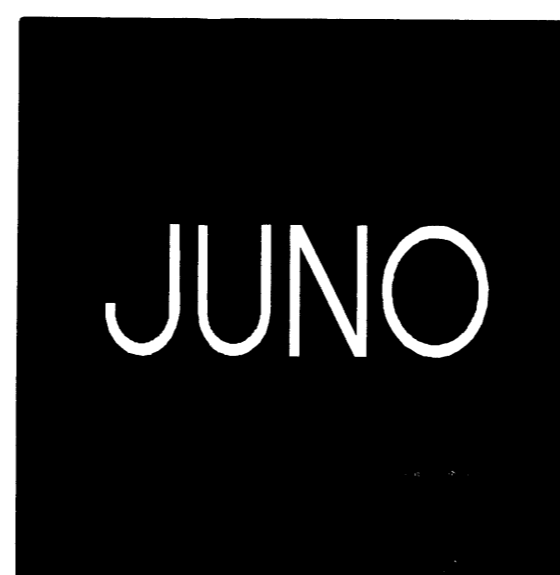


TAYLOR RANCH SELF STORAGE - PHASE 3

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

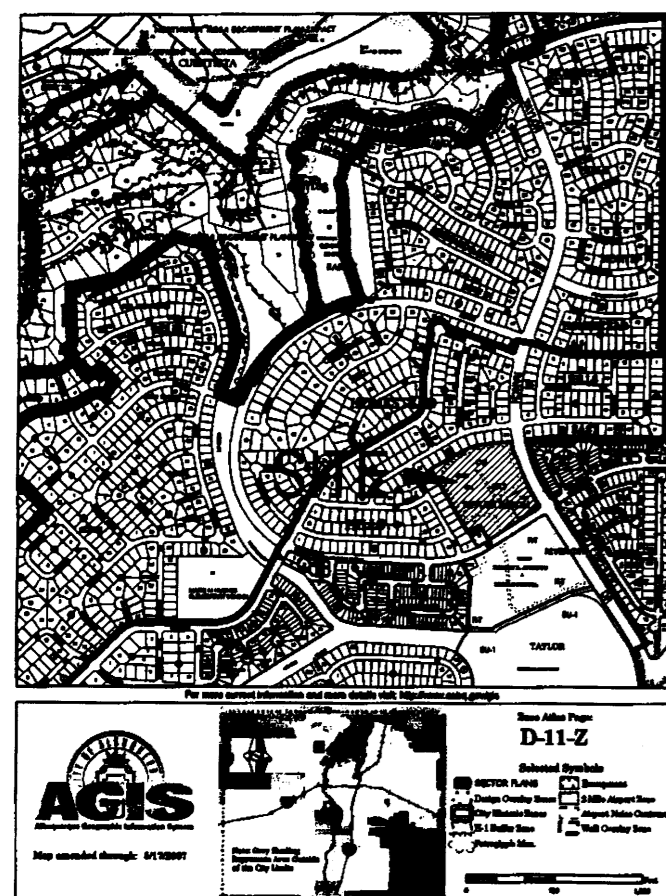
6971 TAYLOR RANCH DR. NW



A R C H I T E C T S

7925 Bosque St. NW, Albuquerque, NM. 87114 Ph. (505) 892-8453 Fax. (505) 890-1736

LOCATION MAP



SHEET INDEX

CVR	COVER SHEET
AS1.1	AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
AS1.2	AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION
L1.1	LANDSCAPE PLAN
C-101	GRADING AND DRAINAGE PLAN - NORTH
C-102	GRADING AND DRAINAGE PLAN - SOUTH
C-103	MASTER UTILITY PLAN
A2.1	STORAGE/ OFFICE BUILDING 'H' ELEVATIONS
A2.2	STORAGE/ OFFICE BUILDING 'H' ELEVATIONS
A2.3	STORAGE BUILDINGS 'A' & 'J' ELEVATIONS
AS3.1	FREE - STANDING SIGNS



DATE:
11-13-12
PROJECT NO.
0923
SHEET NO.

CVR

SITE CRITERIA

PROJECT: TAYLOR RANCH STORAGE PHASE 3
 LOCATION: 6971 TAYLOR RANCH DR. NW
 OWNER: DAN RICH
 ARCHITECT: JUNO ARCHITECTS
 LEGAL DESCRIPTION: TRACTS Y-2A-A, Y-2A-B, Y-2A-C, & Y-2A-D, TAYLOR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 ZONING ATLAS MAP: D-11-Z
 CURRENT ZONING CLASSIFICATION: C-2 SC
 PROPOSED ZONING CLASSIFICATION: C-2 SC CONDITIONAL USE FOR STORAGE OF HOUSEHOLD GOODS AND A DWELLING UNIT.
 BUILDING TYPE: TYPE II-B, SPRINKLERED (STORAGE H); TYPE II-B NON-SPRINKLERED (STORAGE A ADDITION & STORAGE J)

TOTAL BUILDING AREA:
 EXISTING RETAIL/SERVICE = 34136 SF
 EXISTING DAY-CARE = 5400 SF
 EXISTING FAST FOOD = 2760 SF
 EXISTING SALES = 1032 SF
 EXISTING DWELLING = 1642 SF
 EXISTING GARAGE = 456 SF
 EXISTING STORAGE = 69045 SF
 NEW STORAGE = 42128 SF
 NEW OFFICE = 1652 SF
 TOTAL = 158251 SF

TOTAL LOT AREA: 10,1154 AC.
TOTAL PARKING AREA:
 PARKING ANALYSIS:
 RETAIL/SERVICE: 15000 SF/200 = 75
 RETAIL/SERVICE: 20168 SF/250 = 81
 DAY-CARE: 5400 SF/500 + 2 = 13
 FAST FOOD: 1 SP/4 SEATS = 37
 OFFICE: 1652 SF/200 = 9
 DWELLING: 1 SPACE/BATH = 2
 STORAGE: 111173 SF/2000 = 56
 TOTAL = 273
 15% CREDIT = 40
 TOTAL REQUIRED = 233
 ACCESSIBLE PARKING (8 REQUIRED): 13 (PROVIDED)
 MOTORCYCLE PARKING (5 REQUIRED): 6 (PROVIDED)
 TOTAL PARKING PROVIDED = 340

PARKING SPACE SIZES:
 REGULAR 8'-6" x 20'-0" MIN.
 ACCESSIBLE 8'-6" x 20'-0" + 8' ISLE MIN.
 MOTORCYCLE 4' x 8' MIN.

REQUIRED BICYCLE SPACES: 1 SPACE/20 PARKING SP. = 15
NUMBER OF STORAGE UNITS: 595 EXISTING + 356 NEW = 942
MAXIMUM BUILDING HEIGHT: AS ALLOWED BY C-2 ZONING
MINIMUM BUILDING SETBACK: AS ALLOWED BY C-2 ZONING
MAXIMUM TOTAL DWELLING UNITS: 1
MAXIMUM FLOOR AREA RATIO (F.A.R.): .3

LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING FIRE HYDRANT
- FIRE TRUCK TURNING RADIUS
- EXISTING 30' HIGH POLE LIGHT TO REMAIN UNLESS OTHERWISE NOTED
- BUILDING MOUNTED LIGHT FIXTURE (7'-6" A.F.F. TO BOTTOM)
- VEHICLE ACCESS.
- 4'x8' MIN. MOTORCYCLE PARKING SPACE W/12" X 18" SIGN. BOTTOM OF SIGN SHALL HAVE ITS LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE.

PROJECT NUMBER:

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE _____

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DATE _____

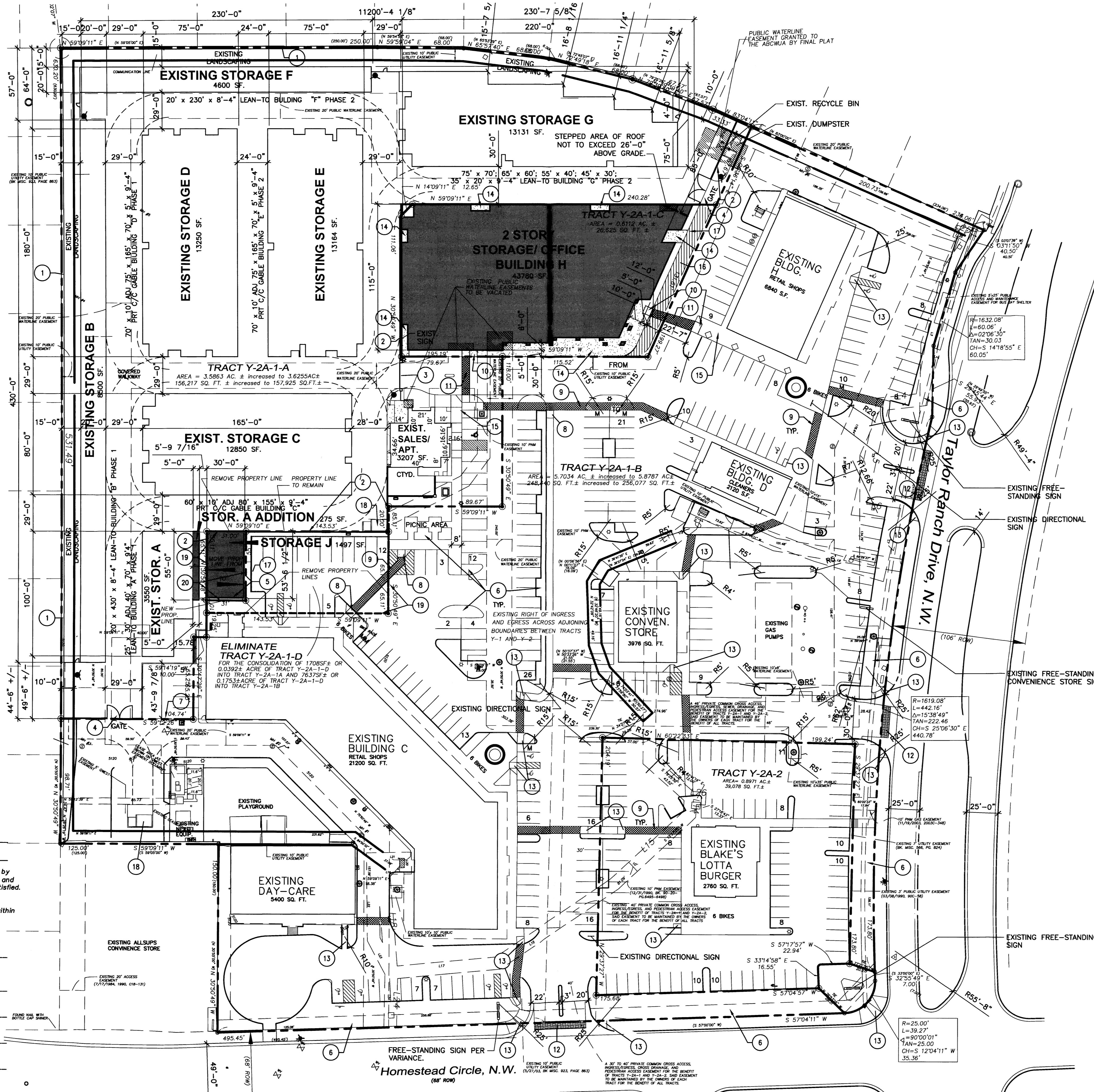
PARKS AND RECREATION DEPARTMENT DATE _____

CITY ENGINEER DATE _____

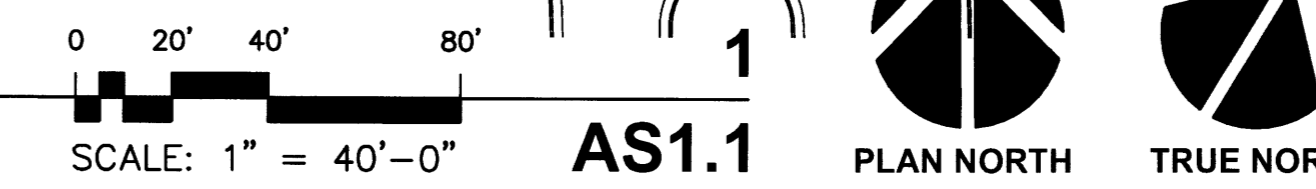
* ENVIRONMENTAL HEALTH DEPARTMENT (conditional) DATE _____

SOLID WASTE MANAGEMENT DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE _____



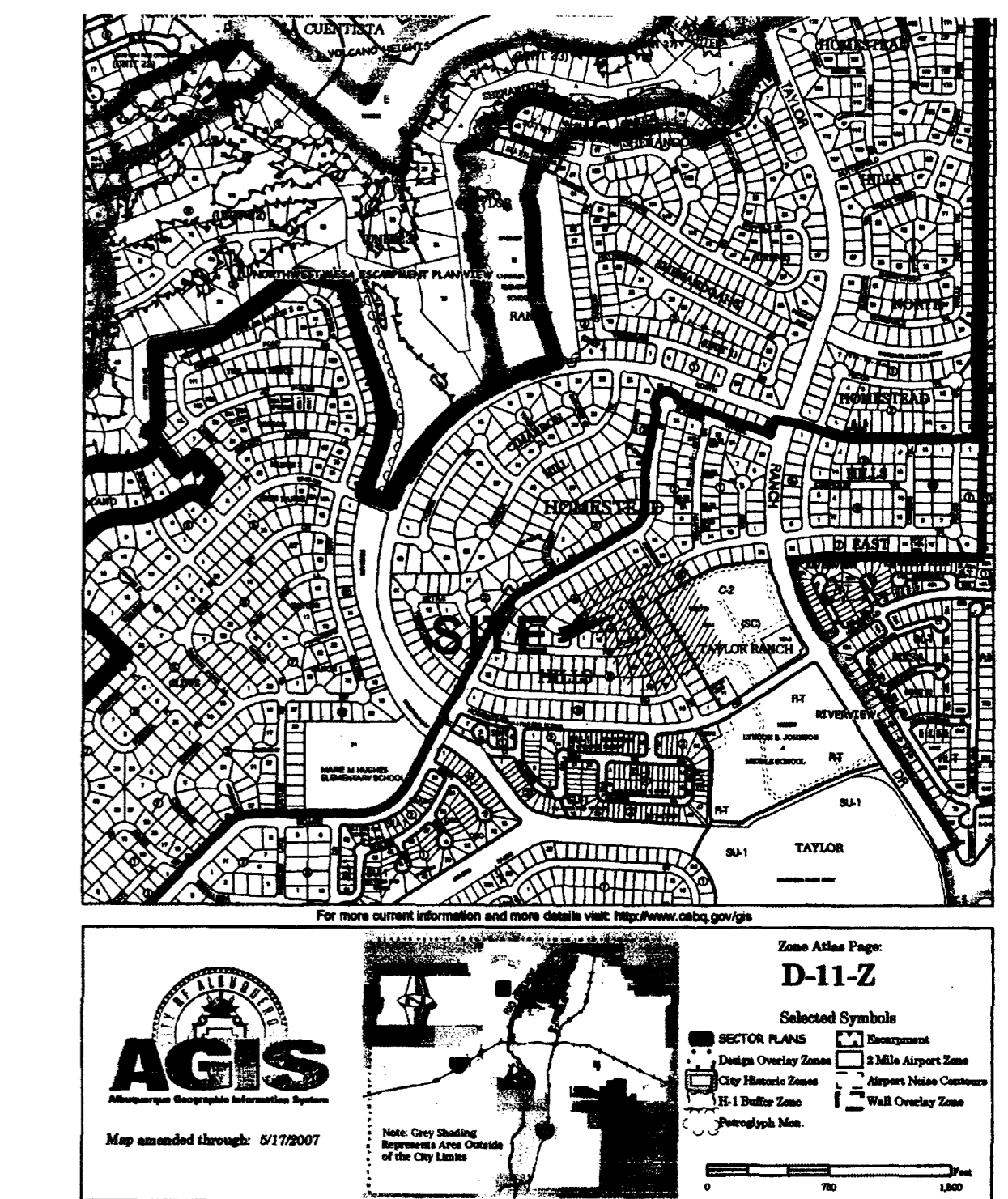
ARCHITECTURAL SITE PLAN



KEYED NOTES

- 1 EXISTING CMU WALL. 8'-0" TO 9'-7" HIGH ON RESIDENTIAL SIDE AND 4'-6" TO 5'-10" HIGH ON COMMERCIAL SIDE.
- 2 EXISTING 7'-8" H. CMU WALL WITH DECORATIVE STUCCO AND BRICK SOLDIER COURSE BANDING AT TOP TO MATCH EXISTING BUILDING WALLS.
- 3 EXISTING 7' H X 16' W AUTOMATIC GATE W/ ADDITIONAL 7' H X 4' W MANUAL GATE (20' TOTAL WIDTH) W/KNOX-BOX FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 4 EXISTING DOUBLE 7' H X 10' W MANUAL GATES W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 5 7'-8" H. CMU WALL WITH DECORATIVE STUCCO AND BRICK SOLDIER COURSE BANDING AT TOP TO MATCH EXISTING BUILDING WALLS.
- 6 EXISTING LANDSCAPING.
- 7 EXISTING 6' HIGH CHAINLINK FENCE & GATE W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 8 EXISTING 6' WIDE MIN. RAMP W/1:12 MAX. SLOPE & 1:10 MAX. FLARED SIDES WHERE SHOWN.
- 9 EXISTING 6' WIDE PEDESTRIAN WALKWAY W/COLORED CONCRETE.
- 10 6' WIDE MIN. RAMP W/1:12 MAX. SLOPE & 1:10 MAX. FLARED SIDES WHERE SHOWN.
- 11 6' WIDE PEDESTRIAN WALKWAY W/COLORED CONCRETE.
- 12 EXISTING 6' WIDE PEDESTRIAN PATHWAY OF TEXTURED, COLORED CONCRETE ACROSS VEHICLE ENTRANCES ON TAYLOR RANCH ROAD AND HOMESTEAD CIRCLE.
- 13 EXIST. 3' WIDE MIN. RAMP W/1:12 MAX. SLOPE & 1:10 MAX. FLARED SIDES (1:12 WHERE TOP LANDING IS LESS THAN 48") WHERE SHOWN.
- 14 CONCRETE SIDEWALK.
- 15 EXISTING CONCRETE SIDEWALK.
- 16 ASPHALT PAVING.
- 17 CONCRETE CURB.
- 18 EXISTING TRASH AND RECYCLE ENCLOSURE.
- 19 EXISTING PROPERTY LINE TO BE REMOVED.
- 20 NEW PROPERTY LINE.

VICINITY MAP



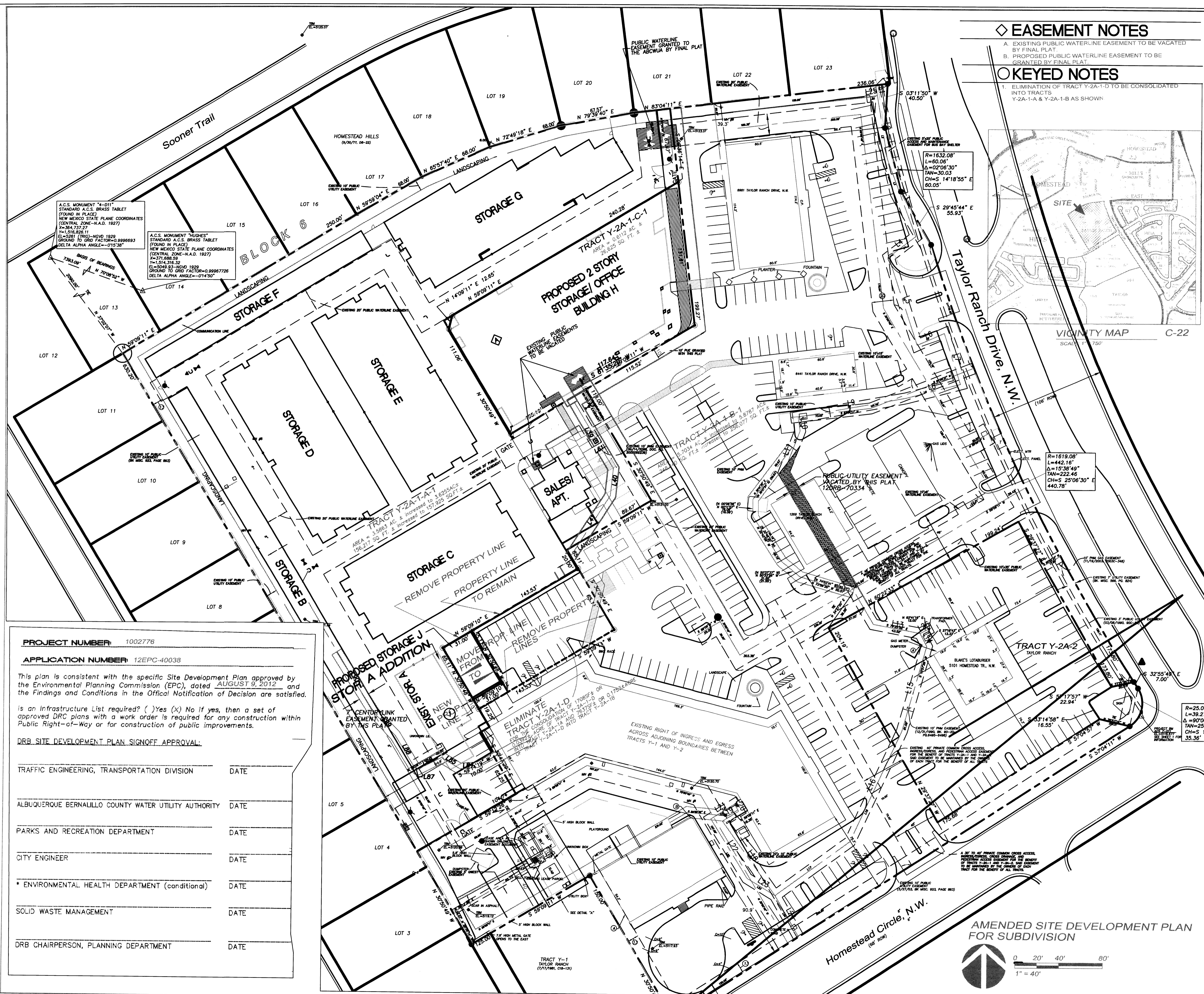
ARCHITECTS
 7925 Bosque St. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 890-1736

TAYLOR RANCH SELF STORAGE BUILDINGS 'H', 'J' & 'A' ADDITION

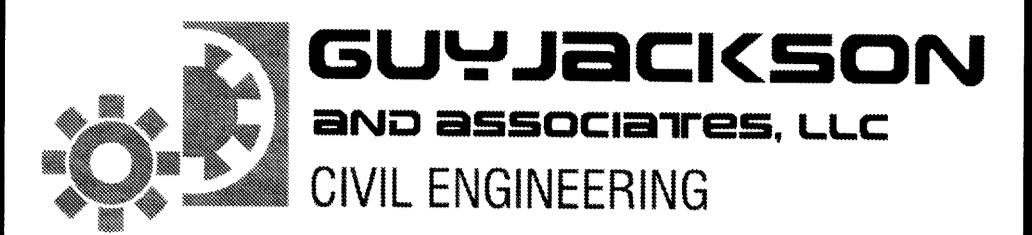
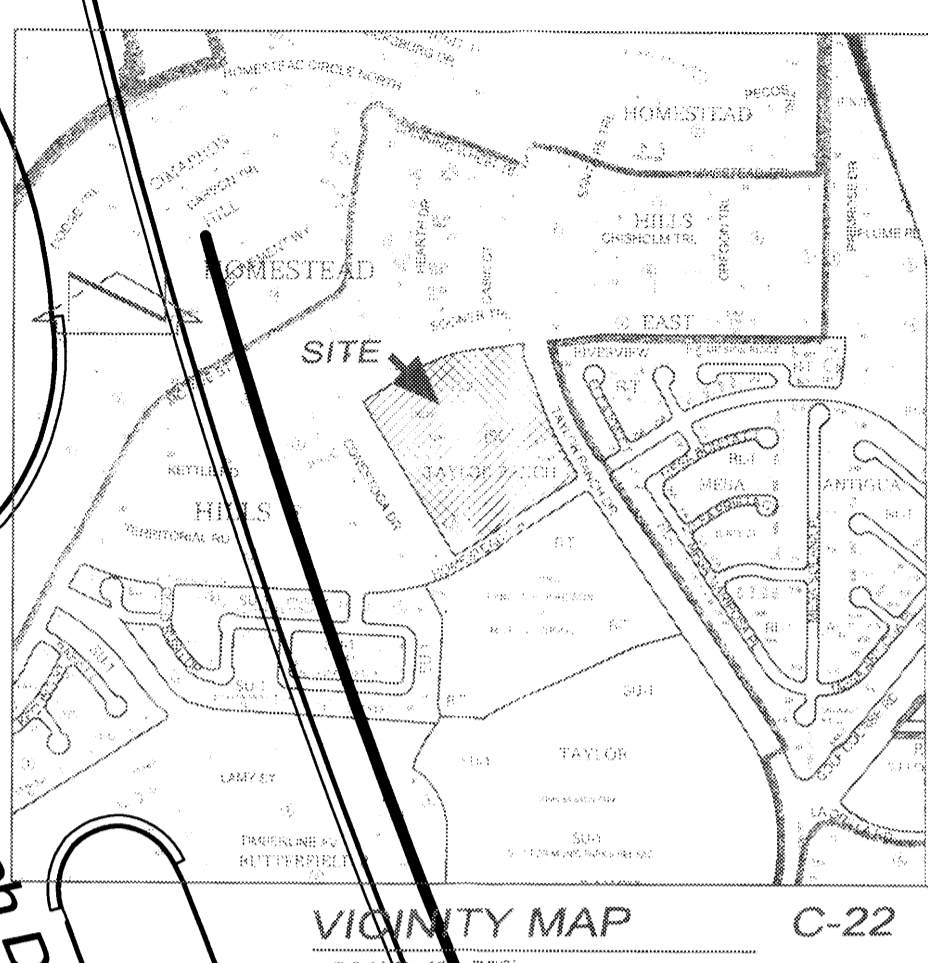
AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

NO.	REVISION	DATE

ARCHITECT STAMP: KEVIN JUNO No. 1603
 CONSULTANT STAMP: [Blank]
 DATE: 11-13-12
 PROJECT NO.: 0923
 SHEET NO.: AS1.1



- ◇ EASEMENT NOTES**
- EXISTING PUBLIC WATERLINE EASEMENT TO BE VACATED BY FINAL PLAT.
 - PROPOSED PUBLIC WATERLINE EASEMENT TO BE GRANTED BY FINAL PLAT.
- KEYED NOTES**
- ELIMINATION OF TRACT Y-2A-1-D TO BE CONSOLIDATED INTO TRACTS Y-2A-1-A & Y-2A-1-B AS SHOWN



SITE CRITERIA

PROJECT: TAYLOR RANCH STORAGE PHASE 3
 LOCATION: 6971 TAYLOR RANCH DR. NW
 OWNER: DAN RICH
 ARCHITECT: JUNO ARCHITECTS
 LEGAL DESCRIPTION: TRACTS Y-2A-A, Y-2A-B, Y-2A-C, & Y-2A-D, TAYLOR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
 ZONING ATLAS MAP: D-11-2
 CURRENT ZONING CLASSIFICATION: C-2 SC
 PROPOSED ZONING CLASSIFICATION: C-2 SC CONDITIONAL USE FOR STORAGE OF HOUSEHOLD GOODS AND A DWELLING UNIT.
 BUILDING TYPE: TYPE II-B, SPRINKLERED (STORAGE H); TYPE II-B NON-SPRINKLERED (STORAGE A ADDITION & STORAGE J)
 TOTAL BUILDING AREA:
 EXISTING RETAIL/SERVICE = 34136 SF
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 EXISTING STORAGE = 69045 SF
 NEW STORAGE = 42128 SF
 NEW OFFICE = 1652 SF
 TOTAL = 158251 SF
 TOTAL LOT AREA: 10.1154 AC.
 TOTAL PARKING AREA:
 PARKING ANALYSIS:
 RETAIL/SERVICE: 15000 SF/200 = 75
 RETAIL/SERVICE: 20168 SF/250 = 81
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 TOTAL PARKING PROVIDED = 340
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 REGULAR 8'-6" x 20'-0" MIN.
 ACCESSIBLE 8'-6" x 20'-0" + 8' ISLE MIN.
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 MAXIMUM BUILDING HEIGHT: AS ALLOWED BY C-2 ZONING
 MINIMUM BUILDING SETBACK: AS ALLOWED BY C-2 ZONING
 MAXIMUM TOTAL DWELLING UNITS: 1
 MAXIMUM FLOOR AREA RATIO (F.A.R.): .3

TRACT LEGEND

(TO BE ELIMINATED)
 TRACT Y-2A-1-A-1
 AREA = 3.5863 AC. & INCREASED TO 3.8255 AC. FOR THE CONSOLIDATION OF 170852 SQ. FT. OR 158,217 SQ. FT. & INCREASED TO 157,825 SQ. FT. OR 0.35922 ACRE OF TRACT Y-2A-1-B & 8075 TRACT Y-2A-1-A AND 731752 SQ. FT. OR 0.17034 ACRE OF TRACT Y-2A-1-D INTO TRACT Y-2A-1-A
 TRACT Y-2A-1-B-1
 AREA = 5.7034 AC. INCREASED TO 5.8787 AC. FOR THE CONSOLIDATION OF 52787 SQ. FT. OR 1.204 TRACT Y-2A-1-B INTO TRACT Y-2A-1-A
 TRACT Y-2A-1-C-1
 AREA = 0.9112 AC. & UNCHANGED
 26,625 SQ. FT. & UNCHANGED
 TRACT Y-2A-2
 NOT PART OF THIS PROJECT

PROJECT NUMBER: 1002776
APPLICATION NUMBER: 12EPC-40038

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated AUGUST 9, 2012 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
* ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

DRB SIGNATURE: _____ DATE: _____

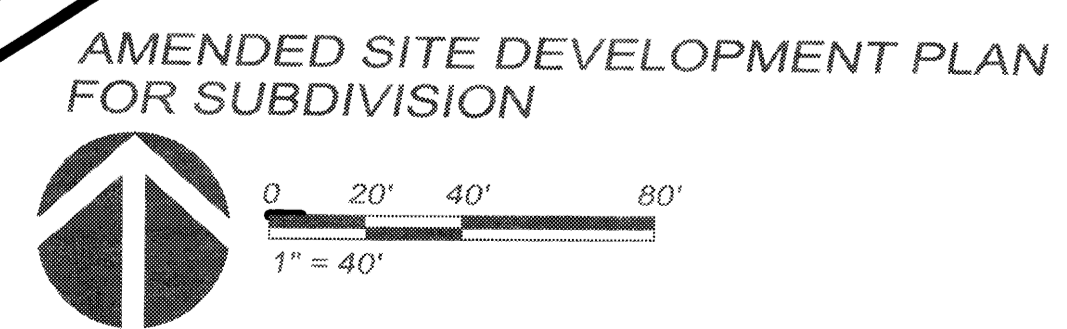
OWNER: _____ ARCHITECT: _____

Taylor Ranch Self Storage Buildings 'H', 'J' & 'A' Addition

PROJECT NO.: _____ **DATE:** 7/25/2012

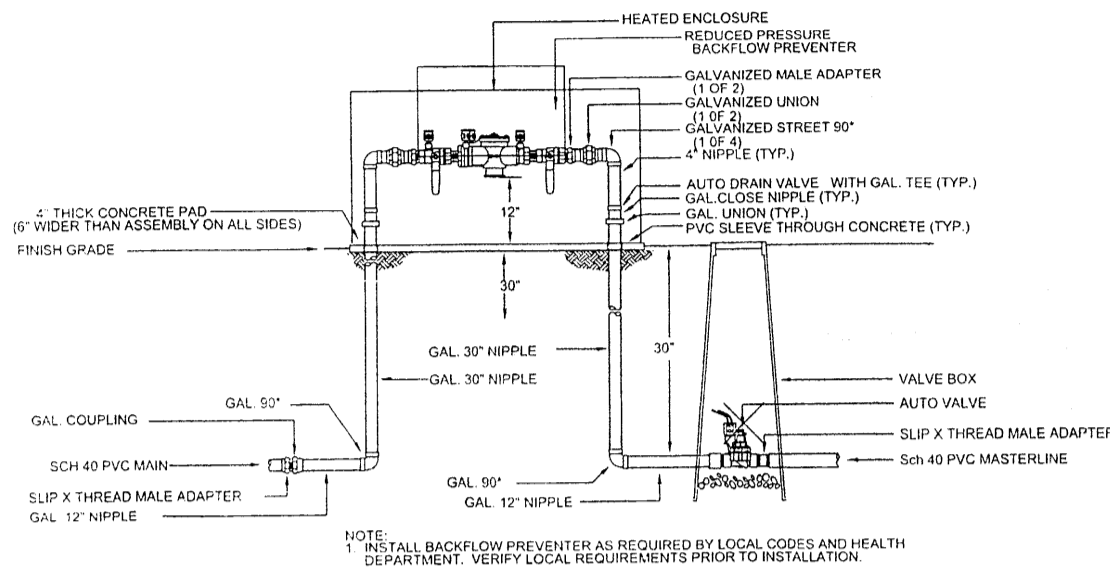
AMENDED SITE PLAN FOR SUBDIVISION

AS1.2

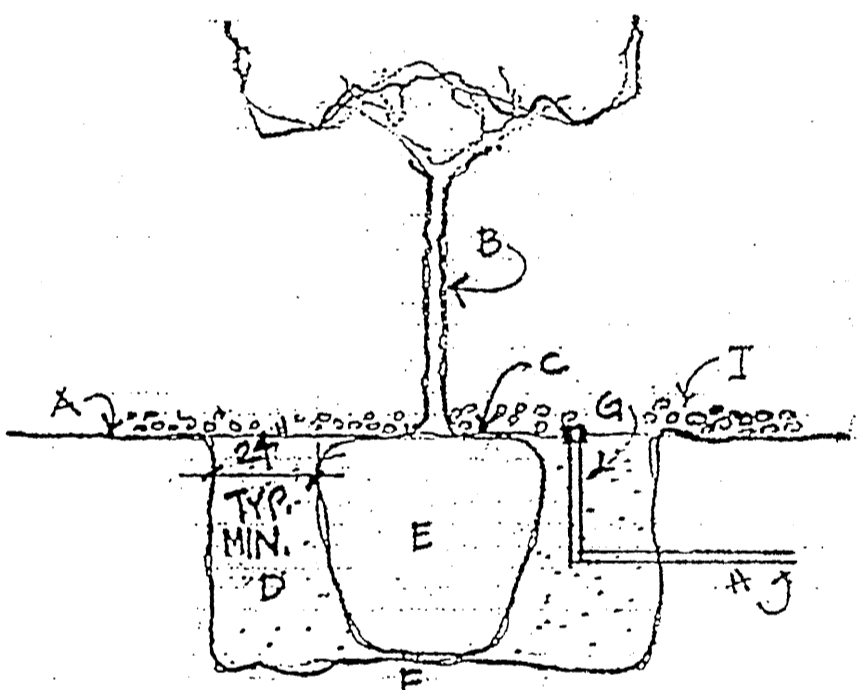


SUMMARY OF LANDSCAPE AREAS:

NET LOT AREA: 282,431 SF
TOTAL REQUIRED LANDSCAPE AREA: 42,364 SF
TOTAL EXISTING LANDSCAPED AREA: 34,214 SF
TOTAL PROPOSED LANDSCAPED AREA: 13,025 SF
TOTAL EXISTING & PROPOSED LANDSCAPED AREA: 47,239 SF

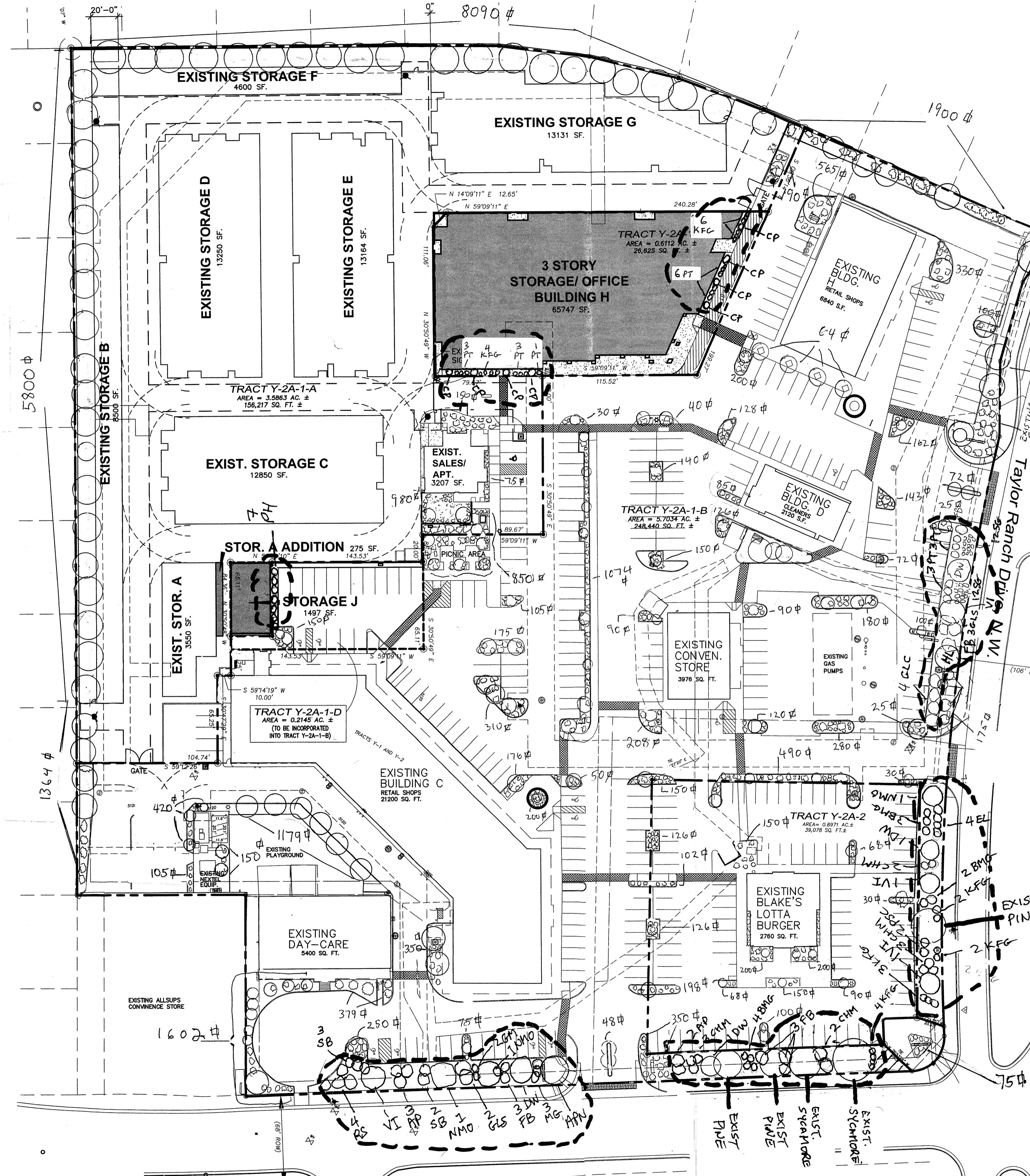


RP BACKFLOW/MASTER VALVE DETAIL



PLANTING DETAIL NOT TO SCALE

- KEYED NOTES:**
- A. EXISTING FINISH GRADE.
 - B. TREE TRUNK. SET PLUMB AND INSTALL TREE WRAP TO PROTECT TRUNK FROM SUN SCALD.
 - C. TOP OF ROOT BALL TO MATCH EXISTING GRADE.
 - D. BACKFILL MIX: 80% EXISTING SOIL THOROUGHLY MIXED WITH 20% CITY OF ALBUQUERQUE COMPOST, INSTALLED IN 6" LIFTS. THOROUGHLY APPLY WATER WITH EACH LIFT TO ENSURE PROPER COMPACTION.
 - E. ROOT BALL. CAREFULLY REMOVE BASKET AND WIRE. REMOVE BURLAP FROM TOP THIRD OF ROOT BALL. MINIMIZE DISRUPTION OF ROOT BALL.
 - F. SET ROOT BALL ON FIRM, UNDISTURBED, AND UNAMENDED SOIL.
 - G. BUBBLER. TYPICAL 1 OF 3 PER TREE, EQUALLY SPACED FROM THE TREE TRUNK (18") AND FROM EACH OTHER. NOTE: UPON TREE ROOT ESTABLISHMENT, CAP TWO BUBBLERS AND SUBSTITUTE ONE ADAPTOR IN PLACE OF ONE BUBBLER AND INSTALL 20 FEET+ OF SOAKER TUBING TO CIRCLE TREE AT THE DRIP LINE. ADJUST CONTROLLER TIMER ACCORDINGLY.
 - H. PVC PIPE TO BUBBLER FROM VALVE.
 - I. MULCH (PER NOTE). KEEP CLEAR OF TRUNK.



PLANT MATERIALS LEGEND						
SYMBOL	COMMON NAME	BOTANICAL NAME	TYPE	QUANTITY	APPROX SPREAD	IRRIGATION
RS	Russian Sage	Perovskia atriplicifolia	Shrub	4	5'	1, 2GPH EMITTER
VI	Vitex (Chaste Tree)	Vitex agnus-cactus	Tree	4	20'	3 25GPM BUBBLERS
AP	Apache Plume	Falugia paradoxa	Shrub	5	6'	1, 2GPH EMITTER
SB	Saltbush	Atriplex canescens	Shrub	5	6'	1, 2GPH EMITTER
NMO	New Mexico Olive	Forestiera neomexicana	Tree	3	15'	3 25GPM BUBBLERS
FB	Fernbush	Chamaebatiaria millefolium	Shrub	9	5'	1, 2GPH EMITTER
APN	Austrian Pine	Pinus nigra	Tree	2	35'	4 25GPM BUBBLERS
KFG	Kari Foester Grass	Calamagrostis arundinacea	Grass	21	30'	1, 2GPH EMITTER
DW	Desert Willow	Chilopsis Linearis	Tree	3	20'	3 25GPM BUBBLERS
CHM	Chamisa	Ericameria chrysoth...	Shrub	9	5'	1, 2GPH EMITTER
BMG	Blue Muhly Grass	Muhlenbergia capillaris	Grass	8	4'	1, 2GPH EMITTER
PSC	Purple Sand Cherry	Prunus X cistena	Shrub	2	6'	2, 2GPH EMITTER
EL	English Lavender	Lavandula angustifolia	Shrub	3	3'	1, 2GPH EMITTER
GLC	Grayleaf Cotoneaster	Cotonoaster buxifolius	Shrub	4	9'	1, 2GPH EMITTER
GLS	Grow low Sumac	Rhus triobata	Shrub	3	6'	2, 2GPH EMITTER
SG	Stipa Grass	stipa tenuissima	Grass	24	2'	1, 2GPH EMITTER
PT	Potentilla	Potentilla fruticosa	Shrub	10	3'	1, 2GPH EMITTER
CP	Chanticleer pear	Pyrus calleryana	Tree	8	15'	3, 1GPM BUBBLERS
PH	Photinia	Photinia x fraseri	Shrub	7	5' (trimmed)	1, 2GPH EMITTER
HL	Honey Locust	Gleditsia triacanthos	Tree	1	25'	3, 1GPM BUBBLERS

NOTE

MAINTENANCE OF LANDSCAPE AND IRRIGATION IS THE RESPONSIBILITY OF THE OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM PROTECTED WITH REDUCED PRESSURE BACKFLOW PREVENTER (FEBCO MODEL 825) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE AND POLLEN ORDINANCE

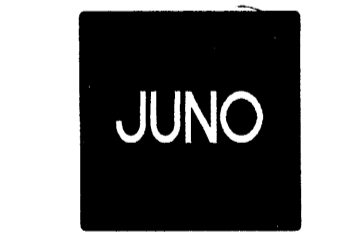
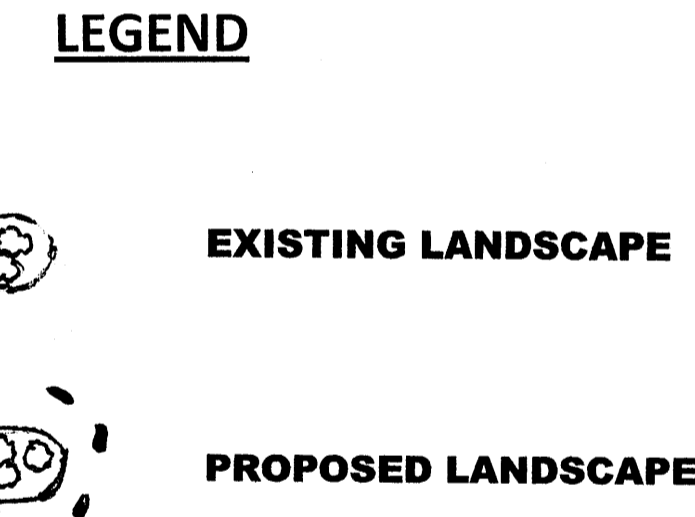
THIS PLAN SHALL PROVIDE AT MINIMUM 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY. TREE CANOPIES ARE NOT INCLUDED.

LANDSCAPE AREAS TO BE MULCHED WITH 7/8" BROWN GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.



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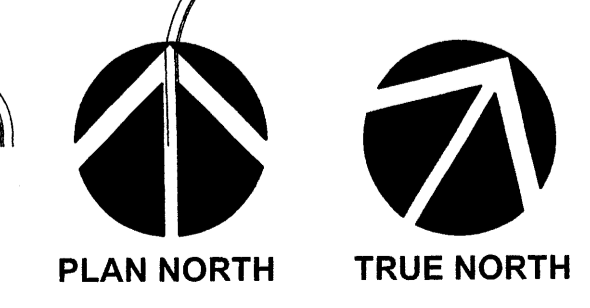
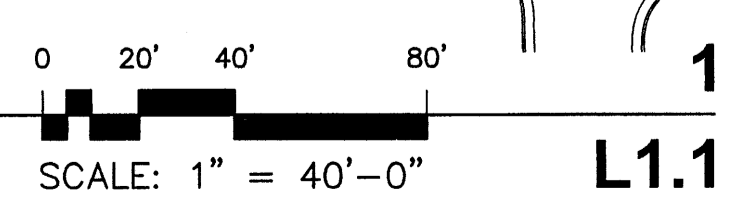
PROJECT:
TAYLOR RANCH SELF STORAGE BUILDINGS 'H', 'J' & 'A' ADDITION

SHEET TITLE:
LANDSCAPE PLAN

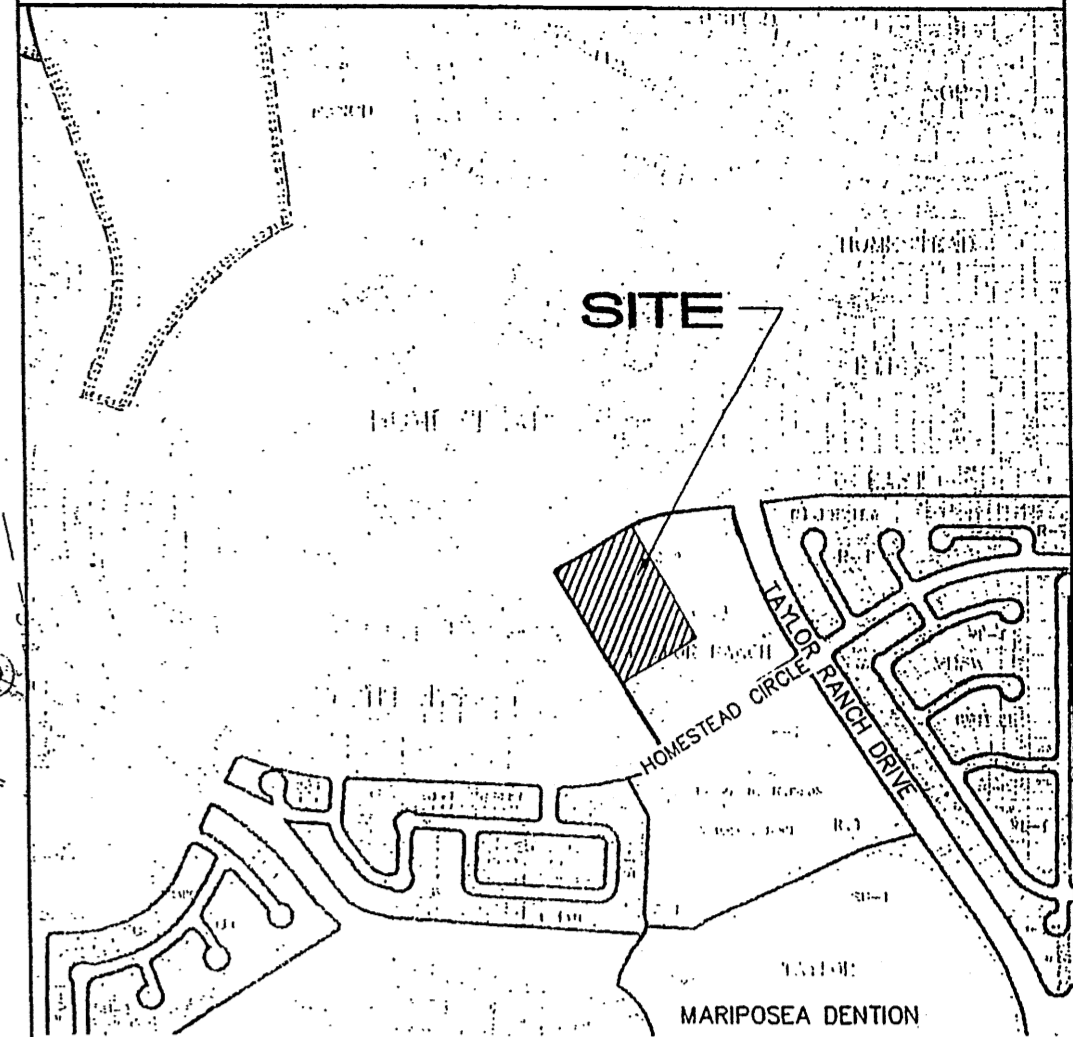
NO.	REVISION	DATE

ARCHITECT STAMP CONSULTANT STAMP DATE: 6-28-12
 PROJECT NO. 0923
 SHEET NO.

LANDSCAPE PLAN

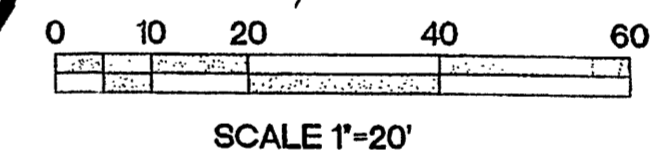
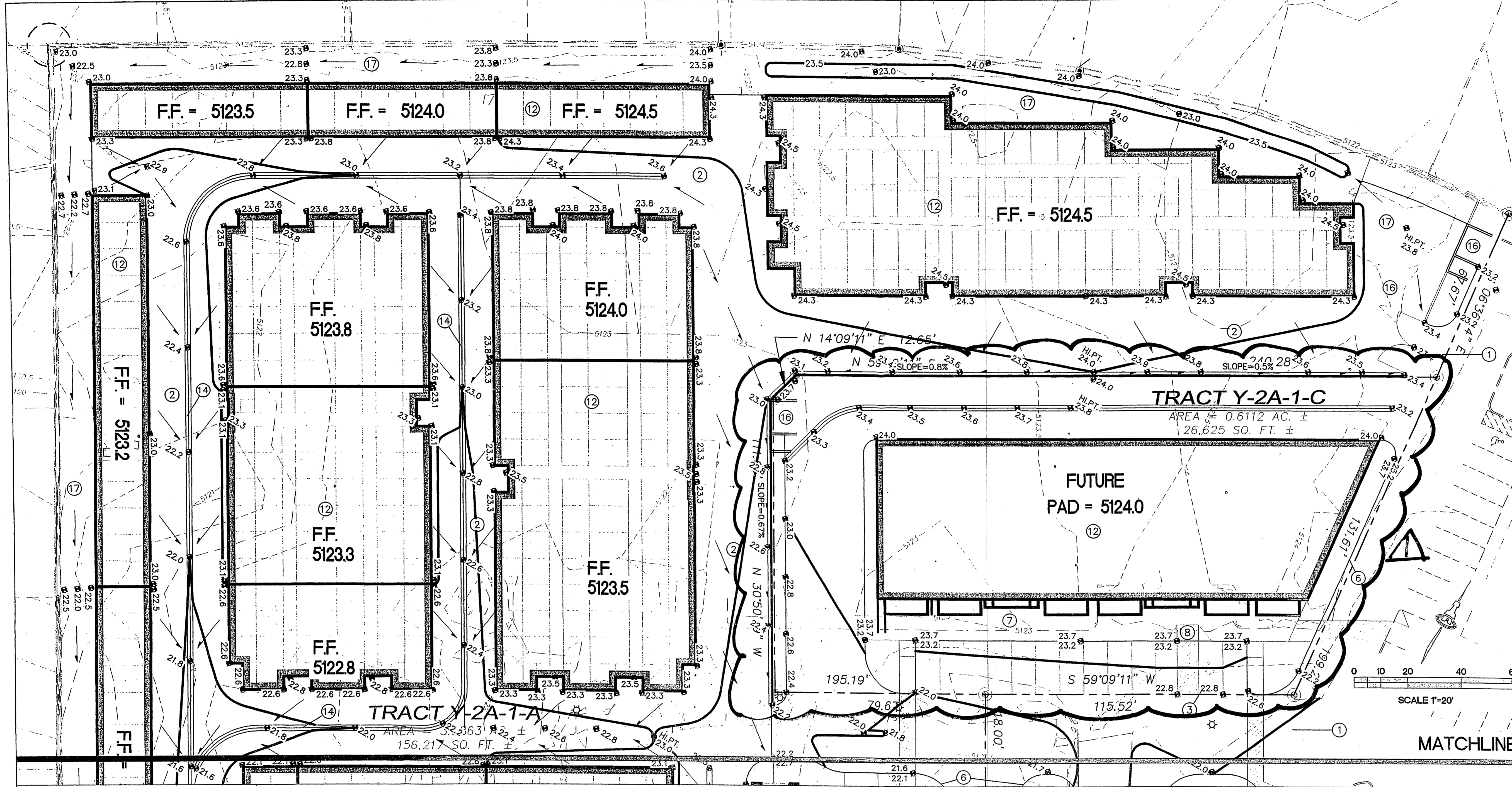


L1.1

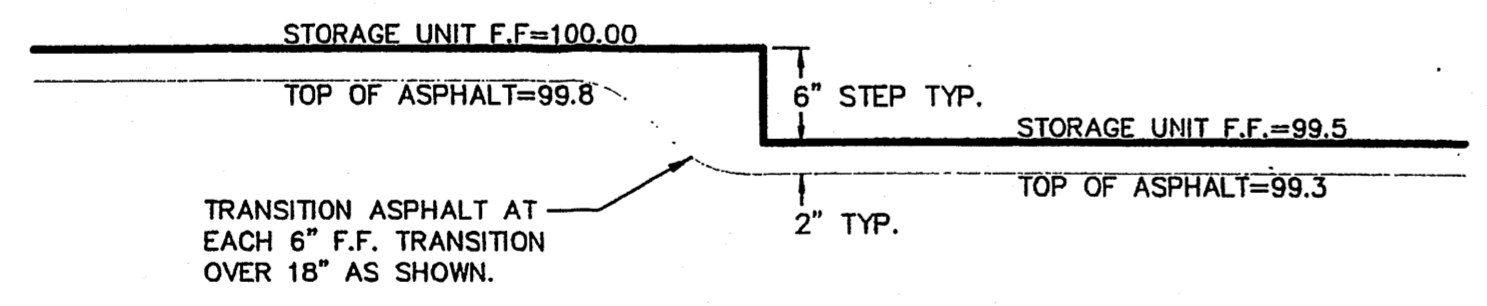


KEYED NOTES

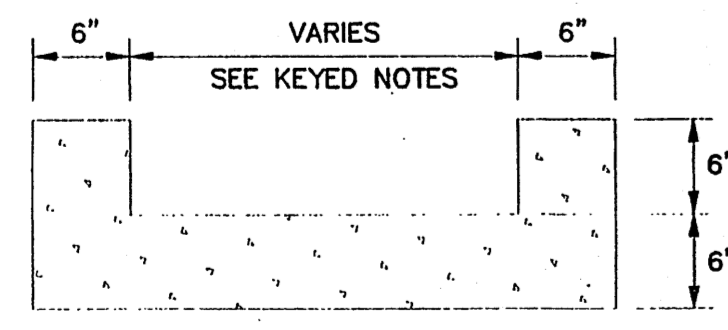
- SAWCUT EXISTING ASPHALT (SEE DEMOLITION PLAN FOR EXTENTS) TO PROVIDE SMOOTH BONDING EDGE. CONSTRUCT NEW ASPHALT PAVING TO ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION TO EXISTING WHILE MAINTAINING POSITIVE DRAINAGE.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA. PROVIDE SMOOTH TRANSITION WITHIN ASPHALT PAVING FROM FLUSH WITH WALK TO 6" MEDIAN CURB AND GUTTER OVER 2' EACH SIDE.
- PROVIDE SWALE WITHIN NEW ASPHALT AT FLOWLINE ELEVATIONS SHOWN TO DIRECT DISCHARGE (MIN. 1% SLOPE).
- CONSTRUCT MEDIAN CURB AND GUTTER AT ALL CURB LOCATIONS UNLESS NOTED OTHERWISE. SEE DETAIL THIS SHEET.
- CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE ARCHITECTURAL.
- CONSTRUCT 6" DEPRESSED LANDSCAPED BASIN TO ACCEPT SITE DRAINAGE. FLOW IN EXCESS OF LANDSCAPE BASIN CAPACITY WILL PASS BACK TO PAVEMENT TO CONTINUE ALONG PROPOSED DRAINAGE PATH.
- PROVIDE 2' WIDE X 6" HIGH OPENING IN PERIMETER WALL AT FLOWLINE ELEVATION. CONSTRUCT 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH LANDSCAPED AREA TO PASS FLOW. MIN. SLOPE = 1%.
- EXTEND NEW ALLEY GUTTER TO EXISTING PAVEMENT LOW POINT. PROVIDE THREE TURNED BLOCKS (EQUIVALENT TO 3' WIDE X 6" HIGH OPENING) IN PERIMETER WALL AT FLOWLINE.
- ALL BUILDING ROOF DISCHARGE TO BE RELEASED DIRECTLY TO INTERIOR PAVEMENT. NO DRAINAGE WILL BE PASSED TO PERIMETER LANDSCAPING.
- EXISTING COVERED SIDEWALK CULVERTS DRAIN ALL SITE FLOW TO HOMESTEAD CIRCLE, N.W. SEE PHOTO EXHIBIT. (INFO. ONLY)
- CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN AT ALL FLOWLINES < 1% SLOPE. SEE DETAIL THIS SHEET.
- PROVIDE 1' OPENING (BOTTOM WIDTH) IN CURB TO PASS FLOW TO LANDSCAPED BASIN. EXCESS FLOW WILL SPILL OVER TOP OF CURB ON LOW SIDE. FILLET EDGES.
- CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
- GRADES SHOWN WITHIN LANDSCAPED AREAS ARE FOR GENERAL GRADING INFORMATION TO INDICATE DRAINAGE DIRECTION. PROVIDE POSITIVE GRADING AWAY FROM BUILDING AND PERIMETER WALLS. SEE LANDSCAPE PLAN FOR ADDITIONAL LANDSCAPE INFORMATION.



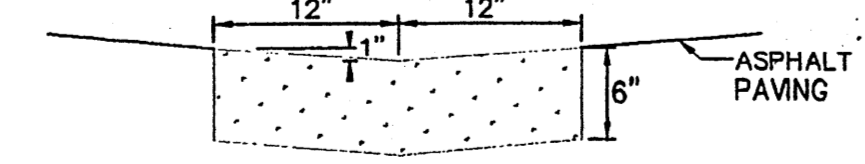
MATCHLINE



ASPHALT TRANSITION AT BLDG. STEPS
N.T.S.

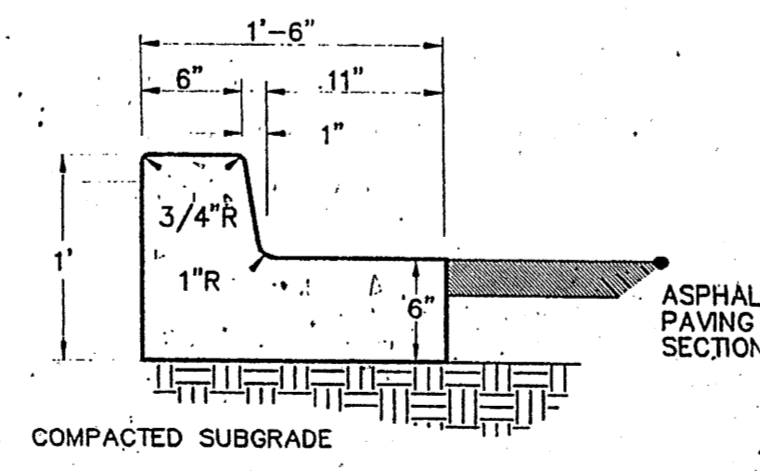


- GENERAL NOTES
- PROVIDE CONST. CONTROL JOINTS @ 7' O.C. MAX.
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL



- GENERAL NOTES
- PROVIDE CONST. CONTROL JOINTS @ 7' O.C. MAX.
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

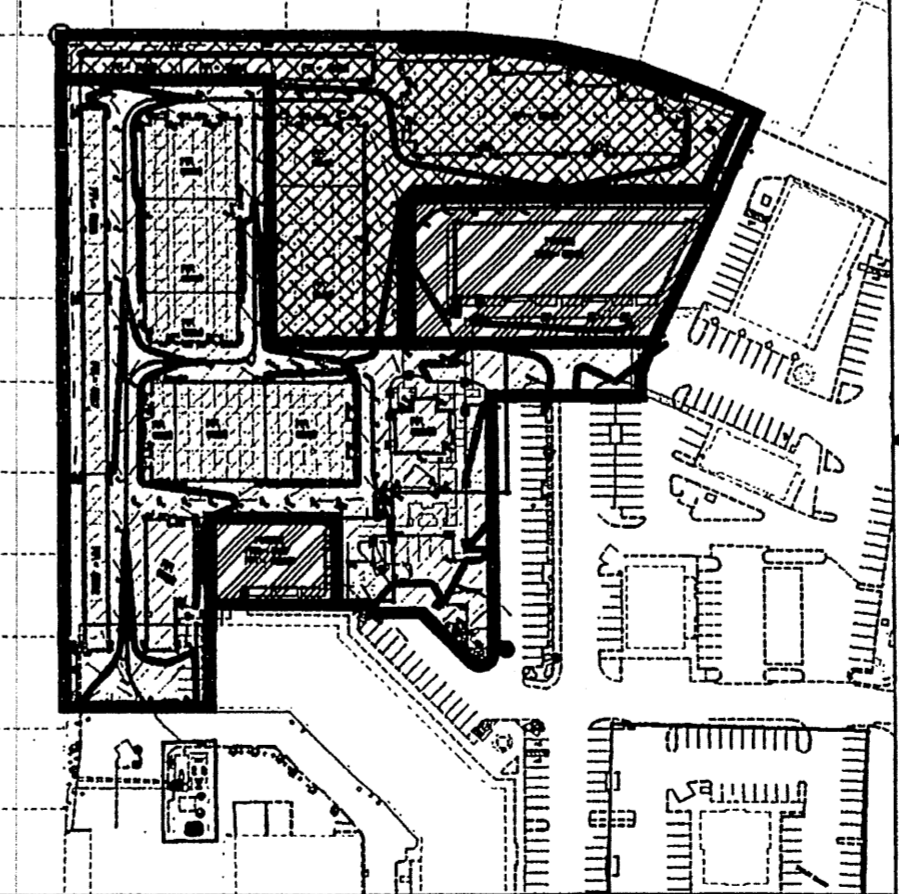
CONCRETE ALLEY GUTTER
N.T.S.



- GENERAL NOTES
- PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX.
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL
 - MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

MEDIAN CURB AND GUTTER
N.T.S.

PHASING DIAGRAM



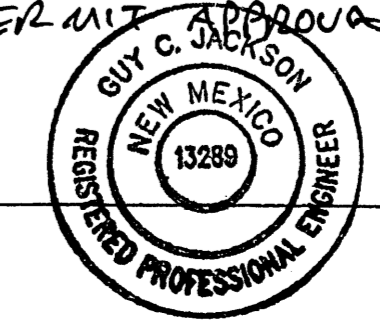
- PHASE 1
- PHASE 2
- PHASE 3

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5123.3 FINISH FLOOR ELEVATION
- FL FLOWLINE ELEVATION

NOTE: THE BUILDING IN THIS TRACT (TRACT Y-2A-1-C) WILL HAVE AN INCREASE IN FOOTPRINT OF APPROX. 11,260 SQ. FT. OF WHICH WAS PREVIOUSLY ASPHALT PARKING & SIDEWALK W/ A SMALL PORTION OF LANDSCAPED AREA OF NET LOSS (SEE NOTE ON CALCULATIONS - SHEET C-102). SEE THE SITE PLAN FOR THE CHANGE IN BUILDING & LAYOUT. PER DISCUSSION W/ CURTIS CHERNE (COA HYDROLOGY) ON 6/15/12, THE MINOR CHANGES TO THIS PLAN WILL BE SUBMITTED WITH THE BUILDING PERMITS FOR BUILDING PERMIT APPROVAL.

6/20/12



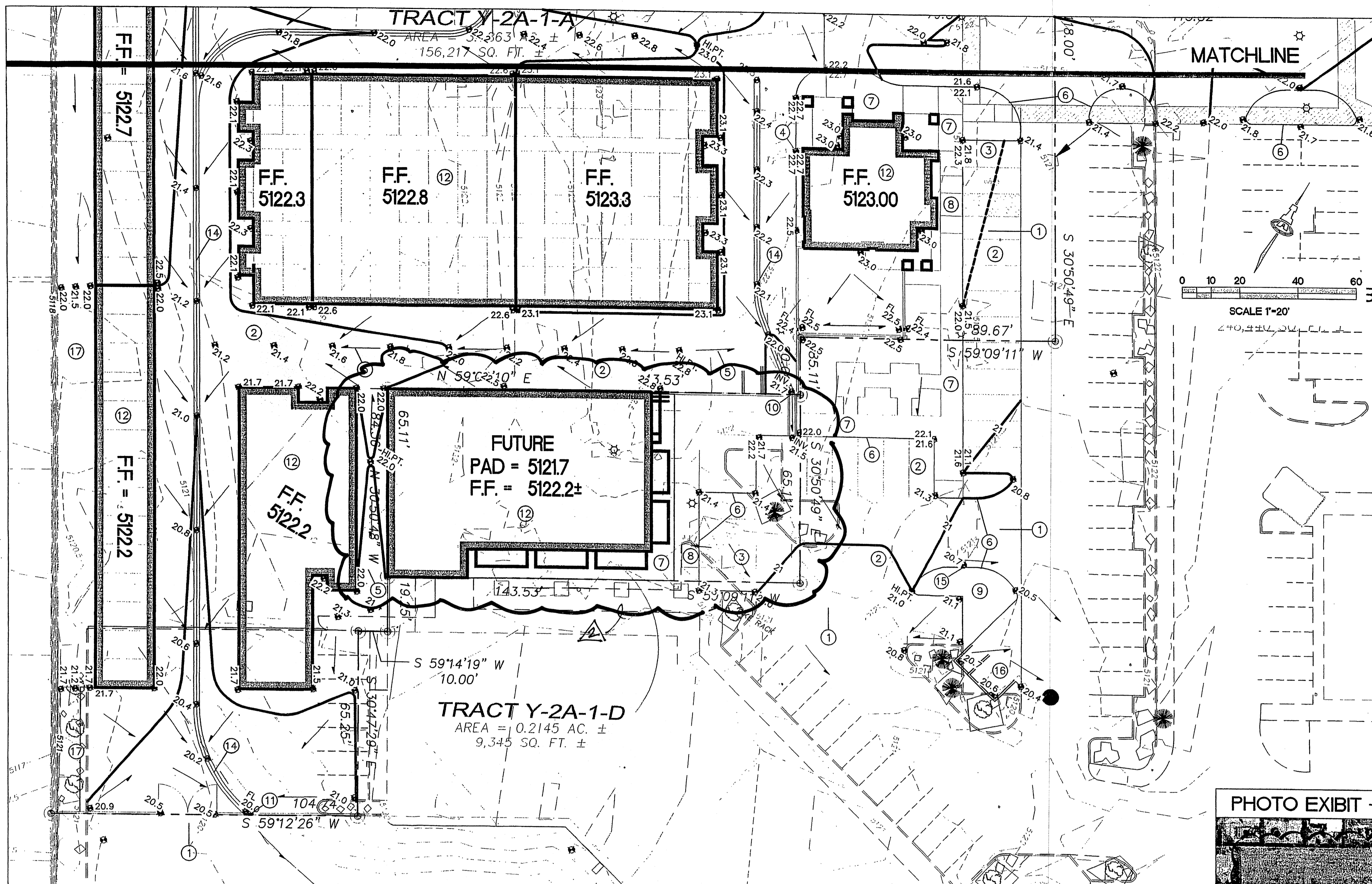
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1618 C-101.dwg Oct 18, 2007

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TAYLOR RANCH SELF STORAGE
GRADING AND DRAINAGE PLAN - NORTH

Date:	10-17-07	Revision:		Date:		Job No.:	1618
Drawn By:	BJB	Checked By:		Scale:		Sheet:	C-101
Clk By:	GLD	Approved By:					



LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5123.3 FINISH FLOOR ELEVATION
- FL FLOWLINE ELEVATION

PROJECT DATA

EXISTING: THE SITE IS AN UNDEVELOPED PORTION OF A COMMERCIAL PROPERTY WITHIN C.O.A. VICINITY MAP D-11. THE SITE IS BOUND TO THE EAST BY TAYLOR RANCH DR. NW, TO THE SOUTH BY HOMESTEAD CIRCLE, NW, AND TO THE NORTH AND EAST BY DEVELOPED RESIDENTIAL.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE SELF-STORAGE BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, LANDSCAPING AND MANAGERS RESIDENCE. TWO ADDITIONAL COMMERCIAL PADS WILL BE GRADED AS PART OF THIS PHASE OF CONSTRUCTION.

LEGAL: LOT Y2A1, TAYLOR RANCH, ALBUQUERQUE, NM
ADDRESS: 5105 HOMESTEAD CIRCLE S.W.

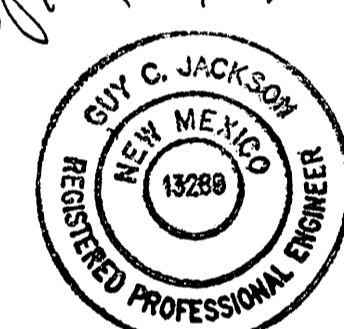
BENCHMARK: ELEVATION DATUM IS BASED ON NGVD 1929 FROM ACS MONUMENT "7-D11", ELEVATION (FEET) = 5116.66.
DESCRIBED AS: ACS 1 3/4" ALUMINUM DISK, STAMPED "ACS BM, 7-D11", 3-RD ORDER, EPOXYED TO TOP OF CONCRETE BASE OF TRAFFIC LIGHT STANCHION, NORTHWESTERLY QUADRANT OF TAYLOR RANCH RD. AND HOMESTEAD CIR. (SOUTHERLY PORTION), NW, ON THE WESTERLY CORNER OF SAID CONCRETE BASE.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #112, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

NOTE: THE BUILDING IN THIS TRACT (TRACT Y-2A-1-D) WILL HAVE A DECREASE IN FOOTPRINT OF APPROX. 3545 \square OF WHICH WILL BE REPLACED WITH ASPHALT PARKING AND CONCRETE WALKS, RESULTING IN A SMALL REDUCTION OF LANDSCAPE AREA. (SEE NOTE ON CALCULATIONS THIS SHEET). SEE THE SITE PLAN FOR THE CHANGE IN BUILDING LAYOUT. PER DISCUSSION W/ CURTIS O'NEALE (COA HYDROLOGY) ON 6/13/12, THE MINOR CHANGES TO THIS PLAN WILL BE SUBMITTED WITH THE BUILDING PLANS FOR BUILDING PERMIT APPROVAL.

John 6/13/12



KEYED NOTES

SEE SHEET C-101 FOR ALL GRADING AND DRAINAGE PLAN KEYED NOTES

- ### GENERAL NOTES
- A. COORDINATE WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
 - B. SEE SITE DEMOLITION PLAN FOR ALL SITE DEMOLITION INFORMATION.
 - C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
 - D. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
 - E. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING / PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
 - F. WATER SHALL NOT POND ON PAVED AREAS. WHERE NEW/EXIST. GRADES ARE SHOWN AS 'MATCH', TRANSITION SHALL BE SMOOTH AND LEVEL.
 - G. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
 - H. SWPPP REQUIREMENTS: BECAUSE THIS SITE DEVELOPMENT DISTURBS MORE THAN 1 ACRE OF LAND IN BERNALILLO COUNTY, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) INCLUDING A COPY OF THE NOI SUBMITTED TO EPA, MUST BE SUBMITTED TO BERNALILLO COUNTY FOR ACCEPTANCE PRIOR TO ISSUANCE OF A GRADING OR PAVING PERMIT.

PHOTO EXHIBIT - OVERALL SITE DRAINAGE



CALCULATIONS

THE PROPOSED IMPROVEMENTS INCREASE THE DISCHARGE FROM THE ENTIRE PROPERTY (LOT Y2A1) FROM 35.2 CFS TO 45.1 CFS FOR THE 100-YEAR, 6-HOUR STORM EVENT.

THE PROPOSED ON-SITE IMPROVEMENTS WILL SURFACE DRAIN TO THE SURROUNDING EXISTING PAVEMENT TO FOLLOW THE HISTORIC ON-SITE DISCHARGE PATHS TO THE PAVED CUL-DE-SAC AT THE SOUTHWEST CORNER OF THE PROPERTY.

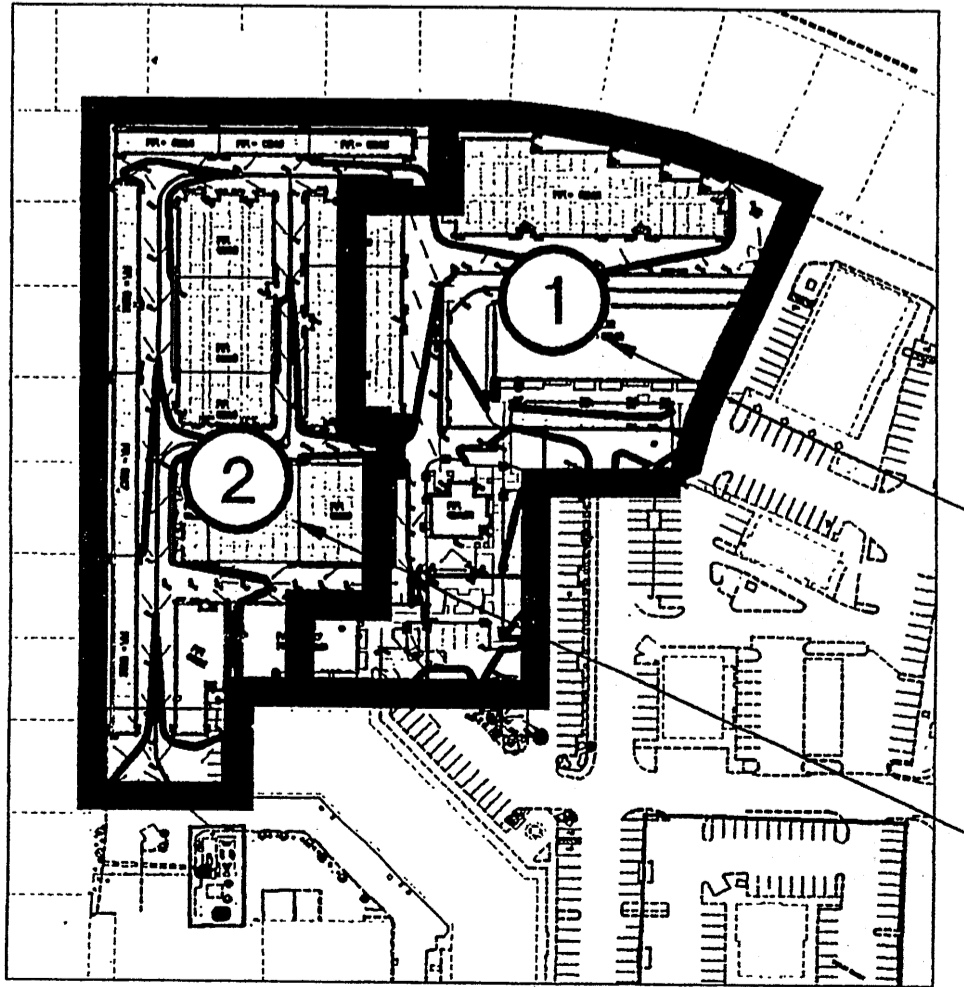
PER THE APPROVED OVERALL GRADING PLAN FOR THE HOMESTEAD HILLS SHOPPING CENTER, THE FULLY DEVELOPED SITE IS PERMITTED FREE DISCHARGE TO HOMESTEAD CIRCLE, N.W. VIA FOUR 24" WIDE SIDEWALK CULVERTS CONSTRUCTED AS PART OF C.O.A. PROJECT 26-4091.90-91. FLOW WILL CONTINUE ALONG THE HISTORIC ROUTE ACROSS HOMESTEAD CIRCLE TO AN EXISTING DRAINAGE RUNDOWN TO THE MARIPOSA DETENTION FACILITY (A.M.A.F.C.A.). NO DISCHARGE WILL BE DIRECTED TO TAYLOR RANCH DR. S.W.

PER THE CONCEPTUAL GRADING AND DRAINAGE PLAN AT LEFT, THE STORAGE FACILITY WILL SPLIT DISCHARGE WITH APPROX. 50% EACH TO THE EAST AND SOUTH TO AVOID OVERTAXING A SINGLE ROUTE.

CALCULATIONS: 1618 - TAYLOR RANCH SELF-STORAGE : July 26, 2007
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE	
AREA: TOTAL SITE (LOT Y2-A1):	440627 SF = 10.1 Ac.
HISTORIC FLOWS:	DEVELOPED FLOWS:
On-Site Historic Land Condition	On-Site Developed Land Condition
Area a = 0 SF	Area a = 0 SF
Area b = 154219 SF	Area b = 22031 SF
Area c = 22031 SF	Area c = 44063 SF
Area d = 264376 SF	Area d = 374533 SF
Total Area = 440627 SF	Total Area = 440627 SF
EXCESS PRECIP:	Precip. Zone 1
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	
Weighted E = $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$	
Historic E = 1.47 in.	Developed E = 1.81 in.
On-Site Volume of Runoff: V360 = $\frac{E \cdot A}{12}$	
Historic V360 = 53830 CF	Developed V360 = 66351 CF
On-Site Peak Discharge Rate: $Qp = \frac{QpaAa + QpbAb + QpcAc + QpdAd}{43,560}$	
For Precipitation Zone 1	
Qpa = 1.29	Qpc = 2.87
Qpb = 2.03	Qpd = 4.37
Historic Qp = 35.2 CFS	Developed Qp = 41.5 CFS

NOTE: THE NET LOSS OF APPROX. 445 \square OF LANDSCAPED AREA FOR BOTH BUILDING AREAS WITHIN BASINS 1 & 2 RESULT IN LESS THAN 1/2 OF 1% OF LAND TREATMENT CHANGING. THEREFORE, THE INCREASE OF POTENTIAL RUNOFF IS VIRTUALLY UNCHANGED. THE FLOW PATTERNS OF THE SURFACE DRAINAGE FROM THESE BASINS WILL REMAIN UNCHANGED PER THOSE ESTABLISHED ON THIS PLAN.



BASIN NO.	DESCRIPTION	DRAINING TO EAST
1	Area of basin flows = 102618 SF	24 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E = 1.82 in.		
Sub-basin Volume of Runoff (see formula above)		
V360 = 15589 CF		
Sub-basin Peak Discharge Rate: (see formula above)		
Qp = 9.8 cfs		
TREATMENT		
A = 0%		
B = 0%		
C = 15%		
D = 85%		
BASIN NO.	DESCRIPTION	DRAINING TO SOUTH
2	Area of basin flows = 99922 SF	23 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E = 1.82 in.		
Sub-basin Volume of Runoff (see formula above)		
V360 = 15183 CF		
Sub-basin Peak Discharge Rate: (see formula above)		
Qp = 9.5 cfs		
TREATMENT		
A = 0%		
B = 0%		
C = 15%		
D = 85%		

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TAYLOR RANCH SELF STORAGE
GRADING AND DRAINAGE PLAN - SOUTH

Date:	No.	Revision	Date	Job No.
10-17-07				1618
Drawn By:				C-102
BLB				
Ckd By:				
GLD				

KEYED NOTES

- EXISTING WATERLINE TO BE GROUT FILLED AND ABANDONED
 - TIE PROPOSED 8" WL TO EXISTING WL. COMPLETED w/WORK ORDER 782261
 - EXISTING SAS LINE TO BE GROUT FILLED AND ABANDONED. COMPLETED w/WORK ORDER 782261
 - REMOVE EXISTING SAS MANHOLE. COMPLETED w/WORK ORDER 782261
 - INSTALL NEW 4" DIA TYPE 'E' MANHOLE ON EXISTING SAS LINE. MATCH EXIST INVERT. COMPLETED w/WORK ORDER 782261
 - REMOVE & SALVAGE EXISTING FIRE HYDRANT. COMPLETED w/WORK ORDER 782261
- MASTER UTILITY PLAN
2/20/08

EASEMENT NOTES

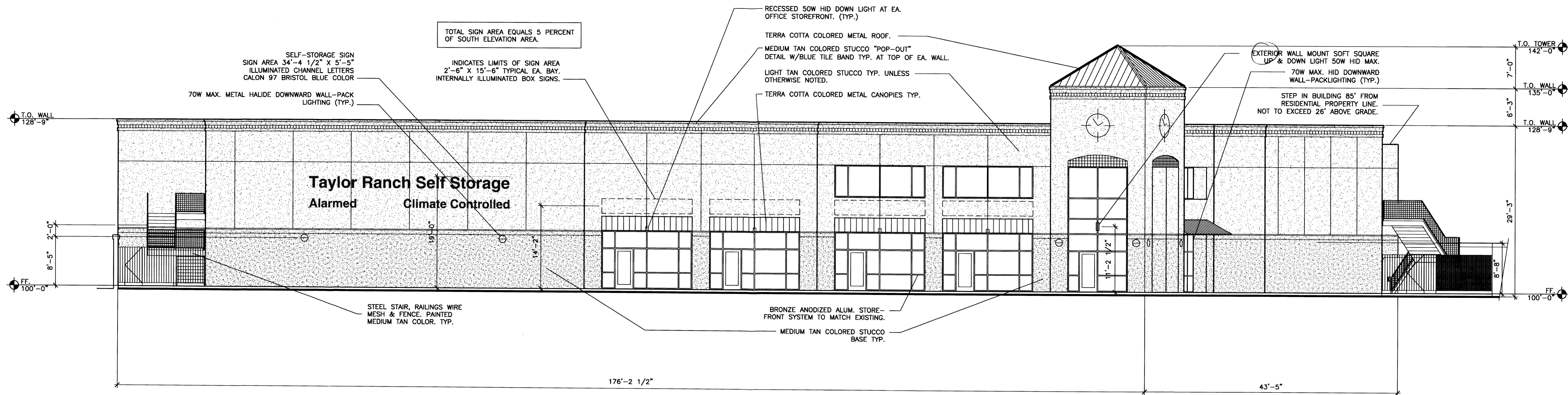
- EXISTING 20' PUBLIC WATERLINE EASEMENT TO BE VACATED BY FINAL PLAT. COMPLETED w/ 2008 PLAT
- PROPOSED 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED BY FINAL PLAT. COMPLETED w/ 2008 PLAT
- PROPOSED BLANKET PRIVATE SANITARY SEWER EASEMENT TO BE GRANTED BY FINAL PLAT. SANITARY SEWER TO BE MAINTAINED BY THE BENEFITTING LOT OWNERS. COMPLETED w/ 2008 PLAT

KEYED NOTES

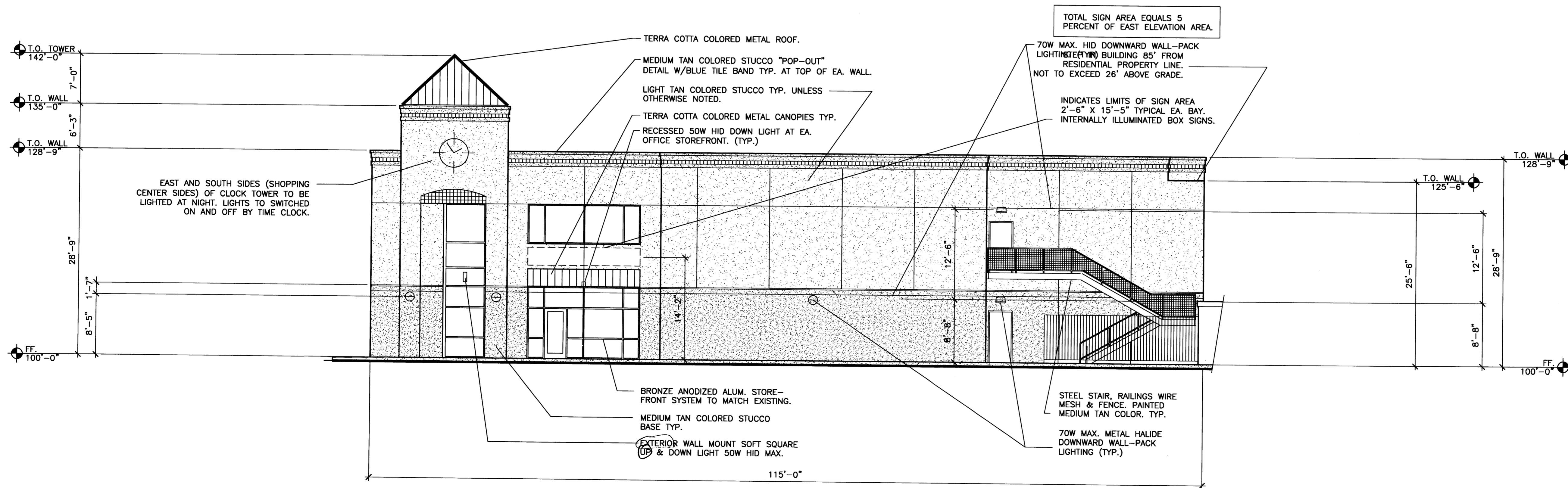
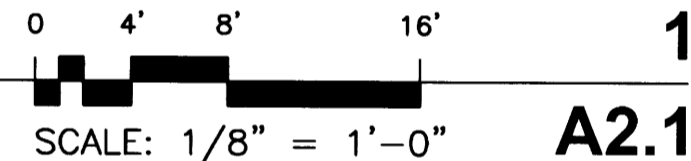
- ALL WORK SHOWN IN BUBBLED AREAS TO BE CONSTRUCTED WITH APPROVED BUILDING PERMIT
- CONSTRUCTION OF FIRELINE TO BE IN ACCORDANCE w/ APPROVED MINI WORK ORDER OR CUSTOMER SERVICE PER ABCWUA.

LEGEND

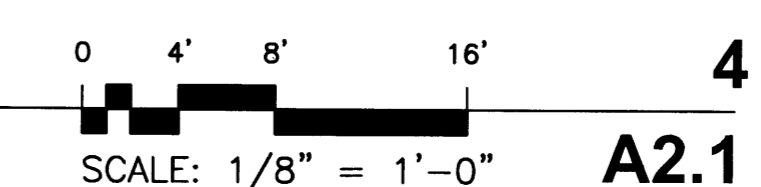
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SOUTH ELEVATION - STORAGE/OFFICE BUILDING 'H'



EAST ELEVATION - STORAGE OFFICE BUILDING 'H'



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)896-3438

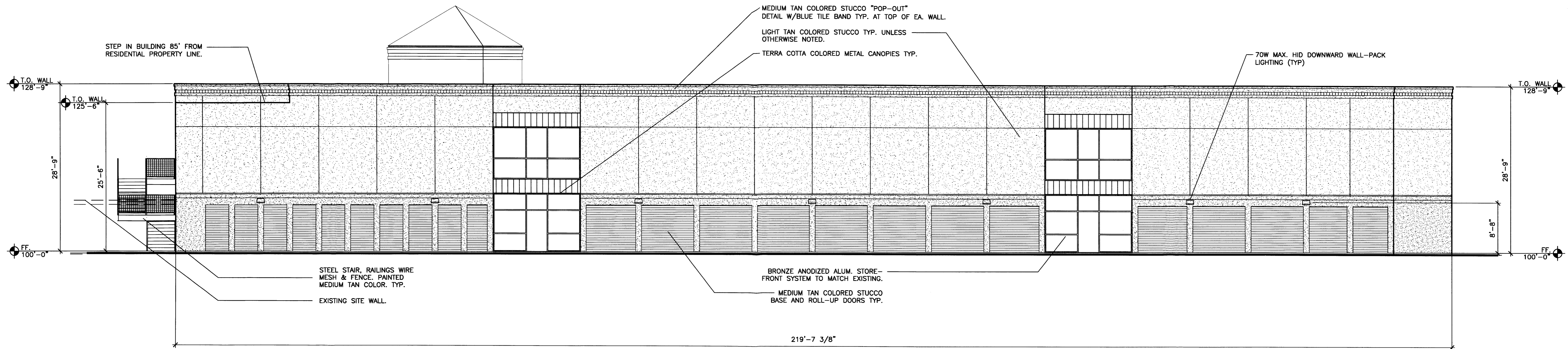
PROJECT:
**TAYLOR RANCH SELF STORAGE
PHASE 3**

SHEET TITLE:
STORAGE/OFFICE BUILDING 'H' ELEVATIONS

NO.	REVISION	DATE

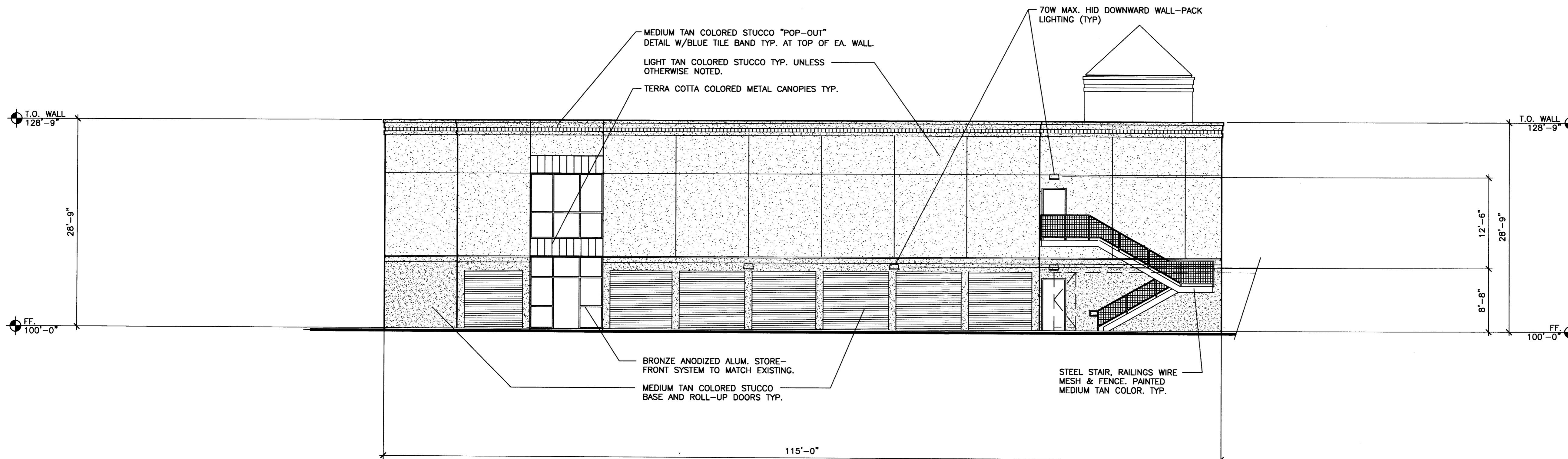
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 STATE OF NEW MEXICO
 KEVIN JUNO
 No. 1603
 11-13-12
 PROJECT NO.
 0923
 SHEET NO.
 A2.1

KEYED NOTES



NORTH ELEVATION - STORAGE/OFFICE BUILDING 'H'

0 4' 8' 16' 1
SCALE: 1/8" = 1'-0" **A2.2**



WEST ELEVATION - STORAGE/OFFICE BUILDING 'H'

0 4' 8' 16' 2
SCALE: 1/8" = 1'-0" **A2.2**



ARCHITECTS

7925 Bosque St. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 896-3438

PROJECT:
**TAYLOR RANCH SELF STORAGE
PHASE 3**

SHEET TITLE:
STORAGE/OFFICE BUILDING 'H' ELEVATIONS

NO.	REVISION	DATE

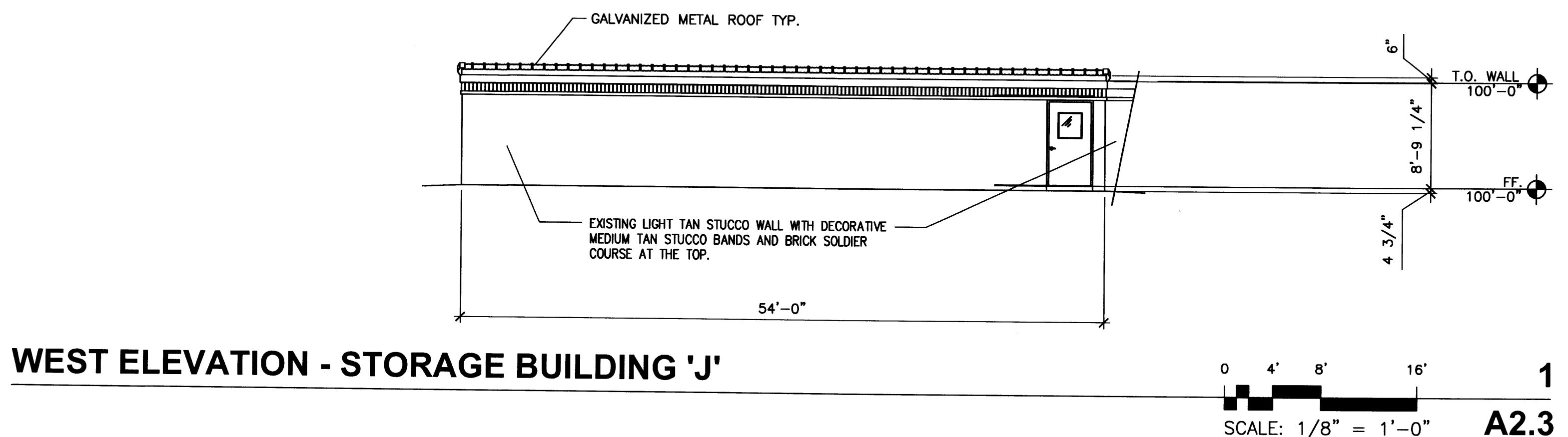
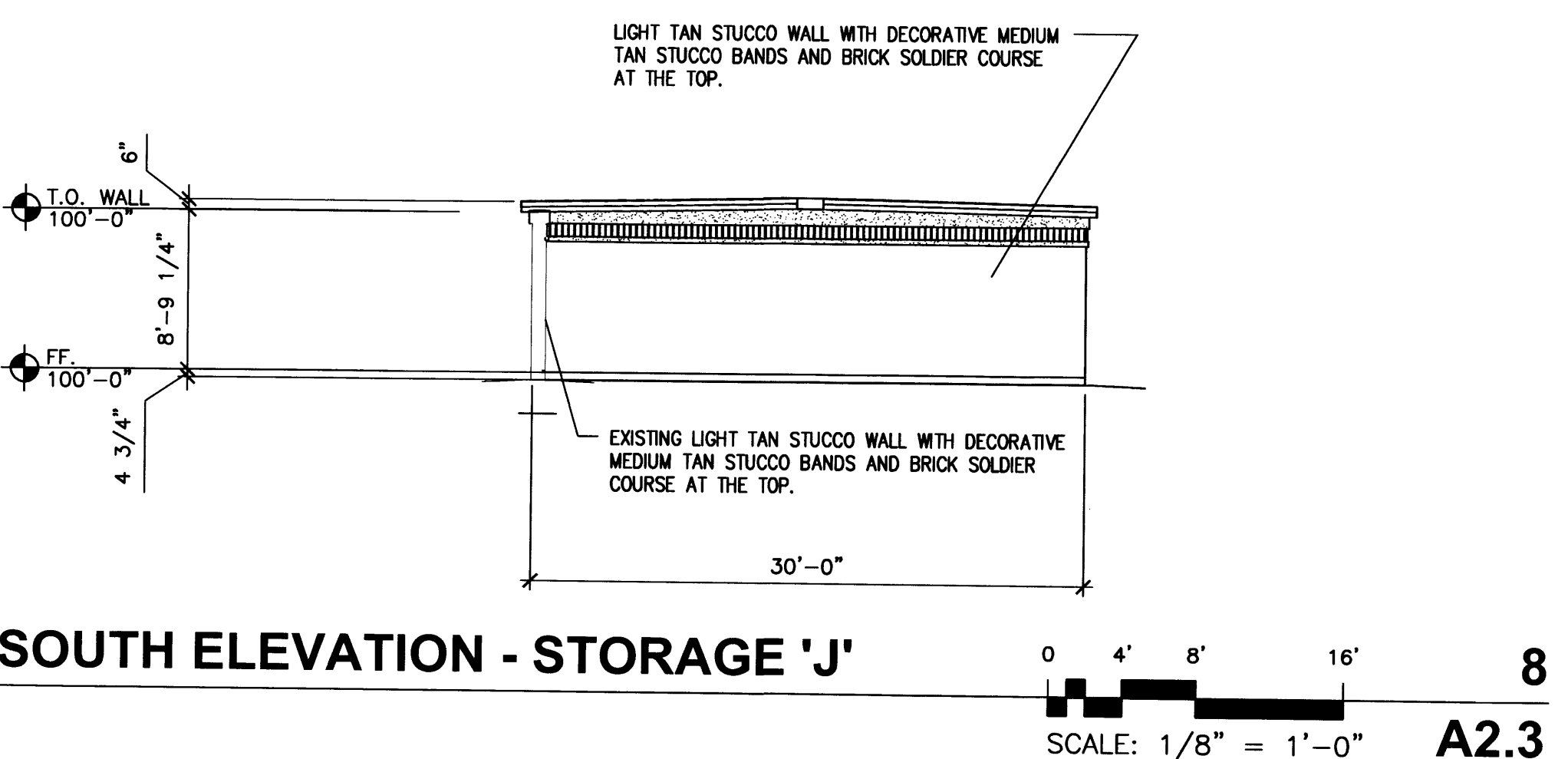
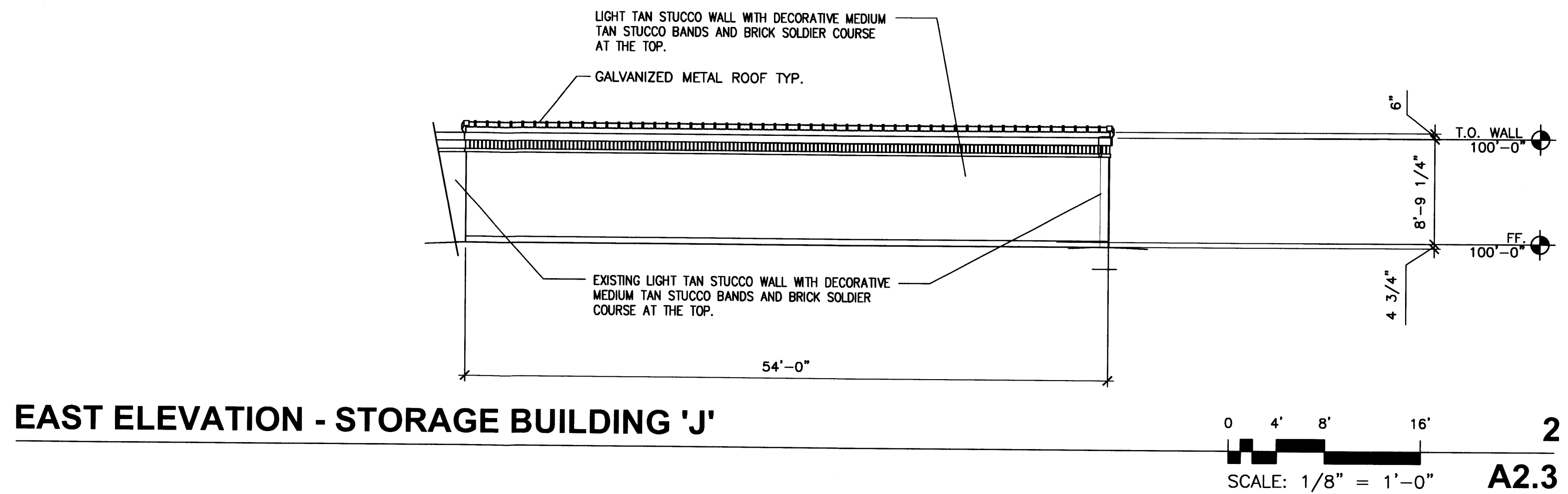
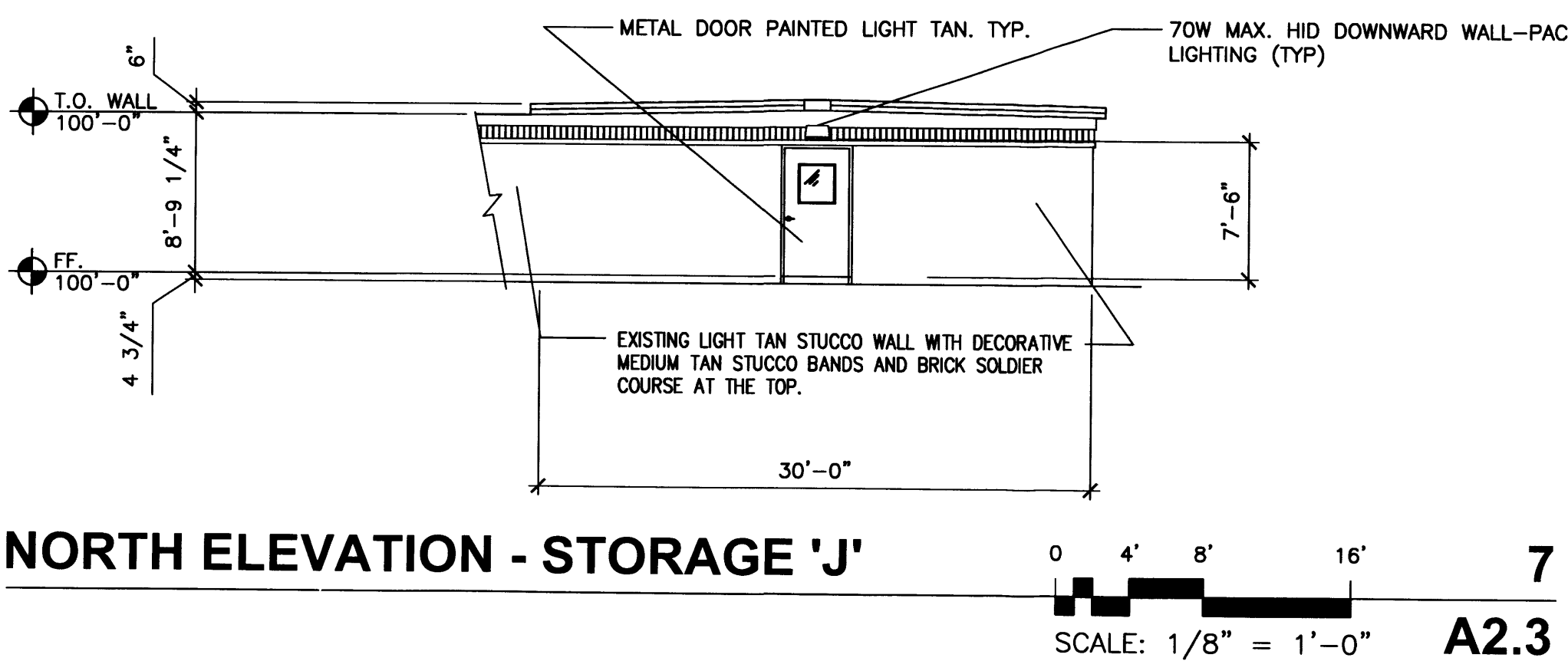
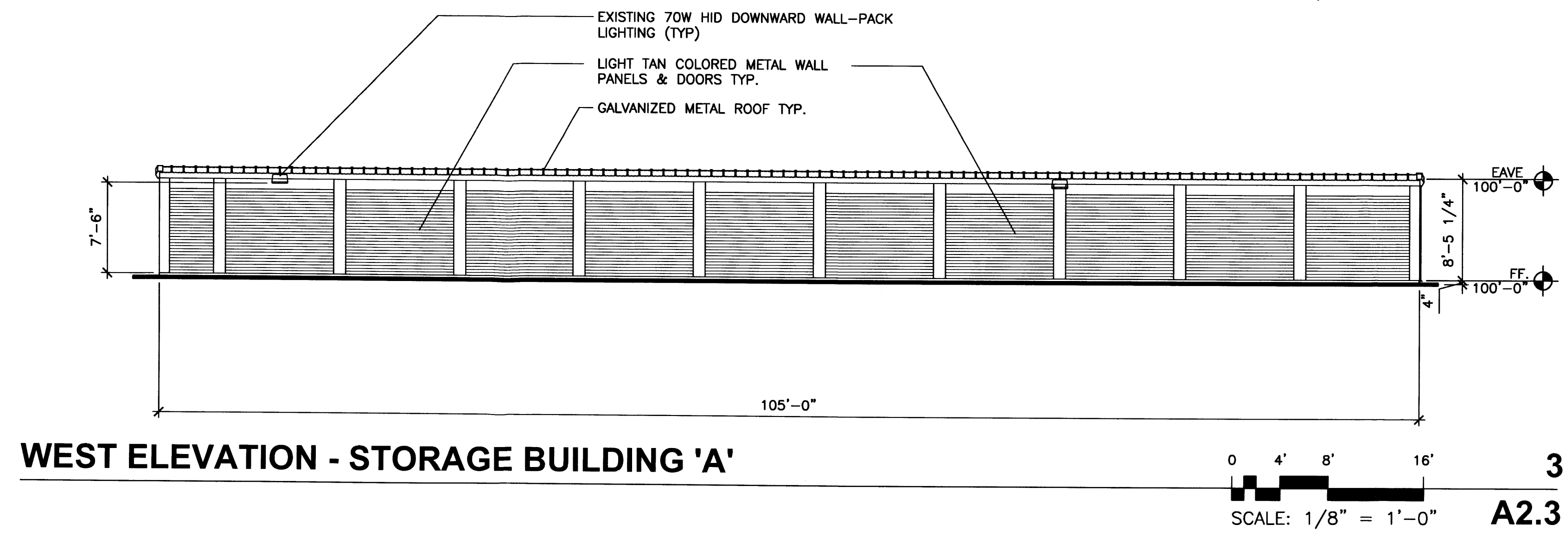
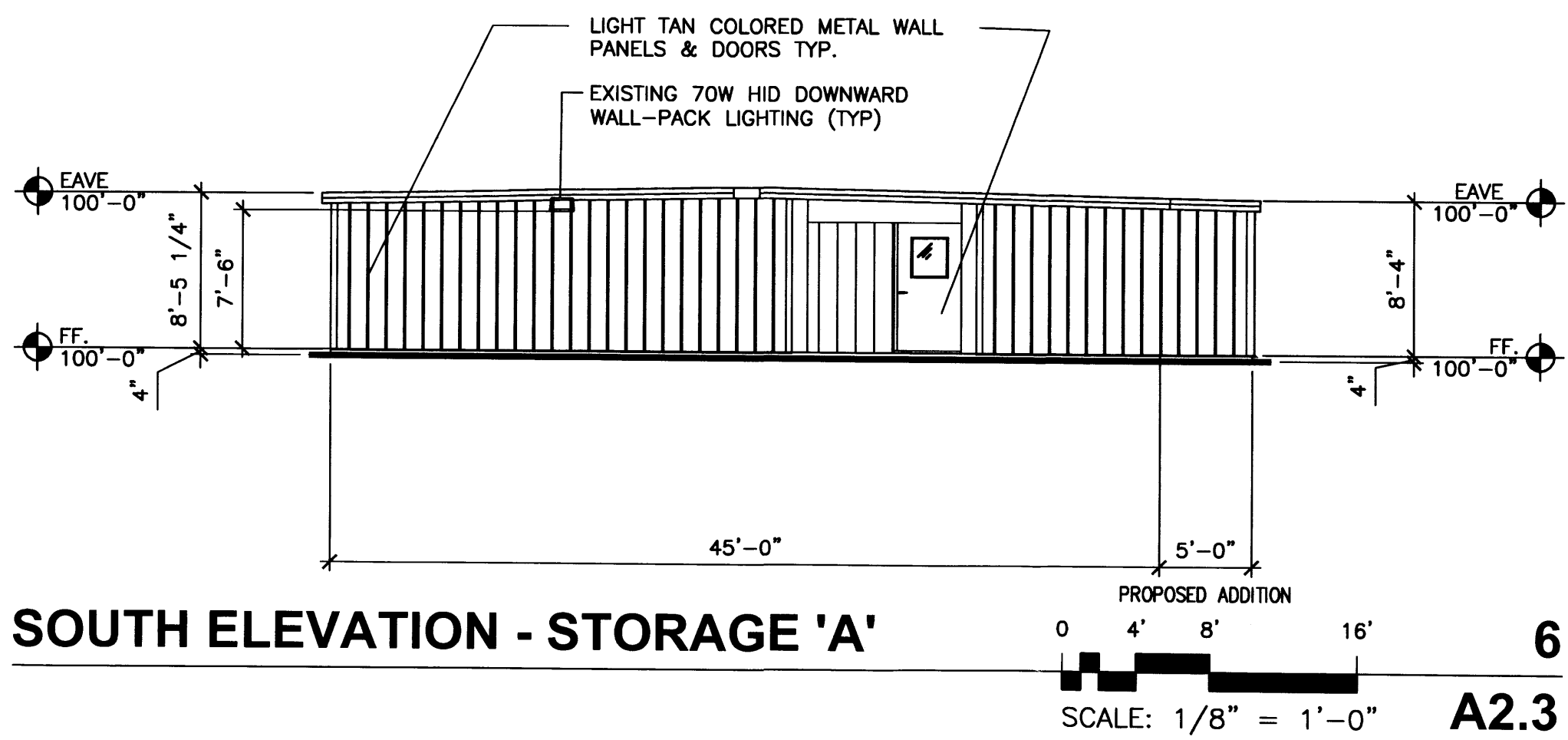
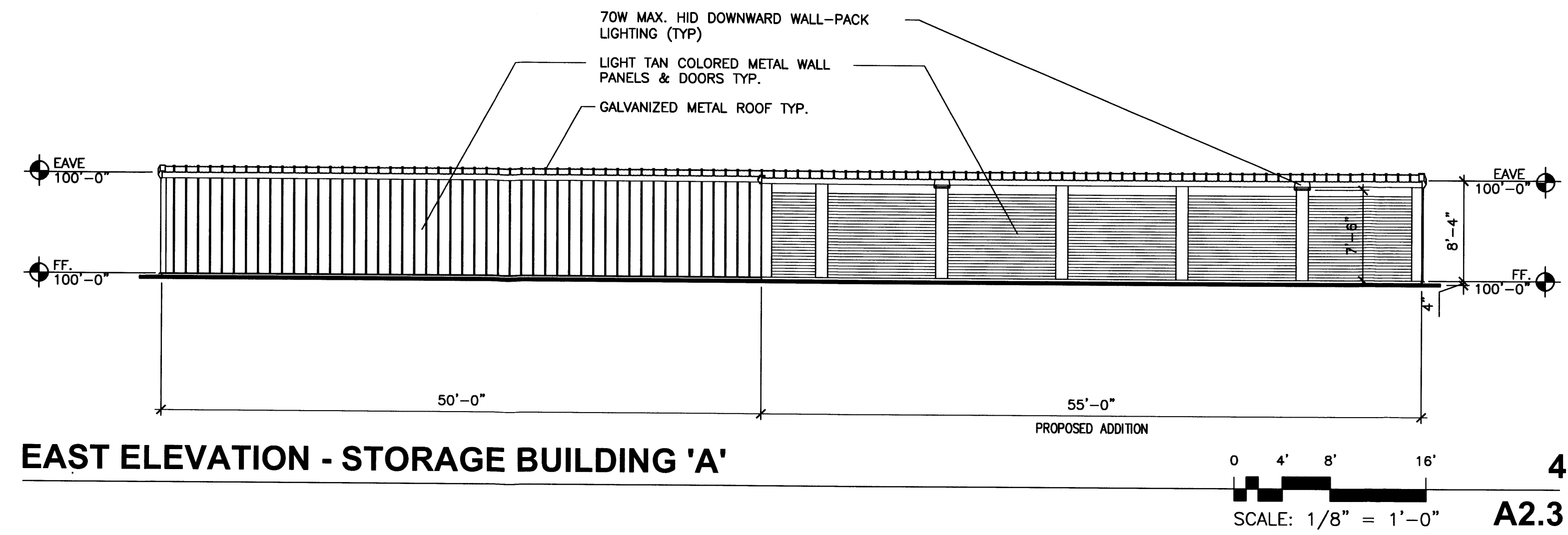
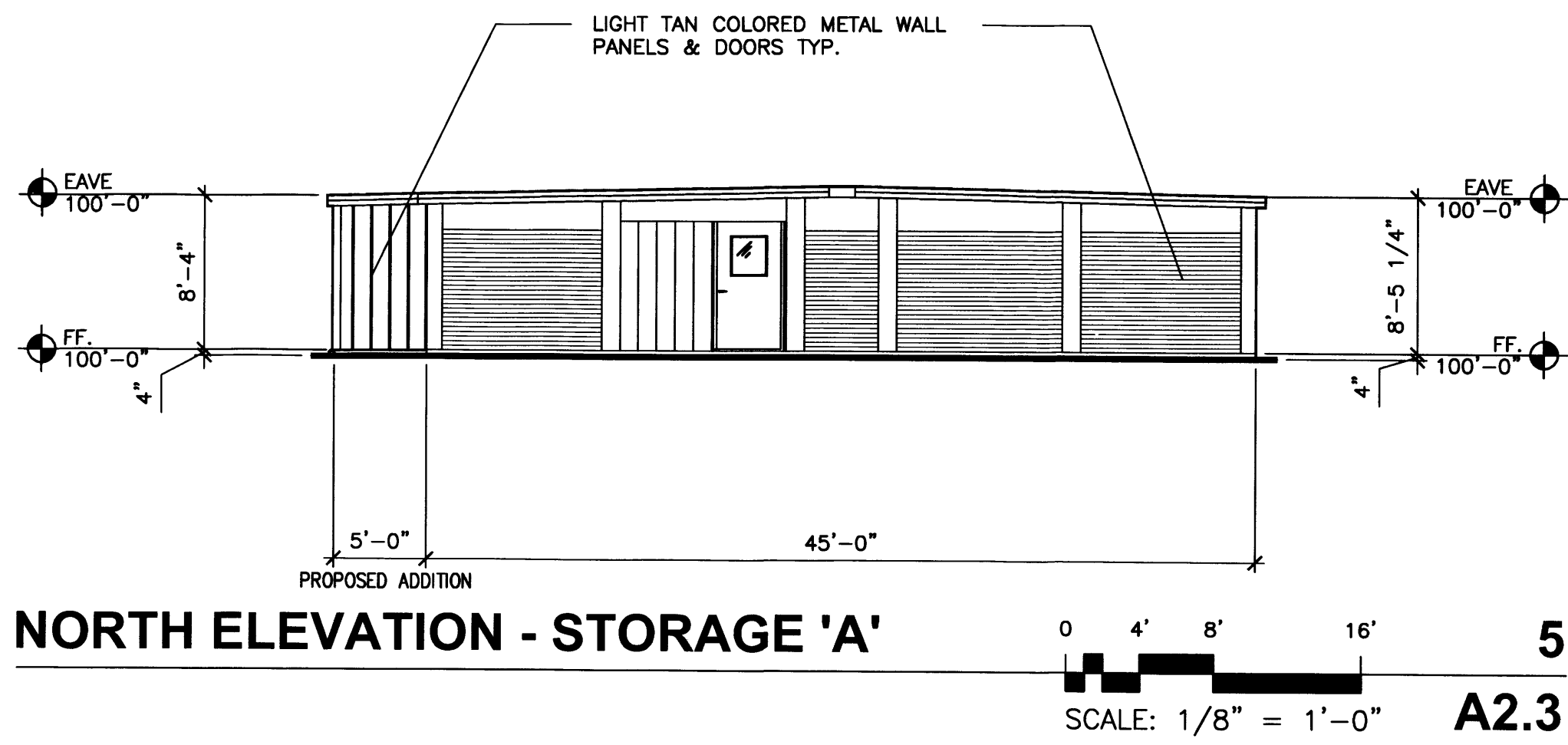
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DATE:
11-13-12
PROJECT NO.
0923
SHEET NO.

A2.2

KEYED NOTES



ARCHITECTS

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PROJECT:
**TAYLOR RANCH SELF STORAGE
PHASE 3**

SHEET TITLE:
STORAGE BUILDINGS 'A' & 'J' ELEVATIONS

NO.	REVISION	DATE

ARCHITECT STAMP CONSULTANT STAMP

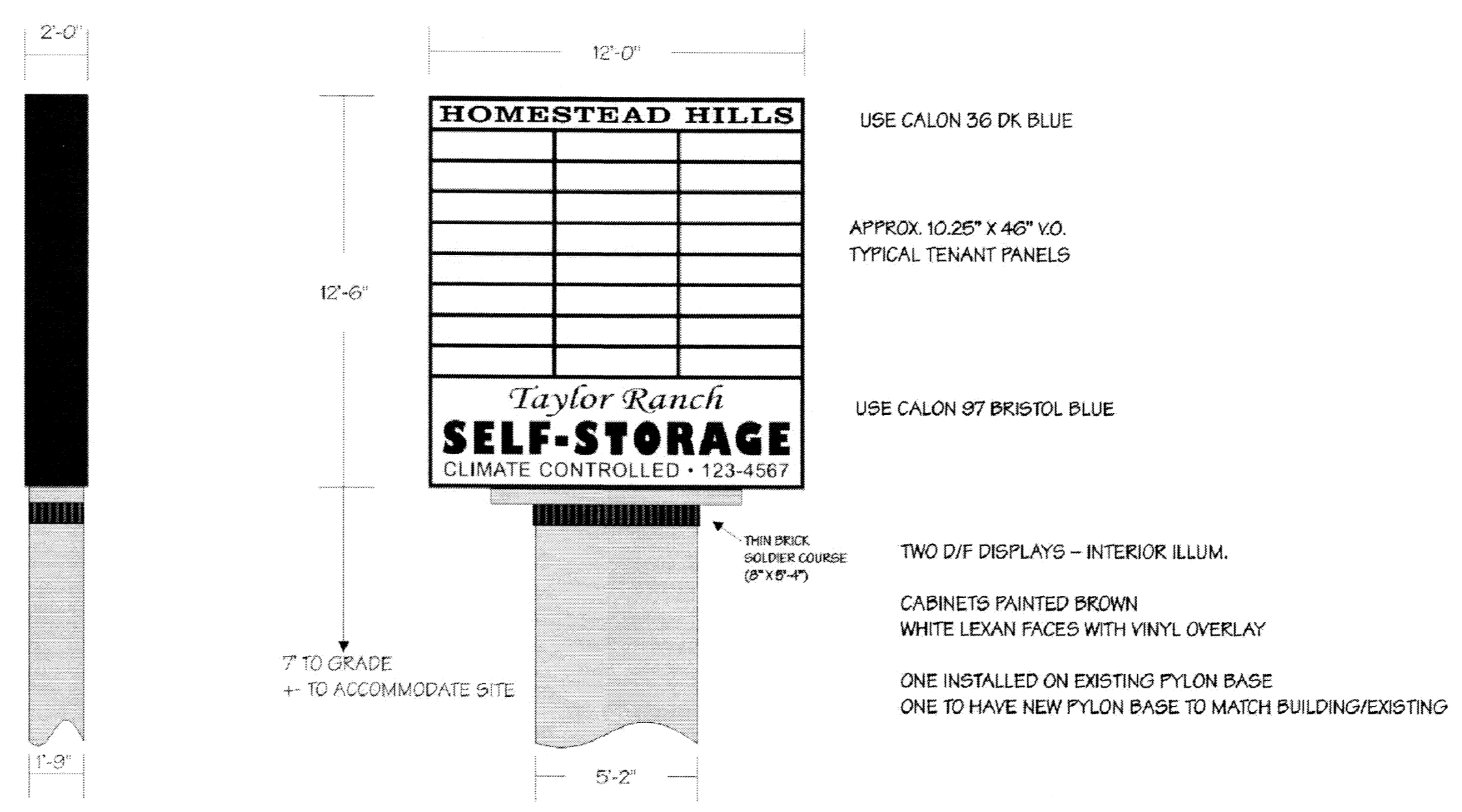


DATE:
11-13-12
PROJECT NO.
0923
SHEET NO.

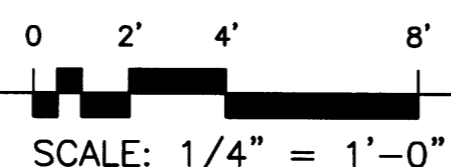
A2.3



EXISTING FREE-STANDING SIGN TO BE REMOVED

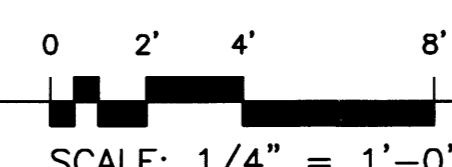


EXISTING FREE-STANDING SIGN AT SELF-STORAGE GATE (TO BE REMOVED)

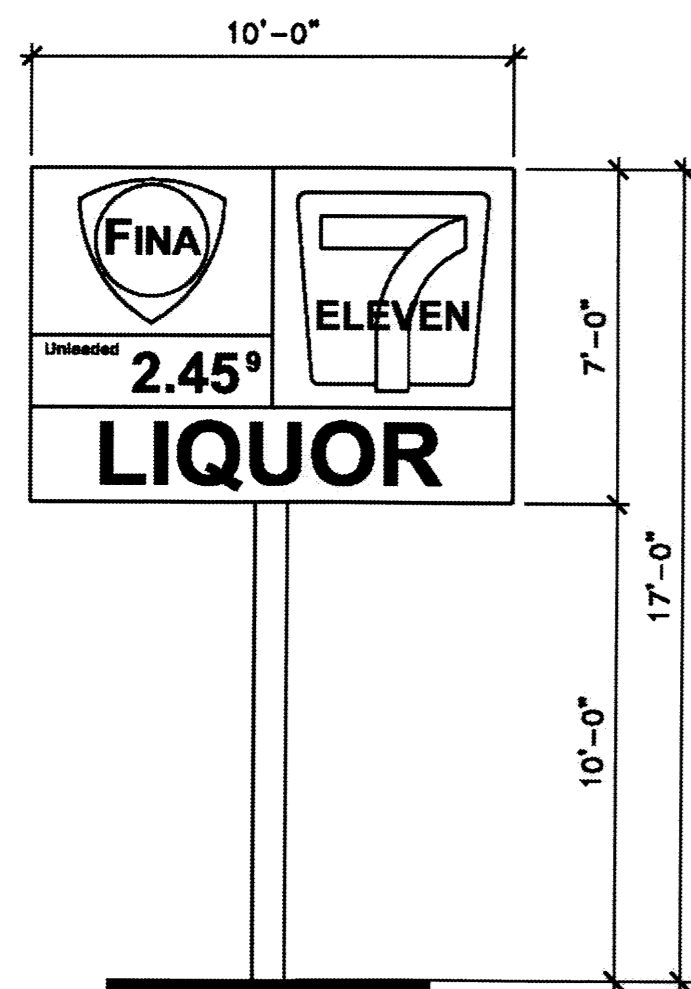


4 AS3.1

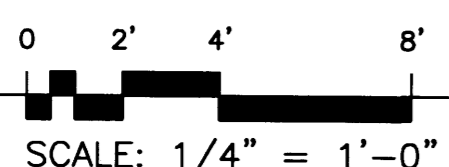
EXISTING FREE-STANDING SIGN AT TAYLOR RANCH DR. & HOMESTEAD CIRCLE



2 AS3.1



EXISTING FREE-STANDING CONVENIENCE STORE SIGN



5 AS3.1

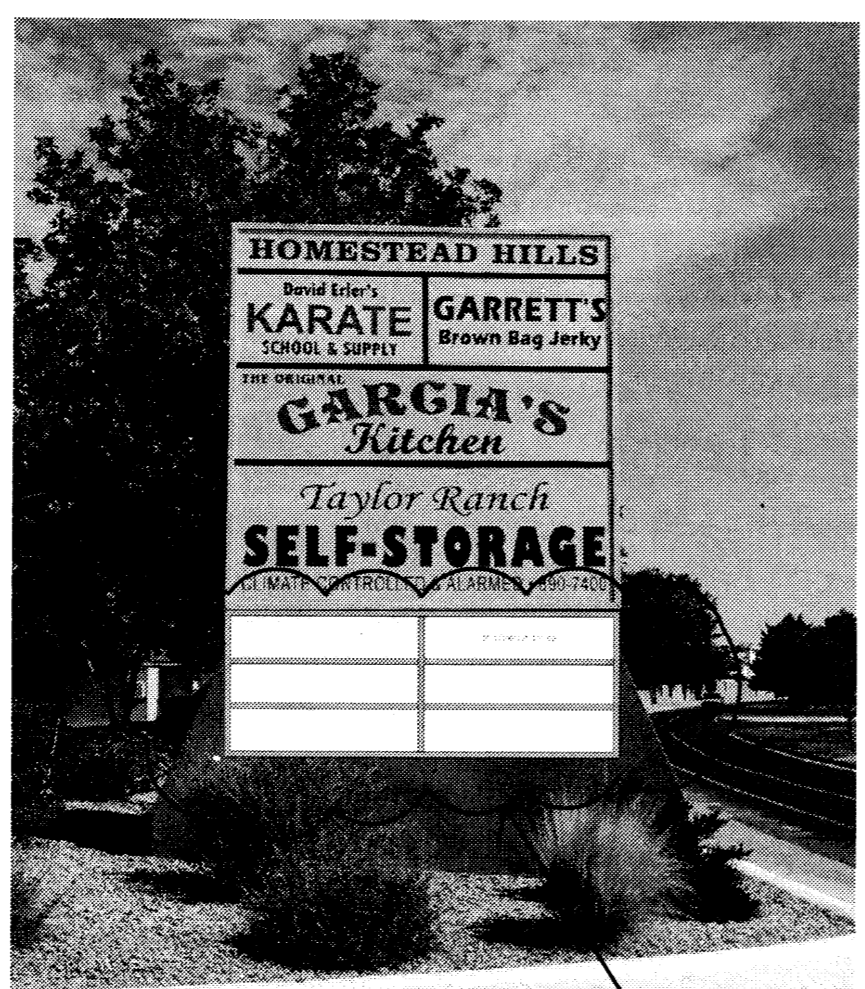
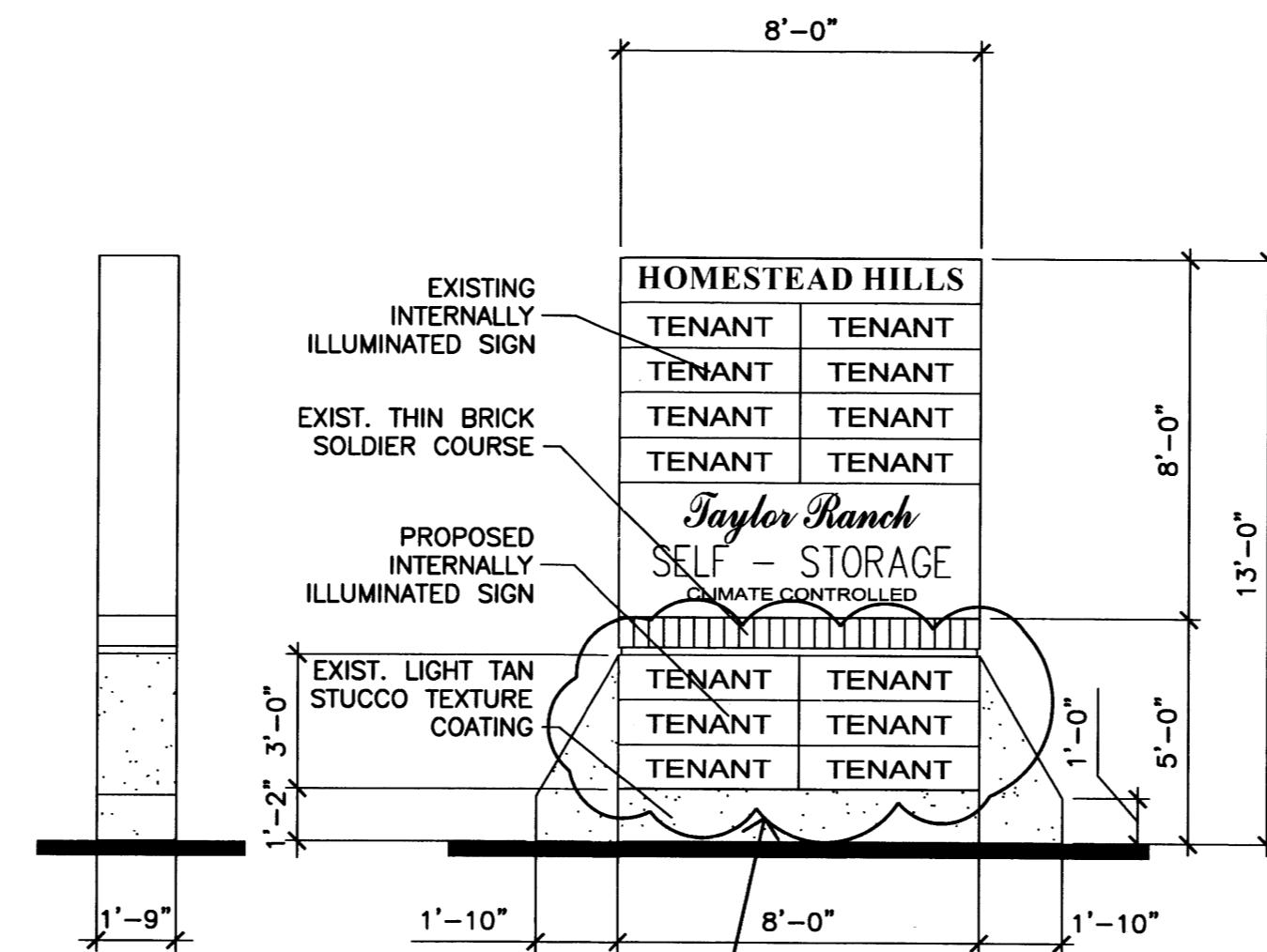


PHOTO REPRESENTATION

PROPOSED FREE-STANDING SIGN AREA INCREASE

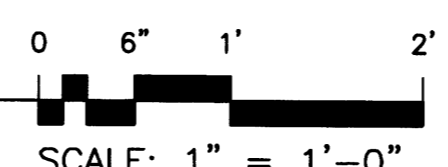
EXISTING FREE-STANDING SIGNS AT DRIVEWAY ENTRANCES (2)



ELEVATIONS

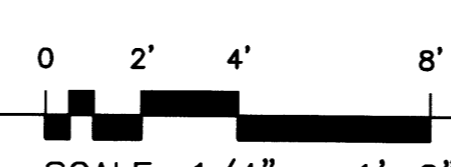
PROPOSED FREE-STANDING SIGN AREA INCREASE

SIGN CABINET ELEVATION

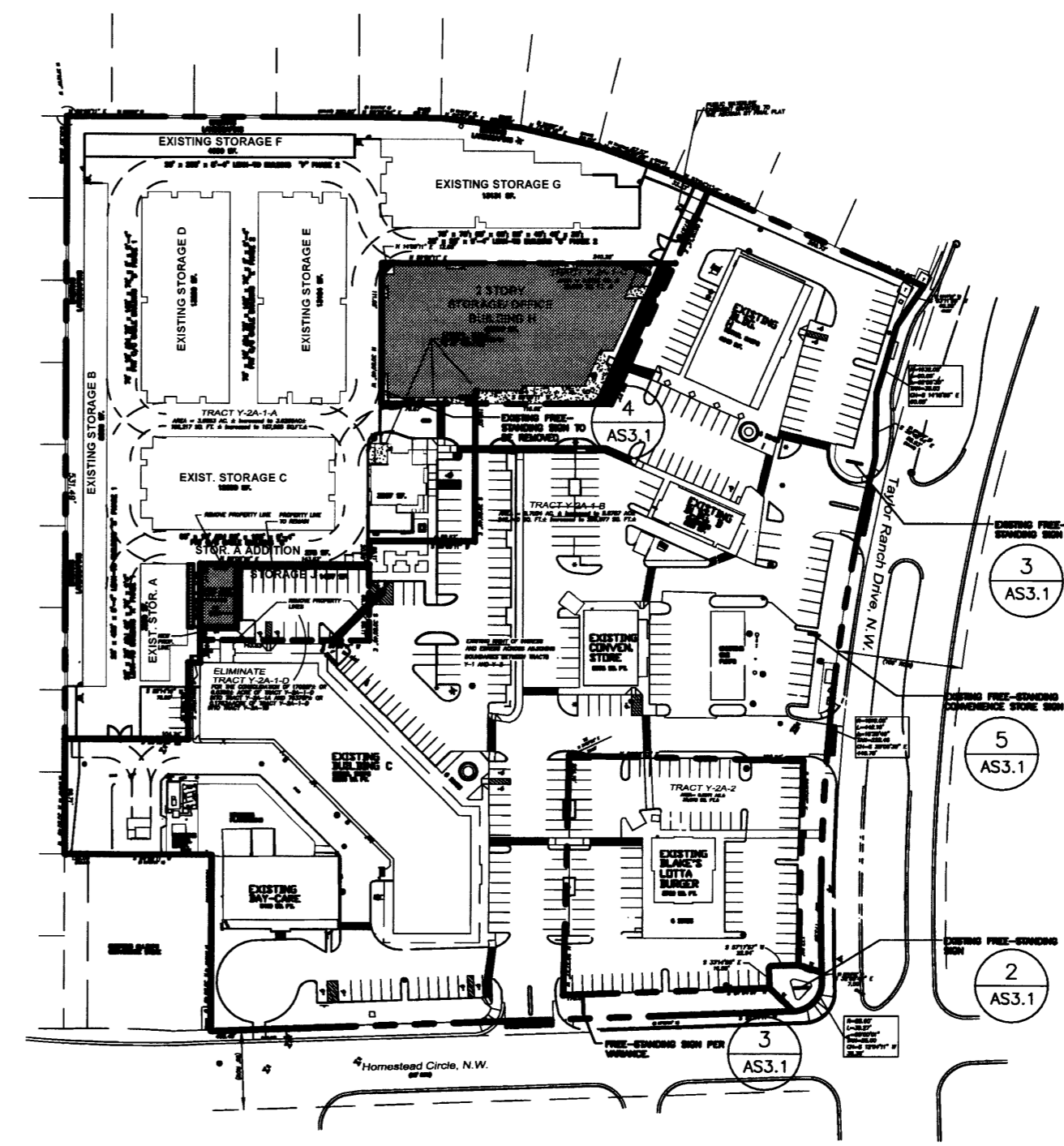


SCALE: 1" = 1'-0"

EXISTING FREE-STANDING SIGNS AT DRIVEWAY ENTRANCES (2)



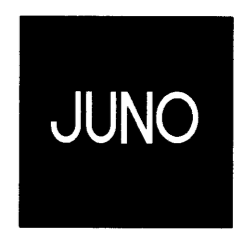
3 AS3.1



KEY PLAN

SCALE: NTS

1 AS3.1



ARCHITECTS

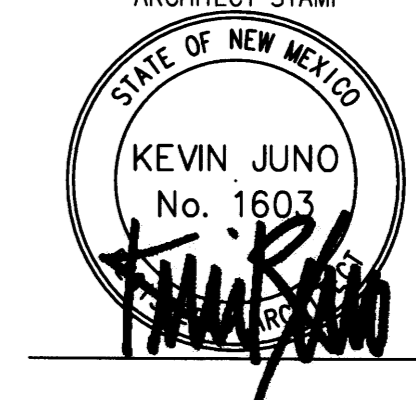
7925 Bosque St. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 896-3438

TAYLOR RANCH SELF-STORAGE PHASE 3

FREE-STANDING SIGNS

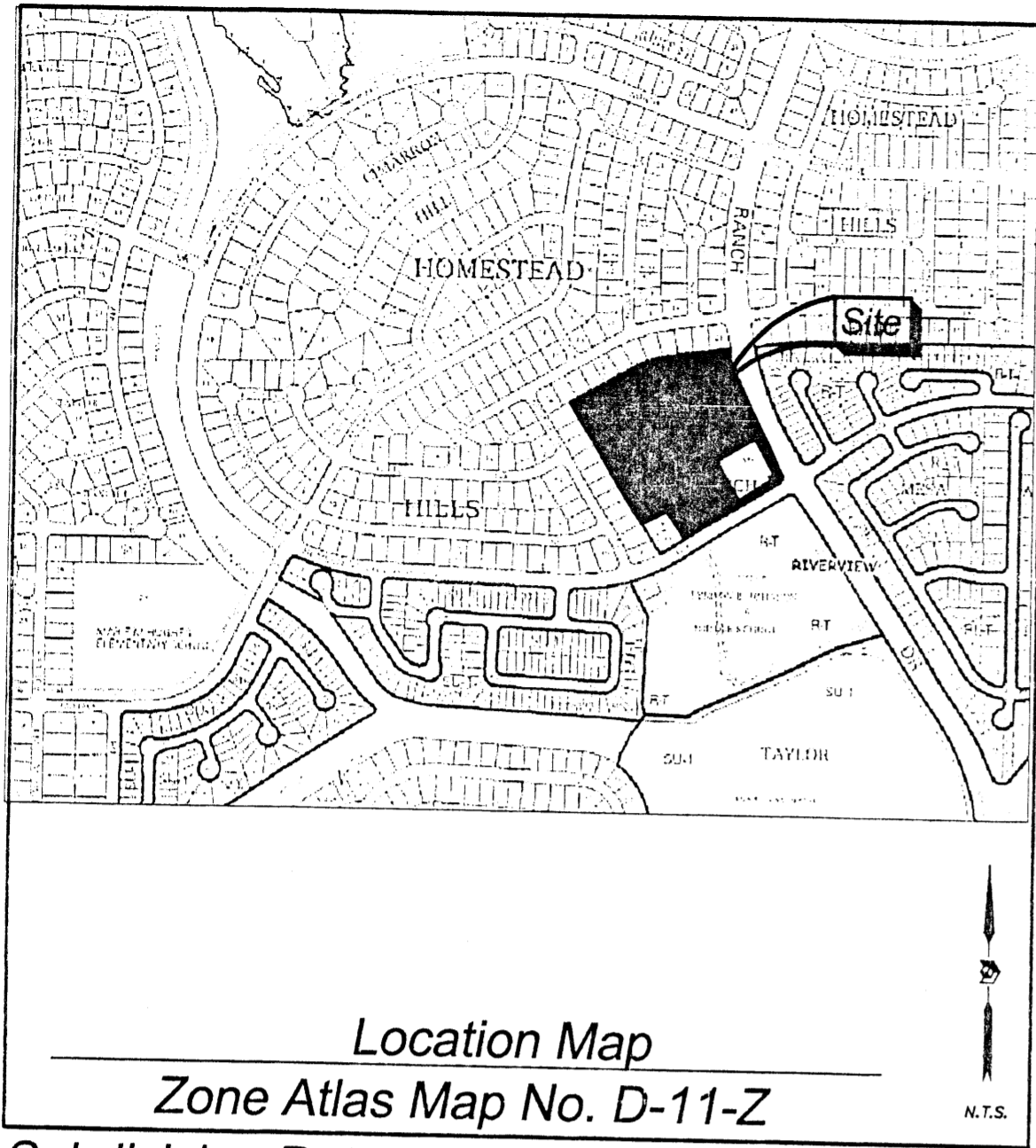
NO.	REVISION	DATE

ARCHITECT STAMP CONSULTANT STAMP DATE:



DATE: 11-13-12
PROJECT NO. 0923
SHEET NO.

AS3.1



DOCM 2013017376
 02/15/2013 10:45 AM Page 1 of 3
 11/15/2012 10:45 AM Page 1 of 3
 Toulous Olivera Bernalillo NM

Plat of
 Tract Y-2A-1-A-1, Y-2A-1-B-1,
 and Y-2A-1-C-1
Taylor Ranch
 Albuquerque, Bernalillo County, New Mexico
 November 2012

Legal Description

TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C AND Y-2A-1-D OF THE PLAT OF TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C AND Y-2A-1-D, TAYLOR RANCH SECTION 23, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT, THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 13, 2008, IN PLAT BOOK 2008C, PAGE 25, CONTAINING 10.1154 ACRES MORE OR LESS, NOW COMPRISING TRACTS Y-2A-1-A-1, Y-2A-1-B-1 AND Y-2A-1-C-1 TAYLOR RANCH.

Project No. 1002776
 Application No. 12DRB-70358

Utility Approvals

<i>Fernando Vigil</i>	11-14-12
PNM	DATE
<i>[Signature]</i>	11-14-2012
NEW MEXICO GAS COMPANY	DATE
<i>Bochelle [Signature]</i>	2/4/13
QUEST CORPORATION D/B/A CENTURYLINK QC	DATE
<i>[Signature]</i>	1/4/13
COMCAST	DATE

City Approvals

<i>[Signature]</i>	11-6-12
CITY SURVEYOR	DATE
<i>[Signature]</i>	12-26-12
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<i>Alan Pater</i>	11/28/12
A.R.C.W.U.A.	DATE
<i>Carol S. Diamond</i>	11-28-12
PARKS AND RECREATION DEPARTMENT	DATE
<i>Antia Chua</i>	11-28-12
AMAFCA	DATE
<i>Antia Chua</i>	11-28-12
CITY ENGINEER	DATE
<i>Carl Chua</i>	2-13-13
DRP CHAIRPERSON, PLANNING DEPARTMENT	

Subdivision Data:

ZONING: C-2 (SC)
 GROSS SUBDIVISION ACREAGE: 10.1154 ACRES±
 ZONE ATLAS INDEX NO: D-11-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: MAY 2007, FIELD VERIFIED OCTOBER 5th, 2012

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING 4 TRACTS INTO 3 NEW TRACTS AND TO VACATE A PORTION OF EASEMENTS AND TO GRANT EASEMENTS.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 23, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERCTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDED ELECTRICAL SERVICES.
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDED NATURAL GAS SERVICES.
- QUEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERCTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMCC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMCC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERCTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

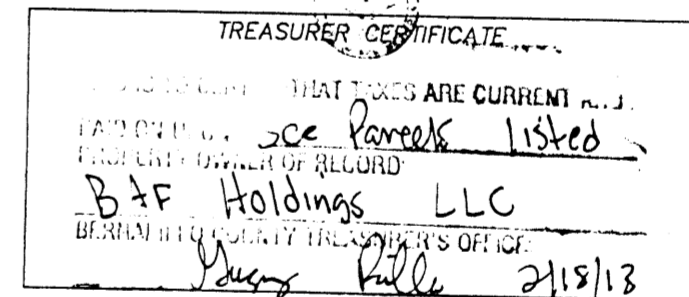
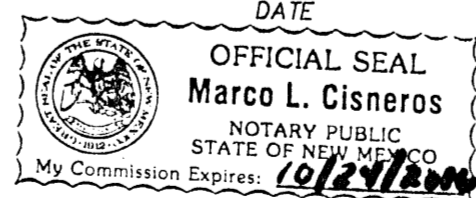
Dan Rich 11/06/2012
 DAN RICH
 MEMBER
 KLD ENTERPRISES, LLC

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF November 2012 BY
 DAN RICH, MEMBER, KLD ENTERPRISES, LLC

BY *Marco L. Cisneros* MY COMMISSION EXPIRES: October, 24, 2016
 NOTARY PUBLIC



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano
 LARRY W. MEDRANO
 N.M.P.S. No. 11993



OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER KLD ENTERPRISES, LLC
 SECTION 23, TOWNSHIP 10 N, RANGE 2 E,
 SUBDIVISION TAYLOR RANCH

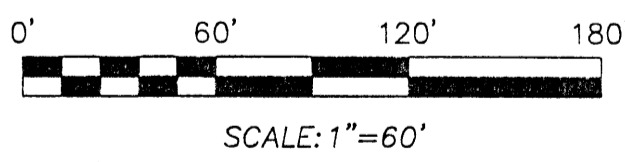
Plat of
 Tract Y-2A-1-A-1, Y-2A-1-B-1,
 and Y-2A-1-C-1
Taylor Ranch
 Albuquerque, Bernalillo County, New Mexico
 November 2012

DOCH 2013017376
 02/15/2013 10:45 AM Page 2 of 3
 PLAT # 225 00 B 20130 P 0012 M Toulous Olivere, Bernalillo Co

A.G.R.S. MONUMENT "4-D11"
 STANDARD A.G.R.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,516,868.468
 E=1,504,983.083
 EL=NOT PUBLISHED
 GROUND TO GRID FACTOR=0.999673154
 DELTA ALPHA ANGLE=-0°15'39.68"

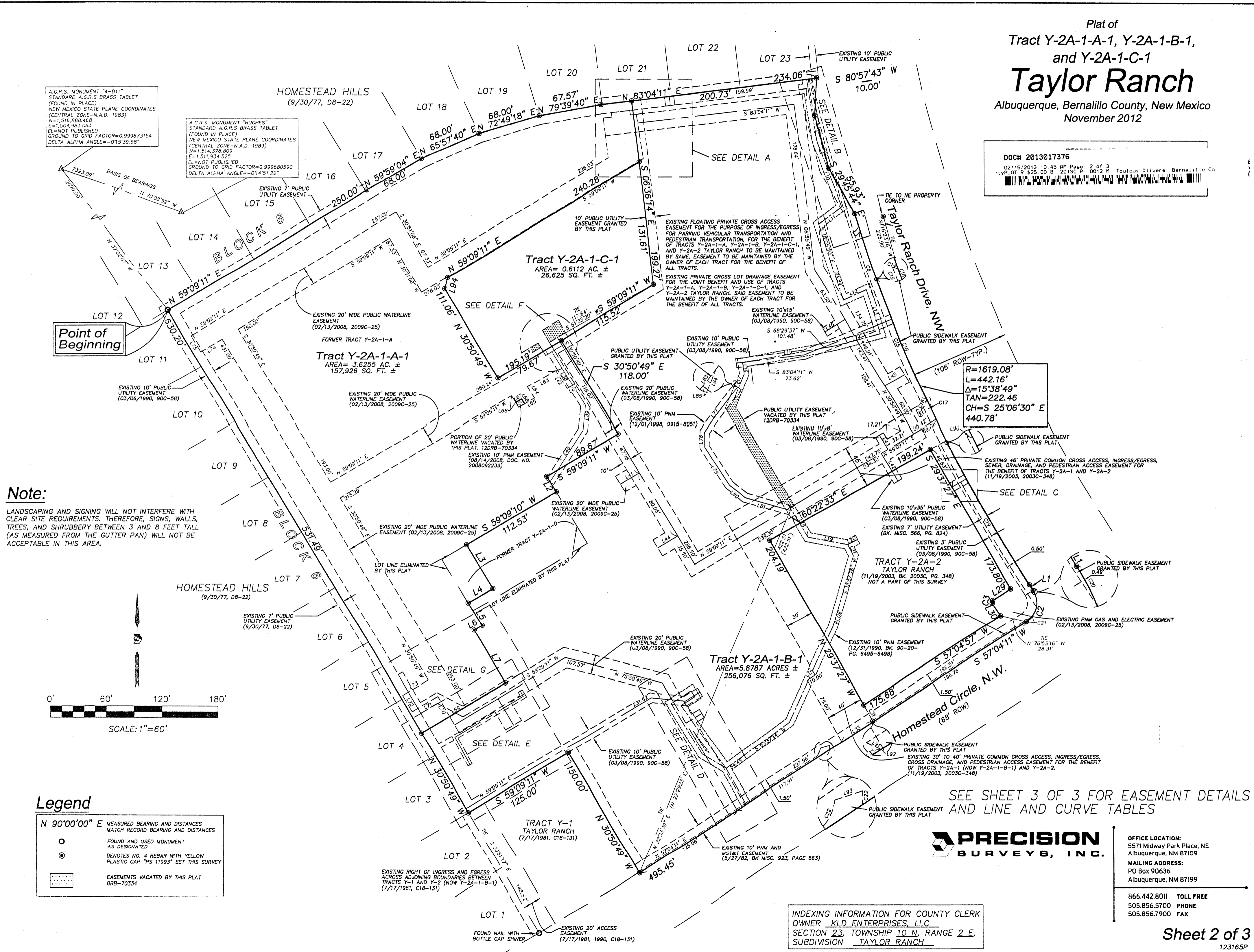
A.G.R.S. MONUMENT "HUGHES"
 STANDARD A.G.R.S. BRASS TABLET
 (FOUND IN PLACE)
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 (CENTRAL ZONE-N.A.D. 1983)
 N=1,514,378.909
 E=1,511,914.525
 EL=NOT PUBLISHED
 GROUND TO GRID FACTOR=0.999680590
 DELTA ALPHA ANGLE=-0°14'51.22"

Note:
 LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES MATCH RECORD BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
□	EASEMENTS VACATED BY THIS PLAT DRB-70334



SEE SHEET 3 OF 3 FOR EASEMENT DETAILS AND LINE AND CURVE TABLES

PRECISION SURVEYS, INC.

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 Albuquerque, NM 87109
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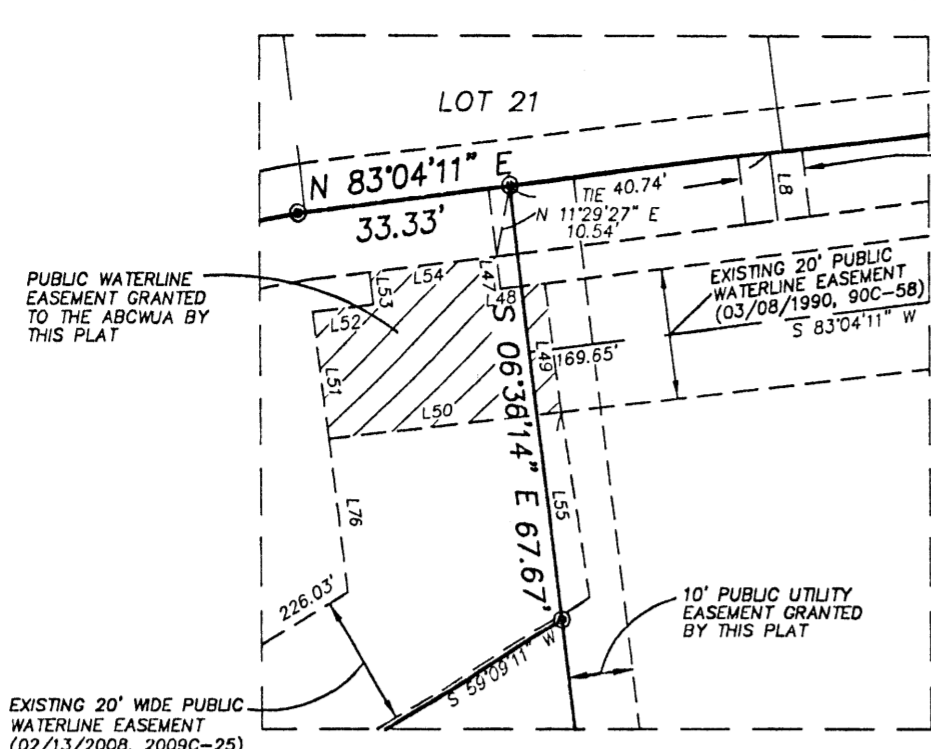
INDEXING INFORMATION FOR COUNTY CLERK
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 SUBDIVISION TAYLOR RANCH

Plat of
 Tract Y-2A-1-A-1, Y-2A-1-B-1,
 and Y-2A-1-C-1
Taylor Ranch
 Albuquerque, Bernalillo County, New Mexico
 November 2012

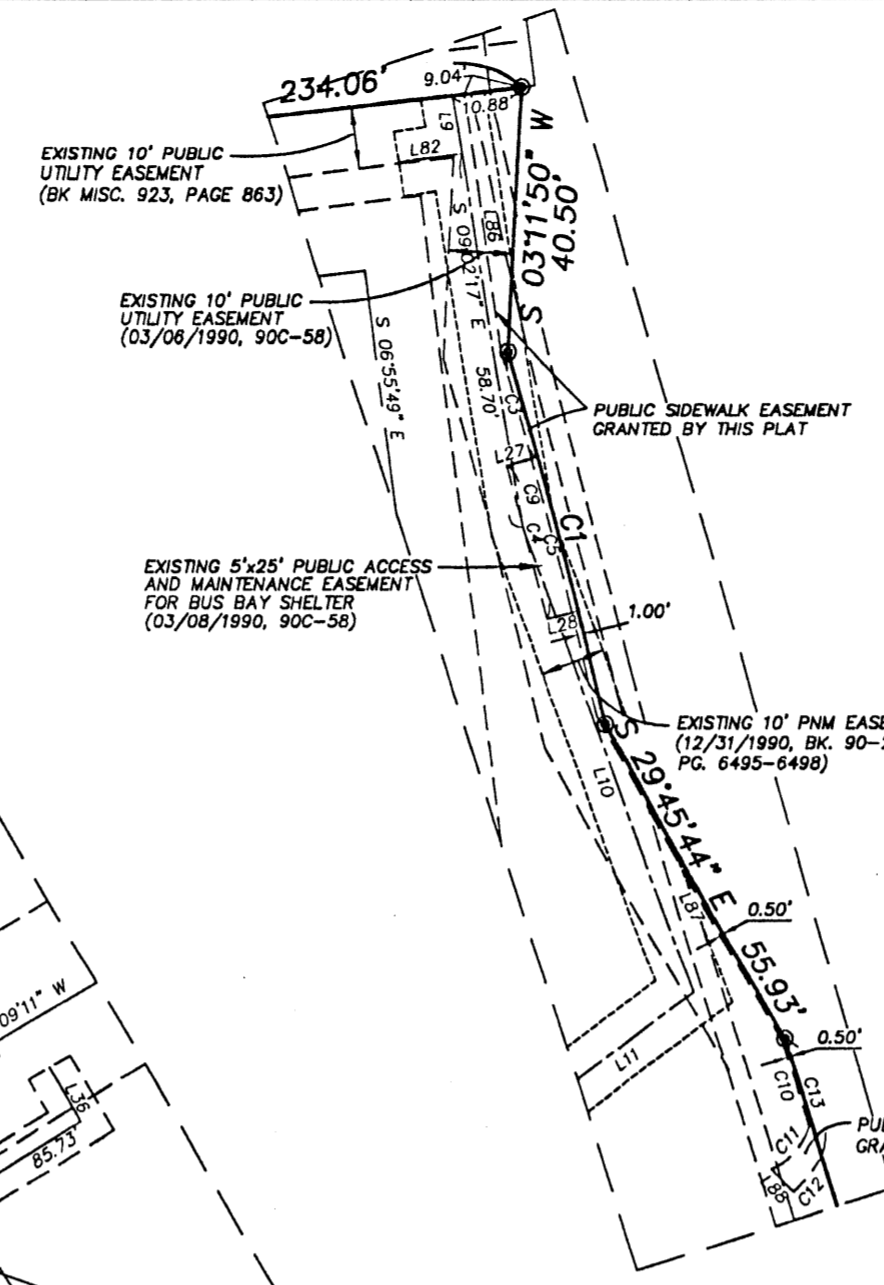
DOCH 2013017376
 02/15/2013 10:45 AM Page 3 of 3
 PLAT R 125 00 B 2013C P 0012 M Toulous Olivera, Bernalillo Co

Line Table

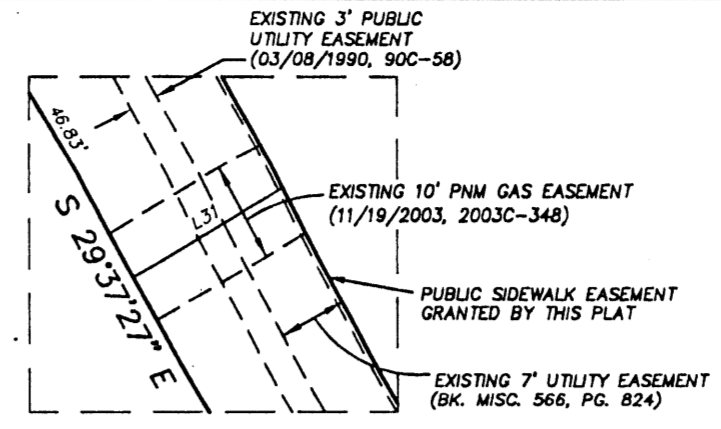
LINE	BEARING	DISTANCE
L1	S 32°55'49" E	7.00'
L2	N 30°50'49" W	20.00'
L3	S 30°50'48" E	55.11'
L4	S 59°09'11" W	31.00'
L5	N 30°50'48" W	29.25'
L6	N 59°14'19" E	10.00'
L7	N 30°47'29" W	65.25'
L8	N 06°55'49" W	10.00'
L9	S 09°02'17" E	9.50'
L10	S 20°18'57" E	79.80'
L11	S 52°35'52" W	30.96'
L12	N 65°59'48" E	27.12'
L13	S 17°42'51" E	48.83'
L14	S 75°26'02" W	51.52'
L15	S 79°46'21" W	100.01'
L16	S 08°05'15" E	12.69'
L17	S 21°13'14" W	30.79'
L18	S 30°41'03" E	40.57'
L19	S 79°25'52" E	43.52'
L20	N 62°41'19" E	12.00'
L21	S 27°18'43" E	13.33'
L22	S 24°48'07" W	111.64'
L23	S 58°39'14" E	30.01'
L24	S 57°53'52" W	25.42'
L25	N 31°26'43" W	7.39'
L26	N 58°19'31" E	17.47'
L27	S 75°14'42" W	5.00'
L28	S 75°14'42" W	5.00'
L29	S 57°17'57" W	22.94'
L30	S 33°4'58" E	16.55'
L31	S 60°22'33" W	17.84'
L32	N 29°37'27" W	20.45'
L33	S 57°04'11" W	39.82'
L34	S 84°50'32" E	37.08'
L35	N 59°09'11" E	18.38'
L36	S 30°47'21" E	6.36'
L37	N 59°09'11" E	15.00'
L38	N 30°50'49" W	70.00'
L39	N 06°01'32" E	25.07'
L40	N 32°35'16" E	67.08'
L41	S 59°09'11" W	23.94'
L42	S 30°50'49" E	35.00'
L43	N 30°50'49" W	18.00'
L44	S 59°09'11" W	25.00'
L45	N 59°09'11" E	25.00'
L46	S 59°09'11" W	25.00'
L47	N 06°55'49" W	5.00'
L48	N 83°04'11" E	6.45'
L49	S 08°20'49" E	20.01'
L50	N 83°04'11" E	36.48'
L51	N 06°55'49" W	20.00'
L52	N 83°04'11" E	9.33'
L53	N 06°55'49" W	5.00'
L54	N 83°04'11" E	20.00'
L55	S 08°20'49" E	29.85'
L56	N 30°50'49" W	5.00'
L57	S 59°09'11" W	20.00'
L58	S 30°50'49" E	10.00'
L59	N 59°09'11" E	10.74'
L60	S 30°50'49" E	43.66'
L61	S 59°09'11" W	10.00'
L62	N 30°50'49" W	23.66'
L63	S 59°09'11" W	35.70'
L64	S 30°51'06" E	15.00'
L65	S 59°08'54" W	12.63'
L66	N 30°50'49" W	6.37'
L67	S 59°09'11" W	7.37'
L68	N 30°51'06" W	8.63'
L69	S 59°09'11" W	20.00'
L70	N 30°50'49" W	25.00'
L71	S 59°09'11" W	32.11'
L72	S 30°50'49" E	20.00'
L73	S 59°09'11" W	32.11'
L74	S 59°09'11" W	27.00'
L75	S 30°50'49" E	20.00'
L76	N 06°36'14" W	24.52'
L77	N 36°41'35" E	59.63'
L78	N 00°11'07" E	16.09'
L79	N 32°42'09" W	49.16'
L80	N 50°33'26" W	21.55'
L81	N 73°59'30" W	50.57'
L82	S 80°57'43" W	10.00'
L83	N 36°41'35" E	12.23'
L84	S 21°13'14" W	12.69'
L85	N 53°18'25" W	3.39'
L86	S 08°06'05" E	39.15'
L87	N 29°45'44" W	57.71'
L88	S 43°33'06" E	4.91'
L89	N 25°44'36" W	5.57'
L90	S 79°21'01" E	0.63'
L91	S 64°32'40" E	1.76'
L92	N 57°04'11" E	0.25'
L93	N 73°00'39" E	10.36'
L94	N 14°09'11" E	12.65'



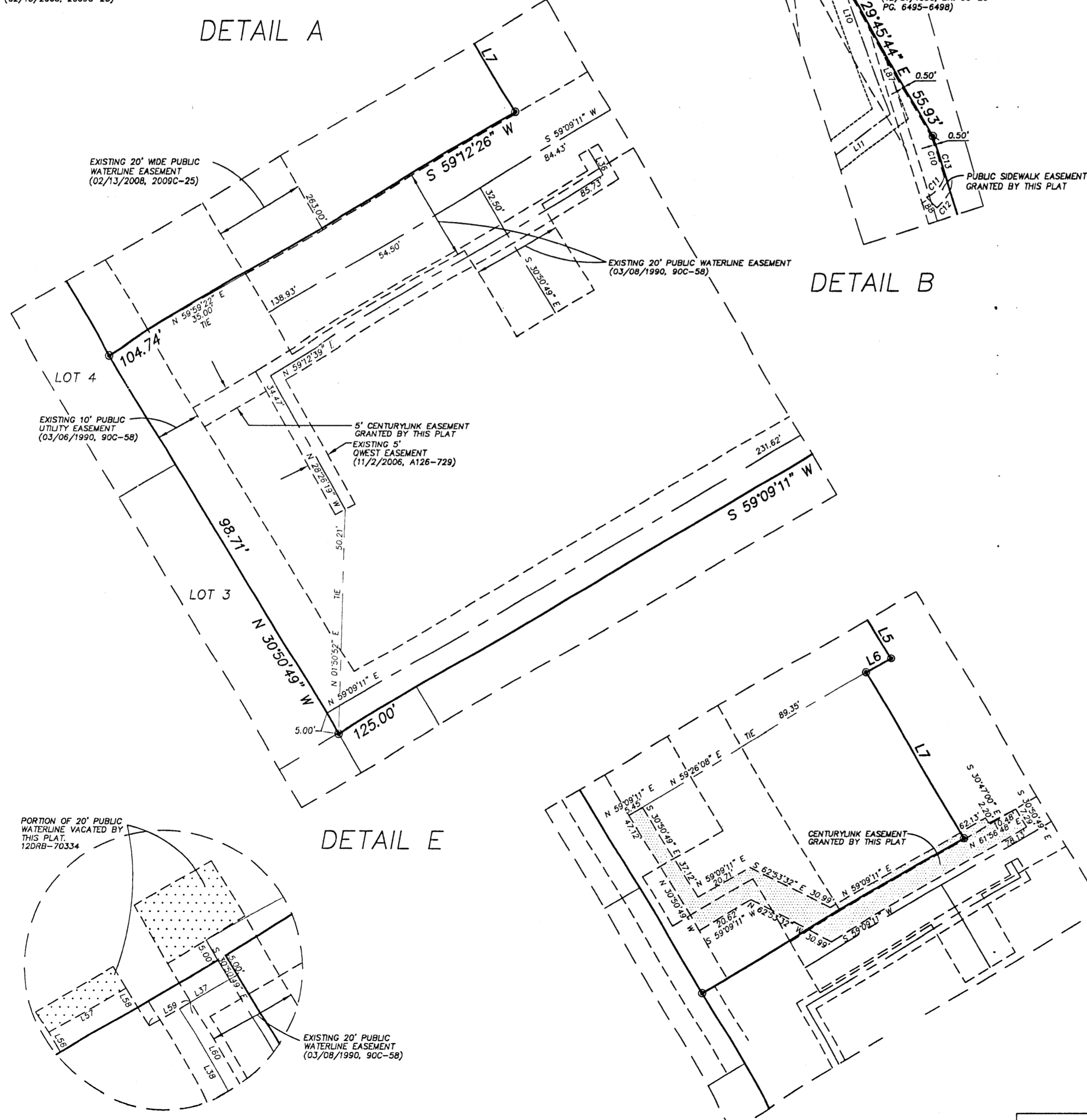
DETAIL A



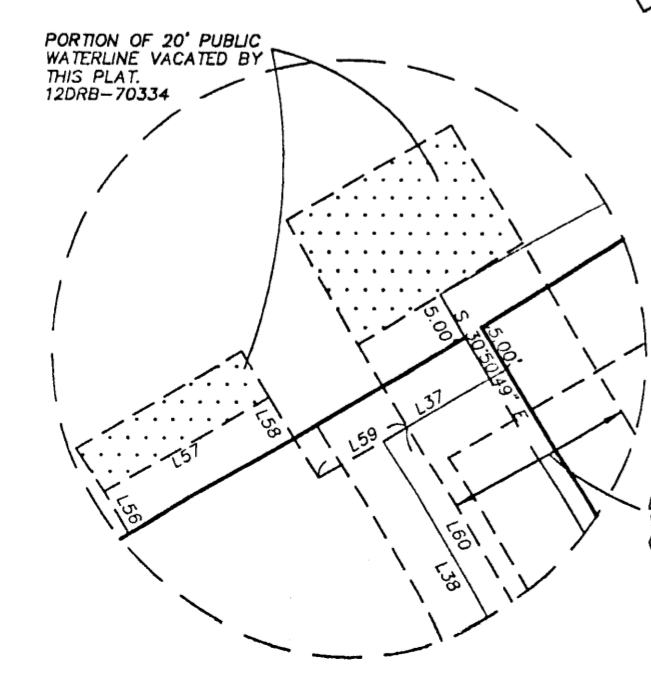
DETAIL B



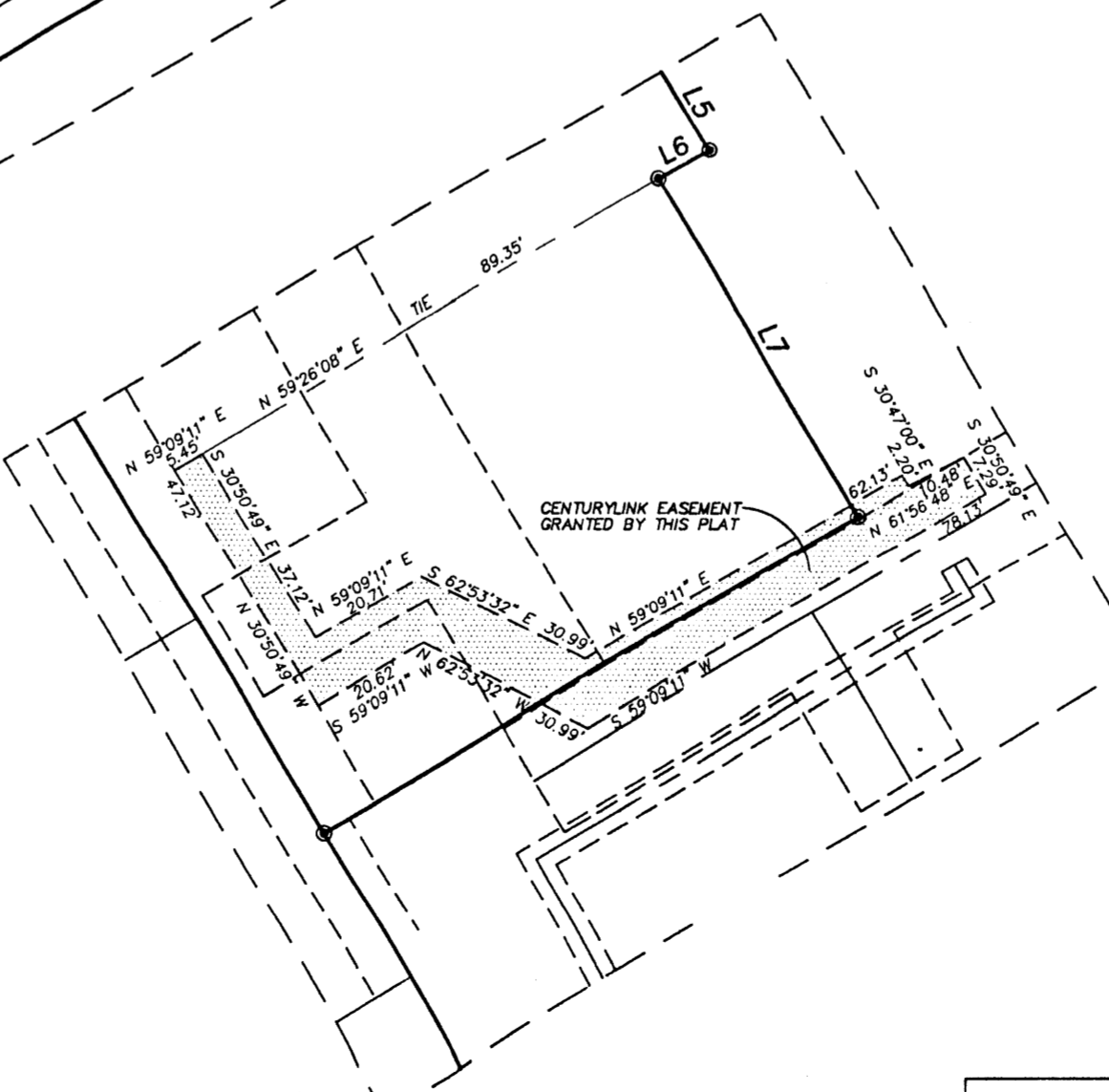
DETAIL C



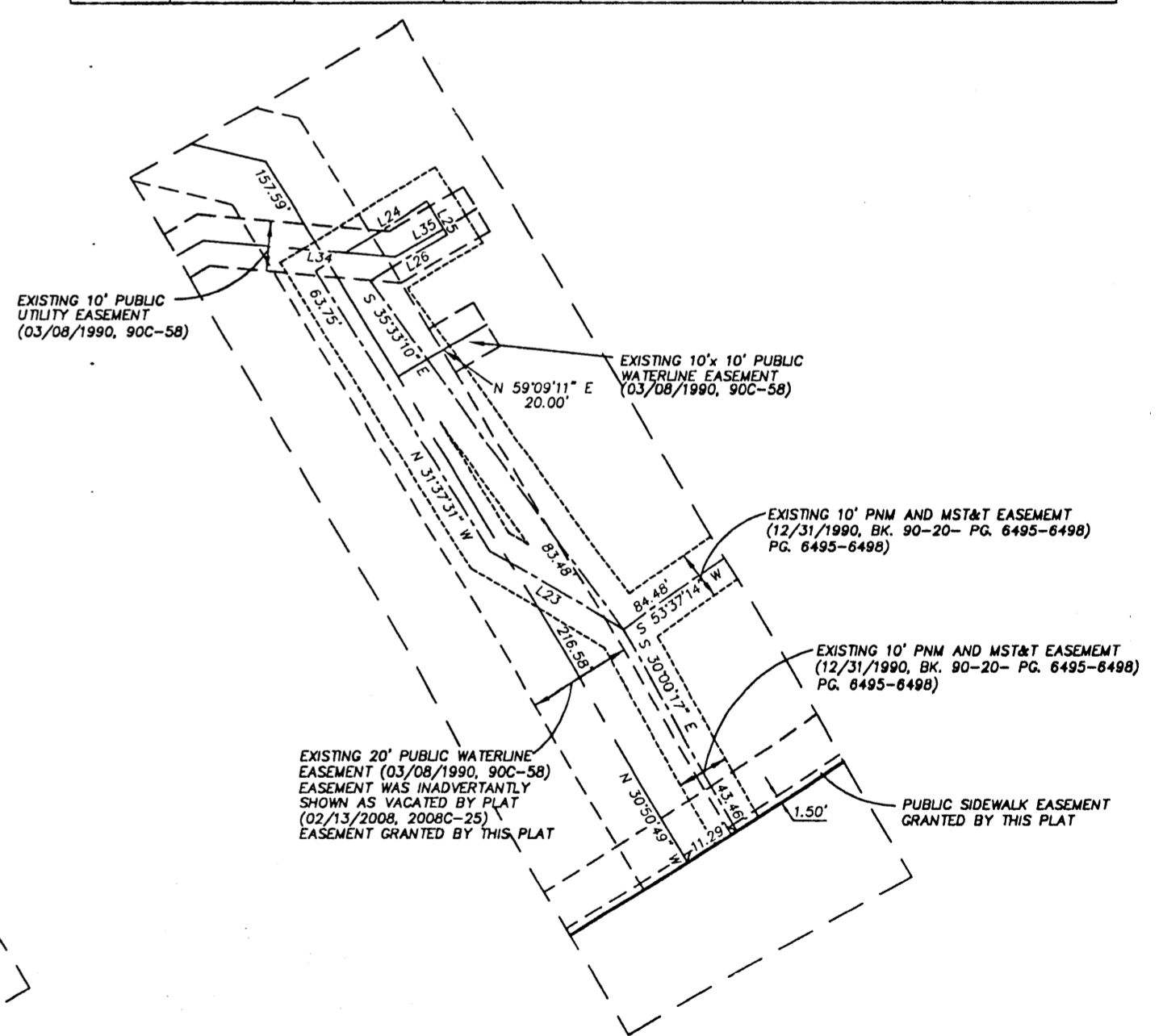
DETAIL E



DETAIL F



DETAIL G



DETAIL D

Curve Table

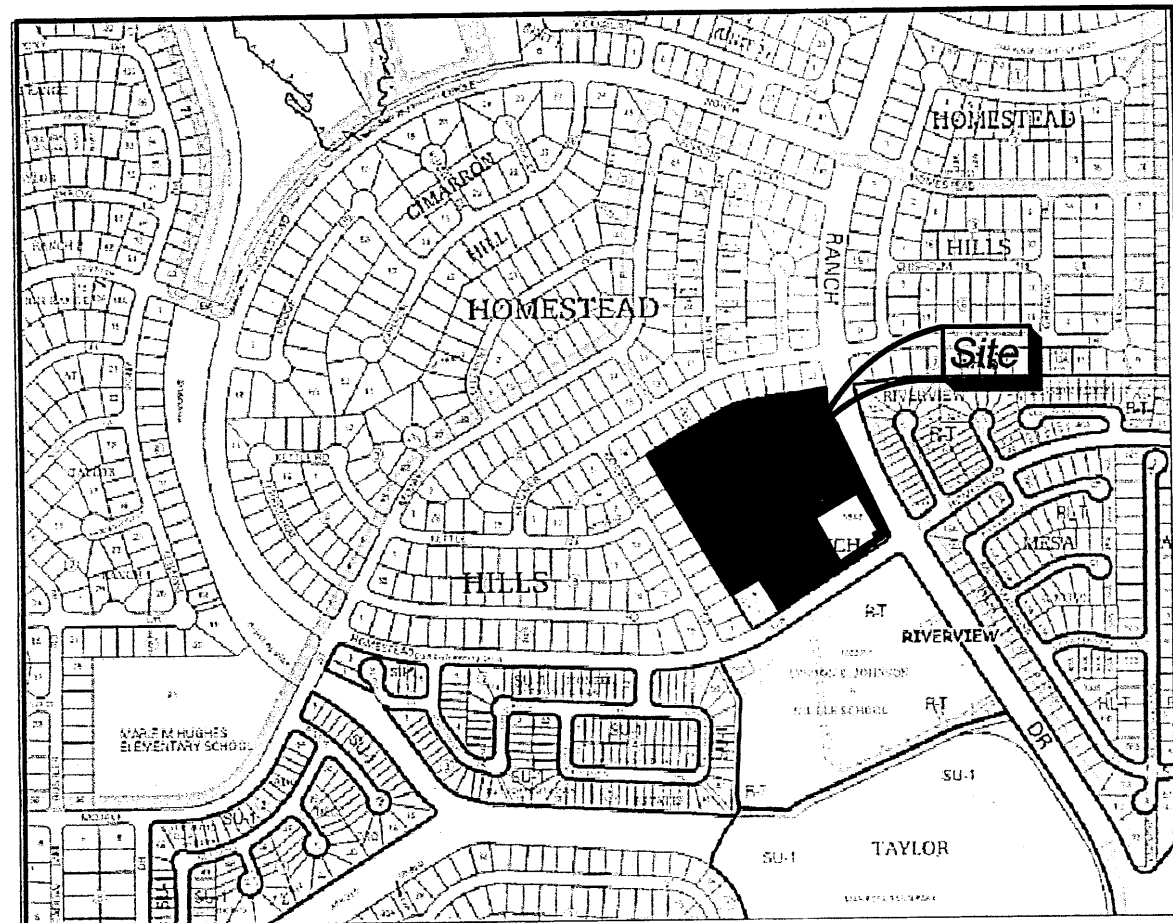
CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1632.08'	60.06'	30.03'	2°06'30"	S 14°18'55" E	60.05'
C2	25.00'	39.27'	25.00'	90°00'01"	S 12°04'11" W	35.36'
C3	2.44'	3.55'	2.17'	83°09'38"	S 08°19'51" W	3.24'
C4	1632.08'	17.50'	8.75'	0°36'52"	N 15°03'44" W	17.50'
C5	1627.08'	25.00'	12.50'	0°52'49"	N 14°18'53" W	25.00'
C6	1632.08'	25.00'	12.50'	0°52'40"	N 14°18'58" W	25.00'
C7	1619.08'	119.42'	59.74'	4°13'33"	S 19°23'52" E	119.39'
C8	1629.53'	187.59'	93.90'	6°35'45"	S 29°52'32" E	187.49'
C9	1631.08'	59.28'	29.64'	2°04'57"	N 14°21'33" W	59.28'
C10	1619.58'	14.07'	7.03'	0°29'52"	S 17°32'08" E	14.07'
C11	9.63'	8.82'	4.75'	52°30'29"	N 42°57'23" E	8.52'
C12	27.03'	6.93'	3.49'	14°41'40"	N 39°18'47" E	6.91'
C13	1619.08'	18.95'	9.48'	0°40'14"	S 17°37'12" E	18.95'
C14	25.68'	0.62'	0.31'	1°22'30"	N 74°06'55" W	0.62'
C15	1619.58'	140.89'	70.49'	4°59'04"	S 22°21'39" E	140.85'
C16	11.60'	13.18'	7.40'	65°03'42"	N 25°31'21" E	12.48'
C17	30.90'	11.15'	5.64'	20°40'49"	N 40°06'51" E	11.09'
C18	1619.08'	149.33'	74.72'	5°17'04"	S 22°31'25" E	149.28'
C19	1619.58'	191.02'	95.62'	6°45'28"	S 29°58'08" E	190.91'
C20	25.00'	4.79'	2.40'	10°58'21"	N 27°26'39" W	4.78'
C21	25.00'	8.70'	4.40'	19°56'55"	N 47°05'44" E	8.66'
C22	17.07'	9.42'	4.83'	31°36'49"	N 22°42'58" E	9.30'
C22	27.95'	4.70'	2.36'	9°38'14"	N 00°49'57" E	4.70'



OFFICE LOCATION:
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INDEXING INFORMATION FOR COUNTY CLERK
 OWNER KLD ENTERPRISES, LLC
 SECTION 23, TOWNSHIP 10 N., RANGE 2 E.,
 SUBDIVISION TAYLOR RANCH



Location Map
Zone Atlas Map No. D-11-Z

Subdivision Data:

ZONING: C-2 (SC)
GROSS SUBDIVISION ACREAGE: 10.1154 ACRES±
ZONE ATLAS INDEX NO: D-11-Z
NO. OF TRACTS CREATED: 3
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: MAY 2007, FIELD VERIFIED OCTOBER 58, 2012

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING 4 TRACTS INTO 3 NEW TRACTS AND TO VACATE A PORTION OF EASEMENTS AND TO GRANT EASEMENTS.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN SECTION 23, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
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6. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDED ELECTRICAL SERVICES.
- B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDED NATURAL GAS SERVICES.
- C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANITOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

RECORDING STAMP

Legal Description

TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C AND Y-2A-1-D OF THE PLAT OF TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C AND Y-2A-1-D, TAYLOR RANCH SECTION 23, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT, THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 13, 2008, IN PLAT BOOK 2008C, PAGE 25, CONTAINING 10.1154 ACRES MORE OR LESS, NOW COMPRISING TRACTS Y-2A-1-A-1, Y-2A-1-B-1 AND Y-2A-1-C-1 TAYLOR RANCH.

Plat of
Tract Y-2A-1-A-1, Y-2A-1-B-1,
and Y-2A-1-C-1
Taylor Ranch
Albuquerque, Bernalillo County, New Mexico
November 2012

Project No. 1002776

Application No. 12DRB-

Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE

City Approvals

[Signature] 11-6-12
CITY SURVEYOR DATE

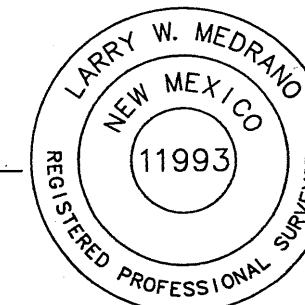
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature]
LARRY W. MEDRANO
N.P.S. No. 11993
DATE



PRECISION SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90635
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

Solar Note:

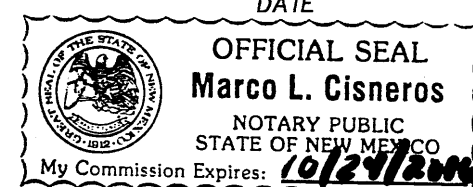
NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

[Signature] 11/06/2012
DAN RICH
MEMBER
KLD ENTERPRISES, LLC



Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF November, 2012 BY DAN RICH, MEMBER, KLD ENTERPRISES, LLC

[Signature] MY COMMISSION EXPIRES: October, 24, 2016
NOTARY PUBLIC

INDEXING INFORMATION FOR COUNTY CLERK
OWNER KLD ENTERPRISES, LLC
SECTION 23, TOWNSHIP 10 N, RANGE 2 E,
SUBDIVISION TAYLOR RANCH

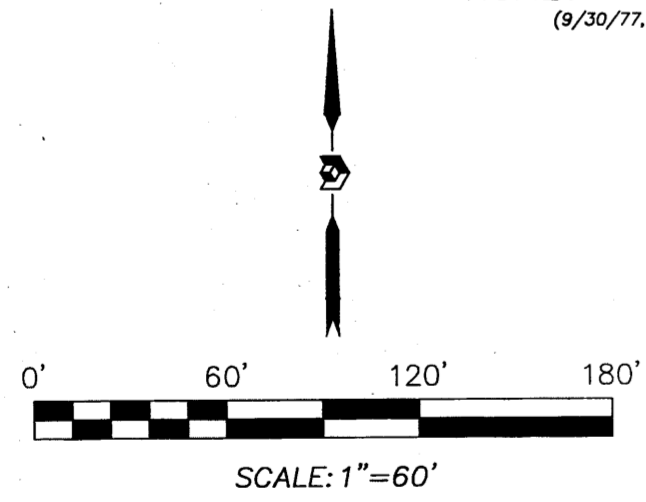
Plat of
 Tract Y-2A-1-A-1, Y-2A-1-B-1,
 and Y-2A-1-C-1
Taylor Ranch
 Albuquerque, Bernalillo County, New Mexico
 November 2012

RECORDING STAMP

A.G.R.S. MONUMENT "4-D11"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,516,888.468
 E=1,504,983.083
 EL=NOT PUBLISHED
 GROUND TO GRID FACTOR=0.999673154
 DELTA ALPHA ANGLE=-01°5'39.68"

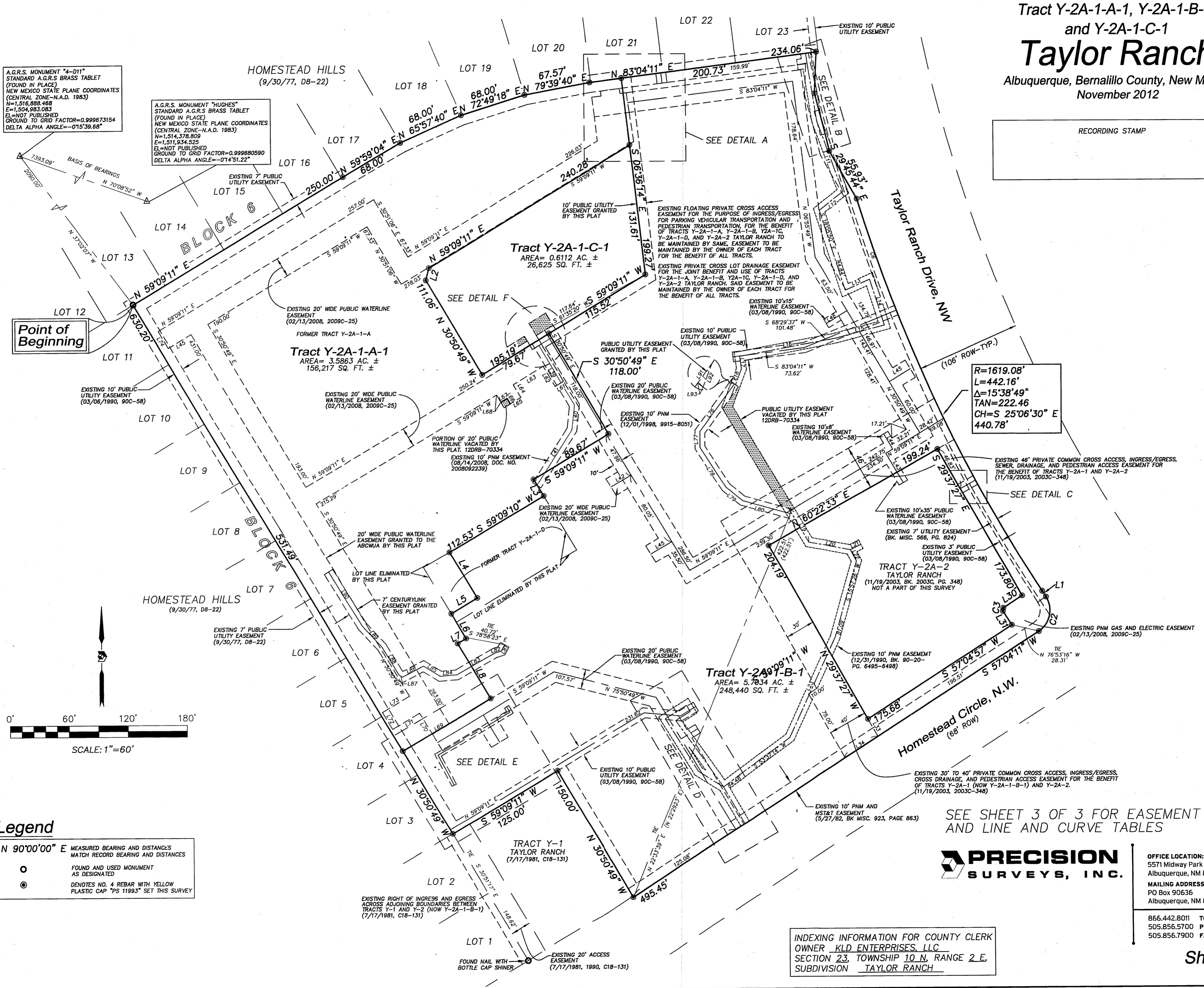
A.G.R.S. MONUMENT "HUGHES"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,514,378.809
 E=1,511,934.525
 EL=NOT PUBLISHED
 GROUND TO GRID FACTOR=0.999680590
 DELTA ALPHA ANGLE=-01°4'51.22"

Point of Beginning



Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
MATCH RECORD BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY



$R=1619.08'$
 $L=442.16'$
 $\Delta=15^{\circ}38'49''$
 $TAN=222.46$
 $CH=S 25^{\circ}06'30'' E$
 $440.78'$

SEE SHEET 3 OF 3 FOR EASEMENT DETAILS AND LINE AND CURVE TABLES

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Plat of
 Tract Y-2A-1-A-1, Y-2A-1-B-1,
 and Y-2A-1-C-1
Taylor Ranch
 Albuquerque, Bernalillo County, New Mexico
 November 2012

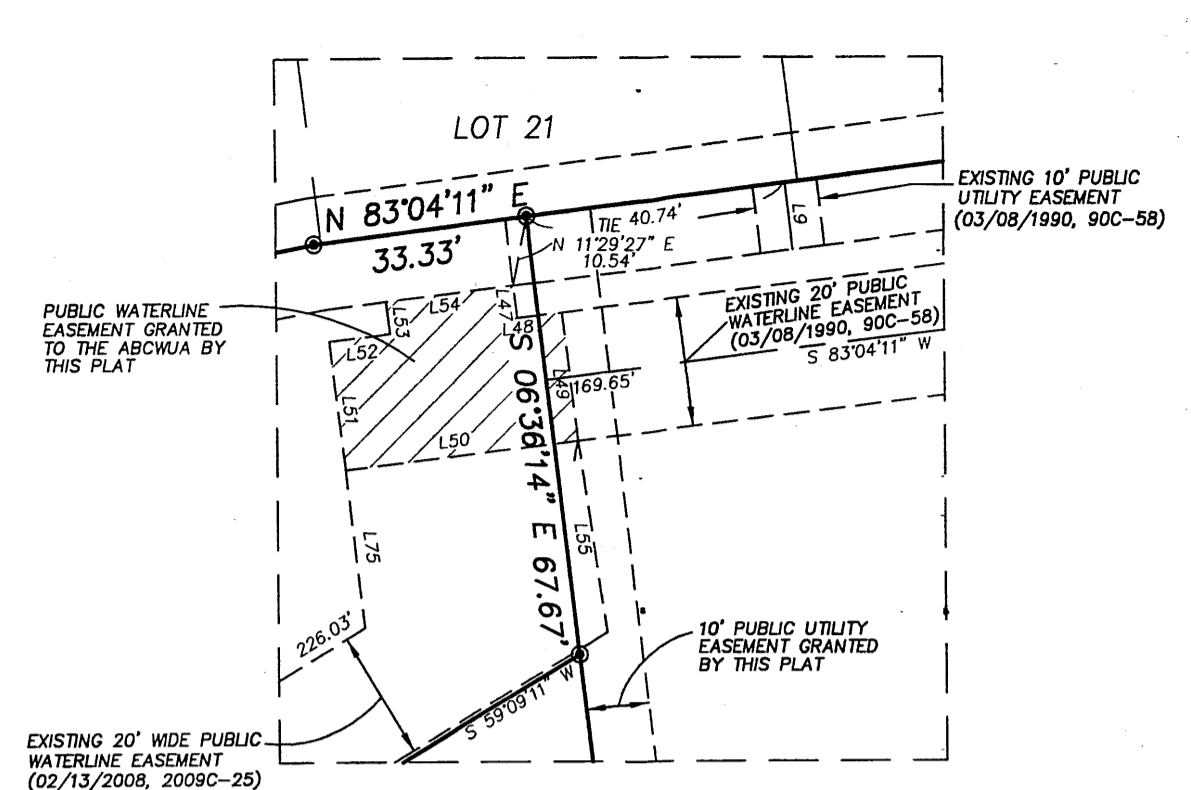
RECORDING STAMP

Line Table

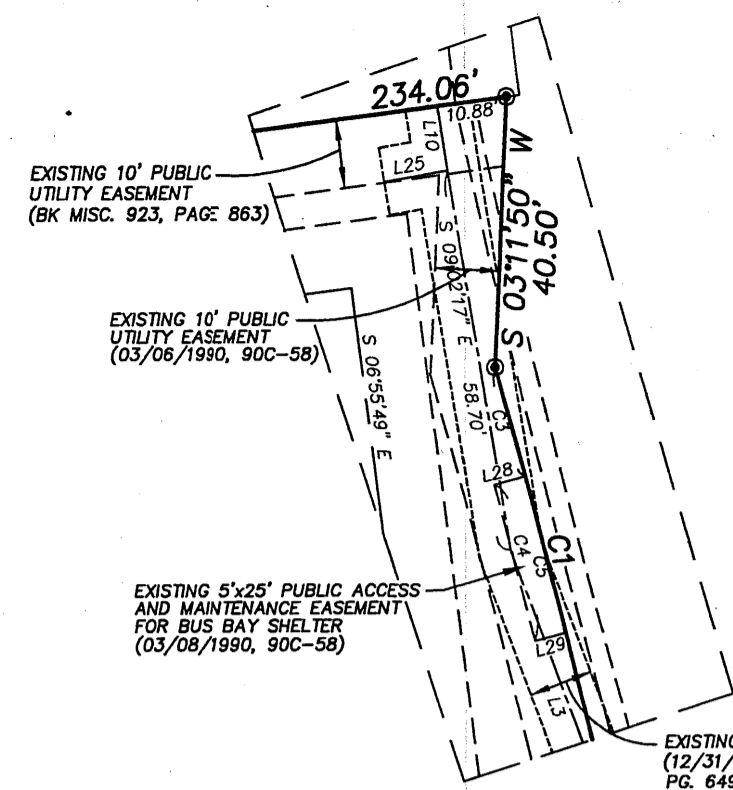
LINE	BEARING	DISTANCE
L1	S 32°55'49" E	7.00'
L2	N 14°09'11" E	12.65'
L3	N 30°50'49" W	20.00'
L4	S 30°50'48" E	55.11'
L5	S 59°09'11" W	31.00'
L6	N 30°50'48" W	29.25'
L7	N 59°14'19" E	10.00'
L8	N 30°47'29" W	65.25'
L9	N 06°55'49" W	10.00'
L10	S 09°02'17" E	9.50'
L11	S 20°18'57" E	75.80'
L12	S 52°35'52" W	30.96'
L13	N 65°59'48" E	27.12'
L14	S 17°42'51" E	48.83'
L15	S 75°26'02" W	51.52'
L16	S 79°46'21" W	100.01'
L17	S 08°05'15" E	12.69'
L18	S 21°13'14" W	30.79'
L19	S 30°41'03" E	40.57'
L20	S 79°25'52" E	43.52'
L21	N 62°41'19" E	12.00'
L22	S 27°18'43" E	13.33'
L23	S 15°57'26" W	81.09'
L23	S 24°48'07" W	111.64'
L24	S 58°39'14" E	30.01'
L25	S 57°53'52" W	25.42'
L26	N 31°26'43" W	7.39'
L27	N 58°19'31" E	17.47'
L28	S 75°14'42" W	5.00'
L29	S 75°14'42" W	5.00'
L30	S 57°17'57" W	22.94'
L31	S 33°14'58" E	16.55'
L32	S 60°22'33" W	17.84'
L33	N 29°37'27" W	20.45'
L34	S 57°04'11" W	40.07'
L35	S 84°50'32" E	37.08'
L36	N 59°09'11" E	18.38'
L36	N 59°09'11" E	36.76'
L37	S 30°47'21" E	6.36'
L38	N 59°09'11" E	15.00'
L39	N 30°50'49" W	70.00'
L40	N 06°01'32" E	25.07'
L41	N 32°35'16" E	67.08'
L42	S 59°09'11" W	13.94'
L43	S 30°50'49" E	20.00'
L44	N 59°09'11" E	13.94'
L45	S 59°09'11" W	25.00'
L42	S 59°09'11" W	23.94'
L43	S 30°50'49" E	35.00'
L44	N 30°50'49" W	18.00'
L45	N 59°09'11" E	25.00'
L46	S 59°09'11" W	25.00'
L47	N 06°55'49" W	5.00'
L48	N 83°04'11" E	6.45'
L49	S 08°20'49" E	20.01'
L50	N 83°04'11" E	36.48'
L51	N 06°55'49" W	20.00'
L52	N 83°04'11" E	9.53'
L53	N 06°55'49" W	5.00'
L54	N 83°04'11" E	20.00'
L55	S 08°20'49" E	29.85'
L56	N 30°50'49" W	10.00'
L57	S 59°09'11" W	20.00'
L58	S 30°50'49" E	10.00'
L59	N 59°09'11" E	10.74'
L60	S 30°50'49" E	43.66'
L61	S 59°09'11" W	10.00'
L62	N 30°50'49" W	23.66'
L63	S 59°09'11" W	35.70'
L64	S 30°51'06" E	15.00'
L65	S 59°08'54" W	12.63'
L66	N 30°50'49" W	6.37'
L67	S 59°09'11" W	7.37'
L68	N 30°51'06" W	8.63'
L69	S 59°09'11" W	20.00'
L70	N 59°09'11" E	32.11'
L71	S 30°50'49" E	25.00'
L70	N 30°50'49" W	25.00'
L71	S 59°09'11" W	32.11'
L72	S 30°50'49" E	20.00'
L73	S 59°09'11" W	32.11'
L74	S 30°50'49" E	20.00'
L75	N 06°36'14" W	24.52'
L76	N 36°41'35" E	59.63'
L77	N 00°11'07" E	16.09'
L78	N 32°42'09" W	49.16'
L79	N 50°33'26" W	21.55'
L80	N 73°59'30" W	50.57'
L81	S 28°13'51" W	7.00'
L82	S 72°55'27" W	6.76'
L83	S 60°29'24" W	45.04'
L84	S 85°08'32" W	17.09'
L85	N 58°48'22" W	19.86'
L86	S 62°47'19" W	24.26'
L87	N 53°09'35" W	4.24'
L88	N 31°16'56" W	33.04'
L89	N 43°11'58" W	28.90'
L90	S 31°56'40" E	65.38'
L91	N 36°41'35" E	12.23'
L92	S 21°13'14" W	12.69'
L93	N 53°18'25" W	3.39'

Curve Table

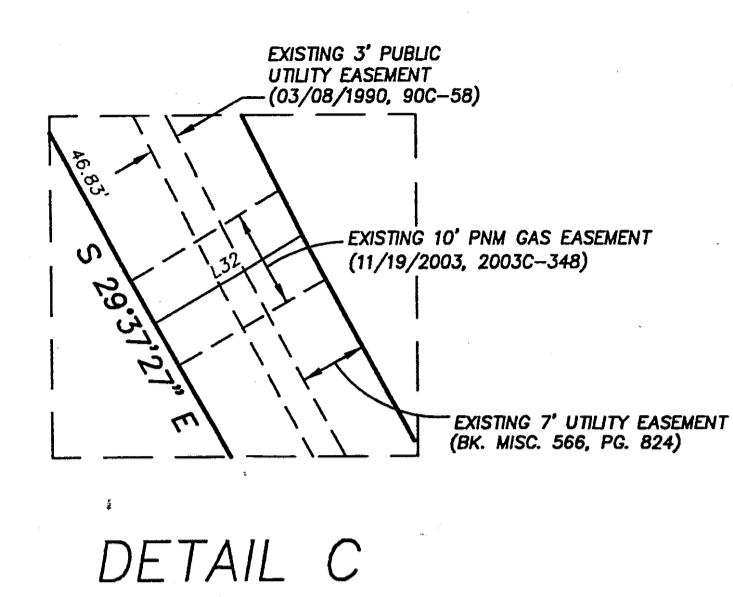
CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1632.08'	60.06'	30.03'	2°06'30"	S 14°18'55" E	60.05'
C2	25.00'	39.27'	25.00'	90°00'01"	S 12°04'11" W	35.36'
C3	2.44'	3.55'	2.17'	83°09'38"	S 08°19'51" W	3.24'
C4	1632.08'	17.50'	8.75'	0°36'52"	N 15°03'44" W	17.50'
C5	1627.08'	25.00'	12.50'	0°52'49"	N 14°18'53" W	25.00'
C6	1632.08'	25.00'	12.50'	0°52'40"	N 14°18'58" W	25.00'
C7	1619.08'	119.42'	59.71'	4°13'33"	S 19°23'52" E	119.39'
C8	1629.53'	187.59'	93.90'	6°35'45"	S 29°52'32" E	187.49'



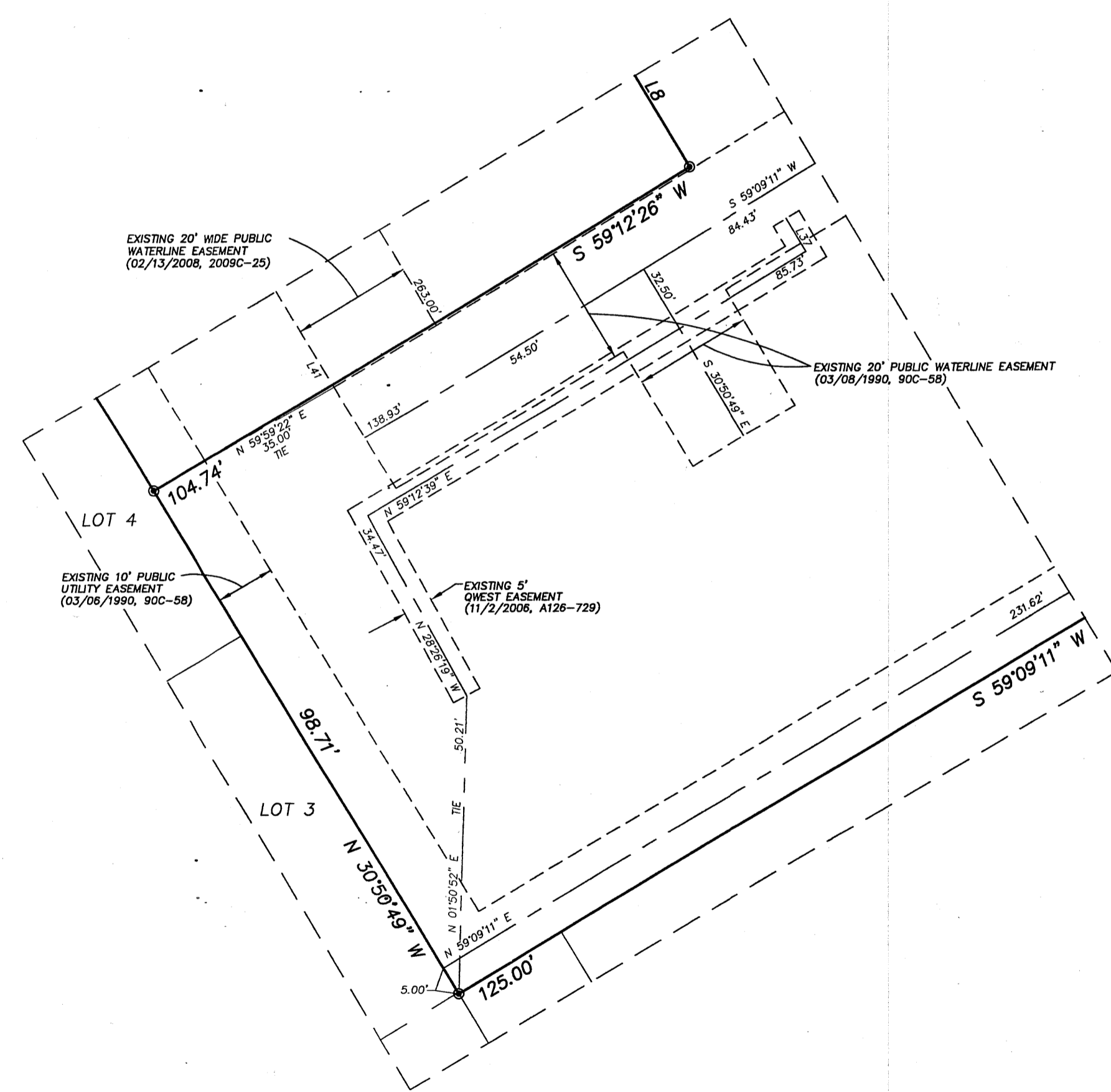
DETAIL A



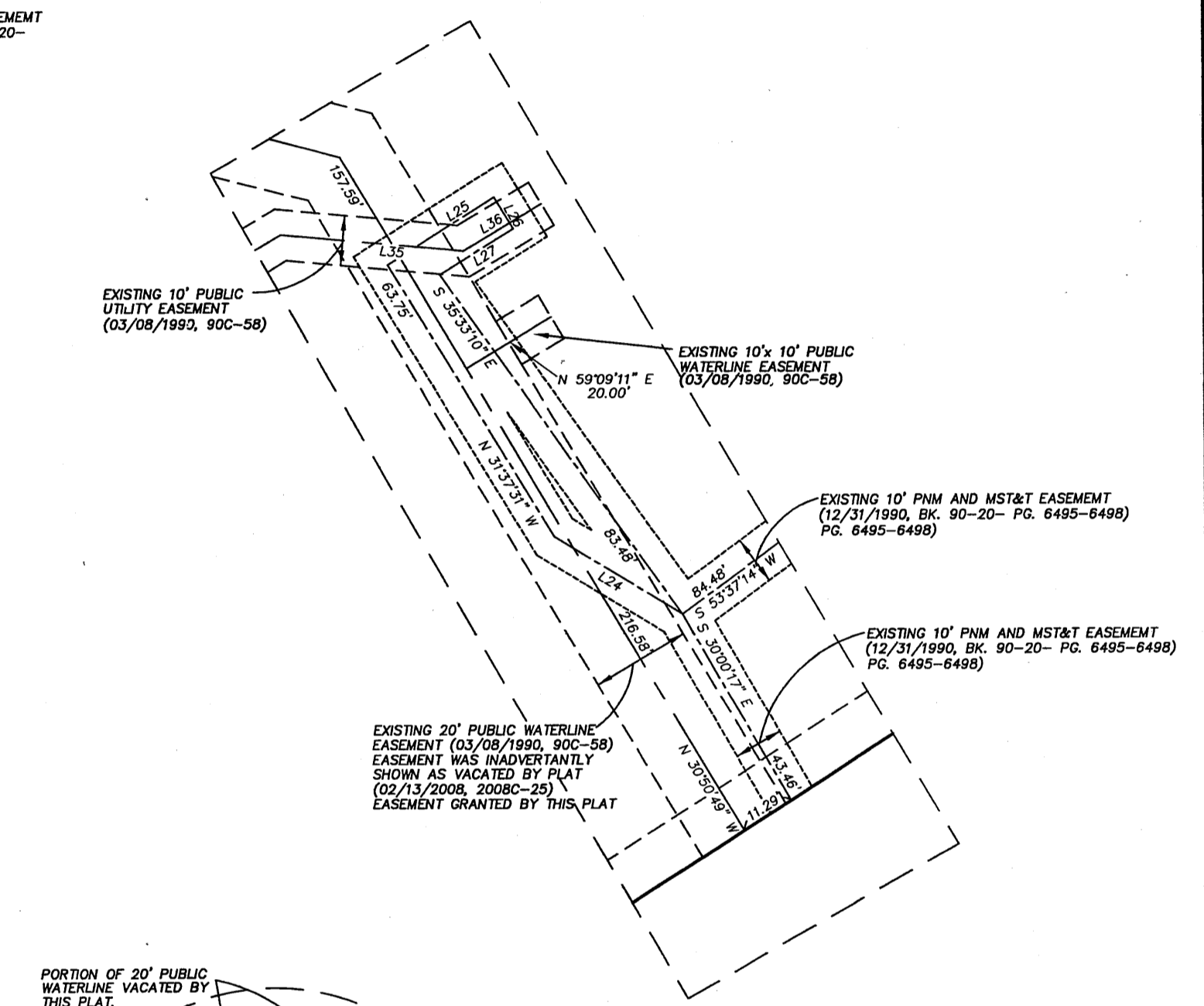
DETAIL B



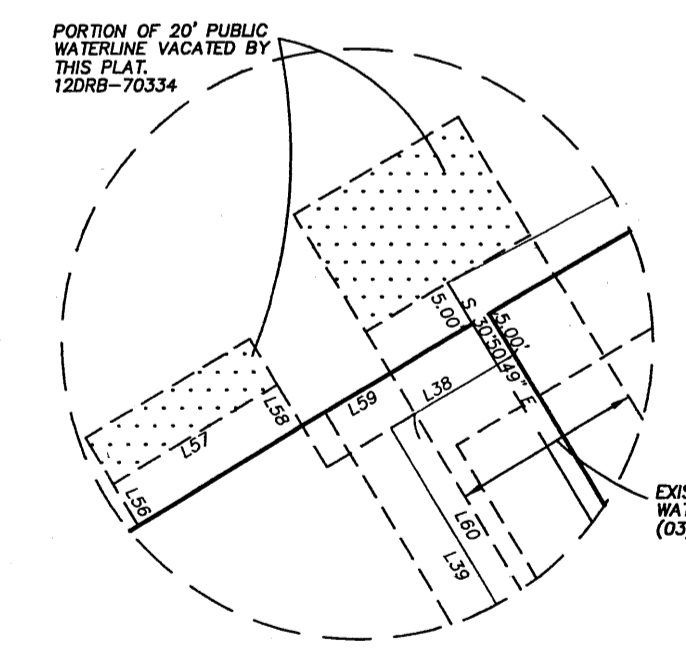
DETAIL C



DETAIL E



DETAIL D



DETAIL F

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