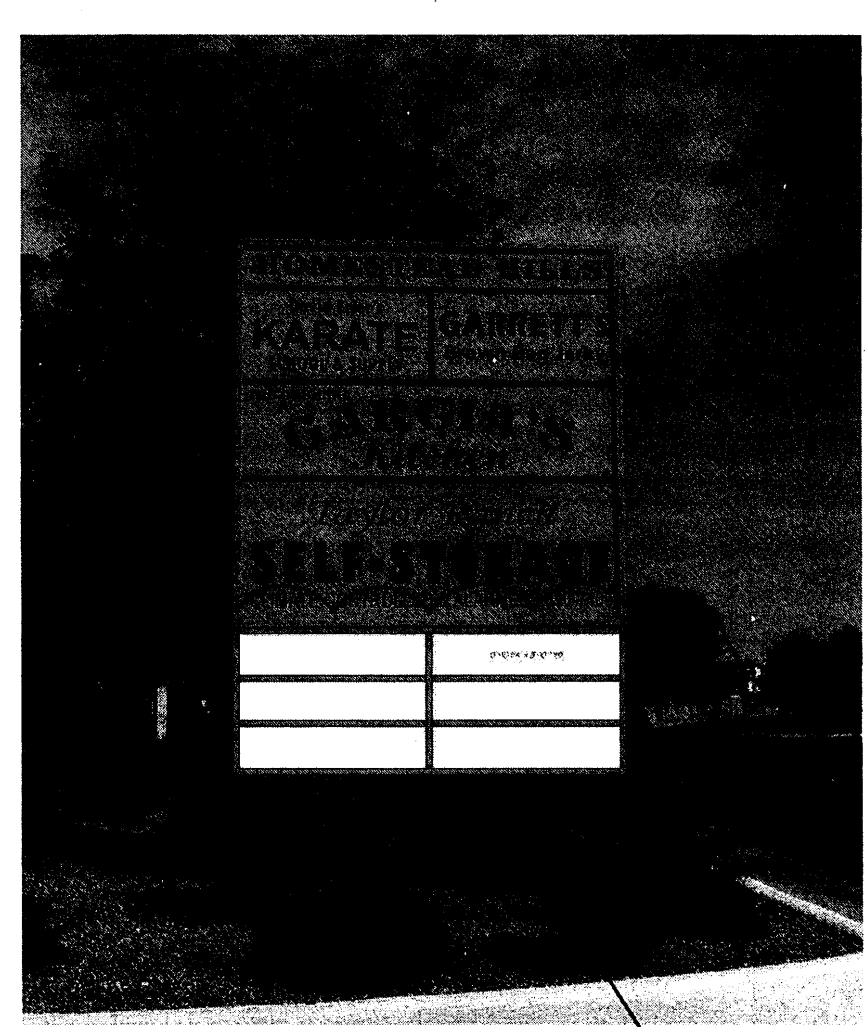
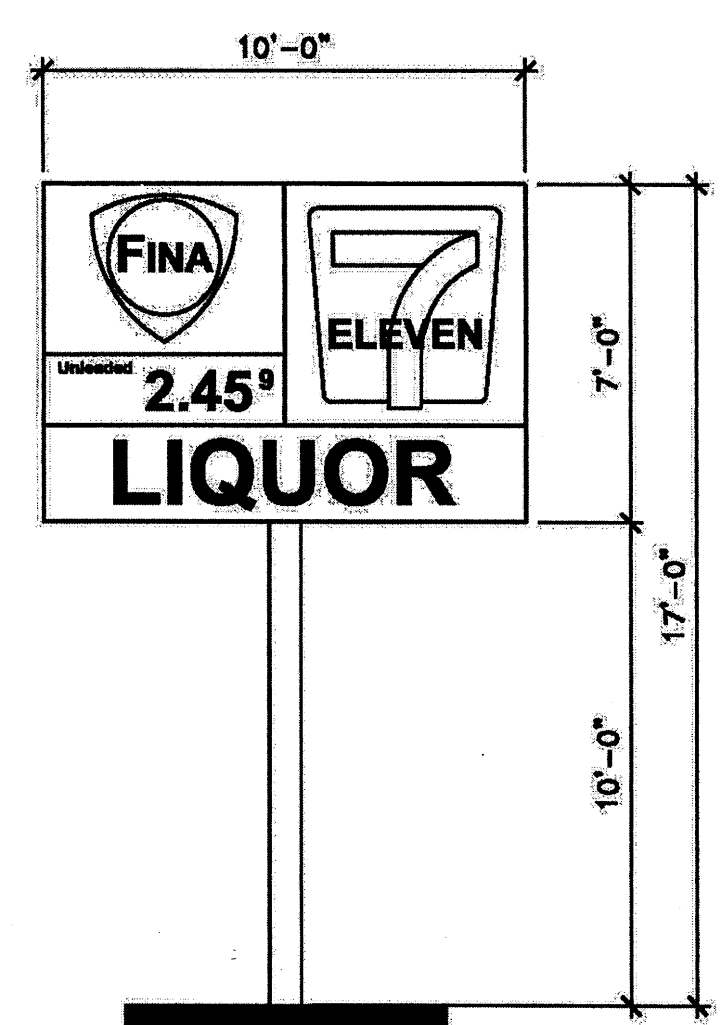
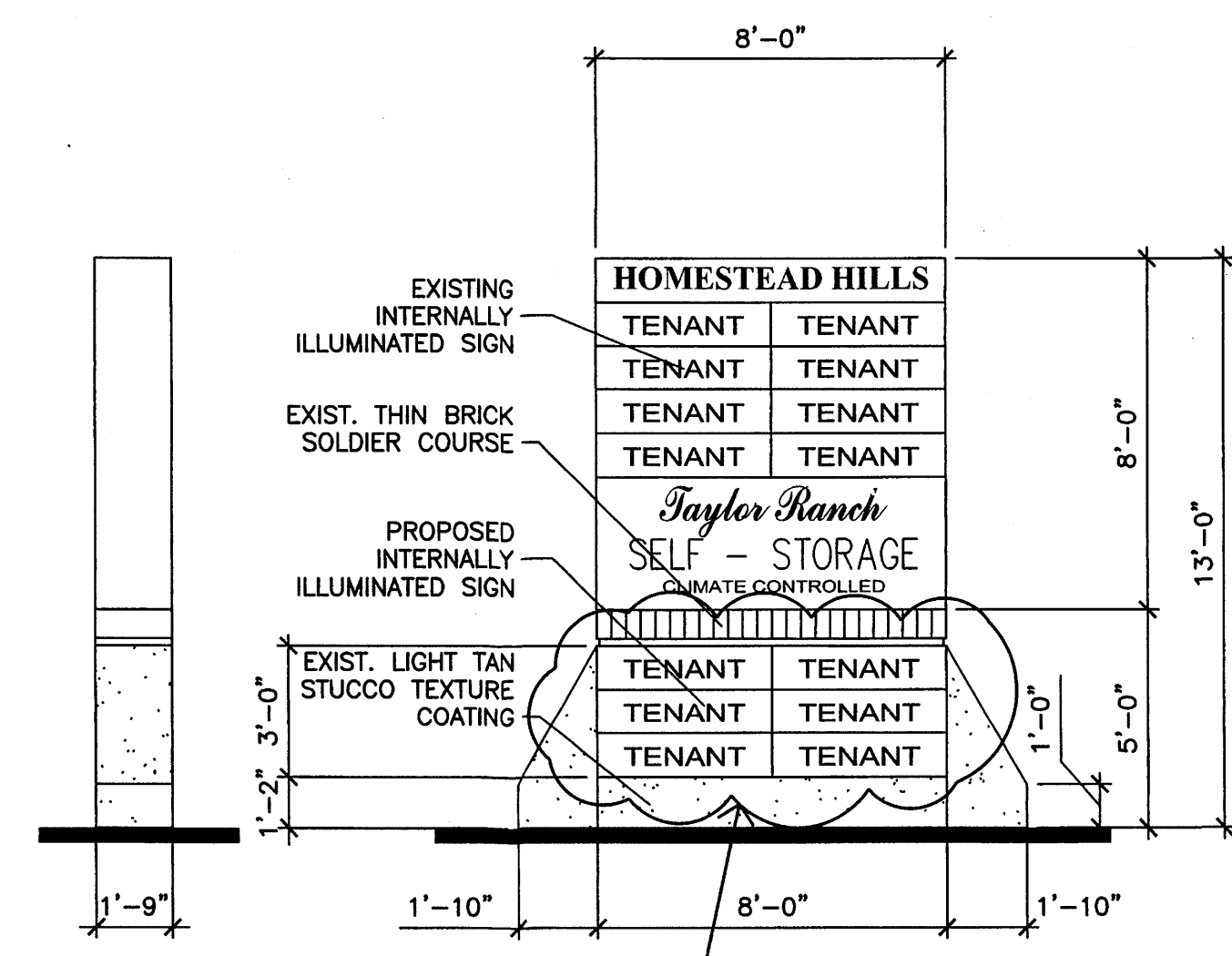


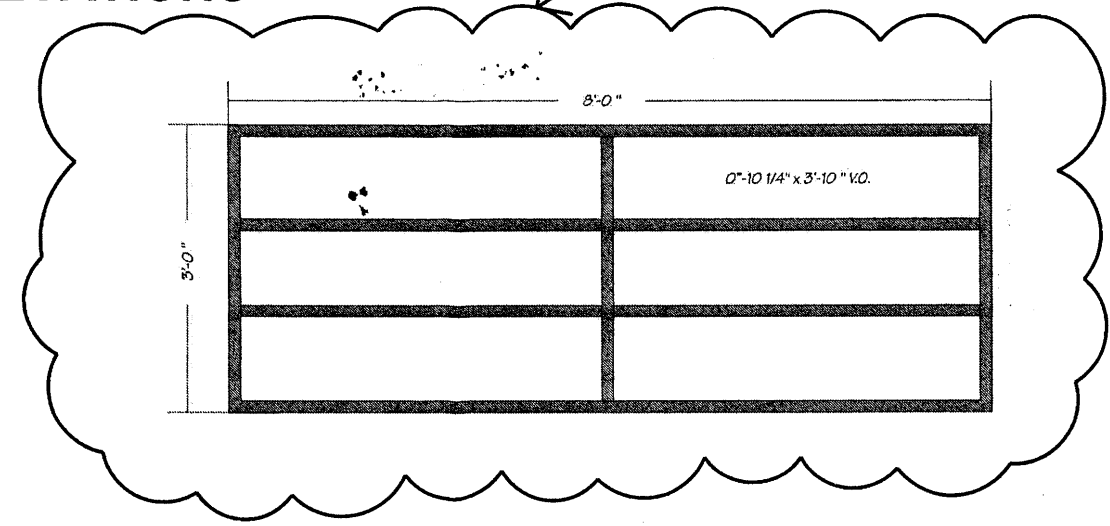
PHOTO REPRESENTATION

PROPOSED FREE-STANDING SIGN AREA INCREASE



ELEVATIONS

PROPOSED FREE-STANDING SIGN AREA INCREASE



SIGN CABINET ELEVATION

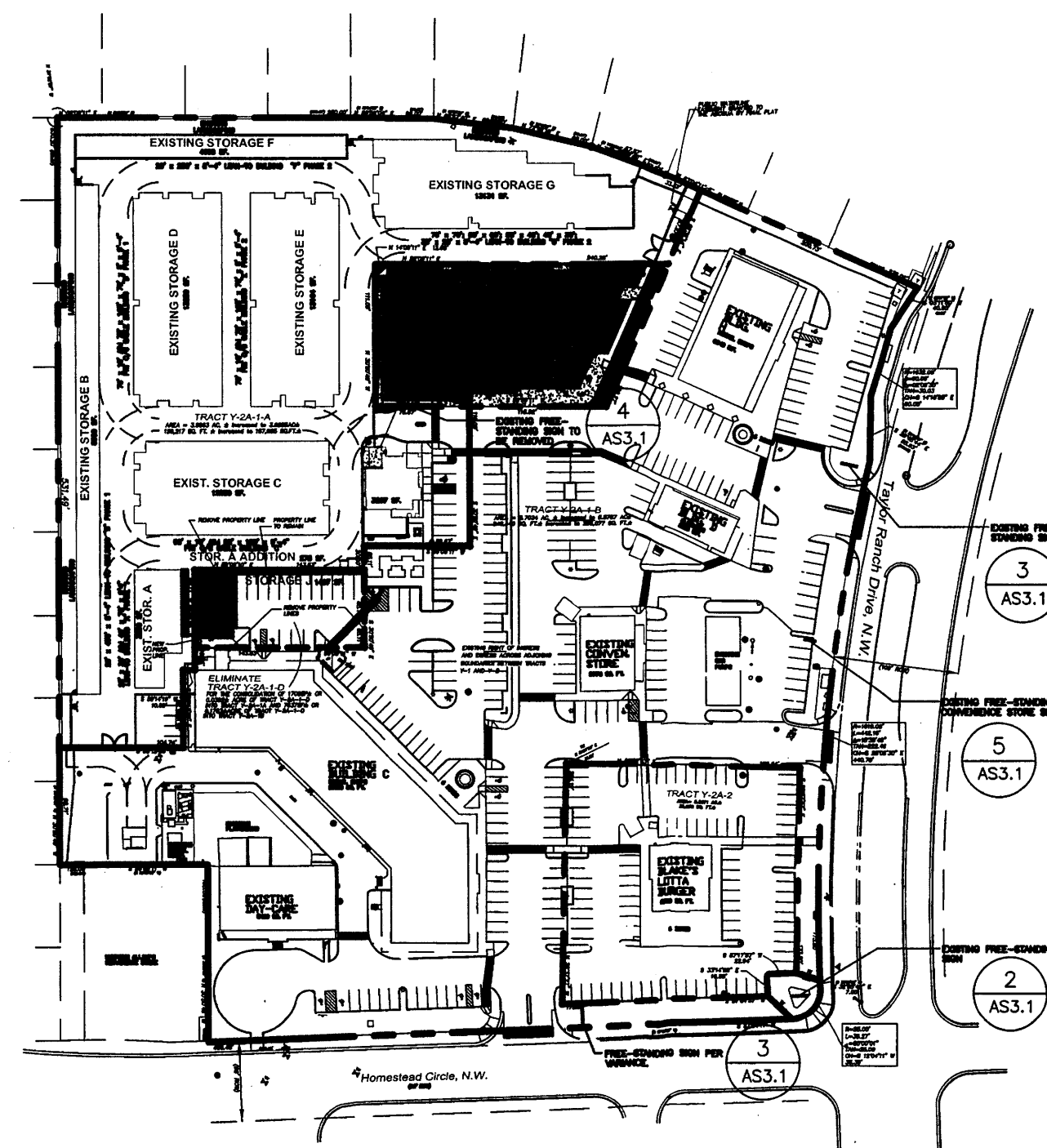
D/F ILLUMINATED CABINET SIGN. WHITE FINISH. CABINET AND SIGNER BASES FINISHED TO MATCH EXISTING MONUMENT.

EXISTING FREE-STANDING CONVENIENCE STORE SIGN

5 EXISTING FREE-STANDING SIGNS AT DRIVEWAY ENTRANCES (2) AS3.1

3 KEY PLAN AS3.1

1 AS3.1



KEY PLAN

SCALE: NTS



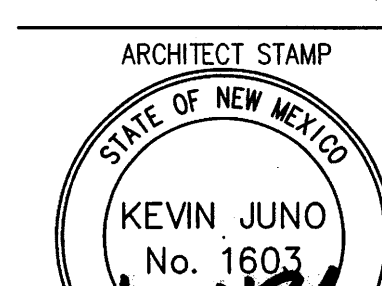
ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)896-3438

PROJECT: TAYLOR RANCH SELF-STORAGE PHASE 3

SHEET TITLE: FREE-STANDING SIGNS

NO.	REVISION	DATE



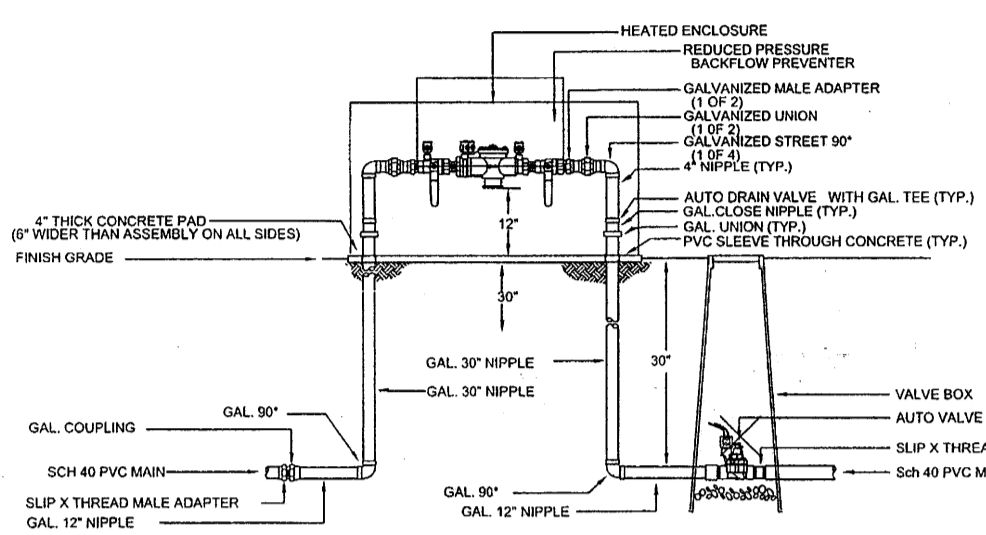
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DATE: 11-13-12
PROJECT NO. 0923
SHEET NO.

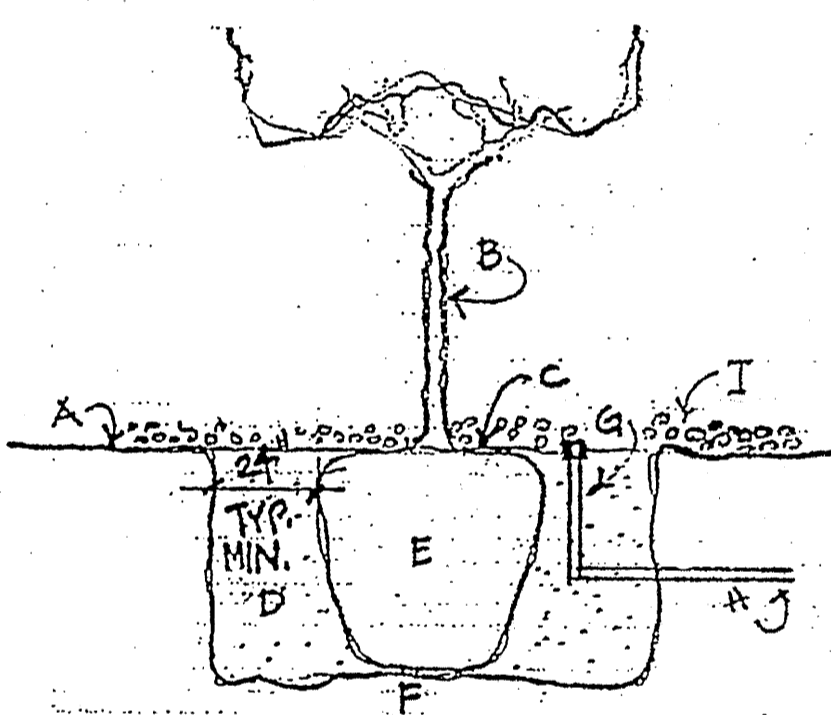
AS3.1

SUMMARY OF LANDSCAPE AREAS:

NET LOT AREA: 282,431 SF
TOTAL REQUIRED LANDSCAPE AREA: 42,364 SF
TOTAL EXISTING LANDSCAPED AREA: 34,214 SF
TOTAL PROPOSED LANDSCAPED AREA: 13,025 SF
TOTAL EXISTING & PROPOSED LANDSCAPED AREA: 47,239 SF

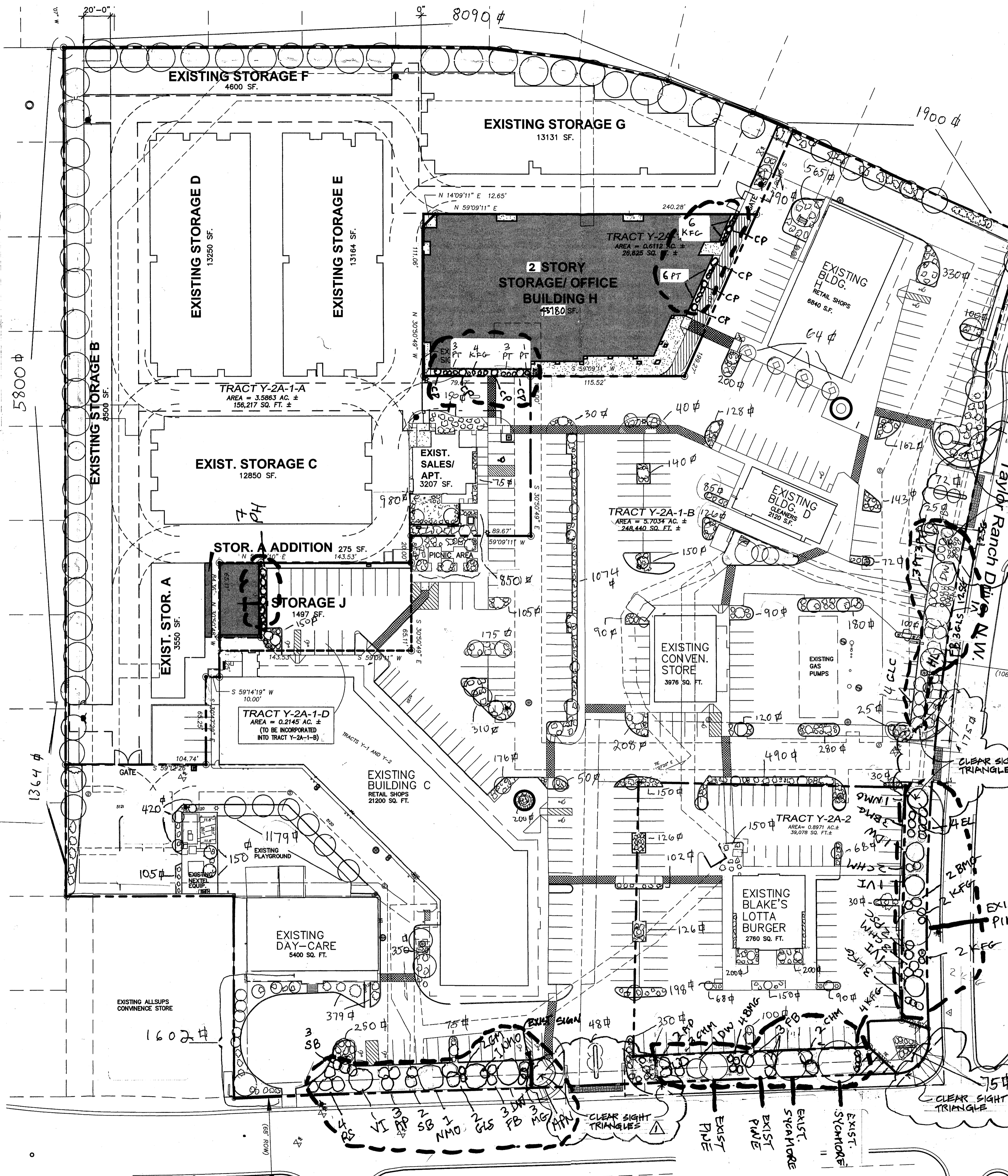


RP BACKFLOW/MASTER VALVE DETAIL



PLANTING DETAIL NOT TO SCALE

- KEYED NOTES:**
- A. EXISTING FINISH GRADE.
 - B. TREE TRUNK. SET PLUMB AND INSTALL TREE WRAP TO PROTECT TRUNK FROM SUN SCALD.
 - C. TOP OF ROOT BALL TO MATCH EXISTING GRADE.
 - D. BACKFILL MIX: 80% EXISTING SOIL THOROUGHLY MIXED WITH 20% CITY OF ALBUQUERQUE COMPOST, INSTALLED IN 6" LIFTS. THOROUGHLY APPLY WATER WITH EACH LIFT TO ENSURE PROPER COMPACTION.
 - E. ROOT BALL. CAREFULLY REMOVE BASKET AND WIRE. REMOVE BURLAP FROM TOP THIRD OF ROOT BALL. MINIMIZE DISRUPTION OF ROOT BALL.
 - F. SET ROOT BALL ON FIRM, UNDISTURBED, AND UNAMENDED SOIL.
 - G. BUBBLER. TYPICAL 1 OF 3 PER TREE, EQUALLY SPACED FROM THE TREE TRUNK (18") AND FROM EACH OTHER. NOTE: UPON TREE ROOT ESTABLISHMENT, CAP TWO BUBBLERS AND SUBSTITUTE ONE ADAPTOR IN PLACE OF ONE BUBBLER AND INSTALL 20 FEET+ OF SOAKER TUBING TO CIRCLE TREE AT THE DRIP LINE. ADJUST CONTROLLER TIMER ACCORDINGLY.
 - H. PVC PIPE TO BUBBLER FROM VALVE.
 - I. MULCH (PER NOTE). KEEP CLEAR OF TRUNK.



PLANT MATERIALS LEGEND						
SYMBOL	COMMON NAME	BOTANICAL NAME	TYPE	QUANTITY	APPROX. SPREAD	IRRIGATION
RS	Russian Sage	Perovskia atriplicifolia	Shrub	4	5'	1, 2GPH EMITTER
VI	Vitex (Chaste Tree)	Vitex agnus-cactus	Tree	4	20'	3 25GPM BUBBLERS
AP	Apache Plume	Falugia paradoxa	Shrub	5	8'	1, 2GPH EMITTER
SB	Saltbush	Atriplex canescens	Shrub	5	6'	1, 2GPH EMITTER
NMO	New Mexico Olive	Forestiera neomexicana	Tree	3	15'	3 25GPM BUBBLERS
FB	Fernbush	Chamaebatiaria millefolium	Shrub	9	5'	1, 2GPH EMITTER
APN	Austrian Pine	Pinus nigra	Tree	2	35'	4 25GPM BUBBLERS
KFG	Karl Foerster Grass	Calamagrostis arundinacea	Grass	21	30"	1, 2GPH EMITTER
DW	Desert Willow	Chilopsis Linearis	Tree	3	20'	3 25GPM BUBBLERS
CHM	Chamisa	Ericameria chrysoth...	Shrub	9	5'	1, 2GPH EMITTER
BMG	Blue Muhly Grass	Muhlenbergia capillaris	Grass	8	4'	1, 2GPH EMITTER
PSC	Purple Sand Cherry	Prunus X cistena	Shrub	2	6'	2 2GPH EMITTER
EL	English Lavender	Lavandula angustifolia	Shrub	3	3'	1, 2GPH EMITTER
GLC	Grayleaf Cotoneaster	Cotoneaster buxifolius	Shrub	4	9"	1, 2GPH EMITTER
GLS	Grow low Sumac	Rhus triobata	Shrub	3	6"	2 2GPH EMITTER
SG	Stipa Grass	stipa tenuissima	Grass	24	2"	1, 2GPH EMITTER
PT	Potentilla	Potentilla fruticosa	Shrub	10	3'	1, 2GPH EMITTER
CP	Chanticleer pear	Pyrus calleryana	Tree	8	15'	3 1GPM BUBBLERS
PH	Photinia	Photinia x fraseri	Shrub	7	5' (trimmed)	1, 2GPH EMITTER
HL	Honey Locust	Gleditsia triacanthos	Tree	1	25'	3 1GPM BUBBLERS

NOTE

MAINTENANCE OF LANDSCAPE AND IRRIGATION IS THE RESPONSIBILITY OF THE OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM PROTECTED WITH REDUCED PRESSURE BACKFLOW PREVENTER (EBCO MODEL 825) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE AND POLLEN ORDINANCE

THIS PLAN SHALL PROVIDE AT MINIMUM 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY. TREE CANOPIES ARE NOT INCLUDED.

LANDSCAPE AREAS TO BE MULCHED WITH 7/8" BROWN GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

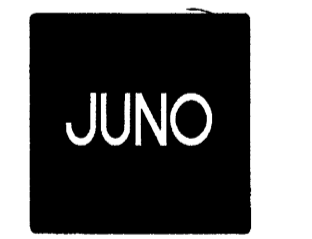
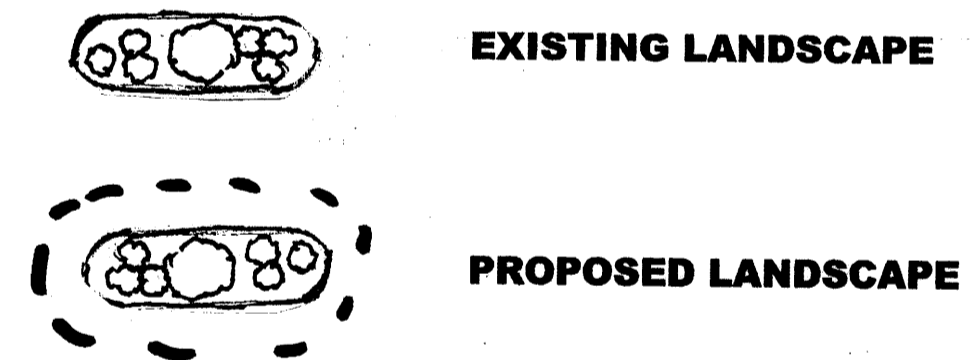
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

LEGEND



ARCHITECTS
 7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

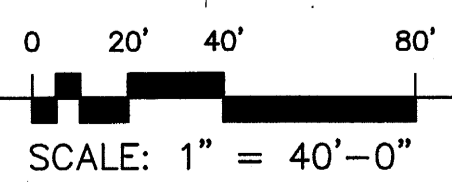
PROJECT:
TAYLOR RANCH SELF STORAGE BUILDINGS 'H', 'J' & 'A' ADDITION

SHEET TITLE:
LANDSCAPE PLAN

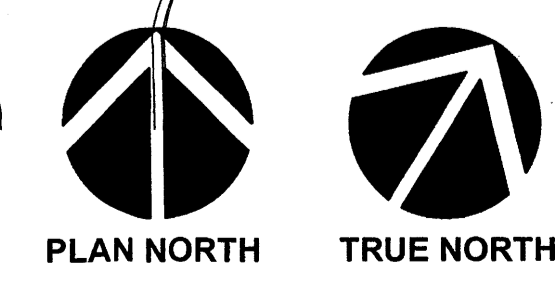
NO.	REVISION	DATE
1	CLEAR SIGHT TRIANGLES	12-11-12

ARCHITECT STAMP CONSULTANT STAMP DATE:
 6-28-12 PROJECT NO.
 0923 SHEET NO.

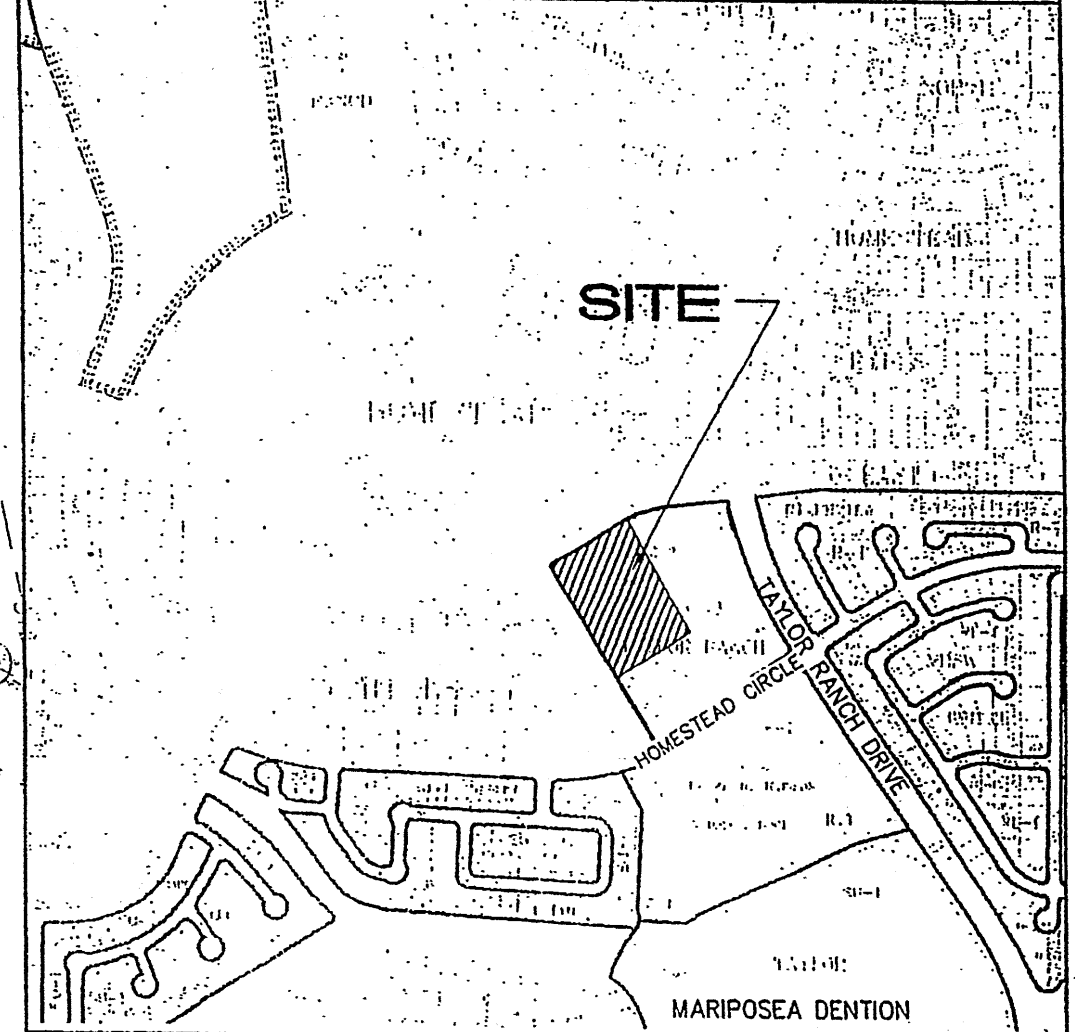
LANDSCAPE PLAN



1
L1.1

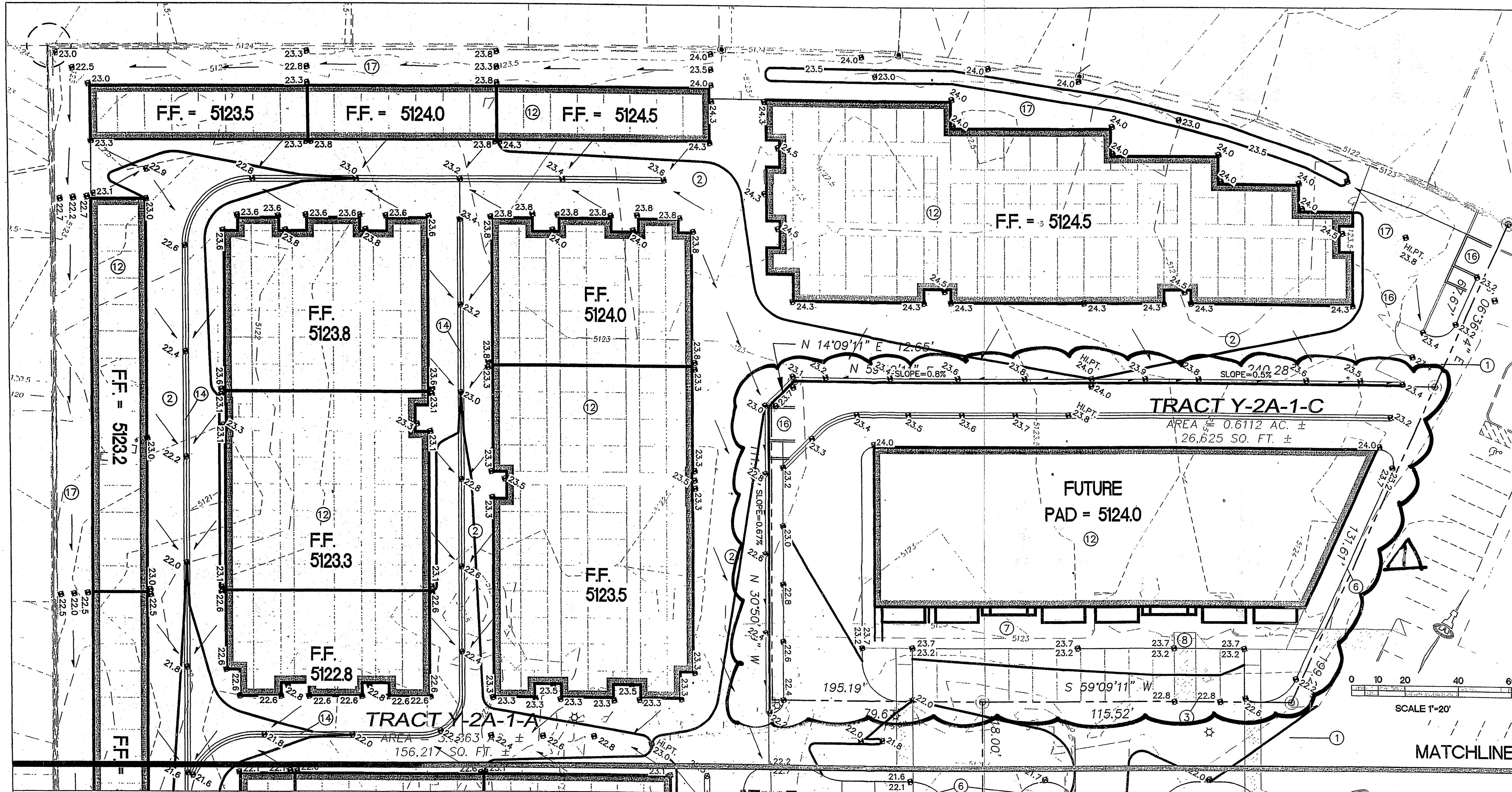


L1.1

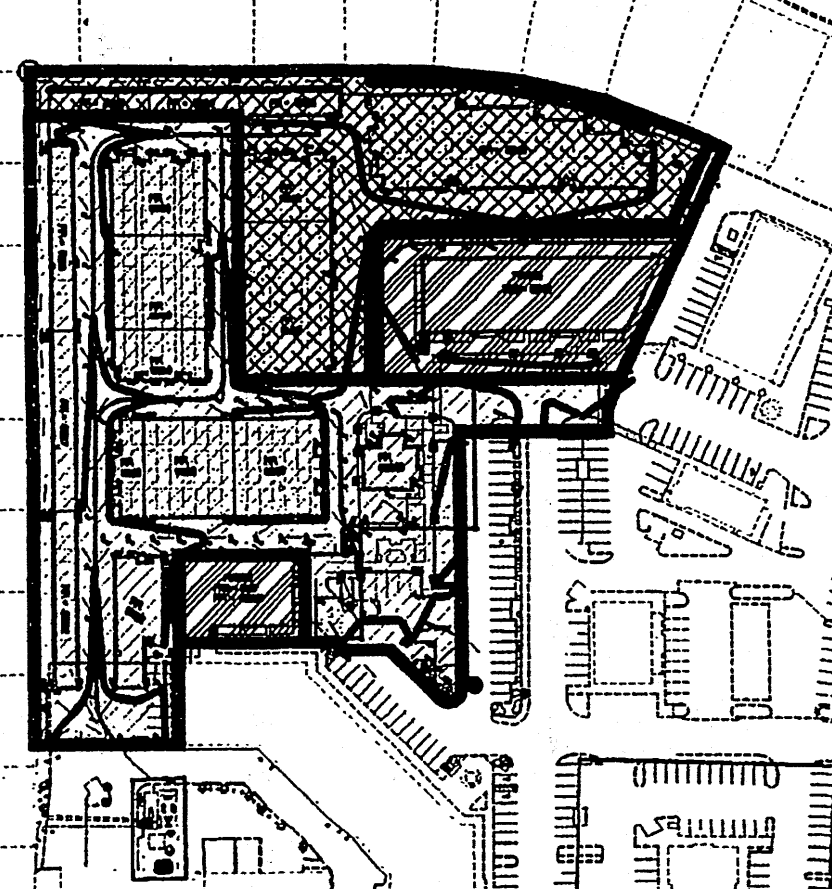


KEYED NOTES

- SAWCUT EXISTING ASPHALT (SEE DEMOLITION PLAN FOR EXTENTS) TO PROVIDE SMOOTH BONDING EDGE. CONSTRUCT NEW ASPHALT PAVING TO ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION TO EXISTING WHILE MAINTAINING POSITIVE DRAINAGE.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA. B. PROVIDE SMOOTH TRANSITION WITHIN ASPHALT PAVING FROM FLUSH WITH WALK TO 6" MEDIAN CURB AND GUTTER OVER 2' EACH SIDE.
- PROVIDE SWALE WITHIN NEW ASPHALT AT FLOWLINE ELEVATIONS SHOWN TO DIRECT DISCHARGE (MIN. 1% SLOPE).
- CONSTRUCT MEDIAN CURB AND GUTTER AT ALL CURB LOCATIONS UNLESS NOTED OTHERWISE. SEE DETAIL THIS SHEET.
- CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE ARCHITECTURAL.
- CONSTRUCT 6" DEPRESSED LANDSCAPE BASIN TO ACCEPT SITE DRAINAGE. FLOW IN EXCESS OF LANDSCAPE BASIN CAPACITY WILL PASS BACK TO PAVEMENT TO CONTINUE ALONG PROPOSED DRAINAGE PATH.
- PROVIDE 2' WIDE X 6" HIGH OPENING IN PERIMETER WALL AT FLOWLINE ELEVATION. CONSTRUCT 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH LANDSCAPED AREA TO PASS FLOW. MIN. SLOPE = 1%.
- EXTEND NEW ALLEY GUTTER TO EXISTING PAVEMENT LOW POINT. PROVIDE THREE TURNED BLOCKS (EQUIVALENT TO 3' WIDE X 6" HIGH OPENING) IN PERIMETER WALL AT FLOWLINE.
- ALL BUILDING ROOF DISCHARGE TO BE RELEASED DIRECTLY TO INTERIOR PAVEMENT. NO DRAINAGE WILL BE PASSED TO PERIMETER LANDSCAPING.
- EXISTING COVERED SIDEWALK CULVERTS DRAIN ALL SITE FLOW TO HOMESTEAD CIRCLE, N.W. SEE PHOTO EXHIBIT. (INFO. ONLY)
- CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN AT ALL FLOWLINES < 1% SLOPE. SEE DETAIL THIS SHEET.
- PROVIDE 1' OPENING (BOTTOM WIDTH) IN CURB TO PASS FLOW TO LANDSCAPED BASIN. EXCESS FLOW WILL SPILL OVER TOP OF CURB ON LOW SIDE. FILLET EDGES.
- CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
- GRADES SHOWN WITHIN LANDSCAPED AREAS ARE FOR GENERAL GRADING INFORMATION TO INDICATE DRAINAGE DIRECTION. PROVIDE POSITIVE GRADING AWAY FROM BUILDING AND PERIMETER WALLS. SEE LANDSCAPE PLAN FOR ADDITIONAL LANDSCAPE INFORMATION.



PHASING DIAGRAM



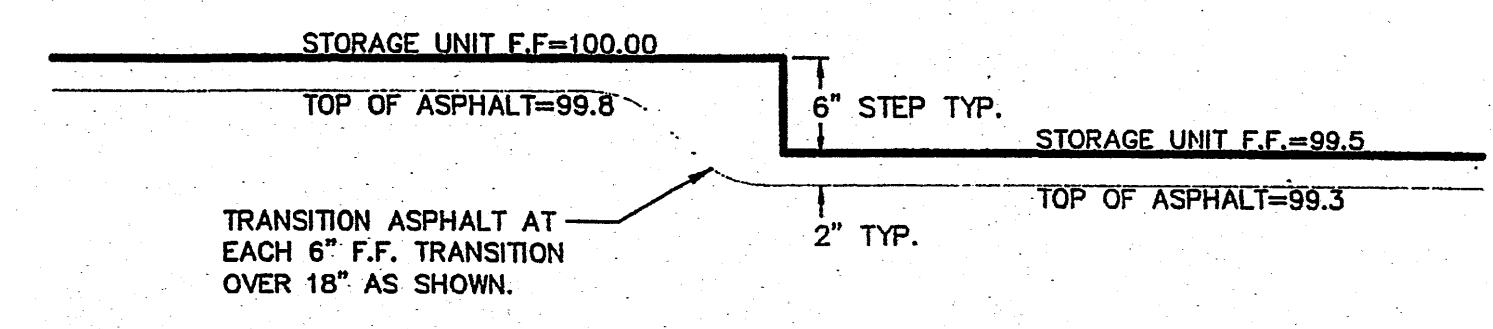
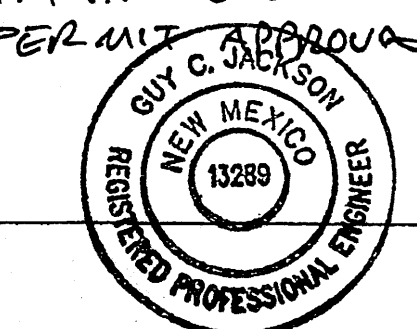
- PHASE 1
- PHASE 2
- PHASE 3

LEGEND

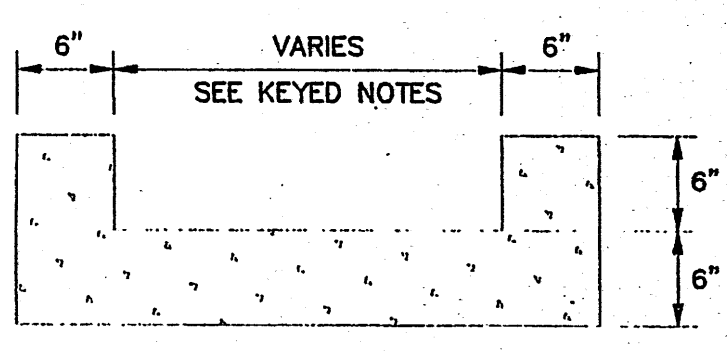
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5123.3 FINISH FLOOR ELEVATION
- FL FLOWLINE ELEVATION

NOTE: THE BUILDING IN THIS TRACT (TRACT Y-2A-1-C) WILL HAVE AN INCREASE IN FOOTPRINT OF APPROX. 11,260 SF OF WHICH WAS PREVIOUSLY ASPHALT PARKING & SIDEWALK W/ A SMALL PORTION OF LANDSCAPED AREA OF NET LOSS (SEE NOTE ON CALCULATIONS - SHEET C-102). SEE THE SITE PLAN FOR THE CHANGE IN BUILDING & LAYOUT. PER DISCUSSION W/ CURTIS CHERNE (COA HYDROLOGY) ON 6/13/12, THE MINOR CHANGES TO THIS PLAN WILL BE SUBMITTED WITH THE BUILDING PLANS FOR BUILDING PERMIT APPROVAL.

6/20/12

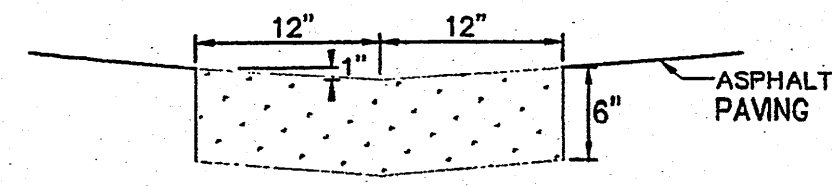


ASPHALT TRANSITION AT BLDG. STEPS



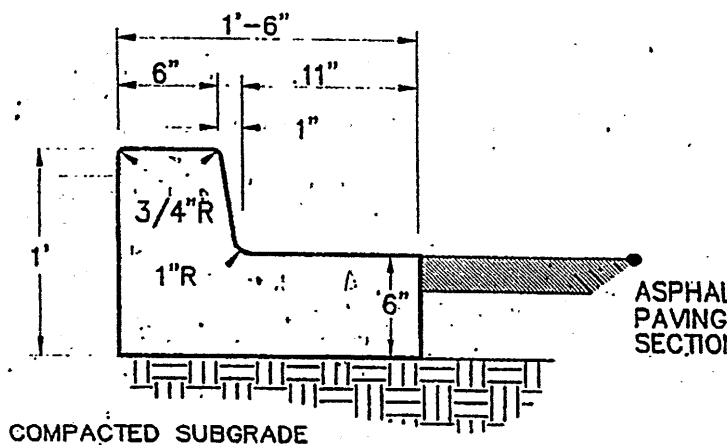
- GENERAL NOTES
- PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX.
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

'U' SHAPED CONC. CHANNEL



- GENERAL NOTES
- PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX.
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

CONCRETE ALLEY GUTTER



- GENERAL NOTES
- PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL
 - MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

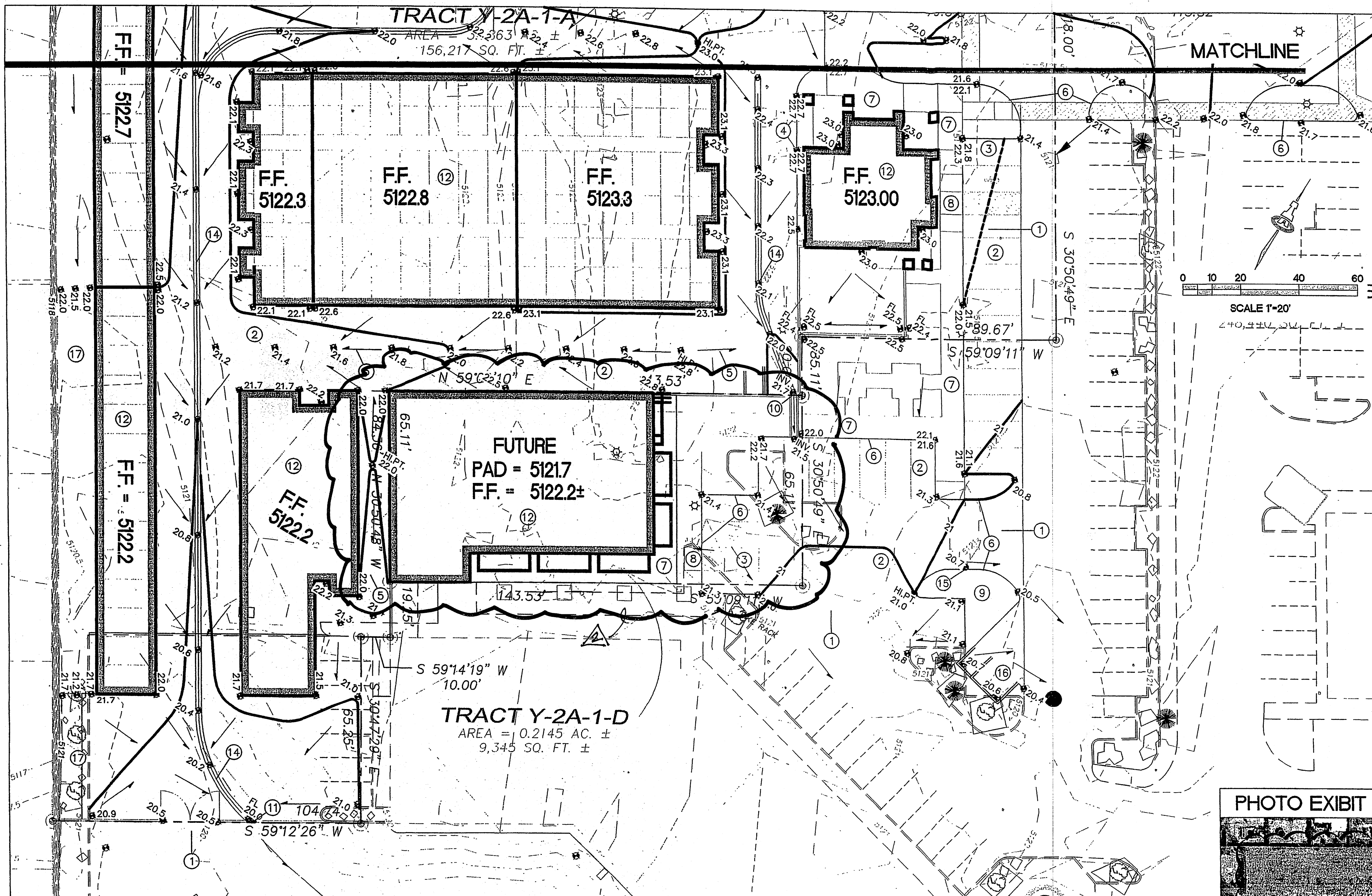
MEDIAN CURB AND GUTTER

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PH: 505-268-8828 Fax: 505-268-2632
1618 C-101.dwg Oct 18, 2007

TAYLOR RANCH SELF STORAGE

GRADING AND DRAINAGE PLAN - NORTH

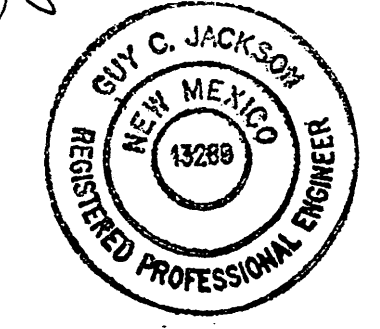
Date:	10-17-07	No.:	Revisions:	Date:	Job No.:
Drawn By:	BJB				1618
Chk By:	GLD				C-101



LEGEND		PROJECT DATA	
- - -	EXISTING CONTOUR	EXISTING: THE SITE IS AN UNDEVELOPED PORTION OF A COMMERCIAL PROPERTY WITHIN C.O.A. VICINITY MAP D-11. THE SITE IS BOUND TO THE EAST BY TAYLOR RANCH DR. NW, TO THE SOUTH BY HOMESTEAD CIRCLE, NW, AND TO THE NORTH AND EAST BY DEVELOPED RESIDENTIAL.	
- - -	PROPOSED CONTOUR	PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE SELF-STORAGE BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, LANDSCAPING AND MANAGERS RESIDENCE. TWO ADDITIONAL COMMERCIAL PADS WILL BE GRADED AS PART OF THIS PHASE OF CONSTRUCTION.	
◆ 78.3	PROPOSED SPOT ELEVATION	LEGAL: LOT Y2A1, TAYLOR RANCH, ALBUQUERQUE, NM ADDRESS: 5105 HOMESTEAD CIRCLE S.W.	
→	FLOW ARROW	BENCHMARK: ELEVATION DATUM IS BASED ON NGVD 1929 FROM ACS MONUMENT "7-D11", ELEVATION (FEET) = 5116.66. DESCRIBED AS: ACS 1 3/4" ALUMINUM DISK, STAMPED "ACS BM, 7-D11", 3-RD ORDER, EPOXY TO TOP OF CONCRETE BASE OF TRAFFIC LIGHT STANCHION, NORTHWESTERLY QUADRANT OF TAYLOR RANCH RD. AND HOMESTEAD CIR. (SOUTHERLY PORTION), NW, ON THE WESTERLY CORNER OF SAID CONCRETE BASE.	
FF = 5123.3	FINISH FLOOR ELEVATION	OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.	
FL	FLOWLINE ELEVATION	FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #112, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.	

NOTE: THE BUILDING IN THIS TRACT (TRACT Y-2A-1-D) WILL HAVE A DECREASE IN FOOTPRINT OF APPROX. 3545 SQ. FT. OF WHICH WILL BE REPLACED WITH ASPHALT PARKING AND CONCRETE WALKS, RESULTING IN A SMALL REDUCTION OF LANDSCAP AREA. (SEE NOTE ON CALCULATIONS THIS SHEET). SEE THE SITE PLAN FOR THE CHANGE IN BUILDING FOOTPRINT. PER DISCUSSION W/ CURTIS OFFICE (COA HYDROLOGY) ON 6/13/12, THE MINOR CHANGES TO THIS PLAN WILL BE SUBMITTED WITH THE BUILDING PLANS FOR BUILDING PERMIT APPROVAL.

John 6/13/12

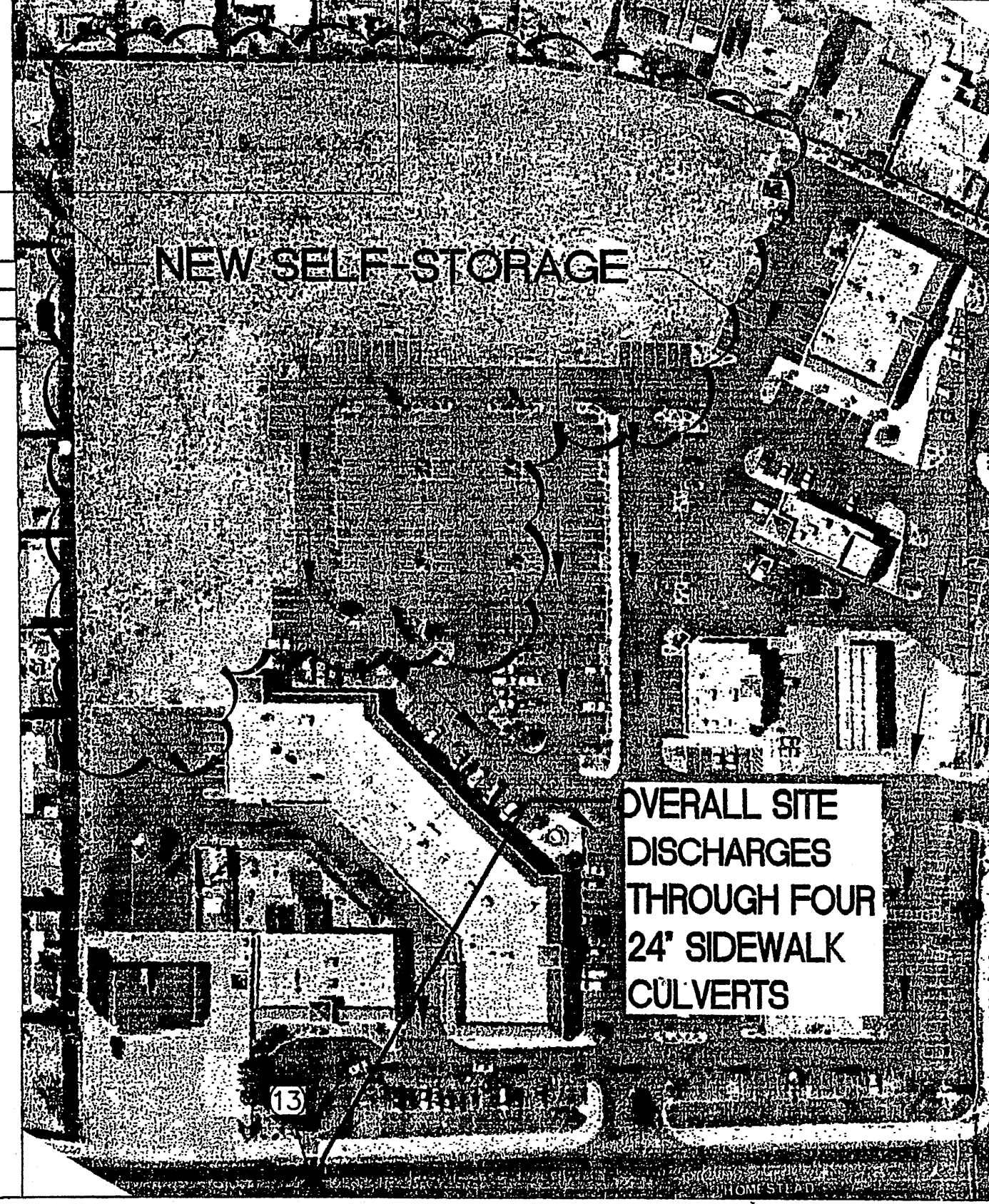


KEYED NOTES
SEE SHEET C-101 FOR ALL GRADING AND DRAINAGE PLAN KEYED NOTES

GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- SEE SITE DEMOLITION PLAN FOR ALL SITE DEMOLITION INFORMATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- ADJUST RIMS OF EXISTING UTILITY FEATURES, AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING / PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'x', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- WATER SHALL NOT POND ON PAVED AREAS. WHERE NEW/EXIST. GRADES ARE SHOWN AS 'MATCH', TRANSITION SHALL BE SMOOTH AND LEVEL.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- SWPPP REQUIREMENTS: BECAUSE THIS SITE DEVELOPMENT DISTURBS MORE THAN 1 ACRE OF LAND IN BERNALILLO COUNTY, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) INCLUDING A COPY OF THE NOI SUBMITTED TO EPA, MUST BE SUBMITTED TO BERNALILLO COUNTY FOR ACCEPTANCE PRIOR TO ISSUANCE OF A GRADING OR PAVING PERMIT.

PHOTO EXHIBIT - OVERALL SITE DRAINAGE



CALCULATIONS

THE PROPOSED IMPROVEMENTS INCREASE THE DISCHARGE FROM THE ENTIRE PROPERTY (LOT Y2A1) FROM 35.2 CFS TO 45.1 CFS FOR THE 100-YEAR, 6-HOUR STORM EVENT.

THE PROPOSED ON-SITE IMPROVEMENTS WILL SURFACE DRAIN TO THE SURROUNDING EXISTING PAVEMENT TO FOLLOW THE HISTORIC ON-SITE DISCHARGE PATHS TO THE PAVED CUL-DE-SAC AT THE SOUTHWEST CORNER OF THE PROPERTY.

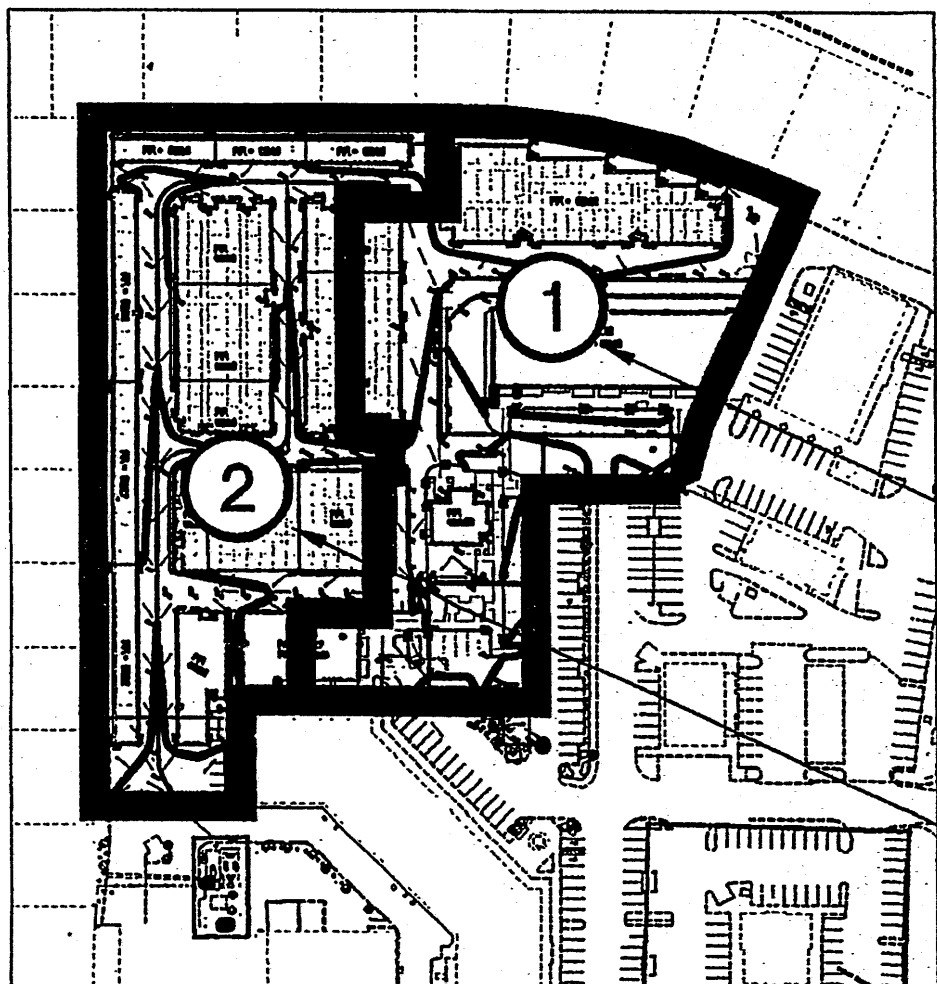
PER THE APPROVED OVERALL GRADING PLAN FOR THE HOMESTEAD HILLS SHOPPING CENTER, THE FULLY DEVELOPED SITE IS PERMITTED FREE DISCHARGE TO HOMESTEAD CIRCLE, N.W. VIA FOUR 24" WIDE SIDEWALK CULVERTS CONSTRUCTED AS PART OF C.O.A. PROJECT 25-408190-01. FLOW WILL CONTINUE ALONG THE HISTORIC ROUTE ACROSS HOMESTEAD CIRCLE TO AN EXISTING DRAINAGE RUNDOWN TO THE MARIPOSA DETENTION FACILITY (A.M.A.F.C.A.). NO DISCHARGE WILL BE DIRECTED TO TAYLOR RANCH DR. S.W.

PER THE CONCEPTUAL GRADING AND DRAINAGE PLAN AT LEFT, THE STORAGE FACILITY WILL SPLIT DISCHARGE WITH APPROX. 50% EACH TO THE EAST AND SOUTH TO AVOID OVERTAXING A SINGLE ROUTE.

CALCULATIONS: 1618 - TAYLOR RANCH SELF-STORAGE : July 26, 2007
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE	
AREA: TOTAL SITE (LOT Y2-A1):	440627 SF = 10.1 Ac.
HISTORIC FLOWS:	DEVELOPED FLOWS:
On-Site Historic Land Condition	On-Site Developed Land Condition
Area a = 0 SF	Area a = 0 SF
Area b = 154219 SF	Area b = 22031 SF
Area c = 22031 SF	Area c = 44063 SF
Area d = 264376 SF	Area d = 374533 SF
Total Area = 440627 SF	Total Area = 440627 SF
EXCESS PRECIP:	
Area a = 0.44	
Area b = 0.67	
Area c = 0.99	
Area d = 1.97	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	
Weighted E = $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$	
Historic E = 1.47 in.	Developed E = 1.81 in.
On-Site Volume of Runoff: V360 = E*A / 12	
Historic V360 = 53830 CF	Developed V360 = 66351 CF
On-Site Peak Discharge Rate: Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43.560	
For Precipitation Zone I	
Qpa = 1.29	Qpc = 2.87
Qpb = 2.03	Qpd = 4.37
Historic Qp = 35.2 CFS	Developed Qp = 41.5 CFS

NOTE: THE NET LOSS OF APPROX. 44500 SQ. FT. OF LANDSCAPED AREA FOR BOTH BUILDING AREAS WITHIN BASINS 1 & 2, RESULT IN LESS THAN 1/2 OF 1% OF LAND TREATMENT CHANGING. THEREFORE, THE INCREASE OF POTENTIAL RUNOFF IS VIRTUALLY UNCHANGED. THE FLOW PATTERNS OF THE SURFACE DRAINAGE FROM THESE BASINS WILL REMAIN UNCHANGED PER THOSE ESTABLISHED ON THIS PLAN.



BASIN NO.	DESCRIPTION	DRAINING TO EAST
1	Area of basin flows = 102618 SF	2.4 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E = 1.82 in.	TREATMENT	
Sub-basin Volume of Runoff (see formula above)	A = 0%	
V360 = 15589 CF	B = 0%	
Sub-basin Peak Discharge Rate: (see formula above)	C = 15%	
Qp = 9.8 cfs	D = 85%	
BASIN NO.	DESCRIPTION	DRAINING TO SOUTH
2	Area of basin flows = 99922 SF	2.3 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E = 1.82 in.	TREATMENT	
Sub-basin Volume of Runoff (see formula above)	A = 0%	
V360 = 15183 CF	B = 0%	
Sub-basin Peak Discharge Rate: (see formula above)	C = 15%	
Qp = 9.5 cfs	D = 85%	

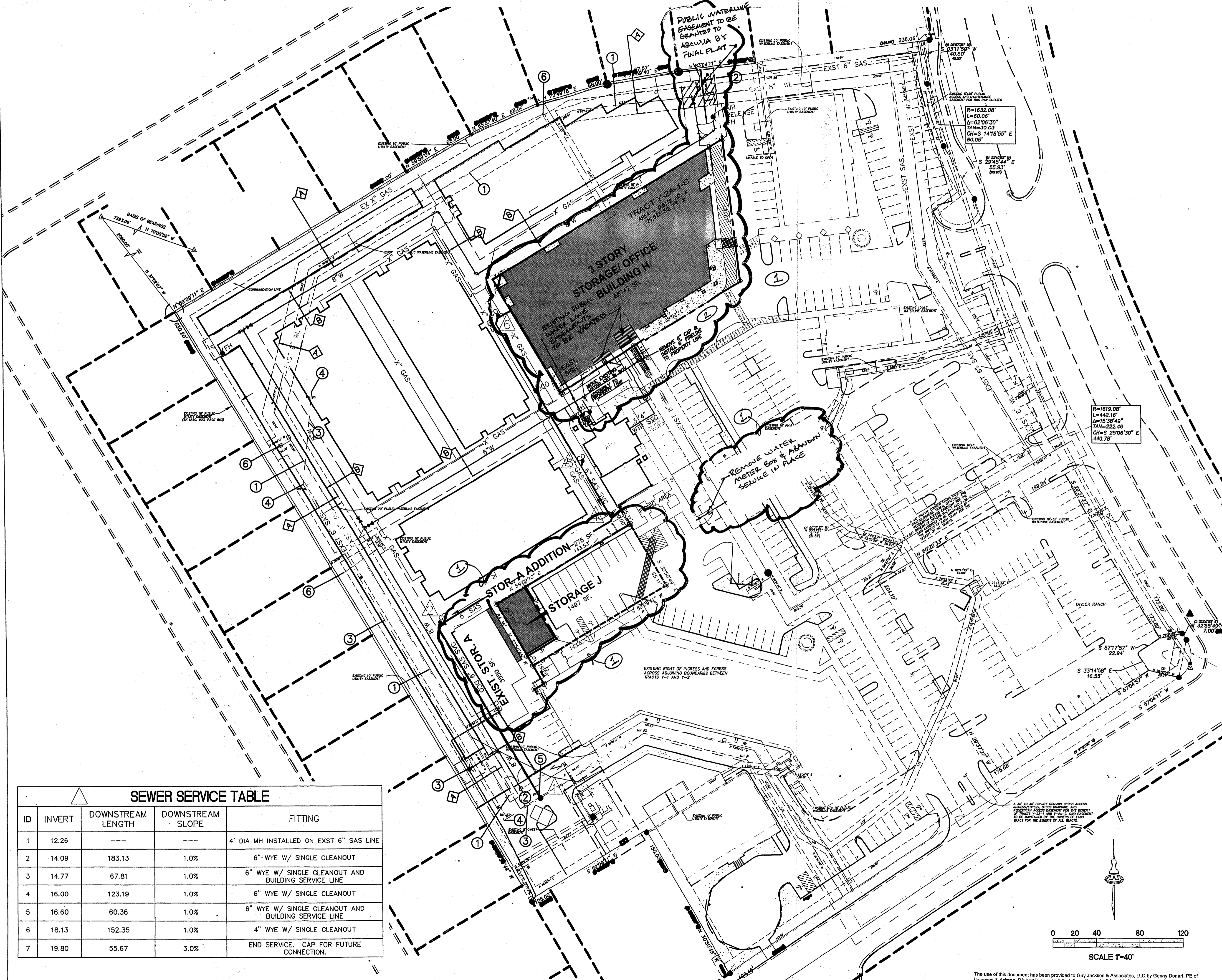
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1618-C-101.dwg Oct 18, 2007

TAYLOR RANCH SELF-STORAGE

GRADING AND DRAINAGE PLAN - SOUTH

Date:	10-17-07	Revision:		Date:		Job No.:	1618
Drawn By:	BJB	Checked By:		Scale:		Sheet:	C-102
Old By:	GLD	Project:					

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KEYED NOTES

1. EXISTING WATERLINE TO BE GROUT FILLED AND ABANDONED
 2. THE PROPOSED 8" WL TO EXISTING WL. COMPLETED W/ WORK ORDER 782261
 3. EXISTING SAS LINE TO BE GROUT FILLED AND ABANDONED. COMPLETED W/ WORK ORDER 782261
 4. REMOVE EXISTING SAS MANHOLE. COMPLETED W/ WORK ORDER 782261
 5. INSTALL NEW 4" DIA TYPE 'E' MANHOLE ON EXISTING SAS LINE. MATCH EXIST INVERT. COMPLETED W/ WORK ORDER 782261
 6. REMOVE & SALVAGE EXISTING FIRE HYDRANT. COMPLETED W/ WORK ORDER 782261
- MASTER UTILITY PLAN
2/20/08

EASEMENT NOTES

- A. EXISTING 20' PUBLIC WATERLINE EASEMENT TO BE VACATED BY FINAL PLAT. COMPLETED W/ 2008 PLAT
- B. PROPOSED 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED BY FINAL PLAT. COMPLETED W/ 2008 PLAT
- C. PROPOSED BLANKET PRIVATE SANITARY SEWER EASEMENT TO BE GRANTED BY FINAL PLAT. SANITARY SEWER TO BE MAINTAINED BY THE BENEFITTING LOT OWNERS. COMPLETED W/ 2008 PLAT

KEYED NOTES

1. ALL WORK SHOWN IN BUBBLED AREAS TO BE CONSTRUCTED WITH APPROVED BUILDING PERMIT
2. CONSTRUCTION OF FIRELINE TO BE IN ACCORDANCE W/ APPROVED MINI WORK ORDER OR CUSTOMER SERVICE PER ABCWUA.

LEGEND

- | | |
|--------------|-------------------------------|
| EXIST 8" SAS | EXISTING SAS LINE |
| EXIST 4" WL | EXISTING WATERLINE |
| --- | EXISTING CURB AND GUTTER |
| □ | 3/4" SINGLE WATER METER & BOX |
| ⊕ | GATE VALVE W/ VALVE BOX |
| ⊙ | FIRE HYDRANT |
| ● | SAS MANHOLE |
| — | WATER LINE W/ FITTING |
| ⊥ | SAS CLEANOUT |
| ⊥ | DOUBLE SAS CLEANOUT |

GENERAL NOTES

1. PUBLIC WATERLINES TO BE CONSTRUCTED BY WORK ORDER. 782261
2. REFER TO MECHANICAL PLANS FOR DETAILS OF GAS LINE SIZES, GAS PIPES, METERS AND FITTINGS.

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1618 C-102.dwg Feb 28, 2008

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TAYLOR RANCH SELF STORAGE

MASTER UTILITY PLAN			
Date:	No. / Revisions	Date:	Job No.
07-12-07			1618
Drawn By:			C-103
Ckd By:			
GLD			

SEWER SERVICE TABLE				
ID	INVERT	DOWNSTREAM LENGTH	DOWNSTREAM SLOPE	FITTING
1	12.26	---	---	4" DIA MH INSTALLED ON EXST 6" SAS LINE
2	14.09	183.13	1.0%	6" WYE W/ SINGLE CLEANOUT
3	14.77	67.81	1.0%	6" WYE W/ SINGLE CLEANOUT AND BUILDING SERVICE LINE
4	16.00	123.19	1.0%	6" WYE W/ SINGLE CLEANOUT
5	16.60	60.36	1.0%	6" WYE W/ SINGLE CLEANOUT AND BUILDING SERVICE LINE
6	18.13	152.35	1.0%	4" WYE W/ SINGLE CLEANOUT
7	19.80	55.67	3.0%	END SERVICE. CAP FOR FUTURE CONNECTION.

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