

Location Map  
Zone Atlas Map No. D-11-Z

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 10.1154 ACRES±  
 ZONE ATLAS INDEX NO: D-11-Z  
 NO. OF TRACTS CREATED: 4  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: MAY 2007

**Notes:**

- MISC. DATA: ZONING C-2 (SC)
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES - U.S. SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 23, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE TRACT INTO FOUR NEW TRACTS, TO VACATE A PORTION OF AN EASEMENT AND TO GRANT AN EASEMENT.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2007252973
- NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

DOCH 2008016676

02/13/2008 10:30 AM Page: 1 of 3  
 PLAT R: 17.00 B: 2008C P: 0025 M. Toulouse, Bernalillo County

**Legal Description**

TRACT Y-2A-1, OF THE CORRECTION PLAT OF TRACT Y-2A, TAYLOR RANCH TO TRACT Y-2A-1, TAYLOR RANCH, SECTION 23, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID CORRECTION PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 19, 2003, IN PLAT BOOK 2003C, PAGE 348, CONTAINING 10.1154 ACRES MORE OR LESS, NOW COMPRISING TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, AND Y-2A-1-D TAYLOR RANCH.

Plat of  
 Tract Y-2A-1-A, Y-2A-1-B,  
 Y-2A-1-C, and Y-2A-1-D  
**Taylor Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 January 2008

Project No. 1002776

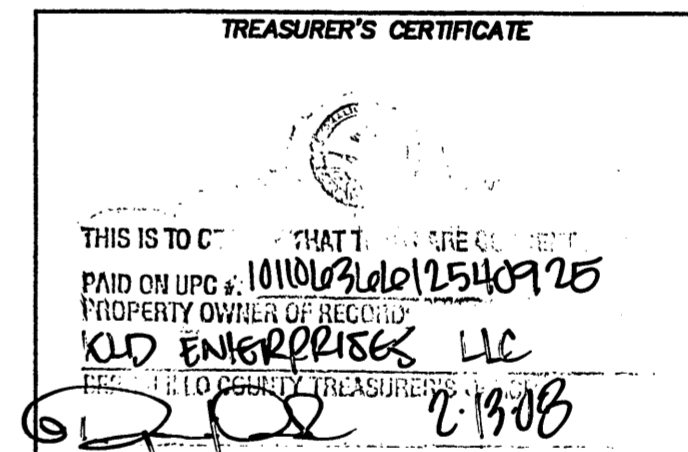
Application No. 08 DRB-70018

**Utility Approvals**

<i>[Signature]</i>	2/13/2008
PNM/ELECTRIC SERVICES	DATE
<i>[Signature]</i>	2/13/2008
PNM GAS SERVICES	DATE
<i>[Signature]</i>	2-7-08
QWEST TELECOMMUNICATIONS	DATE
<i>[Signature]</i>	2-6-08
COMCAST	DATE

**City Approvals**

<i>[Signature]</i>	1-15-08
CITY SURVEYOR	DATE
<i>[Signature]</i>	1/23/08
TRAFFIC-ENGINEERING TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	2-13-08
UTILITY DEVELOPMENT ABC WUA	DATE
<i>[Signature]</i>	1/23/08
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	1/23/08
AMAFCA	DATE
<i>[Signature]</i>	2/13/08
CITY ENGINEER	DATE
<i>[Signature]</i>	1/23/08
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*[Signature]* 1/11/2008  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993



8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

866.442.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

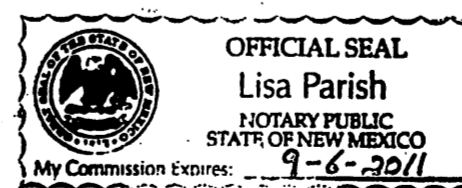
*[Signature]* 1/11/08  
 DAN RICH  
 MEMBER  
 KLD ENTERPRISES, LLC

**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11<sup>th</sup> DAY OF January 2008 BY  
 DAN RICH, MEMBER, KLD ENTERPRISES, LLC

BY *[Signature]* MY COMMISSION EXPIRES: Sept. 6, 2011  
 NOTARY PUBLIC

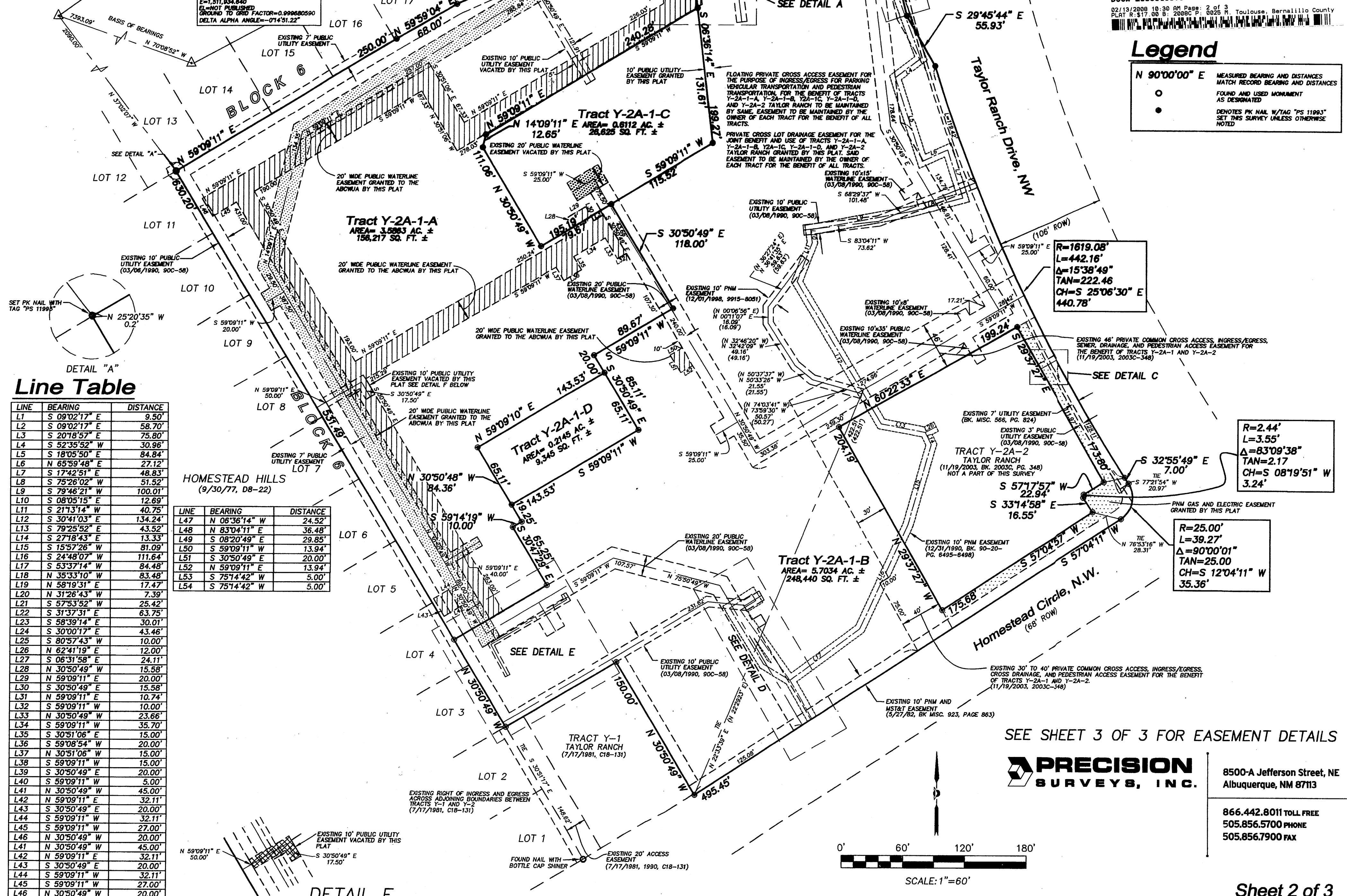


# Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	1627.08'	25.00'	0°52'49"	12.50'	25.00'	N 14°18'53" W
C2	1632.08'	25.00'	0°52'40"	12.50'	25.00'	N 14°18'58" W
C3	1632.08'	17.50'	0°36'52"	8.75'	17.50'	N 15°03'44" W

A.C.S. MONUMENT "4-D11"  
STANDARD A.C.S. BRASS TABLET  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,518,888.468  
E=1,504,883.083  
ELEVATION NOT PUBLISHED  
GROUND TO GRID FACTOR=0.999673154  
DELTA ALPHA ANGLE=-0°15'38.68"

A.C.S. MONUMENT "HUGHES"  
STANDARD A.C.S. BRASS TABLET  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
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GROUND TO GRID FACTOR=0.999680590  
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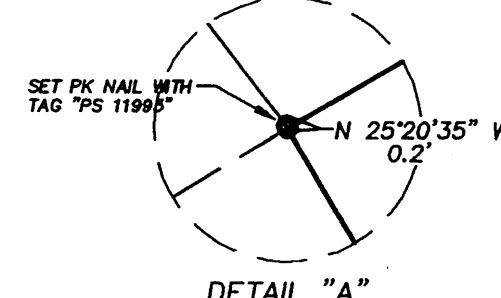


Plat of  
Tract Y-2A-1-A, Y-2A-1-B,  
Y-2A-1-C, and Y-2A-1-D  
**Taylor Ranch**  
Albuquerque, Bernalillo County, New Mexico  
February 2008

DOCR 2008016676  
02/13/2008 10:30 AM Page: 2 of 3  
PLAT R: 517.08 B: 2008C P: 0025 N. Toulouse, Bernalillo County

### Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES  
MATCH RECORD BEARING AND DISTANCES AS DESIGNATED
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES PK NAIL W/TAG "PS 11993" SET THIS SURVEY UNLESS OTHERWISE NOTED



# Line Table

LINE	BEARING	DISTANCE
L1	S 09°02'17" E	9.50'
L2	S 09°02'17" E	58.70'
L3	S 20°18'57" E	75.80'
L4	S 52°35'52" W	30.96'
L5	S 18°05'50" E	84.84'
L6	N 65°59'48" E	27.12'
L7	S 17°42'51" E	48.83'
L8	S 75°26'02" W	51.52'
L9	S 79°46'21" W	100.01'
L10	S 08°05'15" E	12.69'
L11	S 21°13'14" W	40.75'
L12	S 30°41'03" E	134.24'
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L15	S 15°57'26" W	81.09'
L16	S 24°48'07" W	111.64'
L17	S 53°37'14" W	84.48'
L18	N 35°33'10" W	83.48'
L19	N 58°19'31" E	17.47'
L20	N 31°26'43" W	7.39'
L21	S 57°53'52" W	25.42'
L22	S 31°37'31" E	63.75'
L23	S 58°39'14" E	30.01'
L24	S 30°00'17" E	43.46'
L25	S 80°57'43" W	10.00'
L26	N 62°41'19" E	12.00'
L27	S 06°31'58" E	24.11'
L28	N 30°50'49" W	15.58'
L29	N 59°09'11" E	20.00'
L30	S 30°50'49" E	15.58'
L31	N 59°09'11" E	10.74'
L32	S 59°09'11" W	10.00'
L33	N 30°50'49" W	23.66'
L34	S 59°09'11" W	35.70'
L35	S 30°51'06" E	15.00'
L36	S 59°08'54" W	20.00'
L37	N 30°51'06" W	15.00'
L38	S 59°09'11" W	15.00'
L39	S 30°50'49" E	20.00'
L40	S 59°09'11" W	5.00'
L41	N 30°50'49" W	45.00'
L42	N 59°09'11" E	32.11'
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L51	S 59°09'11" W	27.00'
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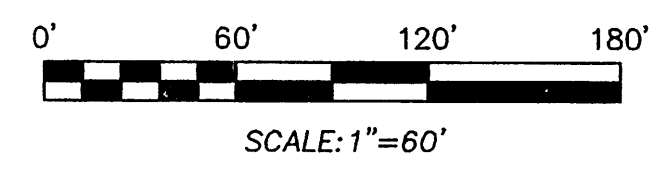
LINE	BEARING	DISTANCE
L47	N 06°36'14" W	24.52'
L48	N 83°04'11" E	36.48'
L49	S 08°20'49" E	29.85'
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L51	S 30°50'49" E	20.00'
L52	N 59°09'11" E	13.94'
L53	S 75°14'42" W	5.00'
L54	S 75°14'42" W	5.00'

SEE SHEET 3 OF 3 FOR EASEMENT DETAILS

**PRECISION SURVEYS, INC.**

8500-A Jefferson Street, NE  
Albuquerque, NM 87113

866.442.8011 TOLL FREE  
505.856.5700 PHONE  
505.856.7900 FAX



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Plat of  
 Tract Y-2A-1-A, Y-2A-1-B,  
 Y-2A-1-C, and Y-2A-1-D  
**Taylor Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 February 2008

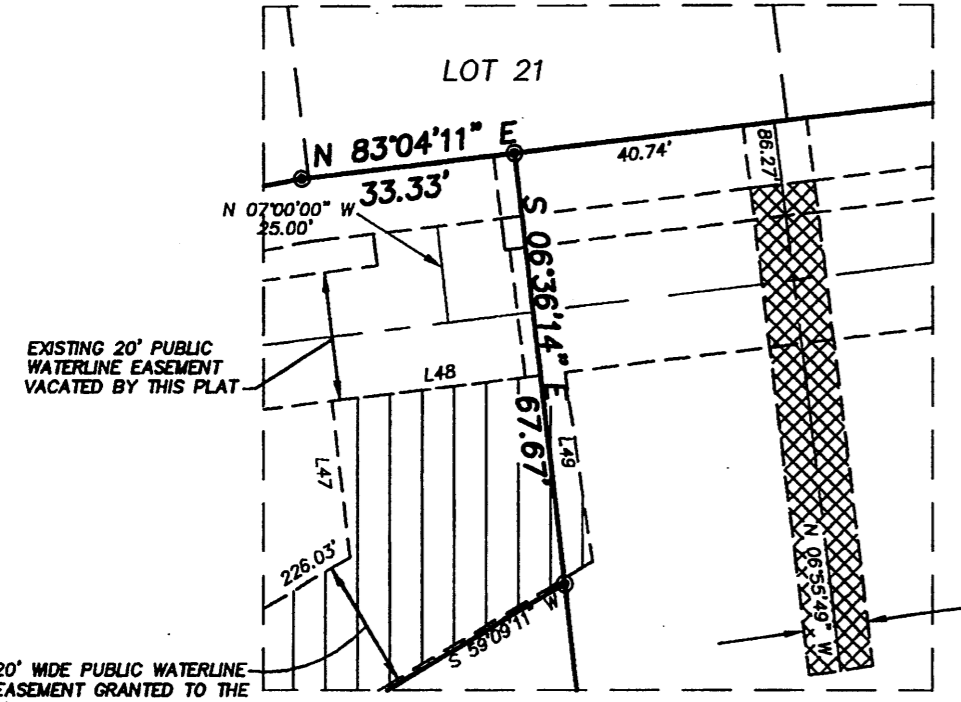
DOCH 2008016676  
 02/13/2008 10:38 AM Page: 3 of 3  
 PLAT R: \$17.00 B: 2008C P: 0025 M. Toulouse, Bernalillo County

**Legend**

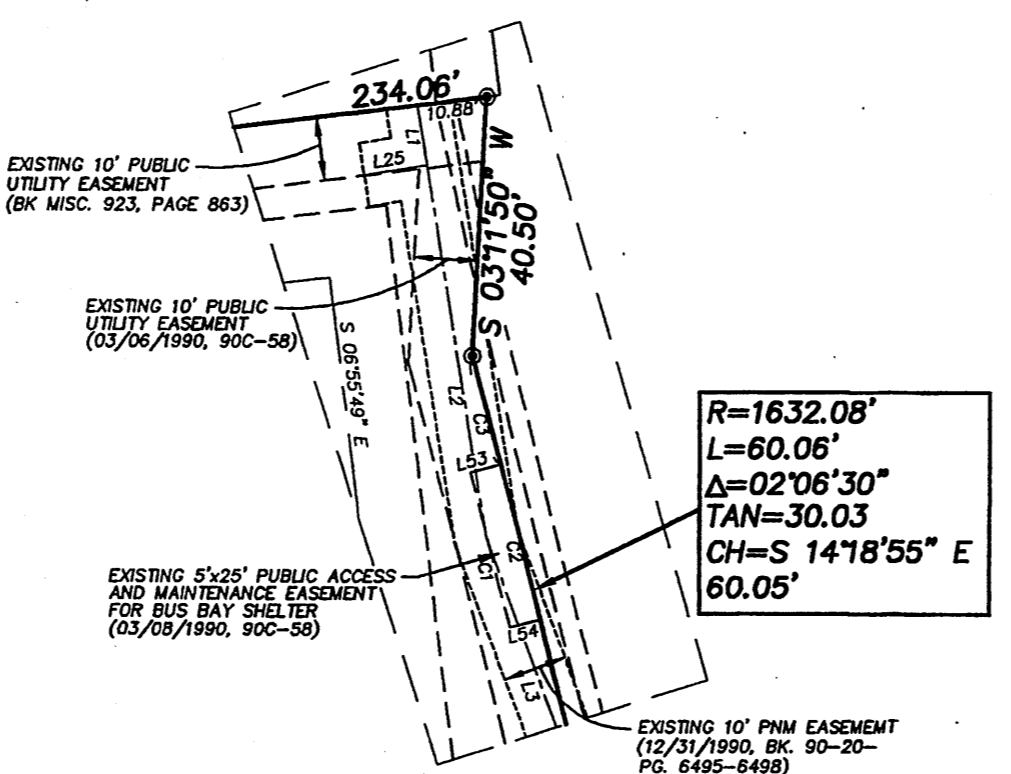
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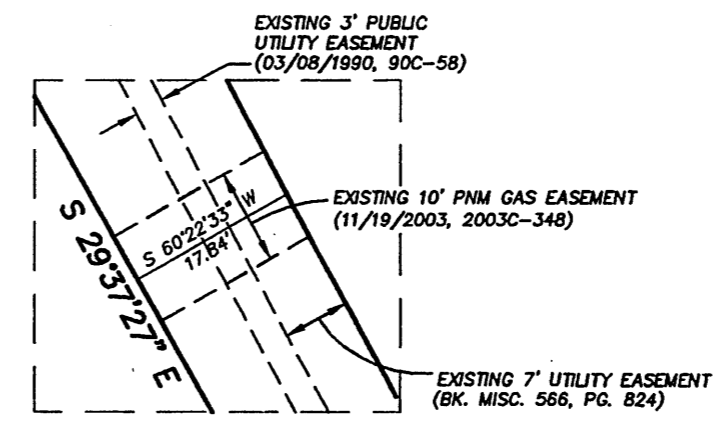
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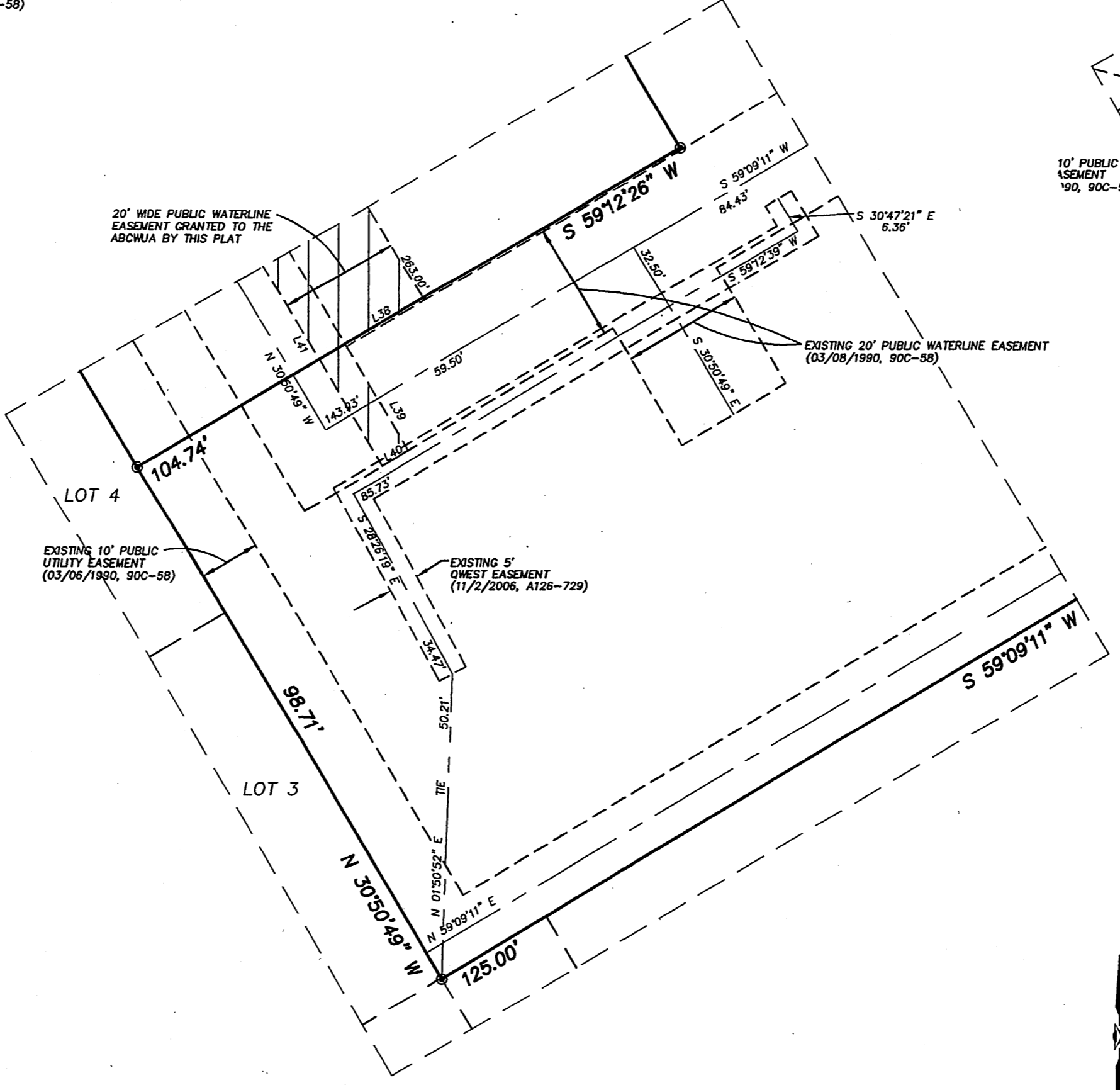
DETAIL A



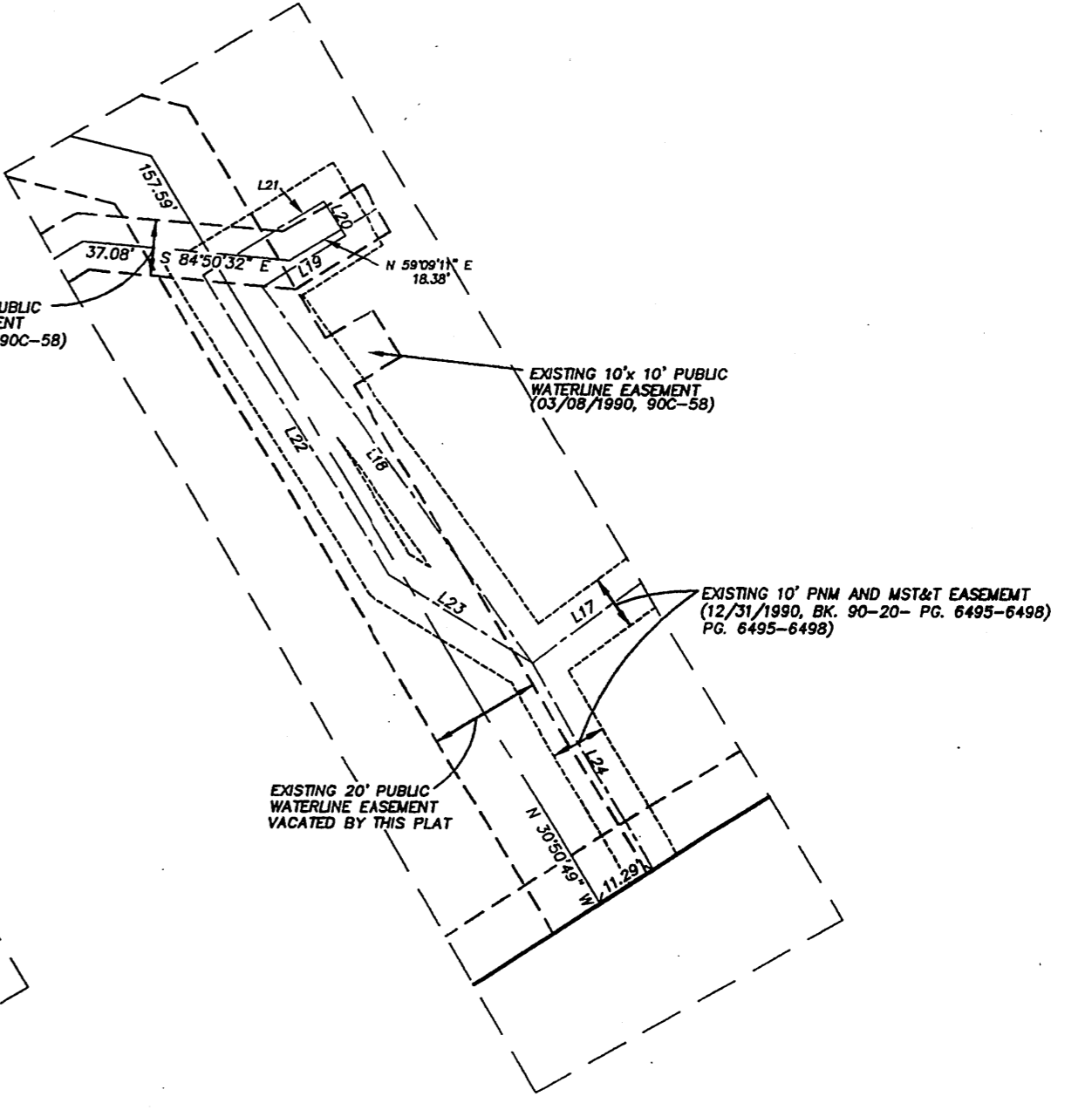
DETAIL B



DETAIL C



DETAIL E



DETAIL D

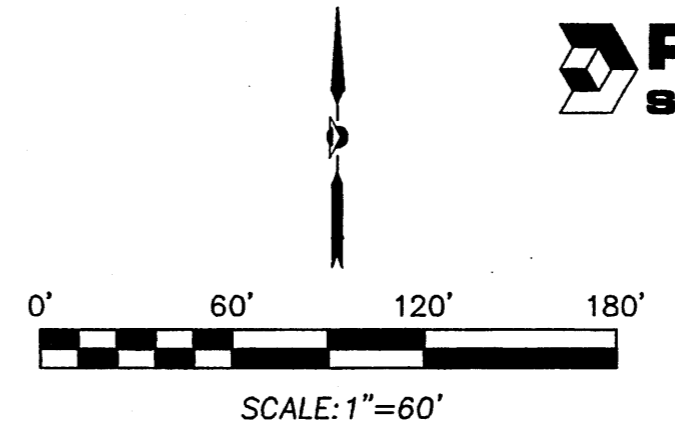
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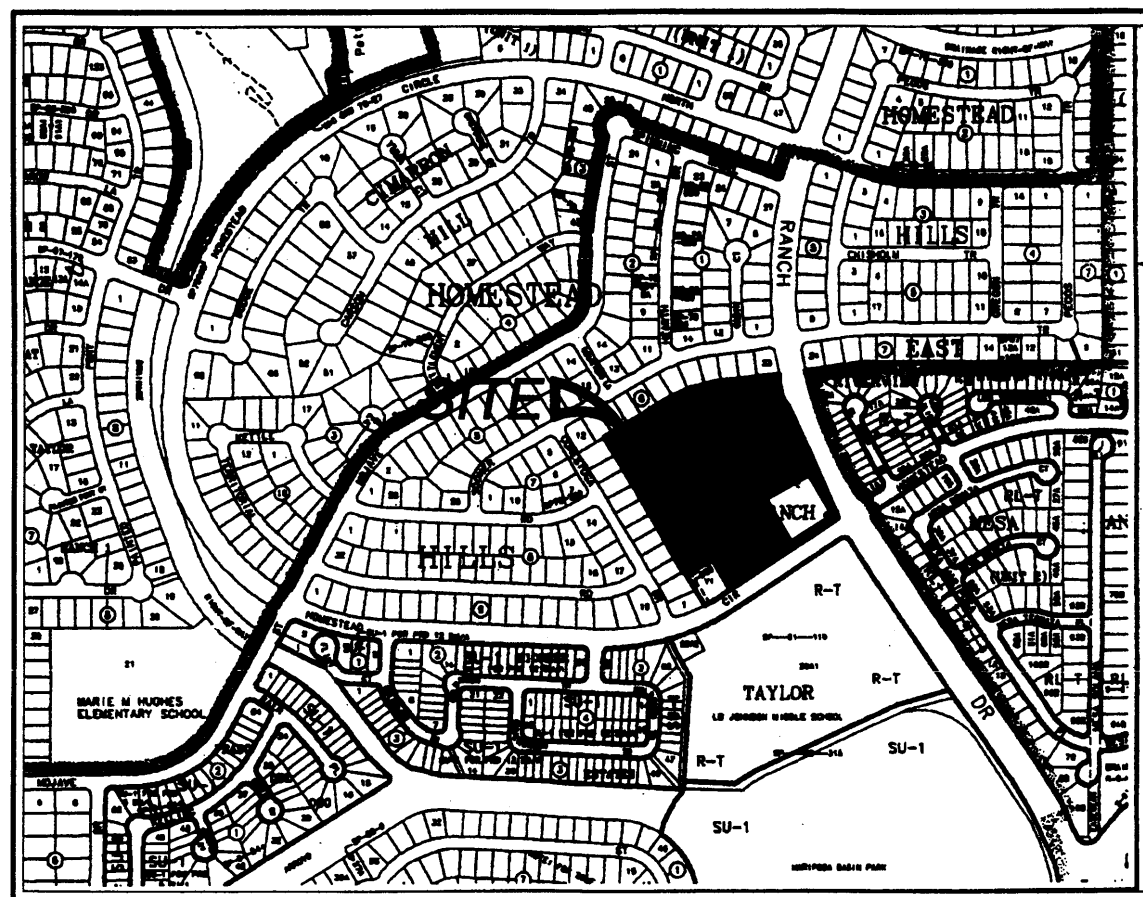


**PRECISION SURVEYS, INC.**

8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

866.442.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX

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Location Map  
Zone Atlas Map No. D-11-Z

**Zoning Data:**

CURRENT ZONING: C-2 (SC)

**Solar Note:**

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE.

**Notes:**

- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNERS SHOWN THUS  $\odot$  SHALL BE MARKED BY A #4 REBAR W/YELLOW PLASTIC CAP STAMPED PS #11993.
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS. (CENTRAL ZONE-NAD 1927)
- ALL DISTANCES SHALL BE GROUND DISTANCES.

**Owner's Signature:**

*Dan Rich*  
DAN RICH, MEMBER, KLD ENTERPRISES, LLC

10/18/07  
DATE

**Legal Description**

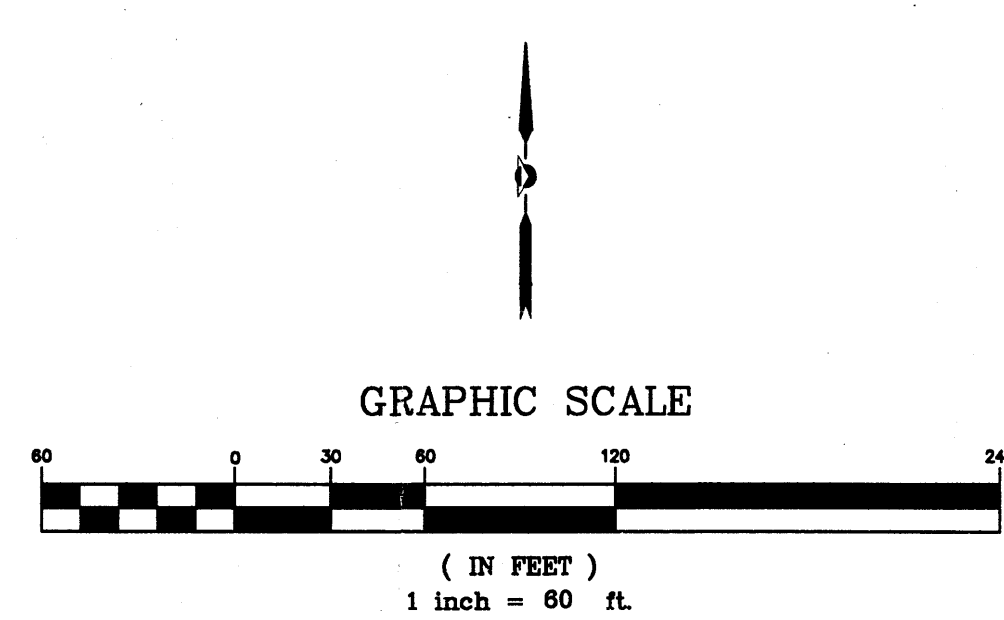
TRACT Y-2A-1, OF THE CORRECTION PLAT OF TRACT Y-2A, TAYLOR RANCH TO TRACT Y-2A-1, TAYLOR RANCH, SECTION 23, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID CORRECTION PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 19, 2003, IN PLAT BOOK 2003C, PAGE 348, CONTAINING 10.1154 ACRES MORE OR LESS, NOW COMPRISING TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, AND Y-2A-1-D TAYLOR RANCH.

**City Surveyor Signature:**

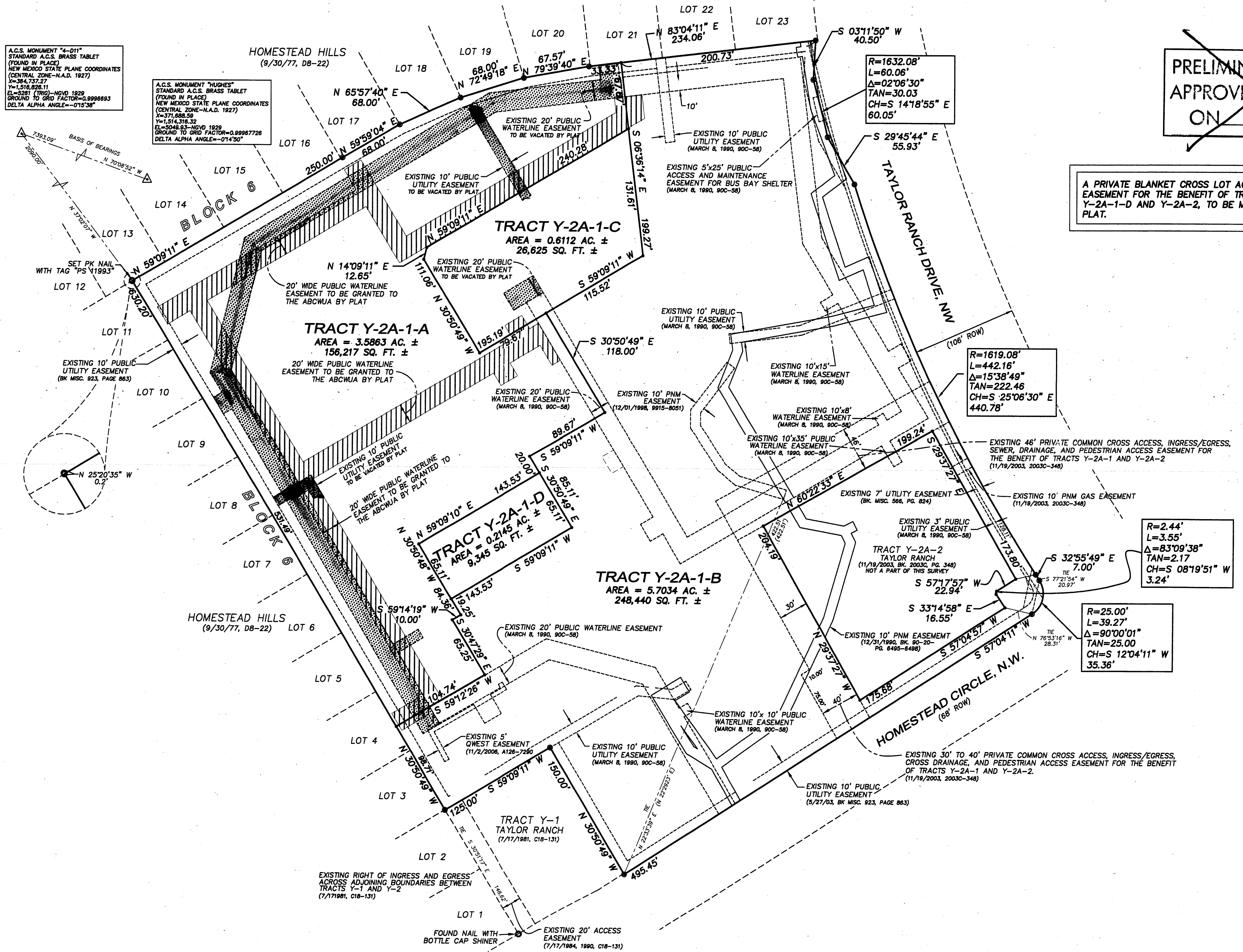
APPROVED FOR MONUMENTATION

*[Signature]*  
CITY SURVEYOR

10-18-07  
DATE



Preliminary Plat of  
Tract Y-2A-1-A, Y-2A-1-B,  
Y-2A-1-C, and Y-2A-1-D  
**Taylor Ranch**  
Albuquerque, Bernalillo County, New Mexico  
October 2007



~~PRELIMINARY PLAT APPROVED BY DRB ON~~  
PRELIMINARY PLAT APPROVED BY DRB ON

A PRIVATE BLANKET CROSS LOT ACCESS, DRAINAGE, SEWER AND IRRIGATION EASEMENT FOR THE BENEFIT OF TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, Y-2A-1-D AND Y-2A-2, TO BE MAINTAINED BY SAME, TO BE GRANTED BY PLAT.

**Legend**

(N 90°00'00" E)	FIELD MEASUREMENTS MATCH RECORD BEARINGS AND DISTANCES
N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	DENOTES PK NAIL W/TAG "PS 11993" SET THIS SURVEY UNLESS OTHERWISE NOTED
•	DENOTES PK NAIL W/TAG "PS 11993" TO BE SET BY PLAT

**PRECISION SURVEYS, INC.**

8500-A Jefferson Street, NE  
Albuquerque, NM 87113  
866.442.8011 TOLL FREE  
505.856.5700 PHONE  
505.856.7900 FAX

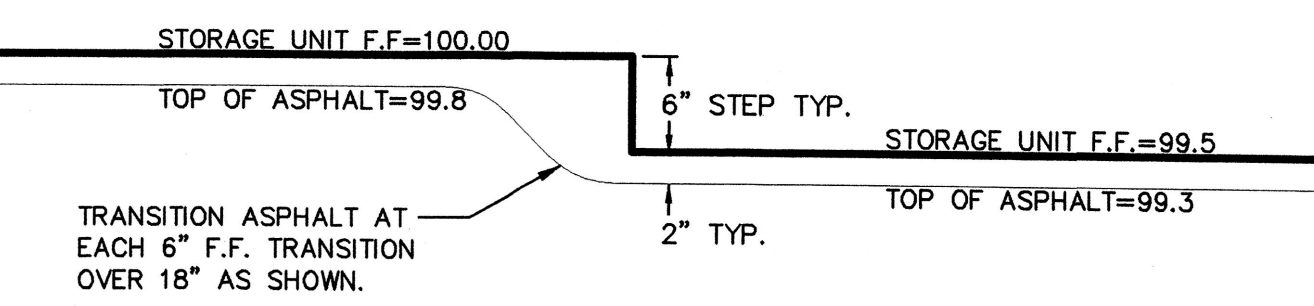
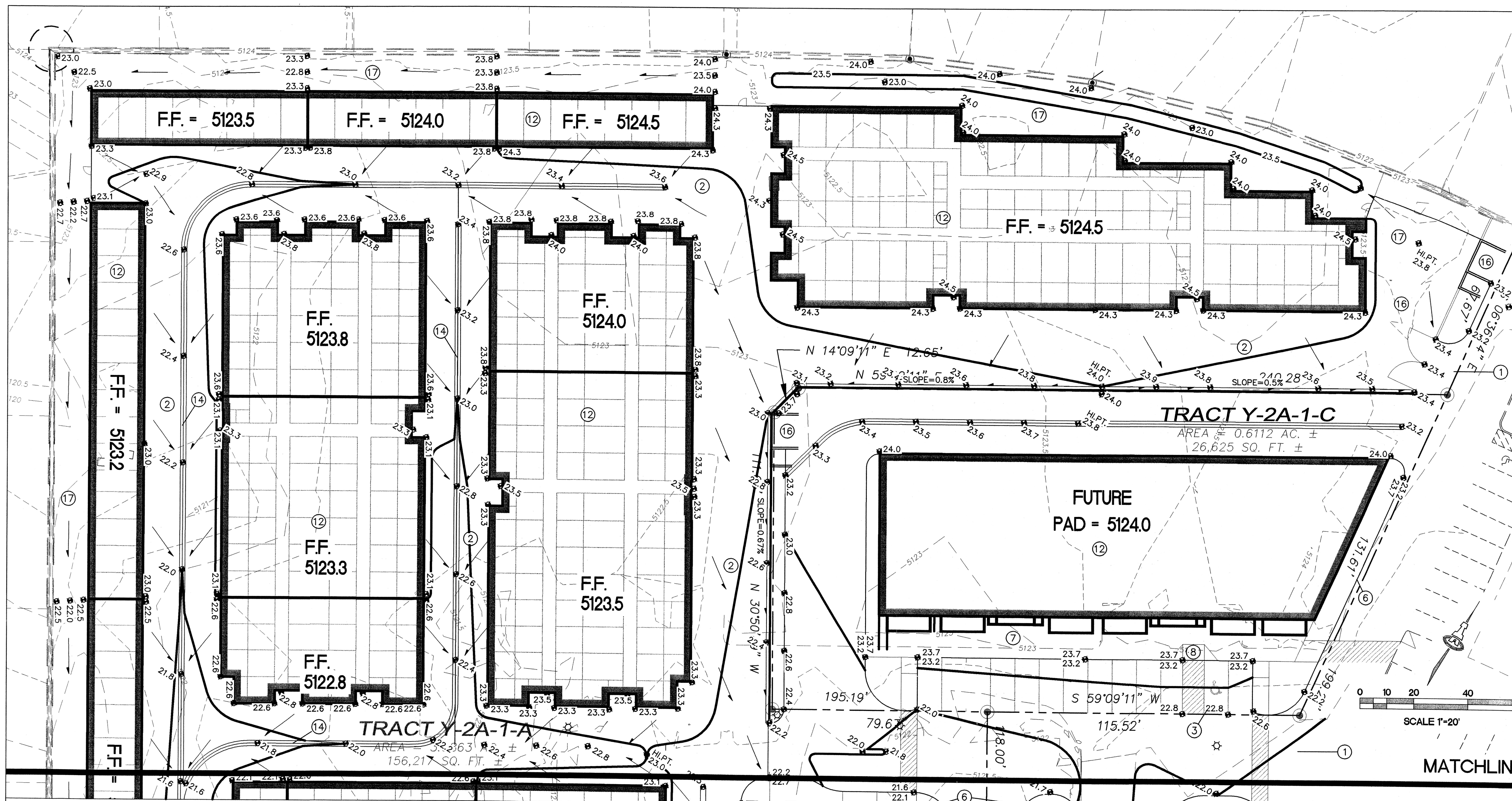


VICINITY MAP D-11

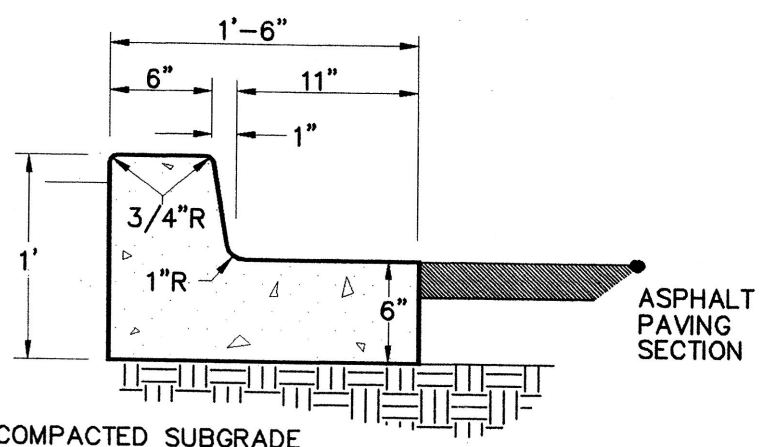


KEYED NOTES

- SAWCUT EXISTING ASPHALT (SEE DEMOLITION PLAN FOR EXTENTS) TO PROVIDE SMOOTH BONDING EDGE. CONSTRUCT NEW ASPHALT PAVING TO ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION TO EXISTING WHILE MAINTAINING POSITIVE DRAINAGE.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA. PROVIDE SMOOTH TRANSITION WITHIN ASPHALT PAVING FROM FLUSH WITH WALK TO 6" MEDIAN CURB AND GUTTER OVER 2' EACH SIDE.
- PROVIDE SWALE WITHIN NEW ASPHALT AT FLOWLINE ELEVATIONS SHOWN TO DIRECT DISCHARGE (MIN. 1% SLOPE).
- CONSTRUCT MEDIAN CURB AND GUTTER AT ALL CURB LOCATIONS UNLESS NOTED OTHERWISE. SEE DETAIL THIS SHEET.
- CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE ARCHITECTURAL.
- CONSTRUCT 6" DEPRESSED LANDSCAPED BASIN TO ACCEPT SITE DRAINAGE. FLOW IN EXCESS OF LANDSCAPE BASIN CAPACITY WILL PASS BACK TO PAVEMENT TO CONTINUE ALONG PROPOSED DRAINAGE PATH.
- PROVIDE 2' WIDE X 6" HIGH OPENING IN PERIMETER WALL AT FLOWLINE ELEVATION. CONSTRUCT 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH LANDSCAPED AREA TO PASS FLOW. MIN. SLOPE = 1%.
- EXTEND NEW ALLEY GUTTER TO EXISTING PAVEMENT LOW POINT. PROVIDE THREE TURNED BLOCKS (EQUIVALENT TO 3' WIDE X 6" HIGH OPENING) IN PERIMETER WALL AT FLOWLINE.
- ALL BUILDING ROOF DISCHARGE TO BE RELEASED DIRECTLY TO INTERIOR PAVEMENT. NO DRAINAGE WILL BE PASSED TO PERIMETER LANDSCAPING.
- EXISTING COVERED SIDEWALK CULVERTS DRAIN ALL SITE FLOW TO HOMESTEAD CIRCLE, N.W. SEE PHOTO EXHIBIT. (INFO. ONLY)
- CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN AT ALL FLOWLINES < 1% SLOPE. SEE DETAIL THIS SHEET.
- PROVIDE 1' OPENING (BOTTOM WIDTH) IN CURB TO PASS FLOW TO LANDSCAPED BASIN. EXCESS FLOW WILL SPILL OVER TOP OF CURB ON LOW SIDE. FILLET EDGES.
- CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
- GRADES SHOWN WITHIN LANDSCAPED AREAS ARE FOR GENERAL GRADING INFORMATION TO INDICATE DRAINAGE DIRECTION. PROVIDE POSITIVE GRADING AWAY FROM BUILDING AND PERIMETER WALLS. SEE LANDSCAPE PLAN FOR ADDITIONAL LANDSCAPE INFORMATION.

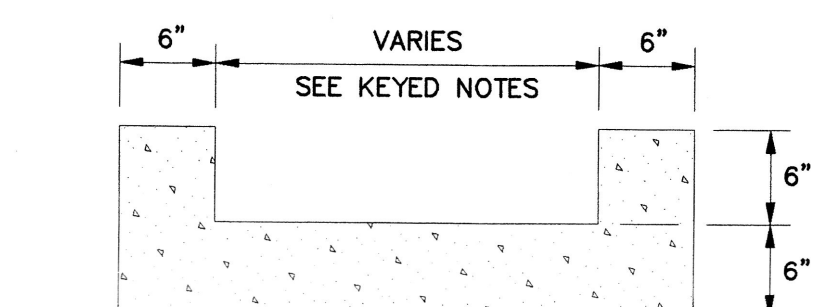


ASPHALT TRANSITION AT BLDG. STEPS



- GENERAL NOTES
- PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX
  - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL
  - MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

- GENERAL NOTES
- PROVIDE CONST. CONTROL JOINTS @ 7' O.C. MAX.
  - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL



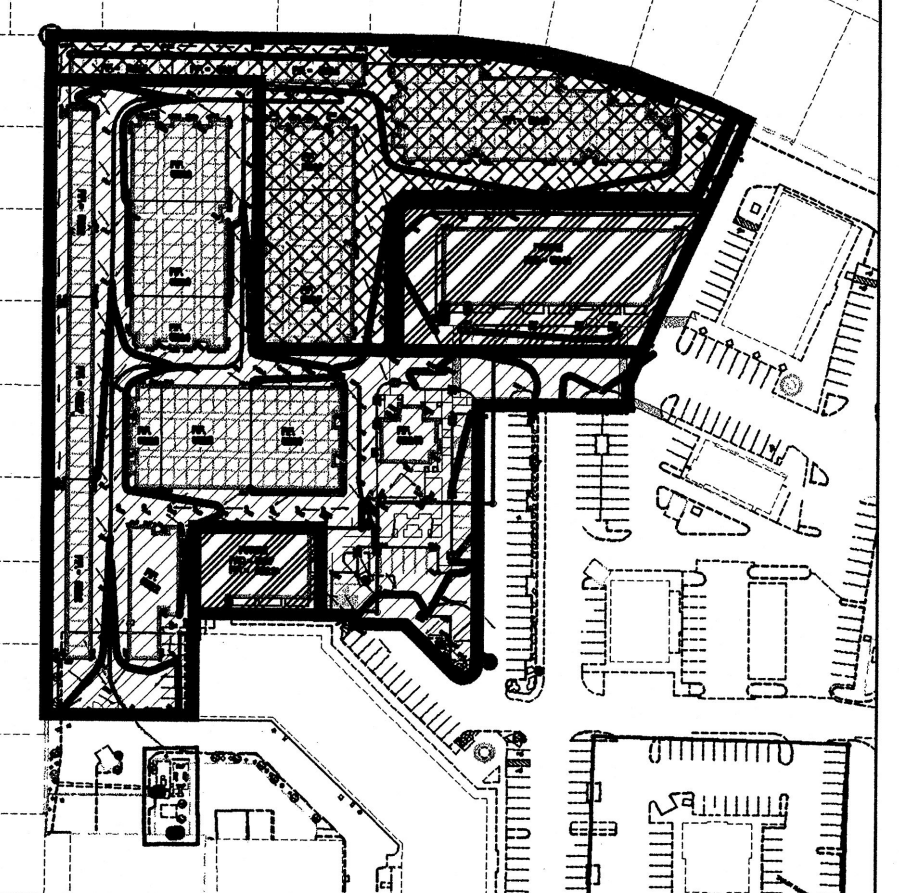
- GENERAL NOTES
- PROVIDE CONST. CONTROL JOINTS @ 7' O.C. MAX.
  - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

'U' SHAPED CONC. CHANNEL

CONCRETE ALLEY GUTTER

MEDIAN CURB AND GUTTER

PHASING DIAGRAM



- PHASE 1
- PHASE 2
- PHASE 3

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5123.3 FINISH FLOOR ELEVATION
- FL FLOWLINE ELEVATION

ISAACSON & ARFMAN, P.A.  
 Consulting Engineering Associates  
 1228 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Tel. 505-268-8828 Fax. 505-268-2632  
 1618 C-101.dwg Oct 18, 2007

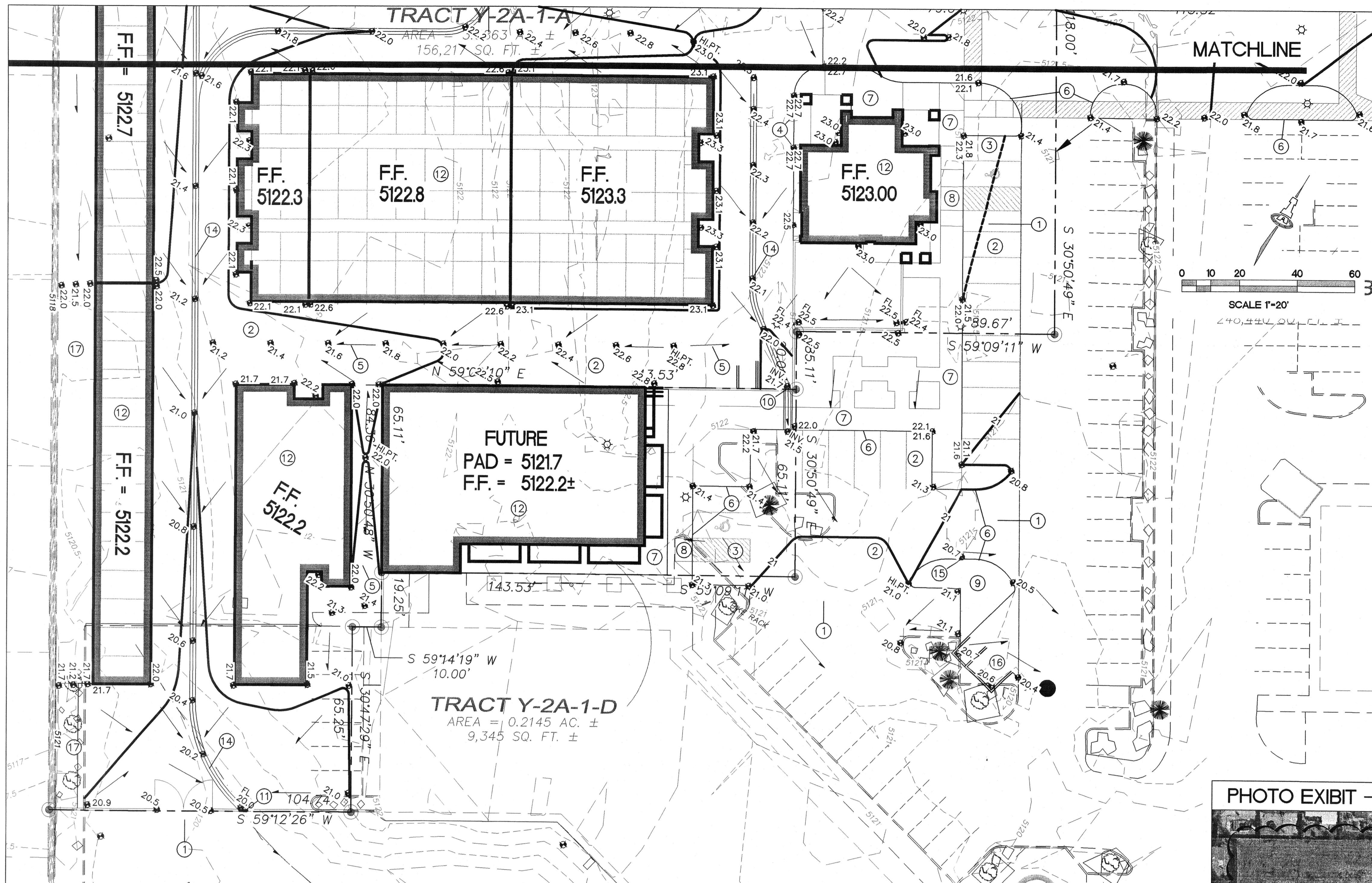
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TAYLOR RANCH SELF STORAGE

GRADING AND DRAINAGE PLAN - NORTH

Date:	10-17-07	No.:	Revision:	Date:	Job No.:
Drawn By:	BJB				C-101
Chk By:	GLD				





### LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5123.3 FINISH FLOOR ELEVATION
- FL FLOWLINE ELEVATION

### PROJECT DATA

EXISTING: THE SITE IS AN UNDEVELOPED PORTION OF A COMMERCIAL PROPERTY WITHIN C.O.A. VICINITY MAP D-11. THE SITE IS BOUND TO THE EAST BY TAYLOR RANCH DR. NW, TO THE SOUTH BY HOMESTEAD CIRCLE, NW, AND TO THE NORTH AND EAST BY DEVELOPED RESIDENTIAL.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE SELF-STORAGE BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, LANDSCAPING AND MANAGERS RESIDENCE. TWO ADDITIONAL COMMERCIAL PADS WILL BE GRADED AS PART OF THIS PHASE OF CONSTRUCTION.

LEGAL: LOT Y2A1, TAYLOR RANCH, ALBUQUERQUE, NM  
ADDRESS: 5105 HOMESTEAD CIRCLE S.W.

BENCHMARK: ELEVATION DATUM IS BASED ON NGVD 1929 FROM ACS MONUMENT "7-D11", ELEVATION (FEET) = 5116.66.  
DESCRIBED AS: ACS 1 3/4" ALUMINUM DISK, STAMPED "ACS BM, 7-D11", 3-RD ORDER, EPOXIED TO TOP OF CONCRETE BASE OF TRAFFIC LIGHT STANCHION, NORTHWESTERLY QUADRANT OF TAYLOR RANCH RD. AND HOMESTEAD CIR. (SOUTHERLY PORTION), NW, ON THE WESTERLY CORNER OF SAID CONCRETE BASE.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #112, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

### KEYED NOTES

SEE SHEET C-101 FOR ALL GRADING AND DRAINAGE PLAN KEYED NOTES

- ### GENERAL NOTES
- A. COORDINATE WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
  - B. SEE SITE DEMOLITION PLAN FOR ALL SITE DEMOLITION INFORMATION.
  - C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
  - D. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
  - E. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING / PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
  - F. WATER SHALL NOT POND ON PAVED AREAS. WHERE NEW/EXIST. GRADES ARE SHOWN AS 'MATCH', TRANSITION SHALL BE SMOOTH AND LEVEL.
  - G. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
  - H. SWPPP REQUIREMENTS: BECAUSE THIS SITE DEVELOPMENT DISTURBS MORE THAN 1 ACRE OF LAND IN BERNALILLO COUNTY, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) INCLUDING A COPY OF THE NOI SUBMITTED TO EPA, MUST BE SUBMITTED TO BERNALILLO COUNTY FOR ACCEPTANCE PRIOR TO ISSUANCE OF A GRADING OR PAVING PERMIT.

### CALCULATIONS

THE PROPOSED IMPROVEMENTS INCREASE THE DISCHARGE FROM THE ENTIRE PROPERTY (LOT Y2A1) FROM 35.2 CFS TO 45.1 CFS FOR THE 100-YEAR, 6-HOUR STORM EVENT.

THE PROPOSED ON-SITE IMPROVEMENTS WILL SURFACE DRAIN TO THE SURROUNDING EXISTING PAVEMENT TO FOLLOW THE HISTORIC ON-SITE DISCHARGE PATHS TO THE PAVED CUL-DE-SAC AT THE SOUTHWEST CORNER OF THE PROPERTY.

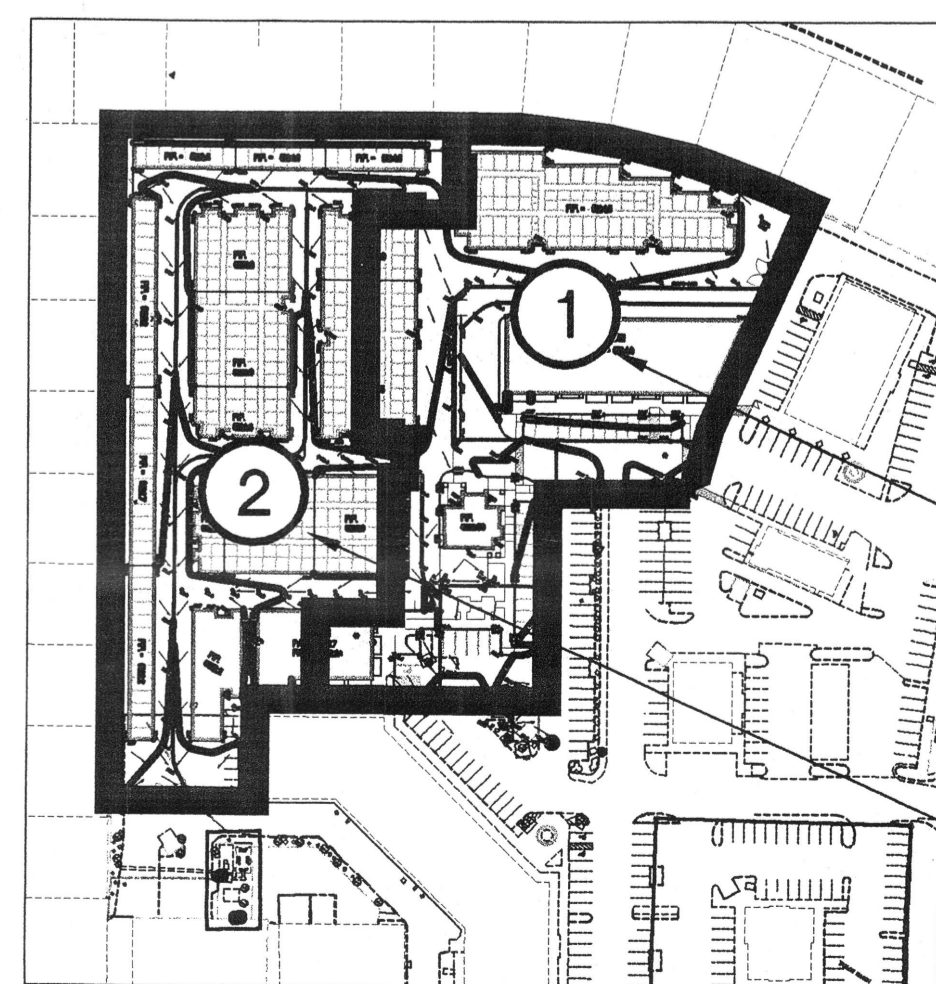
PER THE APPROVED OVERALL GRADING PLAN FOR THE HOMESTEAD HILLS SHOPPING CENTER, THE FULLY DEVELOPED SITE IS PERMITTED FREE DISCHARGE TO HOMESTEAD CIRCLE, N.W. VIA FOUR 24" WIDE SIDEWALK CULVERTS CONSTRUCTED AS PART OF C.O.A. PROJECT 28-4091.90-91. FLOW WILL CONTINUE ALONG THE HISTORIC ROUTE ACROSS HOMESTEAD CIRCLE TO AN EXISTING DRAINAGE RUNDOWN TO THE MARIPOSA DETENTION FACILITY (A.M.A.F.C.A.). NO DISCHARGE WILL BE DIRECTED TO TAYLOR RANCH DR. S.W.

PER THE CONCEPTUAL GRADING AND DRAINAGE PLAN AT LEFT, THE STORAGE FACILITY WILL SPLIT DISCHARGE WITH APPROX. 50% EACH TO THE EAST AND SOUTH TO AVOID OVERTAXING A SINGLE ROUTE.

#### CALCULATIONS: 1618 - TAYLOR RANCH SELF-STORAGE : July 26, 2007

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE	
AREA: TOTAL SITE (LOT Y2-A1):	440627 SF = 10.1 Ac.
<b>HISTORIC FLOWS:</b>	<b>DEVELOPED FLOWS:</b>
On-Site Historic Land Condition	On-Site Developed Land Condition
Area a = 0 SF	Area a = 0 SF
Area b = 154219 SF	Area b = 22031 SF
Area c = 22031 SF	Area c = 44063 SF
Area d = 264376 SF	Area d = 374533 SF
Total Area = 440627 SF	Total Area = 440627 SF
<b>EXCESS PRECIP:</b>	Precip. Zone 1
Ea = 0.44	Eb = 0.67
Ec = 0.99	Ed = 1.97
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	
Weighted E = $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$	
Historic E = 1.47 in.	Developed E = 1.81 in.
On-Site Volume of Runoff: $V360 = \frac{E^2 A}{12}$	
Historic V360 = 53830 CF	Developed V360 = 66351 CF
On-Site Peak Discharge Rate: $Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560$	
For Precipitation Zone 1	
Qpa = 1.29	Qpc = 2.87
Qpb = 2.03	Qpd = 4.37
Historic Qp = 35.2 CFS	Developed Qp = 41.5 CFS



BASIN NO.	DESCRIPTION	DRAINING TO
1	Area of basin flows = 102618 SF	2.4 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E = 1.82 in.		
Sub-basin Volume of Runoff (see formula above)		
V360 = 15589 CF	A = 0%	B = 0%
Sub-basin Peak Discharge Rate: (see formula above)	C = 15%	D = 85%
Qp = 9.8 cfs		
2	Area of basin flows = 99922 SF	2.3 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E = 1.82 in.		
Sub-basin Volume of Runoff (see formula above)		
V360 = 15183 CF	A = 0%	B = 0%
Sub-basin Peak Discharge Rate: (see formula above)	C = 15%	D = 85%
Qp = 9.5 cfs		

### PHOTO EXHIBIT - OVERALL SITE DRAINAGE



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
PH: 505-268-8828 Fax: 505-268-2632  
1618 C-101.dwg Oct 18, 2007

**TAYLOR RANCH SELF STORAGE**  
**GRADING AND DRAINAGE PLAN - SOUTH**

Date: 10-17-07  
No. 10-17-07  
Revision  
Date  
Job No. 1618

Drawn By: BJB  
Ckd By: GLD

**C-102**



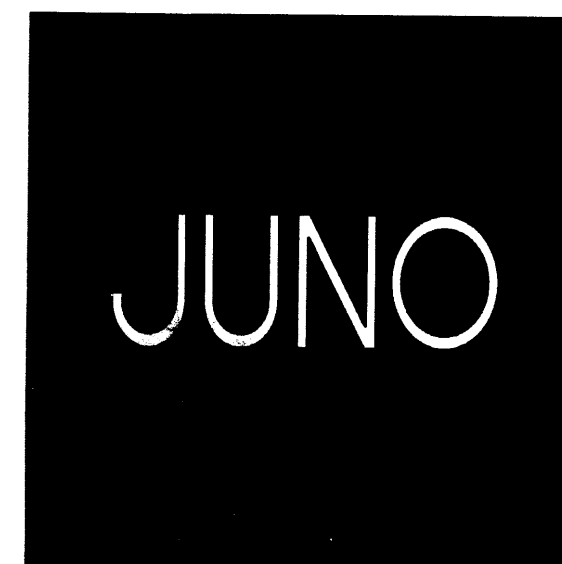
# TAYLOR RANCH SELF STORAGE

## AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

## AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

6971 TAYLOR RANCH DR. NW

*SPS & SPBT*  
~~PRELIMINARY PLAN~~  
 APPROVED BY DRB  
 ON \_\_\_\_\_



A R C H I T E C T S

7925 Bosque St. NW, Albuquerque, NM. 87114 Ph. (505) 892-8453 Fax. (505) 896-3438

LOCATION MAP



SHEET INDEX

CVR	COVER SHEET
AS1.1	AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
AS1.2	AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION
L1.1	LANDSCAPE PLAN
C-101	GRADING AND DRAINAGE PLAN - NORTH
C-102	GRADING AND DRAINAGE PLAN - SOUTH
A2.1	RENDERING RETAIL/SERVICE BUILDING 'A' ELEVATIONS
A2.2	RETAIL/SERVICE BUILDING 'B' ELEVATIONS
A2.3	OFFICE/WATCHMAN QUARTERS ELEVATIONS
1	STORAGE BUILDINGS A, B & C ELEVATIONS
2	STORAGE BUILDINGS D, E, F & G ELEVATIONS
A2.4	DETAILS
C-103	MASTER UTILITY PLAN
	APPROVED SITE DEVELOPMENT PLAN
	APPROVED SITE DEVELOPMENT PLAN
	APPROVED LANDSCAPE PLAN



DATE:  
10-19-07  
PROJECT NO.  
0621  
SHEET NO.

*Kevin Juno* 10-19-07 CVR



# SITE CRITERIA

PROJECT: TAYLOR RANCH STORAGE  
 LOCATION: 6971 TAYLOR RANCH DR. NW  
 OWNER: DAN RICH  
 ARCHITECT: JUNO ARCHITECTS  
 LEGAL DESCRIPTION: TRACTS Y-2A-A, Y-2A-B, Y-2A-C, & Y-2A-D, TAYLOR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.  
 ZONING: ATLAS MAP: D-11-Z  
 CURRENT ZONING CLASSIFICATION: C-2  
 PROPOSED ZONING CLASSIFICATION: C-2 CONDITIONAL USE FOR STORAGE OF HOUSEHOLD GOODS AND A DWELLING UNIT.  
 BUILDING TYPE: TYPE II-B, NON-SPRINKL. (STORAGE); TYPE V-B, NON-SPRINKL. (SALES, APARTMENT, RETAIL/SERVICE)  
 TOTAL BUILDING AREA:  
 EXISTING RETAIL/SERVICE = 34136 SF  
 EXISTING DAY-CARE = 5400 SF  
 EXISTING FAST FOOD = 2760 SF  
 NEW SALES = 1032 SF  
 NEW DWELLING = 1642 SF  
 GARAGE = 456 SF  
 NEW STORAGE = 69086 SF  
 NEW RETAIL/SERVICE = 15797 SF  
 TOTAL = 130309 SF

TOTAL LOT AREA: 10.1154 AC.  
 TOTAL PARKING AREA:  
 PARKING ANALYSIS:  
 RETAIL/SERVICE: 49933 SF/200 = 250  
 DAY-CARE: 5400 SF/500 + 2 = 13  
 FAST FOOD: 1 SP/4 SEATS = 37  
 SALES: 1032 SF/200 = 6  
 DWELLING: 1 SPACE/BATH = 2  
 STORAGE: 69086 SF/2000 = 35  
 TOTAL = 51  
 15% CREDIT = 51  
 TOTAL REQUIRED = 292

ACCESSIBLE PARKING (8 REQUIRED): 12 (PROVIDED)  
 MOTORCYCLE PARKING (5 REQUIRED): 6 (PROVIDED)  
 TOTAL PARKING PROVIDED = 326

PARKING SPACE SIZES:  
 REGULAR 8'-6" x 20'-0" MIN.  
 ACCESSIBLE 8'-6" x 20'-0" + 8' ISLE MIN.  
 MOTORCYCLE 4' x 8' MIN.  
 REQUIRED BICYCLE SPACES: 1 SPACE/20 PARKING SP. = 15  
 MAXIMUM NUMBER OF STORAGE UNITS: 530  
 MAXIMUM BUILDING HEIGHT: AS ALLOWED BY C-2 ZONING  
 MINIMUM BUILDING SETBACK: AS ALLOWED BY C-2 ZONING  
 MAXIMUM TOTAL DWELLING UNITS: 1  
 MAXIMUM FLOOR AREA RATIO (F.A.R.): .3

# LEGEND

- EXISTING BUILDING
  - PROPOSED BUILDING
  - PHASE 1
  - PHASE 2
  - PHASE 3
  - EXISTING FIRE HYDRANT
  - NEW FIRE HYDRANT
  - FIRE TRUCK TURNING RADIUS
  - EXISTING 30' HIGH POLE LIGHT TO REMAIN UNLESS OTHERWISE NOTED
  - BUILDING MOUNTED LIGHT FIXTURE (7'-6" A.F.F. TO BOTTOM)
  - VEHICLE ACCESS
- 4'x8' MIN. MOTORCYCLE PARKING SPACE W/12' x 18' SIGN. BOTTOM OF SIGN SHALL HAVE ITS LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE.

# PROJECT NUMBER:

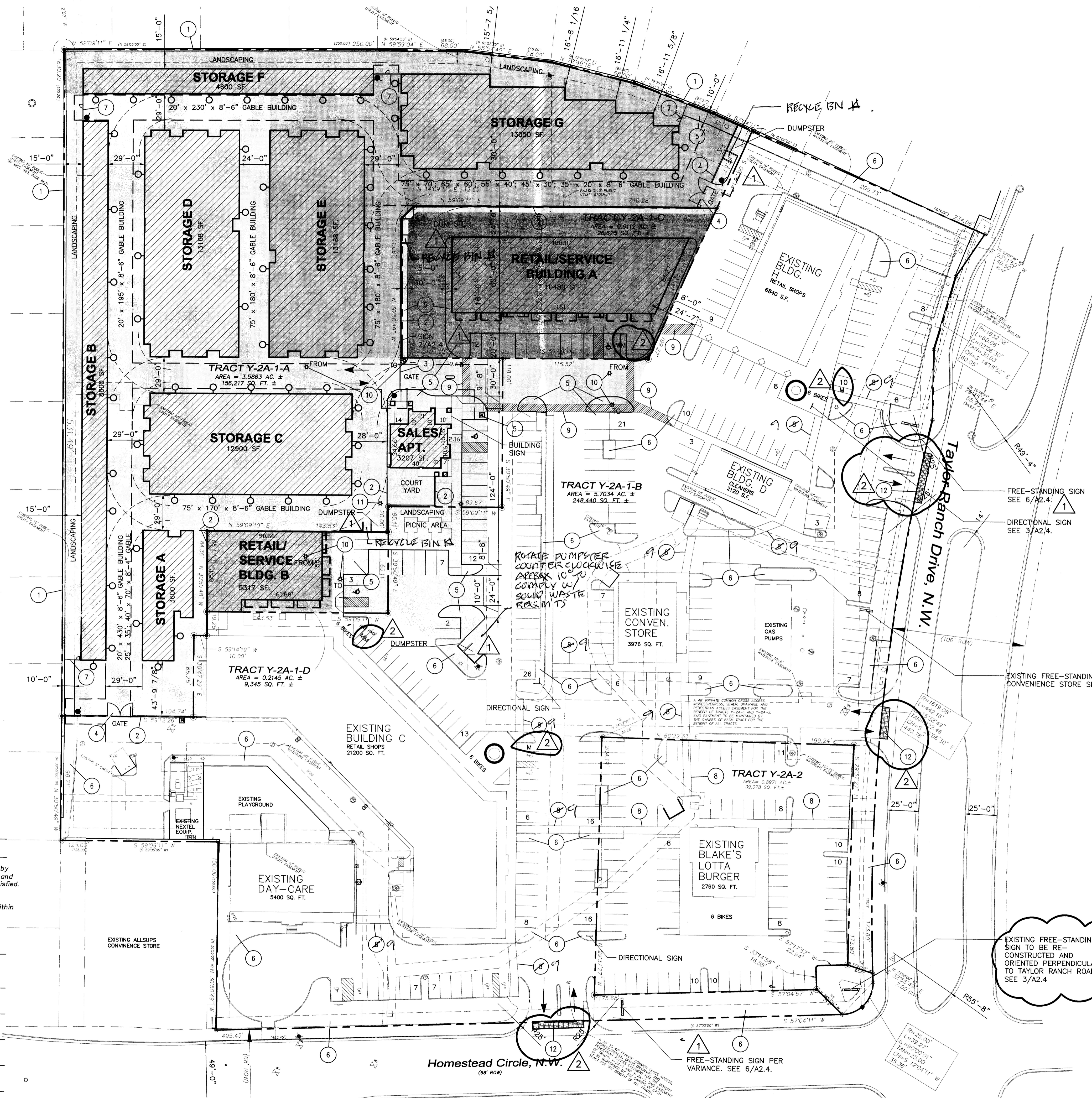
# APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

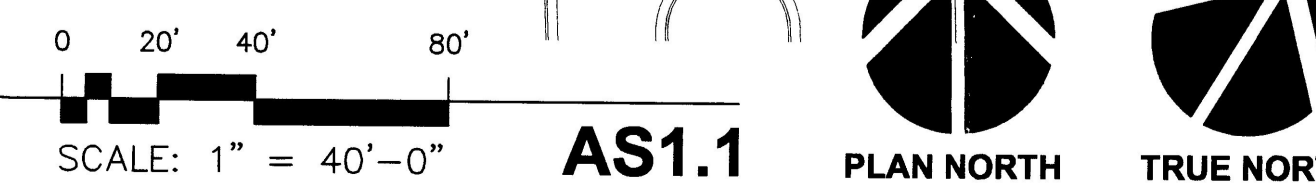
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

# DRR SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
* ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



# AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT



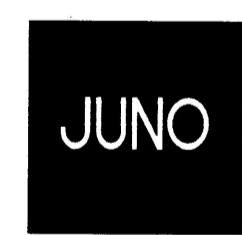
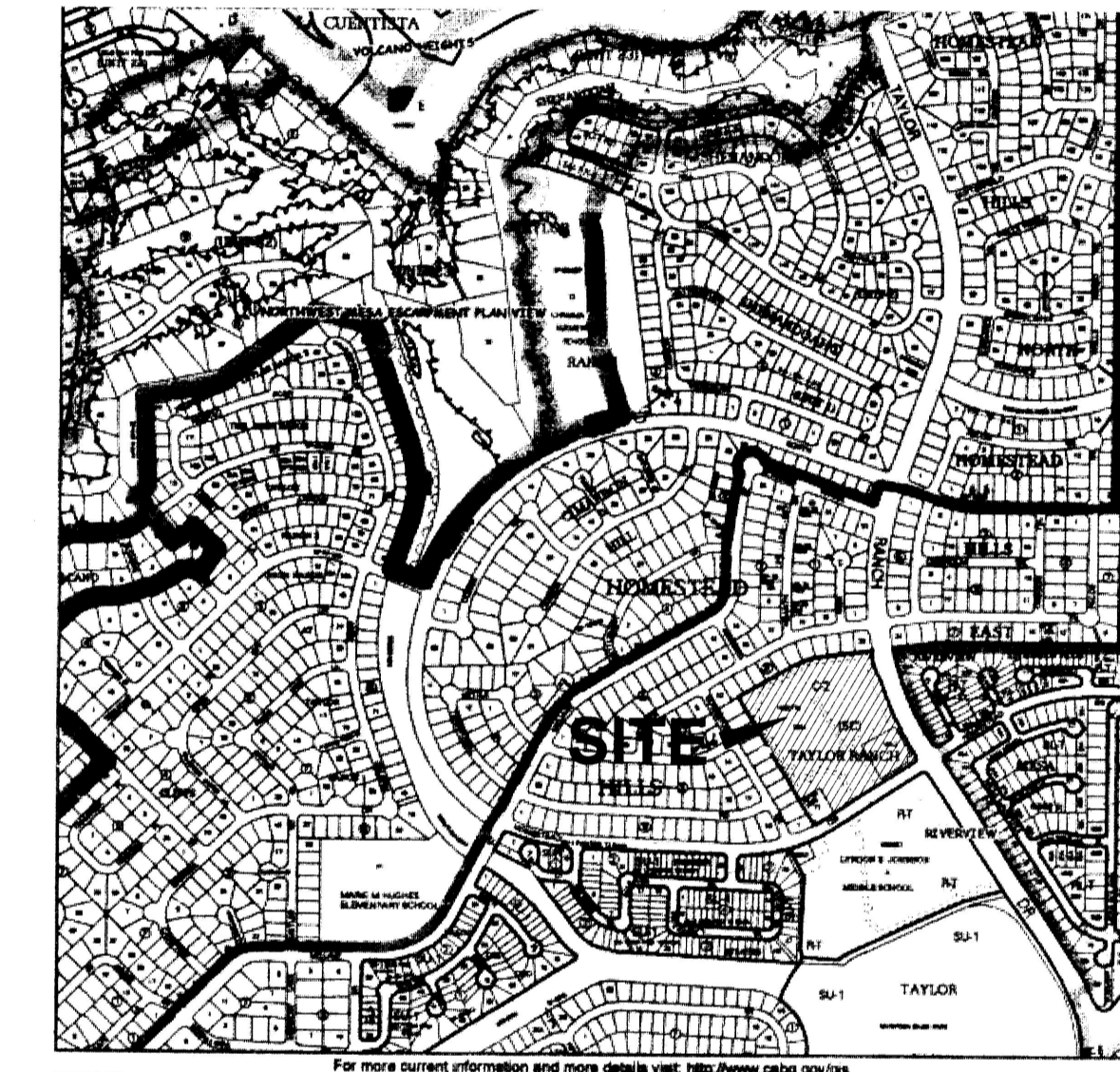
# KEYED NOTES

- 1 EXISTING CMU WALL. 8'-0" TO 9'-7" HIGH ON RESIDENTIAL SIDE AND 4'-6" TO 5'-10" HIGH ON COMMERCIAL SIDE.
- 2 8'-10"-6" H. CMU WALL WITH DECORATIVE STUCCO AND BRICK SOLDIER COURSE BANDING AT TOP TO MATCH EXISTING BUILDING WALLS.
- 3 8' H X 18' W AUTOMATIC GATE W/ ADDITIONAL 8' H X 4' W MANUAL GATE (20' TOTAL WIDTH) W/KNOX-BOX FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 4 DOUBLE 8' H X 10' W MANUAL GATES W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 5 LANDSCAPING.
- 6 EXISTING LANDSCAPING.
- 7 6' HIGH CHAINLINK FENCE & GATE W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 8 EXISTING 6' WIDE PEDESTRIAN WALKWAY W/NEW APPLIED MARKINGS AND REFLECTIVE COATING.
- 9 3' WIDE PEDESTRIAN WALKWAY W/PRE-FORMED THERMOPLASTIC OR SIMILAR TYPE MATERIAL.
- 10 EXISTING POLE MOUNTED FIXTURE SHALL BE RELOCATED. EXISTING LIGHT FIXTURE LENS WILL BE REPLACED TO A FLAT LENS.
- 11 EXISTING POLE MOUNTED FIXTURE SHALL BE REMOVED.
- 12 6' WIDE PEDESTRIAN PATHWAY OF TEXTURED, COLORED CONCRETE ACROSS VEHICLE ENTRANCES ON TAYLOR RANCH ROAD AND HOMESTEAD CIRCLE.

# GENERAL NOTES

- 1 MANAGER'S APARTMENT IS LOCATED ABOVE THE SALES OFFICE AND SHALL BE A 2-BEDROOM UNIT. MANAGER SHALL PROVIDE 24 HOUR SECURITY 7 DAYS PER WEEK. UNUSABLE OPEN SPACE SHALL BE PROVIDED IN THE COURTYARD ADJACENT TO THE UNIT.

# VICINITY MAP



ARCHITECTS  
 7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)896-3438

PROJECT:  
**TAYLOR RANCH SELF STORAGE**

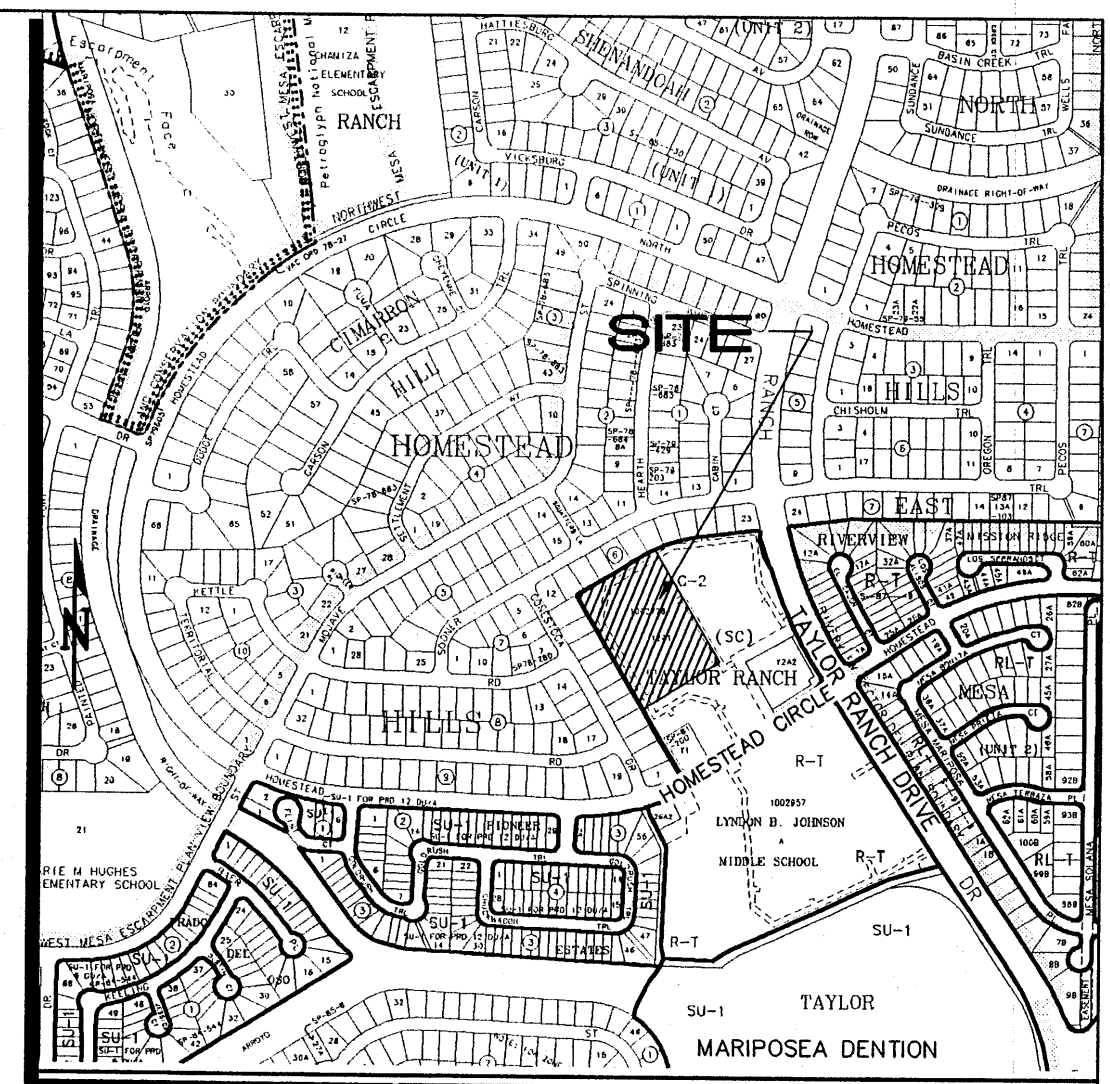
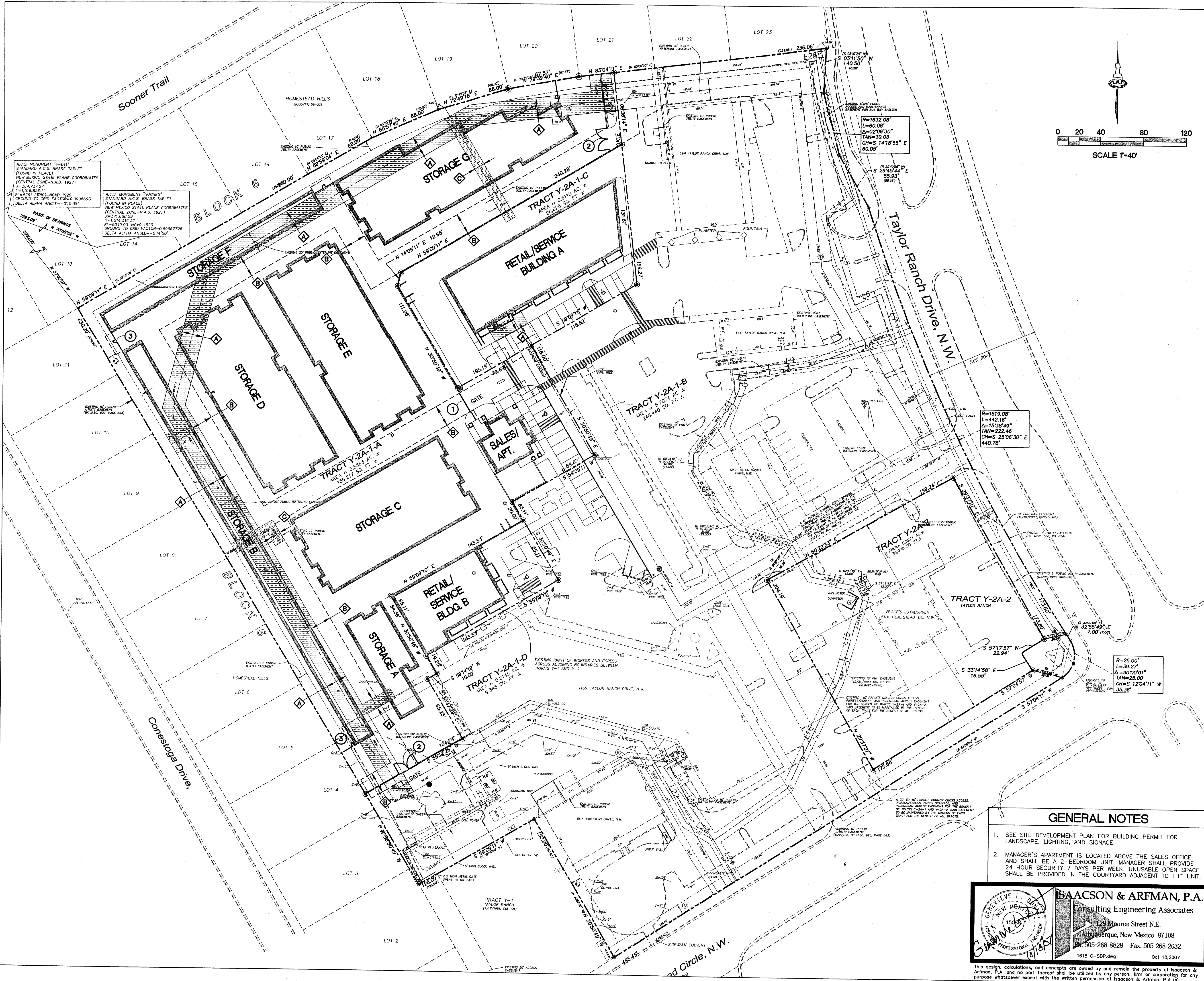
SHEET TITLE:  
**AMENDED SITE DEVELOPMENT PLAN**

NO.	REVISION	DATE
1	REVISIONS FOR EPC	9-7-07
2	EPC CONDITIONS	10-15-07

ARCHITECT STAMP: KEVIN JUNO No. 1603  
 CONSULTANT STAMP: DATE: 10-19-07  
 PROJECT NO.: 0621  
 SHEET NO.: AS1.1

10-19-07  
**AS1.1**





D-11 VICINITY MAP 1"=750'

**SITE INFORMATION**

PROJECT: TAYLOR RANCH STORAGE  
 LOCATION: 6971 TAYLOR RANCH DR. NW  
 OWNER: DAN RICH  
 ARCHITECT: JUNO ARCHITECTS  
 LEGAL DESCRIPTION: TRACTS Y-2A-A, Y-2A-B, Y-2A-C, & Y-2A-D, TAYLOR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.  
 ZONING ATLAS MAP: D-11-Z  
 CURRENT ZONING CLASSIFICATION: C-2  
 PROPOSED ZONING CLASSIFICATION: C-2 CONDITIONAL USE FOR STORAGE OF HOUSEHOLD GOODS AND A DWELLING UNIT.  
 BUILDING TYPE: TYPE II-B, NON-SPRINKL. (STORAGE), TYPE V-B, NON-SPRINKL. (SALES, APARTMENT, RETAIL/SERVICE)  
 TOTAL LOT AREA: 10,1154 AC.  
 TOTAL PARKING AREA:  
 PARKING ANALYSIS:  
 RETAIL/SERVICE: 49933 SF/200 = 250  
 DAY-CARE: 5400 SF/500 + 2 = 13  
 FAST FOOD: 1 SP/4 SEATS = 37  
 SALES: 1032 SF/200 = 6  
 DWELLING: 1 SPACE/BATH = 2  
 STORAGE: 69086 SF/2000 = 35  
 TOTAL 343  
 15% CREDIT 51  
 TOTAL REQUIRED 12 (PROVIDED)  
 ACCESSIBLE PARKING (8 REQUIRED): 12 (PROVIDED)  
 MOTORCYCLE PARKING (5 REQUIRED): 6 (PROVIDED)  
 TOTAL PARKING PROVIDED 326  
 PARKING SPACE SIZES:  
 REGULAR 8'-6" X 20'-0" MIN.  
 ACCESSIBLE 8'-6" X 20'-0" + 8' ISLE MIN.  
 MOTORCYCLE 4' X 8' MIN.  
 REQUIRED BICYCLE SPACES: 1 SPACE/20 PARKING SP. = 15  
 MAXIMUM NUMBER OF STORAGE UNITS: 530  
 MAXIMUM BUILDING HEIGHT: AS ALLOWED BY C-2 ZONING  
 MINIMUM BUILDING SETBACK: AS ALLOWED BY C-2 ZONING  
 MAXIMUM TOTAL DWELLING UNITS: 1  
 MAXIMUM FLOOR AREA RATIO (F.A.R.): .3

- EASEMENT NOTES**
- EXISTING 20' PUBLIC WATERLINE EASEMENT TO BE VACATED BY FINAL PLAT.
  - PROPOSED 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED BY FINAL PLAT.
  - EXISTING 10' P.U.E. TO BE VACATED BY FINAL PLAT.
  - PROPOSED BLANKET EASEMENTS COVERING TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, AND Y-2A-1-D FOR PRIVATE CROSS-LOT ACCESS, AND DRAINAGE GRANTED TO THE OWNER BY FINAL PLAT.
  - PROPOSED BLANKET EASEMENTS COVERING TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C, AND Y-2A-1-D FOR PRIVATE SANITARY SEWER AND IRRIGATION GRANTED TO THE OWNER BY FINAL PLAT.

- KEYED NOTES**
- 8' H X 16' W AUTOMATIC GATE W/ ADDITIONAL 8' H X 4' W MANUAL GATE (20' TOTAL WIDTH) W/KNOX-BOX FOR FIRE DEPARTMENT EMERGENCY ENTRY. MAIN VEHICULAR ACCESS.
  - DOUBLE 8' H X 10' W MANUAL GATES W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY. SECONDARY VEHICULAR ACCESS.
  - 6' HIGH CHAINLINK FENCE & GATE W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY. PEDESTRIAN ACCESS.

**TAYLOR RANCH STORAGE**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

Date:	No. Revision	Date	Job No.
08-01-07			1618
Drawn By:	GLD		<b>AS 12</b>
Ckd By:	GLD		

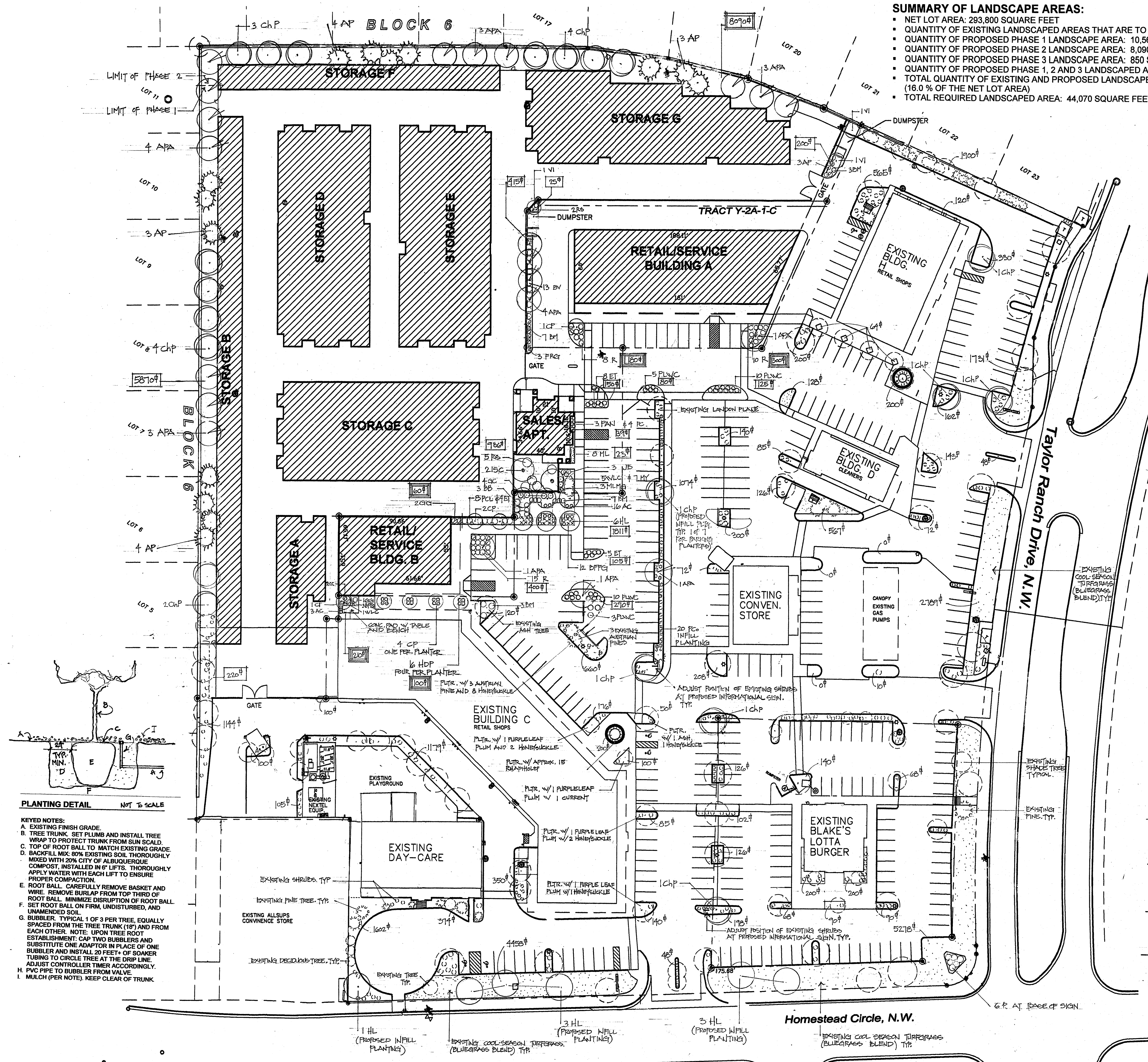
**GENERAL NOTES**

- SEE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR LANDSCAPE, LIGHTING, AND SIGNAGE.
- MANAGER'S APARTMENT IS LOCATED ABOVE THE SALES OFFICE AND SHALL BE A 2-BEDROOM UNIT. MANAGER SHALL PROVIDE 24 HOUR SECURITY 7 DAYS PER WEEK. UNUSABLE OPEN SPACE SHALL BE PROVIDED IN THE COURTYARD ADJACENT TO THE UNIT.

**ISAACSON & ARMAN, P.A.**  
 Consulting Engineering Associates  
 125 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 PH: 505-268-8828 Fax: 505-268-2632  
 1618 C-SDP.dwg Oct 18, 2007

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**PLANTING DETAIL** NOT TO SCALE

**KEYED NOTES:**  
 A. EXISTING FINISH GRADE.  
 B. TREE TRUNK. SET PLUMB AND INSTALL TREE WRAP TO PROTECT TRUNK FROM SUN SCALD.  
 C. TOP OF ROOT BALL TO MATCH EXISTING GRADE.  
 D. BACKFILL MIX: 80% EXISTING SOIL THOROUGHLY MIXED WITH 20% CITY OF ALBUQUERQUE COMPOST, INSTALLED IN 6" LIFTS. THOROUGHLY APPLY WATER WITH EACH LIFT TO ENSURE PROPER COMPACTION.  
 E. ROOT BALL. CAREFULLY REMOVE BASKET AND WIRE. REMOVE BURLAP FROM TOP THIRD OF ROOT BALL. MINIMIZE DISRUPTION OF ROOT BALL. SET ROOT BALL ON FIRM, UNDISTURBED, AND UNAMENDED SOIL.  
 F. BUBBLER. TYPICAL 1 OF 3 PER TREE, EQUALLY SPACED FROM THE TREE TRUNK (18") AND FROM EACH OTHER. NOTE: UPON TREE ROOT ESTABLISHMENT: CAP TWO BUBBLERS AND SUBSTITUTE ONE ADAPTOR IN PLACE OF ONE BUBBLER AND INSTALL 20 FEET OF SOAKER TUBING TO CIRCLE TREE AT THE DRIP LINE. ADJUST CONTROLLER TIMER ACCORDINGLY.  
 G. FWC PIPE TO BUBBLER FROM VALVE.  
 H. MULCH (PER NOTE). KEEP CLEAR OF TRUNK.

**LANDSCAPE PLAN**

SCALE: 1" = 40' - 0"

**SUMMARY OF LANDSCAPE AREAS:**

- NET LOT AREA: 293,800 SQUARE FEET
- QUANTITY OF EXISTING LANDSCAPED AREAS THAT ARE TO REMAIN: 27,650 SQUARE FEET
- QUANTITY OF PROPOSED PHASE 1 LANDSCAPE AREA: 10,560 SQUARE FEET
- QUANTITY OF PROPOSED PHASE 2 LANDSCAPE AREA: 8,090 SQUARE FEET
- QUANTITY OF PROPOSED PHASE 3 LANDSCAPE AREA: 850 SQUARE FEET
- QUANTITY OF PROPOSED PHASE 1, 2 AND 3 LANDSCAPED AREAS: 19,500 SQUARE FEET
- TOTAL QUANTITY OF EXISTING AND PROPOSED LANDSCAPED AREA: 47,150 SQUARE FEET (16.0 % OF THE NET LOT AREA)
- TOTAL REQUIRED LANDSCAPED AREA: 44,070 SQUARE FEET.

**PLANT MATERIAL LEGEND**

TREES	SYMBOL	COMMON NAME	BOTANICAL NAME	APPROXIMATE QUANTITY	IRRIGATION	SIZE / NOTES
SHADEMASTER HONEY LOCUST	HL	SHADEMASTER HONEY LOCUST	GLEDITSIA THACANTHOS	12	1.0 GPH	12" CALIPER, B & B, SPREAD AT MATURITY
CHINESE PISTACHE	PL	CHINESE PISTACHE	PISTACHIA CHINENSIS	20	1.0 GPH	12" CALIPER, B & B, SPREAD AT MATURITY
AUTUMN PURPLE ASH	AP	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	21	1.0 GPH	12" CALIPER, B & B, SPREAD AT MATURITY
INDIAN SUMMER CRAMBLE	ISA	INDIAN SUMMER CRAMBLE	MAULIS 'INDIAN SUMMER'	2	1.0 GPH	12" CALIPER, B & B, SPREAD AT MATURITY
AUSTRIAN BLACK PINE	ABP	AUSTRIAN BLACK PINE	PINUS NIGRA	14	1.0 GPH	12" CALIPER, B & B, SPREAD AT MATURITY
VITEX - CHASTE TREE	VT	VITEX - CHASTE TREE	VITEX AGNUS-CASTUS	3	1.0 GPH	12" CALIPER, B & B, SPREAD AT MATURITY
CHANTICLEER PEAR	CP	CHANTICLEER PEAR	PIRUS CALLERYANA 'CHANTICLEER'	7	1.0 GPH	12" CALIPER, B & B, SPREAD AT MATURITY

SHRUBS	SYMBOL	COMMON NAME	BOTANICAL NAME	APPROXIMATE QUANTITY	IRRIGATION	SIZE / NOTES
GOLDEN GUINEA	GG	GOLDEN GUINEA	PERSEA JAPONICA 'GOLDEN GUINEA'	6	EMITTER	1 GALLON CONTAINER, SPREAD: UP TO 6" WIDE
JAPANESE KERRIA	JK	JAPANESE KERRIA	PAONIA X FRASERI	6	EMITTER	1 GALLON CONTAINER, SPREAD: UP TO 15" WIDE
VIOLINA	V	VIOLINA	VIOLINA	6	EMITTER	1 GALLON CONTAINER, SPREAD: UP TO 15" WIDE
BURWOOD BURBURNUM	BB	BURWOOD BURBURNUM	BURBURNUM BURWOODII	13	EMITTER	1 GALLON CONTAINER, SPREAD: 4" TO 6" WIDE
PINK DELIGHT BUTTERFLY BUSH	BD	PINK DELIGHT BUTTERFLY BUSH	BUDOLEIA DAVIDI 'PINK DELIGHT'	3	1.2 GPH	1 GALLON CONTAINER, SPREAD: UP TO 10" WIDE
GOLDEN CURRANT	GC	GOLDEN CURRANT	RIBES AUREUM	4	1.2 GPH	1 GALLON CONTAINER, SPREAD: 3" - 4" WIDE
BLUE MIST SPIREA	MS	BLUE MIST SPIREA	DIARYOPTERIS X CHAENOCHENIS 'MARK KNIGHT'	22	1.2 GPH	1 GALLON CONTAINER, SPREAD: 2" - 3" WIDE
AFRICA PLUME	APL	AFRICA PLUME	FALLGUA PARADOXA	16	1.2 GPH	1 GALLON CONTAINER, SPREAD: 5" WIDE
PERISIA CUTLEAF ELAC	PEL	PERISIA CUTLEAF ELAC	PERISIA SYRINUS LACINATA	8	EMITTER	1 GALLON CONTAINER, SPREAD: 9" WIDE
PURPLE LEAF WINTER CRESSER	PLWC	PURPLE LEAF WINTER CRESSER	BUONAVISIA FORTUNEI 'COLOREATA'	28	1.2 GPH	1 GALLON CONTAINER, SPREAD: 6" - 8" WIDE
RUSSIAN SAGE	RS	RUSSIAN SAGE	PEROVSKIA ATRIPLEXIFOLIA	2	1.2 GPH	1 GALLON CONTAINER, SPREAD: 9" WIDE
ROSEMARY	R	ROSEMARY	ROMARINUS OFFICINALIS 'ARP'	33	1.2 GPH	1 GALLON CONTAINER, SPREAD: UP TO 6" WIDE
CRANBERRY COTONEASTER	CC	CRANBERRY COTONEASTER	COTONEASTER APICULATUS	2	1.2 GPH	1 GALLON CONTAINER, SPREAD: UP TO 6" WIDE
POWIS CASTLE SAGE	PCS	POWIS CASTLE SAGE	ARTEMISIA X POWIS CASTLE	4	1.0 GPH	1 GALLON CONTAINER, SPREAD: UP TO 6" WIDE

PERENNIALS	SYMBOL	COMMON NAME	BOTANICAL NAME	APPROXIMATE QUANTITY	IRRIGATION	SIZE / NOTES
WALKERS LOW CATNIP	WL	WALKERS LOW CATNIP	HEPETA X WALKERS LOW	4	1.0 GPH	1 GALLON CONTAINER, SPREAD: 18" WIDE
MUNSTEAD LAVENDER	ML	MUNSTEAD LAVENDER	LAVANDULA ANGLUSTIFOLIA 'MUNSTEAD'	8	EMITTER	1 GALLON CONTAINER, SPREAD: 24" WIDE
JUPITER'S BEARD	JB	JUPITER'S BEARD	COPTANTHUS RUBER	3	1.0 GPH	1 GALLON CONTAINER, SPREAD: 3" WIDE
PRARIE CONEFLOWER	PC	PRARIE CONEFLOWER	RATIBIDA COLUMBIFERA	20	1.0 GPH	1 GALLON CONTAINER, SPREAD: 1" WIDE
MOONSHINE YARROW	MY	MOONSHINE YARROW	ACHILLEA X MOONSHINE	7	1.0 GPH	1 GALLON CONTAINER, SPREAD: 18" WIDE
AGASTACHE CANA	AC	AGASTACHE CANA	AGASTACHE CANA	19	1.0 GPH	1 GALLON CONTAINER, SPREAD: 18" WIDE
HARDY DWARF PLUMBAGO	HP	HARDY DWARF PLUMBAGO	CERATOSTIGMA PLUMBAGINOIDES	24	1.0 GPH	1 GALLON CONTAINER, SPREADING GROUND COVER

GRASSES	SYMBOL	COMMON NAME	BOTANICAL NAME	APPROXIMATE QUANTITY	IRRIGATION	SIZE / NOTES
KARL FOERSTER	KF	KARL FOERSTER	CLAMAGROSTIS X AGUTIFLORA 'KARL FOERSTER'	3	1.2 GPH	1 GALLON CONTAINER
FEATHER REED GRASS	FRG	FEATHER REED GRASS	FEENSTROM ALPICOLOIDES 'MOUDRY'	15	EMITTER	1 GALLON CONTAINER
HEAVY METAL SWITCH GRASS	HMSG	HEAVY METAL SWITCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'	3	1.2 GPH	1 GALLON CONTAINER
EL YORO MAHLY GRASS	EMG	EL YORO MAHLY GRASS	MULLENERBERGIA EMERSONI	17	1.0 GPH	1 GALLON CONTAINER, 3" X 3"
MORNING LIGHT MAIDEN GRASS	MLMG	MORNING LIGHT MAIDEN GRASS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3	1.2 GPH	1 GALLON CONTAINER

**LANDSCAPE NOTES:**  
 PLANTING IMPROVEMENTS (TREES, SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS) ARE TO TAKE PLACE CONSISTENTLY WITH THE PLAN AT THE LEFT AND THE PLANT LEGEND ABOVE. PLANT MATERIAL SIZES SHALL BE THE MINIMUM SIZES INDICATED ON THE LEGEND.

ALL PLANTING IMPROVEMENTS SHALL BE IRRIGATED BY MEANS OF AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM FEATURING THE FOLLOWING ELEMENTS:  
 • TREES ARE TO BE WATERED BY MEANS OF PRESSURE COMPENSATING FIXED PERCIPITATION RATE BUBBLER HEADS.  
 • ALL OTHER PLANTINGS (SHRUBS, GRASSES AND PERENNIALS) ARE TO BE WATERED BY MEANS OF DRIP TYPE EMITTERS SECURED TO POLYETHYLENE TUBING.  
 • AN ELECTRICAL CONTROLLER SHALL OPERATE THE VALVES, RELEASING WATER TO THE BUBBLERS AND EMITTERS (AS APPLICABLE) IN A FULLY PROGRAMMABLE MANNER.

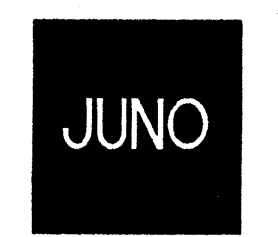
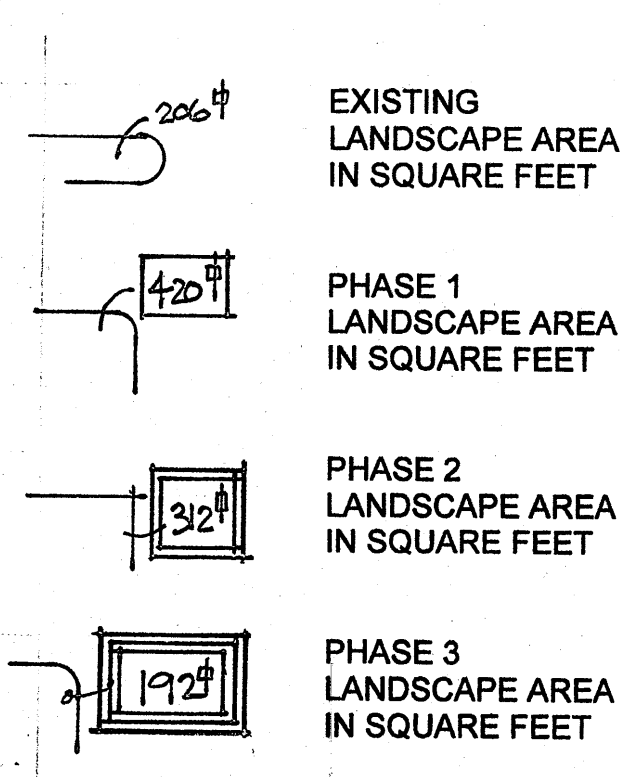
ALL PROPOSED PLANTING AREAS SHALL HAVE FILTER FABRIC THROUGHOUT COVERED WITH 3" TO 4" DEPTH OF 1" DIAMETER ROUND GREY GRAVEL MULCH THROUGHOUT TO MATCH EXISTING.

THE PROPERTY OWNER SHALL HAVE FULL RESPONSIBILITY FOR THE ONGOING MAINTENANCE OF THE PROPOSED PLANTING AND IRRIGATION IMPROVEMENTS. MAINTENANCE SHALL INCLUDE REMOVAL AND REPLACEMENT OF DEAD PLANT MATERIAL AND PLANT MATERIAL IN POOR CONDITION.

THE EXISTING TURFGRASS AREAS TYPICALLY FEATURE A COOL SEASON TYPE BLUEGRASS BLEND OF BLUEGRASS, FESCUE, AND RYE.

THE EXISTING TREES (LONDON PLANE, ASH, HONEY LOCUST, PEAR, PURPLE LEAF PLUM, PISTACHE, HAWTHORN, AND OTHER), EVERGREEN TREES (AUSTRIAN PINE, DEODAR CEDAR) AND SHRUBS THAT ARE TO REMAIN ARE PORTRAYED WITH DASHED SYMBOLS:  
 DECIDUOUS TREES: EVERGREEN TREES: SHRUBS:

**LEGEND:**



7925 Bosque St. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 896-3438

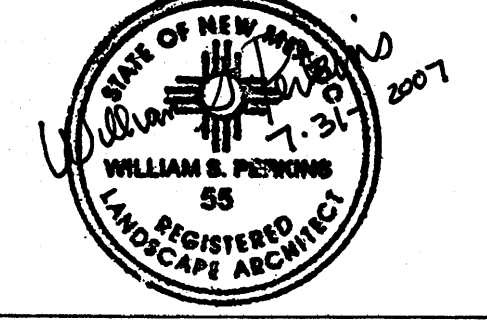
**PROJECT: TAYLOR RANCH STORAGE**

**SHEET TITLE: LANDSCAPE PLAN**

NO.	REVISION	DATE
1	ADD DETAIL NOTES	8-9-2007
2	REVISE TREE PLANTING	9-7-2007
3	PLANTING REFINEMENTS	10-16-2007

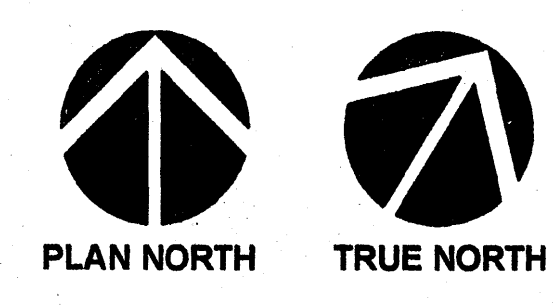
William S. Perkins, ASLA  
 Landscape Architect

ARCHITECT STAMP CONSULTANT STAMP DATE:



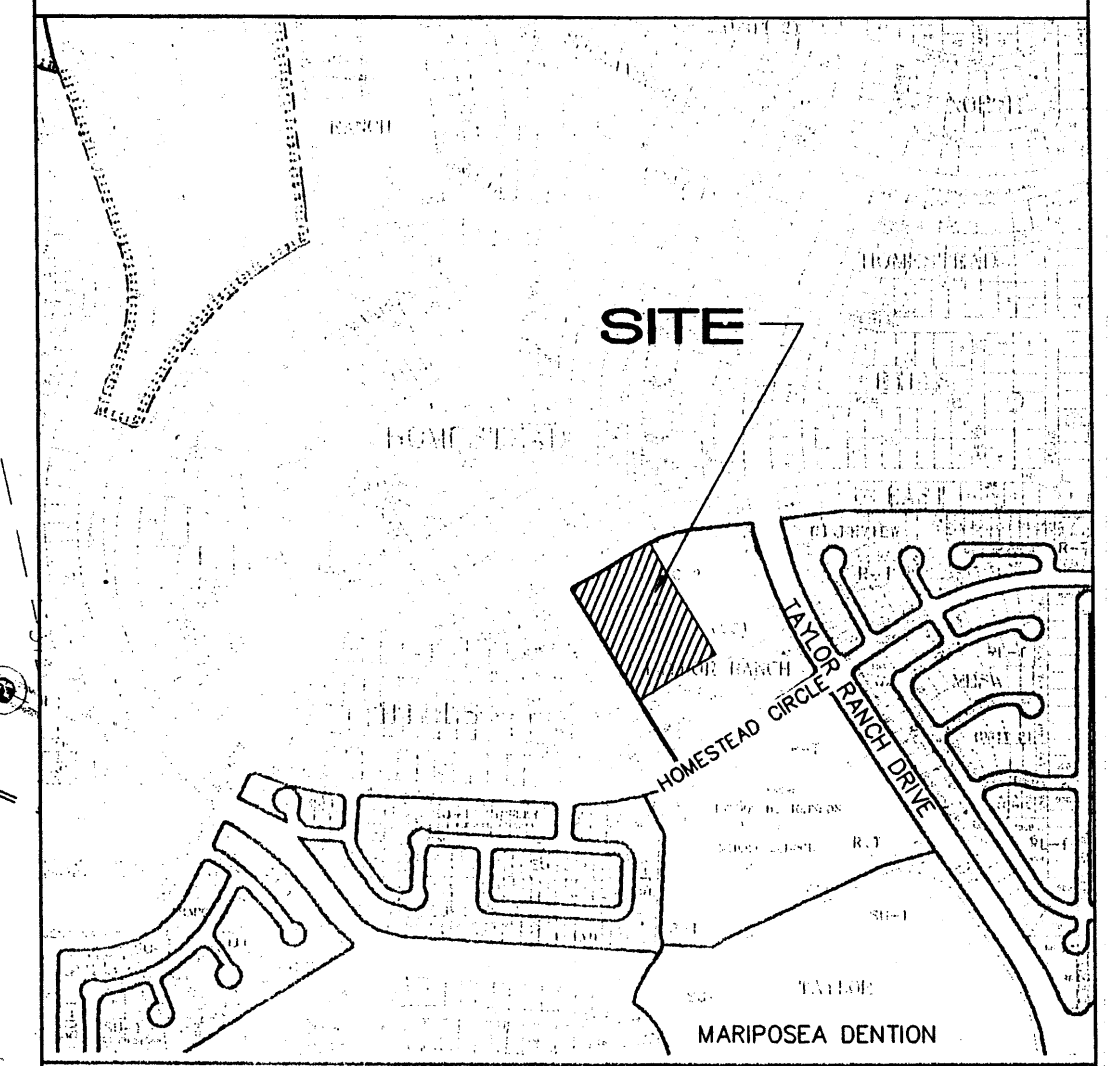
PROJECT NO. 0621  
 SHEET NO.

**L1.1**



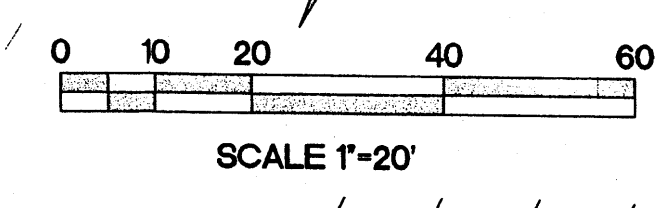
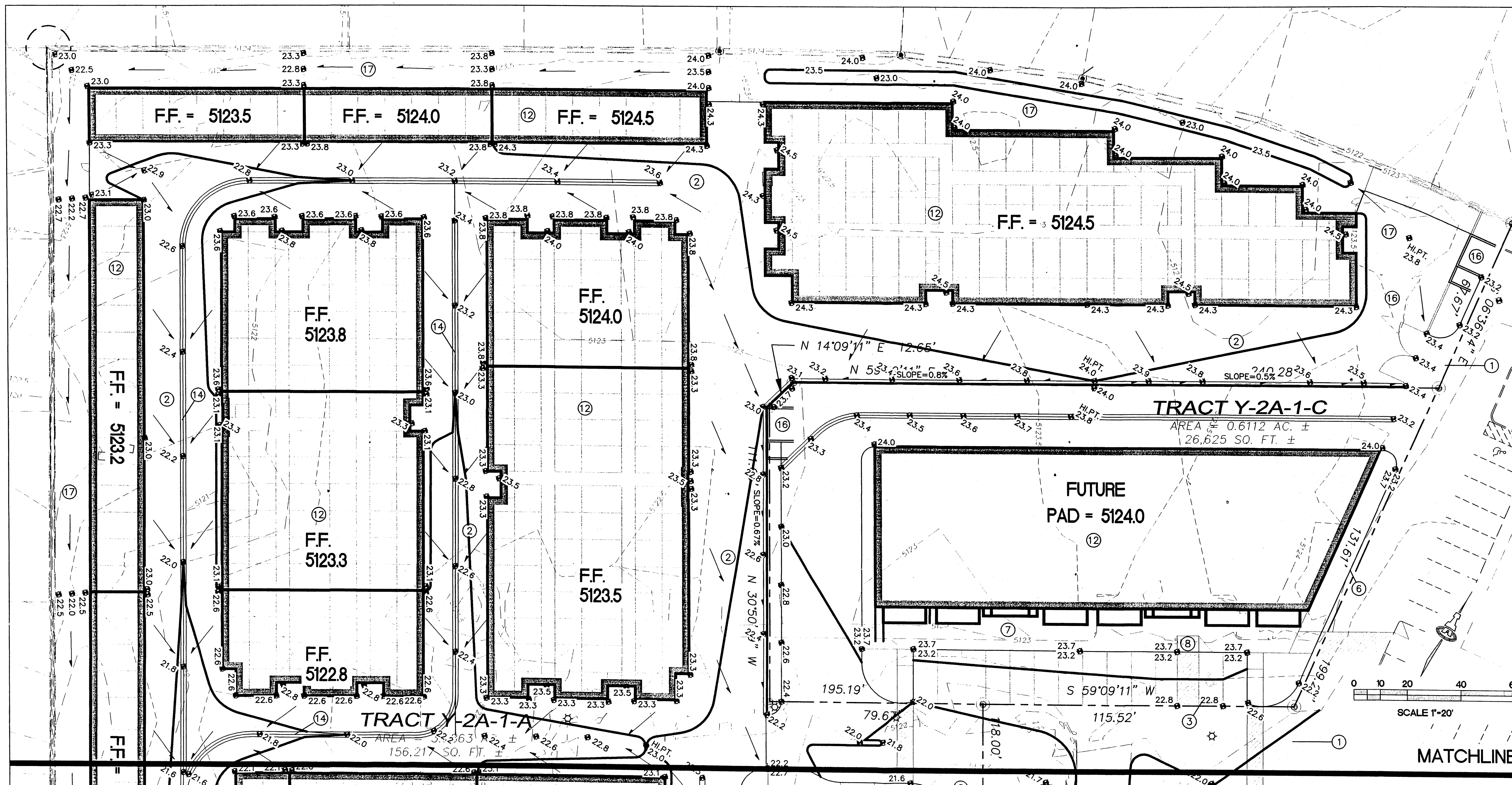
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**L1.1**





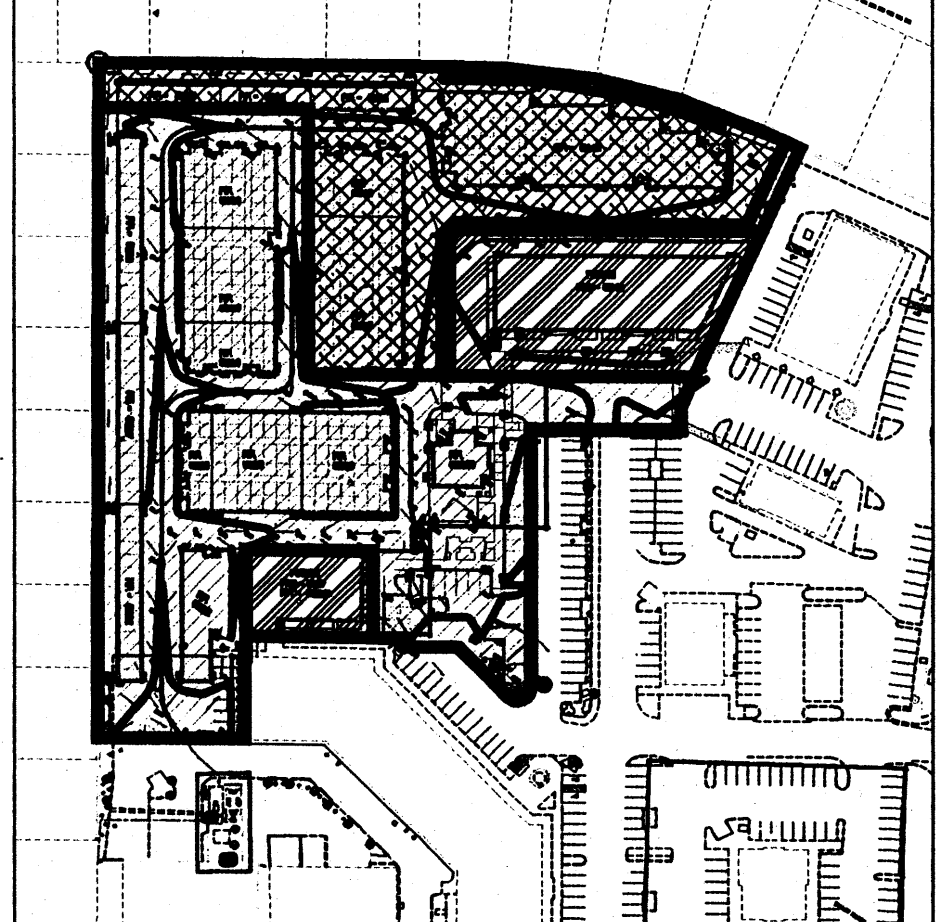
KEYED NOTES

- SAWCUT EXISTING ASPHALT (SEE DEMOLITION PLAN FOR EXTENTS) TO PROVIDE SMOOTH BONDING EDGE. CONSTRUCT NEW ASPHALT PAVING TO ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION TO EXISTING WHILE MAINTAINING POSITIVE DRAINAGE.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA. PROVIDE SMOOTH TRANSITION WITHIN ASPHALT PAVING FROM FLUSH WITH WALK TO 6" MEDIAN CURB AND GUTTER OVER 2' EACH SIDE.
- PROVIDE SWALE WITHIN NEW ASPHALT AT FLOWLINE ELEVATIONS SHOWN TO DIRECT DISCHARGE (MIN. 1% SLOPE).
- CONSTRUCT MEDIAN CURB AND GUTTER AT ALL CURB LOCATIONS UNLESS NOTED OTHERWISE. SEE DETAIL THIS SHEET.
- CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE ARCHITECTURAL.
- CONSTRUCT 6" DEPRESSED LANDSCAPED BASIN TO ACCEPT SITE DRAINAGE. FLOW IN EXCESS OF LANDSCAPE BASIN CAPACITY WILL PASS BACK TO PAVEMENT TO CONTINUE ALONG PROPOSED DRAINAGE PATH.
- PROVIDE 2' WIDE X 6" HIGH OPENING IN PERIMETER WALL AT FLOWLINE ELEVATION. CONSTRUCT 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH LANDSCAPED AREA TO PASS FLOW. MIN. SLOPE = 1%.
- EXTEND NEW ALLEY GUTTER TO EXISTING PAVEMENT LOW POINT. PROVIDE THREE TURNED BLOCKS (EQUIVALENT TO 3' WIDE X 6" HIGH OPENING) IN PERIMETER WALL AT FLOWLINE.
- ALL BUILDING ROOF DISCHARGE TO BE RELEASED DIRECTLY TO INTERIOR PAVEMENT. NO DRAINAGE WILL BE PASSED TO PERIMETER LANDSCAPING.
- EXISTING COVERED SIDEWALK CULVERTS DRAIN ALL SITE FLOW TO HOMESTEAD CIRCLE, N.W. SEE PHOTO EXHIBIT. (INFO. ONLY)
- CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN AT ALL FLOWLINES < 1% SLOPE. SEE DETAIL THIS SHEET.
- PROVIDE 1' OPENING (BOTTOM WIDTH) IN CURB TO PASS FLOW TO LANDSCAPED BASIN. EXCESS FLOW WILL SPILL OVER TOP OF CURB ON LOW SIDE. FILLET EDGES.
- CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
- GRADES SHOWN WITHIN LANDSCAPED AREAS ARE FOR GENERAL GRADING INFORMATION TO INDICATE DRAINAGE DIRECTION. PROVIDE POSITIVE GRADING AWAY FROM BUILDING AND PERIMETER WALLS. SEE LANDSCAPE PLAN FOR ADDITIONAL LANDSCAPE INFORMATION.



SCALE 1"=20'

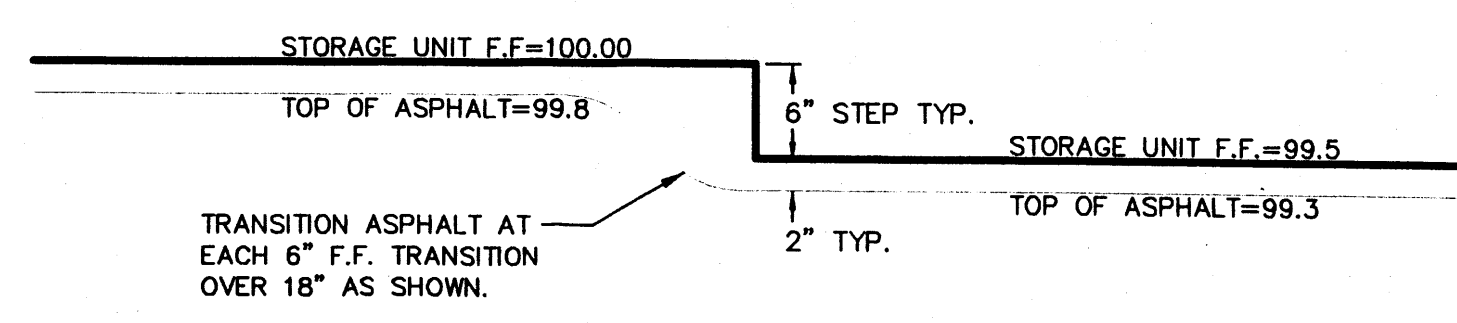
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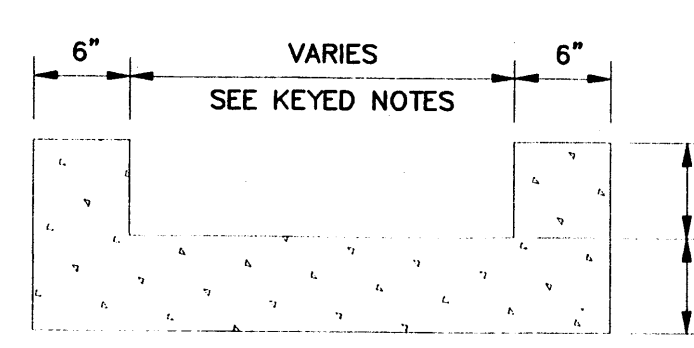
- PHASE 1
- PHASE 2
- PHASE 3

LEGEND

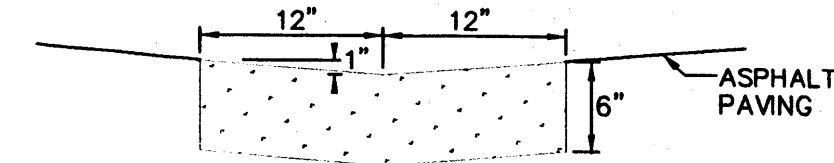
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5123.3 FINISH FLOOR ELEVATION
- FL FLOWLINE ELEVATION



ASPHALT TRANSITION AT BLDG. STEPS

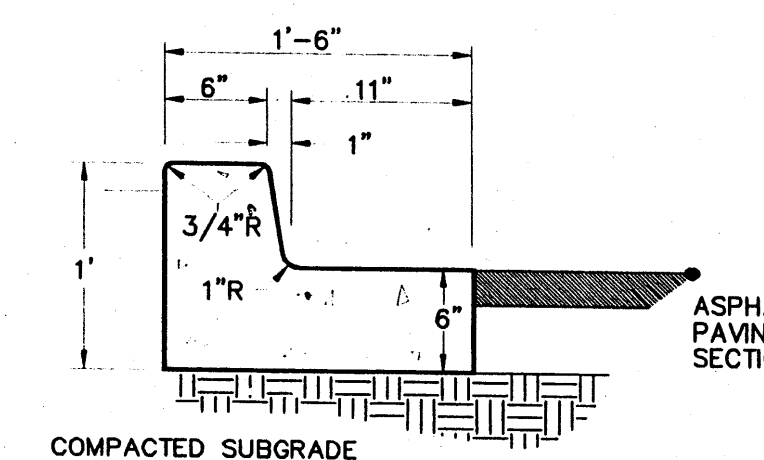


- GENERAL NOTES
- PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX.
  - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL



CONCRETE ALLEY GUTTER

- GENERAL NOTES
- PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX.
  - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL



MEDIAN CURB AND GUTTER

- GENERAL NOTES
- PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX.
  - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL
  - MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

ISAACSON & ARFMAN, P.A.  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
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 PH: 505-268-8828 Fax: 505-268-2632  
 1618 C-101.dwg Oct 18, 2007

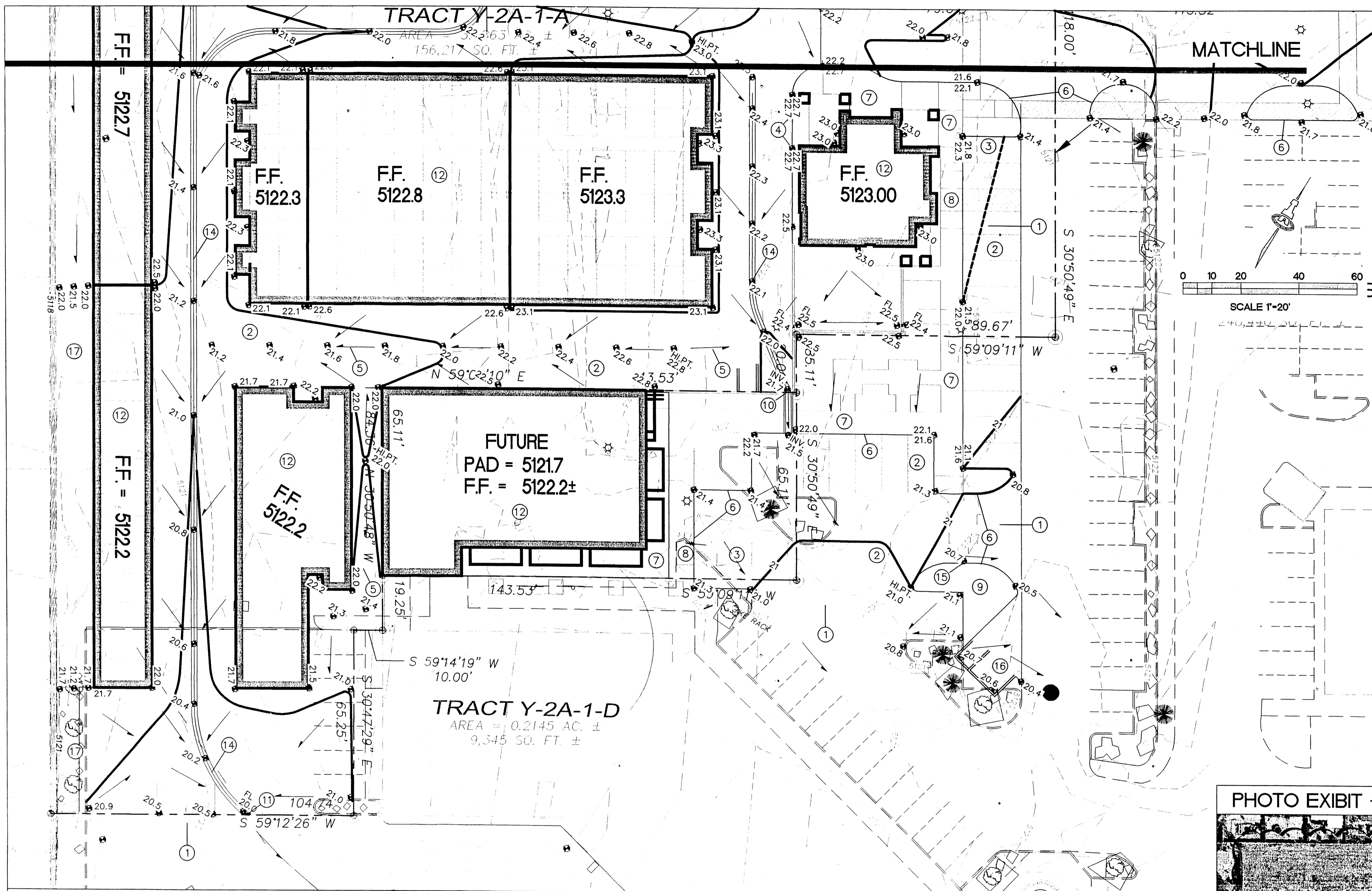
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TAYLOR RANCH SELF STORAGE

GRADING AND DRAINAGE PLAN - NORTH

Date: 10-17-07	No. 1618	Revision	Date	Job No. 1618
Drawn By: BJB				C-101
Clk By: GLD				





### LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5123.3 FINISH FLOOR ELEVATION
- FL FLOWLINE ELEVATION

SCALE 1"=20'

### PROJECT DATA

EXISTING: THE SITE IS AN UNDEVELOPED PORTION OF A COMMERCIAL PROPERTY WITHIN C.O.A. VICINITY MAP D-11. THE SITE IS BOUND TO THE EAST BY TAYLOR RANCH DR. NW, TO THE SOUTH BY HOMESTEAD CIRCLE, NW, AND TO THE NORTH AND EAST BY DEVELOPED RESIDENTIAL.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE SELF-STORAGE BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, LANDSCAPING AND MANAGERS RESIDENCE. TWO ADDITIONAL COMMERCIAL PADS WILL BE GRADED AS PART OF THIS PHASE OF CONSTRUCTION.

LEGAL: LOT Y2A1, TAYLOR RANCH, ALBUQUERQUE, NM  
ADDRESS: 5105 HOMESTEAD CIRCLE S.W.

BENCHMARK: ELEVATION DATUM IS BASED ON NGVD 1929 FROM ACS MONUMENT "7-D11", ELEVATION (FEET) = 5116.66.  
DESCRIBED AS: ACS 1 3/4" ALUMINUM DISK, STAMPED "ACS BM, 7-D11", 3-RD ORDER, EXPOSED TO TOP OF CONCRETE BASE OF TRAFFIC LIGHT STANCHION, NORTHWESTERLY QUADRANT OF TAYLOR RANCH RD. AND HOMESTEAD CIR. (SOUTHERLY PORTION), NW, ON THE WESTERLY CORNER OF SAID CONCRETE BASE.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #112, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

### KEYED NOTES

SEE SHEET C-101 FOR ALL GRADING AND DRAINAGE PLAN KEYED NOTES

- ### GENERAL NOTES
- A. COORDINATE WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
  - B. SEE SITE DEMOLITION PLAN FOR ALL SITE DEMOLITION INFORMATION.
  - C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION, REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
  - D. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
  - E. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING / PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
  - F. WATER SHALL NOT POND ON PAVED AREAS, WHERE NEW/EXIST. GRADES ARE SHOWN AS 'MATCH', TRANSITION SHALL BE SMOOTH AND LEVEL.
  - G. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
  - H. SWPPP REQUIREMENTS: BECAUSE THIS SITE DEVELOPMENT DISTURBS MORE THAN 1 ACRE OF LAND IN BERNALILLO COUNTY, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) INCLUDING A COPY OF THE NOI SUBMITTED TO EPA, MUST BE SUBMITTED TO BERNALILLO COUNTY FOR ACCEPTANCE PRIOR TO ISSUANCE OF A GRADING OR PAVING PERMIT.

### CALCULATIONS

THE PROPOSED IMPROVEMENTS INCREASE THE DISCHARGE FROM THE ENTIRE PROPERTY (LOT Y2A1) FROM 35.2 CFS TO 45.1 CFS FOR THE 100-YEAR, 6-HOUR STORM EVENT.

THE PROPOSED ON-SITE IMPROVEMENTS WILL SURFACE DRAIN TO THE SURROUNDING EXISTING PAVEMENT TO FOLLOW THE HISTORIC ON-SITE DISCHARGE PATHS TO THE PAVED CUL-DE-SAC AT THE SOUTHWEST CORNER OF THE PROPERTY.

PER THE APPROVED OVERALL GRADING PLAN FOR THE HOMESTEAD HILLS SHOPPING CENTER, THE FULLY DEVELOPED SITE IS PERMITTED FREE DISCHARGE TO HOMESTEAD CIRCLE, N.W. VIA FOUR 24" WIDE SIDEWALK CULVERTS CONSTRUCTED AS PART OF C.O.A. PROJECT 26-4091.90-91. FLOW WILL CONTINUE ALONG THE HISTORIC ROUTE ACROSS HOMESTEAD CIRCLE TO AN EXISTING DRAINAGE ROUNDTO TO THE MARIPOSA DETENTION FACILITY (A.M.A.F.C.A.). NO DISCHARGE WILL BE DIRECTED TO TAYLOR RANCH DR. S.W.

PER THE CONCEPTUAL GRADING AND DRAINAGE PLAN AT LEFT, THE STORAGE FACILITY WILL SPLIT DISCHARGE WITH APPROX. 50% EACH TO THE EAST AND SOUTH TO AVOID OVERTAXING A SINGLE ROUTE.

**CALCULATIONS: 1618 - TAYLOR RANCH SELF-STORAGE : July 26, 2007**  
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE	
AREA: TOTAL SITE (LOT Y2-A1):	440627 SF = 10.1 Ac.

HISTORIC FLOWS:	DEVELOPED FLOWS:	EXCESS PRECIP:
On-Site Historic Land Condition	On-Site Developed Land Condition	Precip. Zone 1
Area a = 0 SF	Area a = 0 SF	Ea = 0.44
Area b = 154219 SF	Area b = 22031 SF	Eb = 0.67
Area c = 22031 SF	Area c = 44063 SF	Ec = 0.99
Area d = 264376 SF	Area d = 374533 SF	Ed = 1.97
Total Area = 440627 SF	Total Area = 440627 SF	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)  
Weighted E =  $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$

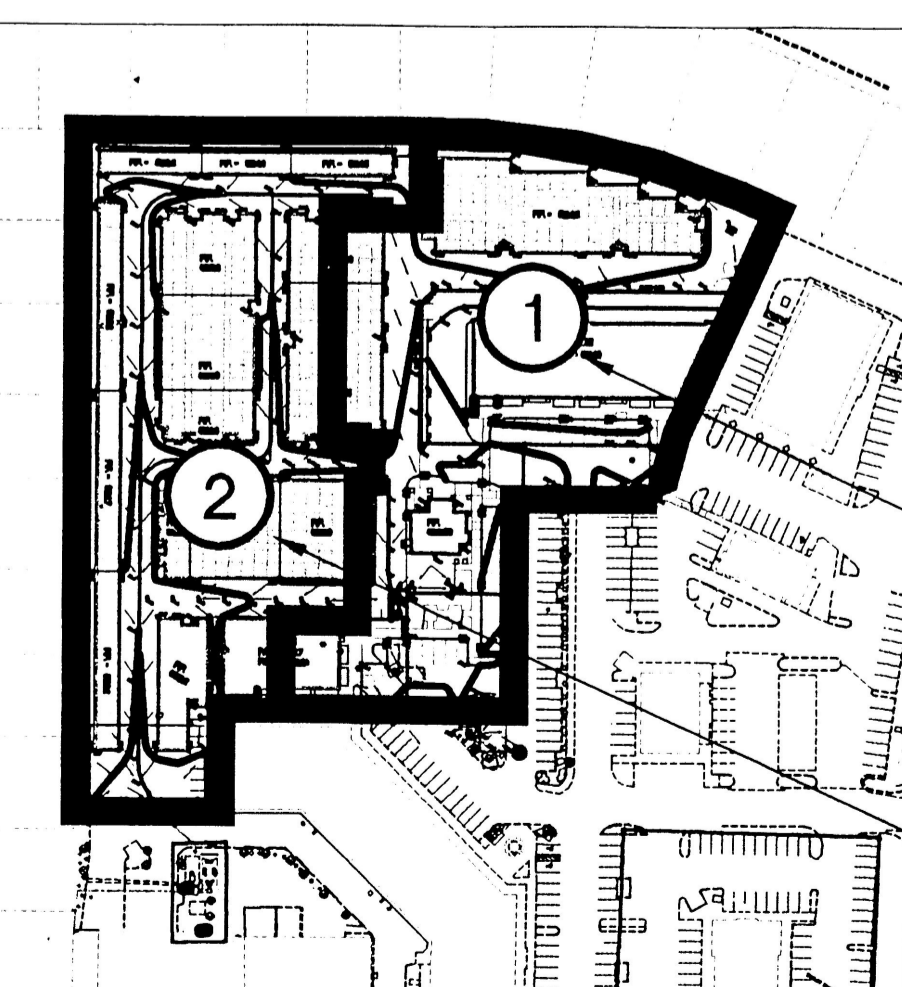
Historic E = 1.47 in	Developed E = 1.81 in.
----------------------	------------------------

On-Site Volume of Runoff, V360 =  $E \cdot A / 12$

Historic V360 = 53830 CF	Developed V360 = 66351 CF
--------------------------	---------------------------

On-Site Peak Discharge Rate:  $Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560$   
For Precipitation Zone 1

Qpa = 1.29	Qpc = 2.87
Qpb = 2.03	Qpd = 4.37
Historic Qp = 35.2 CFS	Developed Qp = 41.5 CFS



BASIN NO.	DESCRIPTION	DRAINING TO EAST
1	102618 SF	2.4 Ac.

The following calculations are based on Treatment areas as shown in table to the right

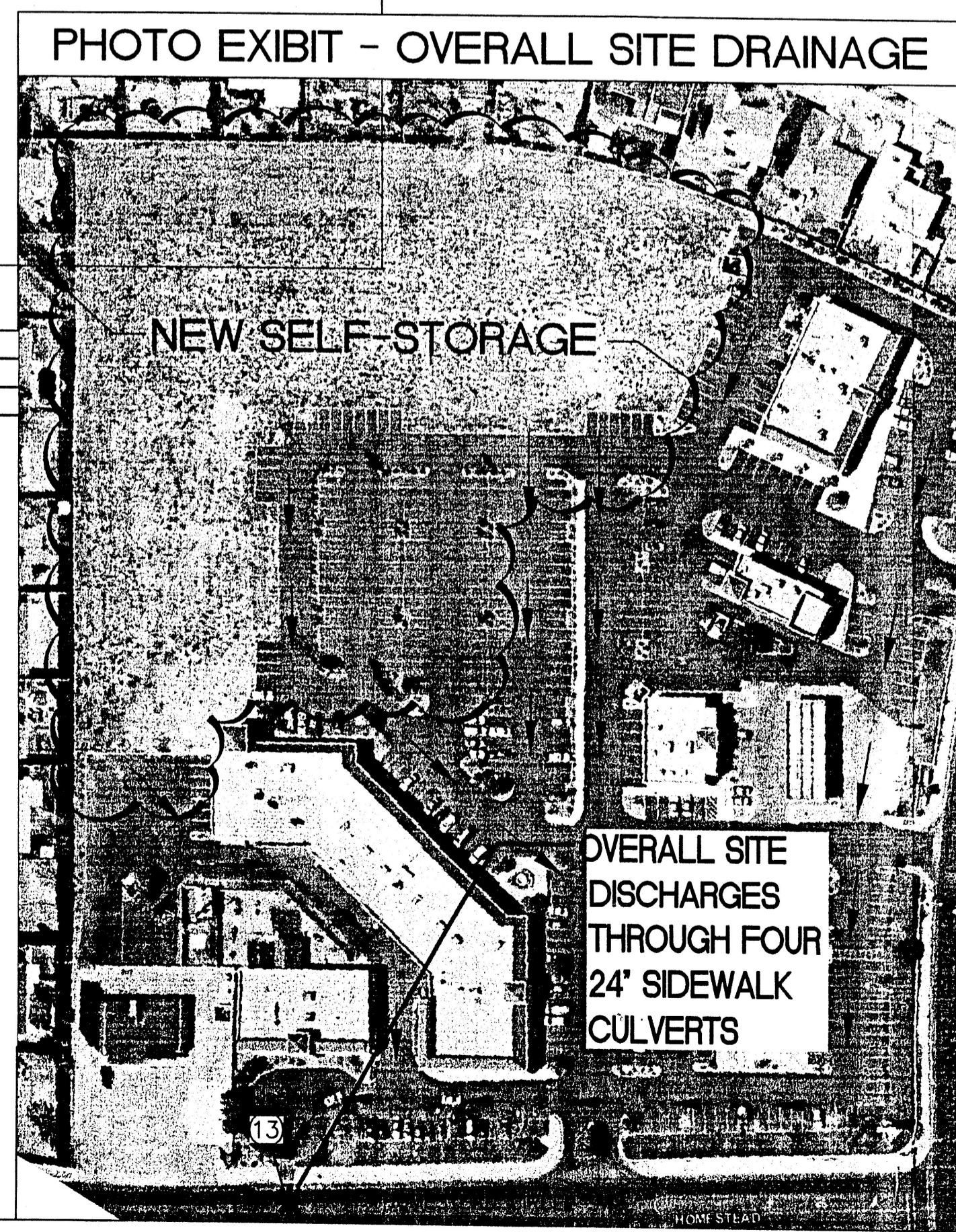
Sub-basin Weighted Excess Precipitation (see formula above)	
Weighted E = 1.82 in.	TREATMENT
Sub-basin Volume of Runoff (see formula above)	A = 0%
V360 = 15589 CF	B = 0%
Sub-basin Peak Discharge Rate: (see formula above)	C = 15%
Qp = 9.8 cfs	D = 85%

BASIN NO.	DESCRIPTION	DRAINING TO SOUTH
2	99922 SF	2.3 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)	
Weighted E = 1.82 in.	TREATMENT
Sub-basin Volume of Runoff (see formula above)	A = 0%
V360 = 15183 CF	B = 0%
Sub-basin Peak Discharge Rate: (see formula above)	C = 15%
Qp = 9.5 cfs	D = 85%



**ISAACSON & ARFMAN, P.A.**  
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Ph: 505-268-8828 Fax: 505-268-2632  
1618 C-101.dwg Oct 18, 2007

**TAYLOR RANCH SELF STORAGE**

**GRADING AND DRAINAGE PLAN - SOUTH**

Date:	No.:	Revised:	Date:	Job No.:
10-17-07				1618
Drawn By:				C-102
BJB				
Ckd By:				
GLD				





Existing Building 'C'

Future Retail/Service 'B'

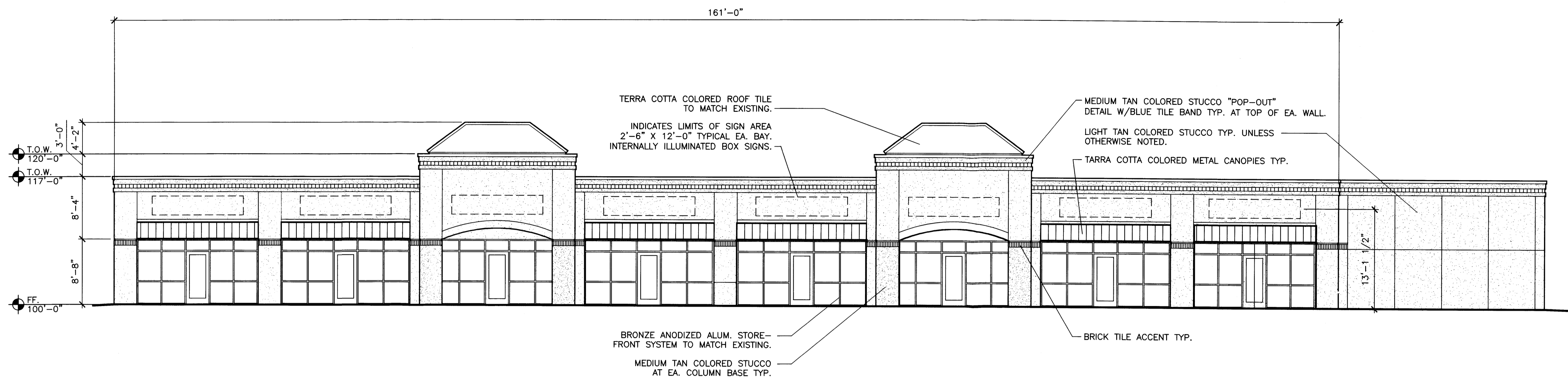
Storage Facility

Future Retail/Service 'A'

# Taylor Ranch Storage - Elevation Rendering

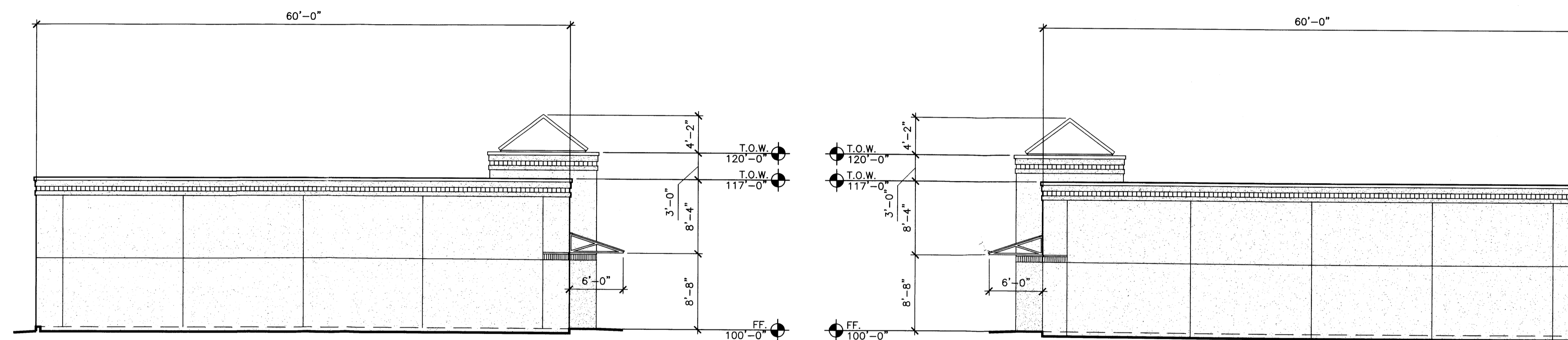


**KEYED NOTES**



**SOUTH ELEVATION - RETAIL/SERVICE BUILDING 'A'**

0 4' 8' 16' **1**  
SCALE: 1/8" = 1'-0" **A2.1**

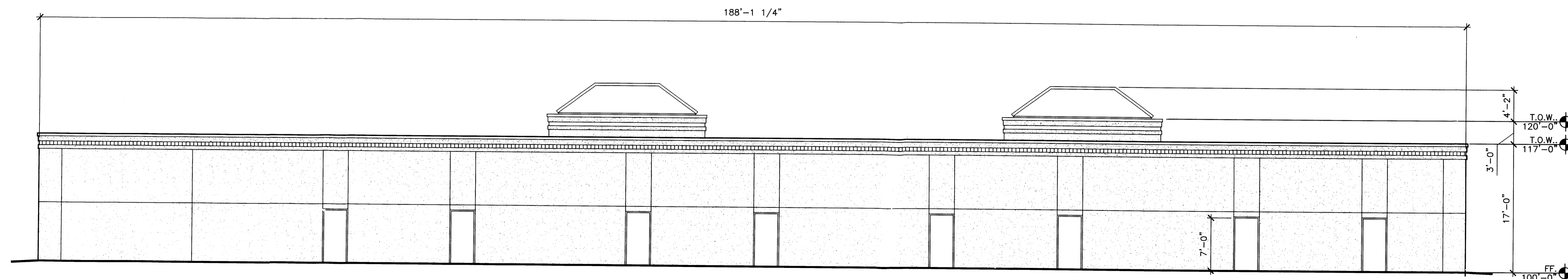


**WEST ELEVATION - RETAIL/SERVICE BUILDING 'A'**

0 4' 8' 16' **3**  
SCALE: 1/8" = 1'-0" **A2.1**

**EAST ELEVATION - RETAIL/SERVICE BUILDING 'A'**

0 4' 8' 16' **2**  
SCALE: 1/8" = 1'-0" **A2.1**



**NORTH ELEVATION - RETAIL/SERVICE BUILDING 'A'**

0 4' 8' 16' **4**  
SCALE: 1/8" = 1'-0" **A2.1**



**ARCHITECTS**

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)896-3438

PROJECT:  
**TAYLOR RANCH  
SELF STORAGE**

SHEET TITLE:  
**RETAIL/SERVICE BUILDING 'A' ELEVATIONS**

NO. \_\_\_\_\_ REVISION \_\_\_\_\_ DATE \_\_\_\_\_

ARCHITECT STAMP \_\_\_\_\_ CONSULTANT STAMP \_\_\_\_\_

STATE OF NEW MEXICO  
KEVIN JUNO  
No. 1603

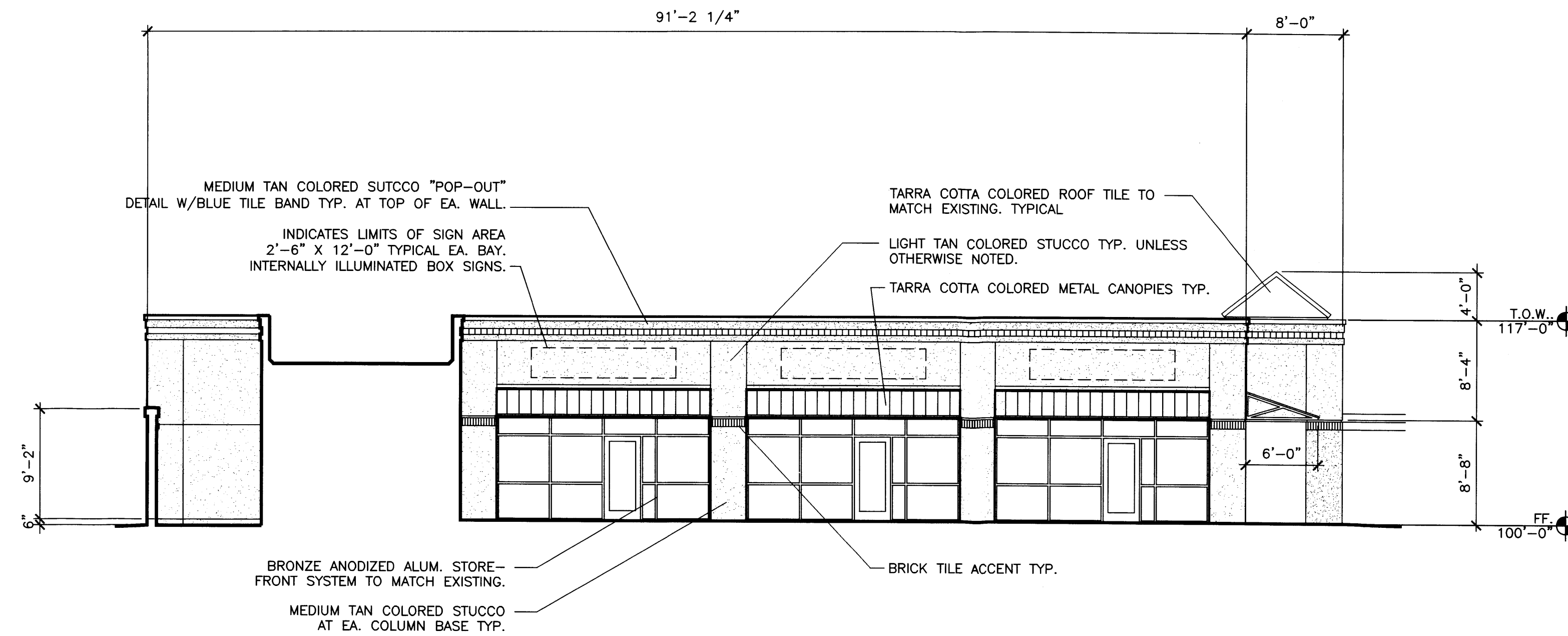
*Kevin Juno* 10-19-07

DATE:  
**10-19-07**  
PROJECT NO.  
**0621**  
SHEET NO.

**A2.1**

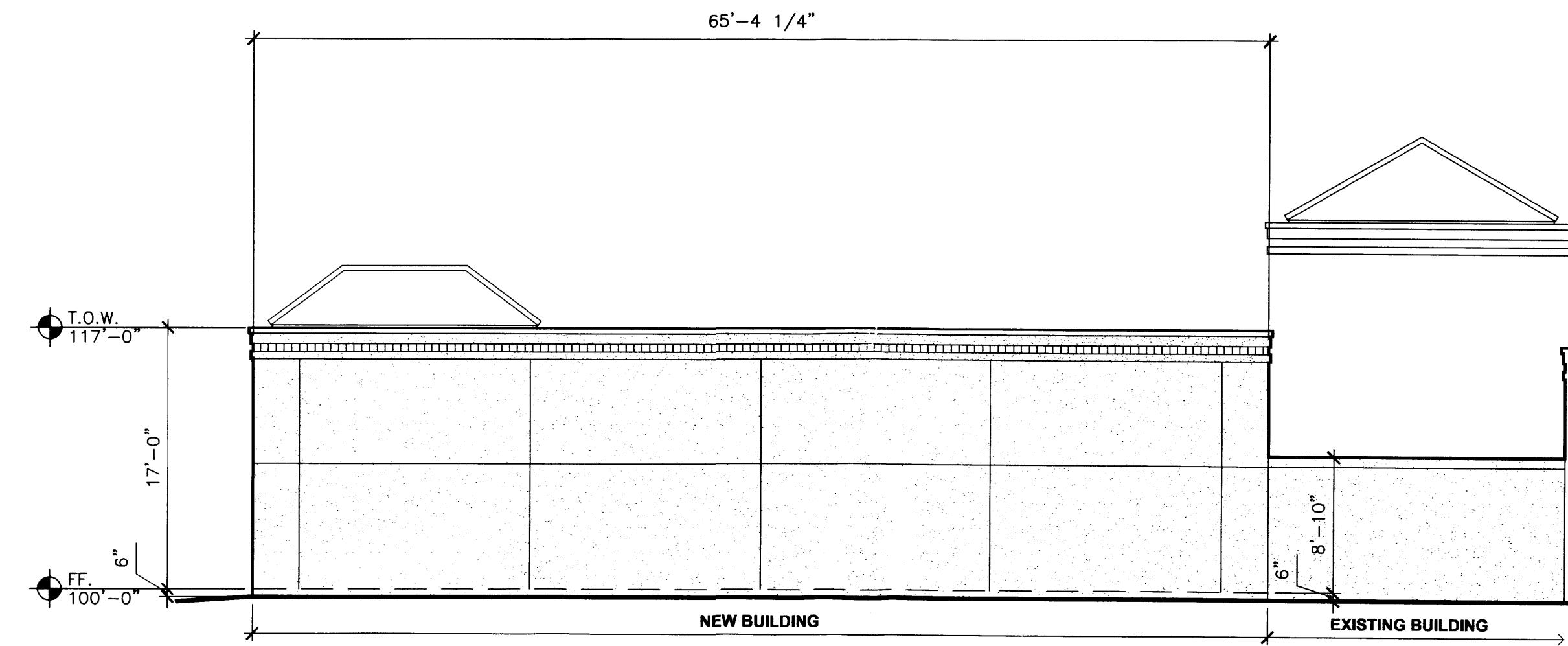


**KEYED NOTES**



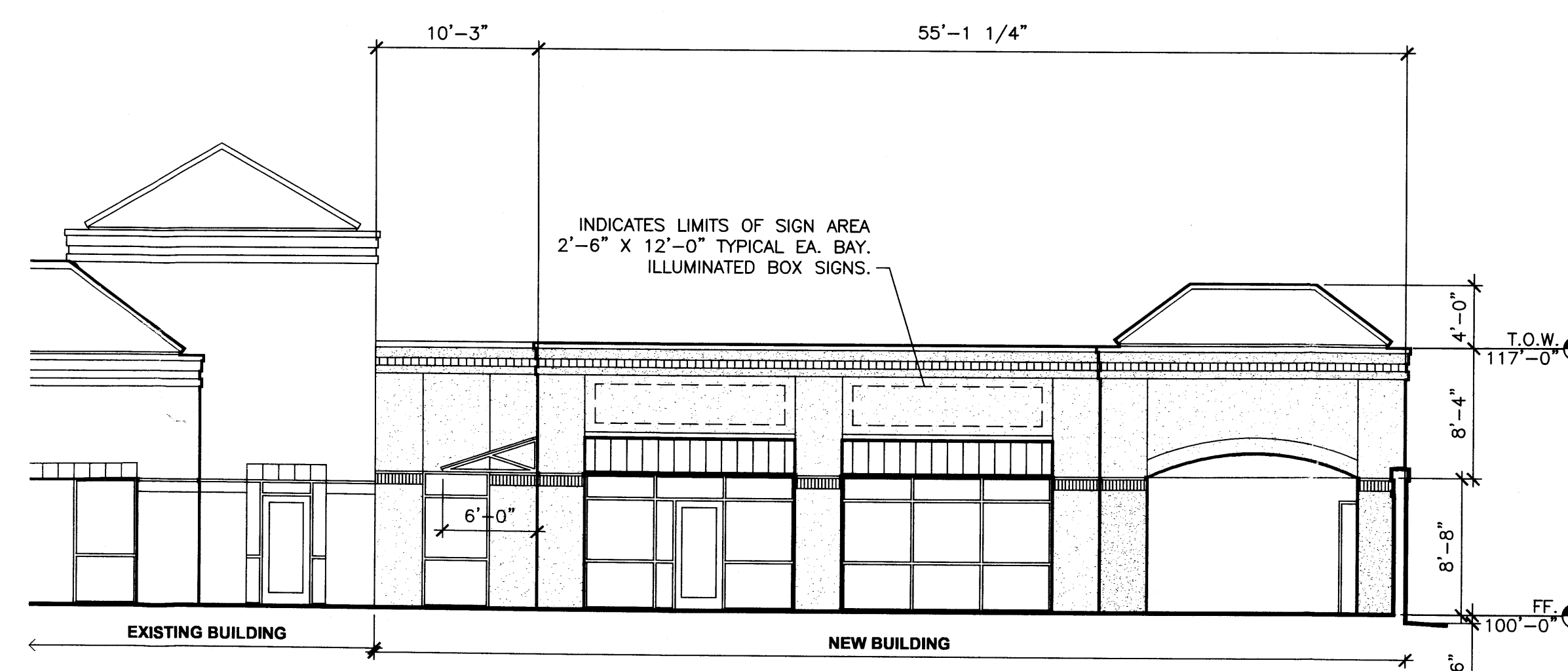
**SOUTH ELEVATION - RETAIL/SERVICE BUILDING 'B'**

0 4' 8' 16' **1**  
SCALE: 1/8" = 1'-0" **A2.2**



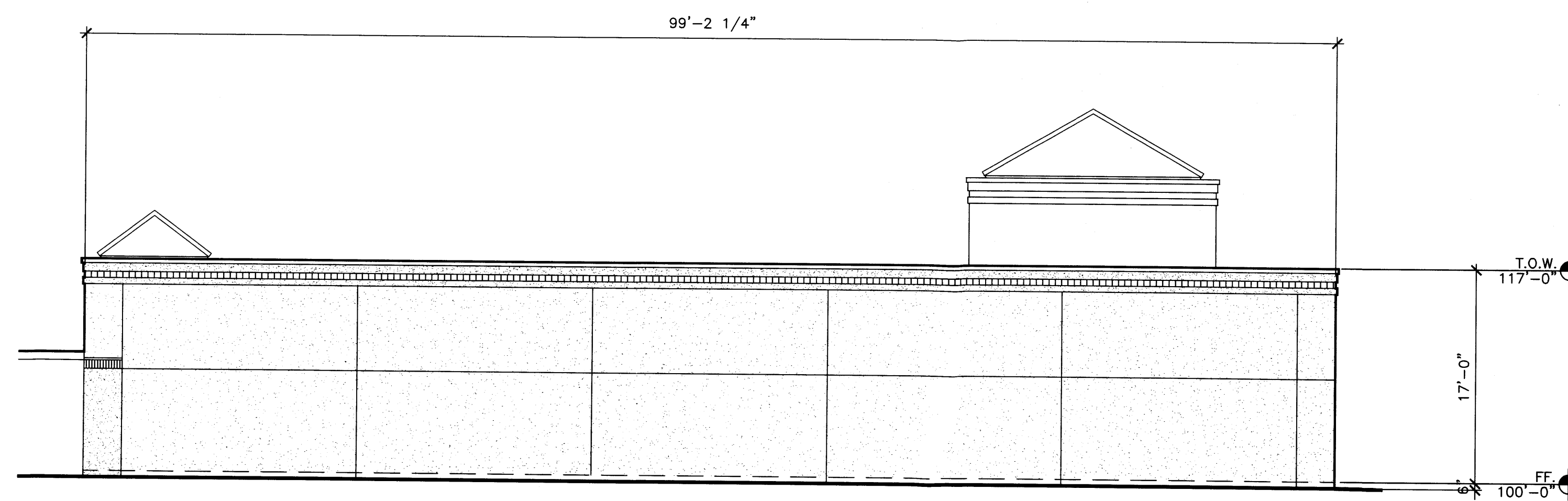
**WEST ELEVATION - RETAIL/SERVICE BUILDING 'B'**

0 4' 8' 16' **3**  
SCALE: 1/8" = 1'-0" **A2.2**



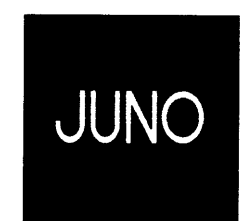
**EAST ELEVATION - RETAIL/SERVICE BUILDING 'B'**

0 4' 8' 16' **2**  
SCALE: 1/8" = 1'-0" **A2.2**



**NORTH ELEVATION - RETAIL/SERVICE BUILDING 'B'**

0 4' 8' 16' **4**  
SCALE: 1/8" = 1'-0" **A2.2**



**ARCHITECTS**

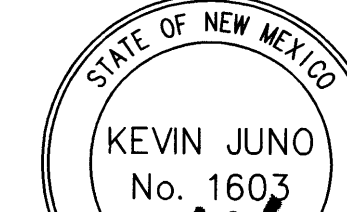
7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)896-3438

PROJECT:  
**TAYLOR RANCH  
SELF STORAGE**

SHEET TITLE:  
**RETAIL/SERVICE BUILDING 'B' ELEVATIONS**

NO.	REVISION	DATE

ARCHITECT STAMP      CONSULTANT STAMP      DATE:



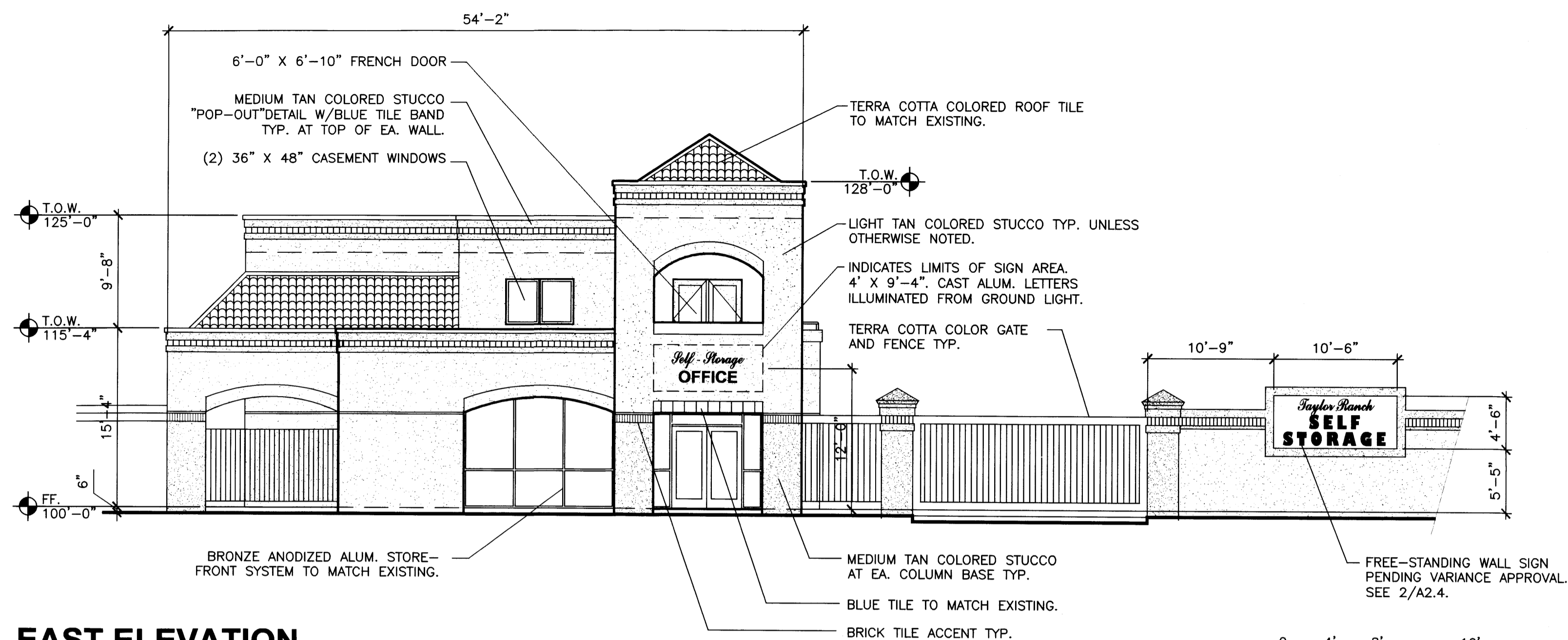
*Kevin Juno* 10-19-01

DATE:  
**10-19-07**  
PROJECT NO.  
**0621**  
SHEET NO.

**A2.2**



**KEYED NOTES**



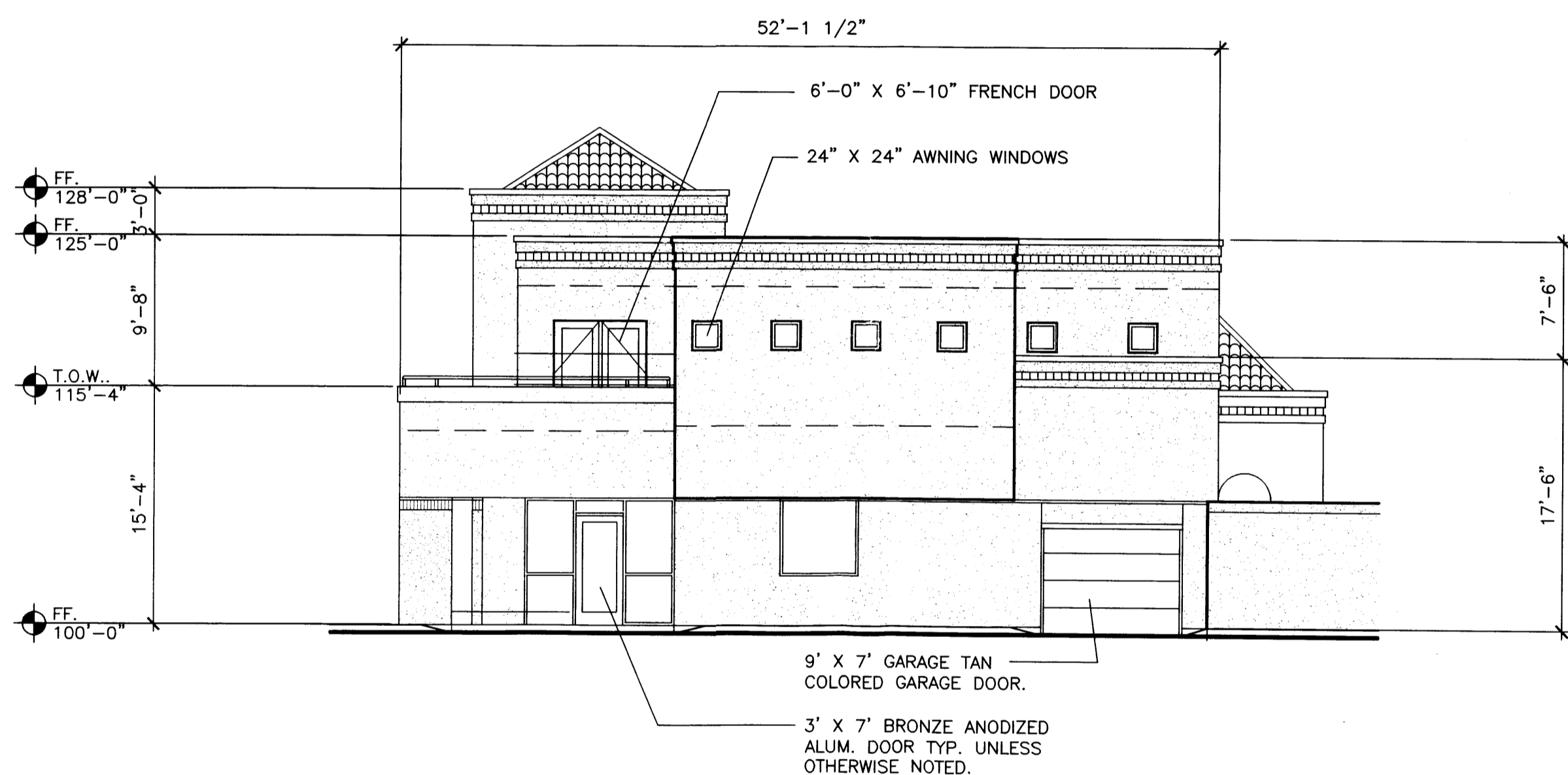
**EAST ELEVATION**

0 4' 8' 16'  
SCALE: 1/8" = 1'-0" **A2.3**



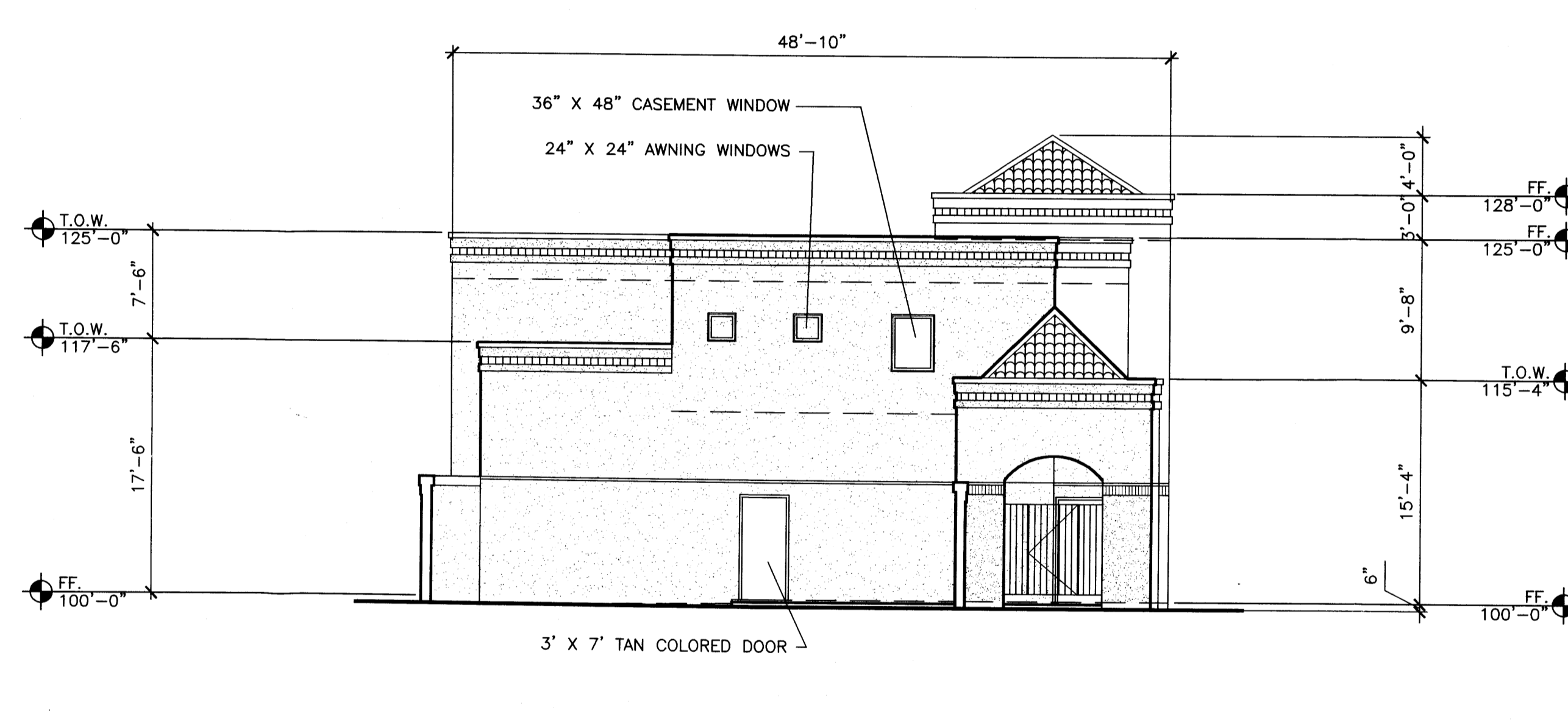
**NORTH ELEVATION**

0 4' 8' 16'  
SCALE: 1/8" = 1'-0" **A2.3**



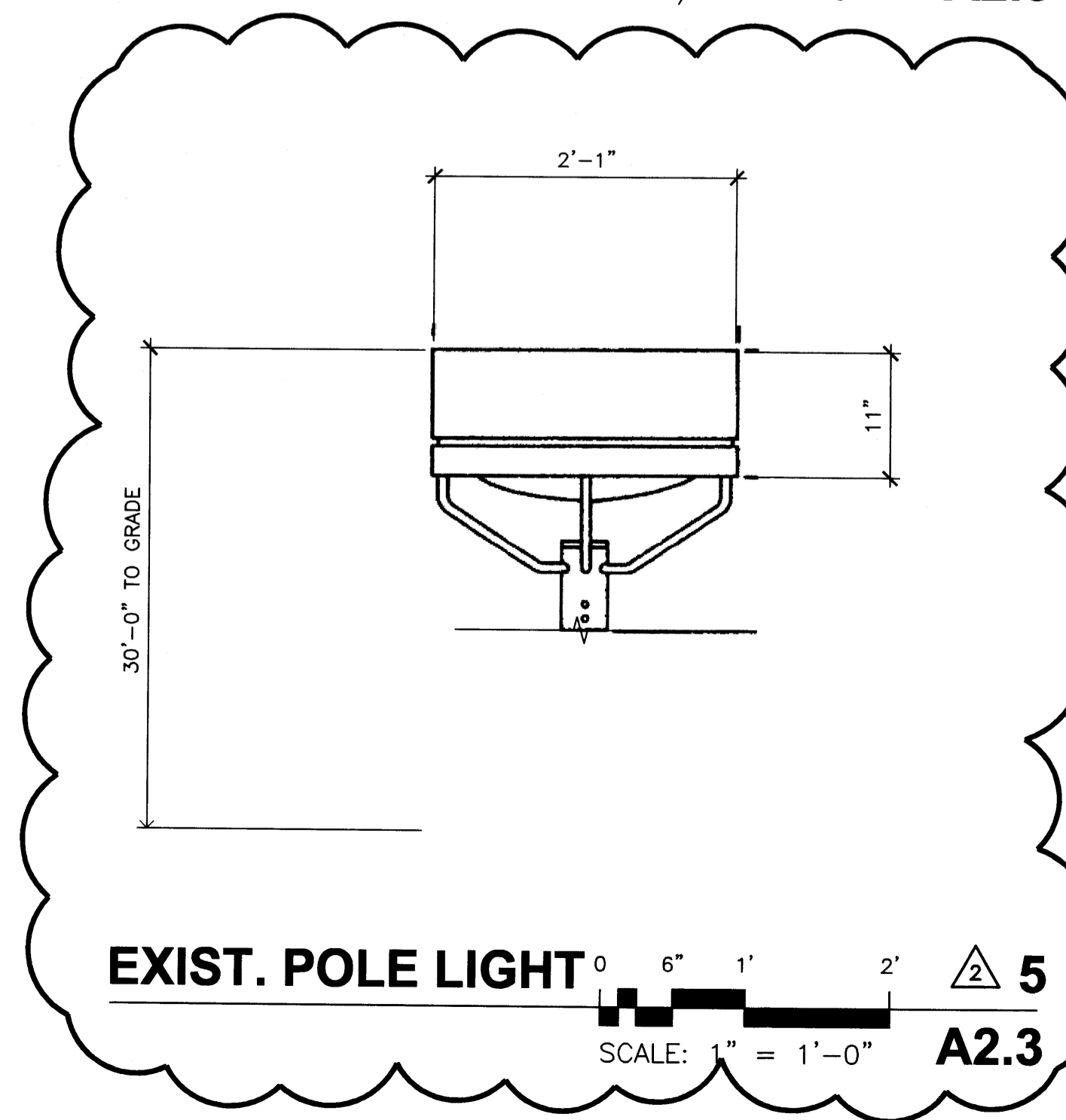
**WEST ELEVATION**

0 4' 8' 16'  
SCALE: 1/8" = 1'-0" **A2.3**



**SOUTH ELEVATION**

0 4' 8' 16'  
SCALE: 1/8" = 1'-0" **A2.3**



**EXIST. POLE LIGHT** 0 6' 1' 2'  
SCALE: 1" = 1'-0" **A2.3**

**JUNO**  
ARCHITECTS  
7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)896-3438

PROJECT:  
**TAYLOR RANCH  
SELF STORAGE**

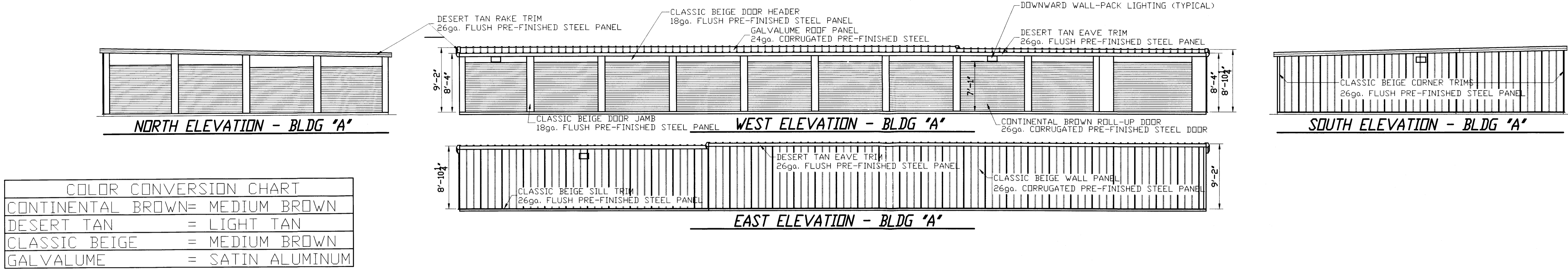
SHEET TITLE:  
**OFFICE/MANAGER'S QUARTERS ELEVATIONS**

NO.	REVISION	DATE
2	EPC CONDITIONS	10-15-07

ARCHITECT STAMP      CONSULTANT STAMP      DATE:  
STATE OF NEW MEXICO      KEVIN JUNO      10-19-07  
No. 1603      No. 1603      PROJECT NO.  
0621  
SHEET NO.  
**A2.3**

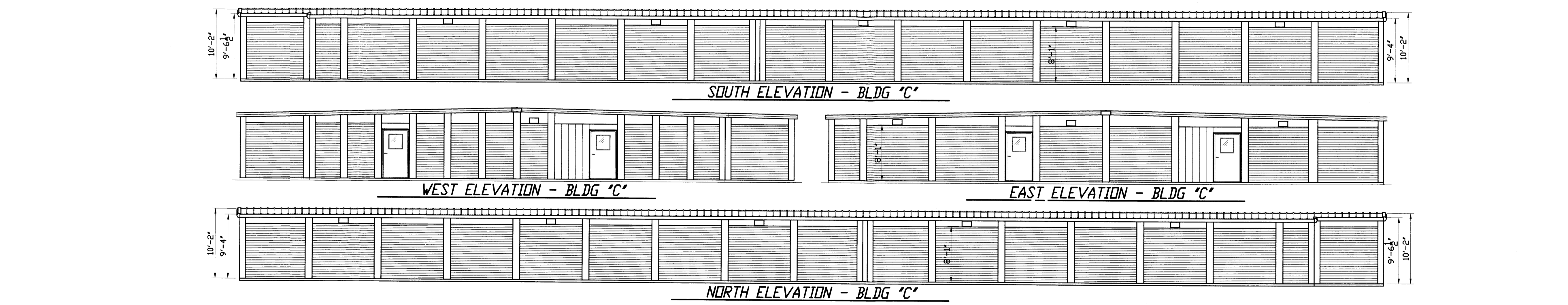
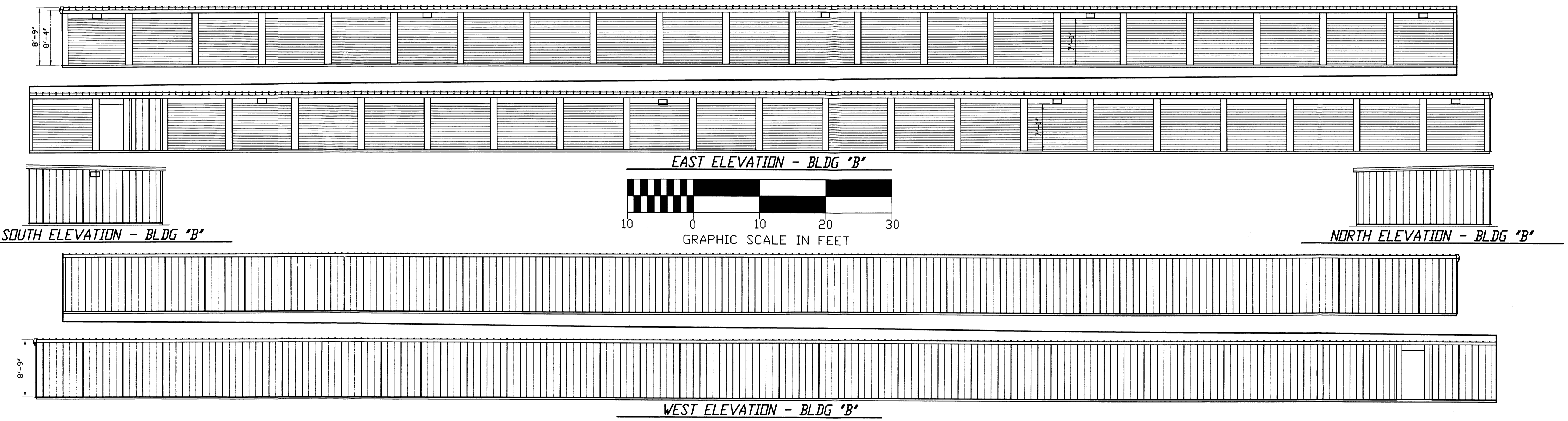


REVISION	By
SEPTEMBER 6, 2007	MAS

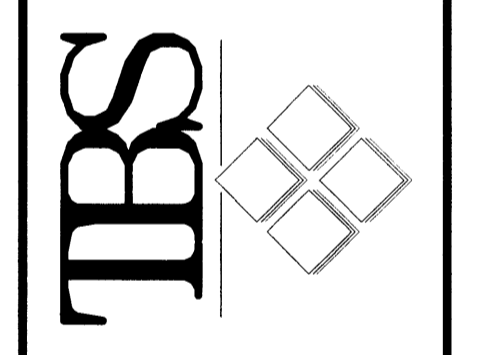


**COLOR CONVERSION CHART**

CONTINENTAL BROWN	= MEDIUM BROWN
DESERT TAN	= LIGHT TAN
CLASSIC BEIGE	= MEDIUM BROWN
GALVALUME	= SATIN ALUMINUM



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PROPOSED MINI STORAGE SYSTEM for:  
**DAN RICH**  
**ALBUQUERQUE, NM**

**BUILDING ELEVATIONS**

Date: **JULY 27, 2007**

Drawn by: **MAS**

Scale: **1/8" = 1'-0"**

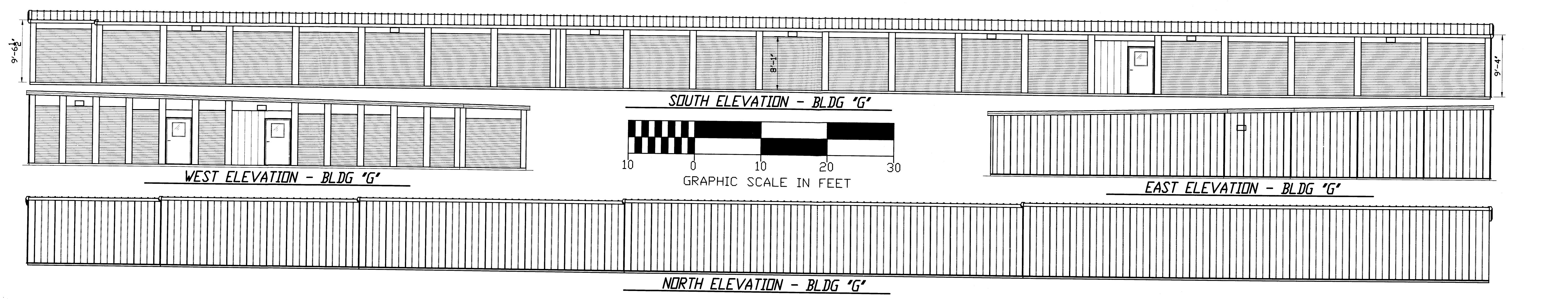
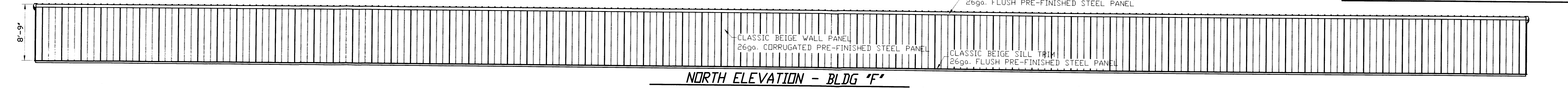
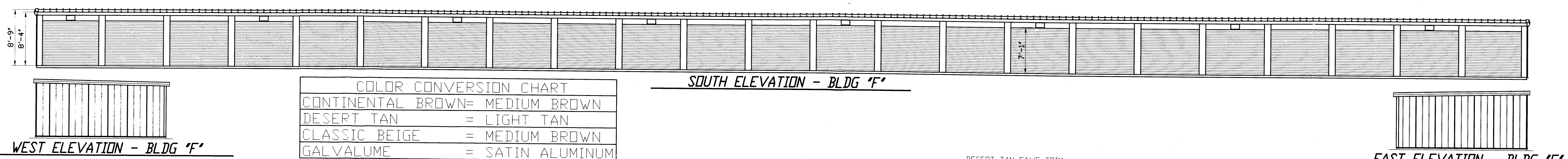
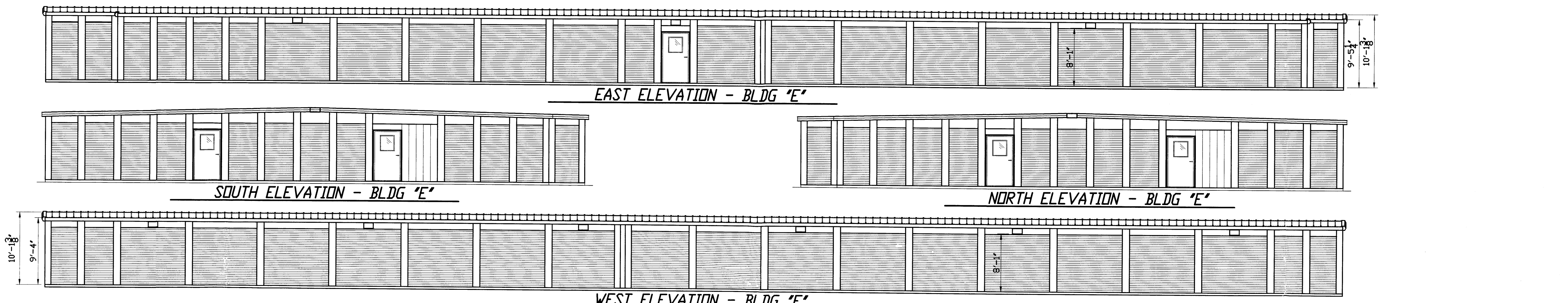
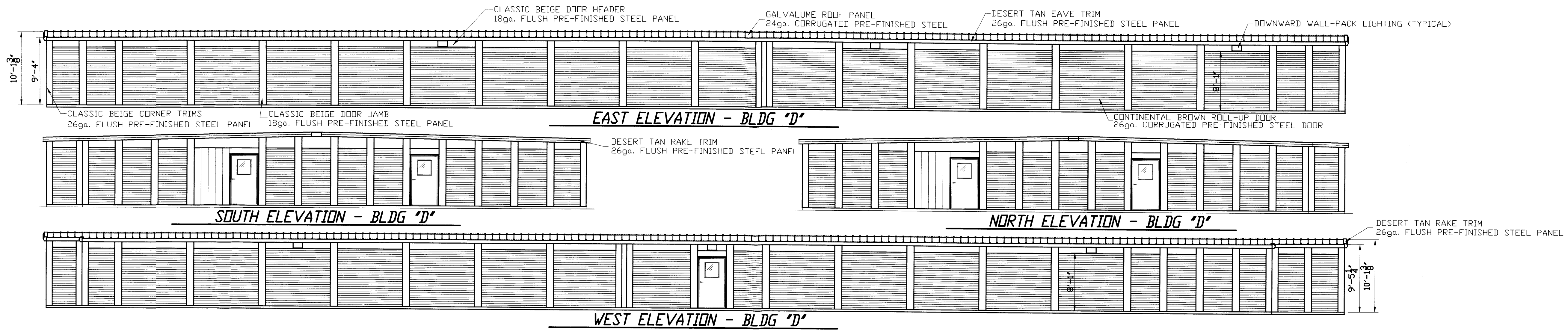
Plan No: **P-35371**

Order No:

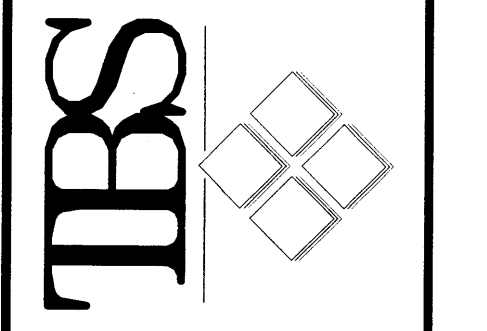
Sheet No:



REVISION	By
SEPTEMBER 6, 2007	MAS



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PROPOSED MINI STORAGE SYSTEM for:  
 DAN RICH  
 ALBUQUERQUE, NM

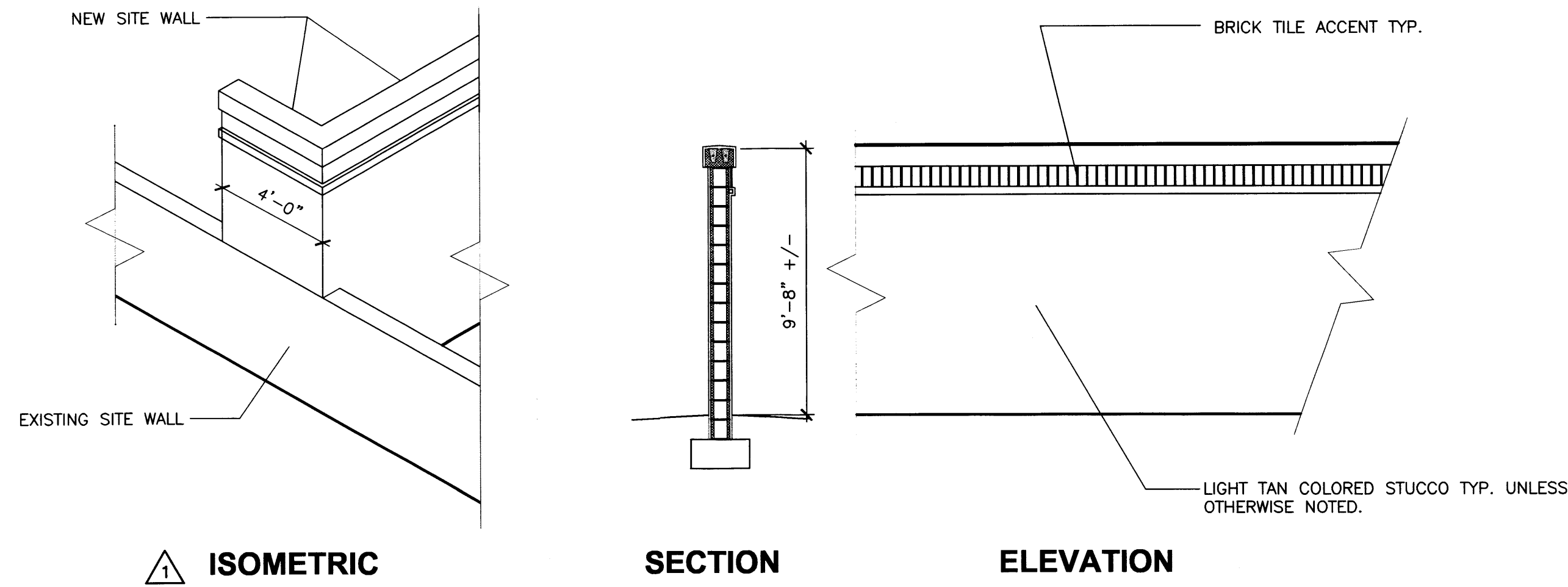
Job Description  
 Date  
 Drawn by  
 Scale  
 Plan No.  
 Order No.  
 Sheet No.

JULY 27, 2007  
 MAS  
 1/8" = 1'-0"  
 P-35371  
 2 OF 2

BUILDING ELEVATIONS

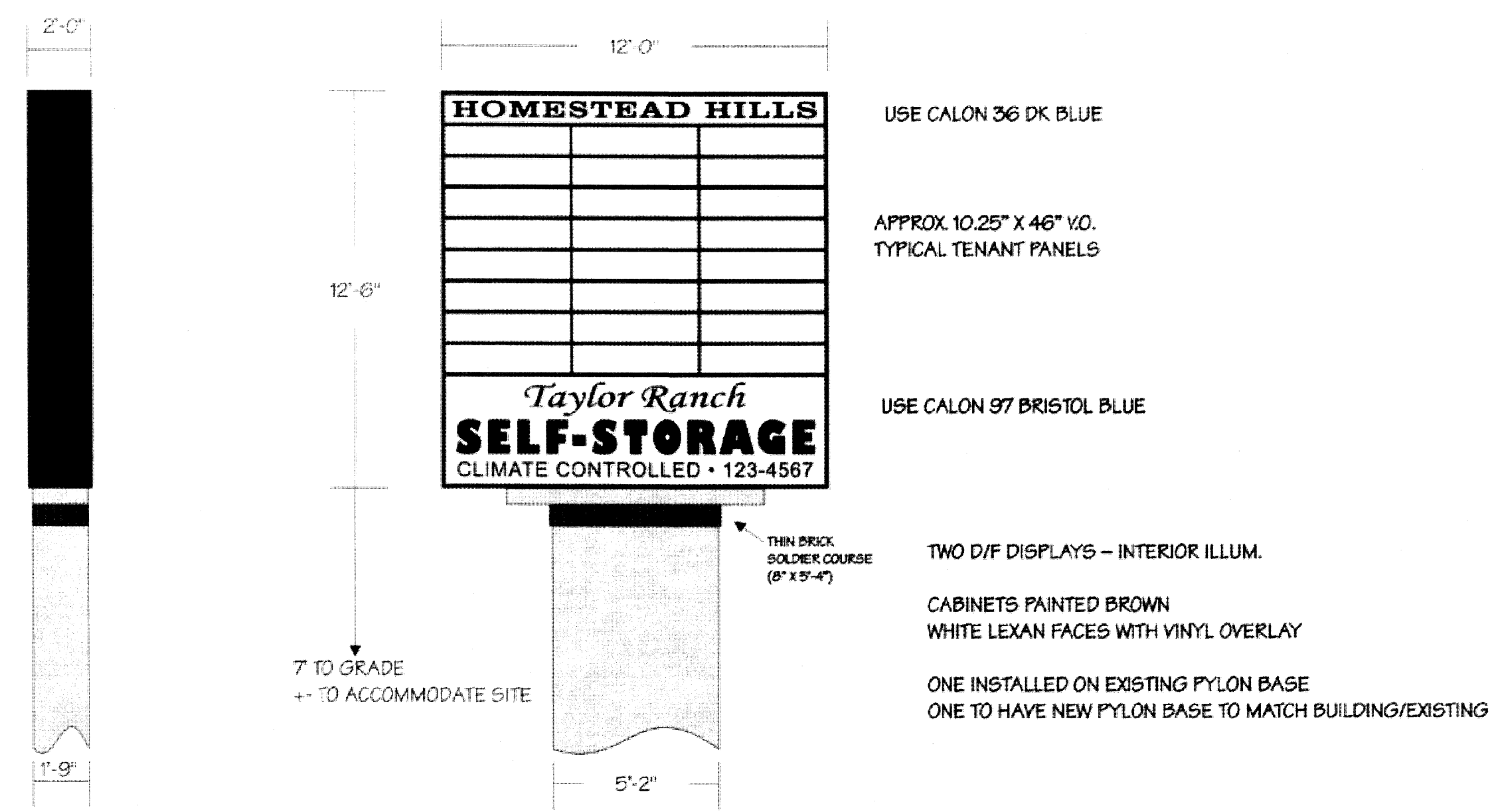


**KEYED NOTES**



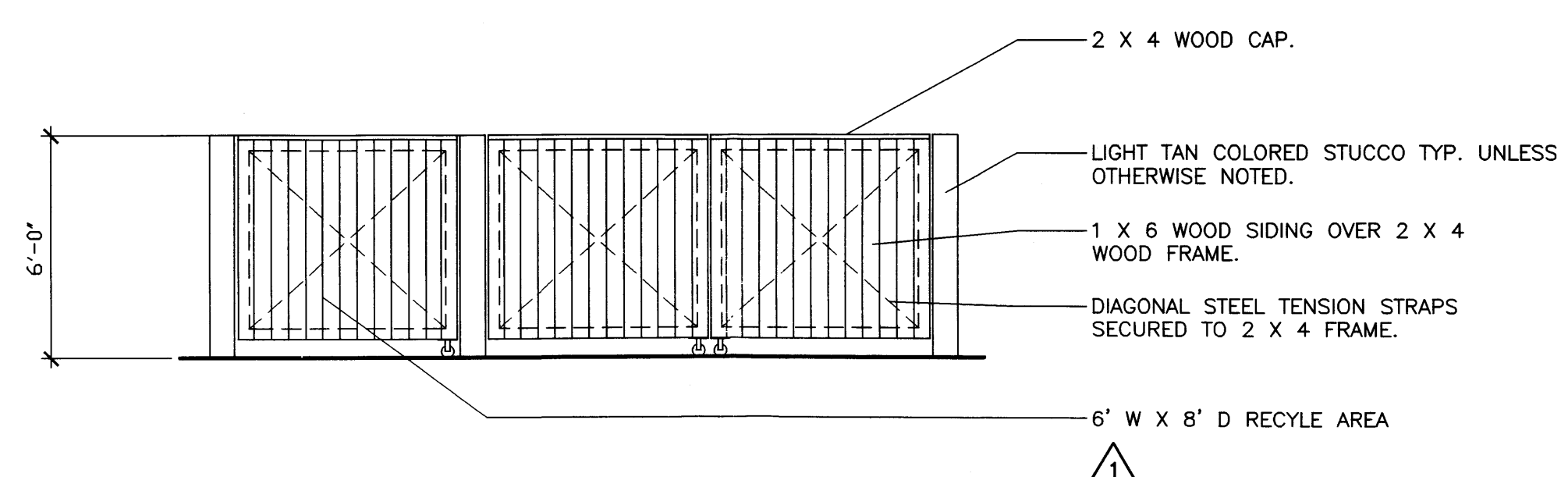
**SITE WALL**

0 2' 4' 8' SCALE: 1/4" = 1'-0" **4**  
**A2.4**



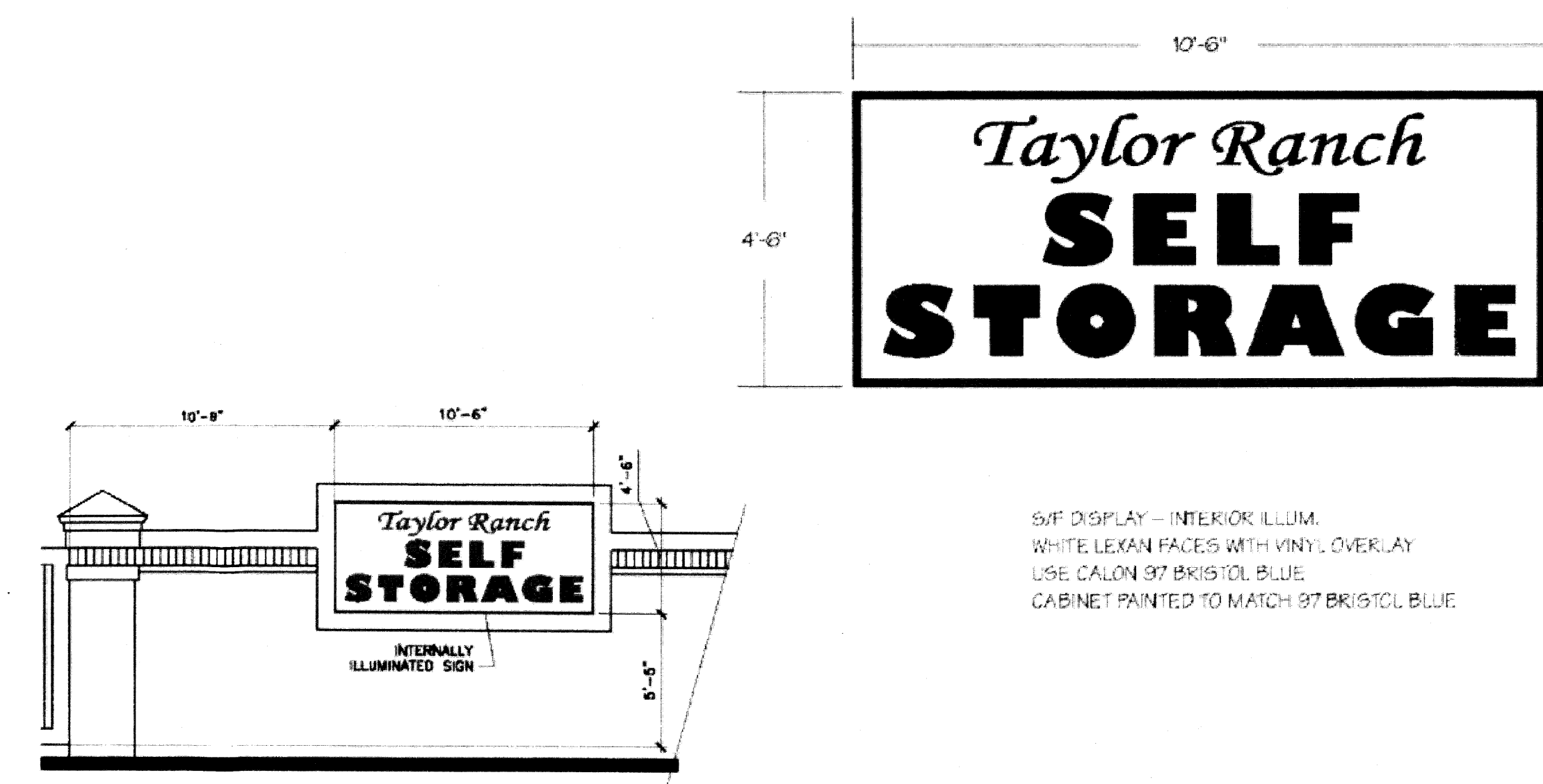
**EXISTING MONUMENT SIGN W/REVISIONS**

0 2' 4' 8' SCALE: 1/4" = 1'-0" **3**  
**A2.4**



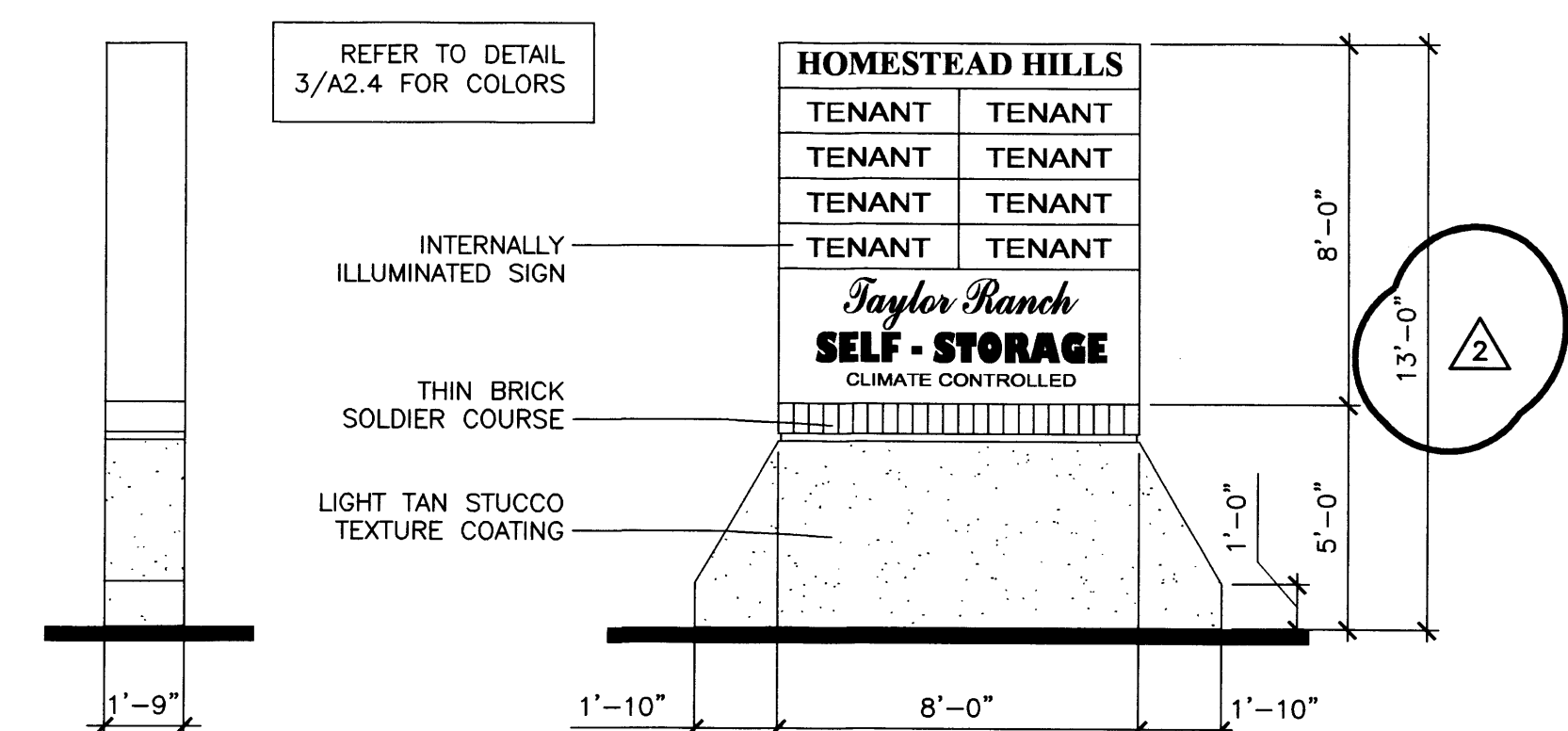
**TRASH ENCLOSURE ELEVATION**

0 2' 4' 8' SCALE: 1/4" = 1'-0" **5**  
**A2.4**



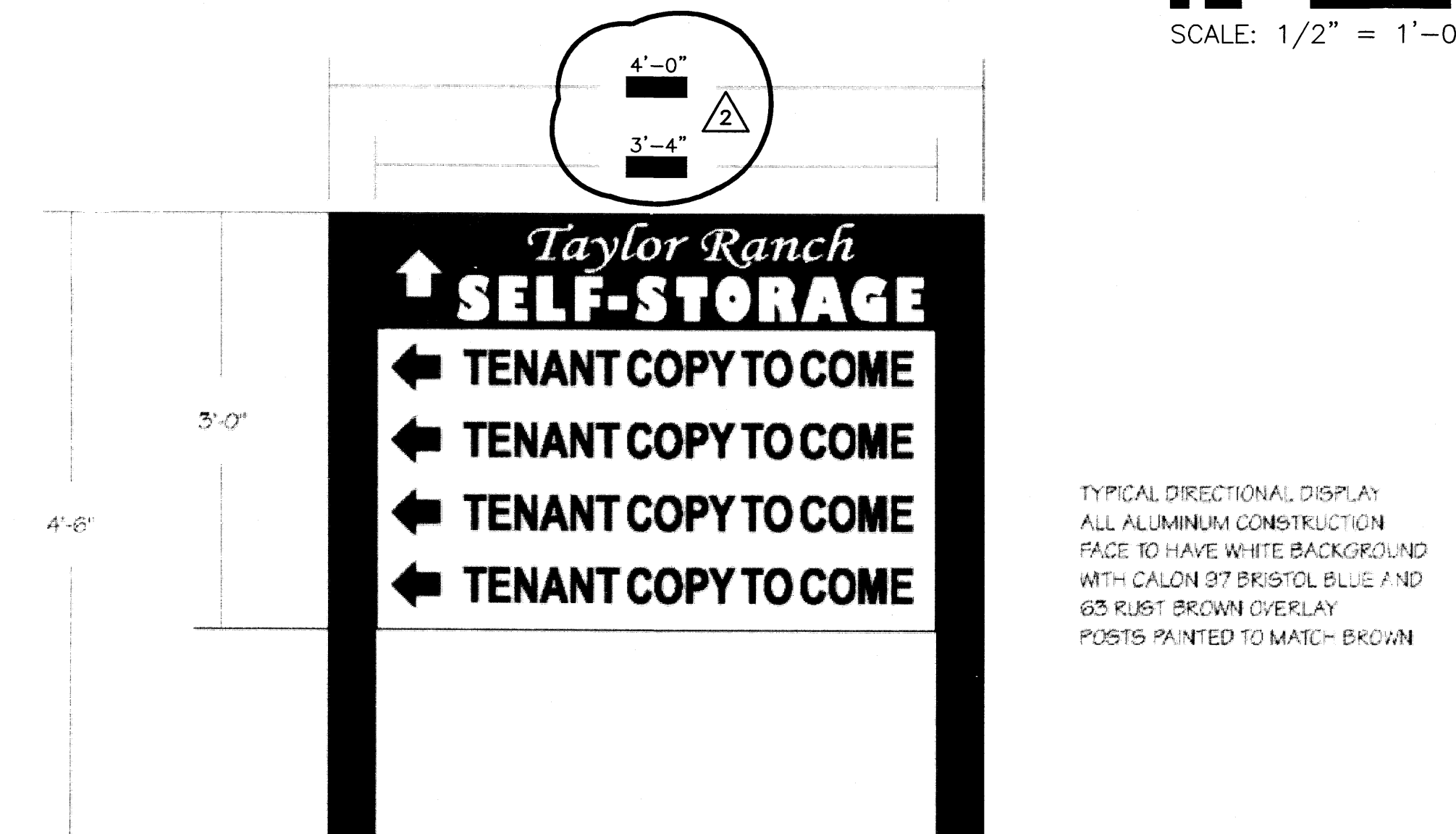
**FREE-STANDING SIGN**

0 1' 2' 4' SCALE: 1/2" = 1'-0" **2**  
**A2.4**



**NEW FREE-STANDING MONUMENT SIGNS**

0 2' 4' 8' SCALE: 1/4" = 1'-0" **6**  
**A2.4**



**DIRECTIONAL SIGN**

0 6" 1' 2' SCALE: 1" = 1'-0" **1**  
**A2.4**



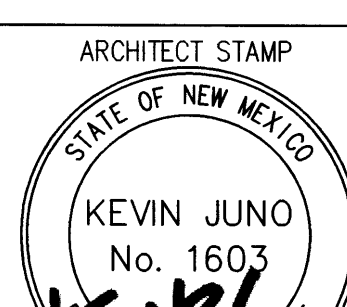
ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 896-3438

PROJECT:  
**TAYLOR RANCH  
SELF STORAGE**

SHEET TITLE:  
**DETAILS**

NO.	REVISION	DATE
1	REVISIONS FOR EPC	9-7-07
2	EPC CONDITIONS	10-15-07



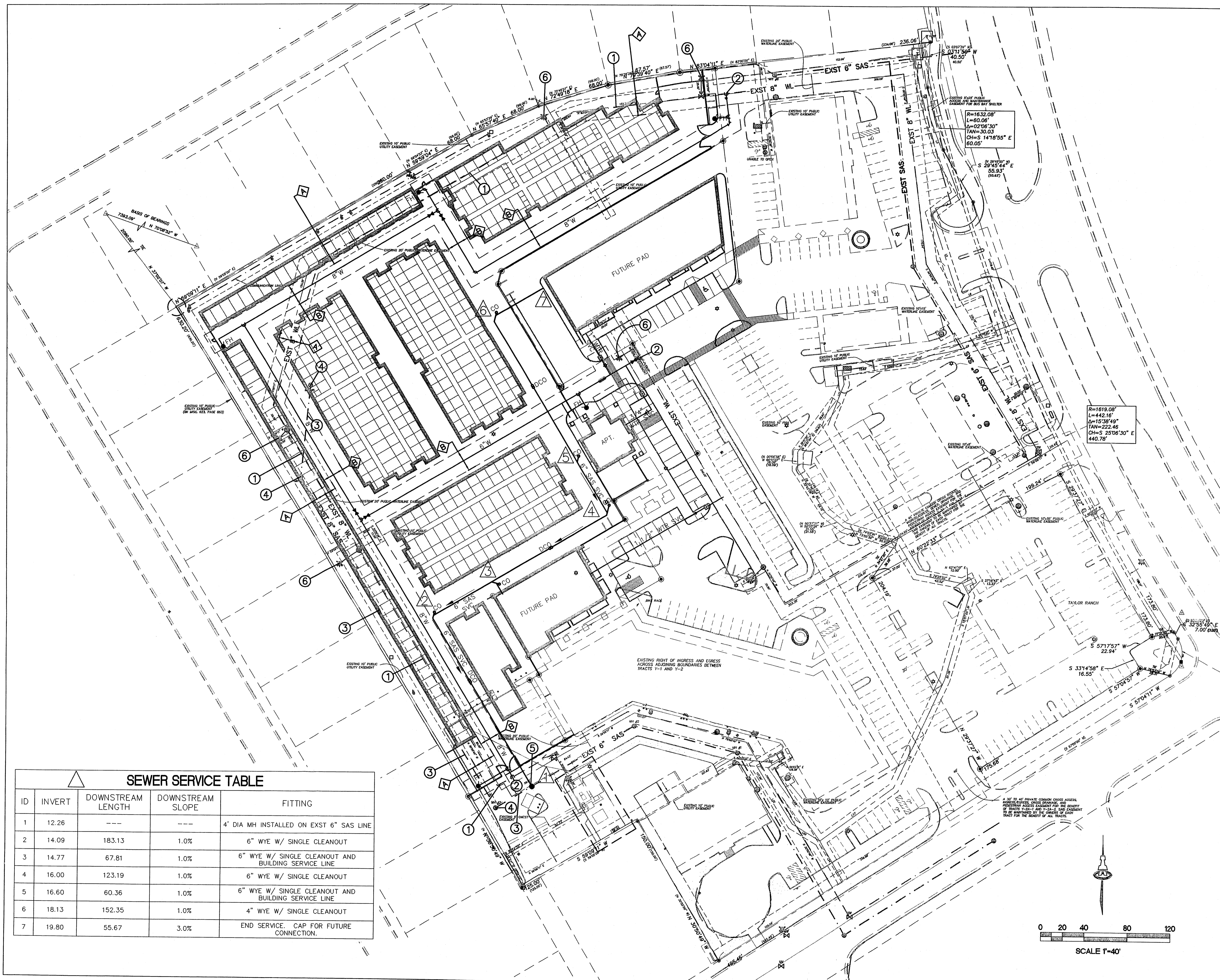
CONSULTANT STAMP

DATE:  
**10-19-07**  
PROJECT NO.  
**0621**  
SHEET NO.

*Kevin Juno* 10-19-07

**A2.4**





**KEYED NOTES**

1. EXISTING WATERLINE TO BE GROUT FILLED AND ABANDONED.
2. TIE PROPOSED 8" WL TO EXISTING WL.
3. EXISTING SAS LINE TO BE GROUT FILLED AND ABANDONED.
4. REMOVE EXISTING SAS MANFOLE.
5. INSTALL NEW 4' DIA TYPE 'E' MANHOLE ON EXISTING SAS LINE. MATCH EXIST INVERT.
6. REMOVE & SALVAGE EXISTING FIRE HYDRANT.

**EASEMENT NOTES**

- A. EXISTING 20' PUBLIC WATERLINE EASEMENT TO BE VACATED BY FINAL PLAT.
- B. PROPOSED 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED BY FINAL PLAT.
- C. PROPOSED BLANKET PRIVATE SANITARY SEWER EASEMENT TO BE GRANTED BY FINAL PLAT. SANITARY SEWER TO BE MAINTAINED BY THE BENEFITTING LOT OWNERS.

**LEGEND**

- EXIST 8" SAS — — — — — EXISTING SAS LINE
- EXIST 8" WL — — — — — EXISTING WATERLINE
- — — — — EXISTING CURB AND GUTTER
- ⊠ 3/4" SINGLE WATER METER & BOX
- ⊠ GATE VALVE W/ VALVE BOX
- ⊠ FIRE HYDRANT
- ⊠ SAS MANHOLE
- ⊠ WATER LINE W/ FITTING
- ⊠ SAS CLEANOUT
- ⊠ DBLCO DOUBLE SAS CLEANOUT

**GENERAL NOTES**

1. PUBLIC WATERLINES TO BE CONSTRUCTED BY WORK ORDER.

SEWER SERVICE TABLE				
ID	INVERT	DOWNSTREAM LENGTH	DOWNSTREAM SLOPE	FITTING
1	12.26	---	---	4' DIA MH INSTALLED ON EXST 6" SAS LINE
2	14.09	183.13	1.0%	6" WYE W/ SINGLE CLEANOUT
3	14.77	67.81	1.0%	6" WYE W/ SINGLE CLEANOUT AND BUILDING SERVICE LINE
4	16.00	123.19	1.0%	6" WYE W/ SINGLE CLEANOUT
5	16.60	60.36	1.0%	6" WYE W/ SINGLE CLEANOUT AND BUILDING SERVICE LINE
6	18.13	152.35	1.0%	4" WYE W/ SINGLE CLEANOUT
7	19.80	55.67	3.0%	END SERVICE. CAP FOR FUTURE CONNECTION.

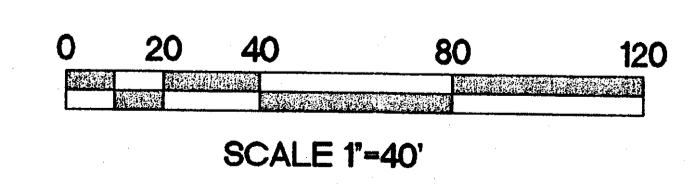
**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
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 1618 C-102.dwg Oct 17, 2007

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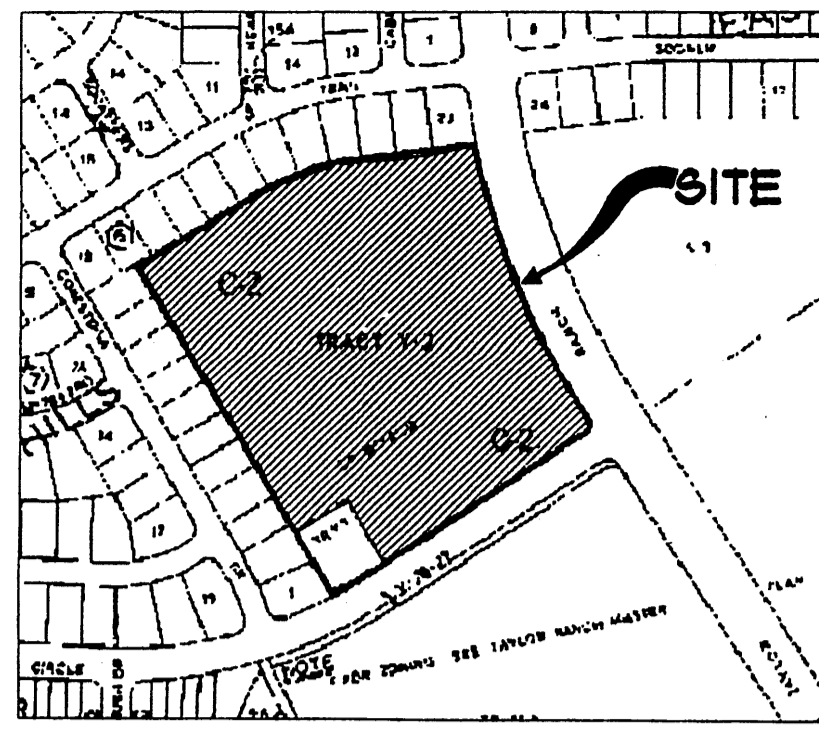
**TAYLOR RANCH SELF STORAGE**

**MASTER UTILITY PLAN**

Date: 07-12-07	No. 1598	Revised:	Date:	Job No. 1618
Drawn By: DLP				C-102
Okd By: GLD				C-103







VICINITY MAP MAP D-II-Z

**BICYCLE PARKING SPACES CALCULATIONS**

	PARKING SPACES	BIKE SPACES
RETAIL LEASE BLDG. A	216 / 20	11
RETAIL LEASE BLDG. B	99 / 20	5
RETAIL LEASE BLDG. C	106 / 20	6
CLEANERS	11 / 20	2
BLAKE'S LOTBURGER	31 / 20	2
DAY CARE	6 / 20	2
1-ELEVEN BLDG. E	20 / 20	2
RETAIL LEASE BLDG. H	34 / 20	2
<b>TOTAL</b>	<b>441 / 20</b>	<b>32</b>

**PARKING CALCULATIONS**

ORIGINAL SUBMISSION USES	APPROVED
RETAIL LEASE	420
MGR'S OFFICE/MANT.	3
CLEANERS	11
BLAKE'S LOTBURGER	21
PADS	51
<b>TOTAL</b>	<b>512</b>
CREDIT (15%)	76
<b>TOTAL REQUIRED</b>	<b>436</b>
PROVIDED: FRONT	479 (16.9%)
REAR	164 (23.3%)
<b>TOTAL</b>	<b>623</b>
STD	515
SC	33
HC	16

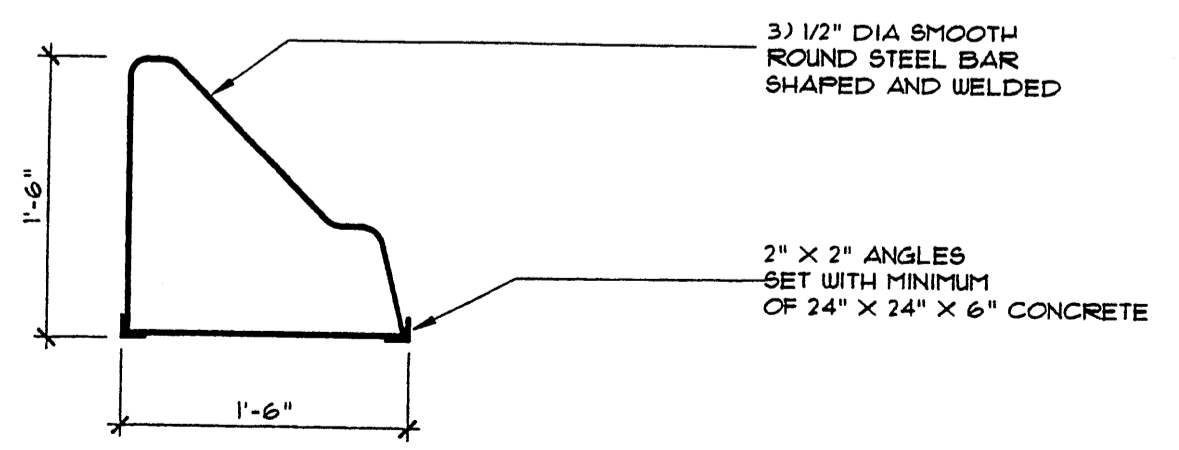
**THIS APPLICATION USES**

PROPOSED	
RETAIL LEASE	369
MGR'S OFFICE/MANT.	4
CLEANERS	11
BLAKE'S LOTBURGER	31
PADS	20
<b>TOTAL</b>	<b>441</b>
CREDIT (15%)	67
<b>TOTAL REQUIRED</b>	<b>380</b>
PROVIDED: FRONT	431 (72.9%)
REAR	160 (27.1%)
<b>TOTAL</b>	<b>591</b>
STD	510
SC	63
HC	18

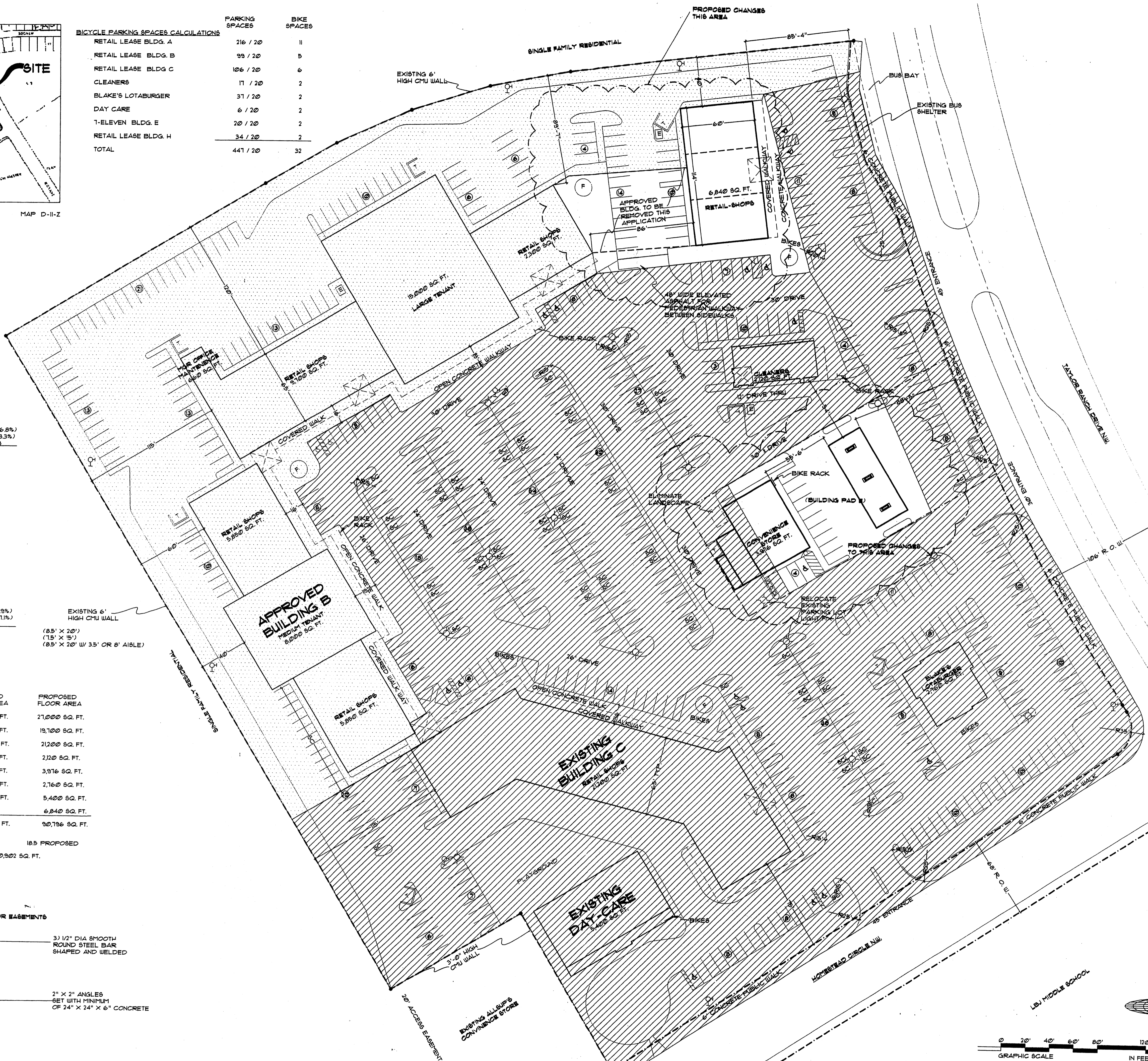
**PROJECT DATA**

BUILDING - USE	APPROVED FLOOR AREA	PROPOSED FLOOR AREA
A - RETAIL LEASE	43,100 SQ. FT.	27,000 SQ. FT.
B - RETAIL LEASE	19,700 SQ. FT.	19,700 SQ. FT.
C - RETAIL LEASE	21,200 SQ. FT.	21,200 SQ. FT.
D - CLEANERS	2,400 SQ. FT.	2,120 SQ. FT.
E - BUILDING PAD	5,850 SQ. FT.	3,916 SQ. FT.
F - BLAKE'S	2,800 SQ. FT.	2,760 SQ. FT.
G - DAY-CARE	5,500 SQ. FT.	5,400 SQ. FT.
H - RETAIL LEASE	—	6,840 SQ. FT.
<b>TOTALS</b>	<b>100,550 SQ. FT.</b>	<b>90,736 SQ. FT.</b>

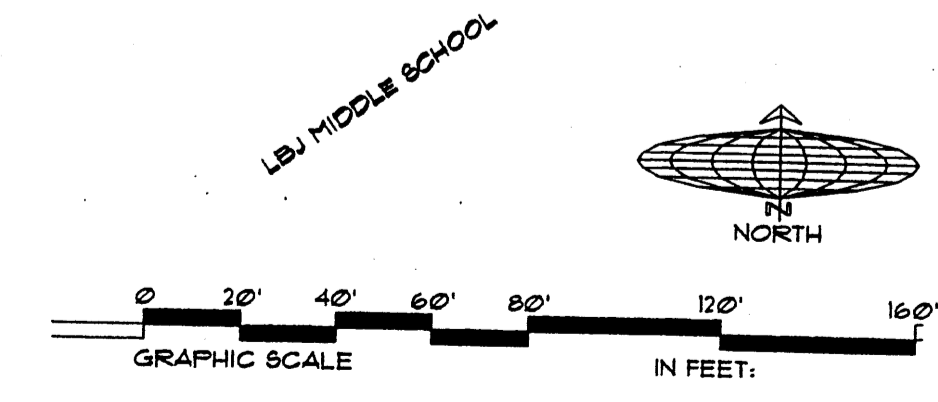
F. A. R. 21 APPROVED 18.5 PROPOSED  
 SITE AREA 11.04 ACRES -- 480,302 SQ. FT.  
 ZONING C - 2  
 ZONE ATLAS D - II - Z  
 TRACT Y-2A, TAYLOR RANCH ALBUQUERQUE, NM  
 SEE ATTACHED UTILITY BASEMENT PLAN FOR BASEMENTS



**BIKE RACK DETAIL**  
SCALE 1" = 1'-0"

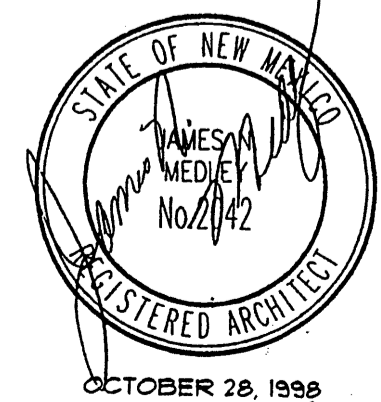


**REVISED SITE DEVELOPMENT PLAN**



**SITE PLAN**  
SCALE 1" = 1'-0"

- EXISTING v. PROPOSED v. APPROVED (UNBUILT)**
- EXISTING BUILD-OUT (BUILDING - PARKING LOT - PAVING - PLANTERS - LANDSCAPE - WALKS AND LIGHTING)
  - APPROVED -- TO BE BUILT IN FUTURE
  - PROPOSED WITH THIS AMENDMENT
- KEY**
- T TRASH ENCLOSURE
  - E ELECTRICAL TRANSFORMER
  - F FOUNTAIN
  - SC SMALL CAR PARKING 15' X 15'
  - Δ HANDICAP PARKING 8.5' X 20' PLUS AISLE EITHER 3.5' OR 8' FOR VAN
  - ⊕ EXISTING FIRE HYDRANT
  - ⊙ EXISTING 10' ELECTRIC POLE PARKING LOT LIGHT
  - STANDARD PARKING SPACE 8.5' X 20'



project: **HOMESTEAD HILLS SHOPPING CENTER**  
 TAYLOR RANCH ALBUQUERQUE, NM

Sheet of

9846

Sheet description: **REVISED SITE DEVELOPMENT PLAN**

ARCHITECT: **JIM MEDLEY Architect**  
 3100 Christine N. E. Albuquerque, NM 87111  
 Phone: (505) 292-3514

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**CASE NUMBER: Z- 98-135**

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

*Handwritten Signature* **3-15-99**  
 Traffic Engineer, Transportation Division Date

*Handwritten Signature* **2-23-99**  
 Design & Development, CIP Date

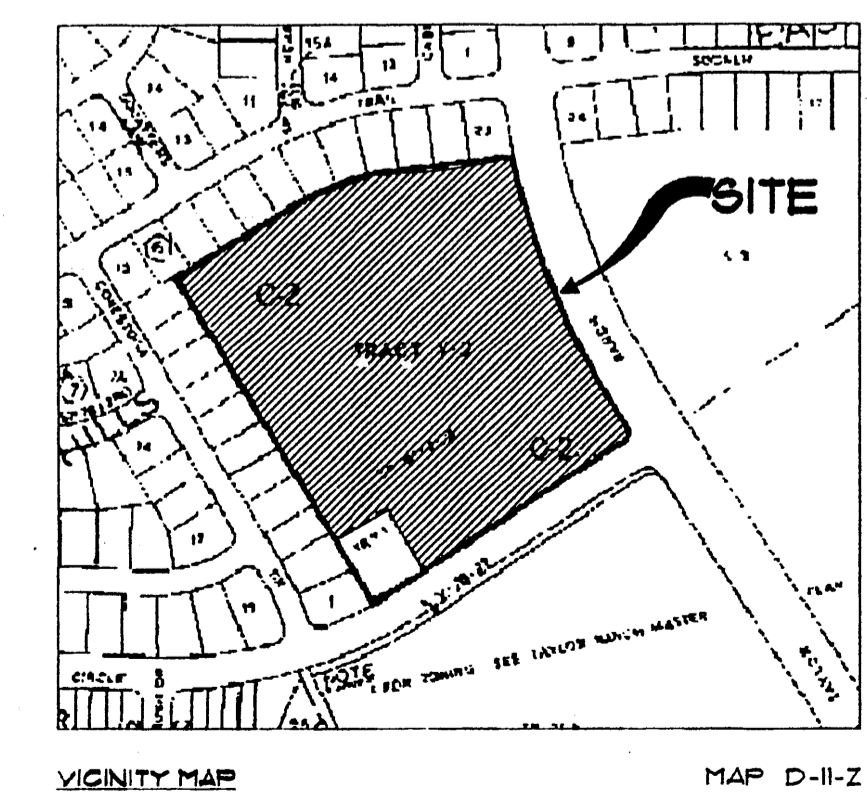
*Handwritten Signature* **2-23-99**  
 Public Works, Utilities Development Division Date

*Handwritten Signature* **7-12-99**  
 City Engineer, Engineering Division / AMAFCA Date

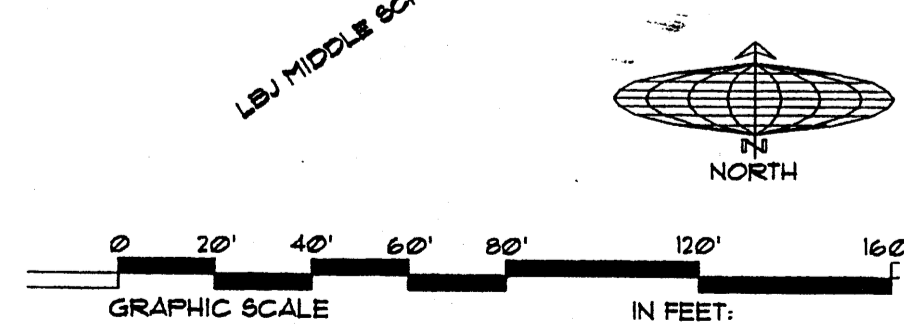
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

*Handwritten Signature* **4/13/99**  
 City Planner, Albuquerque Planning Department Date

PLAN 7, (10708) 4/98



- KEY**
- T TRASH ENCLOSURE
  - E ELECTRICAL TRANSFORMER
  - F FOUNTAIN
  - SC SMALL CAR PARKING 15' X 15'
  - ⊕ HANDICAP PARKING 8.5' X 20' PLUS AISLE EITHER 3.5' OR 6' FOR VAN
  - ⊙ EXISTING FIRE HYDRANT
  - ⊕ EXISTING 18" ELECTRIC POLE PARKING LOT LIGHT (ALL LIGHTING IS DOWN LIGHTING)
  - STANDARD PARKING SPACE 8.5' X 20' 24' MINIMUM DRIVE



**SITE DEVELOPMENT PLAN WITH PEDESTRIAN PATHWAYS**

**SITE PLAN**  
 SCALE 1" = 40'



OCTOBER 28, 1998

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**LANDSCAPE NOTES:**

- LAWN AREA TO BE WATERED BY PERMANENT UNDERGROUND SPRINKLER SYSTEM CONTROLLED BY AN AUTOMATIC TIMER.
- SHRUBS SHALL BE WATERED BY A DRIP IRRIGATION SYSTEM.
- TREES NOT IN LAWN AREAS SHALL BE WATERED BY BUBBLERS ON AUTOMATIC TIMER.
- STEEL EDGING SHALL SEPARATE LAWN AND GRAVEL BEDS.
- FILTER FABRIC UNDER GRAVEL AREAS.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE, PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

**IRRIGATION NOTES:**

TREES TO RECEIVE (5) 1/2 GPM DRIP EMITTERS  
 SHRUBS TO RECEIVE (1) 1/2 GPM DRIP EMITTERS  
 DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.

IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

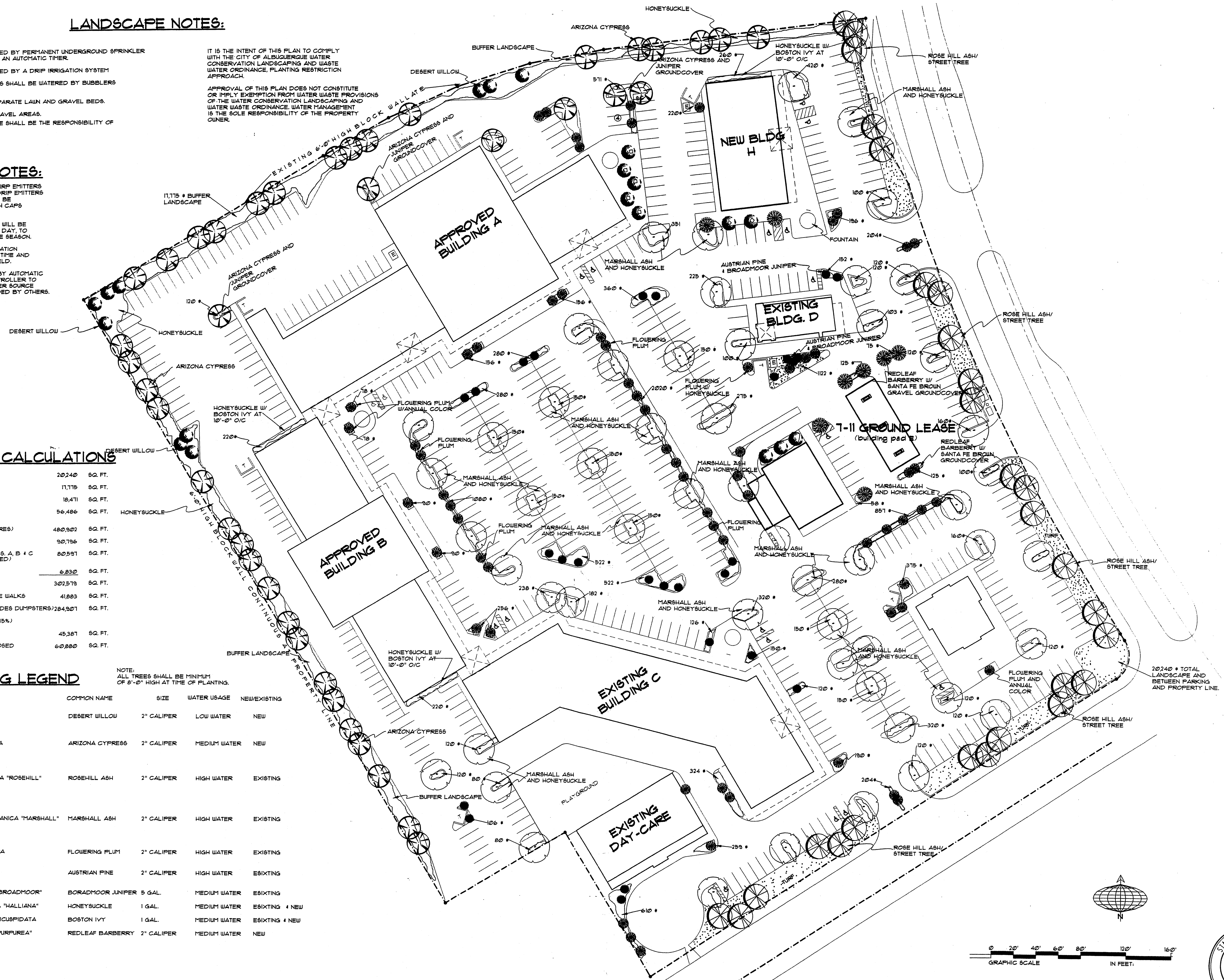
**LANDSCAPE CALCULATIONS**

STREET SCAPE LANDSCAPE	20,240	SQ. FT.
BUFFER LANDSCAPE	11,715	SQ. FT.
PARKING AREA LANDSCAPE	10,471	SQ. FT.
TOTAL LANDSCAPE	56,486	SQ. FT.
TOTAL LOT AREA (11.04 ACRES)	490,302	SQ. FT.
TOTAL BUILDING AREAS	90,796	SQ. FT.
SCREENED AREA BEHIND BLDGS. A, B & C (PARKING LOT, BUT NOT REQUIRED)	80,591	SQ. FT.
PLAYGROUND AT DAY CARE	6,830	SQ. FT.
NET LOT AREA	302,510	SQ. FT.
COVERED AND OPEN CONCRETE WALKS	41,883	SQ. FT.
ASPHALT PAVED AREAS (INCLUDES DUMPSTERS)	284,901	SQ. FT.
LANDSCAPE REQUIREMENT (15%)		
302,510 x 15%	45,381	SQ. FT.
TOTAL LANDSCAPE PROPOSED	60,880	SQ. FT.

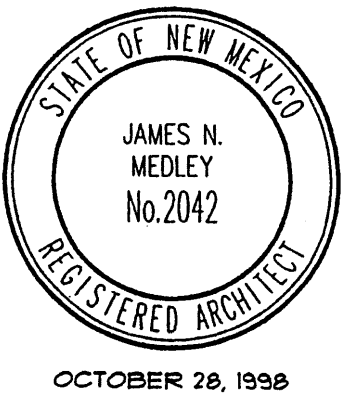
**LANDSCAPING LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USAGE	NEW/EXISTING
	CHILOPSIS LINEARIS	DESERT WILLOW	2" CALIFER	LOW WATER	NEW
	CUPRESSUS ARIZONICA	ARIZONA CYPRESS	2" CALIFER	MEDIUM WATER	NEW
	FRAXINUS AMERICANA "ROSEHILL"	ROSEHILL ASH	2" CALIFER	HIGH WATER	EXISTING
	FRAXINUS PENNSYLVANICA "MARSHALL"	MARSHALL ASH	2" CALIFER	HIGH WATER	EXISTING
	PRUNAS CERASTIFERA	FLOWERING PLUM	2" CALIFER	HIGH WATER	EXISTING
	PINUS NIGRA	AUSTRIAN PINE	2" CALIFER	HIGH WATER	EXISTING
	JUNIFERUS SABINA "BROADMOOR"	BROADMOOR JUNIPER	5 GAL.	MEDIUM WATER	EXISTING
	LONICERA JAPONICA "HALLIANA"	HONEYSUCKLE	1 GAL.	MEDIUM WATER	EXISTING & NEW
	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	1 GAL.	MEDIUM WATER	EXISTING & NEW
	B. THUNBERII "ATROPURPUREA"	REDLEAF BARBERRY	2" CALIFER	MEDIUM WATER	NEW

NOTE: ALL TREES SHALL BE MINIMUM OF 8"-0" HIGH AT TIME OF PLANTING.



**LANDSCAPING PLAN**



OCTOBER 20, 1998

project no. **9846**

sheet description: **REVISED LANDSCAPE PLAN**

date: OCT '98  
 revisions:

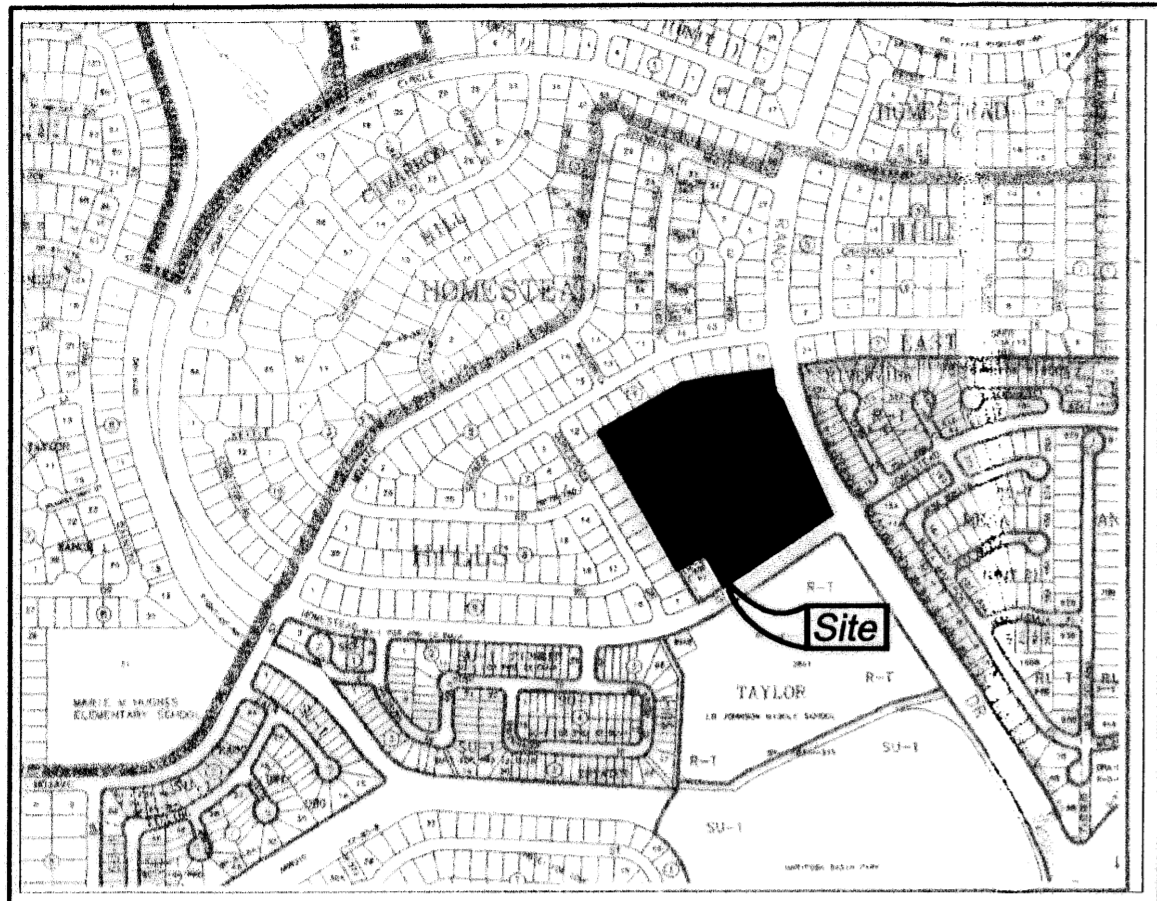
**JTM MEDLEY, Architect**  
 NCARB Certificate No. 36,895  
 3100 Christine N. E. Albuquerque, NM 87111  
 Phone (505) 282-3514

project: **HOMESTEAD HILLS SHOPPING CENTER**  
 TAYLOR RANCH  
 ALBUQUERQUE, NM.

Sheet of

I:\State 5\9846\REVISED\REV-Lands.dwg Prepared using computer with AutoCAD R14 by jtm





Location Map  
Zone Atlas Map No. D-11-Z

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 4.0125 ACRES±  
 ZONE ATLAS INDEX NO: D-11-Z  
 NO. OF TRACTS CREATED: 2  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: MARCH 2003

**Notes:**

- MISC. DATA: ZONING C-2 (SC)
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 23, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO TWO NEW TRACTS, AND GRANT AN EASEMENT
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2003171470.

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

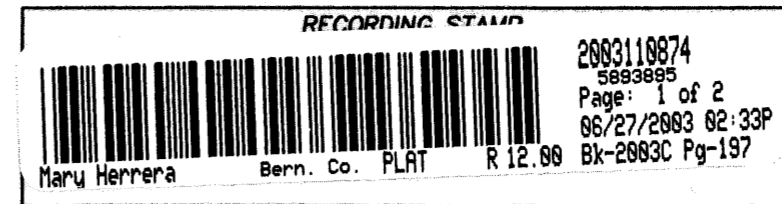
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

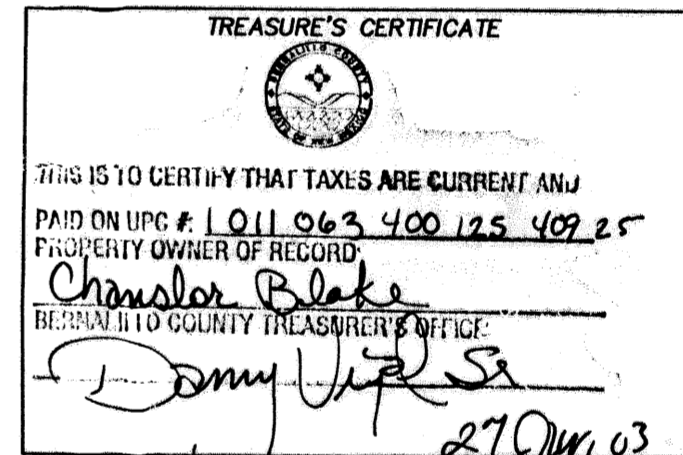


Plat of  
 Tracts Y-2A-1 and Y-2A-2  
**Taylor Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 June 2003

**Legal Description**

TRACT Y-2A, OF THE REPLAT OF TRACT Y-2, TAYLOR RANCH TO TRACT Y-2A, TAYLOR RANCH, SECTION 23, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID REPLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 6, 1990, IN PLAT BOOK 90C, FOLIO 58, CONTAINING 0.8971 ACRES MORE OR LESS, NOW COMPRISING TRACTS Y-2A-1 AND Y-2A-2 TAYLOR RANCH.

Approvals	Application No. 03DRB-01047
<i>Dwain Matson</i> CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	6/27/03 DATE
<i>Bradley B...</i> CITY ENGINEER	6/27/03 DATE
<i>Paul J. Davis</i> A.M.A.P.	6-27-03 DATE
<i>Paul J. Davis</i> TRAFFIC ENGINEER	6-27-03 DATE
<i>M.B. Dal...</i> CITY SURVEYOR	6-26-03 DATE
NA PROPERTY MANAGEMENT	6/27/03 DATE
<i>Roger A. Green</i> UTILITY DEVELOPMENT DIVISION	6/27/03 DATE
<i>Christina Sandoval</i> PARKS AND RECREATION DEPARTMENT	6/27/03 DATE
<i>Sean D. Murt...</i> PNM ELECTRIC SERVICES	6-27-03 DATE
<i>Sean D. Murt...</i> PNM GAS SERVICES	6-27-03 DATE
<i>David R. Miller</i> QWEST CORPORATION	6-25-03 DATE
<i>Robert M...</i> COMCAST CABLE	6-26-03 DATE



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano* 6/20/03  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

**Free Consent**

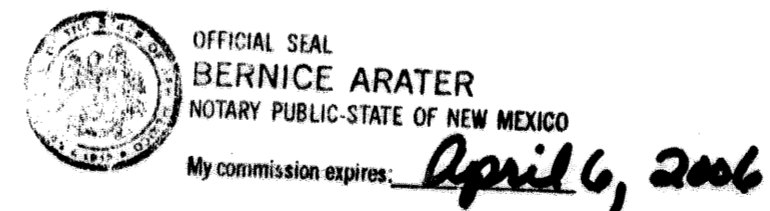
THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

*G. Blake Chanslor* 6/20/03  
 G. BLAKE CHANSLOR  
 TRUSTEE  
 G. BLAKE AND JUNE L. CHANSLOR REVOCABLE TRUST  
 DATE

**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20 DAY OF June, 2003 BY  
 G. BLAKE CHANSLOR, TRUSTEE, G. BLAKE AND JUNE L. CHANSLOR REVOCABLE TRUST

BY *Bernice Arater* MY COMMISSION EXPIRES: April 6, 2006  
 NOTARY PUBLIC

Project No. 1002776



Plat of  
 Tract Y-2A-1 and Y-2A-2  
**Taylor Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 June 2003

**Legend**

(N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS

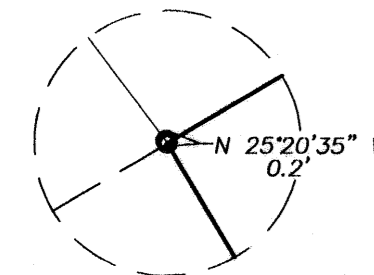
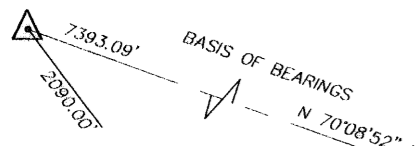
N 90°00'00" E MEASURED BEARING AND DISTANCES

○ FOUND AND USED MONUMENT AS DESIGNATED

● DENOTES PK NAIL W/TAG "PS 11993" SET THIS SURVEY UNLESS OTHERWISE NOTED

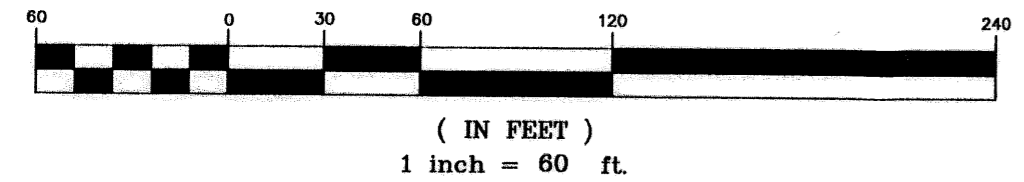
A.C.S. MONUMENT "4-D11"  
 STANDARD A.C.S. BRASS TABLE  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=384,737.27  
 Y=1,516,826.11  
 EL=5261 (TRIG)-NGVD 1929  
 GROUND TO GRID FACTOR=0.9996693  
 DELTA ALPHA ANGLE=-0°15'38"

A.C.S. MONUMENT "HUGHES"  
 STANDARD A.C.S. BRASS TABLE  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=371,688.59  
 Y=1,514,316.32  
 EL=5049.93-NGVD 1929  
 GROUND TO GRID FACTOR=0.99967726  
 DELTA ALPHA ANGLE=-0°14'50"

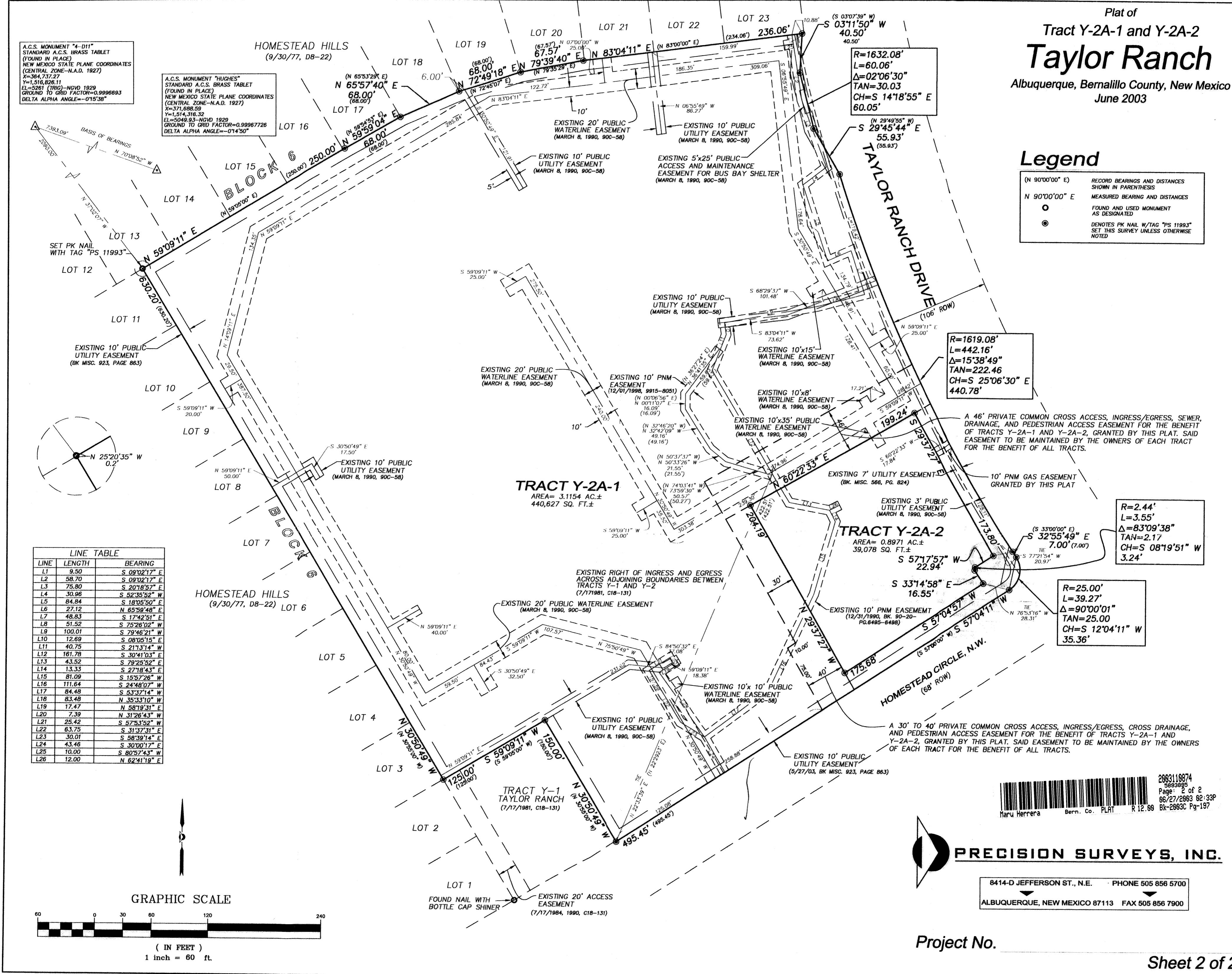


LINE	LENGTH	BEARING
L1	9.50	S 09°02'17" E
L2	58.70	S 09°02'17" E
L3	75.80	S 20°18'57" E
L4	30.96	S 52°35'52" W
L5	84.84	S 18°05'50" E
L6	27.12	N 65°59'48" E
L7	48.83	S 17°42'51" E
L8	51.52	S 75°26'02" W
L9	100.01	S 79°46'21" W
L10	12.69	S 08°05'16" E
L11	40.75	S 21°13'14" W
L12	161.78	S 30°41'03" E
L13	43.52	S 79°25'52" E
L14	13.33	S 27°18'43" E
L15	81.09	S 15°57'28" W
L16	111.64	S 24°48'07" W
L17	84.48	S 53°37'14" W
L18	83.48	N 35°33'10" W
L19	17.47	N 58°19'31" E
L20	7.39	N 31°26'43" W
L21	25.42	S 57°53'52" W
L22	63.75	S 31°37'31" E
L23	30.01	S 58°39'14" E
L24	43.46	S 30°00'17" E
L25	10.00	S 80°57'43" W
L26	12.00	N 62°41'19" E

GRAPHIC SCALE



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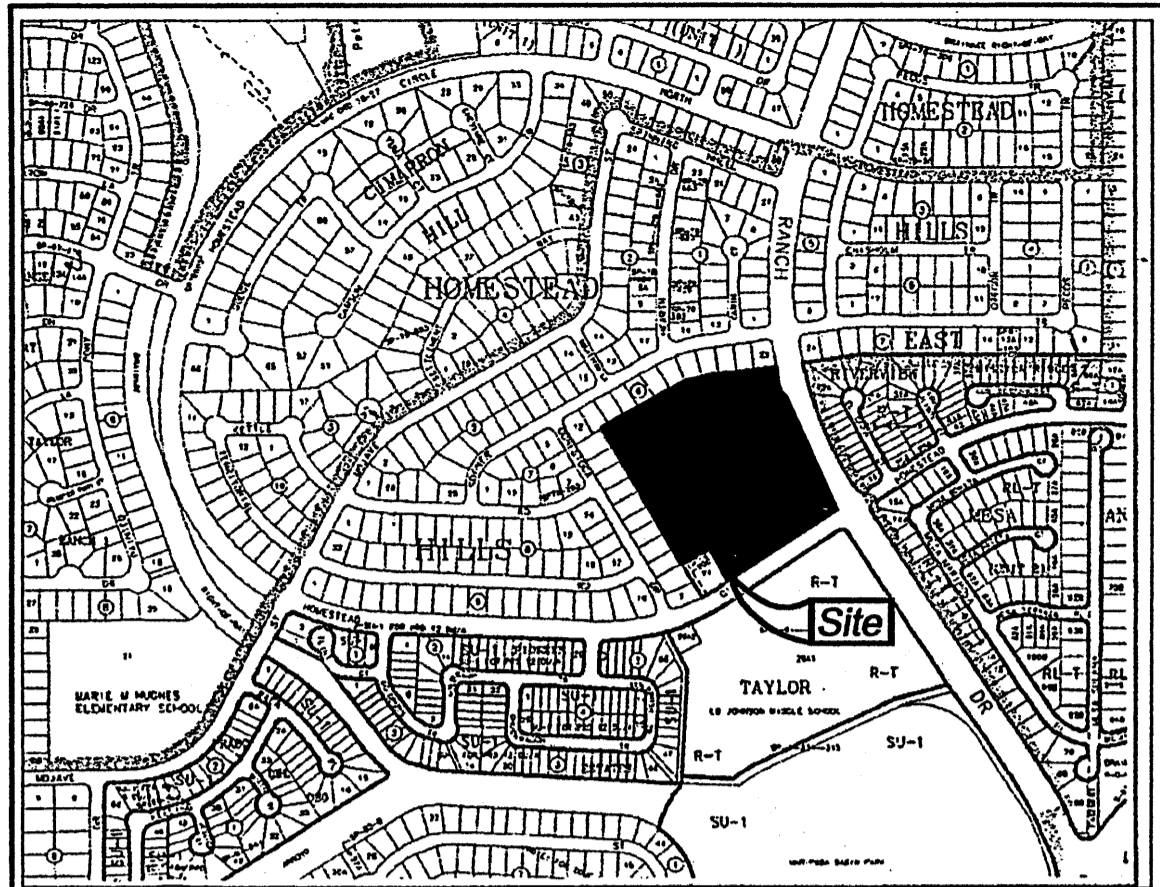
2883118874  
 5883955  
 Page: 2 of 2  
 86/27/2883 82:39P  
 Maru Herrera Bern. Co. PLRT R 12.08 Bk-2883C Pg-197

**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Project No. \_\_\_\_\_ Sheet 2 of 2





Location Map  
Zone Atlas Map No. D-11-Z

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: ~~4.0125~~ ACRES± **11.0125**  
 ZONE ATLAS INDEX NO: D-11-Z  
 NO. OF TRACTS CREATED: 2  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: MARCH 2003

**Notes:**

- MISC. DATA: ZONING C-2 (SC)
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 23, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO TWO NEW TRACTS, AND GRANT AN EASEMENT
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2003171470

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

**Legal Description**

TRACT Y-2A, OF THE REPLAT OF TRACT Y-2, TAYLOR RANCH TO TRACT Y-2A, TAYLOR RANCH, SECTION 23, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID REPLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 6, 1990, IN PLAT BOOK 90C, FOLIO 58, CONTAINING 0.8971 ACRES MORE OR LESS, NOW COMPRISING TRACTS Y-2A-1 AND Y-2A-2 TAYLOR RANCH. **11.0125**

THE PURPOSE OF THIS CORRECTION PLAT IS TO SHOW CORRECT ACREAGES.

- LEGAL DESCRIPTION SHOWN AS 0.8971 SHOULD BE 11.0125 ACRES.
- SUBDIVISION DATA SHOWN AS 4.0125 SHOULD BE 11.0125 ACRES.
- SHEET 2 OF 2 TRACT Y-2A-1 SHOWN AS 3.1154 SHOULD BE 10.1154 ACRES.



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND

PAID ON UPC # 1-011-003-400-125-40925  
 PROPERTY OWNER OF RECORD  
Chanoslor Blake trustee of  
 BERNALILLO COUNTY TREASURER'S OFFICE  
Phadriya 11/19/03

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

G. Blake Chanslor 6/20/03  
 G. BLAKE CHANSLOR TRUSTEE  
 G. BLAKE AND JUNE L. CHANSLOR REVOCABLE TRUST

**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20 DAY OF June, 2003 BY G. BLAKE CHANSLOR, TRUSTEE, G. BLAKE AND JUNE L. CHANSLOR REVOCABLE TRUST

BY Bernice Arater MY COMMISSION EXPIRES: April 6, 2006  
 NOTARY PUBLIC

RECORDING STAMP  
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 Maru Herrera Bern. Co. PLAT R 12.00

2003200833  
 5891667  
 Page: 1 of 2  
 11/19/2003 10:02A  
 BK-2003C Pg-348  
 Maru Herrera Bern. Co. PLAT R 12.00

CORRECTION  
 Plat of  
 Tracts Y-2A-1 and Y-2A-2  
**Taylor Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 June 2003

Approvals Application No. 03DRB-01047

<u>Sharon</u> 11/18/03 Sharon Matson CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	6/27/03
<u>Bradley B. B...</u> CITY ENGINEER	6/27/03
<u>Phil J. Paul</u> A.M.A.E.	6-27-03
<u>Phil J. Paul</u> TRAFFIC ENGINEER	6-27-03
<u>BBH</u> 11-18-03 Phil J. Paul CITY SURVEYOR	6-26-03
<u>NA</u> PROPERTY MANAGEMENT	6/27/03
<u>Roger A. Green</u> UTILITY DEVELOPMENT DIVISION	6/27/03
<u>Christina Sandoval</u> PARKS AND RECREATION DEPARTMENT	6/27/03
<u>Sean D. Murt</u> PNM ELECTRIC SERVICES	6-27-03
<u>Sean D. Murt</u> PNM GAS SERVICES	6-27-03
<u>Daniel R. Miller</u> QWEST CORPORATION	6-25-03
<u>Rabab Masimzy</u> COMCAST CABLE	6-26-03

TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND  
 PAID ON UPC # 1-011-003-400-125-40925  
 PROPERTY OWNER OF RECORD  
Chanoslor Blake  
 BERNALILLO COUNTY TREASURER'S OFFICE  
Danny J. ... 27/06/03

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 6/20/03  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Project No. 1002776  
 Sheet 1 of 2



**CORRECTION** Plat of  
**Tract Y-2A-1 and Y-2A-2**  
**Taylor Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 June 2003

**Legend**

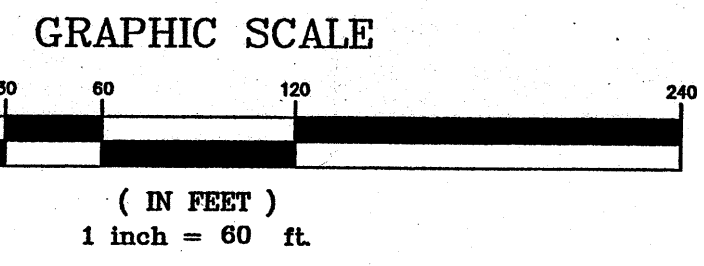
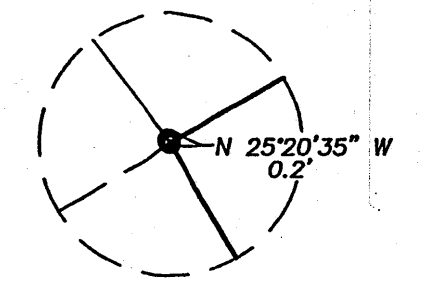
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES PK NAIL W/TAG "PS 11993" SET THIS SURVEY UNLESS OTHERWISE NOTED

A.C.S. MONUMENT "4-D11"  
 STANDARD A.C.S. BRASS TABLE  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=364,737.27  
 Y=1,516,828.11  
 EL=5261 (TRIG)-NGVD 1929  
 GROUND TO GRID FACTOR=0.9996693  
 DELTA ALPHA ANGLE=-0°15'38"

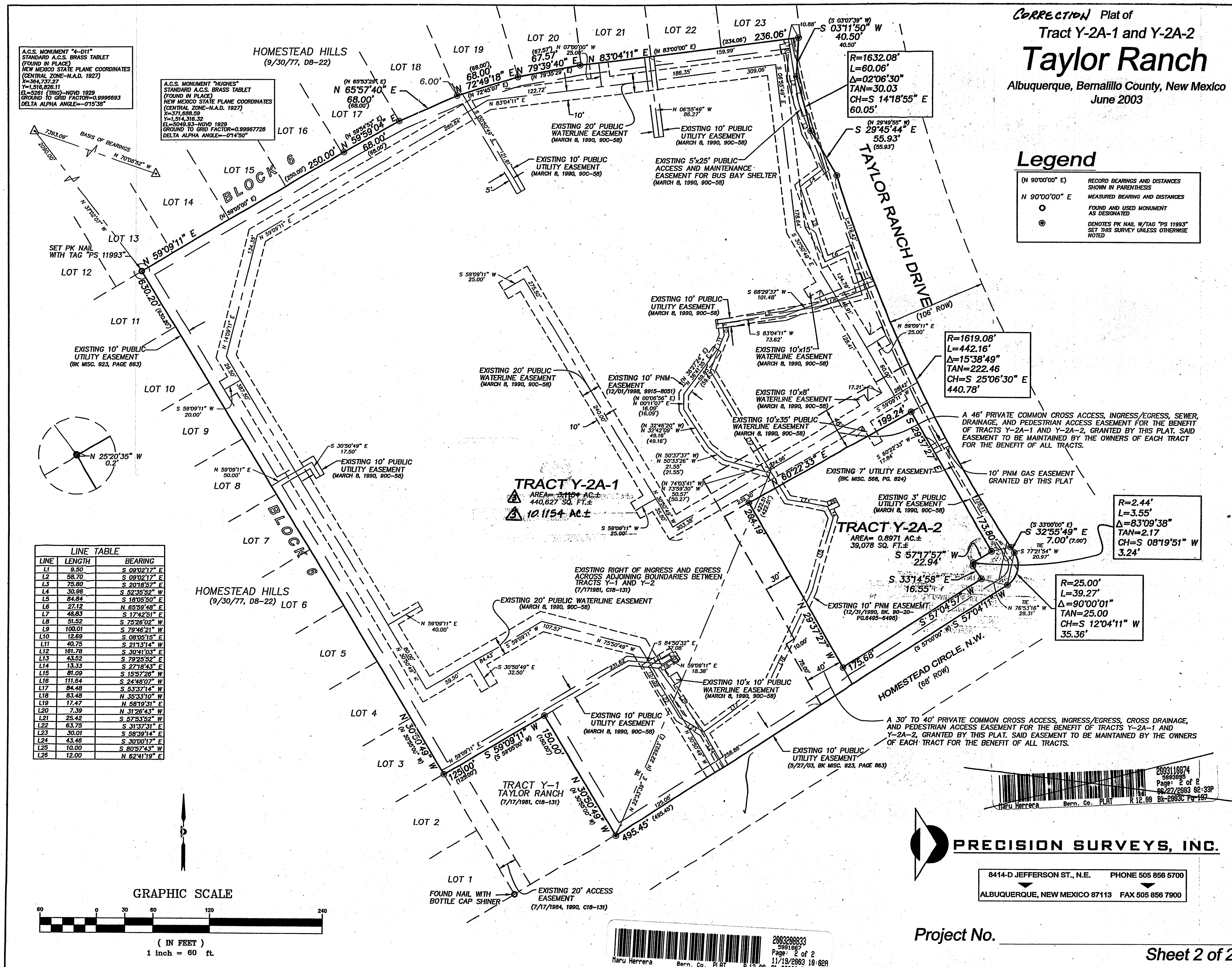
A.C.S. MONUMENT "HUGHES"  
 STANDARD A.C.S. BRASS TABLE  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=371,688.59  
 Y=1,514,316.32  
 EL=5049.93-NGVD 1929  
 GROUND TO GRID FACTOR=0.9996726  
 DELTA ALPHA ANGLE=-0°14'50"

**LINE TABLE**

LINE	LENGTH	BEARING
L1	9.50	S 09°02'17" E
L2	58.70	S 09°02'17" E
L3	75.80	S 20°18'57" E
L4	30.96	S 52°35'52" W
L5	84.84	S 18°05'50" E
L6	27.12	N 65°59'48" E
L7	48.83	S 17°42'51" E
L8	51.52	S 75°26'02" W
L9	100.01	S 79°46'21" W
L10	12.69	S 08°05'15" E
L11	40.75	S 21°13'14" W
L12	161.78	S 30°41'03" E
L13	43.52	S 79°25'52" E
L14	13.33	S 27°18'43" E
L15	81.09	S 15°57'26" W
L16	111.84	S 24°48'07" W
L17	84.48	S 53°37'14" W
L18	83.48	N 35°33'10" W
L19	17.47	N 98°19'31" E
L20	7.39	N 31°26'43" W
L21	25.42	S 57°53'52" W
L22	63.75	S 31°37'31" E
L23	30.01	S 98°39'14" E
L24	43.46	S 30°00'17" E
L25	10.00	S 80°57'43" W
L26	12.00	N 62°41'19" E



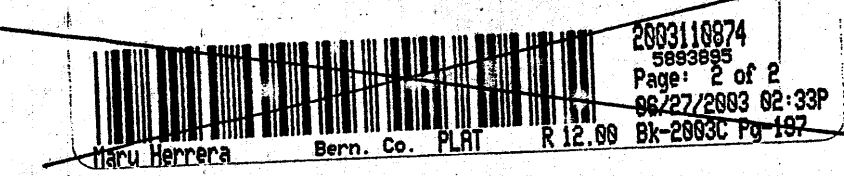
G:\PLATS\2003\035330p.dwg Fri Jun 27 15:03:11 2003 Precision Surveys, Inc.



R=1619.08'  
 L=442.16'  
 Δ=15°38'49"  
 TAN=222.46  
 CH=S 25°06'30" E  
 440.78'

R=2.44'  
 L=3.55'  
 Δ=83°09'38"  
 TAN=2.17  
 CH=S 08°19'51" W  
 3.24'

R=25.00'  
 L=39.27'  
 Δ=90°00'01"  
 TAN=25.00  
 CH=S 12°04'11" W  
 35.36'



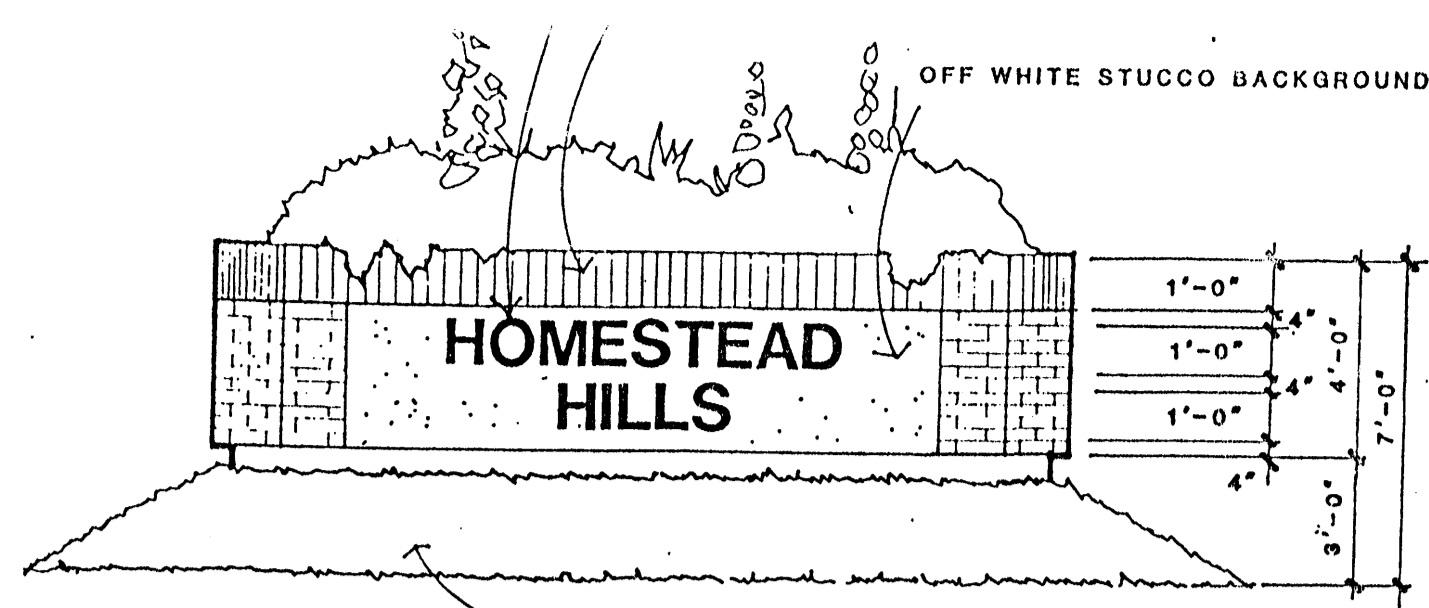
**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

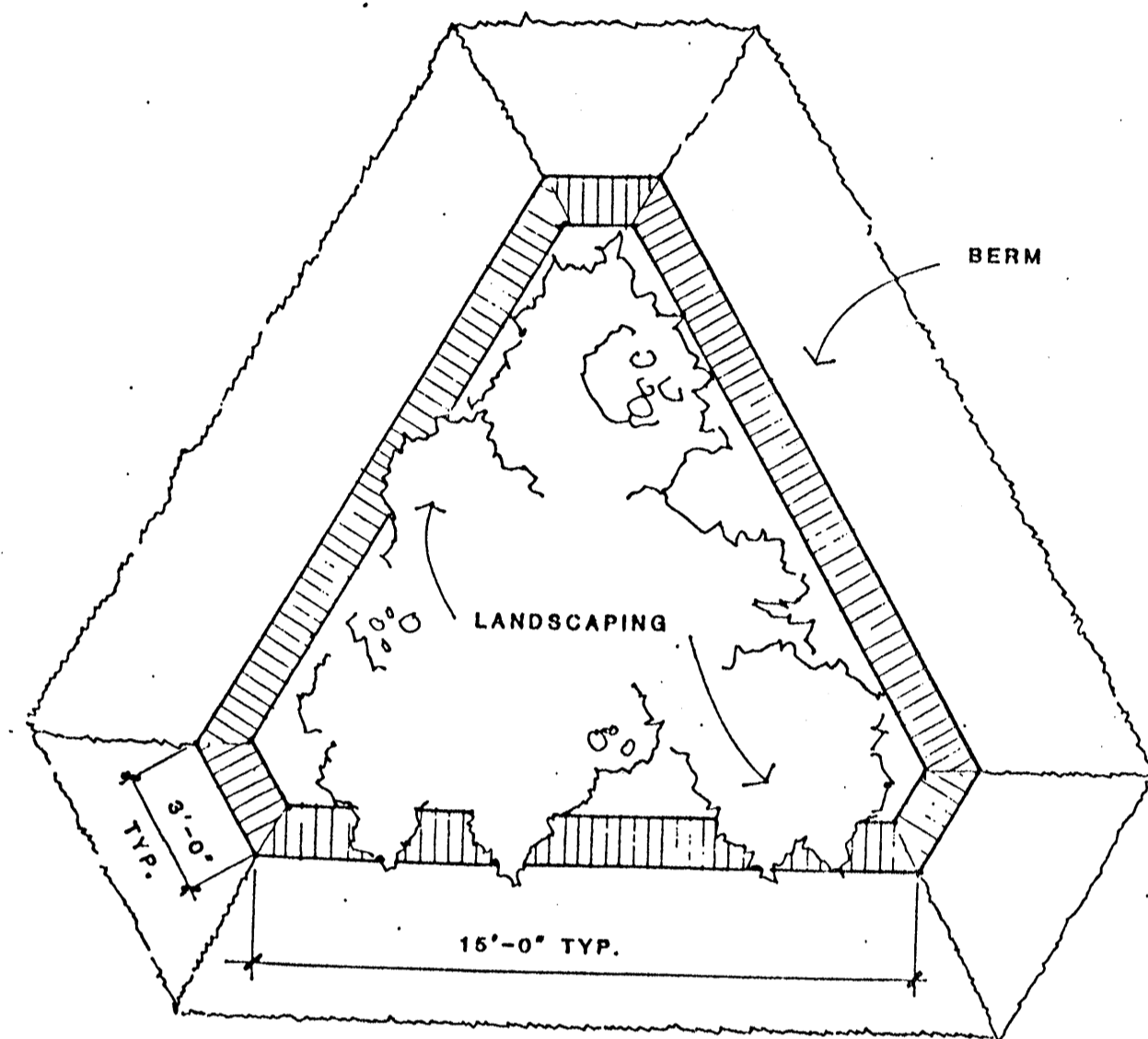
Project No. \_\_\_\_\_  
 Sheet 2 of 2

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 Page: 2 of 2  
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 Haru Herrera Bern. Co. PLAT R 12.00 BK-2883C Pg 348





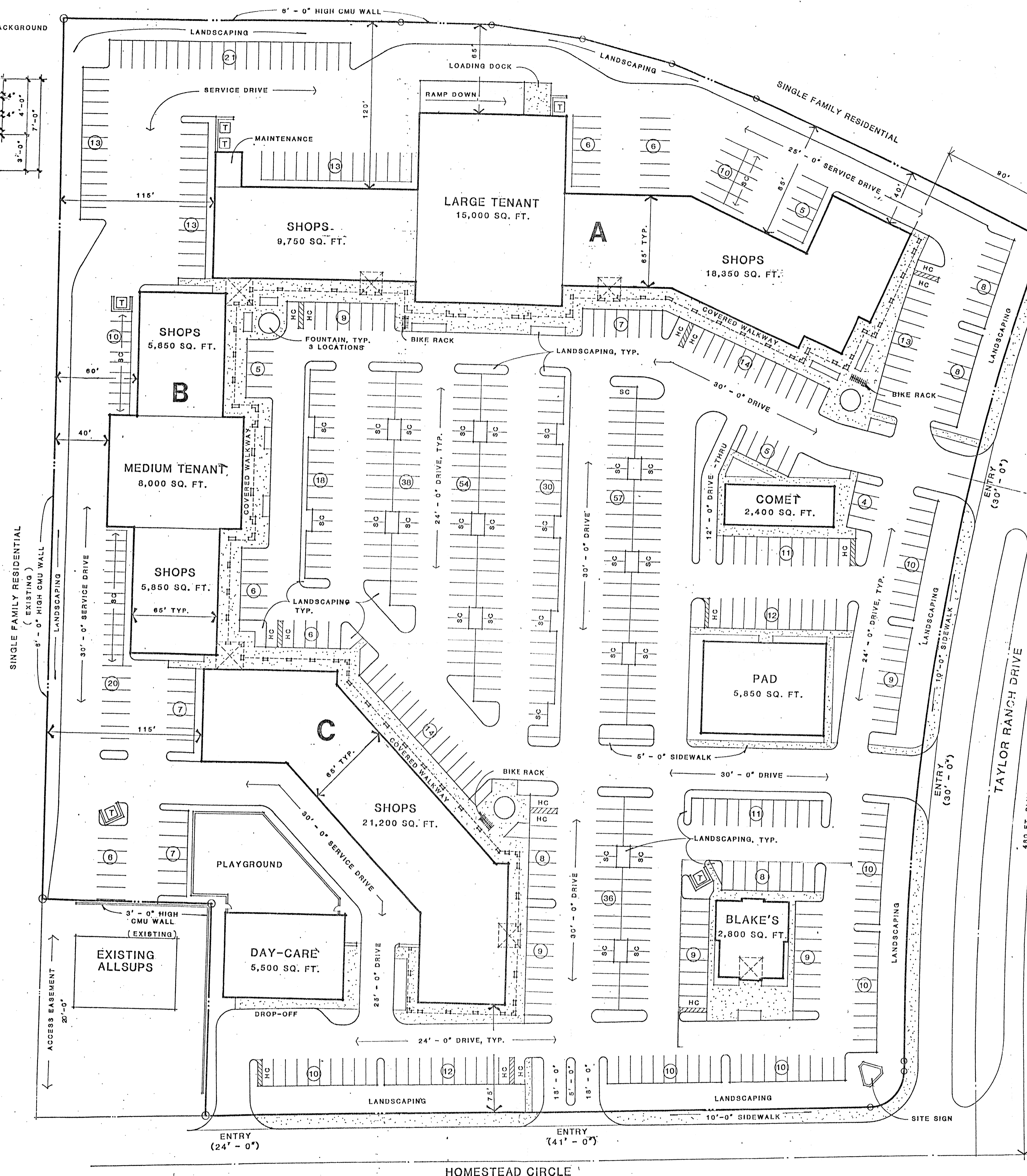
**SITE SIGN ELEVATION**  
SCALE: 1/4" : 1'0"



**SITE SIGN PLAN**  
SCALE: 1/4" : 1'0"

**PROJECT PHASING**

Phasing will be driven by the process of marketing the project to prospective tenants and as such is not completely predictable. It is probable that buildings A, B, & C will be built in stages. The order is uncertain at this time. The project should be evaluated as a whole. If the project is phased, each phase will include the necessary site grading, utilities, access, drives, parking, and landscaping to make that phase a complete project meeting all code and zoning requirements.



**KEY**

- T - TRASH ENCLOSURE
- SC - SMALL CAR PARKING (7.5'x15')
- HC - HANDICAPPED PARKING (8.5'x20' W/ 3.5' SIDE AISLE)

NOTE: TYP. PARKING STALL: 8.5'x20'

**PROJECT DATA**

BUILDING AREA:	
LARGE TENANT	15,000
MEDIUM TENANT	8,000
SHOPS	61,000
PAD	5,850
COMET	2,400
BLAKE'S	2,800
DAY-CARE	5,500
<b>TOTAL</b>	<b>100,550 SQ. FT.</b>

**PARKING:**

REQUIRED: 525 ±  
PROVIDED: 626(530 STD./ 80 SC/ 16 HC)  
489 IN FRONT/ 137 IN REAR

SITE AREA: 11.04 ACRES / 480,902 SQ. FT.

F.A.R.: .21

**SITE PLAN**  
SCALE: 1" : 40' - 0"



**HOMESTEAD HILLS**  
SHOPPING CENTER

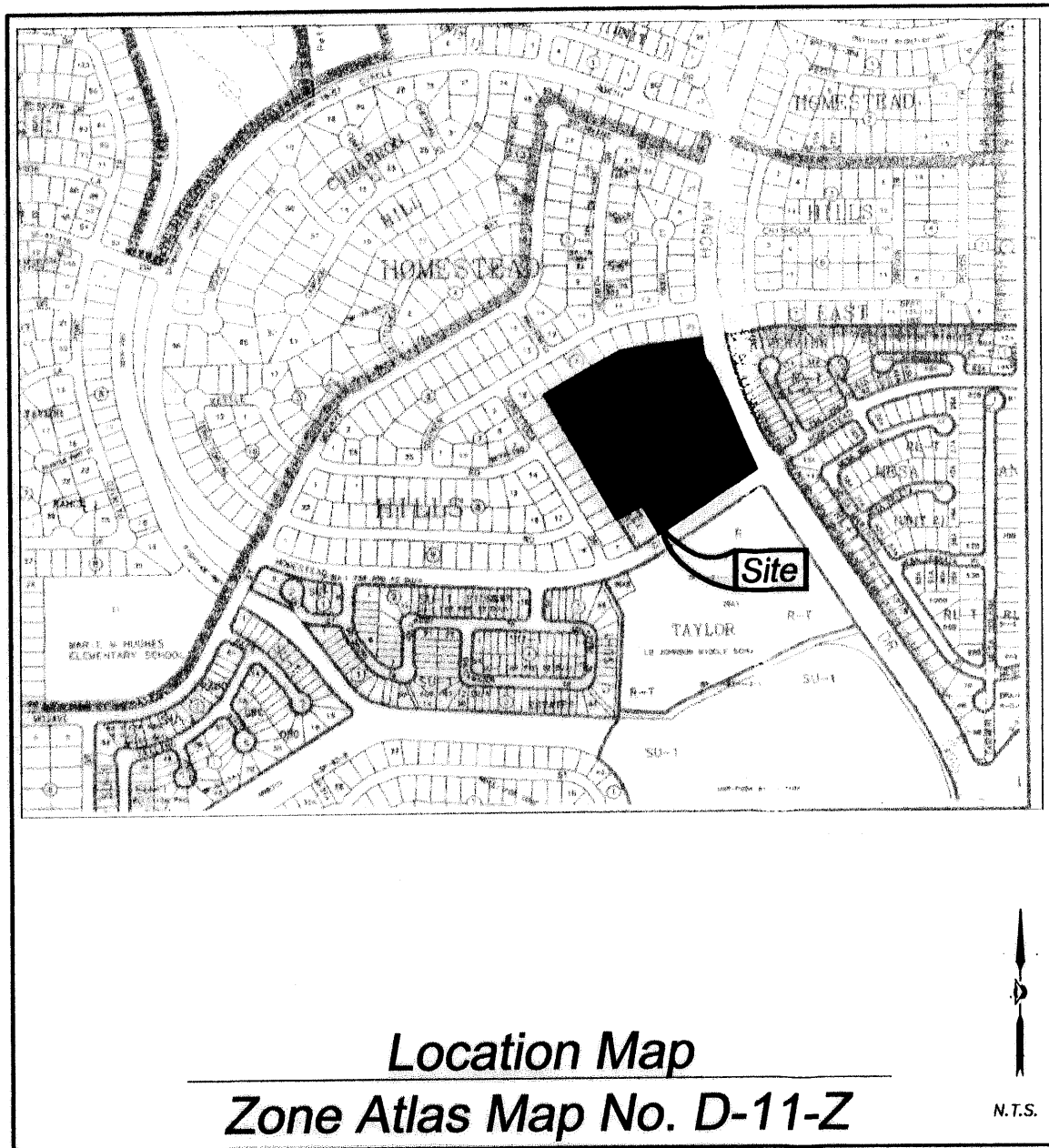
TAYLOR RANCH  
ALBUQUERQUE, NM

**ERIC MILLER ARCHITECT • AIA**  
2437 ZEARING AVE. NW  
ALBUQUERQUE, NEW MEXICO 87104  
(505) 764-9557  
FAX (505) 764-9550

ARCHITECTURAL

1





RECORDING STAMP

Plat of  
 Tracts Y-2A-1 and Y-2A-2  
**Taylor Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 June 2003

**Legal Description**

TRACT Y-2A, OF THE REPLAT OF TRACT Y-2, TAYLOR RANCH TO TRACT Y-2A, TAYLOR RANCH, SECTION 23, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID REPLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 6, 1990, IN PLAT BOOK 90C, FOLIO 58, CONTAINING 0.8971 ACRES MORE OR LESS, NOW COMPRISING TRACTS Y-2A-1 AND Y-2A-2 TAYLOR RANCH.

**Approvals Application No.**

CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER <i>M.B. Gal</i>	DATE 6-26-03
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
UTILITY DEVELOPMENT DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES <i>David R. Muller</i>	DATE 6-25-03
QUEST CORPORATION <i>Robert Maudsley</i>	DATE 6-26-03
COMCAST CABLE	DATE

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 4.0125 ACRES±  
 ZONE ATLAS INDEX NO: D-11-Z  
 NO. OF TRACTS CREATED: 2  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: MARCH 2003

**Notes:**

- MISC. DATA: ZONING C-2 (SC)
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 23, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO TWO NEW TRACTS, AND GRANT AN EASEMENT
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2003171470

**Easements**

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*G. Blake Chanslor* 6/26/03  
 G. BLAKE CHANSLOR TRUSTEE DATE  
 G. BLAKE AND JUNE L. CHANSLOR REVOCABLE TRUST

TREASURER'S CERTIFICATE

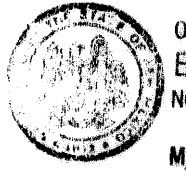
**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano* 6/26/03  
 LARRY W. MEDRANO DATE  
 N.M.P.S. No. 11993



**Acknowledgment**



STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )  
 My commission expires: April 6, 2006  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20 DAY OF June, 2003 BY  
 G. BLAKE CHANSLOR, TRUSTEE, G. BLAKE AND JUNE L. CHANSLOR REVOCABLE TRUST  
 BY *Bernice Arater* MY COMMISSION EXPIRES: April 6, 2006  
 NOTARY PUBLIC

**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

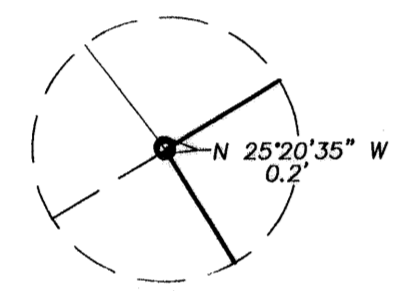
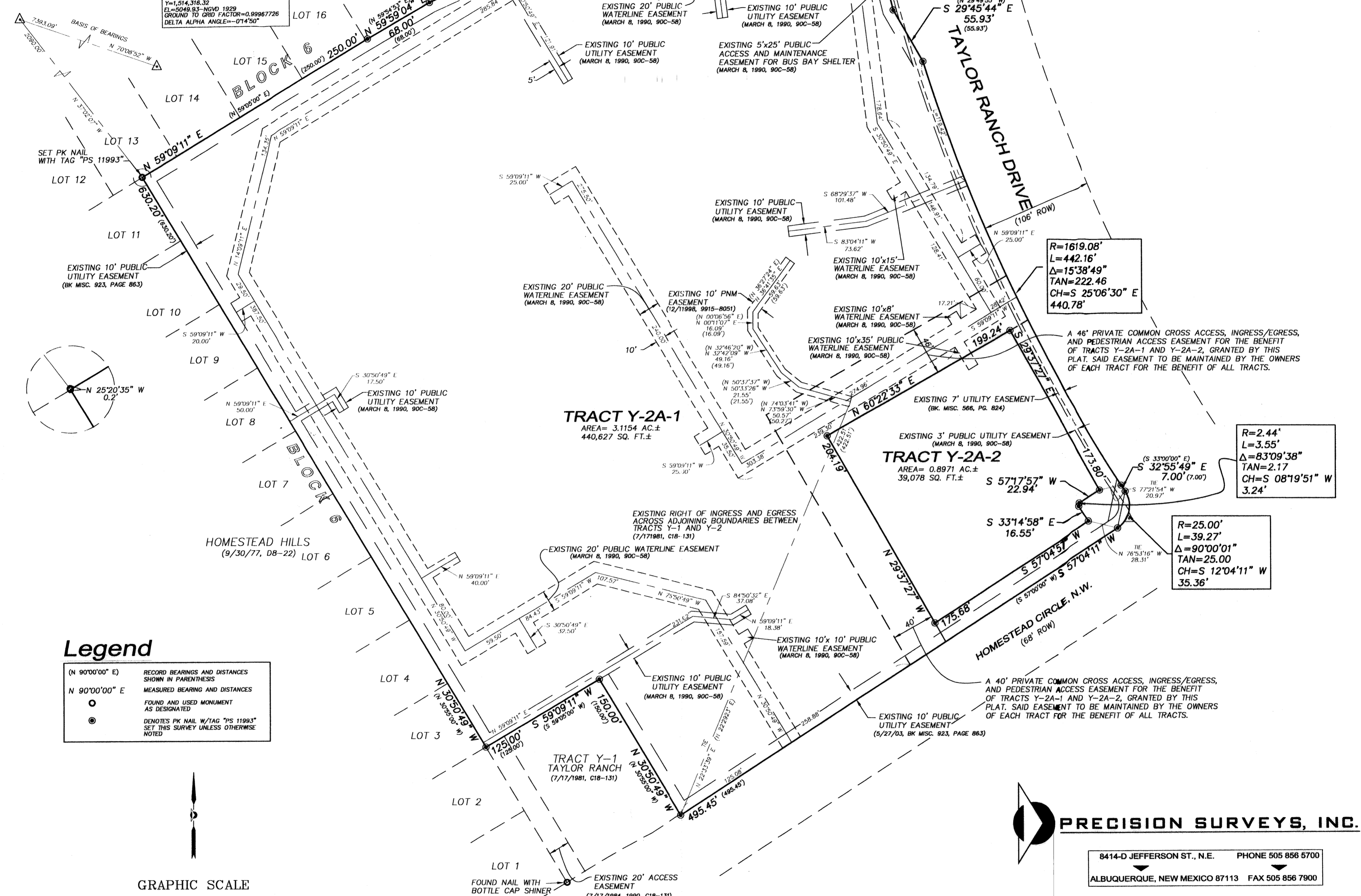
Project No. \_\_\_\_\_ Sheet 1 of 2



Plat of  
 Tract Y-2A-1 and Y-2A-2  
**Taylor Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 June 2003

A.C.S. MONUMENT "4-D11"  
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 (FOUND IN PLACE)  
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 (CENTRAL ZONE-N.A.D. 1927)  
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 Y=1,516,826.11  
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 DELTA ALPHA ANGLE=-0°15'38"

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 STANDARD A.C.S. BRASS TABLET  
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 EL=5049.93-NGVD 1929  
 GROUND TO GRID FACTOR=0.99967726  
 DELTA ALPHA ANGLE=-0°14'50"



**Legend**

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES AS DESIGNATED
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES PK NAIL W/TAG "PS 11993" SET THIS SURVEY UNLESS OTHERWISE NOTED

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**PRECISION SURVEYS, INC.**

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