

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1007776 Application #: 12DRB-70358
12DRB-70359
12DRB-70360
 Project Name: Taylor Ranch
 Agent: Precision Surveys Inc Phone #:
& Guy Jackson's Assoc.

Your request was approved on 7-28-12 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign):

_____ to record

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

34
34
34

City of Albuquerque
Planning Department
Inter-Office Memorandum

5

TO: Jack Cloud, DRB Chair
FROM: Randall Falkner, Planner
SUBJECT: Project # 1002776

On August 9, 2012, the Environmental Planning Commission (EPC) approved Project #1002776/12EPC 40037/40038, an amendment to a site development plan for building permit and an amendment to a sit development plan for subdivision for all or a portion of Lots Y-2A-1-A, Y-2A-1-B, Y-2A-1-C & Y-2A-1-D, located on Taylor Ranch Drive, between Homestead Circle and Sooner Trail, containing approximately 10 acres.

The applicant has satisfied all of the EPC conditions of approval.

However, condition #4 for the site development plan for building permit needs explanation. The condition is as follows:

4.c. The wall pack lighting shall be downward lighting.

Explanation: The submitted site development plan for building permit elevations sheet A2.1 shows the lighting as "up and down light". Applicant has submitted a PDF that now shows the lighting as "down light". The lighting is now in compliance. A copy of the PDF has been included in the packet.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.

4. **Project# 1009082**
 12DRB-70082 VACATION OF PUBLIC
 UTILITY EASEMENT
 12DRB-70083 VACATION OF PUBLIC
 RIGHT-OF-WAY

WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11) [Deferred from 3/28/12, 4/4/12, 5/9/12, 5/30/1/ 6/27/12, 7/25/12, 8/29/12, 9/26/12, 10/31/12] **DEFERRED TO 12/19/12 AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

5. **Project# 1002776**
 12DRB-70358 MINOR - PRELIMINARY/
 FINAL PLAT APPROVAL
 12DRB-70359 EPC APPROVED SDP
 FOR BUILD PERMIT
 12DRB-70360 EPC APPROVED SDP
 FOR SUBDIVISION

PRECISION SURVEYS INC AND GUY JACKSON & ASSOCIATES agent(s) for KLD ENTERPRISES, LLC request(s) the above action(s) for all or a portion of Tract(s) Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, **TAYLOR RANCH** zoned C-2, located on TAYLOR RANCH BETWEEN HOMESTEAD CIRCLE AND SOONER TRAIL containing approximately 10.1154 acre(s). (D-11) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR DIMENSIONAL EXHIBIT AND TO PLANNING FOR COMMENTS. THE SITE DEVELOPMENT PLANS FOR SUBDIVISION AND BUILDING PERMIT WERE APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION AND PLANNING FOR COMMENTS.**

6. **Project# 1005243**
 12DRB-70356 EPC APPROVED SDP
 FOR BUILD PERMIT
 12DRB-70361 EPC APPROVED SDP
 FOR SUBDIVISION
 12DRB-70357 MINOR - PRELIMINARY/
 FINAL PLAT APPROVAL

CONSENSUS PLANNING AND ISAACSON AND ARFMAN PA agent(s) for VERDAD REAL ESTATE request(s) the above action(s) for all or a portion of Tract(s) 1-5, **BROADSTONE TOWNE CENTER** zoned SU-1 FOR PRD & C-2, located on GIBSON BLVD BETWEEN BETWEEN UNIVERSITY AND BUENA VISTA containing approximately 16.76 acre(s). (L-15) **THE SITE PLANS FOR BUILDING PERMIT AND SUBDIVISION WERE APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND TO PLANNING. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF AND UTILITY SIGNATURES.**

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Complete
2-25-13

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

→ This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1002776 Application #: 12DRB-70358
12DRB-70359
12DRB-70360
 Project Name: Taylor Ranch
 Agent: Precision Surveys Inc. Phone #:
Guy Jackson & Assoc.

Your request was approved on 11-28-12 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

OK

TRANSPORTATION: provide exhibit, address comments
(how may be required)

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

OK

PLANNING (Last to sign): - site plan, after plat is recorded
Planning to record plat

PLATS: Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

✓

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

→ **ALL SITE PLANS:**
 3 copies of the approved site plan. Include all pages.



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Precision Surveys Inc. PHONE: 856-5700
 ADDRESS: P.O. Box 90636 FAX: 856-7900
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: Larry@presurv.com

APPLICANT: KLD Enterprises, LLC Dan Rich PHONE: 304-4516
 ADDRESS: 12231 Academy Rd NE Ste 301 FAX: 554-1713
 CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: emeraldprops@aol.com
 Proprietary interest in site: Owner List all owners: KLD Enterprises LLC

DESCRIPTION OF REQUEST: Replat existing 4 tracts into 3 new tracts and to vacate a portion of easements and to grant easements.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, BLOCK: N/A Unit: N/A
 Subdiv/Addn/TBKA: Taylor Ranch
 Existing Zoning: C-2 Proposed zoning: C-2 MRGCD Map No N/A
 Zone Atlas page(s): D-11 UPC Code: 101106337912140925

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): See Attached

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 4 No. of proposed lots: 3 Total site area (acres): 10.1154
 LOCATION OF PROPERTY BY STREETS: On or Near: Taylor Ranch Dr. NW
 Between: Homestead Circle and Sooner Trail NW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Marco L. Cisneros DATE 11/6/12
 (Print Name) Marco L. Cisneros Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>12DR - 70358</u>	<u>P&F</u>	—	<u>\$ 355.00</u>
—	<u>CMF</u>	—	<u>\$ 20.00</u>
—	<u>SBP</u>	—	<u>\$ 0</u>
—	<u>SPS</u>	—	<u>\$ 0</u>
—	—	—	<u>\$</u>
—	—	—	<u>\$</u>

Hearing date Nov. 28, 2012

Total \$ 375.00

[Signature] 11-14-12
 Staff signature & Date

Project # 1002776

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A **Bulk Land Variance** requires application on FORM -V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Marco Cisneros
 Applicant name (print)
Marco Cisneros
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
12 - DRB - 70358

11-14-12
 Planner signature / date
 Project # 1002776

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**.
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Guy Jackson
 Applicant name (print)
[Signature] 11/14/12
 Applicant signature / date



Form revised October 2007

[Signature] 11-14-12
 Planner signature / date
 Project # 1002776

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 12DRB - 70359
 - 70360



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input checked="" type="checkbox"/> for Subdivision			
<input checked="" type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A		APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Precision Surveys Inc. PHONE: 856-5700
 ADDRESS: P.O. Box 90636 FAX: 856-7900
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: Larry@presurv.com
 APPLICANT: KLD Enterprises, LLC Dan Rich PHONE: 304-4516
 ADDRESS: 12231 Academy Rd NE Ste 301 FAX: 554-1713
 CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: emeraldprops@aol.com
 Proprietary interest in site: Owner List all owners: KLD Enterprises LLC

DESCRIPTION OF REQUEST: Replace existing 4 tracts into 3 new tracts and to vacate a portion of easements and to grant easements.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, Block: N/A Unit: N/A
 Subdiv/Addn/TBKA: Taylor Ranch
 Existing Zoning: C-2 Proposed zoning: C-2 MRGCD Map No N/A
 Zone Atlas page(s): D-11 UPC Code: 101106337912140925

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.):
See Attached

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 4 No. of proposed lots: 3 Total site area (acres): 10.1154
 LOCATION OF PROPERTY BY STREETS: On or Near: Taylor Ranch Dr. NW
 Between: Homestead Circle and Sooner Trail NW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team (PRT) Review Date: _____

SIGNATURE Marco L. Cisneros DATE 11/6/12
 (Print Name) Marco L. Cisneros Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers
12 DR - 70358

70359
70360

Action	S.F.	Fees
<u>P&F</u>	_____	\$ <u>355.00</u>
<u>CMF</u>	_____	\$ <u>20.00</u>
<u>SBP</u>	_____	\$ <u>0</u>
<u>SPS</u>	_____	\$ <u>0</u>
		\$ _____
		Total
		\$ <u>375.00</u>

Hearing date Nov. 28, 2012

[Signature] 11-14-12
 Staff signature & Date

Project # 1002776

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM -V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls 3 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (verify with DRB Engineer)
 - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Marco Cisneros
 Applicant name (print)
Marco Cisneros
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
12 - DRB - 70358

[Signature] 11-14-12
 Planner signature / date
 Project # 1002776

FORM P(3): SITE PLAN REVIEW - DRB MEETING (UNADVERTISED)

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

Maximum Size: 24" x 36"

- ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) **Maximum Size: 24" x 36"**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Guy Jackson
Applicant name (print)
[Signature] 11/14/12
Applicant signature / date



Form revised October 2007

[Signature] 11-14-12
Planner signature / date
Project # 1002776

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12DRB - 20359
- 20360

Case Numbers

ZA-99-022

Z-98-135

DRB-99-51

S-85-30

Z-77-29-1

12DRB-70334

Project Numbers

1002776

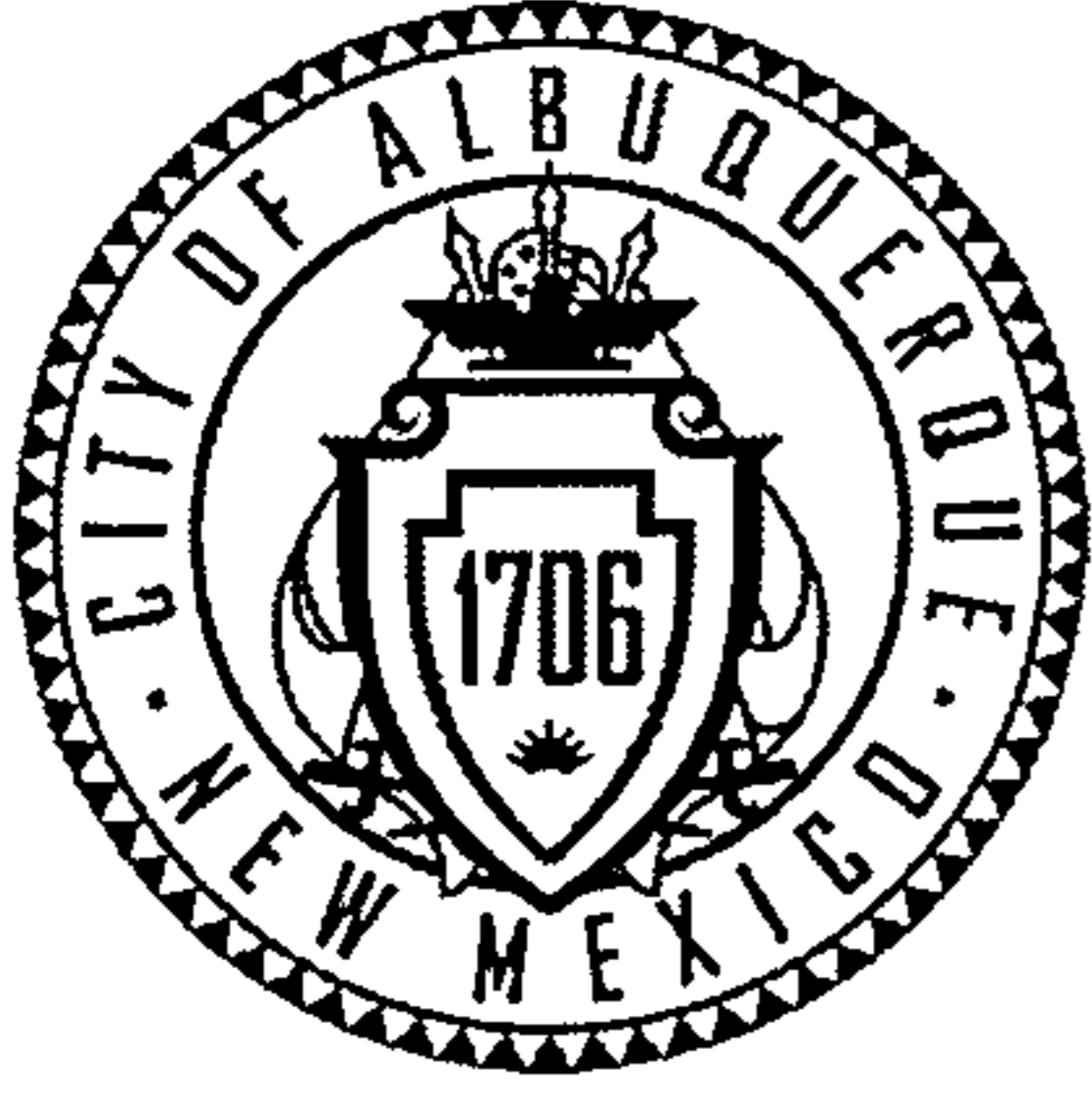
1006662

1005331

1002776

1009304

1009395



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
October 17, 2012

Robert J. Perry, CAO

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Project Number(s): 1002776, 1006662, 1005331, 1002776, 1009304, 1009395

Case Number(s): ZA-99-022, Z-98-135, DRB-99-51, S-85-30, Z-77-29-1

Agent: Precision Surveys, Inc.

Applicant: KLD Enterprises, LLC (Dan Rich)

Legal Description: Tracts Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, Y-2A-1-D, Taylor Ranch Subdivision

Zoning: C-2

Acreage: 5.70 acres

Zone Atlas Page: D-11

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

**TREATMENT PLAN REVIEW:
DISCOVERY:**

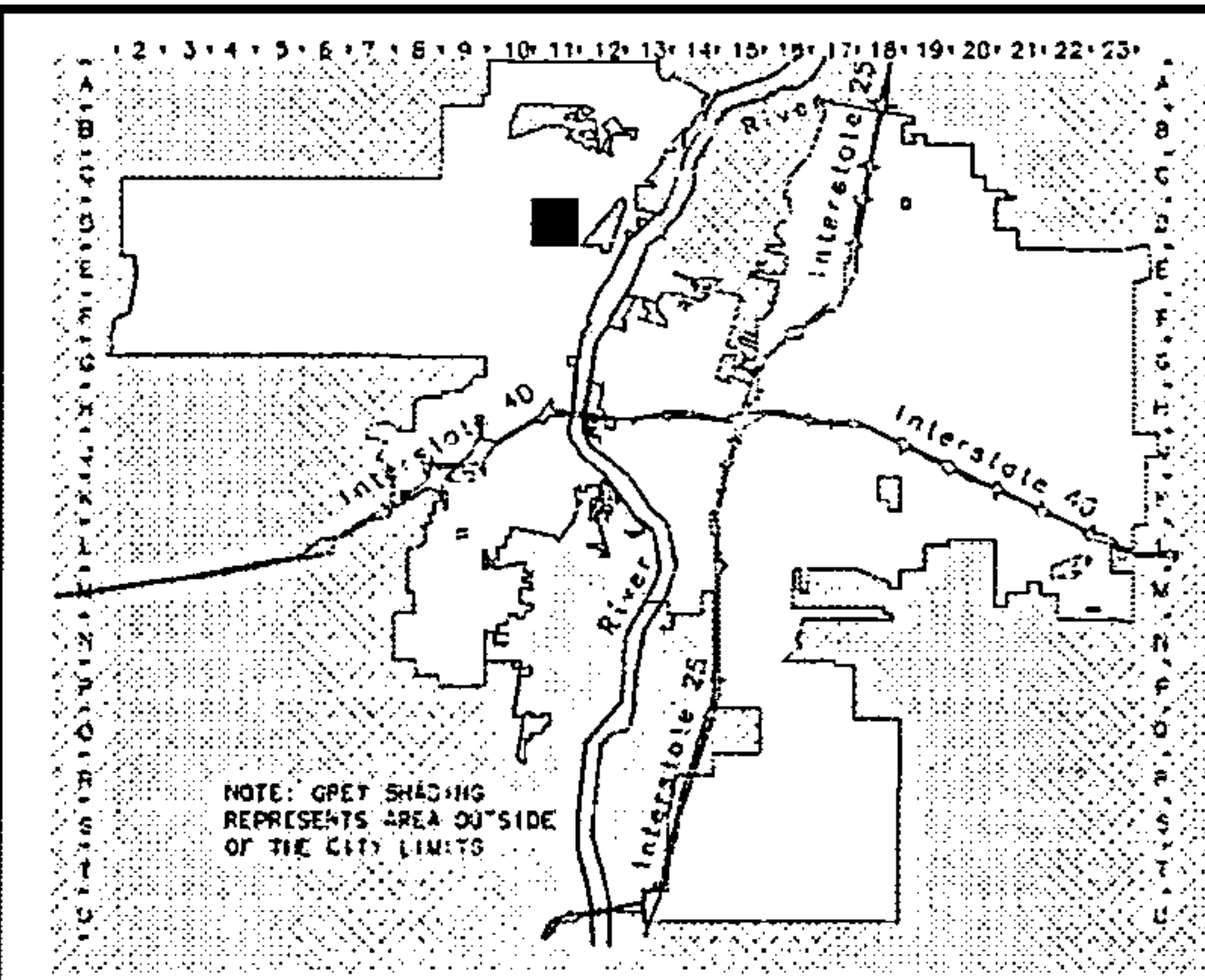
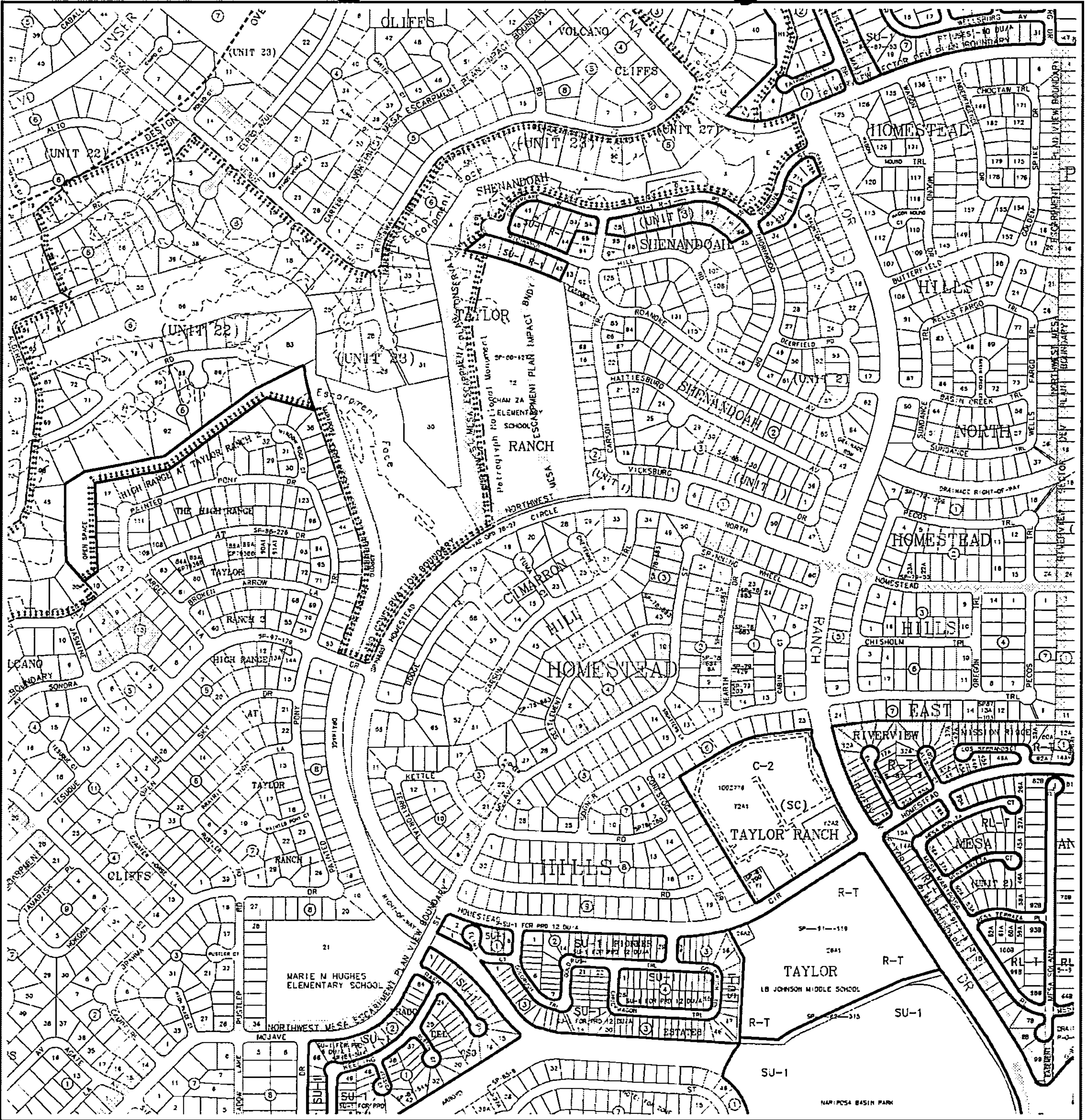
**SUPPORTING DOCUMENTATION:
SITE VISIT:** n/a

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(2)—extensive previous land disturbance) .***

SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist



CITY OF
Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET



Zone Atlas Page

D-11-Z

Map Amended through July 31, 2003



OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109

MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX
www.precisionsurveys.com

November 6, 2012

Mr. Jack Cloud, Chair
Development Review Board
Planning Development Services Division
600 2nd Street NW
Albuquerque, NM 87102

RE: REQUEST TO REPLAT EXISTING 4 TRACTS INTO 3 NEW TRACTS AND TO
VACATE A PORTION OF EASEMENTS AND TO GRANT EASEMENTS
WITHIN TRACTS Y-2A-1-A-1, Y-2A-1-B-1, Y-2A-1-C-1, TAYLOR RANCH
SUBDIVISION.

Dear Mr. Cloud,

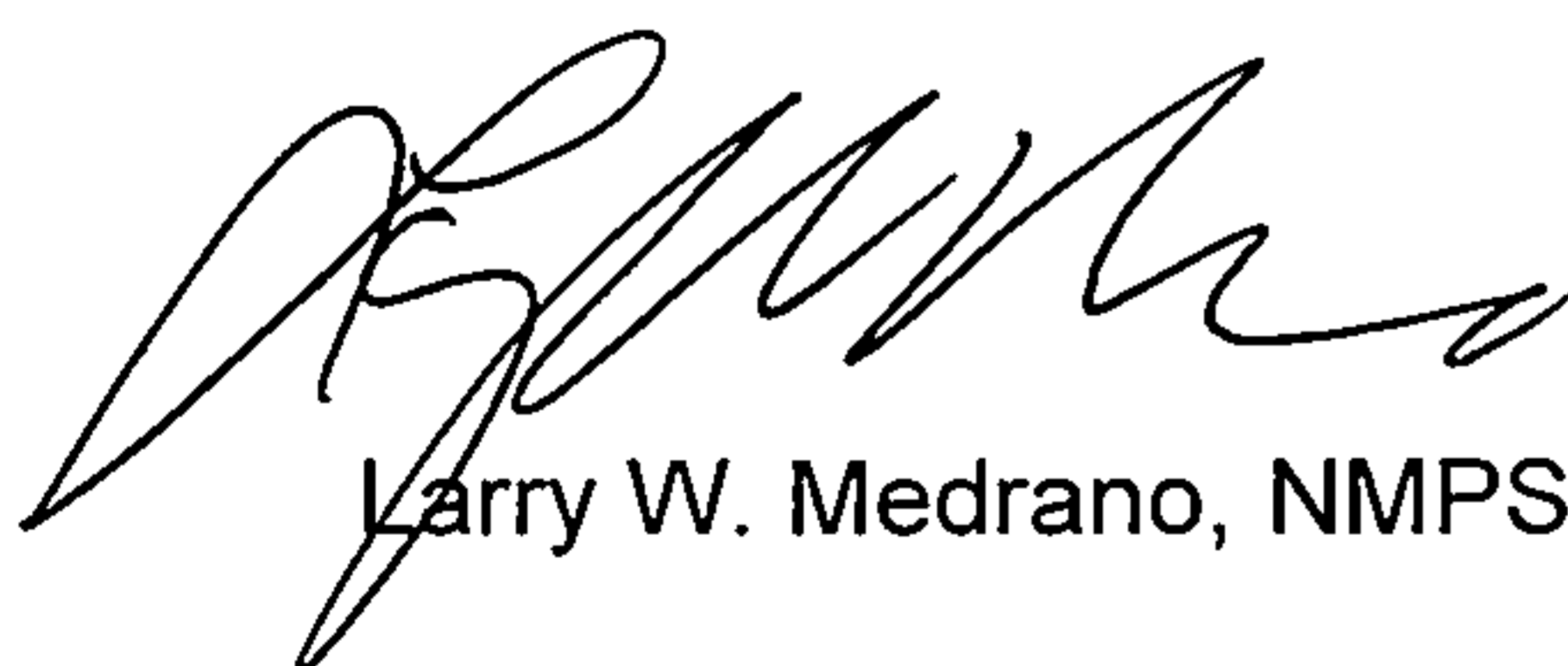
Precision Surveys, Inc. is agent for the property owner of the referenced tracts. The lot is at the northwest corner of Taylor Ranch Road, NW and Homestead Circle, NW as shown on the attached zone atlas page.

The purpose of the plat is to replat existing 4 tracts into 3 new tracts and to vacate a portion of easements and to grant easements.

Please call me if you have any questions or if you need additional information.

Thank you for your consideration.

Best regards,



Larry W. Medrano, NMPS

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

August 13, 2012

Dan Rich
12231 Academy Road NE #301
Albuquerque, NM 87111

Project #1002776
12EPC-40037 Amend Site Development Plan for
Building Permit
12EPC-40038 Amend Site Development Plan for
Subdivision

LEGAL DESCRIPTION:

for all or a portion of lots Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, & Y-2A-1-D, located on Taylor Ranch Drive, between Homestead Circle and Sooner Trail, containing approximately 10 acres. (D-11)
Randall Falkner, Staff Planner

PO Box 1293

Albuquerque

NM 87103

On August 9, 2012, the Environmental Planning Commission voted to APPROVE Project 1002776/12EPC-40038, a request for an Amendment to the Site Development Plan for Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

www.cabq.gov

1. This is a request for an amendment to a site development plan for subdivision for Lots Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, Y-2A-1-D, Taylor Ranch. The site is located on Taylor Ranch Drive, between Homestead Circle and Sooner Trail and is approximately 10 acres.
2. The applicant intends to eliminate the interior tract (Tract Y-2A-1-D) resulting in interior lot line adjustments, and new and vacated easements (existing public waterline easement to be vacated by final plat and proposed public waterline easement to be granted by final plat). Tract Y-2A-1-D (9,345 s.f.) will be divided up into Tracts Y-2A-1-A (1,708 s.f.) and Y-2A-1-B (7,637 s.f.).

OFFICIAL NOTICE OF DECISION

Project #1002776

August 9, 2012

Page 2 of 9

3. The subject site is zoned C-2 (SC) and is designated as a Shopping Center. Self-storage is a conditional use in the C-2 zone pursuant to Zoning Code Section 14-16-2-17. In 2007 the applicant received a conditional use permit (07ZHE 00044/00045) to allow the existing self-storage units. The applicant is in the process of requesting another conditional use permit in order to allow additional self-storage units. The applicant will go to the Zoning Hearing Examiner (ZHE) on August 7, 2012. Approval of the subject request is contingent upon approval of the conditional use request.
4. The site is located in the Established Urban Area of the Comprehensive Plan and within the boundaries of the West Side Strategic Plan.
5. The Albuquerque/Bernalillo County Comprehensive Plan, the West Side Strategic Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The request furthers or partially furthers the following policies of the Comprehensive Land Use Plan:
 - a. Policy II.B.5d – The request will respect neighborhood values. The design is appropriate to the plan area and is consistent with the use (storage) already on the site. The proposed uses are not considered intense and are appropriate for the location. There is neighborhood support for the request.
 - b. Policy II.B.5e – Urban services already exist in the shopping center, and the request will develop vacant land inside the site that is currently not in use, while ensuring the integrity of existing neighborhoods. The request will provide storage as well as 1,600 square feet of small offices on the ground floor of the building.
 - c. Policy II.B.5j – The proposed development is located in an existing commercial zoned area. The subject site is designated in the WSSP as the Taylor Ranch Dr./Homestead Circle Neighborhood Center and provides pedestrian and bicycle access within reasonable distance of residential areas for walking and bicycling, and also provides access to mass transit.
 - d. Activity Centers Goal – The subject site is designated as a neighborhood activity center (Taylor Ranch Dr./Homestead Circle Neighborhood Center). Neighborhood activity centers are envisioned as providing daily services. Though the small offices will partially fulfill this intent, the storage units are not the same kind of “daily needs” use.

OFFICIAL NOTICE OF DECISION

Project #1002776

August 9, 2012

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7. The request furthers Policy 1.1 of the West Side Strategic Plan. The request for a commercial/office use is located in the Taylor Ranch Dr./Homestead Circle Neighborhood Center. The request will continue to allow non-residential development within the Neighborhood Activity Center.
8. Letters of support have been received from members of the neighborhood.
9. A facilitated meeting was held on June 27, 2012. The biggest neighborhood concern was the height of the proposed 3-story building. After the facilitated meeting, the applicant decided to lower the height of the building to a 2-story building. Overall, the neighbors generally liked the design details of the request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant needs to have a legend with each Tract (Y-2A-1-A, Y-2A-1-B, Tract Y-2A-1-C, and Tract Y-2A-1-D) shown and the total square footage and acreage of each tract after the lot line adjustments.
4. Conditions from the City Engineer, Municipal Development, and NMDOT:
 - a. Concurrent Platting Action required at Development Review Board (DRB) for proposed lot line adjustments.
 - b. A separate vacation request required for any vacation action.
 - c. Provide/label/detail all dimensions, classifications and proposed infrastructure for Site.

OFFICIAL NOTICE OF DECISION

Project #1002776

August 9, 2012

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- d. Appropriate annotation and key notes will need to be provided for clarity of amendment.
 - e. Site plan shall comply and be in accordance with DPM (Development Process Manual) and ADA standards/ requirements.
 - f. All easements need to be shown and labeled on Site Plan.
5. Conditions from Public Service Company of New Mexico:
- a. An existing underground electric service line is located along the west property line and along the north side of the proposed project. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
 - b. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project.

On August 9, 2012, the Environmental Planning Commission voted to APPROVE Project 1002776/12EPC-40037, a request for an Amendment to the Site Development Plan for Building Permit based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for an amendment to a site development plan for building permit for Lots Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, Y-2A-1-D, Taylor Ranch. The site is located on Taylor Ranch Drive, between Homestead Circle and Sooner Trail and is approximately 10 acres.
2. The applicant intends to amend the site development plan for building permit by removing proposed retail (not built) and replacing it with storage/office. The proposed 2-story storage/office building will include approximately 1,600 s.f. of small offices on the ground floor to help maintain the existing retail/office presence at the center.
3. The subject site is zoned C-2 (SC) and is designated as a Shopping Center. Self-storage is a conditional use in the C-2 zone pursuant to Zoning Code Section 14-16-2-17. In 2007 the applicant received a conditional use permit (07ZHE 00044/00045) to allow the existing self-storage units. The applicant is in the process of requesting another conditional use permit in order to allow additional self-storage units. The applicant will go to the Zoning Hearing Examiner (ZHE)

OFFICIAL NOTICE OF DECISION

Project #1002776

August 9, 2012

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on August 7, 2012. Approval of the subject request is contingent upon approval of the conditional use request.

4. The applicant obtained a Special Exception (07ZHE 80021) in 2007 from the shopping center regulations (Zoning Code Section 14-16-3-2) to allow more than one sign per 300 ft. of street frontage. As part of the ZHE's decision on the Special Exception, a condition was provided that states the following: "No additional signage requests shall be made as to number or size of signs." As a result, the applicant is not currently allowed any additional free-standing signs and cannot add to the size of these signs. The EPC may approve the signage as requested since it meets the requirements of the Zoning Code; however, the applicant will have to return to the ZHE to request a variance.
5. The site is located in the Established Urban Area of the Comprehensive Plan and within the boundaries of the West Side Strategic Plan.
6. The Albuquerque/Bernalillo County Comprehensive Plan, the West Side Strategic Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The request furthers or partially furthers the following policies of the Comprehensive Land Use Plan:
 - a. Policy II.B.5d – The request will respect neighborhood values. The design is appropriate to the plan area and is consistent with the use (storage) already on the site. The proposed uses are not considered intense and are appropriate for the location. There is neighborhood support for the request.
 - b. Policy II.B.5e – Urban services already exist in the shopping center, and the request will develop vacant land inside the site that is currently not in use, while ensuring the integrity of existing neighborhoods. The request will provide storage as well as 1,600 square feet of small offices on the ground floor of the building.
 - c. Policy II.B.5i – The proposed storage units and retail/service buildings would be located at the back of an existing shopping center, which is adjacent to single-family homes. Storage units do not typically create much noise, pollution or traffic.
 - d. Policy II.B.5j – The proposed development is located in an existing commercial zoned area. The subject site is designated in the WSSP as the

OFFICIAL NOTICE OF DECISION

Project #1002776

August 9, 2012

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Taylor Ranch Dr./Homestead Circle Neighborhood Center and provides pedestrian and bicycle access within reasonable distance of residential areas for walking and bicycling, and also provides access to mass transit.

- e. Policy II.B.5l – The proposed buildings are consistent with the existing storage and commercial buildings throughout the Taylor Ranch Dr./Homestead Circle Neighborhood Center. The storage units are monotonous and not innovative by nature, though they are a quality design.
 - f. Policy II.B.5m – The proposed storage building will be a 2-story structure, which will help to maintain unique vistas. The proposed structure does not exceed height requirements in the C-2 Zone.
 - g. Activity Centers Goal – The subject site is designated as a neighborhood activity center (Taylor Ranch Dr./Homestead Circle Neighborhood Center). Neighborhood activity centers are envisioned as providing daily services. Though the small offices will partially fulfill this intent, the storage units are not the same kind of “daily needs” use.
8. The request furthers or partially furthers the following policies of the West Side Strategic Plan:
- a. Policy 1.1 – The request for a commercial/office use is located in the Taylor Ranch Dr./Homestead Circle Neighborhood Center. The request will continue to allow non-residential development within the Neighborhood Activity Center.
 - b. Policy 4.6 – The building has been lowered to 2-stories in order to help preserve views and to reduce adverse impacts. The height of the building does not exceed what is allowed in the C-2 Zone. Lighting is mostly contained within the site, but remains a concern.
9. Letters of support have been received from members of the neighborhood.
10. A facilitated meeting was held on June 27, 2012. The biggest neighborhood concern was the height of the proposed 3-story building. After the facilitated meeting, the applicant decided to lower the height of the building to a 2-story building. Overall, the neighbors generally liked the design details of the request.

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Project #1002776

August 9, 2012

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CONDITIONS:

- 1) The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. In order to be able to expand the free-standing signage on the site development plan for building permit as requested, a variance from the ZHE must be obtained by the applicant to the shopping center regulations in Section 14-16-3-2 (B) (4) for free-standing signs.
4. Lighting:
 - a. Wall-pack lighting, and the height at which they are mounted, shall be indicated on the storage unit elevations.
 - b. The height of wall-pack light fixtures shall be consistent with other buildings throughout the site.
 - c. The wall-pack lighting shall be downward lighting.
 - d. The clock tower shall not be lighted at night.
5. Conditions from the City Engineer, Municipal Development, and NMDOT:
 - a. Concurrent Platting Action required at Development Review Board (DRB) for proposed lot line adjustments.
 - b. A separate vacation request required for any vacation action.
 - c. Provide/label/detail all dimensions, classifications and proposed infrastructure for Site.
 - d. Appropriate annotation and key notes will need to be provided for clarity of amendment.
 - e. Site plan shall comply and be in accordance with DPM (Development Process Manual) and ADA standards/ requirements.
 - f. All easements need to be shown and labeled on Site Plan.

OFFICIAL NOTICE OF DECISION

Project #1002776

August 9, 2012

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6. Conditions from Public Service Company of New Mexico:

- a. An existing underground electric service line is located along the west property line and along the north side of the proposed project. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
- b. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **AUGUST 24, 2012** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half

OFFICIAL NOTICE OF DECISION

Project #1002776

August 9, 2012

Page 9 of 9

of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,

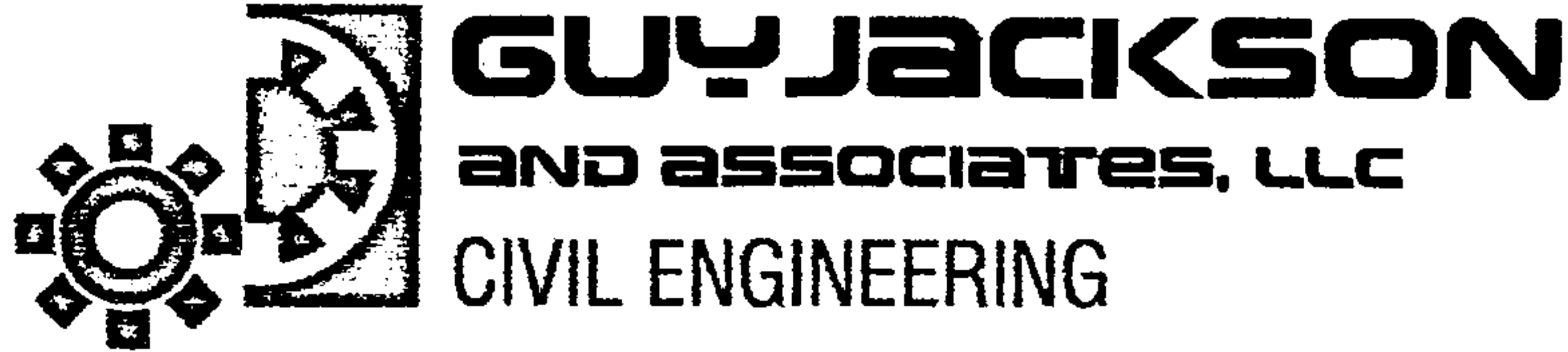
C Manone

for

Suzanne Lubar
Acting Director, Planning Department

SL/RF/mc

cc: Guy Jackson, 10522 Florence Avenue NE, Albuquerque, NM 87122
Dan Rich, 12231 Academy Road NE #301, Albuquerque, NM 87111
Ray Shortridge, 4800 College Heights Drive NW, Albuquerque, NM 87120
Rene Horvath, 5515 Palomino Drive NW, Albuquerque, NM 87120
Gerald C. Worrall, 1039 Pinatubo Place NW, Albuquerque, NM 87120
Candelaria Patterson, 7608 Elderwood NW, Albuquerque, NM 87120



November 14, 2012

Mr. Jack Cloud
Chairman –Development Review Board
PO Box 1293
Albuquerque NM 87102

Request for Amended Site Development Plan Approval (12EPC-40037 & 12EPC-40038) for Involving Tracts Y-2A-1-A, Y-2A-1-B, Y-2A-1-C and Y-2A-1-D for the Taylor Ranch Self Storage Located Within the Homestead Hills Shopping Center, NW, Albuquerque, NM
Zone Atlas Page C-22. Project # 1002776

Dear Mr. Cloud:

I'm requesting that the referenced project be added to the November 28, 2012, DRB agenda for Amended Site Development Plan review.

The following items were requested and are being submitted with this request:

- Six (6) copies of the Amended Site Development Plans to include: the Amended Site Plan for Subdivision (12EPC-40037) and the Amended Site Plan for Building Permit (12EPC-40037)

On August 9, 2012, the EPC voted to approve both amendments to the Site Plan for Subdivision and Site Plan for Building Permit.

The approval of the Amended Site Plan for Subdivision was subject to conditions that were addressed as follows:

1. This letter serves to identify any modifications to the site plan since the EPC hearing.
2. On November 13, 2012, the architect of record (Kevin Juno) and I met with Randall Falkner to ensure that all of the conditions were met.
3. A legend has been placed on the plan that identifies the tracts along with their adjusted acreage after the lot line adjustments and the elimination of Tract Y-2A-1-D.
4. a) A Concurrent Platting action for the proposed lot line adjustments (and additional easement dedications) is accompanying the amended site development approval request. b) A separate vacation request was approved on November 13, 2012. c) Per discussions with Nilo Salgado-

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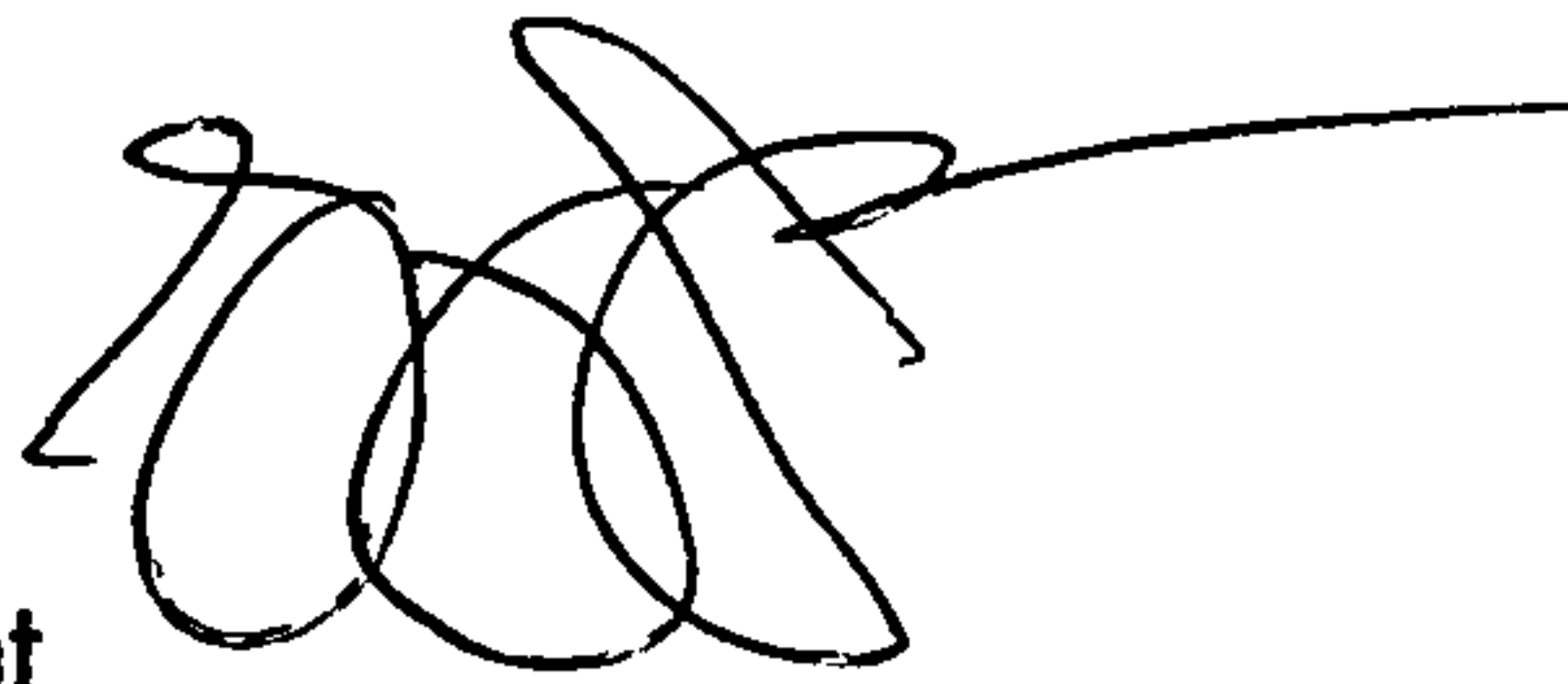
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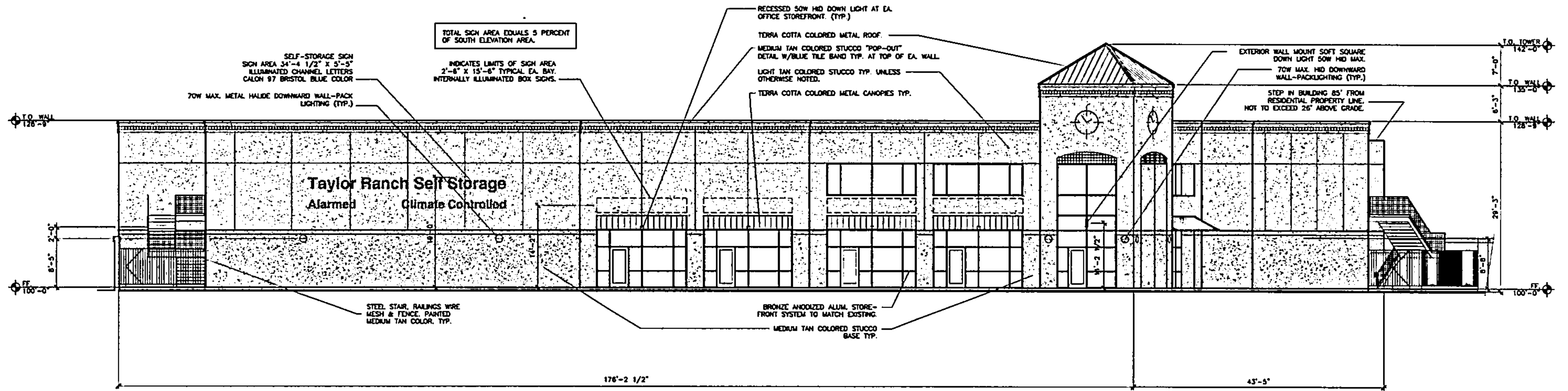
Sincerely,

A handwritten signature in black ink, appearing to be 'Guy Jackson', with a long horizontal line extending to the right.

Guy Jackson, PE, Agent
Guy Jackson & Associates, LLC
10522 Florence Ave. NE
Albuquerque, NM 87122
235-1426

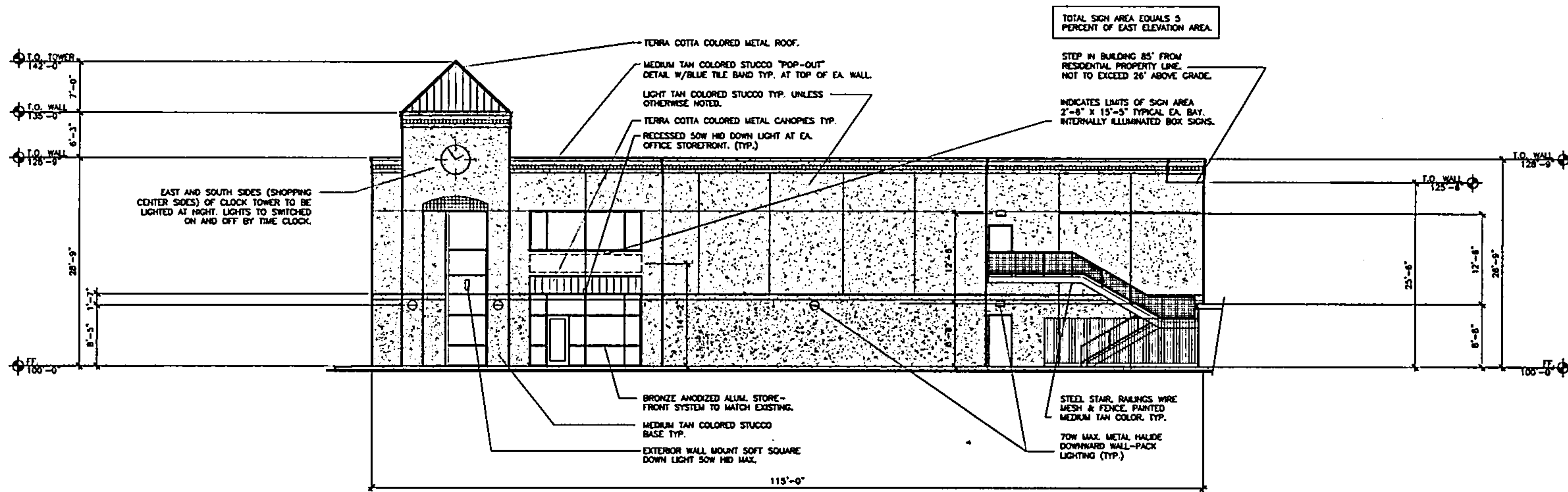
PROJECT # 1002776
Application # :

12-70358 - (P&F)
12-70359 - (SBP)
12-70360 - (SFS)



SOUTH ELEVATION - STORAGE/OFFICE BUILDING 'H'

0 4' 8' 16' 1
SCALE: 1/8" = 1'-0" A2.1



EAST ELEVATION - STORAGE OFFICE BUILDING 'H'

0 4' 8' 16' 4
SCALE: 1/8" = 1'-0" A2.1

JUNO
ARCHITECTS
7925 Bosque St. NE, Albuquerque, NM 87114 Ph. (505) 892-5453 Fax. (505) 896-3438

PROJECT:
TAYLOR RANCH SELF STORAGE PHASE 3

SHEET TITLE:
STORAGE/OFFICE BUILDING 'H' ELEVATIONS

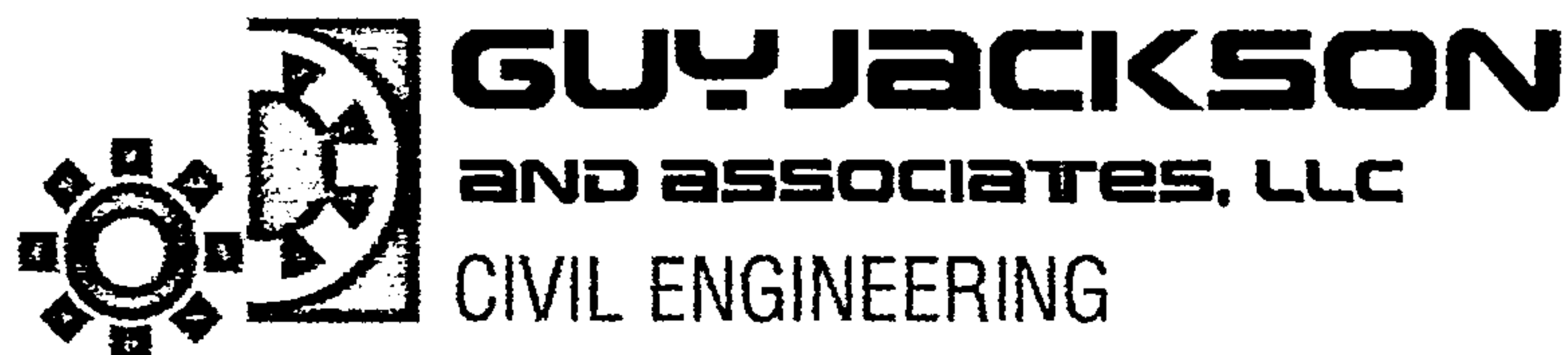
NO.	REVISION	DATE

ARCHITECT STAMP CONSULTANT STAMP DATE

STATE OF NEW MEXICO
KEVIN JUNO
No. 1603
11-15-12

11-15-12

A2.1



November 14, 2012

Mr. Jack Cloud
Chairman –Development Review Board
PO Box 1293
Albuquerque NM 87102

Request for Amended Site Development Plan Approval (12EPC-40037 & 12EPC-40038) for Involving Tracts Y-2A-1-A, Y-2A-1-B, Y-2A-1-C and Y-2A-1-D for the Taylor Ranch Self Storage Located Within the Homestead Hills Shopping Center, NW, Albuquerque, NM
Zone Atlas Page C-22. Project # 1002776

Dear Mr. Cloud:

I'm requesting that the referenced project be added to the November 28, 2012, DRB agenda for Amended Site Development Plan review.

The following items were requested and are being submitted with this request:

- Six (6) copies of the Amended Site Development Plans to include: the Amended Site Plan for Subdivision (12EPC-40037) and the Amended Site Plan for Building Permit (12EPC-40037)

On August 9, 2012, the EPC voted to approve both amendments to the Site Plan for Subdivision and Site Plan for Building Permit.

The approval of the Amended Site Plan for Subdivision was subject to conditions that were addressed as follows:

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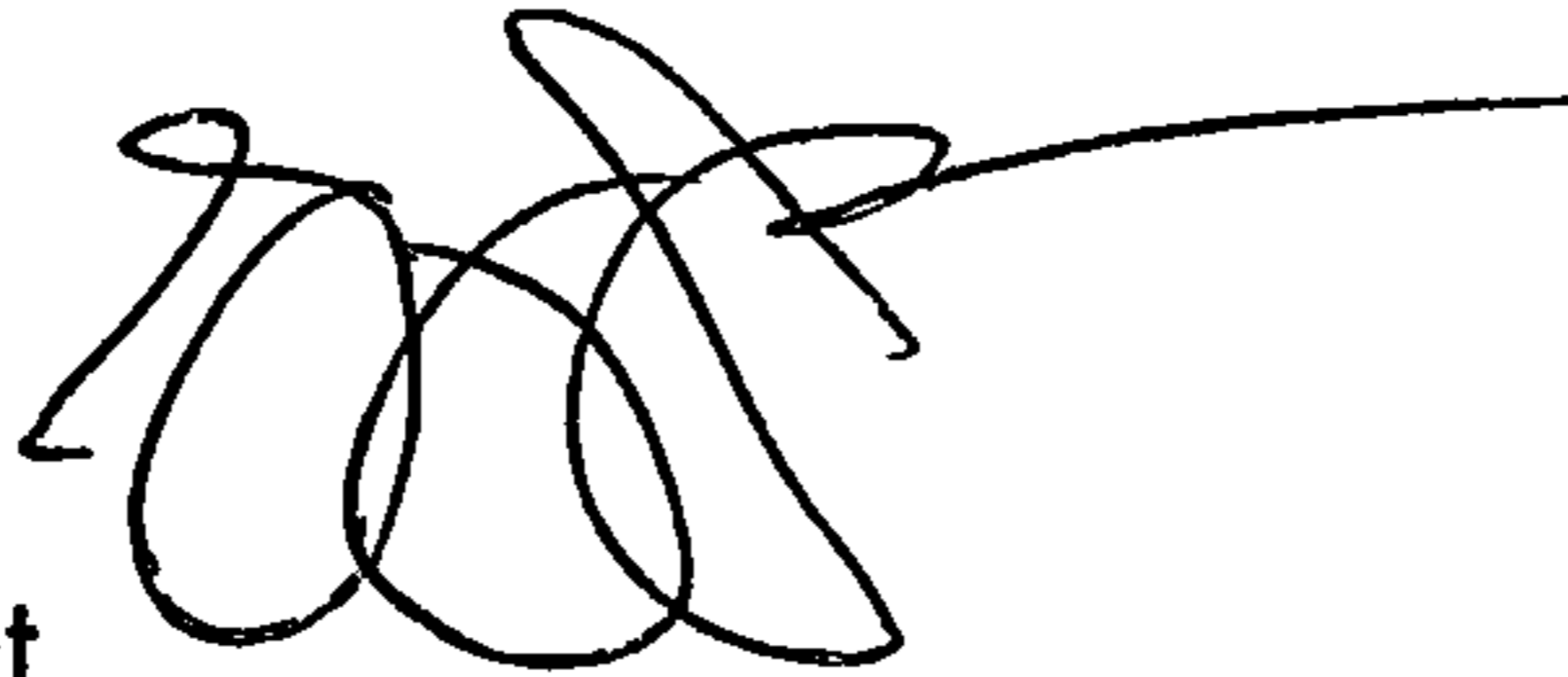
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