DRB CASE ACTION LOG - BLUE SHEET

Preliminary/Final Plat [FP]

Site Plan - Subdivision [SPS]

LSite Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed. Project #: 1007776 Project Name: aulor tranch Phone #: Agent: 2 DUIS FICISION **Your request was approved on 1/-28-12 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed** TRANSPORTATION: ABCWUA: CITY ENGINEER / AMAFCA: ☐ PARKS / CIP: PLANNING (Last to sign): record PLATS: Planning must record this plat. Please submit the following items: -The original plat and a mylar copy for the County Clerk. -Tax certificate from the County Treasurer. -Recording fee (checks payable to the County Clerk). RECORDED DATE: -Tax printout from the County Assessor. -County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk. Property Management's signature must be obtained prior to Planning Department's signature. □()|/(AGIS DXF File approval required. Copy of recorded plat for Planning.

ALL SITE PLANS:

City of Albuquerque Planning Department Inter-Office Memorandum

TO:

Jack Cloud, DRB Chair

FROM:

Randall Falkner, Planner

SUBJECT:

Project # 1002776

On August 9, 2012, the Environmental Planning Commission (EPC) approved Project #1002776/12EPC 40037/40038, an amendment to a site development plan for building permit and an amendment to a sit development plan for subdivision for all or a portion of Lots Y-2A-1-A, Y-2A-1-B, Y-2A-1-C & Y-2A-1-D, located on Taylor Ranch Drive, between Homestead Circle and Sooner Trail, containing approximately 10 acres.

The applicant has satisfied all of the EPC conditions of approval.

However, condition #4 for the site development plan for building permit néeds explanation. The condition is as follows:

4.c. The wall pack lighting shall be downward lighting.

Explanation: The submitted site development plan for building permit elevations sheet A2.1 shows the lighting as "up and down light". Applicant has submitted a PDF that now shows the lighting as "down light". The lighting is now in compliance. A copy of the PDF has been included in the packet.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.

4. Project# 1009082

12DRB-70082 VACATION OF PUBLIC
UTILITY EASEMENT
12DRB-70083 VACATION OF PUBLIC
RIGHT-OF-WAY

WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 VOLCANO CLIFFS Unit 26, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11) [Deferred from 3/28/12, 4/4/12, 5/9/12, 5/30/1/ 6/27/12, 7/25/12, 8/29/12, 9/26/12, 10/31/12] DEFERRED TO 12/19/12 AT THE AGENT'S REQUEST.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

5. Project# 1002776

12DRB-70358 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
12DRB-70359 EPC APPROVED SDP
FOR BUILD PERMIT
12DRB-70360 EPC APPROVED SDP

FOR SUBDIVISION

PRECISION SURVEYS INC AND GUY JACKSON & ASSOCIATES agent(s) for KLD ENTERPRISES, LLC request(s) the above action(s) for all or a portion of Tract(s) Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, **TAYLOR** zoned C-2, located on TAYLOR RANCH BETWEEN HOMESTEAD CIRCLE AND SOONER TRAIL containing approximately 10.1154 acre(s). (D-11) THE PRELIMINARY/FINAL PLAT WAS APPROVED SIGN OFF DELEGATED TO FINAL WITH TRANSPORTATION FOR DIMENSIONAL EXHIBIT AND **PLANNING** FOR COMMENTS. AND DEVELOPMENT PLANS FOR SUBDIVISION BUILDING PERMIT WERE APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION AND PLANNING FOR COMMENTS.

12DRB-70356 EPC APPROVED SDP
FOR BUILD PERMIT
12DRB-70361 EPC APPROVED SDP
FOR SUBDIVISION
12DRB-70357 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

CONSENSUS PLANNING AND ISAACSON AND ARFMAN PA agent(s) for VERDAD REAL ESTATE request(s) the above action(s) for all or a portion of Tract(s) 1-5, BROADSTONE TOWNE CENTER zoned SU-1 FOR PRD & C-2, located on GIBSON BLVD BETWEEN BETWEEN UNIVERSITY AND BUENA VISTA containing approximately 16.76 acre(s). (L-15) THE SITE PLANS FOR BUILDING PERMIT AND SUBDIVISION WERE APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION **FOR** THE AND TO PLANNING. COMMENTS PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF AND UTILITY SIGNATURES.

<u>DRB CASE ACTION LOG - BLUE SHEET</u>

★ Preliminary/Final Plat [FP]
★ Site Plan - Subdivision [SPS]

Le Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures.	
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Return sheet with site plan/plat once comments have been addressed. 12028-70358	
Project #: 1007776 Application #: 12DRB-70369	
Project Name: Taylor Ranch	
Agent: Bucision Survives Inc. Phone #:	
	,
**Your request was approved on 1/-28-12 by the DRB with delegation of signature(s) to the	
following departments - outstanding comments to be addressed**	
TRANSPORTATION: provide exhibit, address comments	
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PLANNING (Last to sign): - rite plant, atter plat is recorded	
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PLATS:	
Planning must record this plat. Please submit the following items:	
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-The original plat and a mylar copy for the County ClerkTax certificate from the County Treasurer.	1
-Recording fee (checks payable to the County Clerk). RECORDED DATE:	/
-Tax printout from the County Assessor.	
-County Treasurer's signature must be obtained prior to the recording of the plat	
with County Clerk.	
Property Management's signature must be obtained prior to Planning Department's signature.	
□	
Copy of recorded plat for Planning. ALL SITE PLANS:	
ALL SITE PLANS. □3 copies of the approved site plan. Include all pages.	

Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

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FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM -V in addition to application for subdivision on FORM-S.

	 Scale drawing of the property of the sketch with measure improvements, if the Zone Atlas map with the Letter briefly describing 	AND COMMENT (DRB22) oposed subdivision plat (folderements showing structures, pere is any existing land use (folderements any existing land use (folderements showing structures, pere is any existing land use (folderements any existing land use (folderements)).	d to fit into an 8.5" by 1 arking, Bldg. setbacks olded to fit into an 8.5" utlined request	, adjacent rights-of-wa	y and street
	Letter briefly describing Copy of DRB approved Copy of the LATEST Of List any original and/or	d to 8.5" x 11" e entire property(ies) clearly o explaining, and justifying the	request for Preliminary Plat Ex ver application		tendance is
	 Proposed Final Plat (fold Signed & recorded Final Design elevations & crowded Signed Atlas map with the Bring original Mylar of proposed Signed Sig	ded to fit into an 8.5" by 14" polythere. Development Facilities for sections of perimeter walls entire property (ies) clearly of lat to meeting, ensure property. EHD signature line on the Mylerelated file numbers on the coof of final plat data for AGIS is respectively.	cocket) 6 copies ee Agreement for Res utlined y owner's and City Sur ar if property is within a ver application	veyor's signatures are	only
	Proposed Preliminary / ensure property ow Signed & recorded Final Design elevations and of Site sketch with measur improvements, if the Zone Atlas map with the Letter briefly describing Bring original Mylar of p Landfill disclosure and E Fee (see schedule) List any original and/or a Infrastructure list if required	RELIMINARY/FINAL PLATE cate of No Effect or Approval Final Plat (folded to fit into an ner's and City Surveyor's signal Pre-Development Facilities Forces sections of perimeter was ements showing structures, pere is any existing land use (force entire property (ies) clearly of explaining, and justifying the lat to meeting, ensure property EHD signature line on the Mylatel Control of final plat data for AGIS is referred (verify with DRB Engine of final plat data for AGIS is referred.)	8.5" by 14" pocket) 6 atures are on the plat plat plat plat plat plat plat plat	copies for unadvertise prior to submittal sidential development m) 3 copies , adjacent rights-of-way by 14" pocket) 6 copies	ed meetings only y and street
	PLEASE NOTE: There are amendments. Significant character proposed Amended Prespocket) 6 copies Original Preliminary Place Zone Atlas map with the Letter briefly describing, Bring original Mylar of place List any original and/or in the second proposed Amended Prespondent Presponde	IMINARY PLAT (with minero clear distinctions between anges are those deemed by falliminary Plat, Infrastructure List, and/or Greentire property(ies) clearly or explaining, and justifying the lat to meeting, ensure property elated file numbers on the company approval expires after one	significant and minor of the DRB to require pub- st, and/or Grading Plan rading Plan (folded to fout utlined request y owner's and City Sur- ver application	changes with regard to blic notice and public he folded to fit into an 8 bit into an 8	subdivision earing. 5.5" by 14" ocket) 6 copies
info with	he applicant, acknowledge ormation required but not so this application will likely erral of actions.	ubmitted	Maca Complex Apple	icant signature / date	ALEUQUERQUE NEVE HEXICO
口口回忆	Checklists complete Fees collected Case #s assigned Related #s listed	Application case numbers		Planner 2007	signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

	Scaled site sketch and adjacent rights-calculated adjacent rights-calculated Zone Atlas map with Letter briefly describing List any original and/	EW AND COMMENT (DRB2) and related drawings showing pof-way and street improvement the entire property(ies) clearly ing, explaining, and justifying the related file numbers on the tely 8 DAYS after the Tuesday	proposed land use including states, etc. (folded to fit into an 8.5 outlined the request	
	5 Acres or more & zo Scaled site plan and Zone Atlas map with Letter briefly describi Letter of authorization Copy of the documen Completed Site Plan Infrastructure List, if in Fee (see schedule) List any original and/o	or related file numbers on the delay 8 DAYS after the Tuesday	hopping Center: Certificate of into an 8.5" by 14" pocket) 6 coutlined he request oplication is submitted by an ago to the DRB	gent
	5 Acres or more & zo Site plan and related Site Plan for Subdivis Solid Waste Manager Zone Atlas map with Letter briefly describin Letter of authorization Copy of the documen Infrastructure List, if recompleted Site Plan Copy of Site Plan with Fee (see schedule) List any original and/or	PLAN FOR BUILDING PE aned SU-1, IP, SU-2, PC, or Shadrawings (folded to fit into an 8 sion, if applicable, previously appendix department signature on the entire property (ies) clearly and justifying the from the property owner if appendix delegating approval authority relevant to the site plant for Building Permit Checklist a Fire Marshal's stamp or related file numbers on the cely 8 DAYS after the Tuesday related.	nopping Center: Certificate of I 8.5" by 14" pocket) 6 copies pproved or simultaneously sub Site Plan outlined he request plication is submitted by an ag to the DRB	omitted. 6 copies.
	Proposed amended S Proposed amended S DRB signed Site Plan Zone Atlas map with t Letter briefly describin Letter of authorization Infrastructure List, if re Completed Site Plan f Fee (see schedule) List any original and/or	LOPMENT PLAN FOR BUELOPMENT PLAN FOR SUBJECT PLAN FOR SUBJECT PLAN FOR SUBJECT PLAN FOR SUBJECT PLAN (FOR PLAN FOR SUBJECT PL	BDIVISION (DRB02) 5" by 14" pocket) 6 copies nto an 8.5" by 14" pocket) 6 co outlined e request plication is submitted by an ag not required for amendment of	Maximum Size: 24" x 36" opies ent SDP for Subdivision)
	5 Acres or more & zon Site plan and related d Approved Grading and Solid Waste Managem Zone Atlas map with th Letter carefully explain Infrastructure List, if re Copy of Site Plan with List any original and/or	Fire Marshal's stamp (not requested file numbers on the coly 8 DAYS after the Tuesday not be seen to be a see	R SUBDIVISION (DRB06) opping Center: Certificate of N .5" by 14" pocket) 6 copies ito an 8.5" by 14" pocket) 6 co Site Plan for Building Permit outlined has been met and a copy of the over application	lo Effect or Approval pies e EPC Notification of Decision
I, th	ne applicant, acknowledge mation required but not sub- application will likely result in	that any mitted with	4-77	nt name (print) ALBUQUERQUE Signature / date NEW MEXICO
	Checklists complete Fees collected Case #s assigned	Application case numbers 12088 7030		October 2007 i (- 14) - 12 Planner signature / date
7 F	Related #s listed		Project #	12/1/6

Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

			Supplementa	al Form	(SF)		
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		Major subdivision action Minor subdivision action			<i>F</i>	Anne: 	xation
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		Variance (Non-Zoning)					g, includes Zoning within Sector
	SITE DE	EVELOPMENT PLAN	Р			1	lopment Plans) tion of Rank 2 or 3 Plan or similar
	چد	for Subdivision	•		T	Γext ⁄	Amendment to Adopted Rank 1, 2 or 3
		for Building Permit Administrative Amendment/Approva	Ι /ΔΔ\		F	Plan(s	s), Zoning Code, or Subd. Regulations
		IP Master Development Plan	D (/~~)		S	 Stree	t Name Change (Local & Collector)
		Cert. of Appropriateness (LUCC)	1	٨		1	
	STORM	DRAINAGE (Form D)	_	Α		1	ROTEST of ion by: DRB, EPC, LUCC, Planning
		Storm Drainage Cost Allocation Plan	'				tor, ZEO, ZHE, Board of Appeals, other
Planning	g Departi	E IN BLACK INK ONLY. The append Development Services Cenaid at the time of application. Ref	ter, 600 2 nd i	Street I	NW, Albuqi	uerģ	completed application in person to the ue, NM 87102. nittal requirements.
APPLICA	TION INFO	ORMATION:					
Prof	essional/ <i>A</i>	Agent (if any): Precision	Survey	0	MC.		PHONE: 856-5700
ADD	RESS: \mathcal{D}	v. Box 90636	•	7		Ì	FAX: 856-7900
		uguergue	STATE N	J 210	97 19Q	1	
Citt		V V	SIAIE NE	ZIP.	V-4-1 1-1	<u> </u>	E-MAIL: Larry & presurv. com
APP	LICANT:_	KLD Enterprises,	uc	Dav	n Rich		PHONE: 304-4510
ADD	RESS:	2231 Academy Rd	NE S	Ste 3	301		FAX: 554-1713
CITY	:_AIb	uguerque	STATE NA	J ZIP	11178		E-MAIL: enerald props@a01.com
Pron	rietary inte	rest in site: <u>Owner</u>	l ie	talloun	nors: Kit) E	Todarorisas IIC
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Is the	e applicant	seeking incentives pursuant to the Fami	ly Housing De	velopme	nt Program?		YesNo.
		•				4	C'I A SEPARATE SHEET IF NECESSARY.
Lot o	r Tract No.	Tracts 4-2A-1-A, 4-2	1-1-B	Y-2A	-1-C.	RIOĆ	k: NA Unit: NA
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CASE HIS							
List a	ny current	or prior case number that may be relevant	ant to your app	lication ((Proj., App., C	DRB¦,	, AX_,Z_, V_, S_, etc.):
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Betwe	een: 	lomestead Circle	and		DONLY	Iro	il NW
Chec	k if project	was previously reviewed by: Sketch Plat	/Plan □ or Pre	e-applica	ation Review	l Team	n(PRT) 🗆. Review Date:
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		<u> </u>				<u> </u>	DATE 11/10/12
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		Staff signature	& Date			Ì	

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM -V in addition to application for subdivision on FORM-S.

	SKETCH PLAT REVIEW AND COM Scale drawing of the proposed subdir Site sketch with measurements show improvements, if there is any exist improvements and with the entire proper Letter briefly describing, explaining, and List any original and/or related file numbers.	vision plat (folded to fit in ving structures, parking, E sting land use (folded to erty(ies) clearly outlined and justifying the request	3ldg. setbacks fit into an 8.5"	, adjacent rights-of-wa	y and street
	EXTENSION OF MAJOR PRELIMIN required. — Preliminary Plat reduced to 8.5" x 11" — Zone Atlas map with the entire prope Letter briefly describing, explaining, a Copy of DRB approved infrastructure Copy of the LATEST Official DRB No List any original and/or related file nu Extension of preliminary plat approval	rty(ies) clearly outlined and justifying the request list tice of approval for Prelin mbers on the cover appli	ninary Plat Ext		tendance is
	MAJOR SUBDIVISION FINAL PLAT Proposed Final Plat (folded to fit into Signed & recorded Final Pre-Develop Design elevations & cross sections of Zone Atlas map with the entire proper Bring original Mylar of plat to meeting Copy of recorded SIA Landfill disclosure and EHD signature List any original and/or related file number DXF file and hard copy of final plat dates.	an 8.5" by 14" pocket) 6 ment Facilities Fee Agre f perimeter walls 3 corty (ies) clearly outlined ensure property owner's line on the Mylar if property on the cover appliance.	copies ement for <u>Res</u> pies s and City Sur	veyor's signatures are	only
	MINOR SUBDIVISION PRELIMINAR 5 Acres or more: Certificate of No Effective Proposed Preliminary / Final Plat (foldonium ensure property owner's and City Signed & recorded Final Pre-Develop Design elevations and cross sections Site sketch with measurements shown improvements, if there is any exist Zone Atlas map with the entire property Letter briefly describing, explaining, at Bring original Mylar of plat to meeting HIA Landfill disclosure and EHD signature Fee (see schedule) List any original and/or related file nur Infrastructure list if required (verify w DXF file and hard copy of final plat date	ect or Approval ded to fit into an 8.5" by 1 Surveyor's signatures ar ment Facilities Fee Agre- of perimeter walls (11" be ing structures, parking, Be iting land use (folded to a ty(ies) clearly outlined and justifying the request and justifying the request and interest on the Mylar if proper the DRB Engineer)	4" pocket) 6 ce on the plat person the plat person of the plat person	copies for unadvertise prior to submittal development m) 3 copies adjacent rights-of-way by 14" pocket) 6 copies	d meetings only and street
	AMENDMENT TO PRELIMINARY PL PLEASE NOTE: There are no clear disting amendments. Significant changes are the proposed Amended Preliminary Plat, pocket) 6 copies Original Preliminary Plat, Infrastructure Zone Atlas map with the entire proper Letter briefly describing, explaining, are Bring original Mylar of plat to meeting, List any original and/or related file num. Amended preliminary plat approval expensions.	ctions between significant se deemed by the DRB infrastructure List, and/or Grading Platy (ies) clearly outlined indicately indicated in the request ensure property owner's inbers on the cover applications.	to require public Grading Plan an (folded to fit	hanges with regard to lic notice and public he (folded to fit into an 8 t into an 8.5" by 14" po	subdivision earing. .5" by 14" ocket) 6 copies
nfo: vith	ne applicant, acknowledge that any remation required but not submitted this application will likely result in erral of actions.	Ma	Applie	pplicant name (print) Cant signature / date	ALBUQUENQUE NEW HETICO
	Checklists complete Fees collected Case #s assigned Related #s listed Application care.	25 numbers 25 - 70358	Project #	Planner 2007	signature / date

Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision

Infrastructure List, if relevant to the site plan

Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)

List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original to the meeting. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Form revised October 2007

Applicant name (print)

Applicant signature / date

ctober 2007

X	Checklists complete
[]b	Fees collected
凼	Case #s assigned

Related #s listed

Application car	se numbers
IZDRB -	<u>-7035</u> 9
	-70360
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Planner signature / date

ALBUQUERQU

Project # 1002774

Case Numbers ZA-99-022 Z-98-135 DRB-99-5! 5-85-30 Z-77-29-1 12DRB-70334

Project Numbers



City of Albuquerque P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Suzanne Lubar, Director

Richard J. Berry, Mayor October 17, 2012

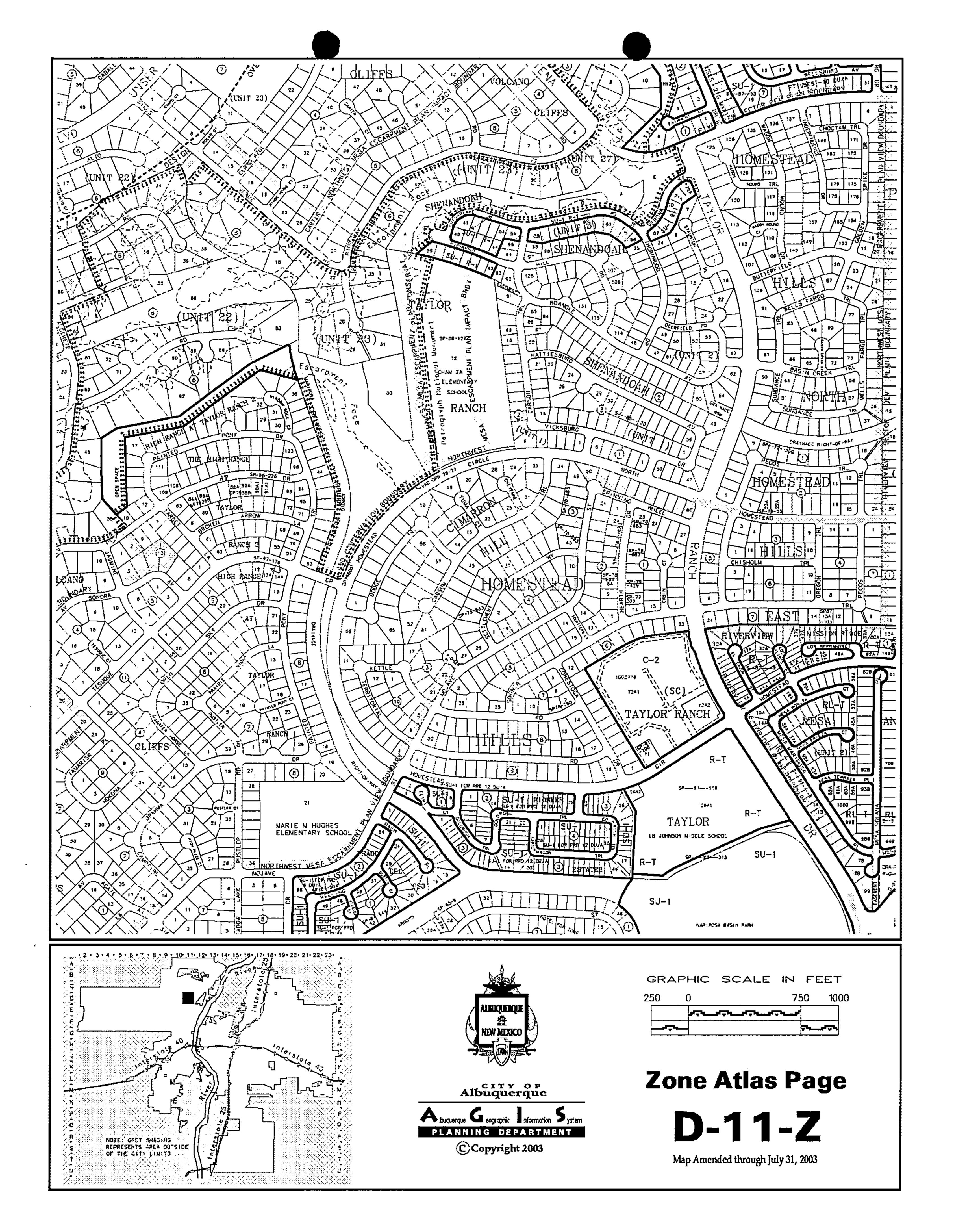
Robert J. Perry, CAO

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance
Documentation
Project Number(s): 1002776, 1006662, 1005331, 1002776, 1009304, 1009395
Case Number(s): ZA-99-022, Z-98-135, DRB-99-51, S-85-30, Z-77-29-1
Agent: Precision Surveys, Inc.
Applicant: KLD Enterprises, LLC (Dan Rich)
Legal Description: Tracts Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, Y-2A-1-D, Taylor
Ranch Subdivision
Zoning: C-2
Acreage: 5.70 acres
Zone Atlas Page: D-11
CERTIFICATE OF NO EFFECT: YesX_ No
CERTIFICATE OF APPROVAL: Yes No
TREATMENT PLAN REVIEW:
DISCOVERY:
SUPPORTING DOCUMENTATION:
SITE VISIT: n/a
RECOMMENDATION(S):

• CERTIFICATE OF NO EFFECT IS ISSUED (ref 0-07-72 Section 4B(2) extensive previous land disturbance).

SUBMITTED:

Matthew Schmader, PhD Superintendent, Open Space Division City Archaeologist





5571 Midway Park Place, NE Albuquerque, NM 87109

PO Box 90636
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX
www.precisionsurveys.com

November 6, 2012

Mr. Jack Cloud, Chair Development Review Board Planning Development Services Division 600 2nd Street NW Albuquerque, NM 87102

RE: REQUEST TO REPLAT EXISTING 4 TRACTS INTO 3 NEW TRACTS AND TO

VACATE A PORTION OF EASEMENTS AND TO GRANT EASEMENTS WITHIN TRACTS Y-2A-1-A-1, Y-2A-1-B-1, Y-2A-1-C-1, TAYLOR RANCH

SUBDIVISION.

Dear Mr. Cloud,

Precision Surveys, Inc. is agent for the property owner of the referenced tracts. The lot is at the northwest corner of Taylor Ranch Road, NW and Homestead Circle, NW as shown on the attached zone atlas page.

The purpose of the plat is to replat existing 4 tracts into 3 new tracts and to vacate a portion of easements and to grant easements.

Please call me if you have any questions or if you need additional information.

Thank you for your consideration.

Best regards,

⊈arry W. Medrano, NMPS

CITY OF ABBUQUERQUE

PLANNING DEPARTMENT URBAN DESIGN & DEVELOPMENT DIVISION 600 2nd Street NW, 3rd Floor, 87102 P.O. Box 1293, Albuquerque, NM 87103 Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

August 13, 2012

Dan Rich 12231 Academy Road NE #301 Albuquerque, NM 87111

Project #1002776

12EPC-40037 Amend Site Development Plan for Building Permit 12EPC-40038 Amend Site Development Plan for Subdivision

LEGAL DESCRIPTION:

for all or a portion of lots Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, & Y-2A-1-D, located on Taylor Ranch Drive, between Homestead Circle and Sooner Trail, containing approximately 10 acres. (D-11) Randall Falkner, Staff Planner

Albuquerque

PO Box 1293

NM 87103

On August 9, 2012, the Environmental Planning Commission voted to APPROVE Project 1002776/12EPC-40038, a request for an Amendment to the Site Development Plan for Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

www.cabq.gov

- 1. This is a request for an amendment to a site development plan for subdivision for Lots Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, Y-2A-1-D, Taylor Ranch. The site is located on Taylor Ranch Drive, between Homestead Circle and Sooner Trail and is approximately 10 acres.
- 2. The applicant intends to eliminate the interior tract (Tract Y-2A-1-D) resulting in interior lot line adjustments, and new and vacated easements (existing public waterline easement to be vacated by final plat and proposed public waterline easement to be granted by final plat). Tract Y-2A-1-D (9,345 s.f.) will be divided up into Tracts Y-2A-1-A (1,708 s.f.) and Y-2A-1-B (7,637 s.f.).

OFFICIAL NOTICE OF DECISION Project #1002776 August 9, 2012

Page 2 of 9

- 3. The subject site is zoned C-2 (SC) and is designated as a Shopping Center. Self-storage is a conditional use in the C-2 zone pursuant to Zoning Code Section14-16-2-17. In 2007 the applicant received a conditional use permit (07ZHE 00044/00045) to allow the existing self-storage units. The applicant is in the process of requesting another conditional use permit in order to allow additional self-storage units. The applicant will go to the Zoning Hearing Examiner (ZHE) on August 7, 2012. Approval of the subject request is contingent upon approval of the conditional use request.
- 4. The site is located in the Established Urban Area of the Comprehensive Plan and within the boundaries of the West Side Strategic Plan.
- 5. The Albuquerque/Bernalillo County Comprehensive Plan, the West Side Strategic Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
- 6. The request furthers or partially furthers the following policies of the Comprehensive Land Use Plan:
 - a. Policy II.B.5d The request will respect neighborhood values. The design is appropriate to the plan area and is consistent with the use (storage) already on the site. The proposed uses are not considered intense and are appropriate for the location. There is neighborhood support for the request.
 - b. Policy II.B.5e Urban services already exist in the shopping center, and the request will develop vacant land inside the site that is currently not in use, while ensuring the integrity of existing neighborhoods. The request will provide storage as well as 1,600 square feet of small offices on the ground floor of the building.
 - c. Policy II.B.5j The proposed development is located in an existing commercial zoned area. The subject site is designated in the WSSP as the Taylor Ranch Dr./Homestead Circle Neighborhood Center and provides pedestrian and bicycle access within reasonable distance of residential areas for walking and bicycling, and also provides access to mass transit.
 - d. Activity Centers Goal The subject site is designated as a neighborhood activity center (Taylor Ranch Dr./Homestead Circle Neighborhood Center). Neighborhood activity centers are envisioned as providing daily services. Though the small offices will partially fulfill this intent, the storage units are not the same kind of "daily needs" use.

OFFICIAL NOTICE OF DECISION Project #1002776 August 9, 2012 Page 3 of 9

- 7. The request furthers Policy 1.1 of the West Side Strategic Plan. The request for a commercial/office use is located in the Taylor Ranch Dr./Homestead Circle Neighborhood Center. The request will continue to allow non-residential development within the Neighborhood Activity Center.
- 8. Letters of support have been received from members of the neighborhood.
- 9. A facilitated meeting was held on June 27, 2012. The biggest neighborhood concern was the height of the proposed 3-story building. After the facilitated meeting, the applicant decided to lower the height of the building to a 2-story building. Overall, the neighbors generally liked the design details of the request.

CONDITIONS:

- 1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
- 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
- 73. The applicant needs to have a legend with each Tract (Y-2A-1-A, Y-2A-1-B, Tract Y-2A-1-C, and Tract Y-2A-1-D) shown and the total square footage and acreage of each tract after the lot line adjustments.
 - 4. Conditions from the City Engineer, Municipal Development, and NMDOT:
 - a. Concurrent Platting Action required at Development Review Board (DRB) for proposed lot line adjustments.
 - b. A separate vacation request required for any vacation action.
 - c. Provide/label/detail all dimensions, classifications and proposed infrastructure for Site.

OFFICIAL NOTICE OF DECISION Project #1002776 August 9, 2012 Page 4 of 9

- d. Appropriate annotation and key notes will need to be provided for clarity of amendment.
- e. Site plan shall comply and be in accordance with DPM (Development Process Manual) and ADA standards/ requirements.
- f. All easements need to be shown and labeled on Site Plan.
- 5. Conditions from Public Service Company of New Mexico:
 - a. An existing underground electric service line is located along the west property line and along the north side of the proposed project. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
 - b. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project.

On August 9, 2012, the Environmental Planning Commission voted to APPROVE Project 1002776/12EPC-40037, a request for an Amendment to the Site Development Plan for Building Permit based on the following Findings and subject to the following Conditions:

FINDINGS:

- 1. This is a request for an amendment to a site development plan for building permit for Lots Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, Y-2A-1-D, Taylor Ranch. The site is located on Taylor Ranch Drive, between Homestead Circle and Sooner Trail and is approximately 10 acres.
- 2. The applicant intends to amend the site development plan for building permit by removing proposed retail (not built) and replacing it with storage/office. The proposed 2-story storage/office building will include approximately 1,600 s.f. of small offices on the ground floor to help maintain the existing retail/office presence at the center.
- 3. The subject site is zoned C-2 (SC) and is designated as a Shopping Center. Self-storage is a conditional use in the C-2 zone pursuant to Zoning Code Section 14-16-2-17. In 2007 the applicant received a conditional use permit (07ZHE 00044/00045) to allow the existing self-storage units. The applicant is in the process of requesting another conditional use permit in order to allow additional self-storage units. The applicant will go to the Zoning Hearing Examiner (ZHE)

OFFICIAL NOTICE OF DECISION Project #1002776 August 9, 2012 Page 5 of 9

on August 7, 2012. Approval of the subject request is contingent upon approval of the conditional use request.

- 4. The applicant obtained a Special Exception (07ZHE 80021) in 2007 from the shopping center regulations (Zoning Code Section14-16-3-2) to allow more than one sign per 300 ft. of street frontage. As part of the ZHE's decision on the Special Exception, a condition was provided that states the following: "No additional signage requests shall be made as to number or size of signs." As a result, the applicant is not currently allowed any additional free-standing signs and cannot add to the size of these signs. The EPC may approve the signage as requested since it meets the requirements of the Zoning Code; however, the applicant will have to return to the ZHE to request a variance.
- 5. The site is located in the Established Urban Area of the Comprehensive Plan and within the boundaries of the West Side Strategic Plan.
- 6. The Albuquerque/Bernalillo County Comprehensive Plan, the West Side Strategic Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
- 7. The request furthers or partially furthers the following policies of the Comprehensive Land Use Plan:
 - a. Policy II.B.5d The request will respect neighborhood values. The design is appropriate to the plan area and is consistent with the use (storage) already on the site. The proposed uses are not considered intense and are appropriate for the location. There is neighborhood support for the request.
 - b. Policy II.B.5e Urban services already exist in the shopping center, and the request will develop vacant land inside the site that is currently not in use, while ensuring the integrity of existing neighborhoods. The request will provide storage as well as 1,600 square feet of small offices on the ground floor of the building.
 - c. Policy II.B.5i The proposed storage units and retail/service buildings would be located at the back of an existing shopping center, which is adjacent to single-family homes. Storage units do not typically create much noise, pollution or traffic.
 - d. Policy II.B.5j The proposed development is located in an existing commercial zoned area. The subject site is designated in the WSSP as the

OFFICIAL NOTICE OF DECISION

Project #1002776 August 9, 2012 Page 6 of 9

- Taylor Ranch Dr./Homestead Circle Neighborhood Center and provides pedestrian and bicycle access within reasonable distance of residential areas for walking and bicycling, and also provides access to mass transit.
- e. Policy II.B.51 The proposed buildings are consistent with the existing storage and commercial buildings throughout the Taylor Ranch Dr./Homestead Circle Neighborhood Center. The storage units are monotonous and not innovative by nature, though they are a quality design.
- f. Policy II.B.5m The proposed storage building will be a 2-story structure, which will help to maintain unique vistas. The proposed structure does not exceed height requirements in the C-2 Zone.
- g. Activity Centers Goal The subject site is designated as a neighborhood activity center (Taylor Ranch Dr./Homestead Circle Neighborhood Center). Neighborhood activity centers are envisioned as providing daily services. Though the small offices will partially fulfill this intent, the storage units are not the same kind of "daily needs" use.
- 8. The request furthers or partially furthers the following policies of the West Side Strategic Plan:
 - a. Policy 1.1 The request for a commercial/office use is located in the Taylor Ranch Dr./Homestead Circle Neighborhood Center. The request will continue to allow non-residential development within the Neighborhood Activity Center.
 - b. Policy 4.6 The building has been lowered to 2-stories in order to help preserve views and to reduce adverse impacts. The height of the building does not exceed what is allowed in the C-2 Zone. Lighting is mostly contained within the site, but remains a concern.
- 9. Letters of support have been received from members of the neighborhood.
- 10. A facilitated meeting was held on June 27, 2012. The biggest neighborhood concern was the height of the proposed 3-story building. After the facilitated meeting, the applicant decided to lower the height of the building to a 2-story building. Overall, the neighbors generally liked the design details of the request.

OFFICIAL NOTICE OF DECISION Project #1002776 August 9, 2012 Page 7 of 9

CONDITIONS:

- The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
- 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
- 3. In order to be able to expand the free-standing signage on the site development plan for building permit as requested, a variance from the ZHE must be obtained by the applicant to the shopping center regulations in Section 14-16-3-2 (B) (4) for free-standing signs.

4. Lighting:

- a. Wall-pack lighting, and the height at which they are mounted, shall be indicated on the storage unit elevations.
- b. The height of wall-pack light fixtures shall be consistent with other buildings throughout the site.
- c. The wall-pack lighting shall be downward lighting.
- d. The clock tower shall not be lighted at night.
- 5. Conditions from the City Engineer, Municipal Development, and NMDOT:
 - a. Concurrent Platting Action required at Development Review Board (DRB) for proposed lot line adjustments.
 - b. A separate vacation request required for any vacation action.
 - c. Provide/label/detail all dimensions, classifications and proposed infrastructure for Site.
 - d. Appropriate annotation and key notes will need to be provided for clarity of amendment.
 - e. Site plan shall comply and be in accordance with DPM (Development Process Manual) and ADA standards/ requirements.
 - f. All easements need to be shown and labeled on Site Plan.

OFFICIAL NOTICE OF DECISION Project #1002776 August 9, 2012 Page 8 of 9

- 6. Conditions from Public Service Company of New Mexico:
 - a. An existing underground electric service line is located along the west property line and along the north side of the proposed project. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
 - b. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY AUGUST 24, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half

OFFICIAL NOTICE OF DECISION Project #1002776 August 9, 2012 Page 9 of 9

of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

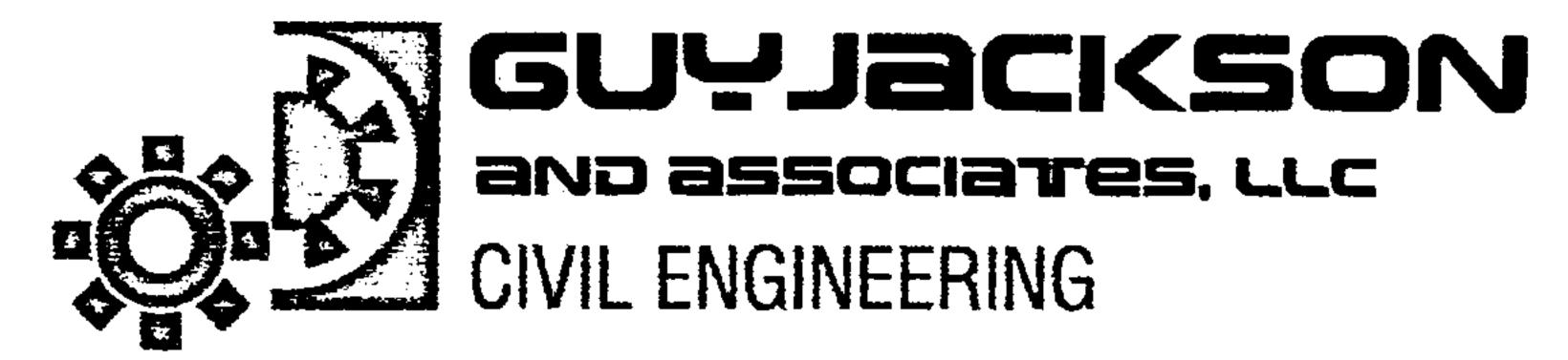
DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,

Manone
Suzanne Lubar
Acting Director, Planning Department

SL/RF/mc

Guy Jackson, 10522 Florence Avenue NE, Albuquerque, NM 87122 Dan Rich, 12231 Academy Road NE #301, Albuquerque, NM 87111 Ray Shortridge, 4800 College Heights Drive NW, Albuquerque, NM 87120 Rene Horvath, 5515 Palomino Drive NW, Albuquerque, NM 87120 Gerald C. Worrall, 1039 Pinatubo Place NW, Albuquerque, NM 87120 Candelaria Patterson, 7608 Elderwood NW, Albuquerque, NM 87120



November 14, 2012

Mr. Jack Cloud Chairman –Development Review Board PO Box 1293 Albuquerque NM 87102

Request for Amended Site Development Plan Approval (12EPC-40037 & 12EPC-40038) for Involving Tracts Y-2A-1-A, Y-2A-1-B, Y-2A-1-C and Y-2A-1-D for the Taylor Ranch Self Storage Located Within the Homestead Hills Shopping Center, NW, Albuquerque, NM Zone Atlas Page C-22. Project # 1002776

Dear Mr. Cloud:

I'm requesting that the referenced project be added to the November 28, 2012, DRB agenda for Amended Site Development Plan review.

The following items were requested and are being submitted with this request:

 Six (6) copies of the Amended Site Development Plans to include: the Amended Site Plan for Subdivision (12EPC-40037) and the Amended Site Plan for Building Permit (12EPC-40037)

On August 9, 2012, the EPC voted to approve both amendments to the Site Plan for Subdivision and Site Plan for Building Permit.

The approval of the Amended Site Plan for Subdivision was subject to conditions that were addressed as follows:

- 1. This letter serves to identify any modifications to the site plan since the EPC hearing.
- 2. On November 13, 2012, the architect of record (Kevin Juno) and I met with Randall Falkner to ensure that all of the conditions were met.
- 3. A legend has been placed on the plan that identifies the tracts along with their adjusted acreage after the lot line adjustments and the elimination of Tract Y-2A-1-D.
- 4. a) A Concurrent Platting action for the proposed lot line adjustments (and additional easement dedications) is accompanying the amended site development approval request. b) A separate vacation request was approved on November 13, 2012. c) Per discussions with Nilo Salgado-

Fernandez, PE (City Engineer Delegate) the labels and dimensions are to be shown on the Site Plan for Building Permit), not as indicated on the conditions. All other proposed infrastructure is shown on the plan. D) Per discussions with Nilo Salgado-Fernandez, PE (City Engineer Delegate) the annotated keyed notes are to be shown on the Site Plan for Building Permit), not as indicated on the conditions. f) the proposed improvements shown on the amended site plan complies with and is in accordance with the DPM and ADA standards. f) All easements shown on the amended site plan are consistent with the accompanying plat.

5. a & b) the applicant will confirm & discuss abiding conditions of PNM's easements on the west and north perimeter. An application for electric service is being prepared by the developer with PNM's New Service Delivery Department.

The approval of the Amended Site Plan for Building Permit was subject to conditions that were addressed as follows:

- This letter serves to identify any modifications to the site plan since the EPC hearing.
- 2. On November 13, 2012, the architect of record (Kevin Juno) and I met with Randall Falkner to ensure that all of the conditions were met.
- 3. The ZHE granted a variance on October 3, 2012 to expand the freestanding signage on the site development plan for building permit per Special Exception No: 12ZHE-80235. The changes are included on sheet AS3.1.
- 4. Lighting
 - a. Wall-Pack lighting and the heights at which they are mounted have been indicated on the storage building elevations on sheets A2.1, A2.2 and A2.3.
 - b. The height of the wall wall-pack light fixtures shall be consistent with other buildings throughout the site. Refer to dimensions on sheets A1.1, A2.2, and A2.3.
 - c. The wall-pack lighting shall be downward lighting. Refer to notes on sheets A2.1, A2.2, and A2.3.
 - d. The clock tower shall not be lighted at night. The notes to light the sides of the clock tower have been removed from the elevations on sheet A2.1.
- 5. Conditions from the City Engineer, Municipal Development and NMDOT:
 - A Concurrent Platting action for the proposed lot line adjustments (and additional easement dedications) is accompanying the amended site development approval request.
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- sheet AS1.2, as indicated on the conditions. All other proposed infrastructure is shown on the Site Plan for Subdivision, sheet AS1.2.
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Please contact me if you have any questions or comments.

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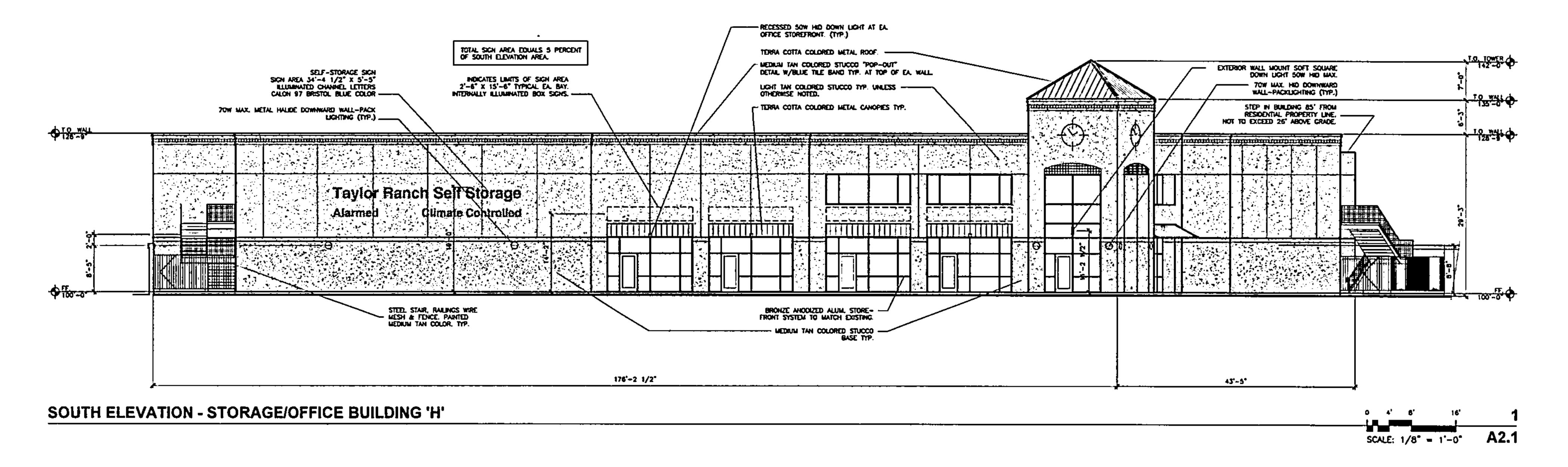
Guy Jackson, PE, Agent Guy Jackson & Associates, LLC 10522 Florence Ave. NE

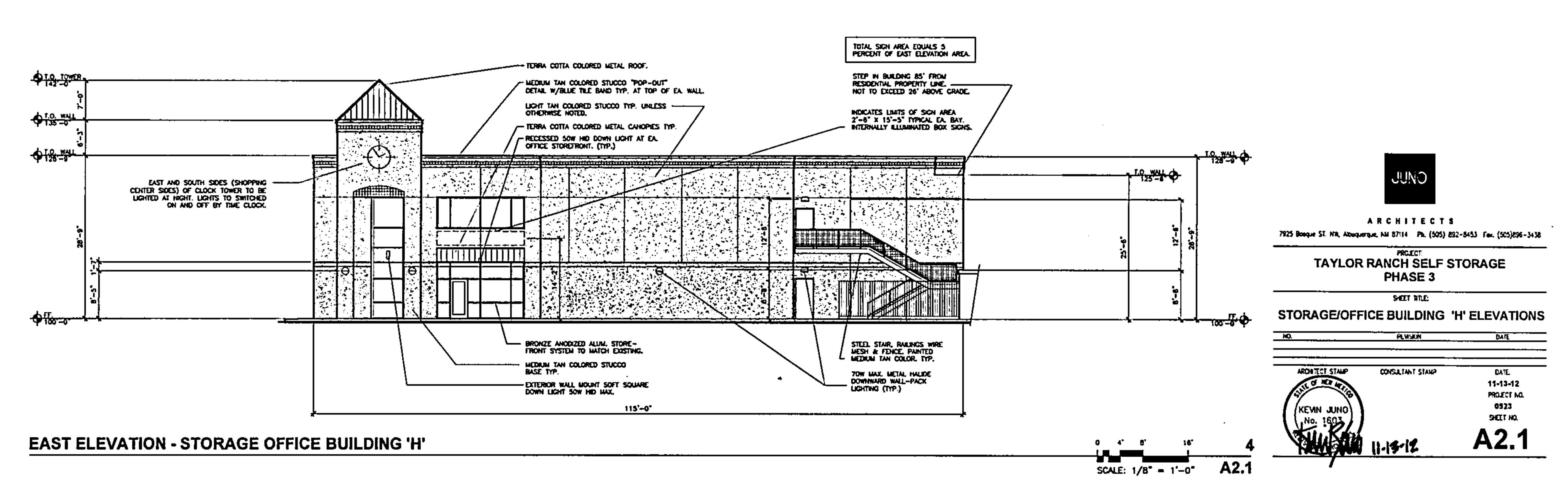
Albuquerque, NM 87122

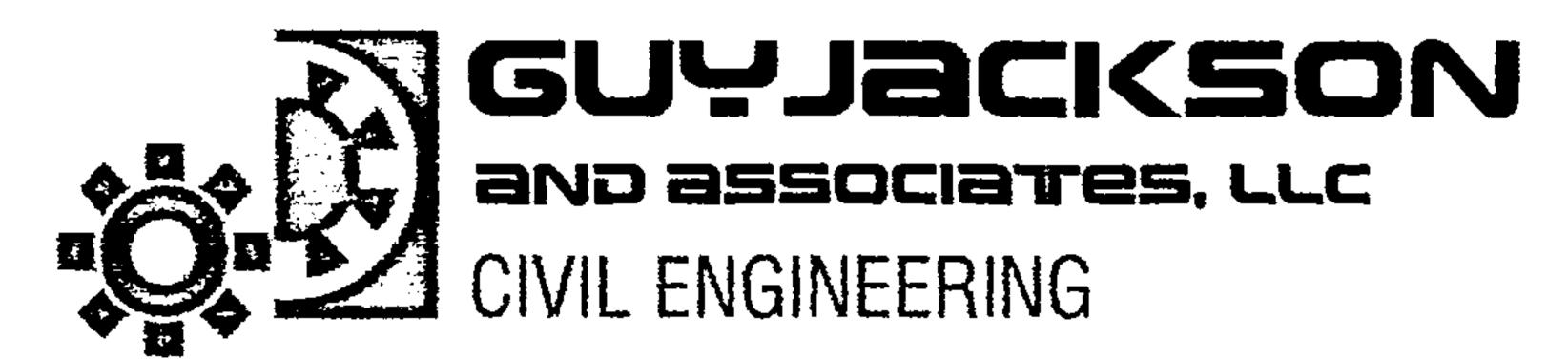
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Pacet#1002776 Application #:

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November 14, 2012

Mr. Jack Cloud Chairman –Development Review Board PO Box 1293 Albuquerque NM 87102

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Guy Jackson, PE, Agent Guy Jackson & Associates, LLC 10522 Florence Ave. NE Albuquerque, NM 87122 235-1426