

#11



Complete 6/30/04
M.

DRB CASE ACTION LOG (PREL & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00943 (P&F)
Project Name: COTTONWOOD CROSSING
Phase 2
Agent: Tierra West LLC

Project # 1002792
Phone No.: 858-3100 ~~858-3100~~

Project Number 1002792

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/30/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: AMAFCA'S signature BUB 6/30/04

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required. ok**
- Copy of recorded plat for Planning.**

#8



DRB CASE ACTION LOG (SITE PLAN SUB. & SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00896 (SPS) & 04DRB-00897 (SBP)

Project # 1002792

Project Name: BLACK RANCH

Agent: George Rainhart Architects & Assoc.

Phone No.:

884.9168 x106

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on ~~6/30/04~~ by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - Include 3 copies of the approved site plan along with the originals.** *SPS + 5 SBP (3 each)*
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Project Number

1002792

#11



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00943 (P&F)

Project # 1002792

Project Name: COTTONWOOD CROSSING
Phase 2

Agent: Tierra West LLC

Phone No.: 858-3100 ~~858-3100~~

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/30/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____
AMAFCA'S signature

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat . with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required. *ok***
- Copy of recorded plat for Planning.**

Project Number 1002792

AGIS ELECTRONIC PLAT APPROVAL FORM

DRB Project Case # 1002792
 Subdivision Name Cottonwood Crossing, Phase II
 Surveyor Russ Hugg
 Company/Agent Surv Tek/Tierra West
 Contact Person Karen Kline Phone # 858-3100 email _____

DXF Received Date: 3/19/04
 Hard-Copy Date: 3/22/04

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other

Patricia M. Gyst 3/22/04
 Approved Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only		Contact person
Copied cov <u>2792a</u> to agiscov.	Date: <u>3/22/04</u>	Notified on: <u>3/22/04</u>



DEVELOPMENT REVIEW BOARD
ACTION SHEET

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 30, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:55 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001090**

04DRB-00863 Major-Preliminary Plat Approval

04DRB-00864 Minor-Temp Defer SDWK

04DRB-00986 Minor-SiteDev Plan

BldPermit/EPC

04DRB-00985 Minor-SiteDev Plan

BldPermit/EPC

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for NEWMAN HOMES, INC request(s) the above action(s) for all or a portion of Lot(s) 29, 30, 31 &, 32, Block 4, NORTH ALBUQUERQUE ACRES UNIT 3, TRACT 3, TIERRA MORENA SUBDIVISION, zoned SU-2 FOR O-1 & R-T, located on SIGNAL AVE NE, between BARSTOW ST NE and VENTURA AVE NE containing approximately 4 acre(s). [REF: Z-98-87, 01128-00908, 01128-00909] [Russell Brito, EPC Case Planner] (C-20) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/30/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/18/04 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.

2. **Project # 1001438**
04DRB-00872 Major-Preliminary Plat
Approval
04DRB-00878 Major-Vacation of Pub
Right-of-Way
04DRB-00874 Minor-Sidewalk Waiver
04DRB-00876 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for ARGUS DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 349A-1, TOWN OF ATRISCO GRANT UNIT 8, (to be known as **KENSINGTON, UNIT 5**, zoned R-D residential and related uses zone, developing area, located on LADERA DR NW, between OURAY RD NW and ZARZAMORA AVE NW containing approximately 3 acre(s). [REF: 01EPC-01233, 01EPC01557, 01EPC01234, 01EPC01558, 03DRB00079, 04EPC 00149] (H-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/30/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/29/04 THE PRELIMINARY PLAT WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1002196**
04DRB-00873 Major-Preliminary Plat
Approval
04DRB-00877 Minor-Sidewalk Waiver
04DRB-00875 Minor-Temp Defer SDWK

WAYJOHN SURVEYING INC. agent(s) for DRAGON FLY DEVELOPMENT INC. request(s) the above action(s) for all or a portion of Tract(s) 1-B, **TOWN OF ATRISCO GRANT UNIT 6, LOS ANTEPASADOS SUBDIVISION** zoned SU-1 for MH 10 du/net acre special use zone, located on SUNSET GARDENS RD SW, between CORREGIDOR PL SW and SANTA CLARA CEMETERY SW containing approximately 6 acre(s). [REF: DRB-91-385, 02EPC-01356, 03EPC-02048, 04CC-00130] *[Deferred from 6/30/04]*(K-11) **DEFERRED AT THE AGENT'S REQUEST TO 7/14/04.**

4. **Project # 1003235**
04DRB-00879 Major-Preliminary Plat
Approval
04DRB-00880 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for ARGUS DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) C, MARIPOSA SQUARE, (to be known as **KENSINGTON, UNIT 6**, zoned R-D residential and related uses zone, developing area, located on 72ND ST NW, between LADERA DR NW and MIAMI RD NW containing approximately 3 acre(s). [REF: DRB94-419, 04EPC-00146, 04EPC-00147] (H-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/30/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/28/04 THE PRELIMINARY PLAT WAS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

5. **Project # 1003477**
04DRB-00853 Major-SiteDev Plan
BldPermit

SHIVER CONSTRUCTION COMPANY agent(s) for AMERICAN GYPSUM COMPANY request(s) the above action(s) for all or a portion of Lot A, **LAND OF AMERICAN GYPSUM COMPANY**, zoned IP industrial park zone, located on PASEO DEL NORTE NE AND JEFFERSON NE, between TIBURON NE and PASEO DEL NORTE NE containing approximately 55 acre(s). [REF: AX-87-20, Z-87-113] (D-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

6. **Project # 1003483**
04DRB-00881 Major-SiteDev Plan
BldPermit

SAM PATEL agent(s) for SANTOSH B. MODY request(s) the above action for all or a portion of Lots 17,18 & 19, Tract 4, Block 12, **NORTH ALBUQUERQUE ACRES UNIT B**, zoned SU-2 special neighborhood zone, IP, located on SIGNAL AVE NE, between I-25 NE and SAN PEDRO BLVD NE containing approximately 3 acre(s). [REF: ZA-95-414, DRB-98-273] [*Deferred from 6/30/04*] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/28/04.**

7. **Project # 1002506**
04DRB-00636 Major-Preliminary Plat
Approval
04DRB-00639 Minor-Sidewalk Waiver

TIERRA WEST LLC agent(s) for STH INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 6C, 12A&B, **PARTITION OF BLACK RANCH**, zoned RA-1, located on COORS BLVD NW, between PASEO DEL NORTE NW and WESTSIDE DR NW containing approximately 68 acre(s). [REF: 03EPC-00300, 03EPC-00301, 04DRB-00217, 04DRB-00360] [*Deferred from 5/19 & 6/9/04 & 6/23/04 & 6/30/04*] (C-13) **DEFERRED AT THE AGENT'S REQUEST TO 7/14/04.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **Project # 1002455**
04DRB-00984 Minor-SiteDev Plan
BldPermit/EPC`

TIMOTHY M. OTT request(s) the above action(s) for all or a portion of Lot(s) 1, **JJ SUBDIVISION**, zoned SU-1 FOR C-1, located on SAN ANTONIO DR NE, between I-25 and SAN PEDRO NE containing approximately 3 acre(s). [REF:03EPC00147, 00148, 03DRB01899, 03DRB00893, 03DRB1654, 1655] [**Debbie Stover, EPC Case Planner**] [*Deferred from 6/30/04*] (E-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/14/04.**

9. **Project # 1003220**
04DRB-00922 Minor-SiteDev Plan
BldPermit/EPC

INNERCITY DEVELOPMENT CORP agent(s) for DESERT HILLS TREATMENT CENTER request(s) the above action(s) for all or a portion of Tract(s) 22-A, **CORONA DEL SOL**, zoned SU-1 PRD, located on SEQUOIA RD NW, between COORS RD NW and ALAMOGORDO RD NW containing approximately 3 acre(s). [REF: 04EPC00107] [**Makita Hill, EPC Case Planner**] [*Deferred from 6/23/04*](G-11) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

10. **Project # 1003239**
04DRB-00899 Minor-SiteDev Plan Subd/EPC
04DRB-00900 Minor-SiteDev Plan BldPermit
04DRB-00947 Minor-Prelim&Final Plat
Approval

BRASHER & LORENZ, INC agent(s) for LEE SMITH request(s) the above action(s) for all or a portion of Tract(s) 264, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned SU-1 FOR C-3 USES, located on HANOVER RD NW, between 64th STREET NW and COORS BLVD NW containing approximately 5 acre(s). [REF: 04EPC00164, 04EPC00165] [Makita Hill, EPC Case Planner] (Deferred from 6/16/04 & 6/23/04) (H-10 & J-10) **SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/30/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

11. **Project # 1002792**
04DRB-00896 Minor-SiteDev Plan Subd
04DRB-00897 Minor-SiteDev Plan
BldPermit

GEORGE RAINHART ARCHITECTS & ASSOCIATES, agent(s) for TRUST OF ALBERT & MARY BLACK (JOHN BLACK), request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH**, (to be known as **COTTONWOOD CROSSING, PHASE II**, zoned SU-1 FOR C3 (Restaurant w/full service liquor) & SU-1 FOR 0-1, located on COORS BLVD NW, between SEVEN BAR LOOP NW and ALAMEDA BLVD NW containing approximately 10 acre(s). REF: 04DRB-00184, 03DRB-01945, 03DRB-1946, 03DRB-02884, 03DRB017880, 03EPC02037, 03EPC02036, 03EPC02034, 0EPC02035, 3EPC01085, 03EPC01086, 0AA00222] [Debbie Stover, EPC Case Planner] (Deferred from 6/16/04) (B-14) **SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

04DRB-00943 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC, agent(s) for TRUST OF ALBERT & MARY BLACK, request(s) the above action(s) for all or a portion of Lot(s) 2-A, 2-B, 2-C and 2-D, **COTTONWOOD CROSSING, PHASE II**, zoned SU-1 for C-1 & Restaurant, located on COORS BLVD NW AND SEVEN BAR LOOP NW, containing approximately 6 acre(s). [REF: DRB-94-358, SRP5-98-37, DRB-90-361, DRB-98-61, 03EPC-01085, 03EPC-01086, 03DRB-01780, 03DRB-2084, 04DRB-00184, 04AA-00222, 04DRB-00278] (B-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA SIGNATURE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1003031**
04DRB-00980 Major-Final Plat Approval
- BOHANNAN HUSTON, INC agent(s) for CURB INC request(s) the above action(s) for all or a portion of **EL RANCHO GRANDE - UNIT 14**, zoned R-LT residential zone, located on GIBSON BLVD SW, between BLAKE RD SW and MESSINA DR SW containing approximately 23 acre(s). [REF: 03DRB01741, 03DRB01742, 03DRB01743, 01744/01745, 01746] (N-8) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PROPERTY MANAGEMENT'S SIGNATURE AND AGIS DXF FILE.**
13. **Project # 1000933**
04DRB-00979 Minor-Prelim&Final Plat Approval
- BOHANNAN HUSTON INC agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Lot(s) 57, Tract(s) C, **TERRACITA SUBDIVISION**, zoned R-T residential zone, located on SOUTHERN BLVD SE, between TERRA BONITA WAY SE and TERRA BELLA LN SE containing approximately 1 acre(s). [REF: 03DRB01895] (L-21) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO CHECK FOR LISTING OF CURRENT ZONING UNDER SUBDIVISION DATA AND AGIS DXF FILE.**
14. **Project # 1002851**
04DRB-00973 Major-Final Plat Approval
- ABQ ENGINEERING INC agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of east 1/2 of Tract(s) 4, ALVARADO GARDENS, (to be known as **LA PLAZA ACEQUIA I SUBDIVISION**, zoned R-2 residential zone, located on CANDELARIA RD NW, between DURANES LATERAL and RIO GRANDE BLVD NW containing approximately 2 acre(s). [REF: 03DRB1637, 03DRB01278] (G-12) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1003026**
04DRB-00972 Minor-Final Plat Approval

ABQ ENGINEERING INC agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, ALVARADO GARDENS, (to be known as **LA PLAZA ACEQUIA II SUBDIVISION**, zoned R-LT residential zone, located on CANDELARIA RD NW, between DURANES LATERAL and RIO GRANDE BLVD NW containing approximately 1 acre(s). [REF: 03DRB31712, 03DRB02099] [FinalPlat was Indef. Deferred on 12/31/03 for SIA] (G-12) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

16. **Project # 1003430**
04DRB-00721 Minor-Prelim&Final Plat Approval

ALDRICH LAND SURVEYING INC agent(s) for RONALD L. & JERI J. NASCI request(s) the above action(s) for all or a portion of Lot(s) 14A, Block(s) 3, Unit(s) 1, **CRYSTAL RIDGE**, zoned R-LT, located on BARRETT AVE NW, between LOREN AVE NW and LA CANADA DR NW containing approximately 1 acre(s). [*Deferred from 5/19/04 & 6/2/04*] [REF: DRB 97-298, DRB 98-410] (*Deferred from 6/16/04*) (B-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR VACATION EXHIBIT AND FEE SIMPLE LANGUAGE ABOVE THE OWNER'S SIGNATURE ON THE PLAT.**

- 04DRB-00978 Minor-Vacation of Private Easements

ALDRICH LAND SURVEYING, INC. agent(s) for RONALD & JERI NASCI request(s) the above action(s) for all or a portion of Lot(s) 14-A, P-1, Block(s) 3, Unit(s) 1, **CRYSTAL RIDGE**, zoned R-LT residential zone, located on BARRETT AVE NW, between LOREN AVE. NW and LA CANADA DR. NW containing approximately 1 acre(s). [REF:04DRB-00721, DRB-97-298,S-97-88, DRB-98-410,SP-99-17] (B-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

17. **Project # 1003507**
04DRB-00968 Minor-Prelim&Final Plat
Approval

RHOMBUS PA INC. agent(s) for JOSEPH P. MCGEE request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 8, **FAIRGROUNDS ADDITION**, zoned C-3 heavy commercial zone, located on SAN PEDRO DR SE, between COCHITI RD SE and ACOMA RD SE containing approximately 1 acre(s). *(Deferred from 6/30/04)* (K-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/14/04.**

18. **Project # 1003509**
04DRB-00983 Minor-Prelim&Final Plat
Approval

SURVEYING CONTROL INC agent(s) for CITY OF ALBUQUERQUE LEGAL DEPT., REAL PROPERTY request(s) the above action(s) for all or a portion of Block(s) 11, **DUKE CITY INDUSTRIAL AREA**, zoned C-3 heavy commercial zone, located on CLAREMONT AVE NE, between WELLESLEY DR NE and RICHMOND DR NE containing approximately 4 acre(s). [REF: Z-92-19] *(Deferred from 6/30/04)* (H-16) **DEFERRED AT THE AGENT'S REQUEST TO 7/14/04.**

19. **Project # 1003469**
04DRB-00891 Minor-Prelim&Final Plat
Approval
04DRB-00892 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES, LTD request(s) the above action(s) for all or a portion of Lot(s) 25, 26 & 27, Tract(s) 3, Block(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 9, (to be known as **OAKLAND HEIGHTS SUBDIVISION**) zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB-00821] *(Deferred from 6/16/04 & 6/23/04 & 6/30/04)* (C-20) **DEFERRED AT AGENT'S REQUEST TO 7/14/04.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

20. **Project # 1002779**
04DRB-00959 Minor-Sketch Plat or Plan
- ADVANCED ENGINEERING & CONSULTING agent(s) for JAMES JARAMILLO request(s) the above action(s) for all or a portion of Tract(s) C, **LANDS OF POLO CHAVEZ AND TRACT(S) A-1 & A-2, SAN JOSE TRACT**, zoned A-1 COUNTY, located on AIRPORT DR SW, between DONA BARBARA AVE SW and EDUARDO RD SW containing approximately 9 acre(s). [REF: 03EPC02049, 03EPC01061] (M-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
21. **Project # 1003497**
04DRB-00936 Minor-Sketch Plat or Plan
- GENE & DOROTHY DYER request(s) the above action(s) for all or a portion of Lot(s) 7-12, Block(s) 20, **FAIRGROUNDS ADDITION**, zoned C-3 heavy commercial zone, located on DOMINGO RD NE, between SAN PEDRO NE and CALIFORNIA ST NE containing approximately 1 acre(s). (K-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
22. **Project # 1003505**
04DRB-00956 Minor-Sketch Plat or Plan
- ELLIOTT SURVEYING agent(s) for ALBUQUERQUE CHRISTIAN CHILDREN'S HOME request(s) the above action(s) for all or a portion of Tract(s) A & B, **ALBUQUERQUE CHRISTIAN CHILDREN'S HOME**, zoned SU-1, located on WINTER HAVEN RD NW, between MONTANO PLAZA DR NW and MONTANO RD NW containing approximately 6 acre(s). (E-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
23. Approval of the Development Review Board Minutes for June 9 and June 16, 2004. **THE MINUTES FOR JUNE 9 AND JUNE 16, 2004 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:55 A.M.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
June 30, 2004 Comments**

ITEM # 11

PROJECT # 1002792 APPLICATION # O4-00943

RE: Cottonwood Crossing, Phase II/minor plat

After the owners signatures appear on the plat with the proper language and the current zoning is listed on the plat as well, Planning has no objection to approval of the plat, assuming the site plans are approved as well.

AGIS dxf is approved.

Applicant may file the plat provided Planning gets a copy after it is recorded.



Sheran Matson, AICP DRB Chair
924-3880 fax 924-3864 smatson@cabq.gov



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002792

AGENDA ITEM NO: 11

SUBJECT:

- | | | |
|------------------------------|--------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments on site plan.
AMAFCA must sign plat.

RESOLUTION:

APPROVED ; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) **(FP)** TO: (UD) **(CE)** (TRANS) (PKS) (PLNG)

FOR:

AMAFCA

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 30, 2004



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 16, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:55 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002002**
04DRB-00803 Major-Vacation of
Public Easements
04DRB-00805 Minor-Prelim&Final Plat
Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for RETAIL DEVELOPMENT INC, LLC request(s) the above action(s) for a Portion of Drainage Easement, **BEAR CANYON ARROYO**, zoned C-3 heavy commercial zone, located on SAN MATEO BLVD NE, between SAN MATEO BLVD NE and I-25 containing approximately 5 acre(s). [REF: 03DRB-00168, 03DRB-00605, 02DRB-01743] (E-17) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/16/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12/17/02 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. FINAL PLAT WAS INDEFINITELY DEFERRED.**

2. **Project # 1002397**
04DRB-00798 Major-Vacation of
Public Easements
04DRB-00797 Minor-Vacation of
Private Easements

TIERRA WEST, LLC agent(s) for SHULL REALTY & WATERS EDGE LLC request(s) the above action(s) for all or a portion of Lot(s) 1-9, **LANDS OF TAYLOR - MARTIN L.**, zoned C-1 neighborhood commercial zone, located on LA ORILLA RD NW, between COORS BLVD NW and CORRALES DRAIN containing approximately 12 acre(s). [REF: Z-87-56, DRB-87-200, 04DRB-00762] (E-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

3. **Project # 1003236**
04DRB-00802 Major-Vacation of
Public Easements
04DRB-00801 Major-Preliminary Plat
Approval
04DRB-00799 Minor-SiteDev Plan
Subd/EPC
04DRB-00800 Minor-SiteDev Plan
BldPermit/EPC
04DRB-00804 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for JENNIFER SOULE request(s) the above action(s) for all or a portion of Lot(s) 1, MARIN SUBDIVISION, (to be known as **VILLA DE LA CHAMISA**, zoned SU-1 special use zone, for PRD, located on PARADISE BLVD NW, between VIVALDI TRAIL NW and BIG SAGE NW containing approximately 9 acre(s). [REF: 04EPC-00150] (*Deferred from 6/16/04*) (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 6/23/04.**

4. **Project # 1002632**
04DRB-00760 Major-Bulk Land
Variance
04DRB-00761 Minor-Prelim&Final Plat
Approval

TIERRA WEST, LLC agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, PARAGON RESOURCES, (to be known as **SUNDANCE ESTATES**) zoned R-D residential and related uses zone, developing area FOR R-LT, located on PARADISE BLVD. NW, between LYONS BLVD. NW and BLANDA COURT NW containing approximately 122 acre(s). [REF: 03EPC-00690, 03DRB-01306] [Deferred from 6/9/04] (B-11) **THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY AND FINAL PLAT WERE APPROVED WITH FINAL PLAT DELEGATED TO PLANNING FOR AGIS DXF FILE AND THE 15-DAY APPEAL PERIOD AND TO CITY ENGINEER FOR AMAFCA SIGNATURE.**

5. **Project # 1002718**
04DRB-00758 Major-Preliminary Plat
Approval
04DRB-00759 Minor-Temp Defer
SDWK

TIERRA WEST, LLC agent(s) for TS MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 334B2A1 TRACT 334B2B, 334B1, **RIVERVIEW ACRES, UNIT 2**, zoned RA-1 residential and agricultural zone, semi-urban area, located on GABALDON RD NW, between RIVERSIDE DRAIN CANAL and GABALDON RD NW containing approximately 10 acre(s). [Deferred from 6/9/04]. (H-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/16/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/8/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

6. **Project # 1003231**
04DRB-00261 Major-Preliminary Plat
Approval
04DRB-00263 Minor-Temp Defer
SDWK

WILSON & COMPANY INC agent(s) for LONGFORD @ ARROWWOOD LLC request(s) the above action(s) for all or a portion of Tract(s) 29A & 30A1, **LANDS OF SALAZAR/QUATRO/SJ HANNETT**, zoned R-LT residential zone, located on 98TH ST SW, between RIO BRAVO SW and BLAKE SW containing approximately 59 acre(s). [REF: 02DRB-01621, 01622, 04DRB-00137] [Deferred from 5/19/04 & 6/9/04] (N-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/16/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/3/04 THE PRELIMINARY PLAT WAS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE**

7. **Project # 1002739**
04DRB-00641 Major-Preliminary Plat Approval
04DRB-00642 Major-Vacation of Pub Right-of-Way
04DRB-00645 Major-Vacation of Public Easements
04DRB-00646 Minor-Sidewalk Waiver
04DRB-00647 Minor-Subd Design (DPM) Variance
04DRB-00648 Minor-Temp Defer SDWK
04DRB-00818 Minor-Subd Design (DPM) Variance

MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HEIGHTS LLC request(s) the above action(s) for all or a portion of Block(s) PARA & 2D, Tract(s) B-1 LANDS OF RIO BRAVO PARTNERS, ROSNER TRACTS, **ANDERSON HEIGHTS**, zoned R-D residential and related uses zone, developing area, located on 118TH STREET SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 249 acre(s). [REF: 03DRB-00983, 04DRB-00179] [*Deferred from 5-19-04 & 6-2-04*] (P-8/N-8) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/16/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/23/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

04DRB-00894 Minor-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HEIGHTS, LLC request(s) the above action(s) for all or a portion of Tract(s) 2-D, LANDS OF RIO BRAVO PARTNERS, **ANDERSON HEIGHTS**, zoned R-D residential and related uses zone, developing area, located on 118TH ST SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 119 acre(s). [REF: 04DRB00641, 00642-00645,00646,00647 & 0064848, 04DRB00818] (N-8/P-8) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. Project # 1002792

04DRB-00896 Minor-SiteDev Plan
Subd
04DRB-00897 Minor-SiteDev Plan
BldPermit

GEORGE RAINHART ARCHITECTS & ASSOCIATES, agent(s) for TRUST OF ALBERT & MARY BLACK (JOHN BLACK), request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH**, zoned SU-1 FOR C3 (Restaurant w/full service liquor) & SU-1 FOR 0-1, located on COORS BLVD NW, between SEVEN BAR LOOP NW and ALAMEDA BLVD NW containing approximately 10 acre(s). REF: 04DRB-00184, 03DRB-01945, 03DRB-1946, 03DRB-02884, 03DRB017880, 03EPC02037, 03EPC02036, 03EPC02034, 0EPC02035, 3EPC01085, 03EPC01086, 0AA00222] [**Debbie Stover, EPC Case Planner**] (*Deferred from 6/16/04*) (B-14) **DEFERRED AT THE AGENT'S REQUEST TO 6/30/04.**

9. Project # 1003239

04DRB-00900 Minor-SiteDev Plan
BldPermit
04DRB-00899 Minor-SiteDev Plan
Subd/EPC
04DRB-00947 Minor-Prelim&Final Plat
Approval

BRASHER & LORENZ, INC agent(s) for LEE SMITH request(s) the above action(s) for all or a portion of Tract(s) 264, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned SU-1 FOR C-3 USES, located on HANOVER RD NW, between 64th STREET NW and COORS BLVD NW containing approximately 5 acre(s). [REF: 04EPC00164, 04EPC00165] [**Makita Hill, EPC Case Planner**] (*Deferred from 6/16/04*) (H-10 & J-10) **DEFERRED AT THE AGENT'S REQUEST TO 6/23/04.**

10. **Project # 1000418**
04DRB-00824 Minor-SiteDev Plan
BldPermit

LPDJ ARCHITECTS, LLC, LELAND GRAY agent(s) for VICTORY LOVE FELLOWSHIP CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1 VICTORY LOVE FELLOWSHIP CHURCH (to be known as **LEGACY CHURCH**, zoned SU-1 FOR CHURCH & RELATED FACILITIES, located on CENTRAL AVE NW, between COORS BLVD NW and UNSER BLVD NW [REF: 00128-00459, 02EPC-01952, 03EPC 01471] [*Deferred from 6/2/04*] [Makita Hill, EPC Case Planner] K-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA. AN INFRASTRUCTURE LIST DATED 6/16/04 WAS APPROVED.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1002247**
04DRB-00890 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON, INC agent(s) for HUNT UPTOWN, LLC request(s) the above action(s) for all or a portion of Tract(s) A, **ABQ UPTOWN SITE, ST. PIUS X**, zoned SU-3 special center zone, located on INDIAN SCHOOL RD NE, between LOUISIANA BLVD NE and ESPANOLA ST NE containing approximately 18 acre(s). [REF: 1001164, 04DRB-00830] (*Deferred from 6/16/04*) (H-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/23/04.**

12. **Project # 1002404**
04DRB-00904 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) 1, **LADERA INDUSTRIAL CENTER**, zoned SU-1 FOR I-P, located on UNSER BLVD NW, between OLD OURAY RD NW and VISTA ORIENTE ST NW containing approximately 10 acre(s). [REF: Z-92-45, Z-81-49-1, DRB-99-102, 02EPC01948, 03EPC10192, 03EPC-01211, 03EPC01116, 04DRB00673, 04DRB00672] (H-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SPS LOT ACREAGE – AA SUBMITTED TO AMEND TO MATCH PLAT.**

13. **Project # 1002520**
04DRB-00893 Minor-Prelim&Final Plat
Approval
04DRB-00895 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for JENNIFER SOULE request(s) the above action(s) for all or a portion of Lot(s) 15 & 16, Tract(s) 2, Block(s) 4, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). [REF: 04DRB00705] (C-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/16/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/31/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

14. **Project # 1003469**
04DRB-00891 Minor-Prelim&Final Plat
Approval
04DRB-00892 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES, LTD request(s) the above action(s) for all or a portion of Lot(s) 25, 26 & 27, Tract(s) 3, Block(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 9**, (to be known as **OAKLAND SUBDIVISION**) zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB-00821] (*Deferred from 6/16/04*) (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 6/23/04.**

15. **Project # 1002743**
04DRB-00888 Minor-Prelim&Final Plat
Approval

BORDENAVE DESIGNS agent(s) for HARVEST HOMES LLC request(s) the above action(s) for all or a portion of Tract(s) C, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE NW containing approximately 2 acre(s). [REF: Z-03-01007, 03DRB00989] (F-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/16/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/17/79 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

- 04DRB-00886 Minor-Prelim&Final Plat
Approval

BORDENAVE DESIGNS agent(s) for HARVEST HOMES LLC request(s) the above action(s) for all or a portion of Tract(s) H, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE NW containing approximately 2 acre(s). [REF: 03DRB-00989, 03DRB01544, 03DRB02083, 04DRB00399] (F-11) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD WITH THE FINDING THAT THE REPLAT DOES NOT REQUIRE A REVISED INFRASTRUCTURE LIST OR SUBDIVISION IMPROVEMENTS AGREEMENT.**

16. **Project # 1003111**
04DRB-00715 Major-Final Plat Approval

ISAACSON & ARFMAN, PA agent(s) for WINDMILL MANOR PLACE, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **WINDMILL MANOR**, zoned SU-1 PRD, located on DELLYNE AVE NW, between MARIPOSA DR NW and VALLE VISTA DR NW containing approximately 4 acre(s). [REF: 04DRB-00377, Z-95-79, Z-98-57, DRB-96-355, 03DRB-01986, 03DRB-01987, 01988, 01989] (Deferred from 5-19-04, Indef. Deferred on 5/26/04) (E-11) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

17. **Project # 1003430**
04DRB-00721 Minor-Prelim&Final Plat
Approval

ALDRICH LAND SURVEYING INC agent(s) for RONALD L. & JERI J. NASCI request(s) the above action(s) for all or a portion of Lot(s) 14A, Block(s) 03, **CRYSTAL RIDGE**, zoned R-LT, located on BARRETT AV E NW, between LOREN AVE. NW and LA CANADA DR. NW containing approximately 1 acre(s). [*Deferred from 5/19/04 & 6/2/04*] [REF: DRB 97-298, DRB 98-410] (Deferred from 6/16/04) (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 6/30/04.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

18. **Project # 1003486**
04DRB-00887 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST agent(s) for SERGIO ROMAN request(s) the above action(s) for all or a portion of Lot(s) 3, 4 & 4A, Block(s) 1, **APODACA & SEDILLO ADDITION**, zoned SU-2 special neighborhood zone, R-1 & LCR, located on EIGHTH ST SW, between BELL AVE. SW and LEWIS SW containing approximately 1 acre(s). (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1003475**
04DRB-00842 Minor-Sketch Plat or Plan

WILSON & COMPANY, INC. agent(s) for FELIX RABADI request(s) the above action(s) for an UNPLATTED PORTION of Tract(s) 7, **HORIZON LAND CORPORATION**, zoned SU-1 special use zone, PRD - FAR 0.5, located on the south side of PARADISE BLVD NW, between LYON BLVD NW and CONEFLOWER DR NW containing approximately 18 acre(s). [REF: Z-94-83, DRB-94-120] (*Deferred from 6/16/04*) (B-10 & B-11) **DEFERRED AT THE AGENT'S REQUEST TO 6/23/04.**

20. **Project # 1003488**
04DRB-00898 Minor-Sketch Plat or Plan

JEFF HENRY request(s) the above action(s) for all or a portion of Tract(s) 2A-2A-3, **JOURNAL CENTER BUSINESS PARK**, zoned IP, located on JOURNAL CENTER BLVD NW, between PAN AMERICAN and I-25 FRONTAGE RD containing approximately 7 acre(s). [REF: DRB-94-324, DRB-94-563, V-94-97] (D-17 & D-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1003487**
04DRB-00901 Minor-Sketch Plat or Plan

COMMUNITY SCIENCES CORPORATION, agent(s) for PETERSON PROPERTIES REAL ESTATE SERVICES INC. request(s) the above action(s) for all or a portion of Tract(s) 8 - 15 **BELMONT ADDITION AND** Tract(s) 10, **HARWOOD ADDITION**, zoned C-2 community commercial zone & P, located on 4TH ST NW, between SAN CLEMENTE NW and FREEMAN ST NW containing approximately 2 acre(s). (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Other Matters:

- Project # 1003403**
04DRB-00634 Minor-Sidewalk Waiver

ISAACSON & ARFMAN, P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) F, **THE TRAILS** (to be known as **THE RESERVE AT THE TRAILS**), zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and TOWN OF ALAMEDA GRANT SOUTH BOUNDARY containing approximately 18 acre(s). [REF: 1002962, 03DRB-01528] (Deferred from 5/19/04, 6/2/04) [On 6/9/04 the Preliminary Plat, Vacation of Public Easements and Temporary Deferral of Sidewalks was approved. The above request was omitted in error.] (C-9) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

ADJOURNED: 12:55 P.M.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002792

AGENDA ITEM NO: 8

SUBJECT:

- | | | |
|-------------------------|--------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

6-30-04

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 16, 2004

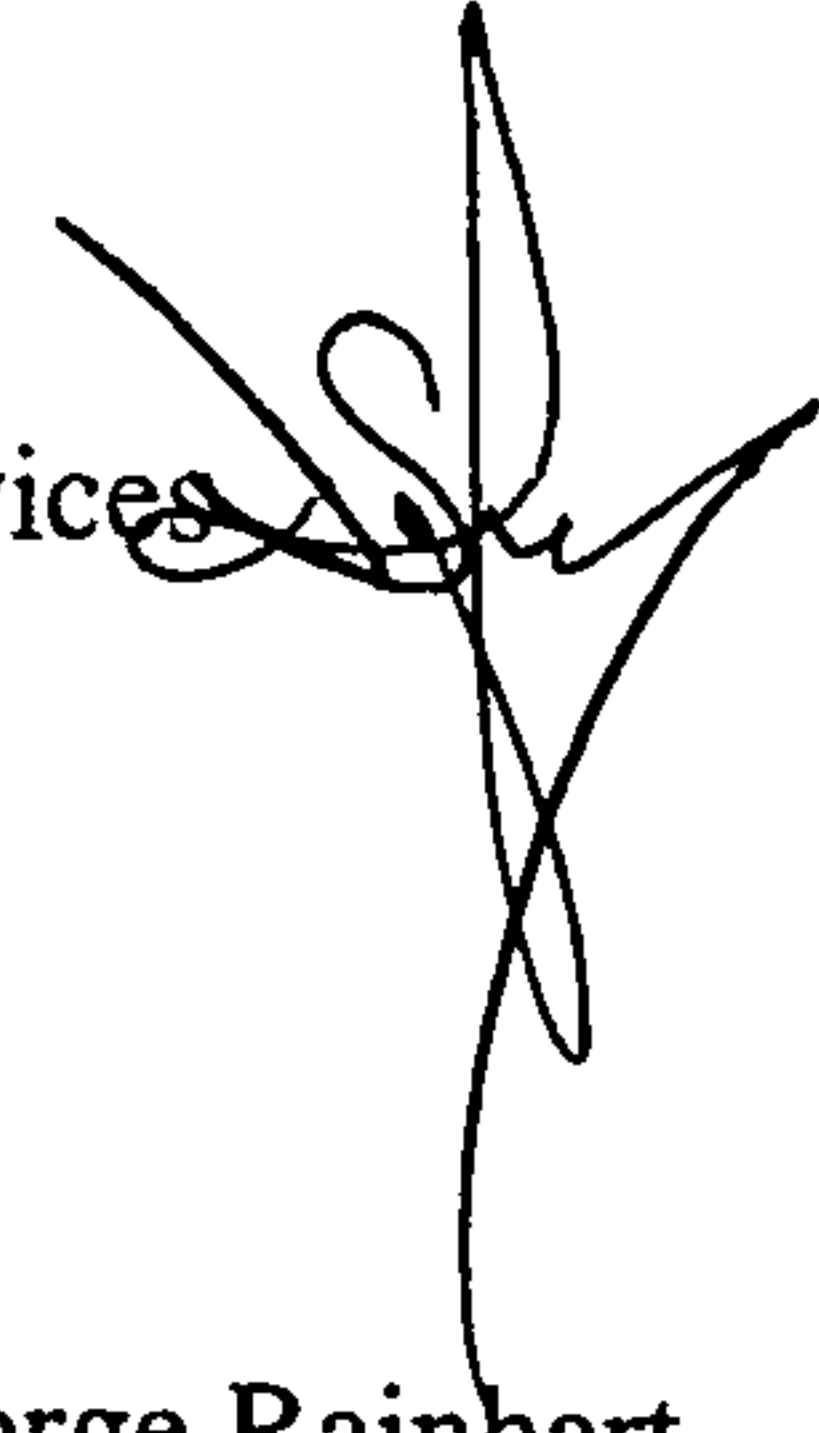
CITY OF ALBUQUERQUE

#8

Planning Department

Development Services Division

TO: Sheran Matson, Chair, Development Review Board
FROM: Deborah L. Stover, Senior Planner, Development Services
DATE: 6-15-04
SUBJECT: EPC CONDITIONS FOR PROJECT 1002792



The purpose of this memo is to address the itemized letter from George Rainhart Architect and Associates for the above referenced case:

Site Development Plan for Subdivision

All EPC conditions have been met.

Site Development Plan for Building Permit

All EPC conditions have been met.

Staff defers to Transportation Development Services regarding conditions related to traffic and transportation issues.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

MARCH 10, 2004

13. Project # 1002792
04DRB-00278 Minor-Vacation of Private Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Lot(s) 1-6, **COTTONWOOD CROSSING, PHASE 2**, zoned SU-1 FOR C-1 & REST. AND SU-1, O-1, located on COORS BLVD NW and SEVEN BAR LOOP NW containing approximately 10 acre(s). [REF: DRB-94-358, SRP5-98-37, DRB-90-361, DRB-98-61, 03EPC-01085, 01086, 03DRB-01780, 03DRB-2084, 04DRB-00184, 04AA-00222] (B-14)

At the March 10, 2004, Development Review Board meeting, the Vacation of Private Easements was approved as shown on Exhibit B in the Planning file, subject to these provisions:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements, or:
2. There is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation.
3. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.
4. Final disposition shall be through the City Real Estate Office.
5. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by March 25, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



**OFFICIAL NOTICE OF DECISION
PAGE 2**

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Sheran Matson, AICP, DRB Chair

cc:Trust of Albert & Mary Black, 3613 NM State Rd 528 NW, 87114
Tierra West LLC, 8509 Jefferson NE, 87113
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File

**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 10, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:05 A.M.
B. Changes and/or Additions to the Agenda
C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000376**
04DRB-00206 Major-Two Year SIA
- TIERRA WEST LLC agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) 1-117 and Lot(s) 1-35, Unit 2, **PARADISE SKIES, UNITS 1 & 2**, zoned R-T residential zone, located on BANDELIER DR NW, between MCMAHON BLVD NW and UNSER BLVD NW containing approximately 29 acre(s). [REF: DRB-94-107, 00DRB-00391, 00DRB-00908, 02DRB-00034, 03DRB-00113, 03DRB-00188] (A-11) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED. THIS WILL BE THE LAST EXTENSION. AGENT AGREED.**

2. **Project # 1000419**
04DRB-00207 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST NM 2000-02 NM, request(s) the above action(s) for all or a portion of Lot(s) 1B-1-A, 1B-1-B-1 and 1B-1-C-1, **RENAISSANCE CENTER**, zoned SU-1 FOR AUTO SALES & C-1 USE, located on RENAISSANCE BLVD NE, between MONTANO RD NE and UNION WAY RD NE containing approximately 3 acre(s). [REF: 02500-00165/00164, 02AA0-00814, O3DRB-00590] (F-16) **AN EXTENSION OF THE SIA WAS APPROVED TO JANUARY 8, 2005.**

3. **Project # 1000122**
04DRB-00174 Major-Vacation of Public Easements
04DRB-00173 Minor-Extension of Preliminary Plat
04DRB-00175 Minor-Vacation of Private Easements

KIM KEMPER, agent(s) for HIGH LONESOME RANCH request(s) the above action(s) for all or a portion of Tract(s) 1A AND 1C, EDEN LANDS (to be known as **HIGH LONESOME RANCH SUBDIVISION**, zoned RA-1 AND SU-1 for O-1 located on GABALDON RD NW, between MOUNTAIN RD NW and I-40 NW containing approximately 21 acre(s). [REF: DRB-98-146, Z-98-70, AX-98-8, 03DRB-00184, 00185 and 00186] [*Deferred from 3/3/04*] (H-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: M.R.G.C.D. SIGNATURE IS REQUIRED PRIOR TO CITY ENGINEER'S SIGN OFF. AN INFRASTRUCTURE LIST DATED 3/10/04 WAS APPROVED. VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1002711**
04DRB-00171 Major-Preliminary Plat
Approval
04DRB-00172 Minor-Temp Defer
SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-12 AND 21-26, Block(s) 27, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B, (to be known as **OAKLAND ESTATES**) zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK AVE NE, between SAN PEDRO BLVD NE and LOUISIANA BLVD NE containing approximately 11 acre(s). [REF: 03EPC-00907 & 00908, 03EPC-00915, 04DRB-00067, 1003099] [*Deferred from 3/3/04*] (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/10/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/28/04 THE PRELIMINARY PLAT WAS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1000650**
04DRB-00277 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for WALMART STORES INC request(s) the above action(s) for all or a portion of Lot(s) 1-A, **LANDS OF LAMONICA & WENK**, zoned SU-1, C-1 PERMANENT USES, located on COORS BLVD SW, between RIO BRAVO BLVD SW and LAMONICA RD SW containing approximately 21 acre(s). [REF: AX-88-7, Z-99-78, 03EPC-00905, 00907, 03DRB-01906] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 3/10/04*] (P-10) **DEFERRED AT THE AGENT'S REQUEST TO 3/24/04.**

6. **Project # 1001206**
04DRB-00273 Minor-SiteDev Plan
Subd/EPC
04DRB-00272 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES, agent(s) for ENTERPRISE RENTAL CAR request(s) the above action(s) for all or a portion of Tract(s) 2-A-2B, **BLACK RANCH**, zoned SU-1 FOR C-1, located on COORS BLVD NW, between PASEO DEL NORTE NW and VALLEY VIEW PL NW containing approximately 1 acre(s). [REF: 03EPC-00697, 03EPC-00698] [Debbie Stover, EPC Case Planner] (C-13) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EPC CASE PLANNER COMMENTS. SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO PROVIDE DOCUMENT NUMBER AND PAGE FOR 30-FOOT PRIVATE EASEMENT, TO PROVIDE DIMENSIONS FOR ADA PARKING AND SIDEWALK, TO PROVIDE WIDTH FOR ENTRANCE WIDTH DETAIL FOR 8-FOOT RAISED CROSSWALK AND INFRASTRUCTURE LIST SENTENCE ON SIGNATURE BLOCK.**

7. **Project # 1002796**
03DRB-02022 Minor-SiteDev Plan
BldPermit/EPC
03DRB-02024 Minor-SiteDev Plan
Subd/EPC

RMKM ARCHITECTURE agent(s) for ALBUQUERQUE FIRE DEPARTMENT, request(s) the above action(s) for all or a portion of Lot(s) 8-11, **KAY ADDITION** and Lots 8-10, Block(s) 4, **LOMA VERDE ADDITION**, zoned SU-1 & C-1, located on DALLAS NE, between CHARLESTON ST. NE and CHICO RD. NE containing approximately 1 acre(s). [REF:03EPC01099,01100,01101] [Debbie Stover, EPC Case Planner] [*Deferred from 2/25/04 & 3/10/04*] (K-19) **DEFERRED AT THE AGENT'S REQUEST TO 3/17/04.**

8. **Project # 1003102**
04DRB-00236 Minor-SiteDev Plan
BldPermit/EPC

SM & R GROUP request(s) the above action(s) for all or a portion of Lot(s) 12 & 14, **ESQUIBEL - PALMER**, zoned SU-1 PRD, located on LA GRIMA DE ORO RD NE, between JUAN TABO NE and MORRIS NE containing approximately 2 acre(s). [REF: V 84-77, Z-85-103, Z-85-102-1, 03EPC-01925, 03EPC-01929] **[Makita Hill, EPC Case Planner]** *[Deferred from 3/3/04]* (F-21) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

9. **Project # 1002333**
04DRB-00209 Minor-SiteDev Plan
BldPermit/EPC

DEKKER/PERICH/SABATINI agent(s) for THE BARRETT FOUNDATION request(s) the above action(s) for all or a portion of Block(s) 10A, Tract(s) C-1-A-2, **BELLAMAH'S PRINCESS JEANNE PARK ADDITION**, zoned C-1, located on CONSTITUTION AVE NE, between EUBANK NE and MARY ELLEN ST NE containing approximately 2 acre(s). [REF: 1002333, 02EPC-01691, 02EPC-01693, Z-870, DRB-94-619] **[Cynthia Borrego, EPC Case Planner]** *[Deferred from 2/25/04 & 3/3/04]* (J-21) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND DELEGATED TO PLANNING FOR CYNTHIA BORREGO'S INITIALS AND INFRASTRUCTURE LIST STATEMENT ON SIGNATURE BLOCK.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1002885**
04DRB-00244 Minor-Final Plat Approval
- JEFF MORTENSEN & ASSOCIATES, INC., agent(s) for DESERT RIDGE DEVELOPMENT LLC AND JASON & CINDY LYNN DASKALOS, request(s) the above action(s) for all or a portion of Lot(s) 10-24 AND 7-16, Easterly remaining portion of Lot 16, Block(s) 18 & 20, Unit(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 1, TRACT 3, (to be known as **OCOTILLO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, 4 DU/AC, located on HOLBROOK NE, CARMEL NE & HOLLY AVE NE, between ANAHEIM AVE NE and PASEO DEL NORTE containing approximately 24 acre(s). [REF: 03DRB-01354-01356, 02EPC-01353, 03DRB-01980, 01985] *[Deferred from 3/3/04]* (C-21) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
11. **Project # 1000570**
04DRB-00270 Minor-Sidewalk Waiver
- MARK GOODWIN & ASSOCIATES agent(s) for WESTLAND DEVELOPMENT CO. request(s) the above action(s) for all or a portion of Parcel A, **PARKWAY, UNIT 7** and Tract(s) A, **PAINTED SKY, UNIT 1**, Tract 95, Town of Atrisco Grant, Parkway, Unit 10, zoned R-D residential and related uses zone, developing area, located on W. OF UNSER BLVD NW, between GAVIN RD. NW and VINEMONT PL. NW [REF: DRB-95-94, S-98-5, S-98-62, Z-99-8, AX-99-2, 00410-00162, 00931 & 00933] (J-9) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

12. **Project # 1002633**
04DRB-00276 Minor-Prelim&Final Plat
Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for JAYEFF CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 20-24 & 9-13, Block(s) 10, Tract(s) 3 (to be known as **VENTURA PLACE SUBDIVISION**) Lots 2-A & 3-A, NORTH ALBUQUERQUE ACRES, UNIT 3, zoned SU-1 special use zone, located on BARSTOW ST NE, between VENTURA ST NE and BARSTOW ST NE containing approximately 6 acre(s). [REF: 03EPC-00693, EPC-00694 , 03EPC-01323] (C-20) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

13. **Project # 1002792**
04DRB-00278 Minor-Vacation of Private
Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Lot(s) 1-6, **COTTONWOOD CROSSING, PHASE 2**, zoned SU-1 FOR C-1 & REST. AND SU-1, O-1, located on COORS BLVD NW and SEVEN BAR LOOP NW containing approximately 10 acre(s). [REF: DRB-94-358, SRP5-98-37, DRB-90-361, DRB-98-61, 03EPC-01085, 01086, 03DRB-01780, 03DRB-2084, 04DRB-00184, 04AA-00222] (B-14) **VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

14. **Project # 1003273**
04DRB-00279 Minor-Vacation of Private
Easements

TIERRA WEST LLC agent(s) for ARC INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 5A-13A, **VISTA MOBILE HOME COMMUNITY**, zoned C-2 community commercial zone, located on CENTRAL AVE SW, between 94th STREET SW and 98th STREET SW containing approximately 2 acre(s). [REF:Z-85-93, V-85-44] (K-9) **WITHDRAWN AT AGENT'S REQUEST TO BE ADVERTISED.**

15. **Project # 1002934**
04DRB-00271 Minor-Prelim&Final Plat
Approval

DE LA TORRE ARCHITECTS agent(s) for FOURTH STREET & MENAUL INC request(s) the above action(s) for all or a portion of Tract(s) 1A, Block(s) O, **WALGREEN ADDITION**, zoned C-2 (SC), located on MENAUL BLVD NW, between 4th ST NW and 2nd ST NW containing approximately 11 acre(s). [REF: 03AA0413] (H-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO RELOCATE FIRE HYDRANT (2ND & PROSPECT), ADD VALVES AT MENAUL, CUT AND CAP WATER LINE AT 2ND STREET AND WEST END OF PROSPECT AND PROPERTY MANAGEMENT'S SIGNATURE.**

04DRB-00274 Minor-Prelim&Final Plat
Approval

R. JOHN MARNEY request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 46, **FRANCISCAN ADDITION**, zoned M-1 light manufacturing zone, located on 2nd ST NW and PROSPECT NW, between I-40 and MENAUL NW containing approximately 1 acre(s). (H-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO RELOCATE FIRE HYDRANTS, ADD VALVES AT MENAUL, CUT AND CAP WATER LINE AT 2ND STREET AND ON WEST END OF PROSPECT.**

16. **Project # 1003258**
04DRB-00205 Minor-Prelim&Final Plat
Approval

PHILIP W. TURNER agent(s) for SALVADOR PEREZ request(s) the above action(s) for all or a portion of Lot(s) 280 B, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned R-T residential zone, located on 55TH ST NW, between BICE RD NW and JUNIPER RD NW containing approximately 1 acre(s). [REF: DRB-97-205] [*Deferred from 2/25/04 & 3/10/04*] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 3/24/04.**

17. **Project # 1002992**
03DRB-02138 Minor- Final Plat Approval

WAYJOHN SURVEYING INC. agent(s) for WEST EIGHT LTD. request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 5, **ORIGINAL TOWNSITE OF WESTLAND**, zoned C-2 community commercial zone, located on 86th ST SW, between BRIDGE BLVD SW and CENTRAL AVE SW containing approximately 2 acre(s). [REF: 03DRB-01623] *[Final Plat was indefinitely deferred]* (K-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

18. **Project # 1001347**
04DRB-00245 Minor-Final Plat Approval

ISAACSON & ARFMAN agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Tract(s) D1B, ALBUQUERQUE SOUTH (to be known as **EL RANCHO GRANDE, UNIT 8B**) zoned R-LT residential zone, located on CARTAGENA / DE ANZA DR SW, between VALLEY VIEW DR SW and SNOW VISTA BLVD SW containing approximately 10 acre(s). [REF: 03DRB-1133 & 01134, 04DRB-00057, 04DRB-00115] *[Deferred from 3/3/04]* (M-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

19. **Project # 1002864**
04DRB-00242 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) B, LANDS OF MASSACHUSETTS GENERAL HOSPITAL, **CANTA CIELO SUBDIVISION**, zoned R-LT residential zone, located on IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 20 acre(s). [REF: 03DRB-01302, 03DRB-01487, 01488, 01490, 01491] *[Deferred from 3/3/04]* (A-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK

20. Approval of the Development Review Board Minutes for February 18, 2004. **DRB MINUTES FOR FEBRUARY 18, 2004 WERE APPROVED.**

ADJOURNED: 11:05 A.M.



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002792

AGENDA ITEM NO: 13

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the vacation request.

RESOLUTION:

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN 3

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: March 10, 2004

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
March 10, 2004 Comments**

AGENDA ITEM # 13

PROJECT # 1002792

APPLICATION # 04-00278

RE: Cottonwood Crossing, Phase 2, Lots 1-6/vacation priv. Easement

Defer to Transportation Development.

If approved, applicant has one year to obtain approval of a revised plat & record it.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

g



Completed
2/18/04
PA

DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00184 (FP)
Project Name: COTTONWOOD CROSSINGS
Phase 2
Agent: Tierra West LLC

Project # 1002792
Phone No.: 858-3100

Project Number 1002792

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on _____ by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____
dedication language ~~was~~ on Lot 3 (ok) 2/18/04

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required. OK
- Copy of recorded plat for Planning.

AGIS ELECTRONIC SUBMITTAL FORM

DRB Project Case #: 1002792

Subdivision Name: Cottonwood Crossing, Phase II - Lots 1 thru 6

Surveyor: Russ P. Hugg

Company/Agent: Surv Tek, Inc.

Contact Person: Karen Kline

E-mail: 858-3100

Phone: russhugg@swcp.com

DXF Received Date: 2/2/2004

Hard-Copy Date: 2/3/2004

Coordinate system:

NMSP Grid (NAD 83)

NMSP Grid (NAD 27)

Ground rotated to NMSP Grid

Other

Russ P. Hugg
Approved

2/4/04
Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only

Copied cov2795 to agiscov on 2/4/2004. Contact person notified on 2/4/2004



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 18, 2004 9:00 a.m.
MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 10:55 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1003216**
04DRB-00094 Major-Vacation of Public Easements
04DRB-00093 Minor-Prelim&Final Plat Approval
SURVEYS SOUTHWEST LTD agent(s) for STERLING CAPITAL DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 12-C and remainder of Lot 12, Block(s) 141, **SNOW HEIGHTS ADDITION**, zoned C-2, located on WYOMING BLVD NE, between NORTHEASTERN BLVD NE and INDIAN SCHOOL RD NE containing approximately 2 acre(s). (H-20) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/18/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION: THE RADIUS FOR C-1 SHALL BE MODIFIED TO SKIRT THE POWER POLE. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

2. **Project # 1003217**
04DRB-00098 Major-Vacation of Public Easements
04DRB-00097 Major-Preliminary Plat Approval
04DRB-00100 Minor-Sidewalk Waiver
04DRB-00099 Minor-Temp Defer SDWK

BOHANNAN HUSTON, INC agent(s) for SANDIA PROPERTIES request(s) the above action(s) for all or a portion of Tract(s) 29-E, VENTANA RANCH, (to be known as **COUNTRY MEADOWS**) zoned R-LT, located on UNIVERSE BLVD NW, between IRVING BLVD NW and PASEO DEL NORTE NW, containing approximately 12 acre(s). [REF: 1000529, 1001101, 1002593, 1003022] (B-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/18/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/14/04 THE PRELIMINARY PLAT WAS APPROVED. THE SIDEWALK WAIVER WAS WITHDRAWN AT THE AGENT'S REQUEST. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1003175**
04DRB-00010 Major-Preliminary Plat Approval
04DRB-00011 Minor-Sidewalk Waiver
04DRB-00012 Minor-Temp Defer SDWK

BOHANNAN HUSTON, INC agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 33C-1-A, LANDS OF SALAZAR FAMILY TRUST, EL RANCHO GRANDE UNIT 12 (to be known as **SUN GATE SUBDIVISION**) zoned R-2, located on BLAKE RD SW, between GIBSON BLVD SW and MESA ARENOSA DR SW containing approximately 21 acre(s). [Deferred from 2/4/04] (N-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/18/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/8/04 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

4. **Project # 1002668**
03DRB-01889 Major-Vacation of Public
Easements
03DRB-01888 Major-Preliminary Plat Approval
03DRB-01890 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for VISTA MAGNIFICA LLC request(s) the above action(s) for all or a portion of Block(s) 5, Tract(s) C, E & F, AND Block(s) 2, VISTA MAGNIFICA and Lot(s) B, Block(s) 8, PALISADES ADDITION, zoned R-LT, located on ATRISCO DR NW, between I-40 NW and CLIFFSIDE DR NW containing approximately 7 acre(s). [REF: 03EPC-01089, 03DRB-00811] [*Deferred from 1-7-04, 1-21-04 & 1/28/04 & 2/4/04*] (H-11) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/18/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12/9/03 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1003243**
04DRB-00181 Minor- SiteDev Plan BldPermit

MESHACH ALVARADO request(s) the above action(s) for all or a portion of Lot(s) 5A2, A1-3, **VOLCANO BUSINESS PARK, PHASE 2**, zoned SU-1, C1 & IP, located on PAINTED ROCK DR NW, between OURAY RD NW and TODOS SANTOS ST NW containing approximately 1 acre(s). [REF: Z 80-87-6, DRB 97-450, ZA 85-244] (G-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 5 MISCELLANEOUS COMMENTS ON THE SITE PLAN FOR BUILDING PERMIT WHICH NEED TO BE ADDRESSED AND TRANSPORTATION DEVELOPMENT FOR MISCELLANEOUS LABELING AND 5-FOOT KEYWAY.**

6. **Project # 1002805**
04DRB-00138 Minor-SiteDev Plan BldPermit

DENISH & KLINE ASSOCIATES, INC agent(s) for MOUNTAIN RUN PARTNERS, LTD request(s) the above action(s) for all or a portion of Tract(s) D, **ST ANTHONY'S ORPHANAGE**, zoned C-2 (SC), located on 12TH ST NW, between I-40 NW and INDIAN SCHOOL RD NW containing approximately 14 acre(s). [REF: 03EPC-01917, LD-73-19, Z-72-221, ZA-B4-456, ZA-90-226] **[CARMEN MARRONE, EPC CASE PLANNER] [Deferred from 2/11/04] (H-13) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/18/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/23/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project # 1000440**
04DRB-00182 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN, PA agent(s) for INTERSTATE BUSINESS PARK LLC request(s) the above action(s) for all or a portion of Tract(s) 2 & 3, **INTERSTATE BUSINESS PARK**, zoned M-2, located on MIDTOWN PL NE, between I-25 NE and ALEXANDER BLVD NE containing approximately 10 acre(s). [REF: ZA 87-542, DRB 97-362, ZA 90-58] **(G-16) PRELIMINARY PLAT AND FINAL PLAT WERE APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA SIGNATURE AND TO CHECK ON SAD PAYMENT OR READJUSTMENT.**

8. **Project # 1002792**
04DRB-00184 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH** (to be known as **COTTONWOOD CROSSINGS, PHASE 2**) zoned SU-1 special use zone FOR C-1 & REST. & SU-1 FOR O-1, located on COORS BLVD NW, between COORS BLVD NW and SEVEN BAR LOOP RD NW containing approximately 10 acre(s). [REF: DRB-94-358, DRB-98-61, 03EPC--1085& 86, 03DRB-01780] **(B-14) FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR DEDICATION LANGUAGE FOR LOT 3.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

9. **Project # 1002739**
04DRB-00179 Minor-Sketch Plat or Plan
- MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HEIGHTS LLC request(s) the above action(s) for all or a portion of Lot(s) 2D, B-1 AND PARCEL 1, **ANDERSON HEIGHTS SUBDIVISION, LANDS OF RIO BRAVO, ROSNER TRACTS**, zoned RD, located on 118TH SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 249 acre(s). [REF: Z-98-5, Z-98-6, S-76-19 (MP), DRB 99-80, 1002516, 03DRB-00983] (N-8 & P-8) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
10. **Project # 1003244**
04DRB-00183 Minor-Sketch Plat or Plan
- FRANK PADILLA request(s) the above action(s) for all or a portion of Lot(s) 300, A2B1A, **MRGCD MAP #38**, zoned RA-2 residential and agricultural zone, located on CARSON RD NW, between RIO GRANDE BLVD NW and GABALDON RD NW containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
11. **Project # 1003247**
04DRB-00190 Minor-Sketch Plat or Plan
- MARK D VALENCIA request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, **CORONA DEL SOL**, zoned R-2, located on ST JOSEPH ST NW, between PASEO DEL NORTE NW and I-40 NW containing approximately 2 acre(s). [REF: SV-98-52, DRB-98-18, Z-98-38, V-98-29, S-99-4] (G-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
12. Approval of the Development Review Board Minutes for December 31, 2003 and January 7, January 14 and January 21, January 28 and February 4, 2004. **THE MINUTES WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:55 A.M.

g



DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00184 (FP)	Project # 1002792
Project Name: COTTONWOOD CROSSINGS Phase 2	
Agent: Tierra West LLC	Phone No.: 858-3100

Your request for (SDP for SUB), (SDP for BP), FINAL PLATS, (MASTER DEVELOP. PLAN), was approved on _____ by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____
 dedication language ~~the~~ on Lot 3

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.** *OK*
- Copy of recorded plat for Planning.**

Project Number 1002792



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002792

AGENDA ITEM NO: 8

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

AMAFCA must sign.
Need public drainage easement on lot 3 and dedication to AMAFCA.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: February 18, 2004

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
2/18/04 Comments**

ITEM# 8

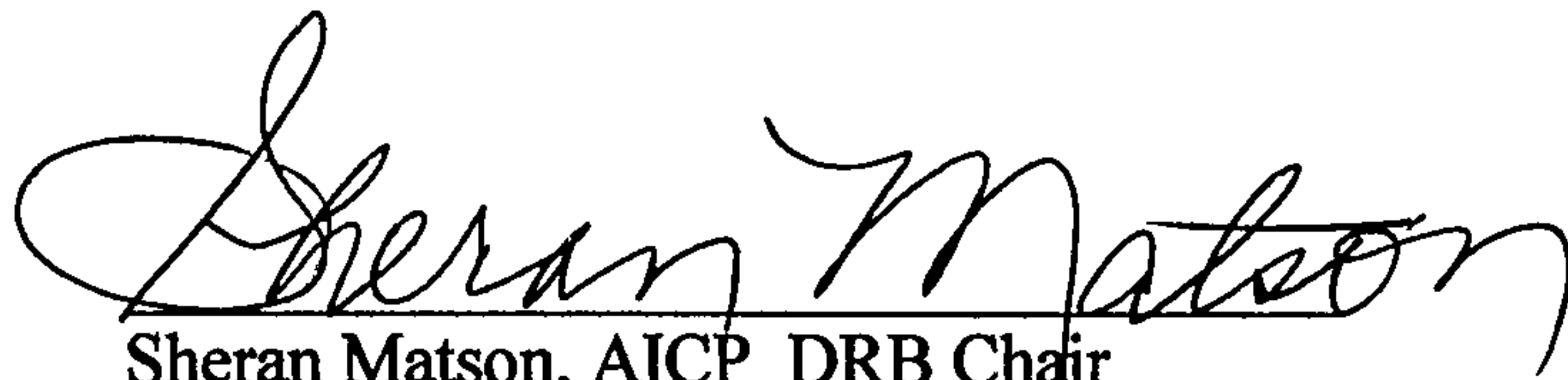
PROJECT# 1002792

APPLICATION# 04-00184

RE: Cottonwood Crossing, Phase 2/final plat

Are there any changes between the final plat & the approved preliminary plat?

The AGIS dxf is approved. Planning will file the final plat.



Sheran Matson, AICP DRB Chair
924-3880 fax 924-3864 smatson@cabq.gov

#15



DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03DRB-02084 (P&F)

Project # 1002792

Project Name: BLACK RANCH

EPC Application No.:

Agent: Tierra West LLC

Phone No.: 858-3100

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS) (MASTER DEVELOP. PLAN), was approved on _____ by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): dyf + 15 day appeal (on vacation)
 Planning must record this plat. Please submit the following items: which is now on plat
-The original plat and a mylar copy for the County Clerk.
-Tax certificate from the County Treasurer.
-Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
-Tax printout from the County Assessor.
 Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 Property Management's signature must be obtained prior to Planning Department's signature.
 Copy of final plat AND a DXF File for AGIS is required.
 Copy of recorded plat for Planning.

Project Number 1002792

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15



DRB CASE ACTION LOG (SITE PLAN SUB & B.P.)

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-01945 (SPS) and 03-01946 (SBP)

Project # 1002792

Project Name: **BLACK RANCH**

EPC Application No.: 03EPC-01085, 01086

Agent: George Rainhart Architects

Phone No.: 889-9110 x206

Your request for (SDP for SUB) (SDP for BP) (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/17/08 by the DRB with delegation of signature(s) to the following departments.

Stephen

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: Fire Marshal's Approval of the revised Utility Plan.

 SIA recorded.

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 4 EPC Conditions

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- Copy of final plat AND a DXF File for AGIS is required.
- Copy of recorded plat for Planning.

Project Number 1002792



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 17, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: THE DEVELOPMENT REVIEW BOARD WILL TAKE A LUNCH BREAK AFTER ITEM 20. (THE TIME MAY CHANGE DEPENDING UPON DEFERRALS).

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order Adjourned:
B. Changes and/or Additions to the Agenda
C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002885**
03DRB-01980 Major-Vacation of Pub
Right-of-Way
03DRB-01983 Major-Preliminary Plat
Approval
03DRB-01981 Minor-Vacation of Private
Easements
03DRB-01985 Minor-Temp Defer SDWK
03DRB-01984 Minor-Sidewalk Waiver

JEFF MORTENSEN & ASSOCIATES, agent(s) for DESERT RIDGE DEVELOPMENT LLC & GENEVA LLC request(s) the above action(s) for all or a portion of Lot(s) 10 - 24 and Lot(s) 7 - 15 and easterly portion of Lot 16, Block(s) 18 & 20, Unit 3, Tract 3, Unit 1, North Albuquerque Acres, (to be known as **OCOTILLO SUBDIVISION**) zoned RD (4DU/A), located on HOLBROOK ST NE between ANAHEIM AVE NE and PASEO DEL NORTE NE containing approximately 25 acre(s). [REF: 03DRB-01354, 03DRB-01355, 03DRB-01356] (C-21) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12-17-03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12-16-03. THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION THAT THE HOMEOWNER'S ASSOCIATION DOCUMENT MUST BE FILED WITH THE FINAL PLAT. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

2. **Project # 1002971**
03DRB-01567 Major-Vacation of Public Easements
03DRB-01568 Major-Vacation of Public Easements
03DRB-01569 Major-Vacation of Public Easements
03DRB-01570 Minor-Vacation of Private Easements
03DRB-01566 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST agent(s) for WEFCO PARTNERS request(s) the above action(s) for all or a portion of Tract(s) 4B, 4-A-1, 5-B-1 and 5-B-2, V. E. **BARRETT SUBDIVISION AND LANDS OF WEFCO**, zoned C-2 community commercial zone, located on CENTRAL AVE SW, between UNSER BLVD SW and 86TH ST SW containing approximately 15 acre(s). [REF: V-79-19, V-88-3, V-86-58] [Deferred from 10/15/03, 11/5/03 & 11/19/03 & 12/10/03] (K-10) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12-17-03 AND APPROVAL OF THE GRADING PLAN ENGINEERING PLAN STAMPED DATED 11-13-03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

03DRB-01692 Minor-SiteDev Plan Subd

DENISH KLINE ASSOCIATES INC agent(s) for WEFCO PARTNERS INC request(s) the above action(s) for all or a portion of Tract(s) 4-B, 4-A-1, 5-B-1 AND 5-B-2, **BARRETT SUBDIVISION, LANDS OF WEFCO**, zoned C-2 community commercial zone, located on CENTRAL AVE SW, between UNSER BLVD SW and 86TH ST SW containing approximately 15 acre(s). [REF: V-88-3, 03DRB-01567, 03DRB-01568, 01569, 03DRB-01566, 01570] [Deferred from 10/15/03, 11/5/03 & 11/19/03 & 12/10/03] (K-10) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

3. **Project # 1001068**
03DRB-01982 Major-Two Year SIA

MARK GOODWIN AND ASSOCIATES agent(s) for MESA VERDE DEVELOPMENT CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 1 and 2, Block(s) 5, 6 and 1, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **DESERT RIDGE TRAILS**) zoned R-D, located on FLORENCE AVE NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 76 acre(s). [REF: 1001068] (B-19/C-19) **A 9-MONTH EXTENSION OF THE SIA WAS APPROVED.**

4. **Project # 1001071**
03DRB-01957 Major-Vacation of Public Easements
03DRB-01958 Minor-Prelim&Final Plat Approval
- SOUTHWEST SURVEYING CO. agent(s) for STUSON, INC. request(s) the above action(s) for all or a portion of Tract(s) B, **EL DORADO NORTH SUBDIVISION**, zoned R-D residential and related uses zone, developing area, 9 DU/AC, located on EUCARIZ AVE SW, between WESLEY CT SW and 90TH ST SW containing approximately 1 acre(s). [REF:02DRB-00347, 02DRB-00348, 02DRB-01256] (L-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR DRAINAGE CERTIFICATION AND PLANNING FOR PARKS NOTE ON OPEN SPACE, DXF FILE AND 15 DAY APPEAL PERIOD.**
5. **Project # 1002645**
03DRB-01965 Major-Vacation of Public Easements
- TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Tract(s) 1-B-1-A, **SEVILLE SUBDIVISION**, zoned R-LT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA PL NW containing approximately 27 acre(s). [REF: 03DRB-00741, 1002645] (A-10) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
6. **Project # 1002800**
03DRB-01990 Major-Preliminary Plat Approval
03DRB-01991 Minor-Subd Design (DPM) Variance
03DRB-01992 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES agent(s) for ALPHA EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 10-23, Block(s) 12, **NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3**, (to be known as **QUIVERA ESTATES**), zoned R-D, located on MODESTO AVE NE between WYOMING BLVD NE and BARSTOW ST NE containing approximately 14 acre(s). [REF: 03DRB-01127] [deferred from 12-17-03] (B-19) **DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

7. **Project # 1002935**
03DRB-01964 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Parcel 1, **SUNDORO SUBDIVISION**, zoned SU-2 R-LT, located on LADERA BLVD NW, between 98th ST NW and UNSER BLVD NW containing approximately 55 acre(s). [REF: 03DRB-00736, 03DRB-01447, 03DRB-01449, 03DRB-01550, 03DRB-01551, 01552, 01553] (J-8/J-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

8. **Project # 1003111**
03DRB-01986 Major-Preliminary Plat
Approval
03DRB-01987 Minor-Vacation of Private
Easements
03DRB-01988 Minor-Temp Defer SDWK
03DRB-01989 Minor-Sidewalk Waiver

ISAACSON AND ARFMAN, P.A. agent(s) for THE STROSNIDER COMPANY request(s) the above action(s) for all or a portion of Tract(s) B, **WINDMILL MANOR**, zoned SU-1 PRD, located on DELLYNE AVE NW, between MARIPOSA DR NW and VALLE VISTA DR NW containing approximately 4 acre(s). [REF: DRB-96-355, Z-95-79, Z-98-57] [deferred from 12-17-03] (E-11) **DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

03DRB-02079 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for THE STROSNIDER GROUP request(s) the above action(s) for all or a portion of Tract(s) A & B, **WINDMILL MANOR PLACE**, zoned SU-1 for PRD, located on DELLYNE AVE NW, between MARIPOSA DR NW and VALLE VISTA DR NW containing approximately 4 acre(s). [REF: Z-95-79, Z-98-57] **[RUSSELL BRITO EPC CASE PLANNER]** [deferred from 12-17-03] (E-11) **DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

9. **Project # 1001753**
03DRB-01884 Major-Preliminary Plat
Approval
03DRB-01885 Minor-Subd Design (DPM)
Variance
03DRB-01999 Minor-Sidewalk Waiver
03DRB-01998 Minor-Subd Design (DPM)
Variance

MARK GOODWIN & ASSOCIATES agent(s) for MESA VERDE DEVELOPMENT CORP. request(s) the above action(s) for all or a portion of Lot(s) 1-11, Tract(s) 1, Block(s) 11, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **DESERT RIDGE TRAILS EAST**) zoned RD (3 DU/AC), located on FLORENCE AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 11 acre(s). [Deferred from 11/26/03, 12/3/03, 12/17/03] (B-19) **APPLICATION #03DRB-01885 MINOR-SUBD DESIGN (DPM) VARIANCE WAS WITHDRAWN AT THE AGENT'S REQUEST. THE REMAINING REQUESTS WERE DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

10. **Project # 1000922**
03DRB-01953 Major-Preliminary Plat
Approval
03DRB-01954 Minor-Temp Defer SDWK

WILSON & COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT, request(s) the above action(s) for all or a portion of **VOLCANO CLIFFS SUBDIVISION, UNIT 20**, LOTS 1-30, BLOCK 1, LOTS 1-38, BLOCK 2, LOTS 1-62, BLOCK 3, LOTS 1-14, BLOCK 4 AND LOTS 1-22, BLOCK 5 AND **VOLCANO CLIFFS SUBDIVISION, UNIT 21**, ALL BLOCKS AND LOTS AND **VOLCANO CLIFFS SUBDIVISION, UNIT 23**, LOTS 1-10, BLOCK 1, LOTS 1-13, BLOCK 2, LOTS 1-21, BLOCK 3, LOTS 1-51, BLOCK 4, LOTS 1-27, BLOCK 5, LOTS 1-6, BLOCK 6, LOTS 1-28, BLOCK 7 AND LOTS 1-7, BLOCK 8 AND **VOLCANO CLIFFS SUBDIVISION, UNIT 27**, LOTS 16-18 AND 22, BLOCK 2, LOTS 1-8, BLOCK 4 AND LOTS 1-7, BLOCK 5, (to be known as **LA CUENTISTA SUBDIVISION**) zoned R-1, located on the east and west sides of Unser Blvd NW (Kimmick) between Urraca NW and Camino de Paz NW, containing approximately 50 acres. [REF: DRB-97-98, V-97-116, 02DRB-01783, 02DRB-01785,,03DRB-01725, 03DRB-01728] [deferred from 12-10-03, 12-17-03] (C-10/11 & D-10/11) **DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

11. **Project # 1002519**
03DRB-01950 Major-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES, agent(s) for SAN PEDRO EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 16, Block(s) 5, Tract(s) 2, NORTH ALBUQUERQUE ACRES, (to be known as **TOWNHOMES @ LA CUEVA**) zoned R-D residential and related uses zone, developing area, 7 DU/AC, located on WYOMING BLVD NE, between SIGNAL AVE NE and WILSHIRE AVE NE containing approximately 1 acre(s). [deferred from 12-10-03] (C-19) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF WAS DELEGATED TO CITY ENGINEER FOR SIA.**

03DRB-01883 Major-Vacation of Pub
Right-of-Way
03DRB-01882 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 16, Tract(s) 2, Block(s) 5, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **TOWNHOMES @ LA CUEVA**), zoned RD (7 DU/AC), located on WYOMING BLVD NE, between SIGNAL AVE NE and WILSHIRE AVE NE containing approximately 1 acre(s). [Deferred from 11/26/03 & 12/10/03] (C-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12-17-03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11-07-03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

03DRB-02019 Minor-Subd Design (DPM)
Variance
03DRB-02020 Minor-Sidewalk Waiver

MARK GOODWIN & ASSOCIATES agent(s) for SAN PEDRO EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 16, Block(s) 5, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **TOWNHOMES @ LA CUEVA**), zoned R-D residential and related uses zone, developing area, 7 DU/AC, located on WYOMING BLVD NE, between SIGNAL AVE. NE and WILSHIRE AVE. NE containing approximately 1 acre(s). [REF: 03DRB-001950, 03DRB-01882] [deferred from 12/10/03] (C-19) **A SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

12. **Project # 1002668**
03DRB-01888 Major-Preliminary Plat
Approval
03DRB-01889 Major-Vacation of Public
Easements
03DRB-01890 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for VISTA MAGNIFICA LLC request(s) the above action(s) for all or a portion of Block(s) 5, Tract(s) C and Tract(s) E & F, Block(s) 2, **VISTA MAGNIFICA**, and Lot(s) B, Block(s) 8, **PALISADES ADDITION**, zoned R-LT, located on ATRISCO DR NW, between I-40 NW and CLIFFSIDE DR NW containing approximately 7 acre(s). [REF: 03EPC-01089, 03DRB-00811] [Deferred from 11/26/03 & 12/10/03] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 01-07-04.**

13. **Project # 1002928**
03DRB-01532 Major-Preliminary Plat
Approval
03DRB-01534 Minor-Temp Defer SDWK
03DRB-01536 Minor-Sidewalk Waiver

BOHANNAN HUSTON, INC. & DENISH-KLINE ASSOCIATES, agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **Tract(s) D** (to be known as **TAOS @ THE TRAILS**, The Trails (a portion of Tract 4, Black Ranch) zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). REF: 03DRB-01429 (SK)] [Deferred from 10/8/03, 11/5/03 & 11/26/03 & 12/10/03] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

14. **Project # 1002929**
03DRB-01531 Major-Preliminary Plat
Approval
03DRB-01533 Minor-Temp Defer SDWK
03DRB-01535 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC. & DENISH - KLINE ASSOCIATES, agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of **Tract(s) C** (to be known as **SANTA FE @ THE TRAILS**) **The Trails (portion of Tract 4, Black Ranch)** zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 17 acre(s). [Deferred from 10/8/03, 11/5/03 & 11/19/03, 11/26/03 & 12/10/03] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

15. **Project # 1002792**
03DRB-01780 Major-Vacation of Public Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as **COTTONWOOD CROSSING**) zoned SU-1 for C-1 & Rest (ETC) & SU-1,O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s).[REF: 03EPC-01085 & 01086] [Deferred from 11/12/03 & 11/26/03 & 12/10/03] (B-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

03DRB-01945 Minor-SiteDev Plan Subd/EPC
03DRB-01946 Minor-SiteDev Plan BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES, agents for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as **COTTONWOOD CROSSING**) zoned SU-1 for C-1 & Rest (ETC) & SU-1, O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s).[REF: 03EPC-01085 & 01086, 03DRB-01780] [Debbie Stover, EPC Case Planner] [Deferred from 11/26/03 & 12/10/03] (B-14) **THE SITE PLAN FOR SUBDIVISION AND SITE PLAN FOR BUILDING PERMIT WERE APPROVED AND DELEGATED TO PLANNING FOR EPC CONDITIONS AND UTILITIES DEVELOPMENT FOR FIRE MARSHAL'S APPROVAL.**

03DRB-02084 Minor-Prelim&Final Plat Approval

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as **COTTONWOOD CROSSING**) zoned SU-1 for C-1 & Rest. (ETC) & SU-1 O-1, located on COORS BLVD. NW, between COORS BLVD. NW and SEVEN BAR LOOP NW containing approximately 10 acre(s). [REF: DRB-94-358, DRB-98-61, 03EPC 01086] (B-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12-17-03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12-17-03 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT APPROVAL: PROVIDE ACCESS TO LOTS 1 AND 3. FINAL PLAT WAS INDEFINITELY DEFERRED FOR SIA.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

16. **Project # 1000901**
03DRB-02080 Minor-SiteDev Plan
BldPermit/EPC
03DRB-02081 Minor-Amnd SiteDev Plan
Subd
- CONSENSUS PLANNING, INC. agent(s) for BOSQUE PREPARATORY SCHOOL request(s) the above action(s) for all or a portion of Lot(s) 4A, **BOSQUE PREPARATORY SCHOOL**, zoned SU-1 for School & Related Facilities, located on LEARNING ROAD NW, between COORS BLVD. NW and RIO GRANDE BOSQUE containing approximately 23 acre(s). [REF: 03EPC 01666] **[JUANITA VIGIL, EPC CASE PLANNER] (F-12) THE SITE PLAN FOR BUILDING PERMIT AND THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES FOR FIRE FLOW REQUIREMENTS.**
17. **Project # 1002874**
03DRB-02069 Minor-SiteDev Plan
BldPermit/EPC
- SITES SOUTHWEST agent(s) for CITY OF ALBUQUERQUE WATER UTILITY request(s) the above action(s) for all or a portion of Tract(s) S2A1, **ATRISCO BUSINESS PARK**, zoned IP industrial park zone, located on LOS VOLCANES RD NW, between UNSER BLVD. NW and COORS BLVD. NW containing approximately 1 acre(s). [REF:03EPC-01326, DRB-98-413, DRB-95-242 SV-95-31,Z-92-57] **[RUSSELL BRITO, EPC CASE PLANNER FOR SIMON SHIMA] (J-9/J-10) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECORDED EASEMENT AND WIDTH OF EASEMENT 15-FOOT MINIMUM.**

18. **Project # 1002371**
03DRB-02085 Minor-SiteDev Plan
Subd/EPC
03DRB-02086 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for all or a portion of Tract(s) 1A,1B,1C and Tract A, Bosque Meadows, **ALBAN HILLS SUBDIVISION, UNIT ONE**, zoned SU-1 for R-2 with church related uses, SU-1 for C-2, located on LA ORILLA NW, between COORS BLVD. NW and the CORRALES DRAIN containing approximately 17 acre(s). **[RUSSELL BRITO, EPC CASE PLANNER FOR SIMON SHIMA]** [deferred from 12-17-03] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 1-14-04.**

19. **Project # 1003120**
03DRB-02021 Minor-SiteDev Plan
BldPermit

BOHANNAN HUSTON INC. AND CONSENSUS PLANNING, INC. agent(s) for IDI request(s) the above action(s) for all or a portion of Tract(s) 1, **LEVI STRAUSS COMPANY ADDITION**, zoned SU-2 for M-1, located on ALAMEDA BLVD. NE, between OAKLAND AVE NE and WILSHIRE AVE. NE containing approximately 12 acre(s). [REF: Z-70-124] [Deferred from 12-10-03] (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR HIGHWAY DEPARTMENT SIGNED LEASE AGREEMENT, A MONUMENT SIGN AND WATER USE FOR FESCUE.**

20. **Project # 1002421**
03DRB-01968 Minor-SiteDev Plan Subd
03DRB-01969 Minor-SiteDev Plan
BldPermit/EPC

GARRETT SMITH LTD agent(s) for NEW LIFE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 111-B, **TOWN OF ATRISCO GRANT, TRACT III – UNIT 6**, zoned SU-1 PRD (20DU/A, located on GWIN RD SW, between DELIA RD SW and 69TH ST SW containing approximately 1 acre(s). [REF: 03DRB-00053, 03EPC-00692] **[Juanita Vigil, EPC Case Planner]** [Deferred from 11/26/03 & 12/10/03] (K-10) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND DELEGATED TO PARKS FOR PAYMENT OF CASH-IN-LIEU FOR PARK DEDICATION FEE AND CITY ENGINEER FOR SIA.**

DRB TOOK A 30 MINUTE LUNCH BREAK

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

21. **Project # 1000849**
03DRB-02074 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD. agent(s) for BILL WADE request(s) the above action(s) for all or a portion of Lot(s) 1-5, **BREEZE @ MOUNTAIN GATE**, zoned SU-1 PRD, located on FOUR HILLS ROAD SE, between WENONAH AVE. SE and LANIER DRIVE SE containing approximately 1 acre(s). (L-23) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN-OFF DELEGATED TO UTILITIES TO PROVIDE AS-BUILT DRAWINGS SHOWING LOCATIONS OF ALL METER BOXES AND SEWER STUBS.**
22. **Project # 1001209**
03DRB-02063 Minor-Prelim&Final Plat
Approval
- MARK GOODWIN & ASSOCIATES. agent(s) for CLIFFORD CAPITAL FUND, INC. request(s) the above action(s) for all or a portion of Tract(s) A, **LAVA TRAILS**, zoned SU-1 special use zone, located on WESTERN TRAILS DR NW, between UNSER BLVD. NW and ATRISCO RD. NW containing approximately 6 acre(s). [REF: 02DRB-00183, 01DRB-00562, Z-98-139][deferred from 12-17-03] (F10 - F11) **DEFERRED AT THE AGENT'S REQUEST TO 1-7-04.**
23. **Project # 1001409**
03DRB-02032 Minor-Extension of
Preliminary Plat
- MUKUND C. PATEL request(s) the above action(s) for all or a portion of Lot(s) 20-A, Block 1, Unit 1, **CANDLELIGHT FOOTHILLS**, zoned R-1, located on LOMAS BLVD. NE, between MONTE LARGO DR. NE and SUMMIT HILLS DR. NE containing approximately 2 acre(s). (J-23) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

24. **Project # 1001796**
03DRB-02078 Minor- Prelim&Final Plat
Approval

SAMUEL C DE BACA request(s) the above action(s) for all or a portion of Lot(s) 1, **STOUT SUBDIVISION**, zoned SU-1 for O-1 Permissive Uses, located on COORS BLVD. NW, between EAGLE RANCH RD. NW and PASEO DEL NORTE NW containing approximately 18 acre(s). [REF: 03DRB 00916, Z-98-17, Z-84-122, S-98-25] (C-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

25. **Project # 1002345**
03DRB-02082 Minor-Prelim&Final Plat
Approval

CLINT SHERRILL & ASSOCIATES agent(s) for GOLDEN VENTURES LLC request(s) the above action(s) for all or a portion of Lot(s) 3, **BROADWAY INDUSTRIAL CENTER**, zoned SU-2 HM, located on SAN JOSE AVE. SE, between KARSTEN COURT SE and I-25 containing approximately 14 acre(s). (M-14/15) **THE PRELIMINARY PLAT WAS APPROVED WITH THE FINAL PLAT SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT TO OPEN A SEWER ACCOUNT FOR LOT 3-B AND POSSIBLY A WATER ACCOUNT AND FOR AGIS DXF FILE, AND TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK ON KARSTEN? MAINTENANCE AND BENEFICIARIES OF ACCESS EASEMENTS, I-25 ACCESS CONTROL LANE AND PARKING AND MODEL HOME AREA BEING USED BY LOT 3-B.**

26. **Project # 1002743**
03DRB-02083 Minor-Prelim&Final Plat
Approval

BORDENAVE DESIGNS agent(s) for OVENWEST CORP request(s) the above action(s) for all or a portion of Tract(s) H, **LA LUZ DEL OESTE**, zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE NW containing approximately 2 acre(s). (F-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12-17-03 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: THE APPROVAL OF THE GRADING PLAN FOR TRACT H IS REQUIRED. PROVIDE PRIVATE SANITARY SEWER SERVICE EASEMENTS. PROVIDE AN APPROVED TURNAROUND WITHIN LOT H. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

27. **Project # 1003034**
03DRB-02070 Minor-Prelim&Final Plat
Approval
03DRB-02071 Minor-Vacation of Private
Easements

SURVEYS SOUTHWEST LTD. agent(s) for JOHN MAHONEY request(s) the above action(s) for all or a portion of Lot(s) 11A & 11B, Block(s) 20 and Lot 10, **BROWNEWELL LAI LS HIGHLAND ADDITION**, zoned SU-2, located on COPPER AVE. NE, between CEDAR ST. NE and SPRUCE ST. NE containing approximately 1 acre(s). [REF: DRB-96-163, 03DRB 01761] (K-15) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED-OFF BY THE BOARD. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

28. **Project # 1003037**
03DRB-02072 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD. agent(s) for RUTH ROSENSTEIN request(s) the above action(s) for all or a portion of Lot(s) 17-20, **PEREA ADDITION**, zoned SU-2 TH, located on 12TH ST. NW, between GRANITE AVE. NW and MARBLE NW containing approximately 1 acre(s). (J-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED-OFF BY THE BOARD.**

29. **Project # 1003132**
03DRB-02073 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for TED WATERMAN request(s) the above action(s) for all or a portion of Lot(s) 9 UNIT 3, **BROADWAY INDUSTRIAL CENTER SUBDIVISION** zoned SU-2 special neighborhood zone, HM, located on KARSTEN CT SE, between INTERSTATE 25 and BROADWAY BLVD. SE containing approximately 4 acre(s). (L-15) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER TO ADD DRAINAGE TO ACCESS EASEMENT AND UTILITIES DEVELOPMENT FOR A COPY OF AS-BUILTS SHOWING WATER AND SEWER SERVICE TO LOT 9.**

30. **Project # 1003094**
03DRB-01997 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for CITY OF ALBUQUERQUE / MUNICIPAL DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 1-24, Block(s) 30, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-3, located on 3rd ST SE, between LEAD SE and SILVER SE containing approximately 3 acre(s). [REF: 03DRB-01886] [Deferred from 12/3/03] (K-14) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

31. **Project # 1003133**
03DRB-02076 Minor-Prelim&Final Plat
Approval
03DRB-02077 Minor-Vacation of Private
Easements

ISAACSON & ARFMAN PA agent(s) for TRICOR SOUTHWEST CORP. request(s) the above action(s) for all or a portion of Lot(s) L-1, M, N & P, **FRANKLIN PLAZA**, zoned C-3/C-2 (SU), located on CENTRAL NE, between JUAN TABO NE and SKYLINE NE containing approximately 9 acre(s). [REF: Z-88-53] [deferred from 12-17-03](L-22) **DEFERRED AT AGENT'S REQUEST TO 1-7-04.**

32. **Project # 1000087**
03DRB-02075 Minor-Ext of SIA for Temp
Defer SDWK

ISAACSON & ARFMAN, P. A. agent(s) for THE STROSNIDER COMPANY request(s) the above action(s) for all or a portion of Lot(s) 11-15, **PALOMA DEL SOL SUBD.**, zoned R-1 residential zone, located on the southeast corner of MCMAHON and BANDELIER BLVD NW, between GOLF COURSE RD. NW and TUSCANY DR. NW containing approximately 36 acre(s). [REF: 00450-00014, 01500-01779, DRB-95-63, S-95-15, V-95-61, SV-95-25] (A-12) **A 2-YEAR EXTENSION TO THE 4-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

33. **Project # 1003121**
03DRB-02029 Minor-Sketch Plat or Plan
ZXOLT PALCZA agent(s) for STEWART INGHAM request(s) the above action(s) for all or a portion of Lot(s) 19, **MRGCD MAP 36**, zoned R-1, located on LOS TOMASES NW, between LOS POBLANOS NW and MENAUL NW containing approximately 1 acre(s). (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**
34. **Project # 1003123**
03DRB-02044 Minor-Sketch Plat or Plan
JERRY MILLER agent(s) for KPM LLC request(s) the above action(s) for all or a portion of Tract(s) 77B1, **MRGCD MAP 37**, zoned S-MI, located on 5TH ST NW, between HAYNES NW and ASPEN NW containing approximately 2 acre(s). (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**
35. **Project # 1003131**
03DRB-02068 Minor-Sketch Plat or Plan
BILLY W. BACA request(s) the above action(s) for all or a portion of Lot(s) B & C, **HUNING CASTLE ADDITION**, zoned R-T residential zone, located on SAN PATRICIO & ALCALDE AVE SW, between LEAD AVE. SW and COAL AVE. SW containing approximately 1 acre(s). [REF: Z-72-203] (K-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**
36. Approval of the Development Review Board Minutes for December 3, 2003. **THE MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

Adjourned: **2:40 P.M.**

CITY OF ALBUQUERQUE

Planning Department

Development Services Division

TO: Sheran Matson, Chair, Development Review Board

FROM: Deborah L. Stover, Planner, Development Services

DATE: 12-16-03

SUBJECT: EPC CONDITIONS FOR PROJECT 1002792

The purpose of this memo is to address the itemized letter from George Rainhart Architect & Associates for the above referenced case:

Site Development Plan for Subdivision

All EPC conditions have been met.

Site Development Plan for Building Permit

All EPC conditions have been met with the following exceptions:

Condition #6: Landscaping, especially trees, have not been provided "in" and "around" the paved areas in the parking lots toward the rear of the site. This needs to be included.

Condition #8: Colors of tile (family colors like tan, black, green, etc.) and other building materials are not included on the elevation sheet.

Condition #10: The type of native seed to be planted has not been specified on the Landscape Plan.

Staff defers to Transportation Development Services regarding conditions related to traffic and transportation issues.

**OFFICIAL NOTICE OF DECISION**

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

12/17/03

15. Project # 1002792
03DRB-01780 Major-Vacation of Public Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as **COTTONWOOD CROSSING**) zoned SU-1 for C-1 & Rest (ETC) & SU-1,O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s).[REF: 03EPC-01085 & 01086] [*Deferred from 11/12/03 & 11/26/03 & 12/10/03*] (B-14)

At the December 17, 2003, Development Review Board meeting, the Vacation was approved as shown on Exhibit B in the Planning file, subject to these provisions:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements, or:
2. There is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation.
3. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.
4. Final disposition shall be through the City Real Estate Office.
5. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by January 2, 2004, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



OFFICIAL NOTICE OF DECISION
PAGE 2

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

03DRB-01945 Minor-SiteDev Plan Subd/EPC
03DRB-01946 Minor-SiteDev Plan BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES, agents for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as **COTTONWOOD CROSSING**) zoned SU-1 for C-1 & Rest (ETC) & SU-1, O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s). [REF: 03EPC-01085 & 01086, 03DRB-01780] **[Debbie Stover, EPC Case Planner]** [*Deferred from 11/26/03 & 12/10/03*] (B-14).

At the December 17, 2003, Development Review Board meeting, the site plan for subdivision and site plan for building permit were approved and delegated to Planning for EPC conditions and Utilities Development for Fire Marshal's approval.

If you wish to appeal this decision, you must do so by January 2, 2004, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



OFFICIAL NOTICE OF DECISION
PAGE 3

03DRB-02084 Minor-Prelim&Final Plat Approval

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as **COTTONWOOD CROSSING**) zoned SU-1 for C-1 & Rest. (ETC) & SU-1 O-1, located on COORS BLVD. NW, between COORS BLVD. NW and SEVEN BAR LOOP NW containing approximately 10 acre(s). [REF: DRB-94-358, DRB-98-61, 03EPC 01086] (B-14)

At the December 17, 2003, Development Review Board meeting, with the signing of the infrastructure list dated 12-17-03 and approval of the grading plan engineer stamp dated 12-17-03 the preliminary plat was approved with the following condition of final plat approval:

1. Provide access to Lots 1 and 3.

Final plat was indefinitely deferred for SIA.

If you wish to appeal this decision, you must do so by January 2, 2004, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Sheran Matson, AICP, DRB Chair

cc: Trust of Albert & Mary Black, 3613 NM State Road 528 NW, 87114
Tierra West LLC, 8509 Jefferson NE, 87113
George Rainhart Architects & Associates, 2325 San Pedro NE, 87110
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002792 AGENDA#: 9 DATE: 11.26

1. Name: Stephen Dunbar Address: 2325 SAN PEDRO Zip: 87110

2. Name: Jonathan Niski Address: 8509 Jeffers Zip: 87113

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

November 26, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order:
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned:

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001753**
03DRB-01884 Major-Preliminary Plat
Approval
03DRB-01885 Minor-Subd Design (DPM)
Variance

MARK GOODWIN & ASSOCIATES agent(s) for MESA VERDE DEVELOPMENT CORP. request(s) the above action(s) for all or a portion of Lot(s) 1-11, Tract(s) 1, Block(s) 11, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **DESERT RIDGE TRAILS EAST**) zoned RD (3 DU/AC), located on FLORENCE AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 11 acre(s). [Deferred from 11/26/03] (B-19) **DEFERRED AT THE AGENT'S REQUEST TO 12/3/03.**

2. **Project # 1002519**
03DRB-01883 Major-Vacation of Pub
Right-of-Way
03DRB-01882 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 16, Tract(s) 2, Block(s) 5, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **TOWNHOMES @ LA CUEVA**), zoned RD (7 DU/AC), located on WYOMING BLVD NE, between SIGNAL AVE NE and WILSHIRE AVE NE containing approximately 1 acre(s). [Deferred from 11/26/03] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 12/10/03.**

3. **Project # 1002856**
03DRB-01891 Major-Bulk Land
Variance
03DRB-01893 Major-Vacation of
Public Easements
03DRB-01892 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for ANDERSON HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) C through F, ARROWOOD RANCH DEVELOPMENT, (to be known as **MEADOWS @ ANDERSON HILLS**, zoned R-LT residential zone, located on DENNIS CHAVEZ BLVD SW, between FUTURE 98TH ST SW and FUTURE UNSER BLVD SW containing approximately 107 acre(s). [REF: 03DRB-00234, (1001979) 02DRB-01496 & 01497] [Listed under Project #1002480 in error] (P-9) **BULK LAND VARIANCE WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

4. **Project # 1002668**
03DRB-01888 Major-Preliminary Plat
Approval
03DRB-01889 Major-Vacation of
Public Easements
03DRB-01890 Minor-Temp Defer
SDWK

MARK GOODWIN & ASSOCIATES agent(s) for VISTA MAGNIFICA LLC request(s) the above action(s) for all or a portion of Block(s) 5, Tract(s) C and Tract(s) E & F, Block(s) 2, **VISTA MAGNIFICA**, and Lot(s) B, Block(s) 8, **PALISADES ADDITION**, zoned R-LT, located on ATRISCO DR NW, between I-40 NW and CLIFFSIDE DR NW containing approximately 7 acre(s). [REF: 03EPC-01089, 03DRB-00811] [Deferred from 11/26/03] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 12/10/03.**

5. **Project # 1003094**
03DRB-01886 Major-Vacation of Pub
Right-of-Way

BOHANNAN HUSTON, INC. agent(s) for PHOENIX PROPERTY COMPANY request(s) the above action(s) for all or a portion of Block(s) 30, **NM TOWN COMPANY ORIGINAL TOWNSITE**, zoned SU-3 special center zone, located on LEAD AVE SE, between 3rd ST SE and 2nd ST SE containing approximately 1 acre(s). (K-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH 2 CONDITIONS OF FINAL PLAT APPROVAL.**

6. **Project # 1003031**
03DRB-01741 Major-Preliminary Plat Approval
03DRB-01742 Major-Vacation of Pub Right-of-Way
03DRB-01743 Major-Vacation of Public Easements
03DRB-01744 Minor-Sidewalk Waiver
03DRB-01745 Minor-Temp Defer SDWK
03DRB-01746 Minor-Vacation of Private Easements

BOHANNAN HUSTON INC. agent(s) for CURB INC. request(s) the above action(s) for all or a portion of Tract(s) 14, EL RANCHO GRANDE, UNIT 14, zoned R-LT, located on GIBSON BLVD SW, between BLAKE RD SW and MESSINA DR SW, containing approximately 23 acre(s). *[Deferred from 11/5/03]* (N-8, N-9) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/26/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/21/03 THE PRELIMINARY PLAT WAS APPROVED. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

7. **Project # 1003030**
03DRB-01738 Major-Vacation of Pub Easements
03DRB-01737 Major-Preliminary Plat Approval
03DRB-01739 Minor-Sidewalk Waiver
03DRB-01740 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC. agent(s) for CURB INC. request(s) the above action(s) for all or a portion of Tract(s) 15, EL RANCHO GRANDE SUBDIVISION, UNIT 15, zoned R-LT, located on GIBSON BLVD SW, between BLAKE RD SW and MESSINA DRIVE SW containing approximately 23 acre(s). *[Deferred from 11/5/03]* (N-8, N-9) THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/26/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/21/03 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

8. **Project # 1002960**
03DRB-01537 Major-Preliminary Plat
Approval
03DRB-01538 Major-Vacation of Pub
Right-of-Way
03DRB-01539 Major-Vacation of Public
Easements
03DRB-01540 Minor-Temp Defer SDWK
03DRB-01541 Minor-Sidewalk Waiver

MARK GOODWIN & ASSOCIATES, agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Tract(s) J-2-A (to be known as **SUNDORO SOUTH, UNITS 1, 2 & 3**) WESTLAND NORTH SUBDIVISION, zoned SU-2 / R-LT, located on 98TH ST NW, between I-40 NW and LADERA DR NW containing approximately 35 acre(s). *[Deferred from 10/8/03, 10/22/03 & 11/5/03]* (J-8) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/26/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/16/03 THE PRELIMINARY PLAT WAS APPROVED. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. . A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

9. **Project # 1002792**
03DRB-01780 Major-Vacation of
Public Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH**, zoned SU-1 for C-1 & Rest (ETC) & SU-1, O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s). [REF: 03EPC-01085 & 01086] *[Deferred from 11/12/03 & 11/26/03]* (B-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/10/03.**

03DRB-01945 Minor-SiteDev Plan
Subd/EPC
03DRB-01946 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES, agents for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH**, zoned SU-1 for C-1 & Rest (ETC) & SU-1, O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s). [REF: 03EPC-01085 & 01086, 03DRB-01780] **[Debbie Stover, EPC Case Planner]** *[Deferred from 11/26/03]* (B-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/10/03.**

10. **Project # 1002928**
03DRB-01532 Major-Preliminary Plat
Approval
03DRB-01534 Minor-Temp Defer SDWK
03DRB-01536 Minor-Sidewalk Waiver

BOHANNAN HUSTON, INC. & DENISH-KLINE ASSOCIATES, agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of Tract(s) D (to be known as **TAOS @ THE TRAILS**, The Trails (a portion of Tract 4, Black Ranch) zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). REF: 03DRB-01429 (SK)] *[Deferred from 10/8/03, 11/5/03 & 11/26/03]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/10/03.**

11. **Project # 1002929**
03DRB-01531 Major-Preliminary Plat
Approval
03DRB-01533 Minor-Temp Defer SDWK
03DRB-01535 Minor-Sidewalk Waiver

BOHANNAN HUSTON & DENISH - KLINE ASSOCIATES, agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) C (to be known as **SANTA FE @ THE TRAILS**) The Trails (portion of Tract 4, Black Ranch) zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 17 acre(s). [Deferred from 10/8/03, 11/5/03 & 11/19/03, 11/26/03] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/10/03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

12. **Project # 1001656**
03DRB-01942 Minor-SiteDev Plan
BldPermit/EPC

MOLZEN-CORBIN & ASSOCIATES, agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT, request(s) the above action(s) for all or a portion of Tract(s) A & E, **DOUBLE EAGLE II AIRPORT**, zoned SU-1 special use zone, for Double Eagle Airport, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN NW and SHOOTING RANGE PARK RD NW containing approximately 14 acre(s). [REF: 02EPC-01956] [Chris Hyer, EPC Case Planner] (E-6, F-4, F-6) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

13. **Project # 1002421**
03DRB-01968 Minor-SiteDev Plan
Subd
03DRB-01969 Minor-SiteDev Plan
BldPermit/EPC

GARRETT SMITH LLD agent(s) for NEW LIFE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 111-B, **TOWN OF ATRISCO GRANT, TRACT III – UNIT 6**, zoned SU-1 PRD (20DU/A, located on GWIN RD SW, between DELIA RD SW and 69TH ST SW containing approximately 1 acre(s). [REF: 03DRB-00053, 03EPC-00692] [**Juanita Vigil, EPC Case Planner**] [Deferred from 11/26/03] (K-10) **DEFERRED AT THE AGENT'S REQUEST TO 12/10/03.**

14. **Project # 1002873**
03DRB-01975 Minor-SiteDev Plan
BldPermit/EPC

DCSW INC agent(s) for MORELAND CORP request(s) the above action(s) for all or a portion of Tract(s) 5A & 7A, **YALE BUSINESS BARK**, zoned SU-1 Permissive O-1, C-2, IP, located on CENTRE AVE SE AND INTERNATIONAL AVE SE and containing approximately 5 acre(s). [REF: 03EPC-01324] [**Debbie Stover, EPC Case Planner**] [Deferred from 11/26/03] (L-16) **DEFERRED AT THE AGENT'S REQUEST TO 12/10/03.**

15. **Project # 1000694**
03DRB-01897 Minor-SiteDev Plan
BldPermit/EPC
03DRB-01898 Minor-Prelim&Final Plat
Approval

JCG & ASSOCIATES agent(s) for FAMILY WORSHIP CENTER request(s) the above action(s) for all or a portion of Lot(s) 226-230, **TOWN OF ATRISCO GRANT-AIRPORT UNIT**, zoned SU-1 for Church, located on GLENRIO RD NW, between I-40 and 72nd ST NW containing approximately 8 acre(s). [REF: DRB-96-415, DRB-96-313] [Mary Piscitelli, EPC Case Planner] [Deferred from 11/12/03] (J-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND REVISED SHEET C7, AND TO TRANSPORTATION DEVELOPMENT FOR PARKING LOT LAYOUT NEEDS TO BE DIMENSIONED FOR STALL SIZES AND ANGLE WIDTHS AND PARKING SPACE DETAIL DRAWING FOR TRANSPORTATION DEVELOPMENT SIGN OFF.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS

16. **Project # 1000132**
03DRB-01944 Minor-Ext of SIA for
Temp Defer SDWK

D. R. HORTON INC agent(s) request(s) the above action(s) for all or a portion of **CANTABELLA SUBDIVISION, UNIT 2**, zoned R-LT, located on VENTANA RD NW, EAST OF UNIVERSE BLVD NW and containing approximately 19 acre(s). [REF: 1000132, 1001453, 1000143] (B-10) **WITHDRAWN AT THE AGENT'S REQUEST.**

17. **Project # 1001453**
03DRB-01943 Minor-Ext of SIA for
Temp Defer SDWK

D. R. HORTON INC agent(s) request(s) the above action(s) for all or a portion of **CANTABELLA SUBDIVISION, UNIT 3**, zoned R-LT, located on VENTANA RD NW, EAST OF UNIVERSE BLVD NW and containing approximately 20 acre(s). [REF: 1000132, 1000143] (B-10) **WITHDRAWN AT THE AGENT'S REQUEST.**

18. **Project # 1000408**
03DRB-01971 Minor-Extension of Preliminary Plat
- MARK GOODWIN & ASSOCIATES agent(s) for C&W LAND DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 490 & 491, Unit(s) 7, TOWN OF ATRISCO GRANT, **SAGE POINT SUBDIVISION**, zoned RD (14 DU/A), located on SAGE RD SW, between 86th ST SW and 82nd ST SW containing approximately 10 acre(s). (M-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**
19. **Project # 1000147**
03DRB-01973 Minor-Extension of Preliminary Plat
- MARK GOODWIN & ASSOCIATES agent(s) for C&W LAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 57-60, Unit(s) 2, TOWN OF ATRISCO GRANT, **WHISPERING POINTE SUBDIVISION**, zoned RD (9 DU/A), located on SUNSET GARDENS SW between 82ND ST SW and UNSER BLVD SW containing approximately 24 acre(s). (L-10) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**
20. **Project # 1001400**
03DRB-01961 Minor-Prelim&Final Plat Approval
- RHOMBUS PA INC agent(s) for SORIDA GRIEGO REVOCABLE TRUST, ELSIE CLARK, TTEE, request(s) the above action(s) for all or a portion of Lot(s) 5, Tract(s) 197-b-1-a and 197-b-1-b, MRGCD MAP #35, **SORIDA ADDITION**, zoned RA-2 residential and agricultural zone, located on FLORAL RD NW, between DURANES RD NW and PACHECO LN NW containing approximately 1 acre(s). [REF: 01DRB-01140] (H-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

21. **Project # 1001999**
03DRB-01871 Minor-Prelim&Final Plat
Approval

ADVANCED ENGINEERING & CONSULTING, LLC agent(s) for FRANCISCO L. MELENDEZ request(s) the above action(s) for all or a portion of Lot(s) 13-A & 14-A, **RAYNOLDS ADDITION**, zoned SU-2 special neighborhood zone, MFR, located on 11TH ST SW, between SILVER AVE SW and GOLD AVE SW containing approximately 0.1625 acre(s). [REF: ZA-94-76, 02ZHE-00937 (1002035), 02DRB-01614, WAS INDEF. DEFERRED ON 11/5/03] (K-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR A CORRECT PRIVATE SANITARY SEWER EASEMENT TO SERVE CENTER LOT AND CLEAR SITE TRIANGLE EASEMENT ON BOTH END LOTS AND AMAFCA'S SIGNATURES.**

22. **Project # 1002132**
03DRB-01963 Minor-Final Plat
Approval

BOHANNAN HUSTON, INC agent(s) for ENTRADA DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Tract(s) G, **VILLAGE CENTER NORTH**, (to be known as **VILLA DE VILLAGIO**) zoned SU1-R2, located on STONEBROOK PL NW, between SUMMER RIDGE RD NW and MONTEREY PIER DR NW containing approximately 13 acre(s). [REF: 1000898] (A-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PAYMENT OF CASH-IN-LIEU AND AMAFCA'S SIGNATURE.**

23. **Project # 1002636**
03DRB-01959 Minor-Prelim&Final Plat
Approval
03DRB-01960 Minor-Sidewalk Waiver

SURVEYS SOUTHWEST LTD agent(s) for ROBERT SIEGLITZ request(s) the above action(s) for all or a portion of Lot(s) 24, **RICE'S DURANES ADDITION NO. 1**, zoned R-2 residential zone, located on RICE AVE NW, between RIO GRANDE BLVD NW and DURANES NW containing approximately 1 acre(s). [REF: 03DRB-01084, 03DRB-00708] [Deferred from 11/26/03] (H-13) **DEFERRED AT THE AGENT'S REQUEST TO 12/3/03.**

24. **Project # 1002933**
03DRB-01966 Minor-Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES, INC agent(s) for HOECH REAL ESTATE CORP request(s) the above action(s) for all or a portion of Lot(s) 28, Block(s) 18, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, (to be known as **VINEYARD ESTATES, UNIT IV-B**) zoned RD (5 DU/A), located on CARMEL AVE NE, between VENTURA ST NE and HOLBROOK ST NE containing approximately 2 acre(s). [REF: 03DRB-01443, 03DRB-01444, 03DRB-01446] (C-20) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

25. **Project # 1001730**
03DRB-01972 Minor-Sketch Plat or
Plan

SURVEYS SOUTHWEST LTD agent(s) for JOHN & CRISTY ROMERO request(s) the above action(s) for all or a portion of Tract(s) 175-A-1, 175-A-3, 175-A-2-B, 181-A-1-A, **MRGCD MAP 35**, zoned RA2, located on LEONORA DR NW, between GABALDON RD NW and CAMILO LN NW containing approximately 2 acre(s). [REF: 02DRB-00203, 02DRB-00482] (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1003110**
03DRB-01967 Minor-Sketch Plat or
Plan

WILKS COMPANY agent(s) for SAMHO LLC
request(s) the above action(s) for all or a portion of
Lot(s) 5 & 6, Block(s) 4, **MONKBRIDGE ADDITION**,
zoned C-3 heavy commercial zone, located on 4TH
ST NW, between AZTEC NW and VERANDA NW
containing approximately 1 acre(s). (G-14) **THE
ABOVE REQUEST WAS REVIEWED AND
COMMENTS WERE GIVEN.**

27. Approval of the Development Review Board Minutes for November 12, 2003. **MINUTES WERE
APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 12:35 P.M.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB- 1002792

Item No. 9

Zone Atlas B-14

DATE ON AGENDA 11-26-03

INFRASTRUCTURE REQUIRED () YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT (X) SITE PLAN FOR SUBDIVISION
- (X) SITE PLAN FOR BUILDING PERMIT

No.	Comment
	- RESTRICTION FURTHER IS WITHIN PROPERTY/ PLATTING SHOULD EITHER MAKE THIS PUBLIC R-O-W OR CREATE A PUBLIC EASEMENT
	- THIS MITIGATION STILL NEEDS TO BE FINALIZED ASSUME THIS WILL BE ATTACHED TO PLATTING ACTION

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002792

AGENDA ITEM NO: 9

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

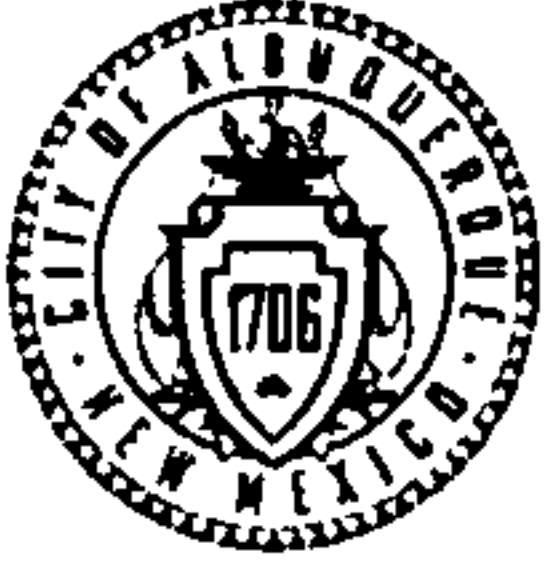
The Hydrology Section has no objection to the vacation request. *w/ condition*
 AMAFCA's review and approval are required for Preliminary and/or Final Plat approval.
 An approved infrastructure list is required for Preliminary Plat approval.
 An approved drainage report is required for Preliminary Plat/Site Plan approval.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X ¹²⁻¹⁰⁻⁰³; COMMENTS PROVIDED ____; WITHDRAWN
 SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)
 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)
 FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: November 26, 2003



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 10, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Richard Dourte, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order
B. Changes and/or Additions to the Agenda
C. New or Old Business
- Adjourned:

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- Project # 1001012**
03DRB-01948 Major-Two Year SIA
LARRY READ & ASSOCIATES, INC. agent(s) for JOE SANTANGELO request(s) the above action(s) for all or a portion of Tract(s) 1, **SUNSHINE COUNTRY**, zoned SU-1 special use zone, MHP, located on BLAKE RD SW, between COORS BLVD SW and UNSER BLVD SW containing approximately 27 acre(s). [REF: AX-97-19, Z-97-109, DRB-98-64] (N-10) **A ONE YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1001696**
03DRB-01952 Major-Two Year SIA

TIERRA WEST LLC agent(s) for PICO LLC request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 30, 31 and 32, Block(s) 3, Tract(s) 3N, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **PICO LA CUEVA SUBDIVISION**) zoned R-D, located on BARSTOW NE, between ALAMEDA BLVD NE and OAKLAND AVE NE containing approximately 5 acre(s). [REF: 02DRB-00073] (C-20) **A TWO YEAR EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1000922**
03DRB-01953 Major-Preliminary Plat Approval
03DRB-01954 Minor-Temp Defer SDWK

WILSON & COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT, request(s) the above action(s) for all or a portion of **VOLCANO CLIFFS SUBDIVISION, UNIT 20**, LOTS 1-30, BLOCK 1, LOTS 1-38, BLOCK 2, LOTS 1-62, BLOCK 3, LOTS 1-14, BLOCK 4 AND LOTS 1-22, BLOCK 5 *AND VOLCANO CLIFFS SUBDIVISION, UNIT 21*, ALL BLOCKS AND LOTS *AND VOLCANO CLIFFS SUBDIVISION, UNIT 23*, LOTS 1-10, BLOCK 1, LOTS 1-13, BLOCK 2, LOTS 1-21, BLOCK 3, LOTS 1-51, BLOCK 4, LOTS 1-27, BLOCK 5, LOTS 1-6, BLOCK 6, LOTS 1-28, BLOCK 7 AND LOTS 1-7, BLOCK 8 *AND VOLCANO CLIFFS SUBDIVISION, UNIT 27*, LOTS 16-18 AND 22, BLOCK 2, LOTS 1-8, BLOCK 4 AND LOTS 1-7, BLOCK 5, (to be known as **LA CUENTISTA SUBDIVISION**) zoned R-1, located on the east and west sides of Unser Blvd NW (Kimmick) between Urraca NW and Camino de Paz NW, containing approximately 50 acres. [REF: DRB-97-98, V-97-116, 02DRB-01783, 02DRB-01785,,03DRB-01725, 03DRB-01728] [deferred from 12-10-03] (C-10/11 & D-10/11) **DEFERRED AT AGENT'S REQUEST TO 12-17-03.**

4. **Project # 1002519**
03DRB-01950 Major-SiteDev Plan
Subd

MARK GOODWIN & ASSOCIATES, agent(s) for SAN PEDRO EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 16, Block(s) 5, Tract(s) 2, NORTH ALBUQUERQUE ACRES, (to be known as **TOWNHOMES @ LA CUEVA**) zoned R-D residential and related uses zone, developing area, 7 DU/AC, located on WYOMING BLVD NE, between SIGNAL AVE NE and WILSHIRE AVE NE containing approximately 1 acre(s). [deferred from 12-10-03] (C-19) **DEFERRED AT AGENT'S REQUEST TO 12-17-03.**

03DRB-01883 Major-Vacation of Pub
Right-of-Way
03DRB-01882 Minor-Prelim&Final
Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 16, Tract(s) 2, Block(s) 5, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **TOWNHOMES @ LA CUEVA**), zoned RD (7 DU/AC), located on WYOMING BLVD NE, between SIGNAL AVE NE and WILSHIRE AVE NE containing approximately 1 acre(s). [Deferred from 11/26/03 & 12/10/03] (C-19) **DEFERRED AT AGENT'S REQUEST TO 12-17-03.**

03DRB-02019 Minor-Subd Design
(DPM) Variance
03DRB-02020 Minor-Sidewalk
Waiver

MARK GOODWIN & ASSOCIATES agent(s) for SAN PEDRO EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 16, Block(s) 5, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **TOWNHOMES @ LA CUEVA**), zoned R-D residential and related uses zone, developing area, 7 DU/AC, located on WYOMING BLVD NE, between SIGNAL AVE. NE and WILSHIRE AVE. NE containing approximately 1 acre(s). [REF: 03DRB-001950, 03DRB-01882] [deferred from 12/10/03] (C-19) **DEFERRED AT AGENT'S REQUEST TO 12-17-03.**

5. **Project # 1002668**
03DRB-01888 Major-Preliminary Plat
Approval
03DRB-01889 Major-Vacation of
Public Easements
03DRB-01890 Minor-Temp Defer
SDWK

MARK GOODWIN & ASSOCIATES agent(s) for VISTA MAGNIFICA LLC request(s) the above action(s) for all or a portion of Block(s) 5, Tract(s) C and Tract(s) E & F, Block(s) 2, **VISTA MAGNIFICA**, and Lot(s) B, Block(s) 8, **PALISADES ADDITION**, zoned R-LT, located on ATRISCO DR NW, between I-40 NW and CLIFFSIDE DR NW containing approximately 7 acre(s). [REF: 03EPC-01089, 03DRB-00811] [Deferred from 11/26/03 & 12/10/03] (H-11) **DEFERRED AT AGENT'S REQUEST TO 12-17-03.**

6. **Project # 1002792**
03DRB-01780 Major-Vacation of
Public Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH**, zoned SU-1 for C-1 & Rest (ETC) & SU-1,O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s).[REF: 03EPC-01085 & 01086] [Deferred from 11/12/03 & 11/26/03 & 12/10/03] (B-14) **DEFERRED AT AGENT'S REQUEST TO 12-17-03.**

- 03DRB-01945 Minor-SiteDev Plan
Subd/EPC
03DRB-01946 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES, agents for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH**, zoned SU-1 for C-1 & Rest (ETC) & SU-1, O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s).[REF: 03EPC-01085 & 01086, 03DRB-01780] [**Debbie Stover, EPC Case Planner**] [Deferred from 11/26/03 & 12/10/03] (B-14) **DEFERRED AT AGENT'S REQUEST TO 12-17-03.**

7. **Project # 1002928**
03DRB-01532 Major-Preliminary Plat
Approval
03DRB-01534 Minor-Temp Defer
SDWK
03DRB-01536 Minor-Sidewalk
Waiver

BOHANNAN HUSTON, INC. & DENISH-KLINE ASSOCIATES, agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **Tract(s) D** (to be known as **TAOS @ THE TRAILS**, The Trails (a portion of Tract 4, Black Ranch) zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). REF: 03DRB-01429 (SK) [Deferred from 10/8/03, 11/5/03 & 11/26/03 & 12/10/03] (C-9) **DEFERRED AT AGENT'S REQUEST TO 12-17-03.**

8. **Project # 1002929**
03DRB-01531 Major-Preliminary Plat
Approval
03DRB-01533 Minor-Temp Defer
SDWK
03DRB-01535 Minor-Sidewalk
Waiver

BOHANNAN HUSTON INC. & DENISH - KLINE ASSOCIATES, agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of **Tract(s) C** (to be known as **SANTA FE @ THE TRAILS**) The Trails (portion of Tract 4, Black Ranch) zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 17 acre(s). [Deferred from 10/8/03, 11/5/03 & 11/19/03, 11/26/03 & 12/10/03] (C-9) **DEFERRED AT AGENT'S REQUEST TO 12/17/03.**

9. **Project # 1003016**
03DRB-01690 Major-Vacation of Pub
Right-of-Way

SURVEYS SOUTHWEST, LTD. agent(s) for ROBERT DAVIS request(s) the above action(s) for all or a portion of Block(s) A, Tract(s) A, **DEL MAR TERRACE**, zoned C-1 neighborhood commercial zone, located on COMANCHE RD NE, between WYOMING BLVD NE and GENERAL BRADLEY ST NE containing approximately 3 acre(s). [REF: ZA-96-98] [Deferred from 10/29/03] (G-20) **WITHDRAWN AT AGENT'S REQUEST.**

10. **Project # 1002971**
03DRB-01567 Major-Vacation of
Public Easements
03DRB-01568 Major-Vacation of
Public Easements
03DRB-01569 Major-Vacation of
Public Easements
03DRB-01570 Minor-Vacation of
Private Easements
03DRB-01566 Minor-Prelim&Final
Plat Approval

SURVEYS SOUTHWEST agent(s) for WEF
CO PARTNERS request(s) the above action(s) for all or
a portion of Tract(s) 4B, 4-A-1, 5-B-1 and 5-B-2, **V.
E. BARRETT SUBDIVISION AND LANDS OF
WEFCO**, zoned C-2 community commercial zone,
located on CENTRAL AVE SW, between UNSER
BLVD SW and 86TH ST SW containing
approximately 15 acre(s). [REF: V-79-19, V-88-3, V-
86-58] [*Deferred from 10/15/03, 11/5/03 & 11/19/03
& 12/10/03*] (K-10) **DEFERRED AT AGENT'S
REQUEST TO 12-17-03.**

03DRB-01692 Minor-SiteDev Plan
Subd

DENISH KLINE ASSOCIATES INC agent(s) for
WEFCO PARTNERS INC request(s) the above
action(s) for all or a portion of Tract(s) 4-B, 4-A-1, 5-
B-1 AND 5-B-2, **BARRETT SUBDIVISION, LANDS
OF WEF**CO, zoned C-2 community commercial
zone, located on CENTRAL AVE SW, between
UNSER BLVD SW and 86TH ST SW containing
approximately 15 acre(s). [REF: V-88-3, 03DRB-
01567, 03DRB-01568, 01569, 03DRB-01566,
01570] [*Deferred from 10/15/03, 11/5/03 & 11/19/03
& 12/10/03*] (K-10) **DEFERRED AT AGENT'S
REQUEST TO 12-17-03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

11. **Project # 1001209**
03DRB-02027 Minor-SiteDev Plan
BldPermit/EPC
03DRB-02028 Minor-SiteDev Plan
Subd/EPC
- GEORGE RAINHART & ASSOCIATES agent(s) for JACK CLIFFORD request(s) the above action(s) for all or a portion of Tract(s) A, **LAVA TRAILS**, zoned SU-1 for Neighborhood Commercial, located on WESTERN TRAILS NW, between UNSER BLVD NW and ATRISCO RD NW containing approximately 6 acre(s). [REF: 03EPC 00699/00701, 02500-00126, DRB 94-525] [**Russell Brito, EPC Case Planner**] [deferred from 12-10-03] (F-10) **DEFERRED TO 1-7-04.**
12. **Project # 1003120**
03DRB-02021 Minor-SiteDev Plan
BldPermit
- BOHANNAN HUSTON INC. AND CONSENSUS PLANNING, INC. agent(s) for IDI request(s) the above action(s) for all or a portion of Tract(s) 1, **LEVI STRAUSS COMPANY ADDITION**, zoned SU-2 for M-1, located on ALAMEDA BLVD. NE, between OAKLAND AVE NE and WILSHIRE AVE. NE containing approximately 12 acre(s). [REF: Z-70-124] [deferred from 12-10-03] (C-18) **DEFERRED AT AGENT'S REQUEST TO 12-17-03.**

13. **Project # 1002796**
03DRB-02022 Minor-SiteDev Plan
BldPermit/EPC
03DRB-02024 Minor-SiteDev Plan
Subd/EPC

RMKM ARCHITECTURE agent(s) for ALBUQUERQUE FIRE DEPARTMENT, request(s) the above action(s) for all or a portion of Lot(s) 8-11, **KAY ADDITION** and Lots 8-10, Block(s) 4, **LOMA VERDE ADDITION**, zoned SU-1 & C-1, located on DALLAS NE, between CHARLESTON ST. NE and CHICO RD. NE containing approximately 1 acre(s). [REF:03EPC01099,01100,01101] **[Debbie Stover, EPC Case Planner]** [deferred from 12-10-03] (K-19) **WAS INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

14. **Project # 1002421**
03DRB-01968 Minor-SiteDev Plan
Subd
03DRB-01969 Minor-SiteDev Plan
BldPermit/EPC

GARRETT SMITH LTD agent(s) for NEW LIFE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 111-B, **TOWN OF ATRISCO GRANT, TRACT III – UNIT 6**, zoned SU-1 PRD (20DU/A, located on GWIN RD SW, between DELIA RD SW and 69TH ST SW containing approximately 1 acre(s). [REF: 03DRB-00053, 03EPC-00692] **[Juanita Vigil, EPC Case Planner]** [Deferred from 11/26/03 & 12/10/03] (K-10) **DEFERRED AT AGENT'S REQUEST TO 12-17-03.**

15. **Project # 1002873**
03DRB-01975 Minor-SiteDev Plan
BldPermit/EPC

DCSW INC agent(s) for MORELAND CORP request(s) the above action(s) for all or a portion of Tract(s) 5A & 7A, **YALE BUSINESS PARK**, zoned SU-1 Permissive O-1, C-2, IP, located on CENTRE AVE SE AND INTERNATIONAL AVE SE and containing approximately 5 acre(s). [REF: 03EPC-01324] [**Debbie Stover, EPC Case Planner**] [Deferred from 11/26/03] (L-16) **THE SITE PLAN FOR THE BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

03DRB-02033 Minor- Prelim&Final
Plat Approval

MARK GOODWIN & ASSOCIATES, agents for ALBUQUERQUE FACILITIES LLC, request(s) the above action(s) for all or a portion of Tract(s) 5A & 7A, **CAVAN SUNPORT CENTER**, zoned SU-1 Permissive O-1, C-2, IP, located on CENTRE AVE SE AND INTERNATIONAL AVE SE and containing approximately 5 acre(s). [REF: 03EPC-01324, 03DRB-01975] (L-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

16. **Project # 1003114**
03DRB-02000 Minor-SiteDev Plan
BldPermit

G. DONALD DUDLEY ARCHITECT, AIA, agent(s) for GARRETT GROUP INC request(s) the above action(s) for all or a portion of Lot(s) 9, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP-EP, located on PASEO ALAMEDA NE, between PASEO DEL NORTE NE and ALAMEDA BLVD NE containing approximately 1 acre(s). [REF: 1000624, DRB-98-223] [Deferred from 12/3/03] (C-16) **THE SITE PLAN FOR THE BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS

17. **Project # 1002639**
03DRB-02026 Minor-Final Plat
Approval
- ISAACSON & ARFMAN PA agent(s) for TWO JOES LLC request(s) the above action(s) for all or a portion of Lot(s) 6-14, Block(s) 4, (to be known as **TREMENTINA SUBDIVISION**), NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3, zoned RD (7 du acre), located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 10 acre(s). [REF: 03DRB-00717 PP] (C-19) **THE FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
18. **Project # 1002335**
03DRB-02023 Minor-Extension of
Preliminary Plat
- WALLACE BINGHAM agent(s) for ESMAIL HAIDARI request(s) the above action(s) for all or a portion of Lot(s) 17 & 18, Tract(s) A, Block(s) 5, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3,(to be known as **TREVISO SUBDIVISION**) zoned R-D, located on WILSHIRE NE, between WYOMING NE and LOUISIANA NE containing approximately 3 acre(s). [REF: 02DRB-01698 PP] (C-19) **THE ONE YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

19. **Project # 1000460**
03DRB-02025 Minor-Sketch Plat or
Plan
- KIRK WESSELINK agent(s) request(s) the above
action(s) for all or a portion of Tract(s) 493, Unit(s) 7,
TOWN OF ATRISCO GRANT, zoned R-1, located
on SAGE RD. SW, between 86TH ST. SW and
SAGE RD. SW containing approximately 5 acre(s).
[REF: DRB-98-24/DRB-98-303, DRB-99-321/DRB-
98-251] (M-9) **THE ABOVE REQUEST WAS
REVIEWED AND COMMENTS GIVEN.**
20. Approval of the Development Review Board Minutes for November 26, 2003. **THE BOARD
APPROVED MINUTES SUBJECT TO CHANGES.**

ADJOURNED: 11:00 A.M.

Deferred to 12/17

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002792 AGENDA#: 6 DATE: 12.10.03

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002792

AGENDA ITEM NO: 6

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the vacation request.
 An approved drainage report is required for Preliminary Plat approval.
 An approved infrastructure list is required for Preliminary Plat approval.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ¹²⁻¹⁷⁻⁰³ ; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: December 10, 2003

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4th Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME

11002792

AGENT

GEO. RAINHART ARCH.

ADDRESS

2325 San Pedro, NE

PROJECT NO.

APPLICATION NO.

03EPC-01086, 01085

\$ 441006 / 4983000 (DRB Cases)

\$ 110⁰⁰ 441006 / 4971000 (EPC & AA / LUCC / Appeals)

\$ 441018 / 4971000 (Notification)

\$ 110⁰⁰ Total amount due

Security enhanced document. See back for details.

GEORGE R. RAINHART
ARCHITECT & ASSOCIATES, P.C.

2325 SAN PEDRO NE SUITE 2B
ALBUQUERQUE, NM 87110
PH. 505-884-9110

2405

95-78/1070
893

DATE 12/9/03

PAY TO THE ORDER OF

City of Albuquerque

\$ 110⁰⁰

ONE hundred ten and 00/100

DOLLARS



Compass Bank
Albuquerque, New Mexico

[Signature]

FOR

002405 1070007831 0012577984 Of Albuquerque

12/09/2003 3:48PM LOC: ANNX
RECEIPT# 00017233 WSH# 007 TRANSH# 0062
Account 441006 Fund 0000
Activity 4971000 TRSLJS
Trans Amt \$110.00
J24 Misc \$110.00
CK 10/28/02 \$110.00
CHANGE \$0.00

Sheran Matson, AICP, DRB Chair
City of Albuquerque
Planning department
600 2nd St. N.W
Albuquerque N.M 87102

Re: 03EPC-01086 SITE DEVELOPMENT PLAN-SUBDIVISION
03EPC-01085 SITE DEVELOPMENT PLAN-BUILDING PERMIT

Sheran Matson:

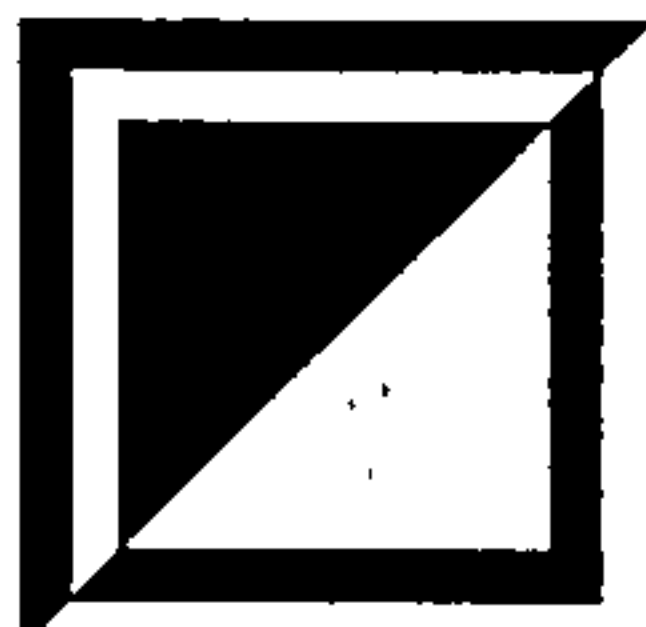
We hereby request a one week deferral of project 1002792. We wish to reschedule to the Dec. 17th hearing date.

Sincerely



Stephen Dunbar

George Rainhart Architect and Associates



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

Dec 10, 2003

XO

Sharon Matson

Chair

Development Review Board

One Civil Plaza

Alb, NM 87103

RE: Deferral for One Week Project #1002792

Item No. 6.

Dear Sharon

We are requesting a one week deferral to complete staff comments on the site plan and drainage report. If you have any questions please don't hesitate to call me.

Sincerely





<p>SUBDIVISION</p> <p><input type="checkbox"/> Major Subdivision action</p> <p><input checked="" type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p>	<p>Supplemental form</p> <p>S</p> <p>V</p> <p>P</p> <p>L</p>	<p>Supplemental form</p> <p>ZONING</p> <p><input type="checkbox"/> Annexation & Zone Establishment</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Zone Change</p> <p><input type="checkbox"/> Text Amendment</p> <p>APPEAL / PROTEST of...</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal</p>	<p>Z</p> <p>A</p>
---	--	---	---------------------------------

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>TRUST OF ALBERT & MARY BLACK</u>	PHONE: <u>792.3713</u>
ADDRESS: <u>3613 NM STATE RD 528 NW</u>	FAX: <u>792.3735</u>
CITY: <u>ABQ</u> STATE <u>NM</u> ZIP <u>87114</u>	E-MAIL: _____
Proprietary interest in site: <u>OWNER</u>	
AGENT (if any): <u>TIERRA WEST LLC</u>	PHONE: <u>858-3100</u>
ADDRESS: <u>8509 JEFFERSON NE</u>	FAX: <u>858-1118</u>
CITY: <u>ABQ</u> STATE <u>NM</u> ZIP <u>87113</u>	E-MAIL: <u>twllc@tierrawestllc.com</u>

DESCRIPTION OF REQUEST: MINOR PRELIMINARY/FINAL PLAT -- REPLAT OF LOT LINE ADJ

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 2-A, 2-B, 2-C, & 2-D Block: _____ Unit: _____

Subdiv. / Addn. COTTONWOOD CROSSING, PHASE II

Current Zoning: SU-1 FOR C-1 & REST. Proposed zoning: SAME

Zone Atlas page(s): B14 No. of existing lots: 1 No. of proposed lots: 4

Total area of site (acres): 5.3836 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 101406519031820301 --101406522431320303 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 10042 COORS BLVD NW
Between: COORS BLVD NW and SEVEN BAR LOOP NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB-94-358/SRP5-98-37/DRB-90-361/DRB-98-61/O3EPC-01085/O3EPC-01086/O3DRB-01780/O3DRB-2084/O4DRB-00184/O4AA-00222/O4DRB-00278 -- PROJ#: 1002792

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Ronald R Bohannan by Karen Kline DATE 3/22/04

(Print) RONALD R. BOHANNAN, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>04DRB - - - - - 00943</u>	<u>P/F</u>	<u>5(3)</u>	<u>\$ 425.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>6-30-04</u>	_____	_____	<u>\$ 445.00</u>
<u>[Signature]</u>	<u>6-16-04</u>	Project # <u>1002792</u>		
	Planner signature / date			

FORM S(3): SUBDIVISION D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bottanman, P.E.
Applicant name (print)
Ronald R. Bottanman, P.E. by Karen Kline 3/22
Applicant signature / date



Form revised 10/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB- _____ -00943
_____- _____ - _____
_____- _____ - _____

[Signature] 6-16-04
Planner signature / date
Project # 1002792

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

March 18, 2004

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87130

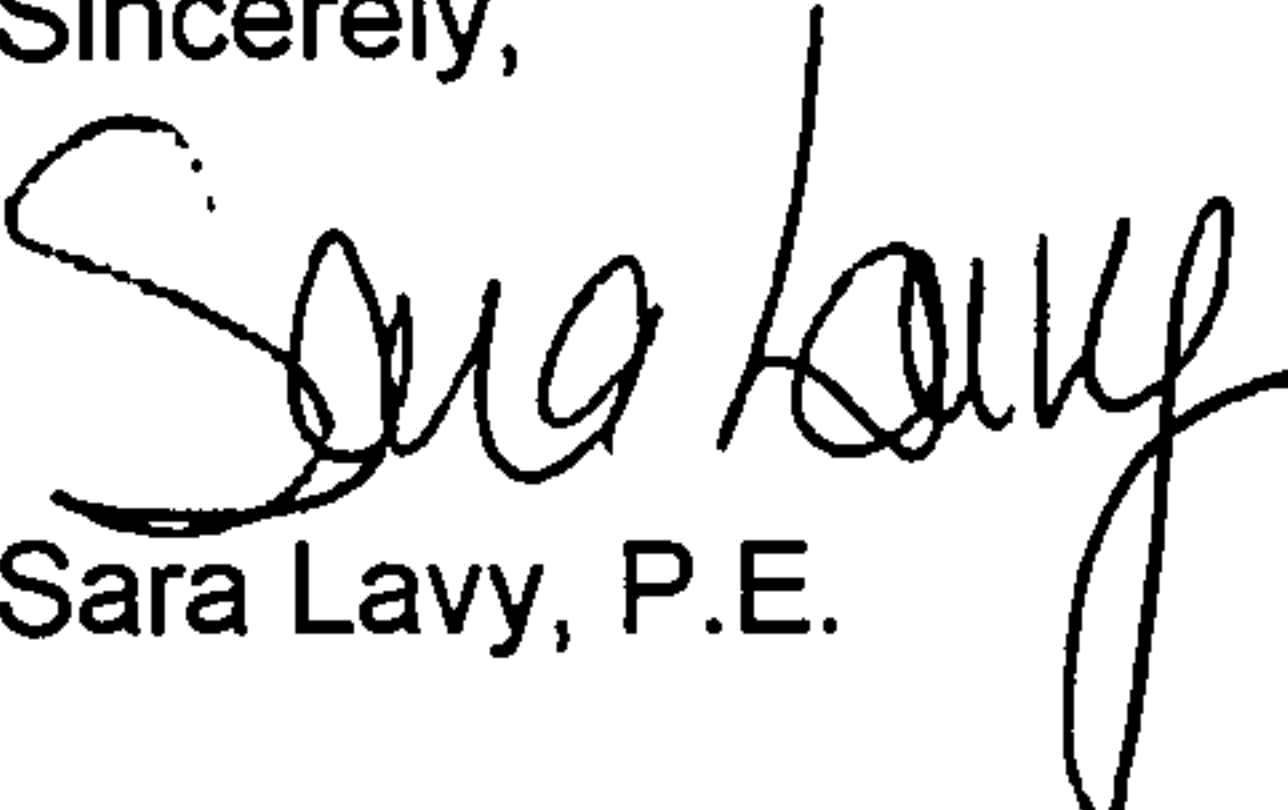
RE: Minor Preliminary/Final Plat
Tract 2-A, 2-B, 2-C, & 2-D, Cottonwood Crossing Phase II
DRB Project #1002792
Zone Atlas Page B14

Dear Ms. Matson:

Tierra West LLC, on behalf of Trust of Albert & Mary Black requests the approval of the Minor Preliminary/Final plat of Tract 2-A, 2-B, 2-C, & 2-D, Cottonwood Crossing Phase II. The plat is being done to show the subdivision of the existing Lot 2 into four new lots, also shows the DRB approval, March 10, 2004 of the Vacation action of the Private Access Easement.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

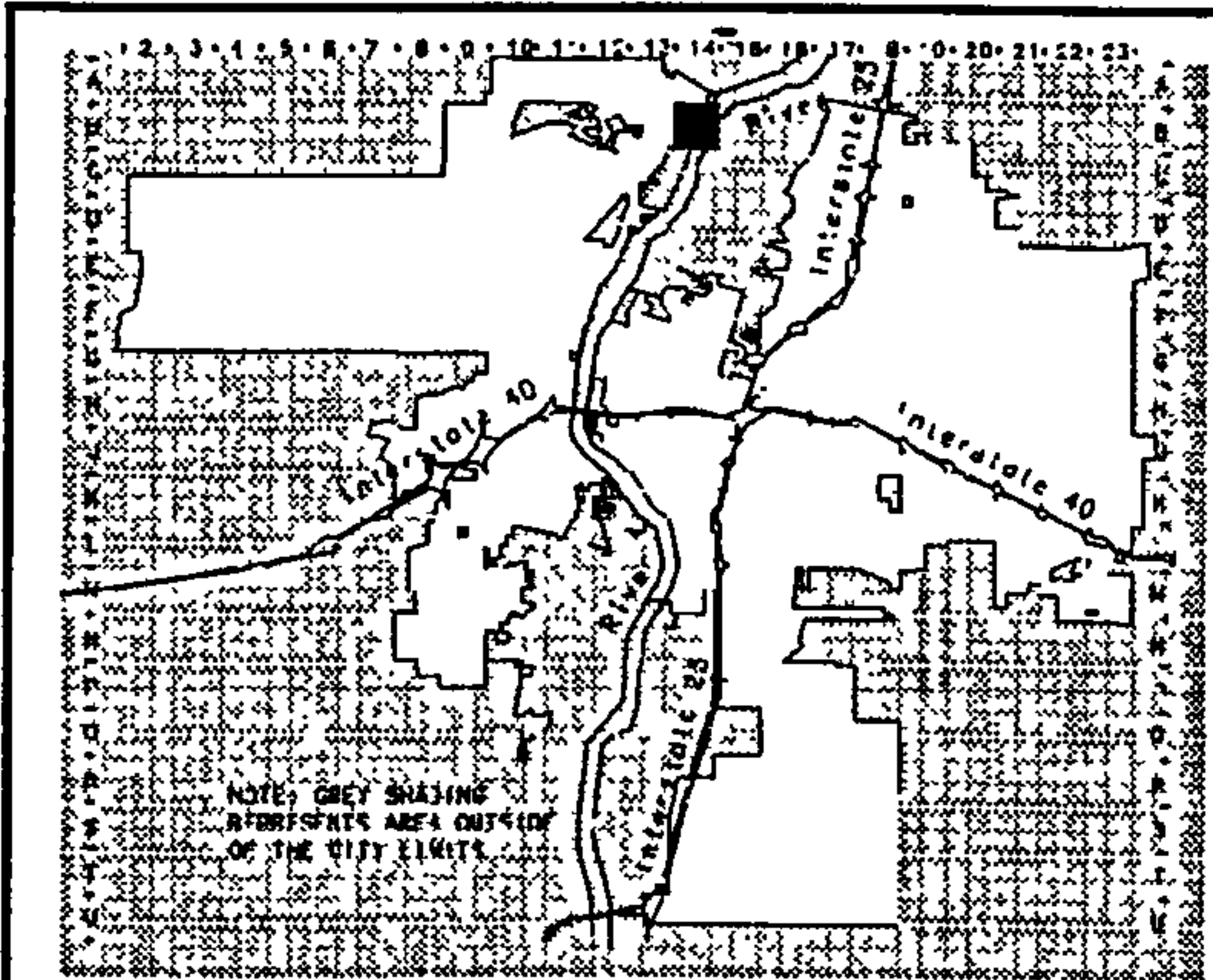
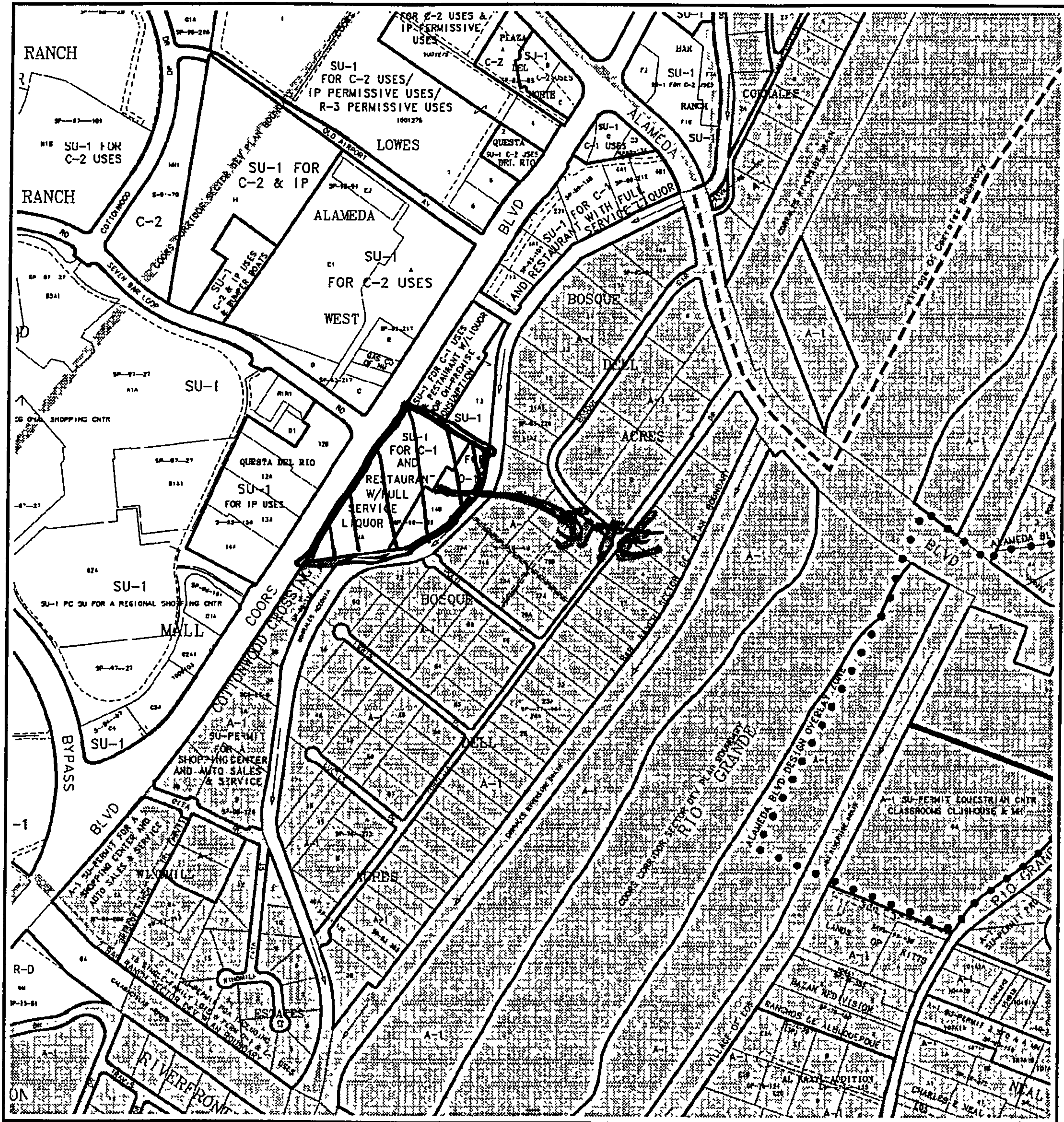


Sara Lavy, P.E.

Enclosure/s

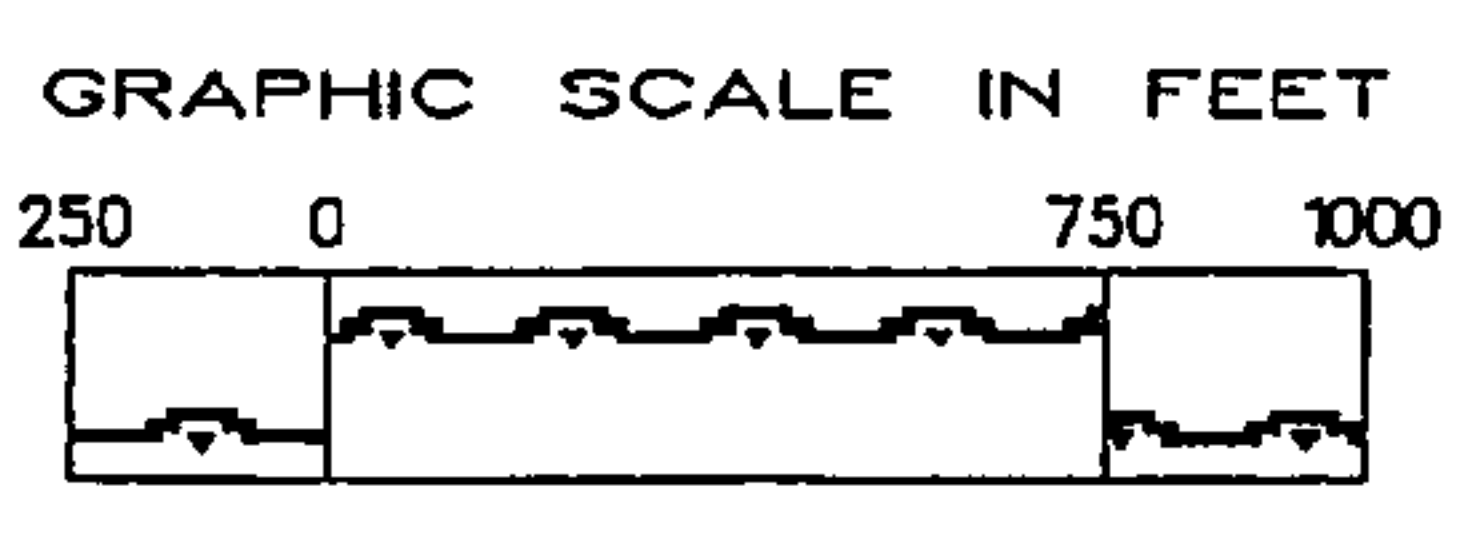
cc: John Black

JN: 220097
SCL/kk



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT

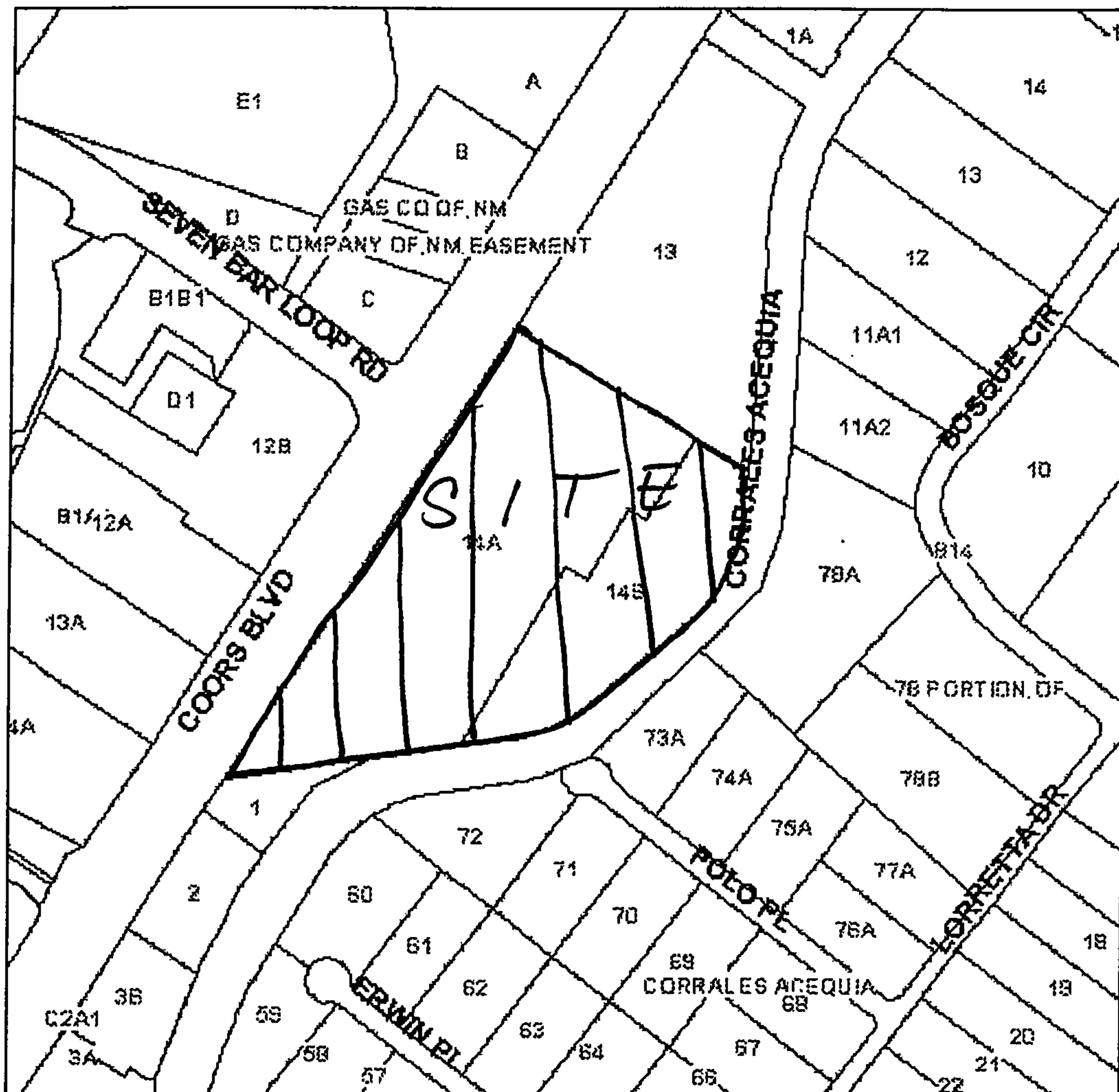
© Copyright 2003



Zone Atlas Page

B-14-Z

Map Amended through July 31, 2003



Zoning: SU-1 FOR C-1 AND RESTAURANT W/ FULL SERVICE LIQUOR

Lot/Block/Subd: 14A , 0000 , BLACK RANCH

ZoneMap Page: B14 Jurisdiction: CITY

UPC #: 101406519031820301

Owner Name: BLACK ALBERT J C/O BLACK JOHN F

Zoning: SU-1 FOR O-1

Lot/Block/Subd: 14B , 0000 , BLACK RANCH

ZoneMap Page: B14 Jurisdiction: CITY

UPC #: 101406522431320303

Owner Name: BLACK ALBERT J C/O BLACK JOHN F

Karen Kline

From: Rusty Hugg [russhugg@swcp.com]
Sent: Friday, March 19, 2004 9:12 AM
To: Patrica Apt
Cc: Karen Kline
Subject: Cottonwood Crossing Phase II- Project 1002792

Patricia

Attached is dxf for the above referenced plat. Bearings are grid (NAD27) and distances are ground.

Thanks
Russ Hugg

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Trust of Albert & Mary Black
AGENT Tierra West
ADDRESS 8509 Jefferson NE 87113
PROJECT & APP # 1002792/04DRB 00943
PROJECT NAME Cottonwood Crossing Ph II

\$ 20.00 469099/4916000 Conflict Management Fee

\$ 425.00 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

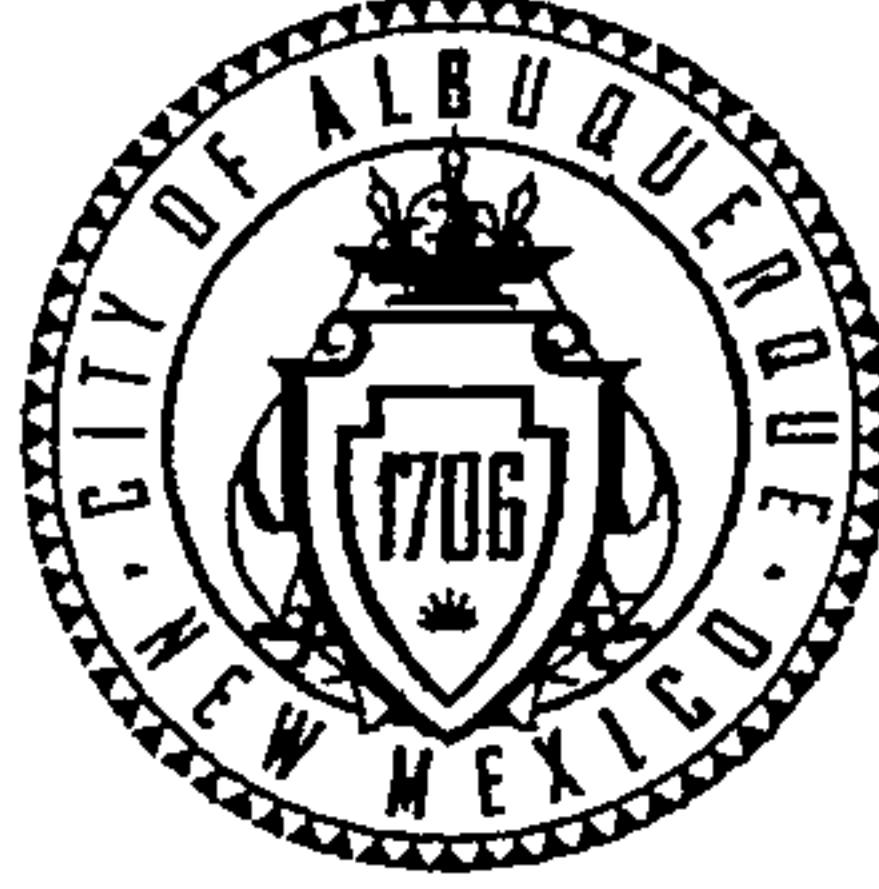
\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 445.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

TIERRA WEST LLC 8509 JEFFERSON NE ALBUQUERQUE, NM 87113 (505) 858-3100		1606 95-877/1070
DUPLICATE		
City of Albuquerque Treasury Division		DATE <u>3/18/04</u>
PAY TO THE ORDER OF <u>City of Albuquerque</u>		Treasury Division \$ <u>445.00</u>
03/16/2004 10:09AM	LU: ANN	ALMA/2004 10:07AM
<u>Four hundred forty five and 00/100</u>		Y DOLLARS
RECEIPT# 00025021 WSH 008 TRANS# 000	Account 441006 Fund 0110	Activity 4983000
Trans Amt \$445.00		
FOR _____		<u>Donna Bohannon</u>
001606 107006677	201813	CHARGE



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: January 16, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002792***
03EPC-02034 EPC Site Development Plan-
Subdivision
03EPC-02035 EPC Site Development Plan-Building
Permit
03EPC-02036 Zone Map Amendment
03EPC-02037 EPC Sector Development Plan

John Black
3613 NM State Rd 528 NW, Suite 710
Albuq. NM 87114

LEGAL DESCRIPTION: for all or a portion of Tract(s) 14A & 14B, **Black Ranch**, from SU-1 for C-1 & Restaurant with full service liquor & SU-1 for O-1 to SU-1 for C-1 & Restaurant with full service liquor and SU-1 for O-1 located on Coors Boulevard., between 7 Bar Loop Road and Alameda Boulevard NW, containing approximately 10 acre(s).
(B-14) Deborah Stover, Staff Planner

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1002792/ 03EPC 02037, a request for an amendment to the Seven-Bar Ranch Sector Development Plan, for Lot 14B, Black Ranch, based on the following Findings:

FINDINGS:

1. This is a request for an amendment to the Seven-Bar Ranch Sector Development Plan to allow C-1 uses along with a restaurant with full service liquor on Tract 14B, now zoned SU-1 for O-1 and shown as such in the Seven-Bar Ranch Sector Development Plan. This change would allow the majority of the eastern half of the site to have either offices or retail and restaurant uses.
2. The Seven-Bar Ranch Sector Development Plan was adopted in 1982, whereas the amendments to the *West Side Strategic Plan* were adopted in 2002. The change in designation of this area to a regional center by the *WSSP* justifies the amendment to the sector plan.

OFFICIAL NOTICE OF DECISION
PROJECT #1002792
JANUARY 15, 2004
PAGE 2 OF 7

3. The subject site is in an area that is intended to serve the entire region, not just the West Side, and should be "characterized by a major concentration of a full mixture of the most intensive activities needed to service a metropolitan population and a wider range of uses should be allowed in this area and on this site.
 4. The SU-1 zone allows for site plan review, while the C-1 and restaurants with full service liquor would allow offices and other commercial as well as restaurants similar in style to others that have developed in the area, allowing for more flexibility within the Regional Center boundaries.
 5. There is no known opposition to this request.
-

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1002792/ 03EPC 02036, a for a zone map amendment from SU-1 for O-1 to SU-1 for C-1 Uses and Restaurant with Full Service Liquor, for Tracts 14A & 14B (excluding Lots 1 and 3, which will remain SU-1 for O-1), Black Ranch, based on the following Findings and subject to the following Condition:

FINDINGS:

1. This is a request for a zone map amendment for Tracts 14A and 14B, Black Ranch, from SU-1 for O-1 to SU-1 for C-1 and Restaurant with Full Service Liquor and SU-1 for O-1.
2. This zone designation is identical to Tract 14A to the west of the subject tract. Tract 14A was reviewed by EPC in August 2003 and approved for site plan for subdivision and building permit to allow 4 restaurants to be built. This request is to 'clean up' the property by eliminating a zone line and providing one uniform zone category except for the archeological and ponding sites, which will be SU-1 for O-1.
3. Changed community conditions in the area include the designation of this area as a Regional Center and the construction of the Cottonwood Mall. The Regional Center designation was adopted after the Seven-Bar Sector Development Plan and the Coors Corridor Plan were adopted.
4. The request would be more advantageous to the community by allowing the zone change on the site to create a more harmonious site. The prior submittal for this site initially included office buildings that straddled both property and zone boundary lines. The zone map amendment would eliminate this problem and create continuity for the site, which is more advantageous to the community in a technical sense.

OFFICIAL NOTICE OF DECISION
PROJECT #1002792
JANUARY 15, 2004
PAGE 3 OF 7

5. The zone change is justified according to Resolution 270-1980 by complying with the *Albuquerque/Bernalillo County Comprehensive Plan*. The site is located within a Regional Center and is therefore appropriate for commercial uses as per Policy j of the *Comprehensive Plan*.
6. The zone change would be compatible with the surrounding area as the location and intensity of the zone category is the same as the property adjacent to the west (*Comprehensive Plan, Policy d*).
7. The zone change would promote new growth that would be accommodated through development in areas where vacant land is contiguous to existing urban facilities and the integrity of the existing neighborhoods will be ensured, as no neighborhoods abut the property (*Comprehensive Plan, Policy e*).
8. The zone map amendment complies with the *West Side Strategic Plan* by providing a more flexible zone category that would allow the development of services in this Regional Center. Commercial, office and restaurants would be allowed with the proposed zoning and this condition would allow the property to more fully develop (*WSSP p. 32*).
9. With the designation of this area as a Regional Center that is proposed to develop with a greater density and larger amount of commercial services than anywhere else on the West Side, it becomes more advantageous to the community to allow the greater range of uses on the site to encourage the area to develop as planned (*WSSP p. 32*).
10. If the amendment to the *Seven-Bar Ranch Sector Development Plan* is approved, the zone change is the next step, as that amendment would necessitate the change of the *Zoning Map* as well.
11. There is no known opposition to this request.

CONDITION:

1. A replat of the site to create lot lines that correspond to the approved zone boundaries is required prior to or concurrent with final DRB sign-off.

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1002792/ 03EPC 03EPC 02034, a request for site development plan for subdivision, for Tracts 14A & 14B, Black Ranch, based on the following Findings and subject to the following Conditions:

OFFICIAL NOTICE OF DECISION
PROJECT #1002792
JANUARY 15, 2004
PAGE 4 OF 7

FINDINGS:

1. This is a request for site development plan for subdivision for an approximately 10-acre site known as Tract 14A and 14B, Black Ranch, located on Coors Boulevard between Alameda Boulevard and the Coors Bypass.
2. The submitted plan is in compliance with the *Albuquerque/Bernalillo County Comprehensive Plan* by providing an effective buffer for the residential development east of the site. The commercial uses will help minimize the effects of this busy, high-automobile usage area on the rural neighborhood to the east. The proposal is using existing streets (Policy e) and is not putting forward a harmful use that would adversely affect nearby neighborhoods (Policy i).
3. The subject request complies with the policies of the *West Side Strategic Plan* by providing appropriate commercial services in areas along a major commercial corridor (Policy 3.8).
4. The site plan for subdivision contains all the required components as defined in the *Zoning Code* (§14-16-1-5).
5. The site development plan for subdivision meets the requirements of the *Coors Corridor Plan*.
6. There is no known neighborhood opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. A replat of the site is required prior to or concurrent with final DRB sign-off.

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1002792/ 03EPC 02035, a request for site development plan for building permit, for Lots 1, 2A, 2B, 3 and 7, Black Ranch, based on the following Findings and subject to the following Conditions:

OFFICIAL NOTICE OF DECISION
PROJECT #1002792
JANUARY 15, 2004
PAGE 5 OF 7

FINDINGS:

1. This is a request for a site development plan for building permit for Lots 1, 2A, 2B, 3 and 7, Black Ranch, a .4.5-acre tract of land located on Coors Boulevard between Paseo del Norte and Irving Boulevard NW.
2. The submitted plan is in compliance with the *Albuquerque/Bernalillo County Comprehensive Plan* by providing an effective buffer for the residential development east of the site. The commercial uses will help minimize the effects of this busy, high-automobile usage area on the neighbors below the bluff. The proposal is using existing streets (Policy e) and is not putting forward a harmful use that would adversely affect nearby neighborhoods (Policy i).
3. The subject request complies with the policies of the *West Side Strategic Plan* by providing appropriate commercial services in areas along a major commercial corridor ((Policy 3.8).
4. With some changes and adjustments, the submittal will be in compliance with the policies of the *Coors Corridor Plan*.
5. The proposal meets the goals of the *Seven-Bar Ranch Sector Development Plan* by adhering to the principles and recommendations of the plan and specifically by providing quality design with landscape buffers and a development that relates to the pedestrian walkway along Coors Boulevard.
6. The submittal will be adequate with some changes and additions.
7. There is no known neighborhood opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site plan shall show what is planned for the area shown as Building Pad 'D' prior to the development of such a pad site.
3. Landscape Plan:

OFFICIAL NOTICE OF DECISION
PROJECT #1002792
JANUARY 15, 2004
PAGE 6 OF 7

- a. The walkway at the northern portion of the site is shown with vegetation planted within it on the landscape plan. This shall be corrected to show a clear pathway in this area.
 - b. The type of native seed to be planted shall be specified on the landscape plan and shall include native grass seed as well as native wildflower seed.
 - c. Additional cottonwood trees shall be planted along the Corrales Main Canal to provide a better screen of the proposed office center from the neighborhood to the east. The area east of the office parking area and the southeastern edge of the drainage area shall be filled in with cottonwood trees to match the remaining edges of the site.
 - d. The Coors Corridor Plan requires that one tree shall be planted every 10 parking spaces and distributed such that at least one tree is planted per every 15 linear parking space (CCP, Policy 5, B. 2., p. 94). The landscape plan shows stretches of parking areas with no trees. This shall be corrected.
4. Building C shall be labeled as such on the elevation sheet.
5. All the comments from Public Works and other entities shall be complied with including the following:
- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
 - c. Traffic Impact Study is required and has been submitted.
 - d. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site.
 - e. Provide cross access agreement between tracts.
 - f. Site shall comply and be designed per DPM Standards.
 - g. The intersection of Seven Bar Loop and Coors to be constructed per the TIS in its entirety.
 - h. The main drive aisle to be constructed in its entirety (full width).
 - i. Dedication of an additional 6 feet of right-of-way along Coors Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
 - j. Provision for bicycle lanes along Coors Boulevard adjacent to the subject property, as designated on Long Range Bikeways System.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JANUARY 30, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.


OFFICIAL NOTICE OF DECISION
PROJECT #1002792
JANUARY 15, 2004
PAGE 7 OF 7

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


For Victor J. Chavez
Planning Director

VJC/DS/ac

cc: George Rainhart, 2325 San Pedro NE, Albuquerque, NM 87110
Sharon Decatur, 100039 Bosque Circle NW, Albuquerque, NM 87114

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION Supplemental form S

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN P

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE D

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... A

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Trust of Albert & Mary Black (John Black) PHONE: _____

ADDRESS: 3613 NM St. Rd. 528 NW Suite 710 FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87114 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

AGENT (if any): George Reinhart ARCH & ASSOC CONTACT STEPHEN DUNBAR PHONE: 884-9126 ext 106

ADDRESS: 2325 SAN PEDRO NE Suite 2B FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____

DESCRIPTION OF REQUEST: DRB Appeal of EPC - 02034/02035/02036/02037

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS 4A & 14B Block: _____ Unit: _____

Subdiv. / Addn. BLACK RANCH

Current Zoning: SU-1(C) REST w/ full service liquor & sulfur Proposed zoning: _____

Zone Atlas page(s): B-14 No. of existing lots: 1 No. of proposed lots: 4

Total area of site (acres): 10AC Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits. Debbie Foster Within 1000FT of a landfill? _____

UPC No. 101406519031820301 EPC Planner MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: COORS BLVD

Between: 7th Ave loop and ALAMEDA BLVD NW

CASE HISTORY: 04 DRB 00184 DRB 03-01945/01946 03/DRB 02034 03 DRB 01780

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z, V, S, etc.): 03 EPC 02037

03 EPC - 0085/01086 AA-09AAC0222 03 EPC 02036 03 EPC 02034 03 EPC 02035

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Stephen A Dunbar DATE 6/1/04

(Print) STEPHEN A DUNBAR _____ Applicant Agent

FOR OFFICIAL USE ONLY Form revised 9/01, 3/03, 7/03, 10/03, 3/04, 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>04 DRB - 00896</u>	<u>SPS</u>	<u>P3</u>	\$ <u>0</u>
<input type="checkbox"/> All fees have been collected	<u>04 DRB - 00897</u>	<u>SBP</u>	<u>P3</u>	\$ <u>0</u>
<input type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>6-16-04</u>	_____	_____	\$ <u>20.00</u>
Planner signature / date <u>[Signature] 6-9-04</u>		Project # <u>1002792</u>		

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- NA Infrastructure List, if relevant to the site plan
- 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- NA Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- NA Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- NA 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
- NA Blue-line copy of Site Plan with Fire Marshal's stamp **DONE w/ MASTER utility**
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
- Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

STEPHEN A DUNBAR Applicant name (print)
Stephen A Dunbar 6/9/04 Applicant signature / date

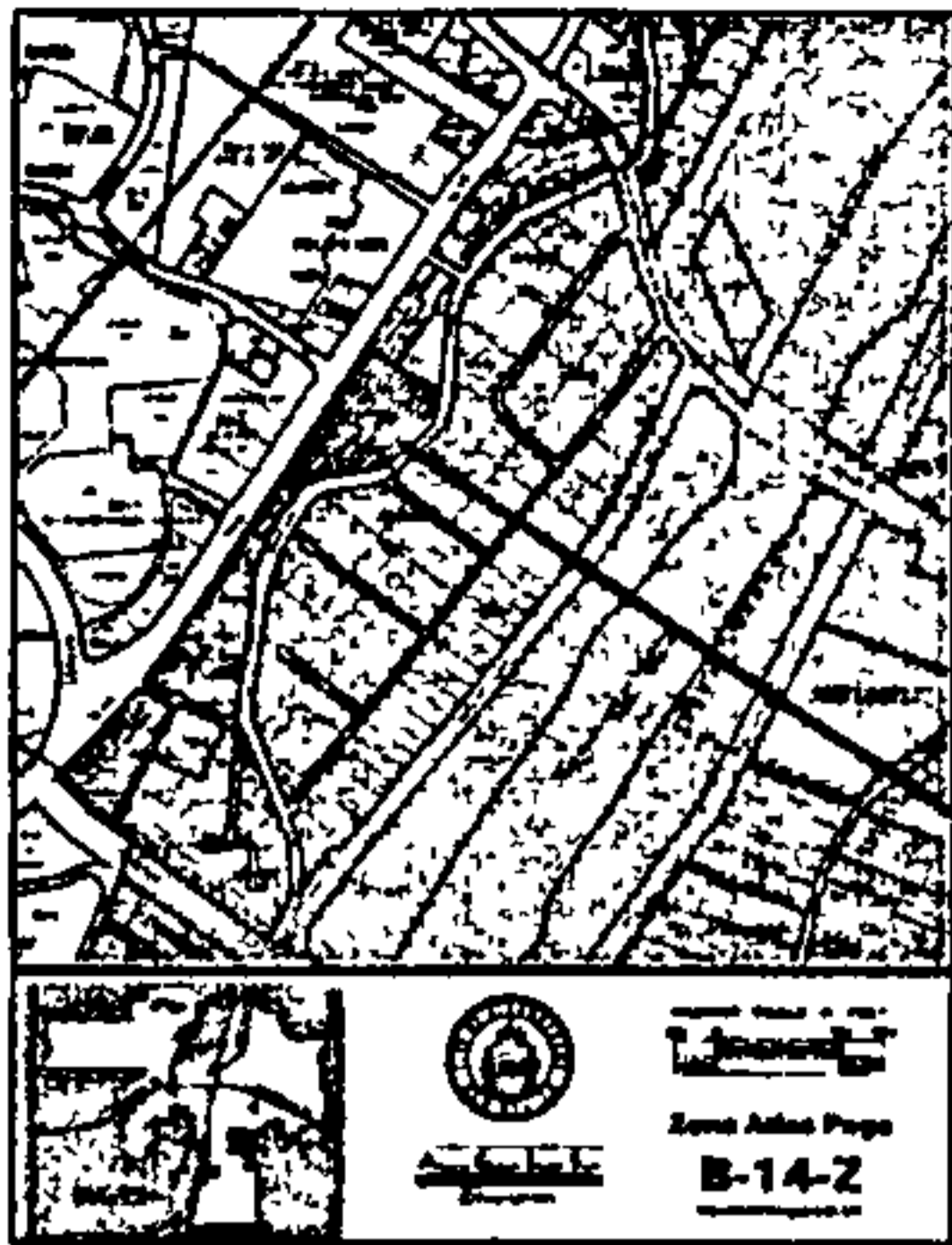


Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 04DRB-00896
 04DRB-00897

Richard G. 6-9-04 Planner signature / date
Project # 1002792



1 VICINITY MAP

CURVE TABLE

CURVE	LENGTH	RADIUS	PERCENT	CHORD	BEARING	DELTA
C1	122.82	85.88	71.30	114.43	S01°54'32"W	73°18'31"
C2	184.88	250.00	46.89	180.88	N28°04'58"E	57°22'03"
C3	83.36	184.00	42.59	82.48	N47°24'58"E	28°26'52"
C4	138.87	250.00	52.28	136.31	N28°04'58"E	38°28'03"
C5	25.89	250.00	12.88	25.89	N47°17'57"E	7°54'00"
C6	38.40	100.00	28.80	38.40	N41°11'00"W	30°48'24"
C7	38.40	100.00	28.80	38.40	N11°08'34"W	30°22'27"
C8	38.87	100.00	27.01	38.32	N18°30'14"E	28°01'08"
C9	38.87	100.00	14.43	38.87	N42°36'08"E	33°18'21"
C10	58.18	100.00	28.85	57.37	S42°37'08"E	33°20'27"
C11	10.18	30.00	5.13	10.11	N47°36'18"W	17°24'08"
C12	28.67	150.00	13.37	28.63	N32°47'36"E	10°11'13"
C13	22.20	15.00	13.89	20.21	S70°09'40"E	84°48'20"
C14	75.07	150.00	36.34	74.28	N47°17'45"E	28°40'28"
C15	91.88	180.00	46.89	90.20	N47°33'08"E	28°11'12"
C16	18.41	15.00	11.33	18.08	S37°25'06"W	74°08'05"
C17	103.82	150.00	53.87	101.57	N17°08'23"E	38°34'48"
C18	141.37	90.00	80.00	122.28	N17°24'12"W	90°00'00"

LINE TABLE

LINE	LENGTH	BEARING
L1	10.88	S07°53'21"W
L2	53.58	S30°15'58"W
L3	89.59	S72°32'39"W
L4	37.70	N78°38'48"W
L5	78.72	N27°52'55"W
L6	14.01	S08°28'18"W
L7	54.13	S28°32'32"E
L8	18.18	N81°36'28"E
L9	66.92	S08°13'21"E
L10	37.38	S32°55'48"E
L11	83.36	S32°55'48"E
L12	51.00	N57°14'40"E
L13	22.12	S32°55'48"E
L14	80.00	N32°55'48"E
L15	52.00	N57°04'12"E
L16	62.74	S32°55'48"E
L17	11.00	N32°55'48"E
L18	37.00	S57°04'12"E
L19	24.13	N32°55'48"E
L20	7.00	N87°40'58"E
L21	40.11	N57°02'27"E
L22	24.87	N57°02'27"E
L23	28.38	N85°35'21"E
L24	48.54	N57°04'12"E
L25	23.88	S32°55'48"E
L26	15.88	N57°04'12"E
L27	53.88	N57°12'22"E
L28	30.80	S67°30'36"E
L29	37.14	S67°28'37"W
L30	62.24	S32°55'48"E
L31	86.83	S32°55'48"E
L32	17.00	S57°04'12"E
L33	107.33	S32°55'48"E
L34	82.43	S67°07'00"E
L35	48.47	S28°24'32"E
L36	20.58	S28°24'32"E
L37	181.30	S07°04'12"E
L38	24.70	S61°58'28"E
L39	33.08	S86°38'24"E
L40	186.73	S48°01'55"E
L41	106.53	N48°20'00"E
L42	38.00	N48°20'00"E
L43	18.88	S86°44'18"E

NOTE

SAID LOTS 1, 2, 3, 4, 5 AND 6 ARE SUBJECT TO THAT CERTAIN "RECIPROCAL EASEMENT AGREEMENT", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON THE 21ST DAY OF OCTOBER, 1998, IN BOOK 96-28, PAGES 2764-2777, AS DOCUMENT NO. 96115257.

SAID LOTS 1, 2, 3, 4, 5 AND 6 ARE SUBJECT TO THAT CERTAIN "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 19, 2004, IN BOOK A73, PAGE 711, AS DOCUMENT NO. 2004020771.

PHASE I ARCH DESIGN CRITERIA

THIS SITE PROPOSES DEVELOPMENT OF SEVERAL BUILDINGS CLUSTERED AROUND A PLAZA AREA CONTAINING AN EXISTING COTTONWOOD TREE. THIS EXISTING ELEMENT WILL BE RETAINED TO SERVE AS THE FOCAL POINT OF THE CLUSTERED BUILDING DEVELOPMENT OF LOTS 2 AND 2-B. THESE STRUCTURES MUST BE ARCHITECTURALLY COMPATIBLE WITH THE PROPOSED STRUCTURES OF PHASE I, WITH A MAXIMUM OF TWO STORIES (UP TO 42' IN HEIGHT) PERMITTED. WALL SURFACES ARE TO BE PREDOMINANTLY OF STUCCO COLORED WITH LIGHT SHADE DESERT HUES. ARCHITECTURAL DETAILS TO FOLLOW SHOPS BUILDINGS ELEVATIONS. FLAT ROOF AREAS CONTAINING MECHANICAL UNITS ARE TO BE SCREENED WITH STUCCO PARAPETS AND ACCENT ELEMENTS ROOFED WITH GALV. STANDING SEAM ROOFING MATERIAL. PHASE II BUILDINGS WILL BE BUFFERED FROM ADJACENT RESIDENTIAL AREAS BY A LARGE DRAINAGE POND AT THE CORRALES MAIN CANAL.

CURB RADIUS DESIGNATION

- ① = 5' RADIUS
- ② = 10' RADIUS
- ③ = 15' RADIUS
- ④ = 20' RADIUS
- ⑤ = 25' RADIUS
- ⑥ = 30' RADIUS

- ① TEXTURED CONC. PEDESTRIAN CROSSWALK
- ② LIGHT POLE LOCATION: 6'/1.1' FOR POLE DETAIL
- ③ 1' WIDE MEANDERING CONC. PEDESTRIAN WAY

GENERAL NOTES

- CORNER LEGEND**
- ⊙ SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
 - FOUND PROPERTY CORNER AS INDICATED
 - SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
 - ▲ SET 4" ALUMINUM CENTERLINE MONUMENT

PROJECT NUMBER:

APPLICATOR NUMBER:

This plan is submitted with the applicable Development Plan approved by the Environmental Planning Commission (EPC) of the City of Albuquerque, New Mexico, and that the design and conditions in this plan are in accordance with the provisions of the City of Albuquerque, New Mexico, and that the design and conditions in this plan are in accordance with the provisions of the City of Albuquerque, New Mexico.

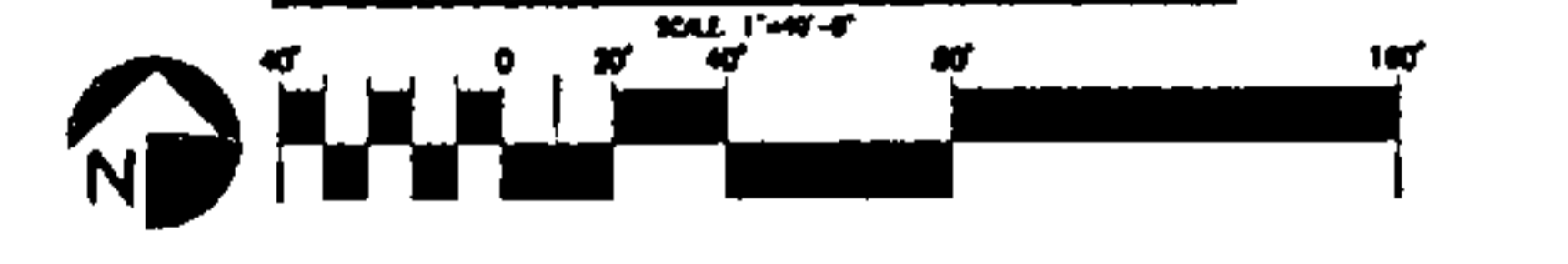
SITE DEVELOPMENT PLAN

Public Engineer, Transportation Division	DATE
Utilities Department	DATE
Police and Navigation Department	DATE
City Engineer, Engineering Division / NMP/CA	DATE
Environmental Health Department (conditional)	DATE
Solid Waste Management	DATE
Fire Department, Planning Department	DATE
Environmental Health, if necessary	DATE

SITE DATA TABLE

LEGAL DESCRIPTION	LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING, PHASE II WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO	UNIT A	UNIT B	UNIT C	UNIT D
TOTAL ACREAGE	1.4586 AC	1.5808 AC	1.5808 AC	1.5808 AC	1.5483 AC
EXISTING ZONING	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LOBBY AND SU-1 FOR C-1				
PROPOSED ZONING	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LOBBY AND SU-1 FOR C-1				
BUILDING SIZE	4,548 SF	4,070 SF	7,700 SF (2 STORY)	5,025 SF	17,780 SF (2 STORY)
FIRE	107TMS	107TMS	107TMS	107TMS	107TMS
PROPOSED USE	RESTAURANT	OFFICE	OFFICE	OFFICE	RETAIL/OFFICE
TOTAL PARKING PROVIDED	83 SPACES	127 SPACES (10 SMALL CARS)	127 SPACES (10 SMALL CARS)	127 SPACES (10 SMALL CARS)	87 SPACES
TOTAL PARKING REQ (INCLUDING EMPLOYEES)	36 SPACES	20 SPACES	36 SPACES	36 SPACES	20 SPACES
HC PROVIDED	4 H/C (INCLUDING 2 VAN ACCESSIBLE)	8 H/C (INCLUDING 4 VAN ACCESSIBLE)	8 H/C (INCLUDING 4 VAN ACCESSIBLE)	8 H/C (INCLUDING 4 VAN ACCESSIBLE)	8 H/C (INCLUDING 4 VAN ACCESSIBLE)
HC REQUIRED	4 H/C SPACES	8 H/C SPACES	8 H/C SPACES	8 H/C SPACES	8 H/C SPACES
Bike SPACES PROVIDED	5 BIKE SPACES	10 BIKE SPACES	10 BIKE SPACES	10 BIKE SPACES	5 BIKE SPACES
Bike SPACES REQUIRED	5 BIKE SPACES	6 BIKE SPACES	6 BIKE SPACES	6 BIKE SPACES	5 BIKE SPACES
SHOWER SPACES PROVIDED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED
SHOWER SPACES REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED
MAX BUILDING HT	42'				

SITEPLAN FOR BUILDING PERMIT



LOT 1 COTTONWOOD CROSSING
Filed 7-9-98, Vol. 98C, Folio 198

LOT 5 COTTONWOOD CROSSING PHASE II
Filed- FEBRUARY 19, 2004 IN PLAT BOOK 2004C, PAGE 34

NOT A PART APPROVED UNDER 03EPC 01085/01086

LOT 3

NOT A PART APPROVED UNDER 03EPC 01085/01086

LOT 2-B 15483 Ac.

LOT 2-C 0.978 Ac.

LOT 2 16908 Ac.

LOT 1
Filed- FEBRUARY 19, 2004
IN PLAT BOOK 2004C, PAGE 34
APPROVED UNDER 03EPC 01085/01086

REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-8710 FAX (505) 837-9877

PROJECT TITLE: TRACT 14 COTTONWOOD CROSSING COORS BLVD. N.W. ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER: 0309

DRAWN BY: SD

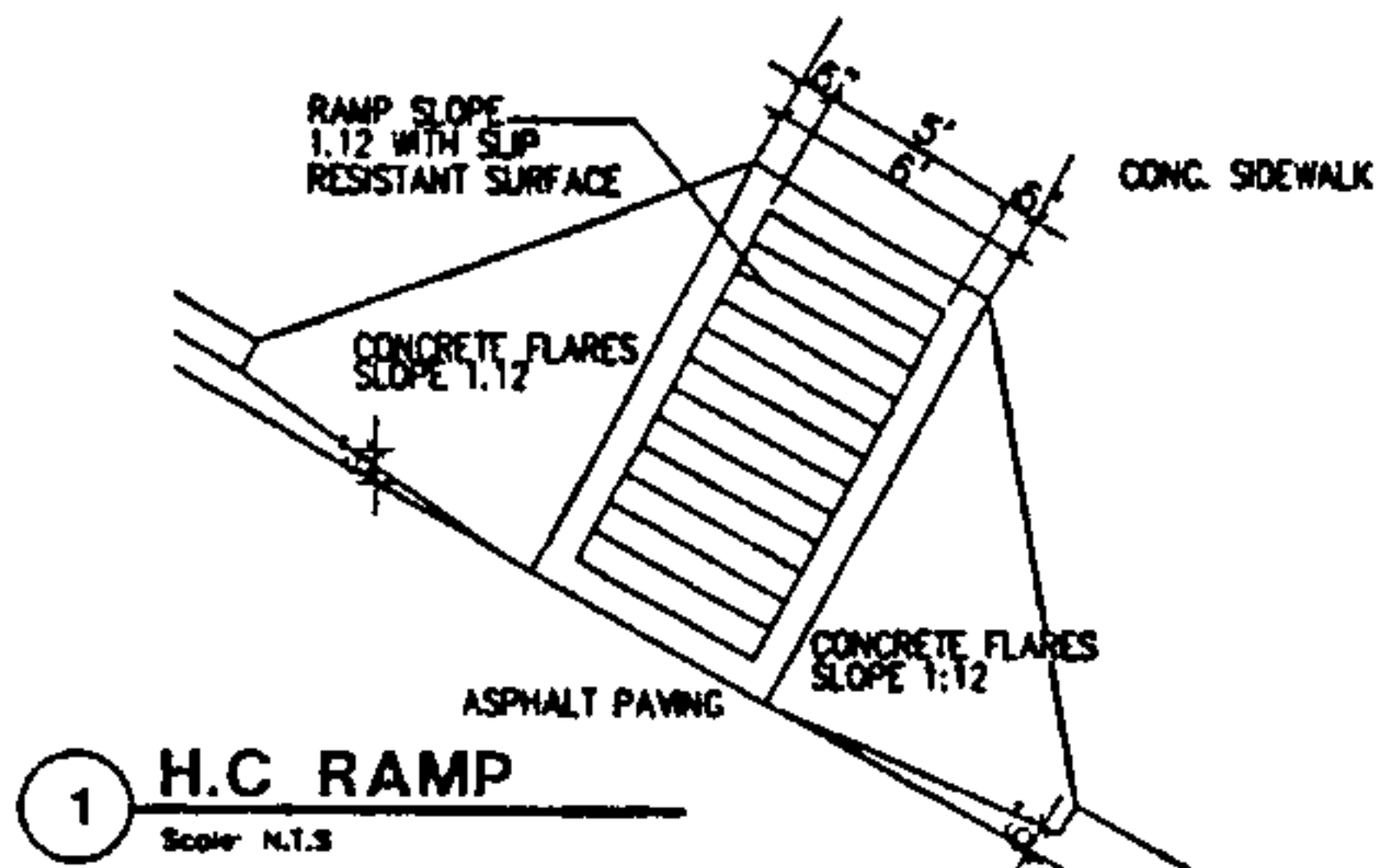
CHECKED BY: STEPHEN DUMGAR

SHEET TITLE: SITEPLAN FOR BUILDING PERMIT

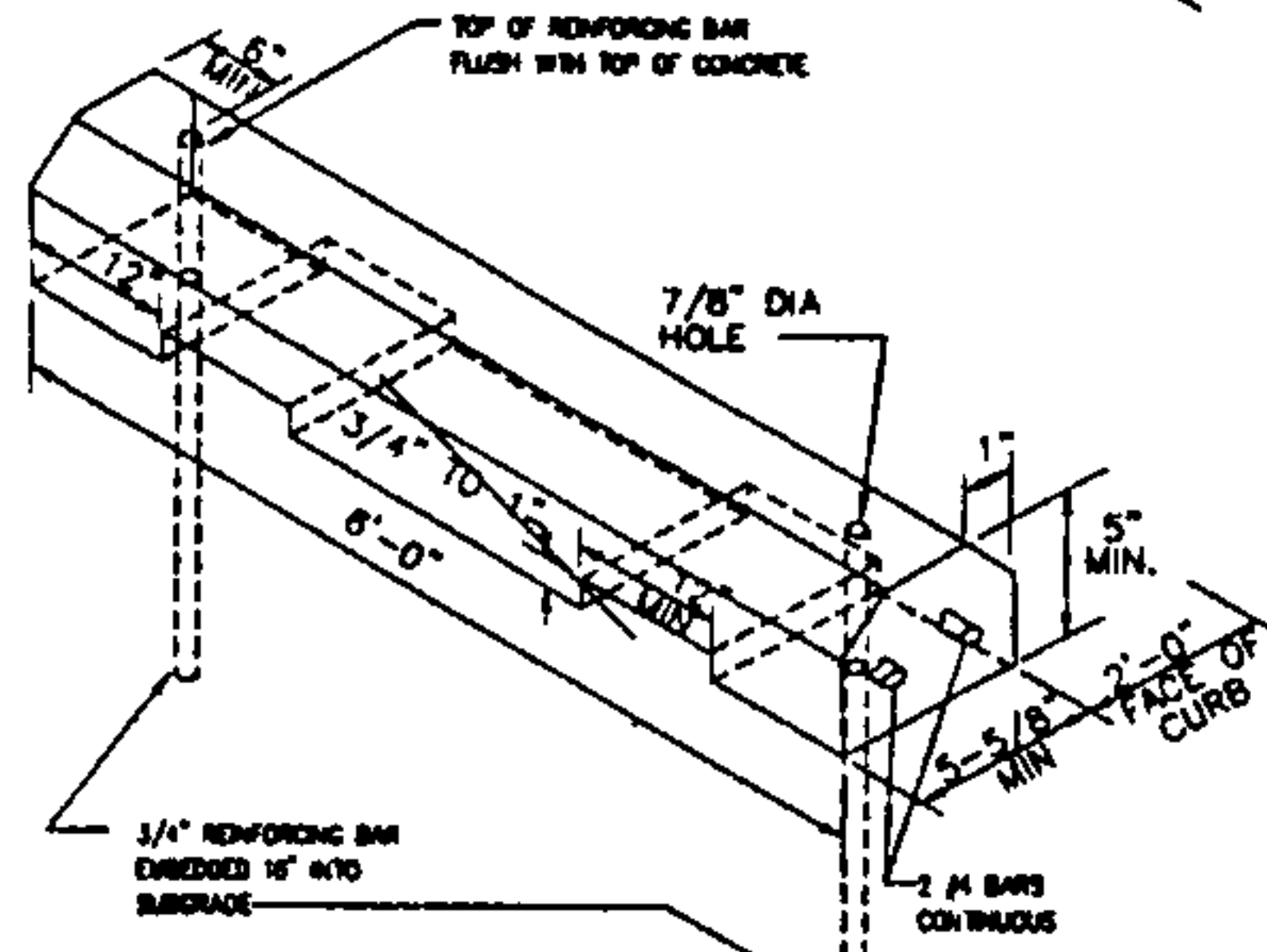
DATE: 6/8/04

SCALE: 1"=40'

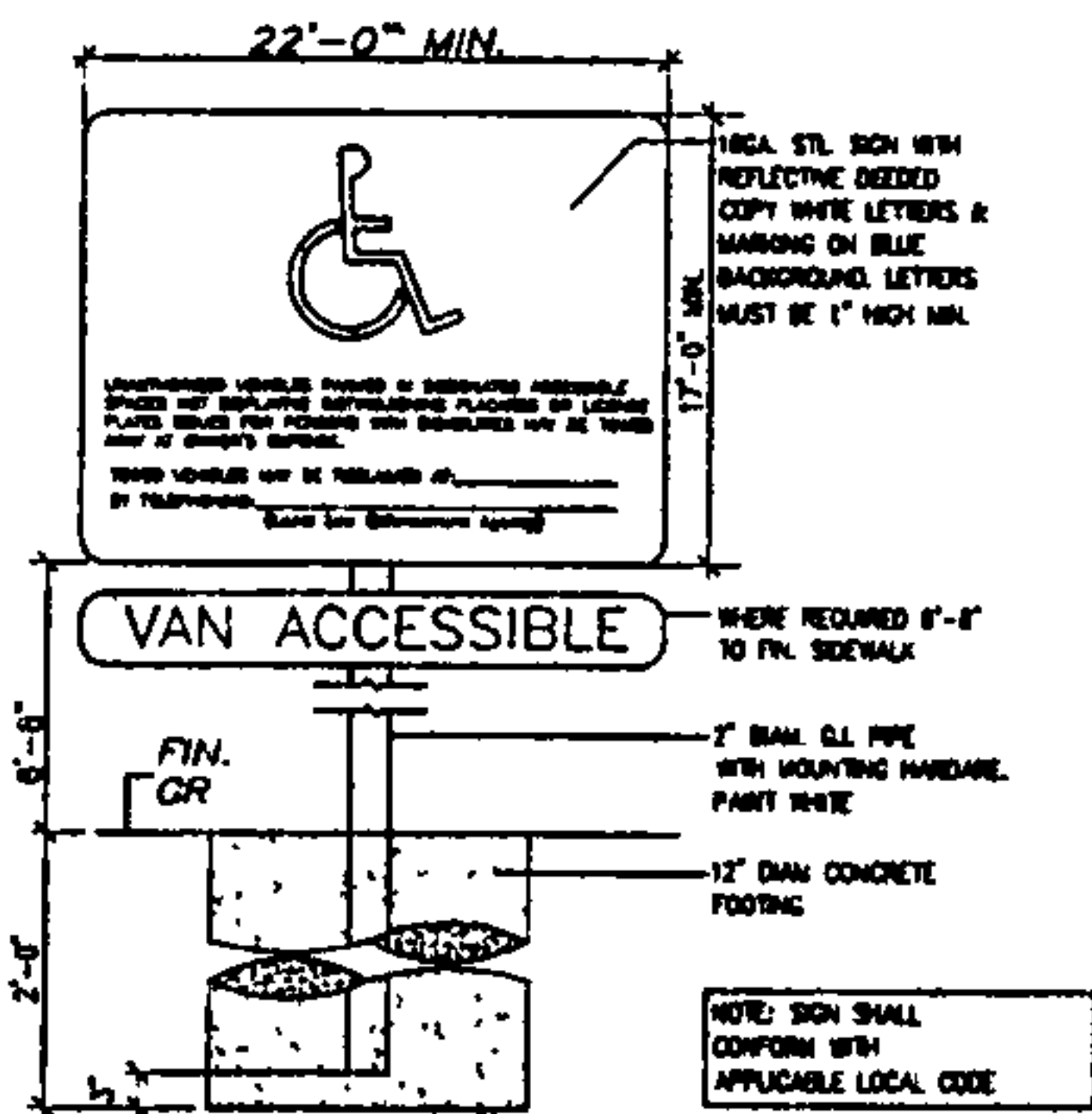
Sheet: A1



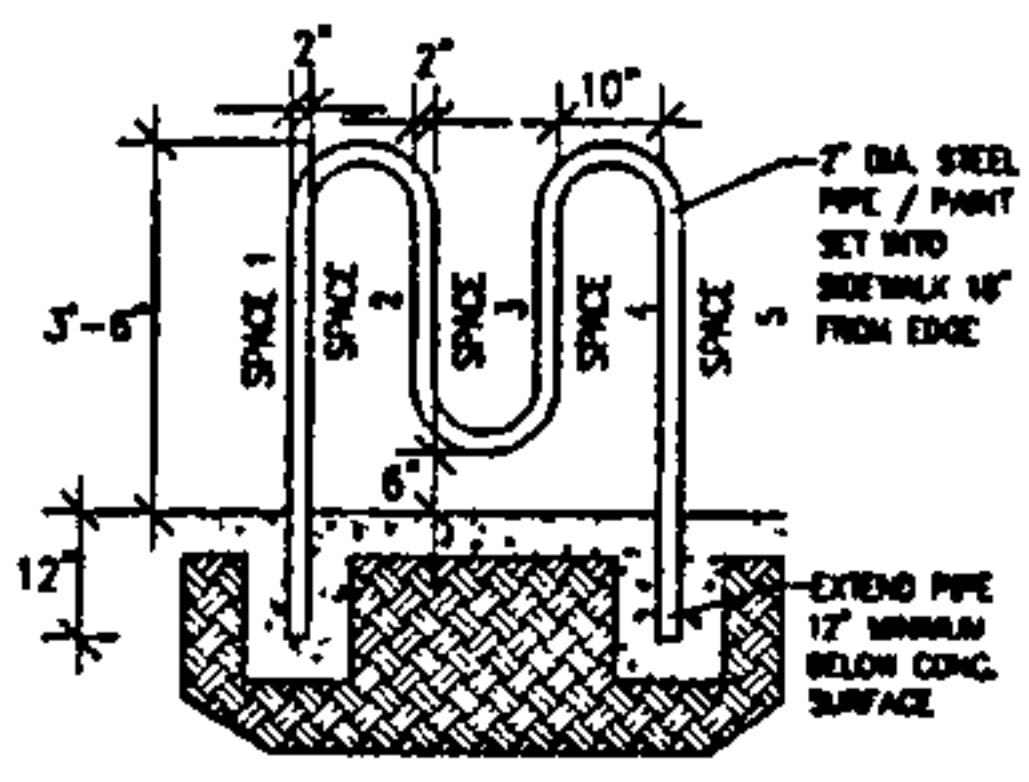
1 H.C. RAMP
Scale: N.T.S.



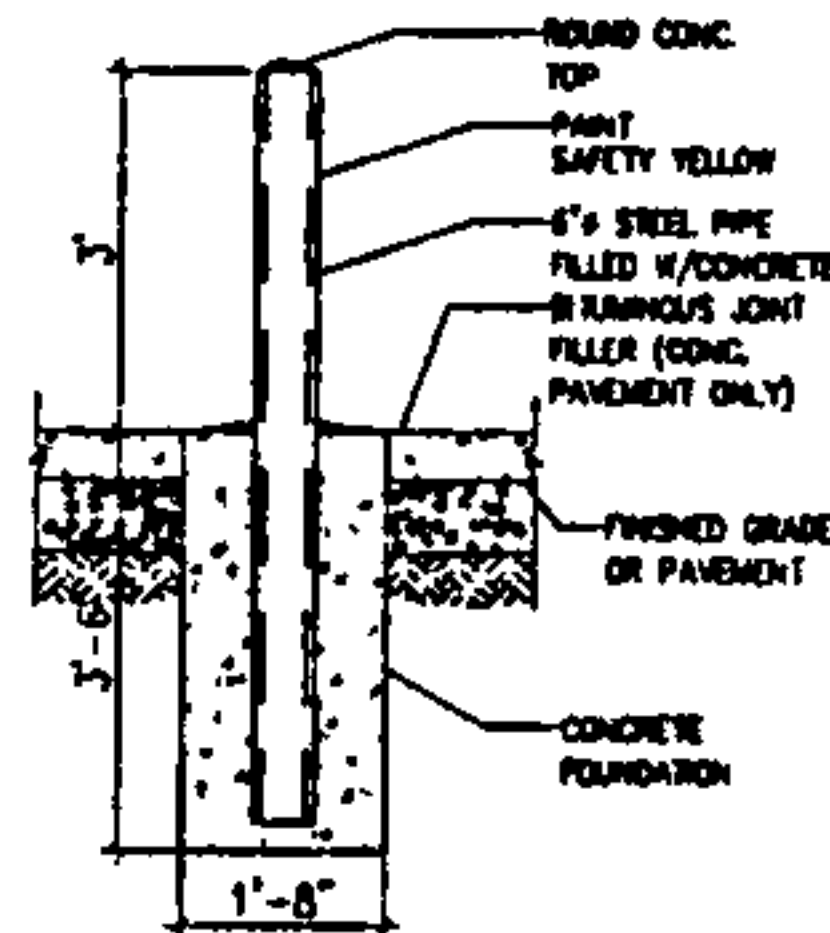
2 BOLLARD DETAIL
Scale: 1/2"=1'-0"



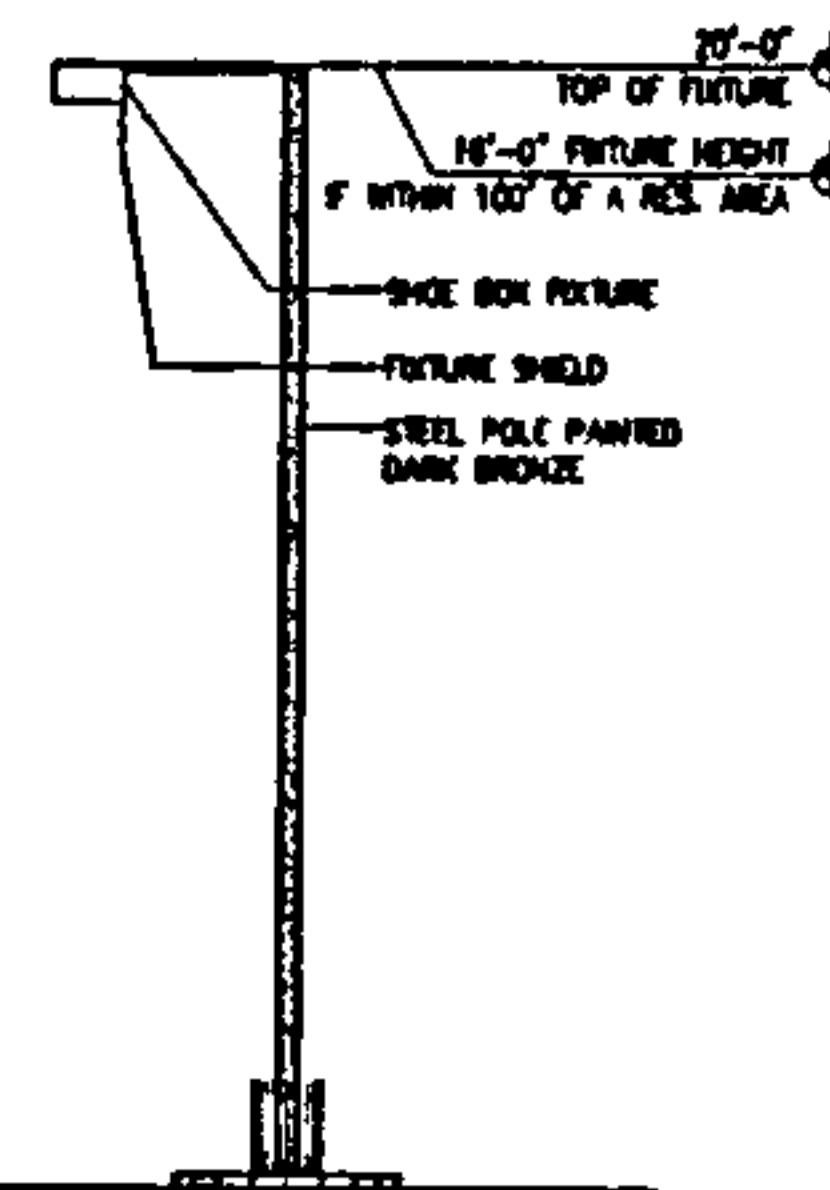
3 H.C. SIGN DETAIL
Scale: N.T.S.



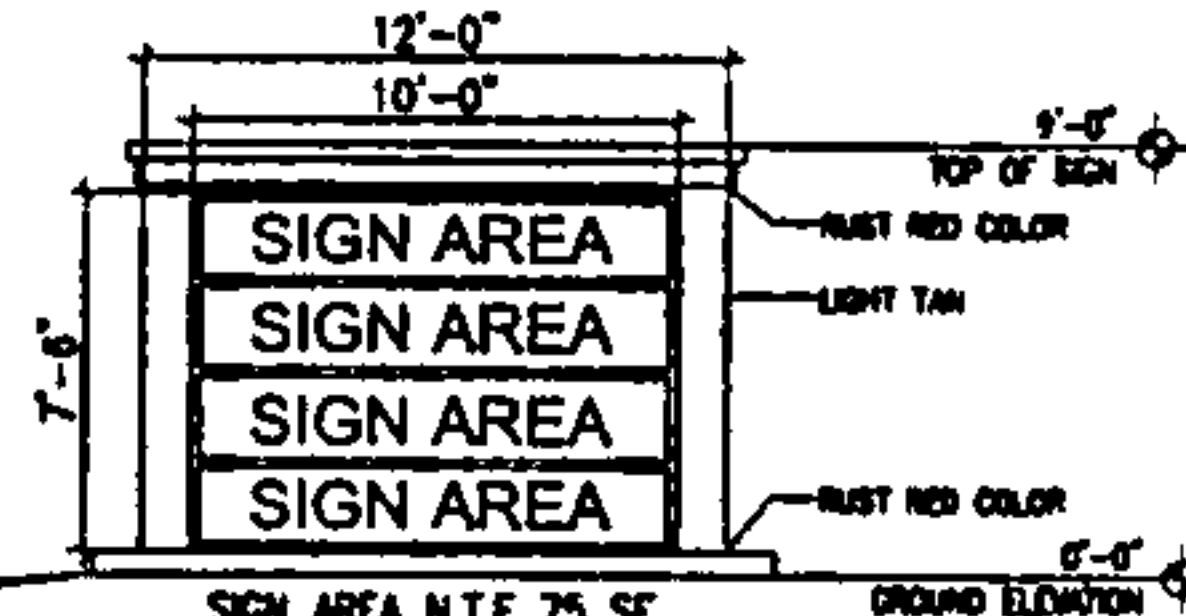
4 BIKE RACK
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5 BOLLARD DETAIL
Scale: 1/2"=1'-0"



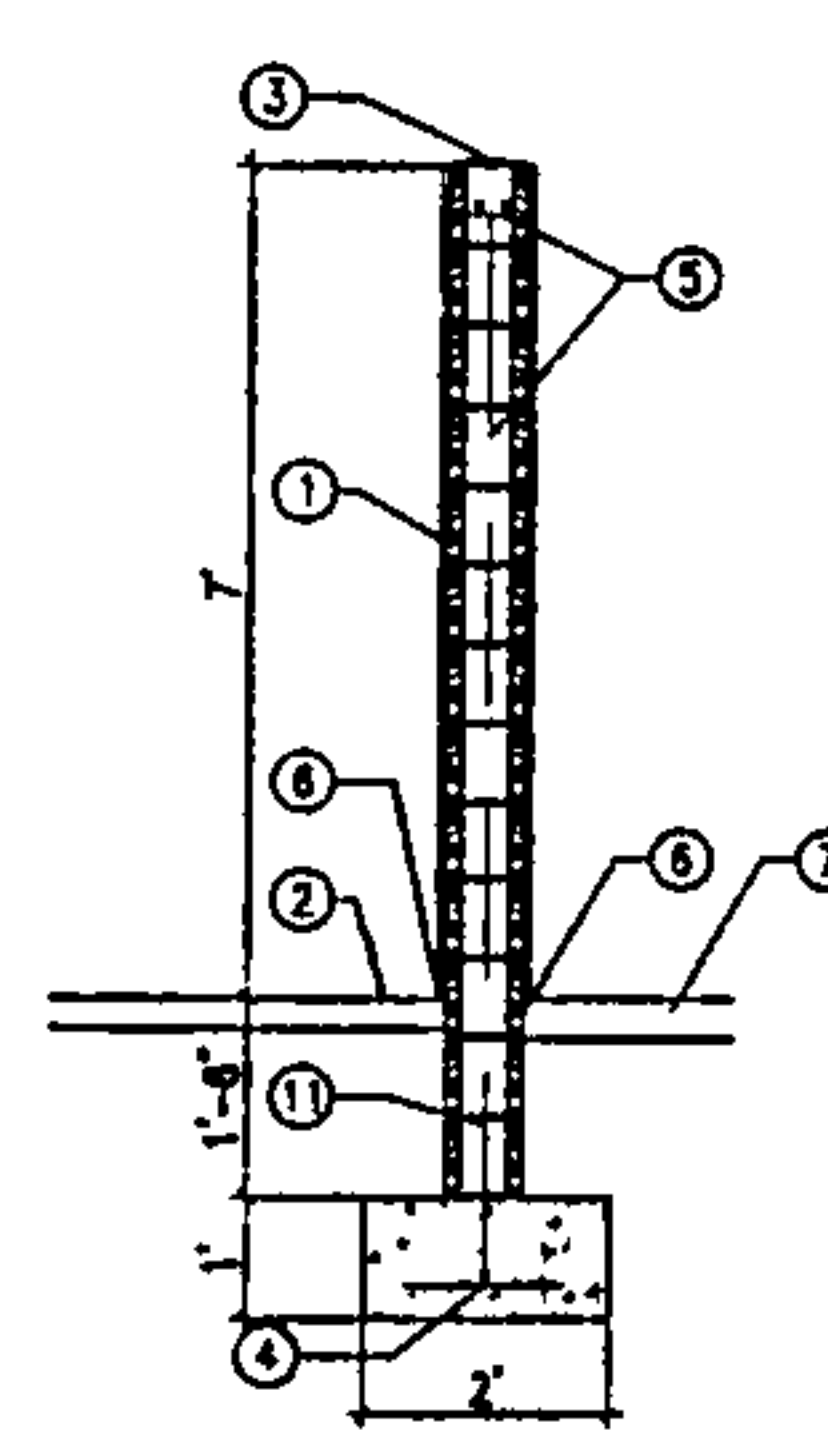
6 LIGHT POLE
Scale: N.T.S.



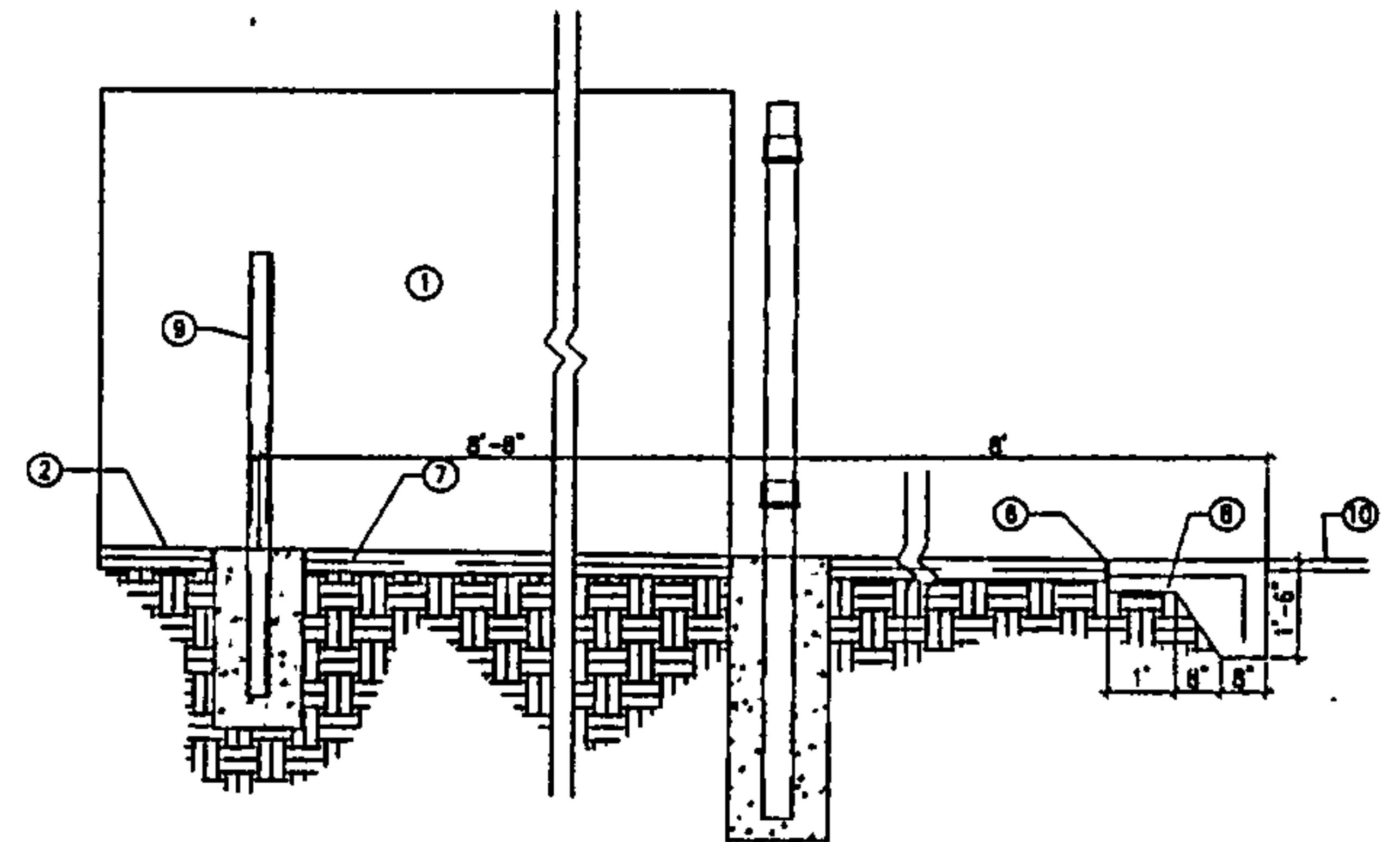
7 MONUMENT SIGN
Scale: N.T.S.

- KEYED NOTES**
- 8" CMU WALL WITH TEXTURED PAINT. PAPER COLOR TO BE BASKET BEIGE SW 61437
 - FINISH GRADE.
 - SLOPE STUCCO CAP.
 - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DURA-WALL @ 16" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL
 - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M
 - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ TURNDOWN EDGE.
 - 4" CONCRETE FILLED PIPE IN 18" DIA X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING
 - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

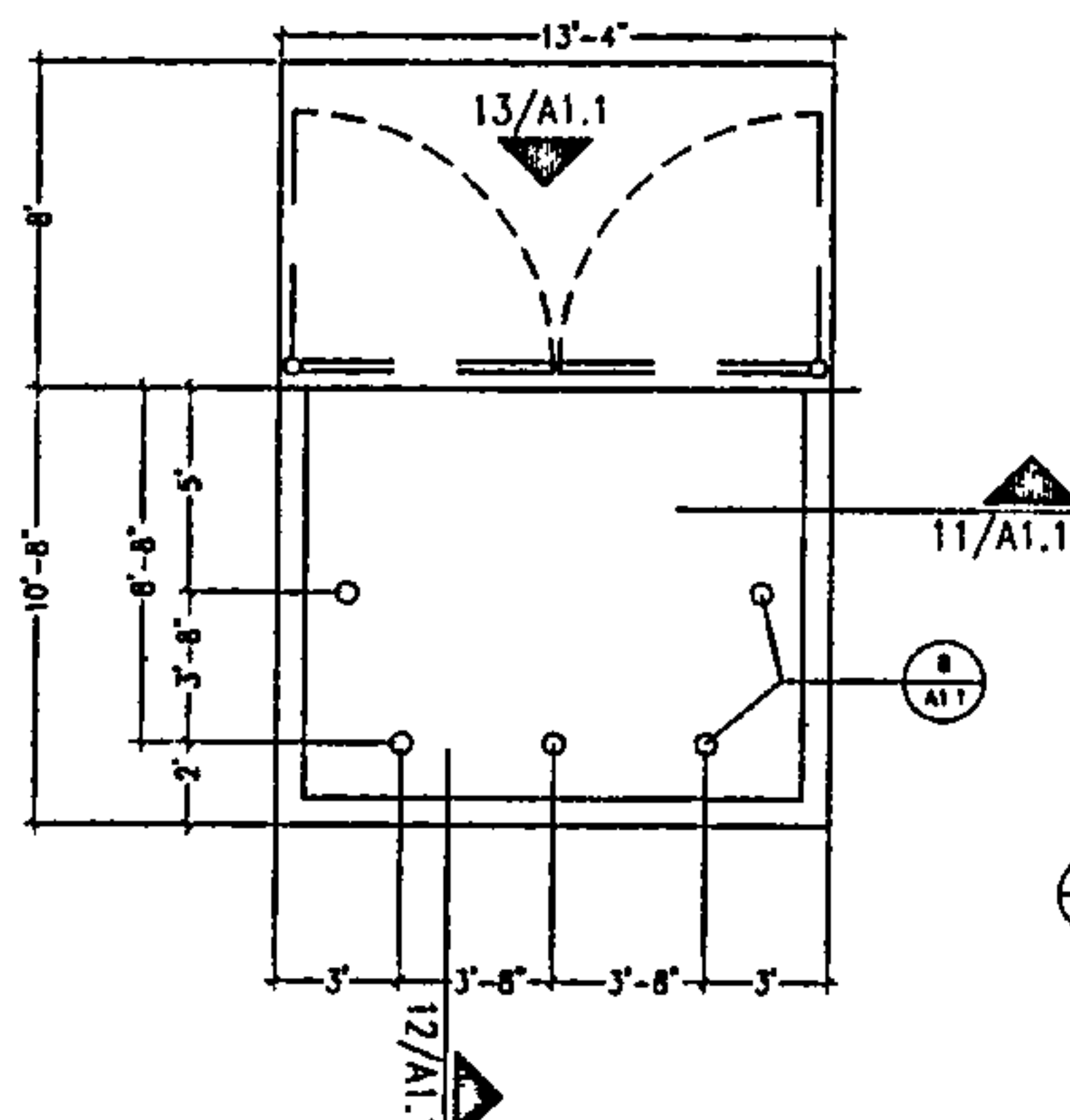
8 ENCLOSURE NOTES
Scale: N.T.S.



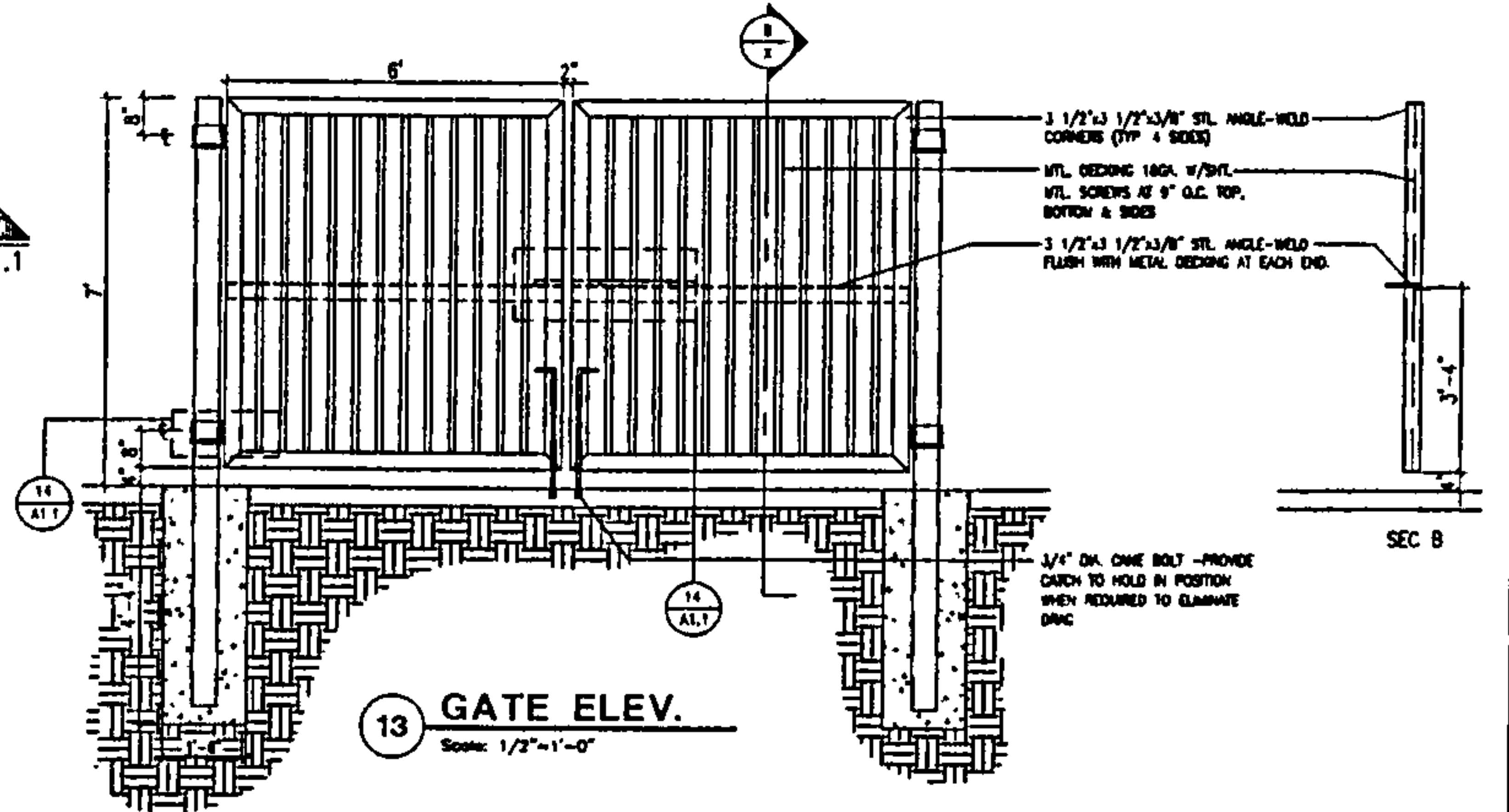
11 DUMPSTER SEC
Scale: 1/2"=1'-0"



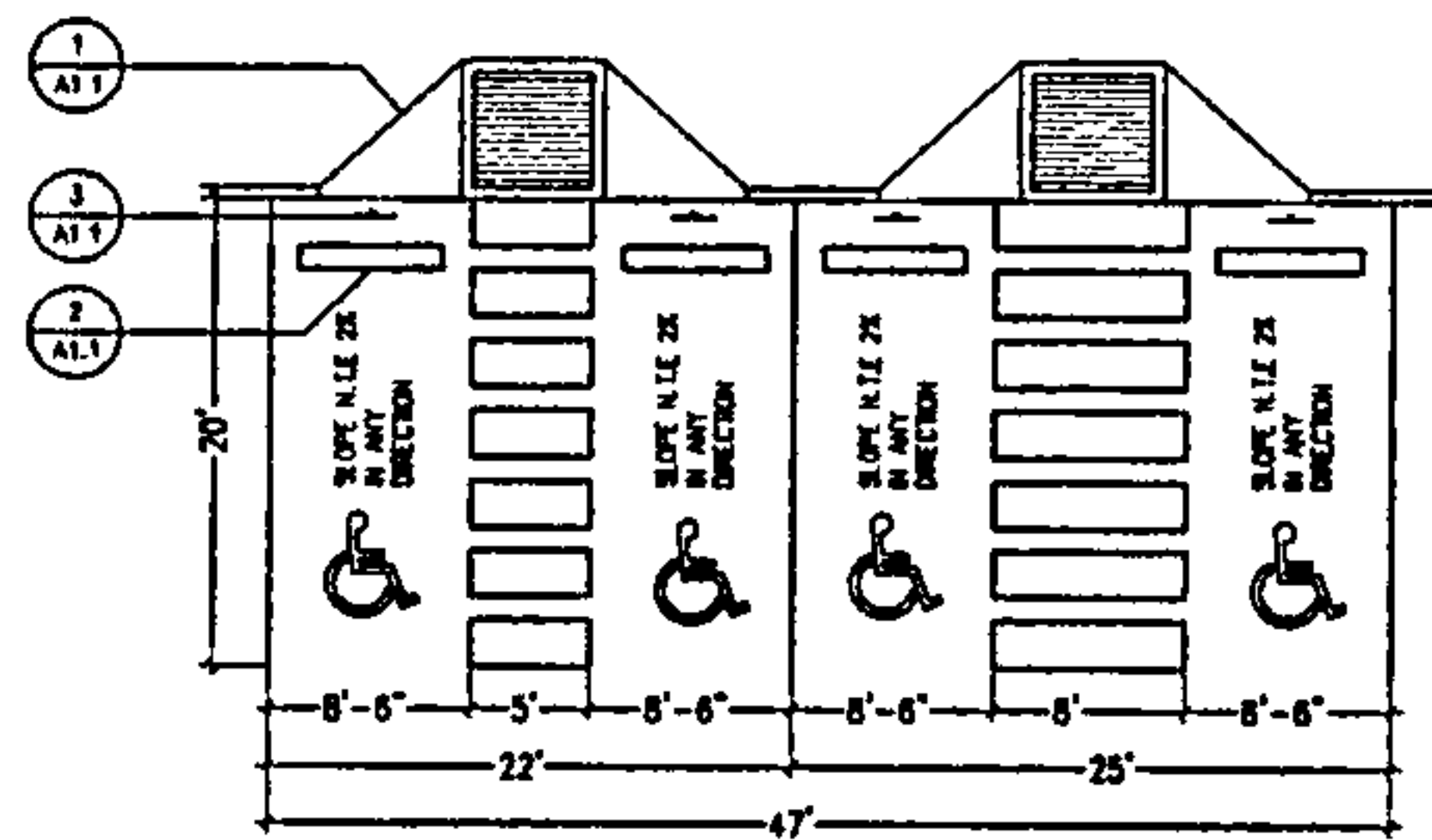
12 DUMPSTER SEC
Scale: 1/2"=1'-0"



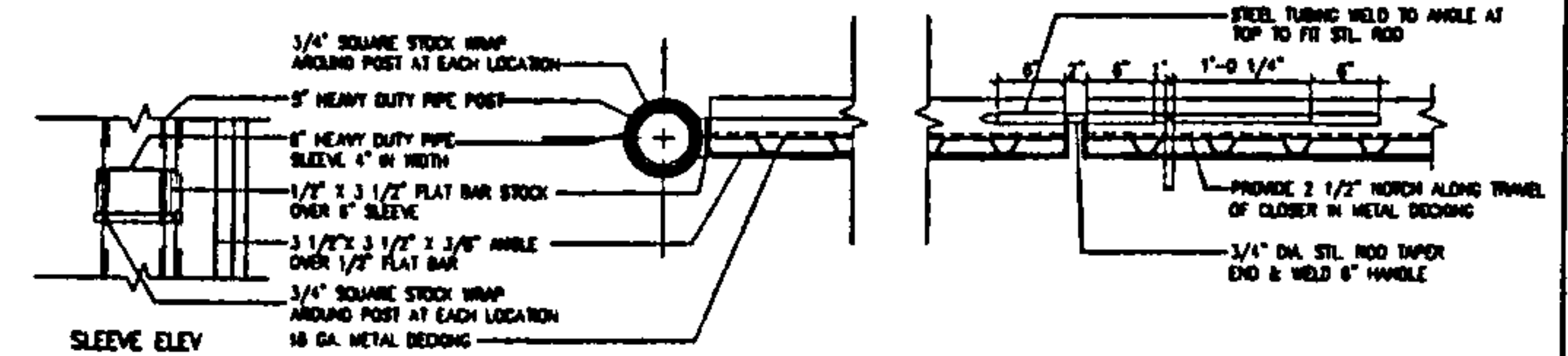
9 DUMPSTER PLAN
Scale: 1/2"=1'-0"



13 GATE ELEV.
Scale: 1/2"=1'-0"



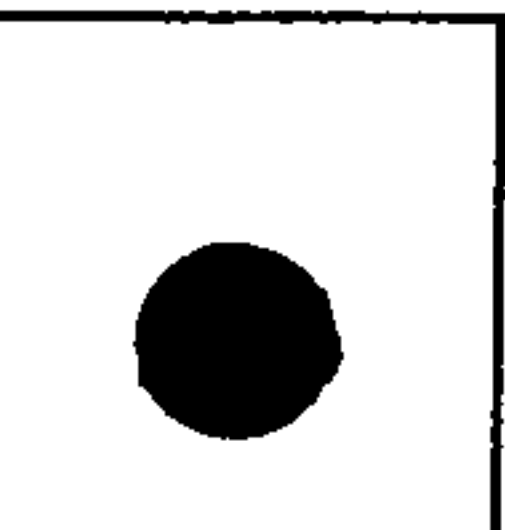
10 H.C. TYP. PARKING DET.
Scale: 1"=1'-0"



14 GATE POST/SLIDE BOLT DET.
Scale: 1"=1'-0"

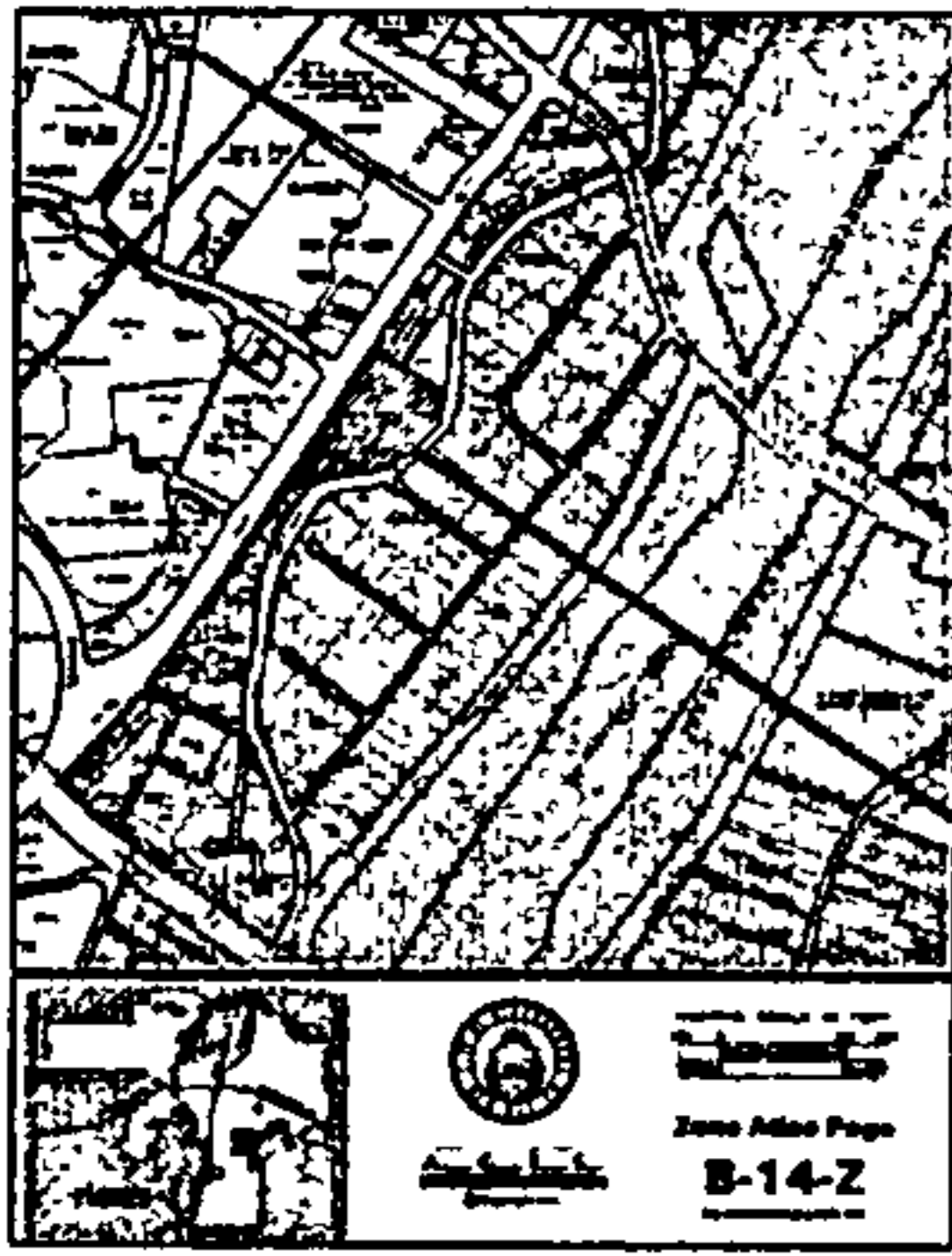
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-127



PROJECT TITLE	COTTONWOOD CROSSING	DRAWN BY	SD
COORS BLVD AND SEVEN BAR LOOP	ALBUQUERQUE, NEW MEXICO	JOB NO.	0309
PROJECT MANAGER	STEPHEN DUMBAR	SHEET TITLE	SITE DETAILS

DATE	6/6/04	SHEET	A1.1
SCALE	VARES		



SEVEN BAR LOOP ROAD

COORS ROAD N.W. (NEW MEXICO STATE HIGHWAY NO. 448)

VICINITY MAP

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	122.82	95.88	21.30	114.53	S01°34'32"W	7°18'31"
C2	184.88	250.00	88.89	180.88	N02°04'58"E	4°22'03"
C3	158.87	185.00	42.59	82.48	N47°25'58"E	26°58'52"
C4	258.87	250.00	87.28	158.31	N26°08'58"E	36°28'03"
C5	258.87	250.00	12.88	25.88	N47°17'37"E	3°58'00"
C6	258.87	105.00	28.80	58.21	N11°51'00"E	30°38'25"
C7	58.87	105.00	28.80	58.21	N11°58'34"E	30°22'27"
C8	52.87	105.00	27.01	52.32	N15°30'14"E	28°11'08"
C9	28.87	50.00	14.84	28.83	N42°35'58"E	13°20'22"
C10	28.87	100.00	28.84	57.37	N42°35'58"E	13°20'22"
C11	10.18	30.00	5.13	10.11	N47°35'18"E	10°11'31"
C12	28.87	150.00	13.37	28.83	N32°42'36"E	10°11'31"
C13	22.20	15.00	13.88	20.23	S70°05'40"E	84°48'20"
C14	75.07	150.00	36.34	74.29	N47°17'45"E	28°40'28"
C15	81.88	180.00	46.88	80.20	N47°13'09"E	28°11'12"
C16	18.41	15.00	11.33	18.08	S30°25'05"E	74°08'05"
C17	103.82	150.00	53.82	101.57	N17°08'23"E	38°34'48"
C18	141.37	80.00	80.00	127.28	N12°24'12"E	80°00'00"

LINE TABLE

LINE	LENGTH	BEARING
L1	10.48	S07°31'21"W
L2	53.59	S50°15'56"W
L3	89.59	S72°32'39"W
L4	32.70	N78°36'48"W
L5	28.72	N27°52'53"W
L6	15.01	N88°28'58"W
L7	15.01	S26°23'32"E
L8	15.01	S41°13'21"E
L9	88.82	S41°13'21"E
L10	37.38	S32°55'48"E
L11	83.38	S32°55'48"E
L12	41.00	N57°14'40"E
L13	22.12	S32°55'48"E
L14	80.00	N32°55'48"E
L15	32.00	N57°04'12"E
L16	82.24	S32°55'48"E
L17	11.00	N32°55'48"E
L18	37.00	S07°04'12"E
L19	23.13	N32°55'48"E
L20	2.08	N87°30'58"E
L21	46.11	N57°02'27"E
L22	23.87	N57°02'27"E
L23	29.39	N87°55'21"E
L24	48.84	N57°04'12"E
L25	23.88	S07°04'12"E
L26	15.88	N57°04'12"E
L27	43.88	N57°17'22"E
L28	30.80	S87°30'58"W
L29	37.15	S87°28'37"W
L30	82.24	S32°55'48"E
L31	88.82	S32°55'48"E
L32	17.00	S87°12'22"E
L33	102.33	S32°55'48"E
L34	82.43	S82°07'08"E
L35	46.47	S78°23'32"E
L36	20.58	S78°23'32"E
L37	181.30	S47°04'12"E
L38	24.25	S81°38'26"E
L39	33.08	S87°38'23"E
L40	184.73	S87°01'59"E
L41	108.53	N48°20'02"E
L42	38.03	N48°20'02"E
L43	19.82	S88°41'18"E

NOTE

SAID LOTS 1, 2, 3, 4, 5 AND 6 ARE SUBJECT TO THAT CERTAIN "RECIPROCAL EASEMENT AGREEMENT", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON THE 21ST DAY OF OCTOBER, 1998, IN BOOK BCR 98-28, PAGES 2764-2777, AS DOCUMENT NO. 98115257

SAID LOTS 1, 2, 3, 4, 5 AND 6 ARE SUBJECT TO THAT CERTAIN "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 18, 2004, IN BOOK A73, PAGE 711, AS DOCUMENT NO. 2004020771.

PHASE I ARCH DESIGN CRITERIA

THIS SITE PROPOSES DEVELOPMENT OF SEVERAL BUILDINGS CLUSTERED AROUND A PLAZA CONTAINING AN EXISTING COTTONWOOD TREE. THIS EXISTING ELEMENT WILL BE RETAINED TO SERVE AS THE FOCAL POINT OF THE CLUSTERED BUILDING DEVELOPMENT OF LOTS 2 AND 2-B. THESE STRUCTURES MUST BE ARCHITECTURALLY COMPATIBLE WITH THE PROPOSED STRUCTURES OF PHASE I, WITH A MAXIMUM OF TWO STORIES (UP TO 42' IN HEIGHT) PERMITTED. WALL SURFACES ARE TO BE PREDOMINANTLY OF STUCCO COLORED WITH LIGHT SHADE DESERT HUES. ARCHITECTURAL DETAILS TO FOLLOW SHOPS BUILDINGS ELEVATIONS. FLAT ROOF AREAS CONTAINING MECHANICAL UNITS ARE TO BE SCREENED WITH STUCCO PARAPETS AND ACCENT ELEMENTS ROOFED WITH GALV. STANDING SEAM ROOFING MATERIAL. PHASE II BUILDINGS WILL BE BUFFERED FROM ADJACENT RESIDENTIAL AREAS BY A LARGE DRAINAGE POND AT THE CORRALES MAIN CANAL.

GENERAL NOTES

- CORNER LEGEND**
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
 - FOUND PROPERTY CORNER AS INDICATED
 - SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
 - SET 4" ALUMINUM CENTERLINE MONUMENT

PROJECT NUMBER: _____

APPLICATOR NUMBER: _____

The plan is submitted with the specific Site Development Plan approved by the Development Planning Commission (DPC) and all the findings and conditions in the DPC Order, including all of them have been complied with.

It is understood that the applicant () YES () NO

If you find a set of approved SDC plans with a work order is required for any construction which Public Works - City or for construction of public improvements.

SITE DEVELOPMENT PLAN

Title Engineer, Transportation Division	Date
Title Development	Date
Title and Navigation Department	Date
City Engineer, Engineering Division / AEP/C	Date
Environmental Health Department (if applicable)	Date
Solid Waste Management	Date
DSP Department, Planning Department	Date
Environmental Health, if necessary	Date

SITEPLAN FOR SUBDIVISION



SITE DATA TABLE

LEGAL DESCRIPTION	LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING, PHASE II WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO	FAST FOOD	UNIT A	UNIT B	UNIT C	UNIT D
TOTAL AVERAGE	1.588 AC	1.588 AC	1.588 AC	1.588 AC	1.588 AC	1.588 AC
EXISTING ZONING	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR D-1	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR D-1	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR D-1	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR D-1	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR D-1	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR D-1
PROPOSED ZONING	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR D-1	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR D-1	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR D-1	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR D-1	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR D-1	SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR D-1
BUILDING SIZE	4,538 SF	1,070 SF	3,700 SF (2 STORY)	3,025 SF	17,200 SF (2 STORY)	17,200 SF (2 STORY)
FLOOR AREA	2778 SF	1,070 SF	1,111 (21 OVERALL UNITS A/B/C)	1,111 (21 OVERALL UNITS A/B/C)	1,111 (21 OVERALL UNITS A/B/C)	1,111 (21 OVERALL UNITS A/B/C)
PROPOSED USE	RESTAURANT	OFFICE	OFFICE	OFFICE	OFFICE	RETAIL/OFFICE
TOTAL PARKING PROVIDED	63 SPACES	127 SPACES (10 SMALL CARS)	127 SPACES (10 SMALL CARS)	127 SPACES (10 SMALL CARS)	127 SPACES (10 SMALL CARS)	11 SPACES
TOTAL PARKING REQ (INCLUDING EMPLOYEES)	38 SPACES	20 SPACES	38 SPACES	38 SPACES	38 SPACES	20 SPACES
HC PROVIDED	4 H/C (INCLUDING 2 VAN ACCESSIBLE)	8 H/C (INCLUDING 4 VAN ACCESSIBLE)	8 H/C (INCLUDING 4 VAN ACCESSIBLE)	8 H/C (INCLUDING 4 VAN ACCESSIBLE)	8 H/C (INCLUDING 4 VAN ACCESSIBLE)	8 H/C (INCLUDING 4 VAN ACCESSIBLE)
HC REQUIRED	4 H/C SPACES	8 H/C SPACES	8 H/C SPACES	8 H/C SPACES	8 H/C SPACES	8 H/C SPACES
BIKE SPACES PROVIDED	5 BIKE SPACES	10 BIKE SPACES	10 BIKE SPACES	10 BIKE SPACES	10 BIKE SPACES	5 BIKE SPACES
BIKE SPACES REQUIRED	5 BIKE SPACES	10 BIKE SPACES	10 BIKE SPACES	10 BIKE SPACES	10 BIKE SPACES	5 BIKE SPACES
SHOWER SPACES PROVIDED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED
SHOWER SPACES REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED
MAX BUILDING HT	42'	42'	42'	42'	42'	42'

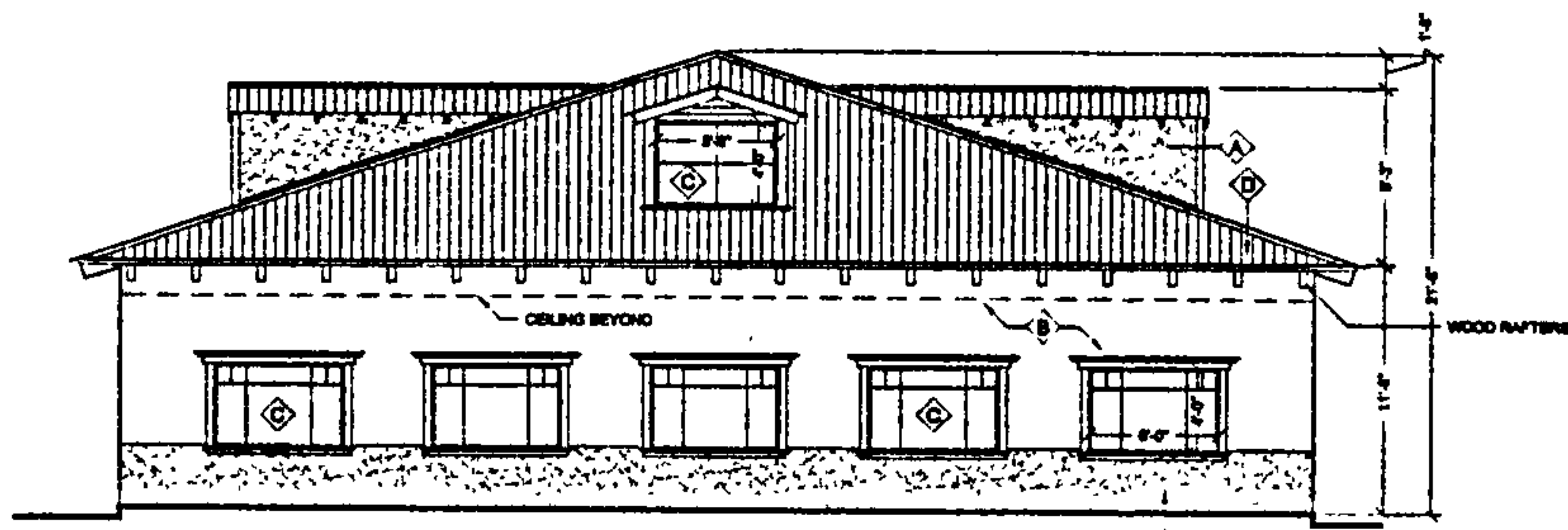
LOT 1 COTTONWOOD CROSSING FILED- FEBRUARY 19, 2004 IN PLAT BOOK 2004C, PAGE 56

LOT 5 COTTONWOOD CROSSING PHASE II FILED- FEBRUARY 19, 2004 IN PLAT BOOK 2004C, PAGE 56

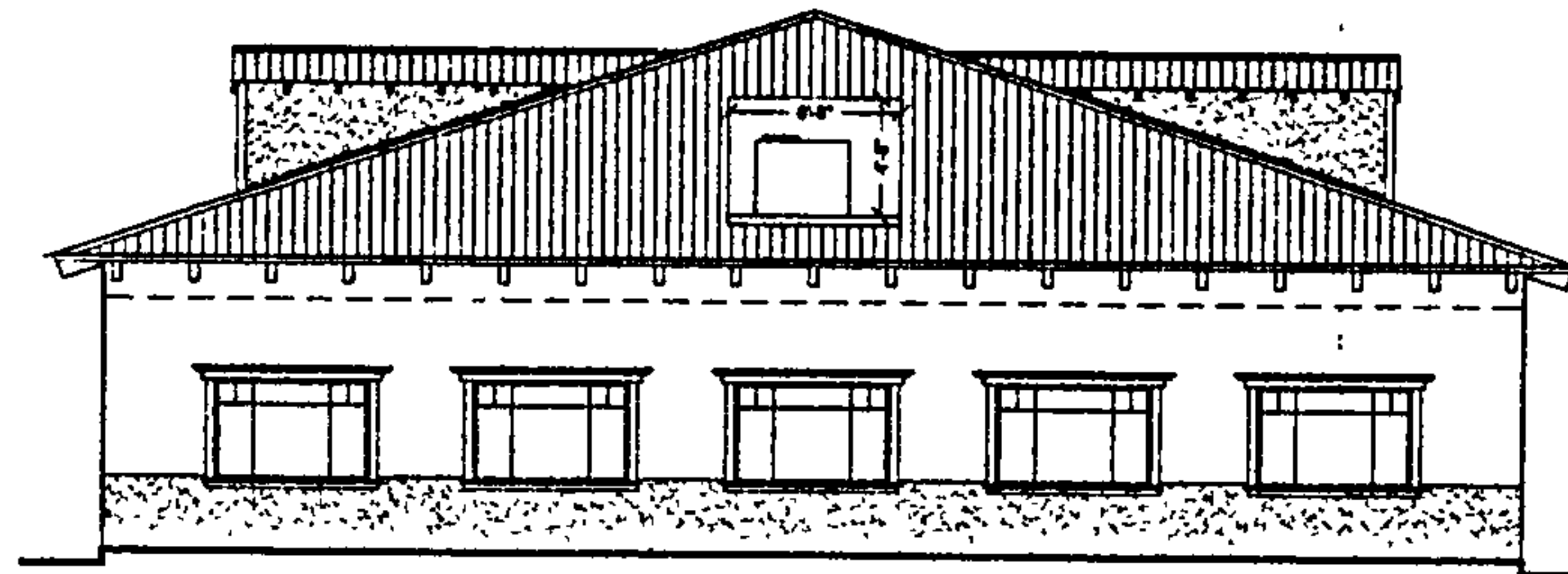
REV	DATE	BY	REVISION

GEORGE RANHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

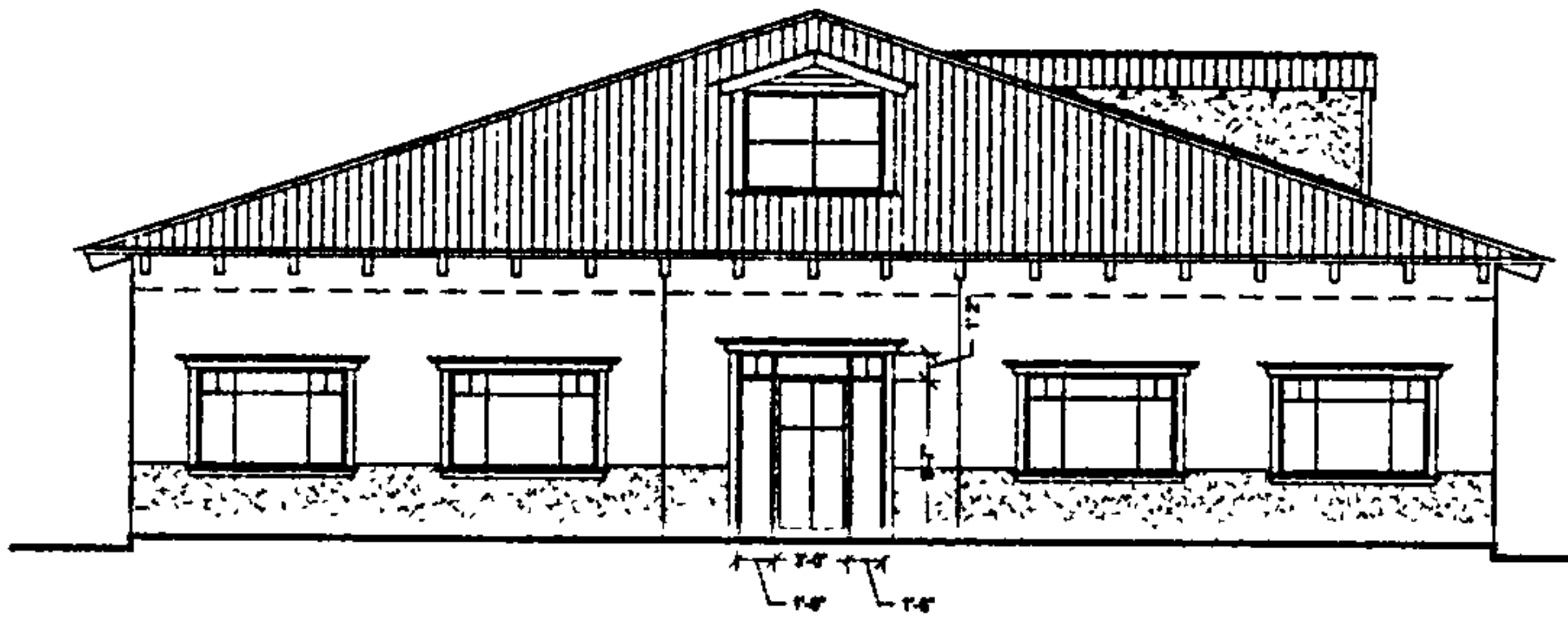
PROJECT TITLE: TRACT 14 COTTONWOOD CROSSING
COORS BLVD N.W. ALBUQUERQUE NEW MEXICO
JOB NO. 0309
PROJECT MANAGER: STEPHEN DUNBAR
DRAWN BY: SD
DATE: 6/6/04
SCALE: 1"=40'
SHEET TITLE: SITEPLAN FOR SUBDIVISION
SHEET NO. A2



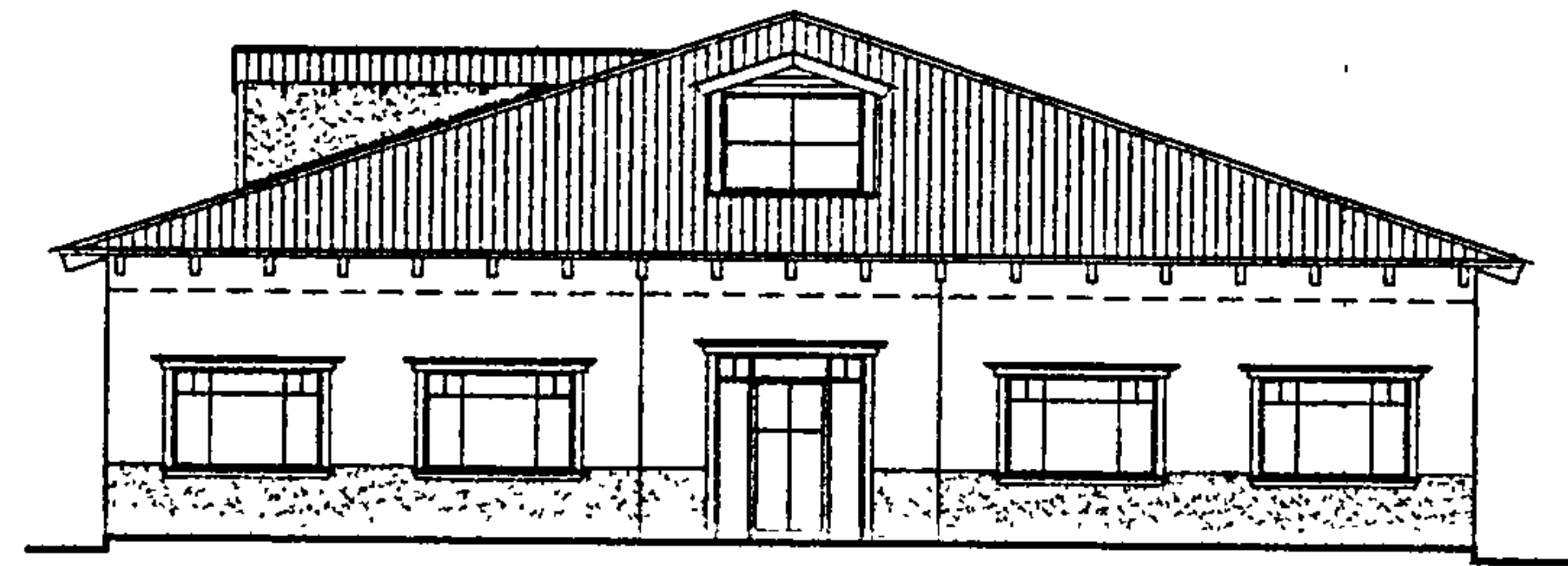
1 UNIT A NORTH (TYP.)
3/16"=1'-0" (85-07)



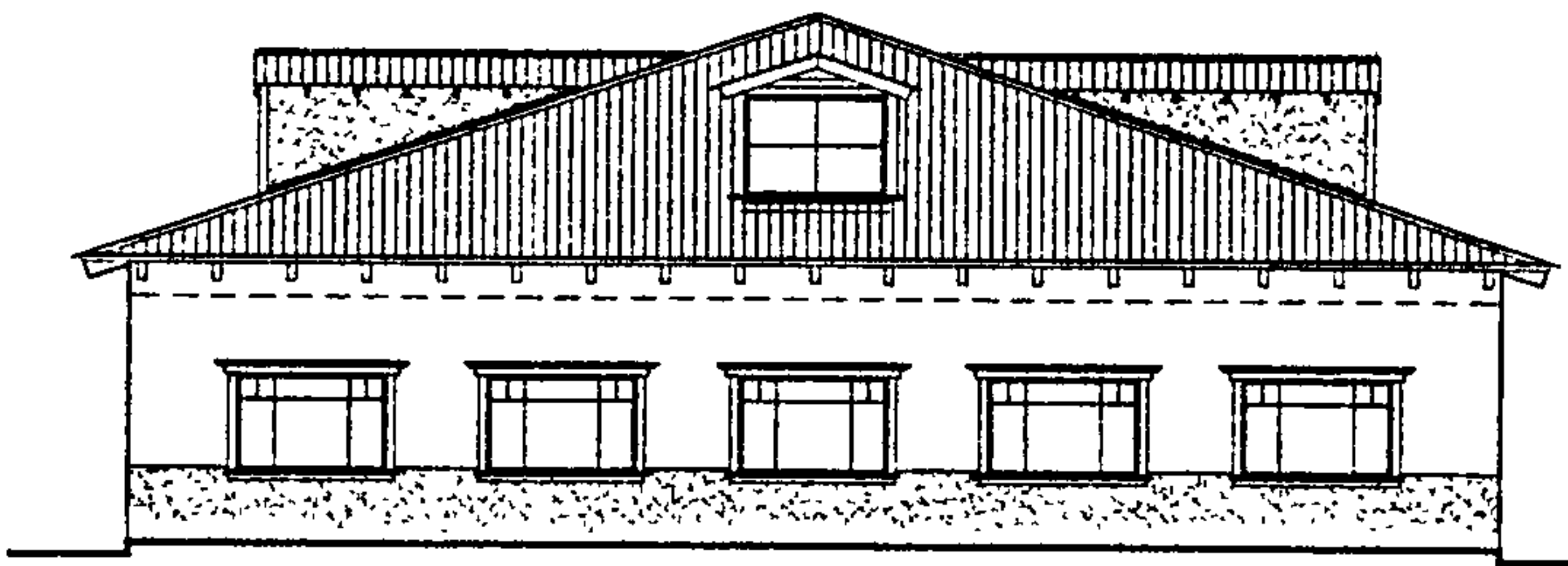
2 UNIT A SOUTH
3/16"=1'-0" (85-07)



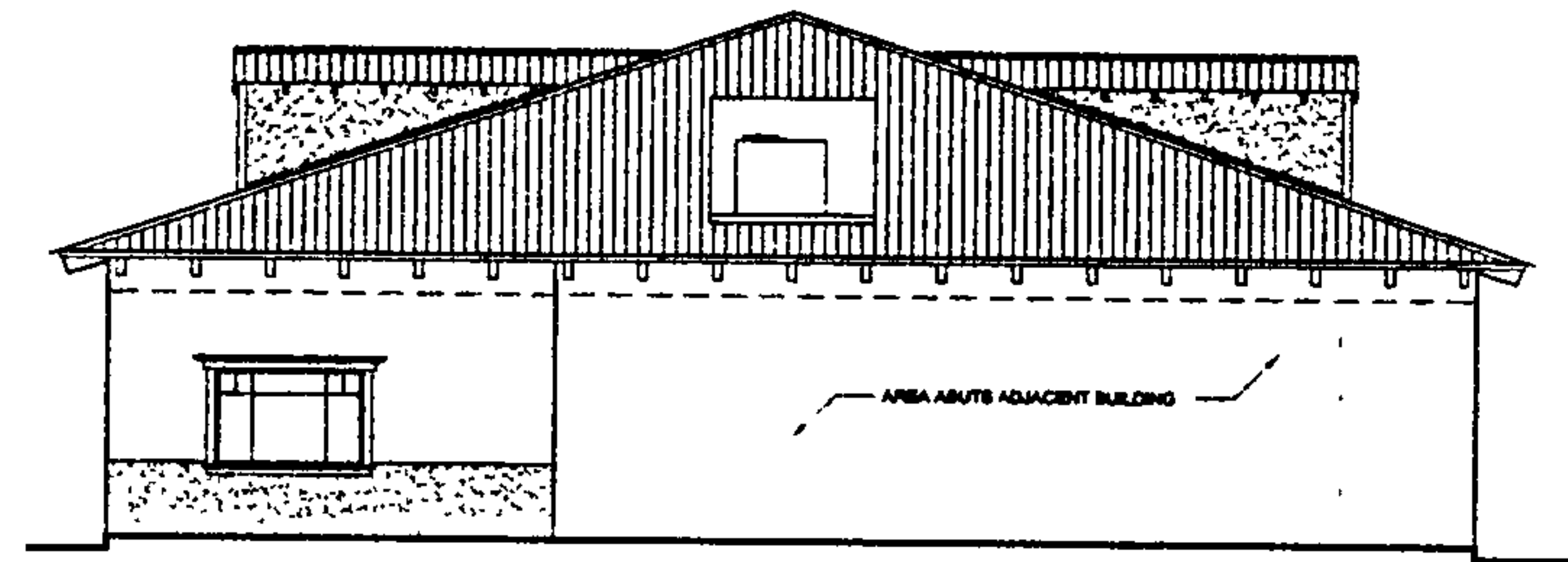
3 UNIT A EAST
3/16"=1'-0" (85-07)



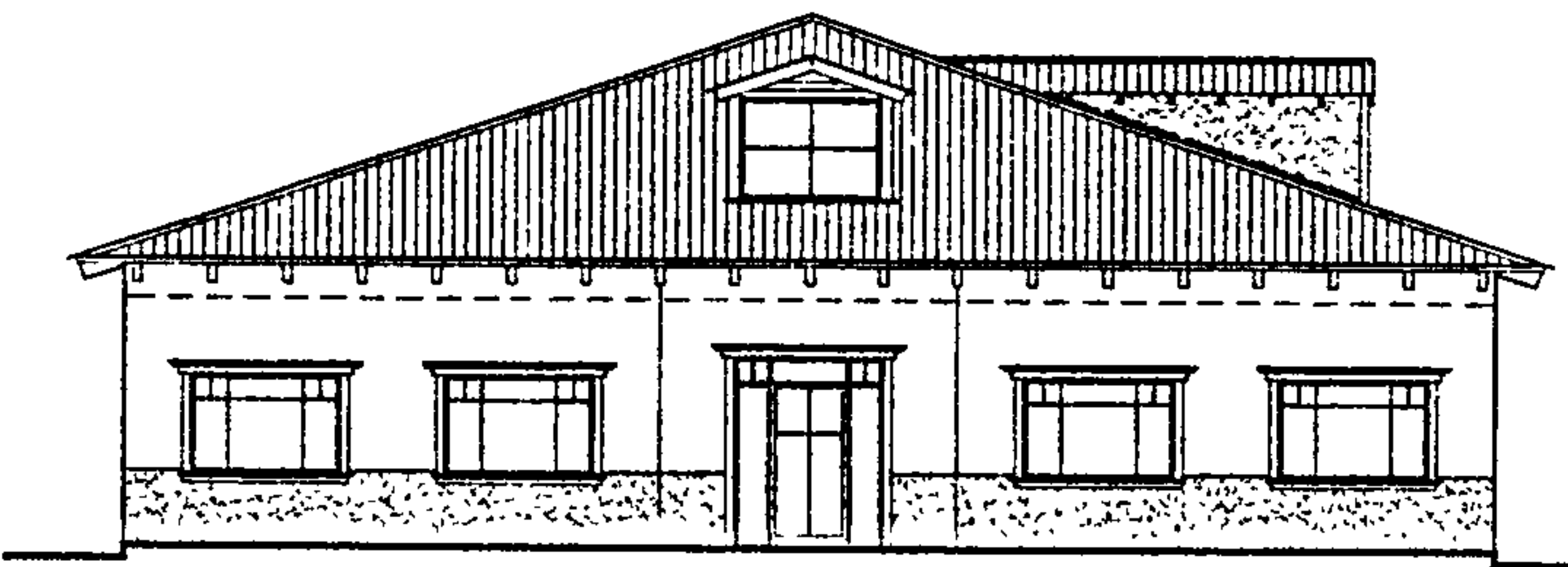
4 UNIT A WEST
3/16"=1'-0" (85-07)



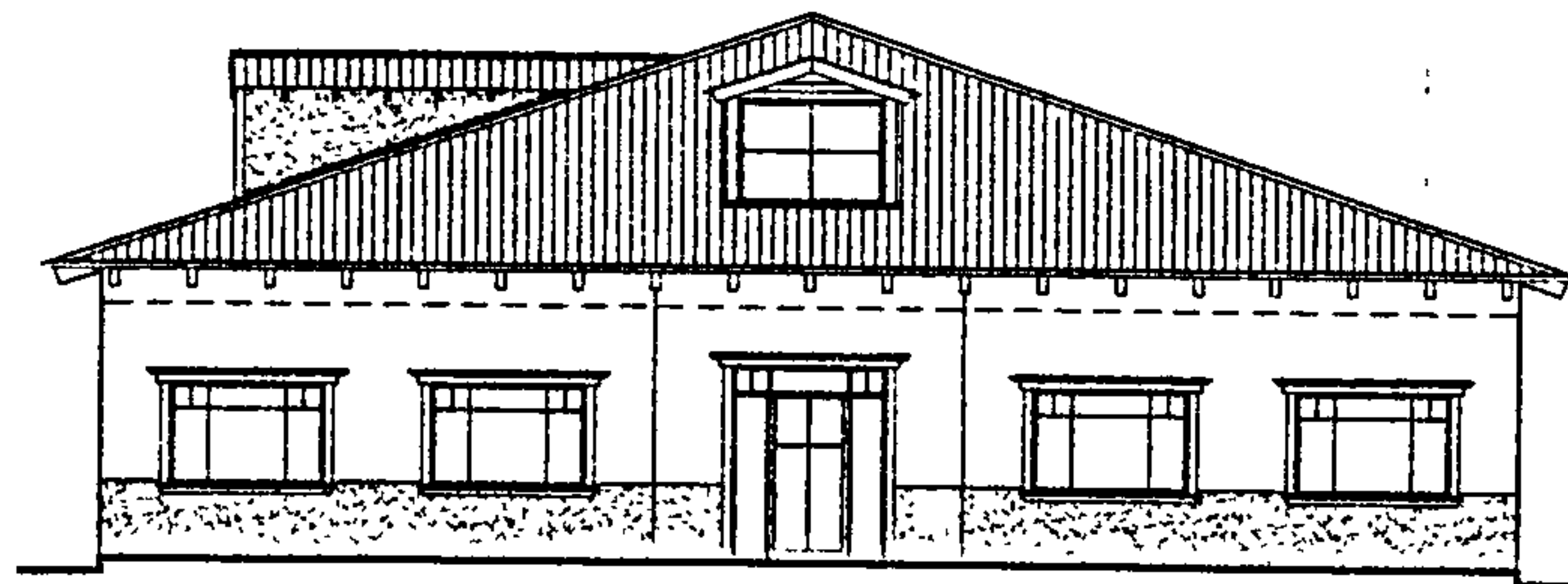
1 UNIT C NORTH
3/16"=1'-0" (85-07)



2 UNIT C SOUTH
3/16"=1'-0" (85-07)



3 UNIT C EAST
3/16"=1'-0" (85-07)



4 UNIT C WEST
3/16"=1'-0" (85-07)

Keyed Color / Material Schedule

◇	STUCCO BASE	SW 6335
◇	STUCCO	Flint Black Dark Red SW 6145
◇	CLAD GLAZING	ALUMINUM
◇	METAL ROOFING	GALVANIZED

REVISION	
BY	
DATE	
REV	1 2 3 4 5 6 7 8 9 10

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
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PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT TITLE
NEW OFFICE 2-STORY
TRACT 14
ALBUQUERQUE, NM

PROJECT NUMBER
1000000000

DATE
11-10-00

SCALE
3/16"=1'-0"

DATE
11-10-00

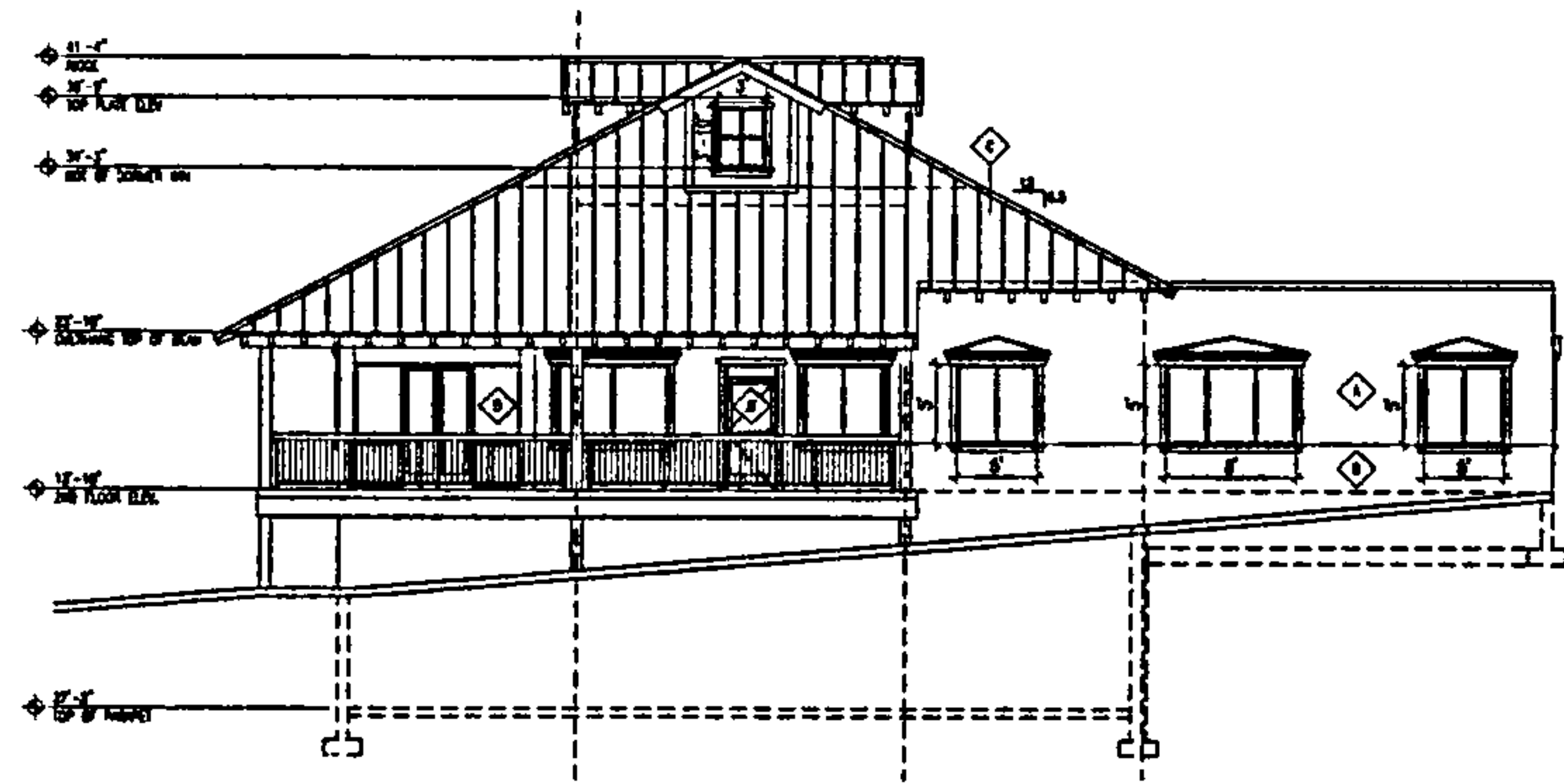
SCALE
A4

PROJECT OWNER
SMA

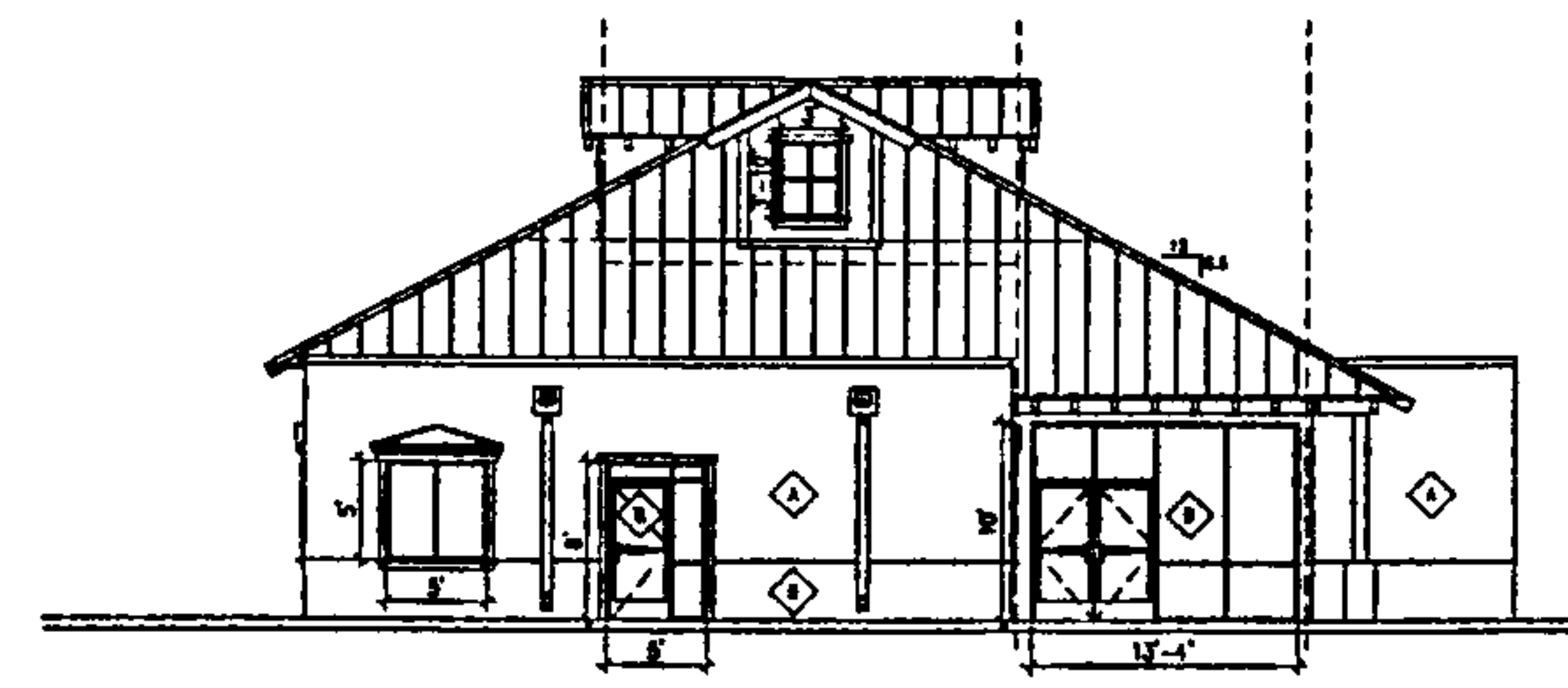
DESIGNED BY
SMA

DRAWN BY
SMA

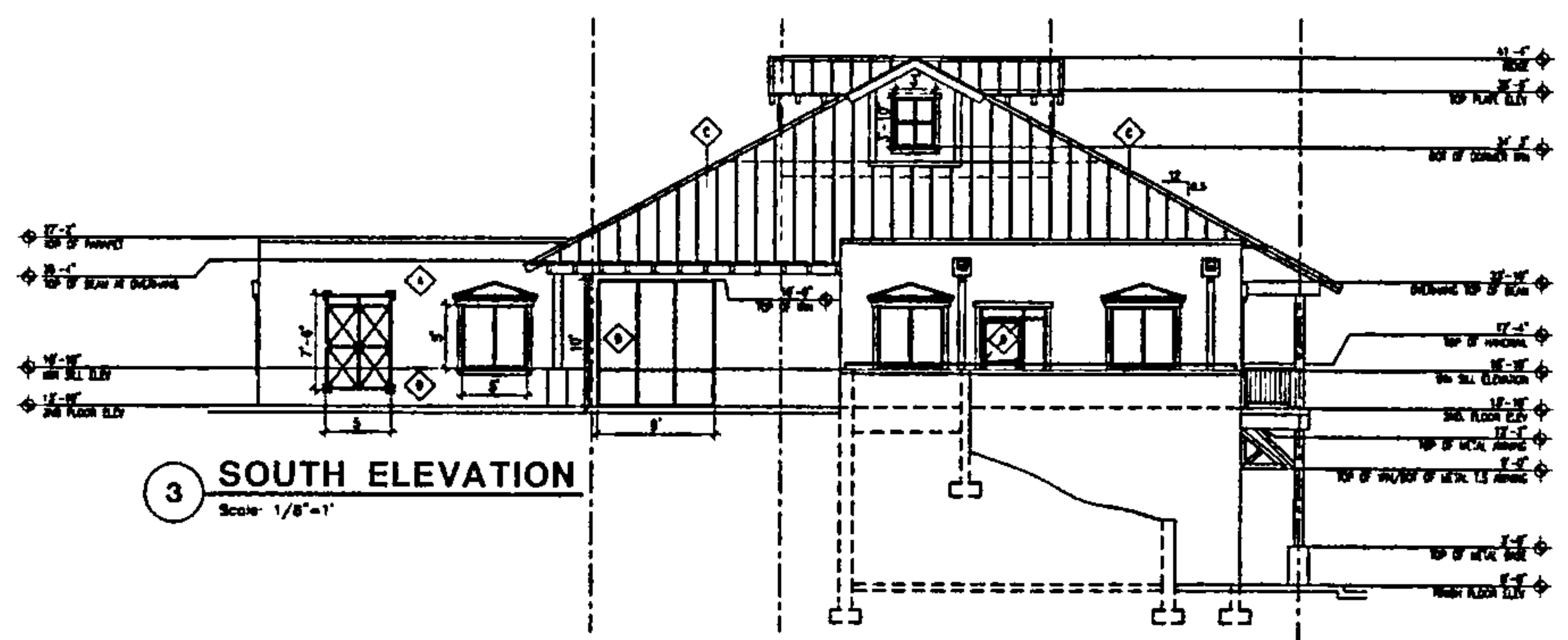
ELEVATIONS



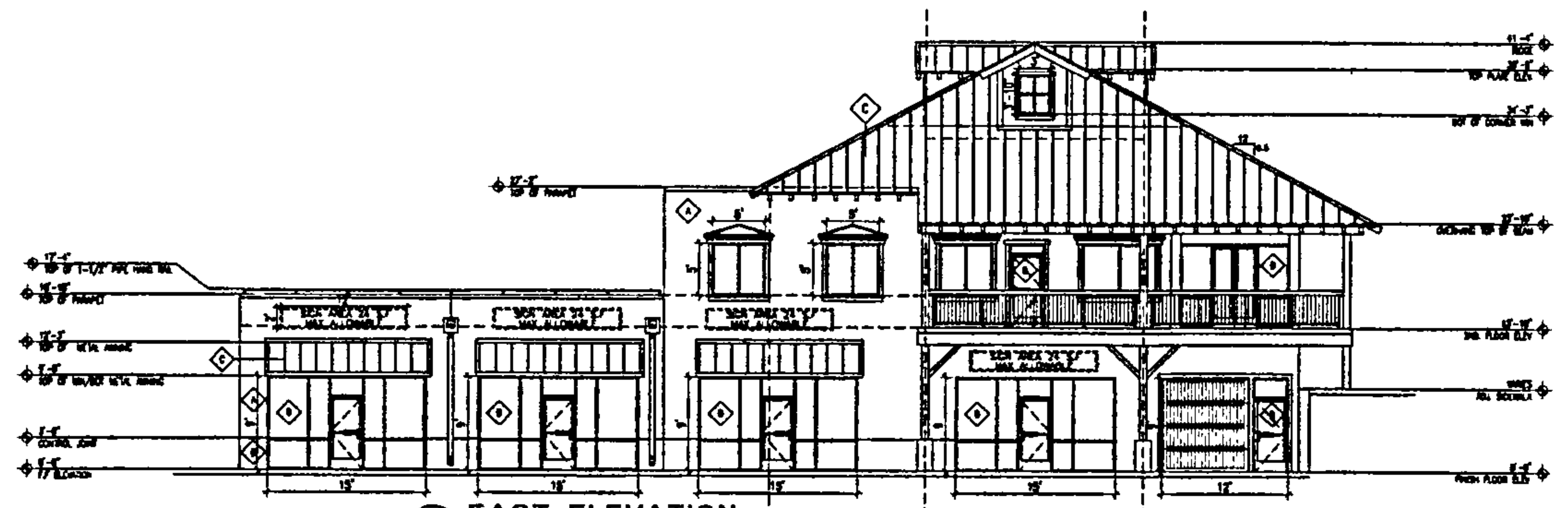
1 NORTH ELEVATION
Scale: 1/8"=1'



2 WEST ELEVATION
Scale: 1/8"=1'

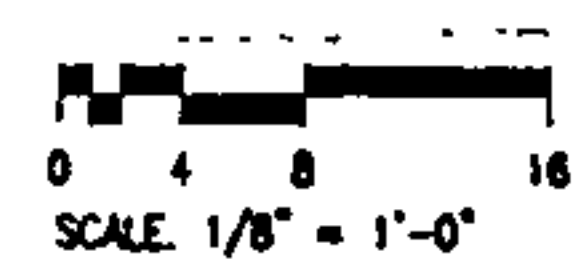


3 SOUTH ELEVATION
Scale: 1/8"=1'




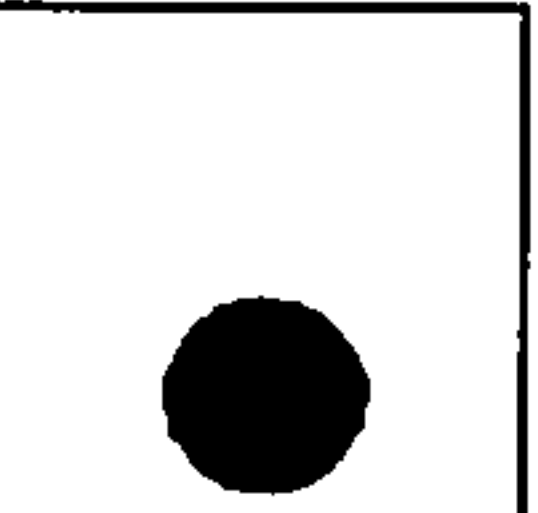
4 EAST ELEVATION
Scale: 1/8"=1'

Keyed Color / Material Schedule	
◆	STUCCO SYSTEM SI 6148 WOOL SKEN LIGHT BROWN
◆	STUCCO SYSTEM SI 4335 FIRE BRICK DARK RED
◆	METAL ROOFING TRINAR W/ KYNAR 500 RESIN SYS. COLOR- GALVALUME SILVER
◆	BRONZE AND ALUMINUM STOREFRONT KARNEER TRIFAB 450/ OR EQUAL



REV	DATE	BY	REVISION


 GEORGE RANHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-8110 FAX (505) 837-9877



PROJECT TITLE
 UNIT B
 COTTONWOOD CROSSINGS
 ALBUQUERQUE, New Mexico
 PROJECT MANAGER
 STEPHEN DUNBAR
 DRAWN BY
 SD
 SHEET TITLE
ELEVATIONS

DATE
 3/8/04
 SCALE
 1/8"=1'-0"
A4.B

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance Water management is the sole responsibility of the Property Owner

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Palan Ordinance, and Water Conservation Landscaping and Water Waste Ordinance in general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed

Native seed shall include:
"Paloma" Indian Rice Grass, "Yva Galeata Grass, "Niner" Sideoats Grama, "Hatchia" Blue Grama, Sand Dropseed, Four-wing Saltbush, Native Wildflowers

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season

Point of connection for irrigation system is unknown at current time and will be coordinated in the field

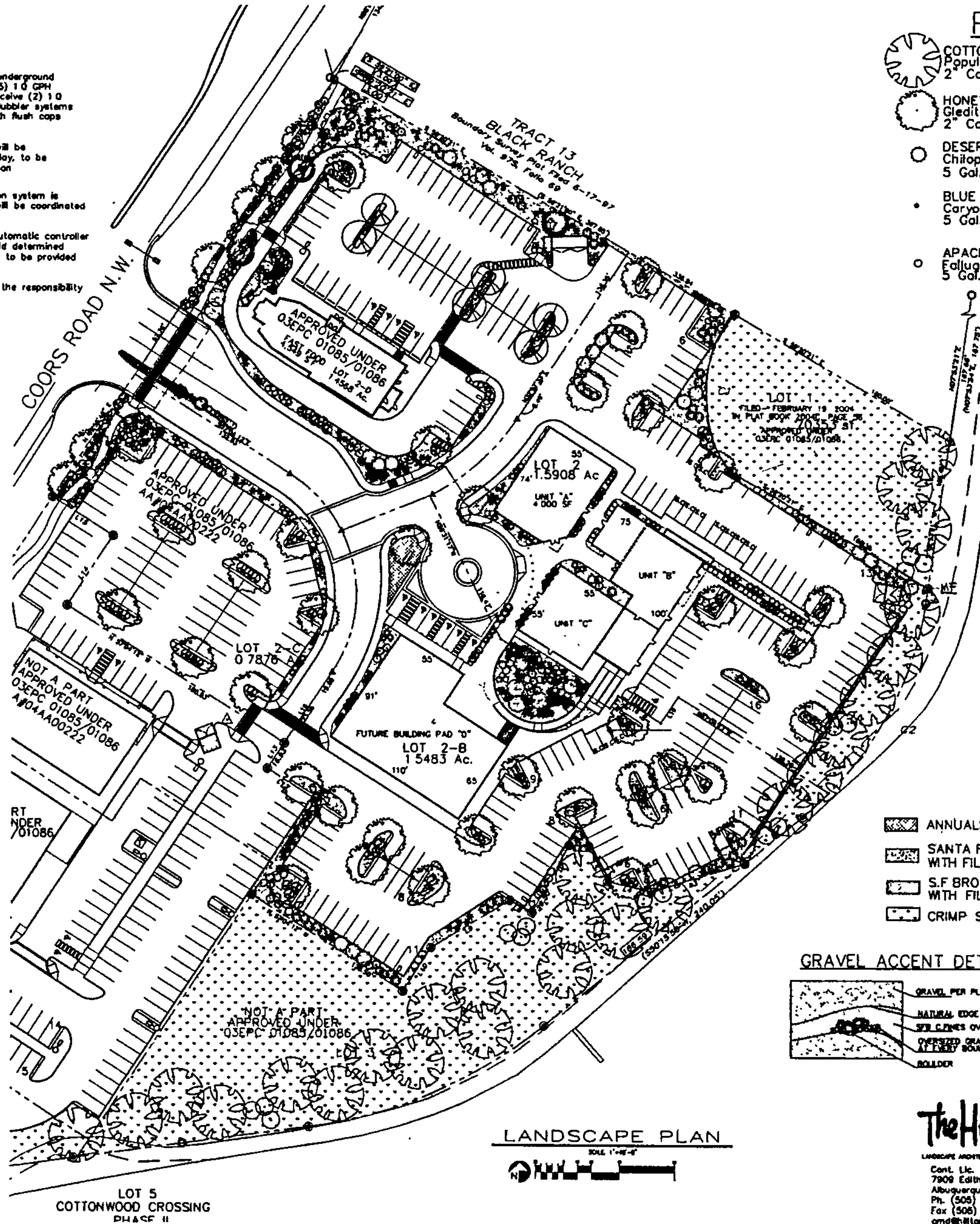
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	235136	square feet
TOTAL BUILDINGS AREA	25200	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	209936	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	31490	square feet
TOTAL BED PROVIDED	34935	square feet
GROUND COVER REQ	75%	square feet
TOTAL GROUND COVER REQUIREMENT	26201	square feet
TOTAL GROUND COVER PROVIDED	35740	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	24186	square feet
TOTAL LANDSCAPE PROVIDED	59121	square feet

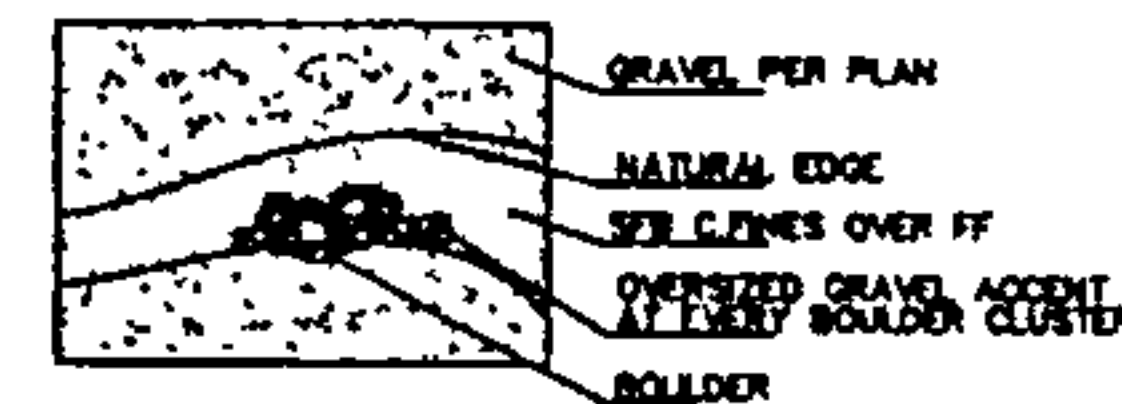


PLANT LEGEND

- COTTONWOOD (M) 25
Populus fremontii
2" Cal.
- HONEY LOCUST (H) 45
Gleditsia triacanthos
2" Cal.
- DESERT WILLOW (L) 21
Chilopsis linearis
5 Gal. 225sf
- BLUE MIST SPIREA (M) 51
Caryopteris clandonensis
5 Gal. 9sf
- APACHE PLUME (L) 36
Eallugia paradoxa
5 Gal. 25sf
- CHINESE PISTACHE (M) 6
Pistachia chinensis
2" Cal.
- AUSTRIAN PINE (H) 3
Pinus nigra
6-8'
- NEW MEXICO OLIVE (M) 20
Forestiera neomexicana
15 Gal.
- MUGO PINE (M) 1
Pinus mugo
5 Gal.
- PALM YUCCA (L) 7
- RED YUCCA (L) 15
Hesperaloe parviflora
5 Gal. 9sf
- MAIDEN GRASS (M) 87
Miscanthus sinensis
5 Gal. 16sf
- RUSSIAN SAGE (M) 66
Perovskia atriplicifolia
5 Gal. 25sf
- INDIAN HAWTHORN (M) 22
Raphiolepis indica
5 Gal. 16sf
- TAM JUNIPER (M) 72
Juniperus sabina
5 Gal. 225sf
Symbol indicates 3 plants
- AUTUMN SAGE (M) 60
Salvia greggii
2 Gal. 9sf
- REGAL MIST (M) 18
Muhlenbergia ridgens
1 Gal. 9sf
- THREADGRASS (L) 55
Stipa tenuissima
1 Gal. 4sf
- HONEYSUCKLE (M) 75
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
- CHAMISA (L) 75
Chrysothamnus nauseosus
1 Gal. 25sf
- WILDFLOWER 74
1 Gal. 4sf
- NATURAL EDGE
- COMMERCIAL GRADE STEEL EDGING
- OVERSIZED GRAVEL & 17 BOULDERS

- ANNUALS
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- S.F. BROWN C FINES WITH FILTER FABRIC
- CRIMP STRAW/NATIVE SEED

GRAVEL ACCENT DETAIL



ZONING MAP B-14 Z NTS

<p>Site Development Plan</p> <p>Public Engineer, Transportation Division</p> <p>Public and General Services Department</p> <p>Public Works, Water Utilities Division</p> <p>City Engineer, Engineering Division / AMPCA</p> <p>APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Development Process Manual.</p> <p>City Planner, Albuquerque / Bernalillo County Planning Division</p> <p>Site Plans</p>	<p>DATE</p> <p>10/19/03</p> <p>SCALE</p> <p>1"=40'</p>
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LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9490
Fax (505) 898-7737
omd@hilltoplandscaping.com

REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-1974

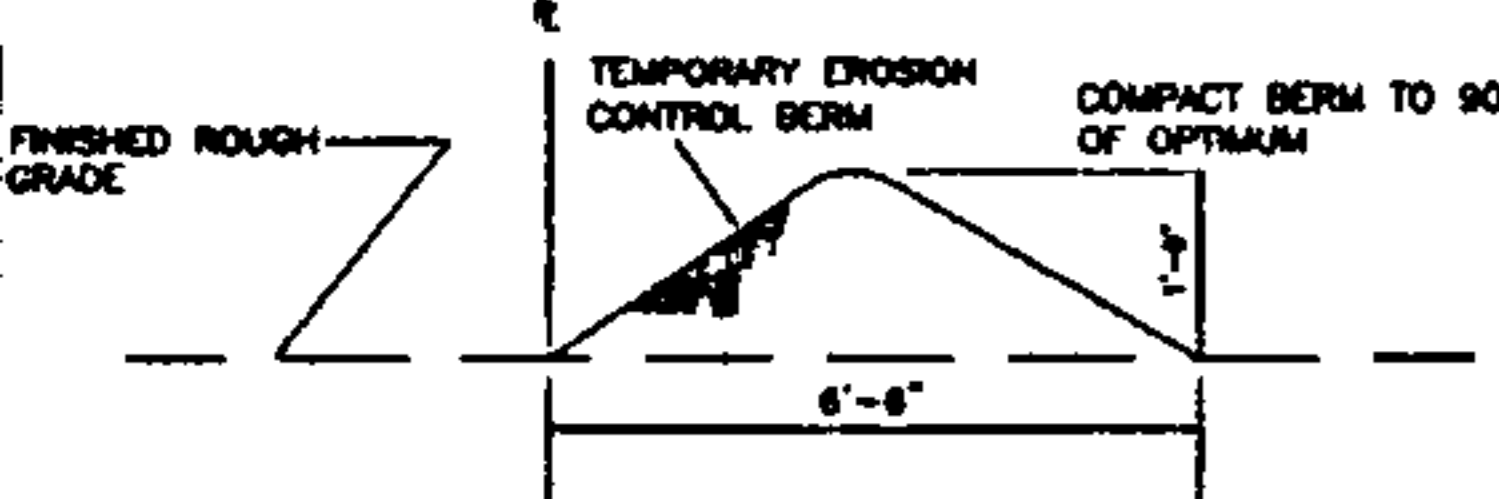
6-7-04

PROJECT TITLE	TRACT 14 COTTONWOOD CROSSING
PROJECT MANAGER	ALBUQUERQUE BERT MENDO
DEVELOPER	
DATE	10/19/03
SHEET TITLE	LANDSCAPE PLAN
SHEET NO.	1-1
TOTAL SHEETS	1-1

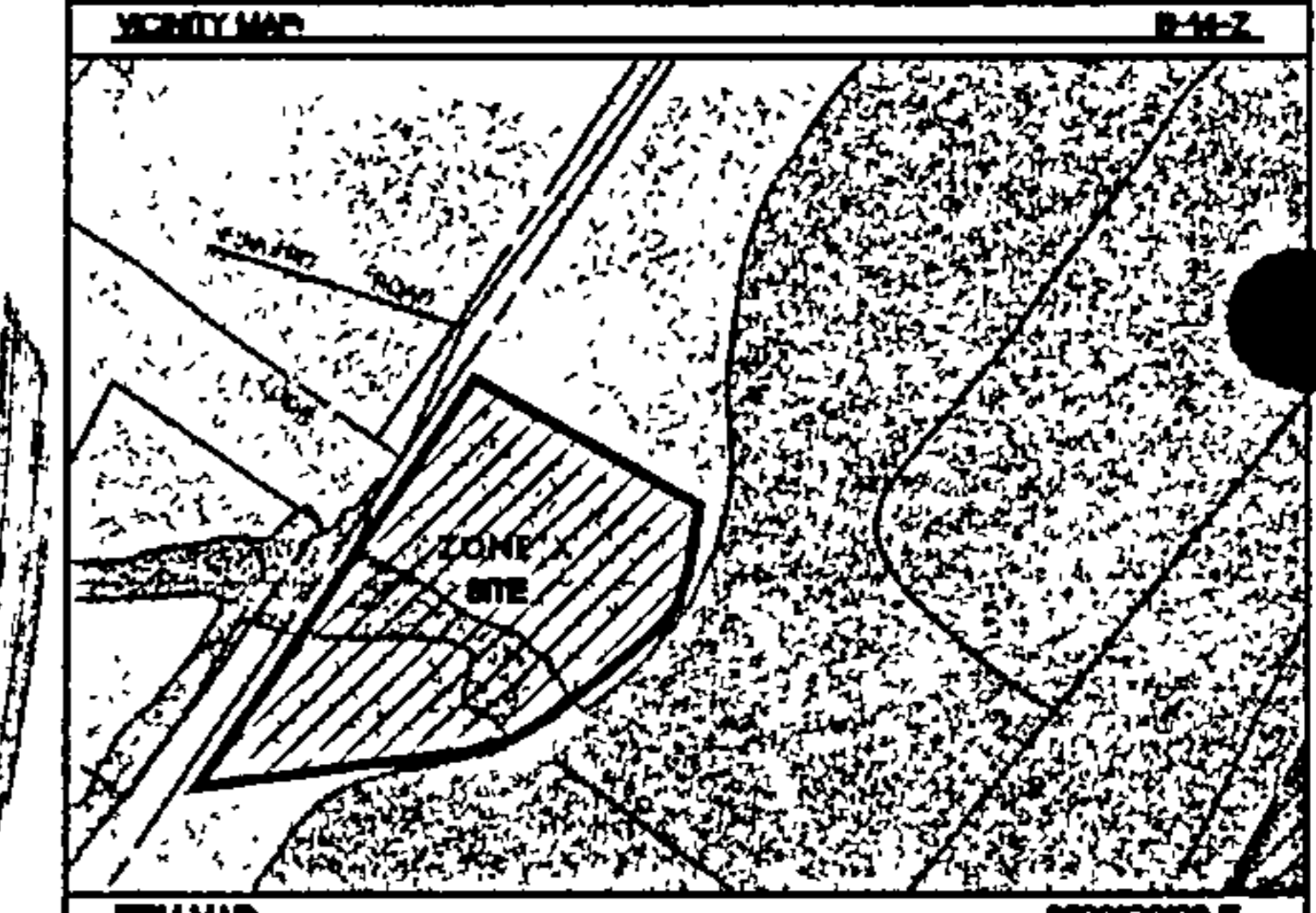
- LEGEND**
- EXISTING STORM SEWER MANHOLE
 - EXISTING STORM SEWER INLET
 - EXISTING STORM SEWER LINE
 - PROPOSED STORM SEWER MANHOLE
 - PROPOSED 12" LANDSCAPE DRAIN
 - PROPOSED DOUBLE "C" WATER QUALITY INLET
 - PROPOSED STORM SEWER LINE
 - EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - EXISTING SIDEWALK
 - PROPOSED RETAINING WALL
 - EXISTING RETAINING WALL
 - EXISTING CONTOUR
 - EXISTING INDEX CONTOUR
 - FLOW ARROW
 - SLOPE TIE
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION

CAUTION
 EXISTING UTILITIES ARE NOT SHOWN.
 IT SHALL BE THE SOLE RESPONSIBILITY
 OF THE CONTRACTOR TO CONDUCT ALL
 NECESSARY FIELD INVESTIGATIONS PRIOR
 TO ANY EXCAVATION TO DETERMINE THE
 ACTUAL LOCATION OF UTILITIES & OTHER
 IMPROVEMENTS.

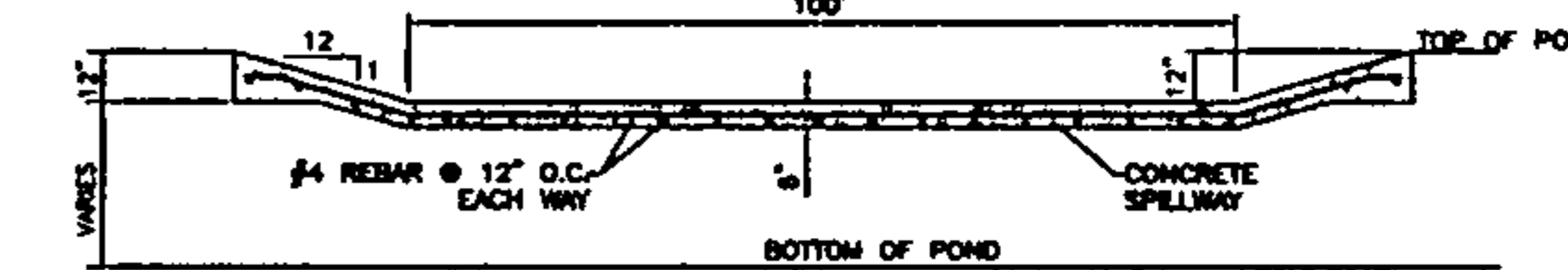
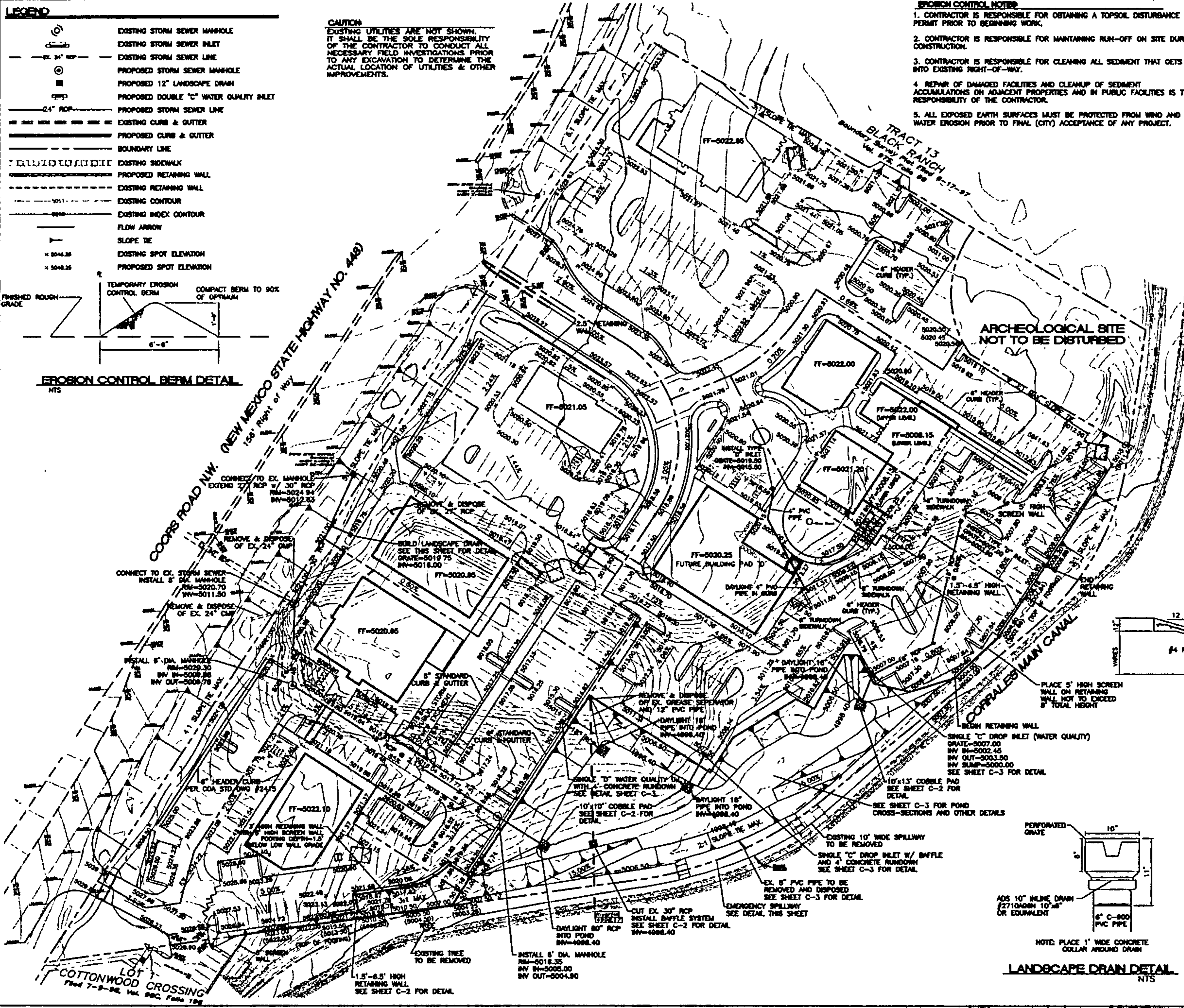
- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



EROSION CONTROL BERM DETAIL
 NTS



NOTES
 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.



EMERGENCY SPILLWAY DETAIL
 NTS

NOTE: CONCRETE TO EXTEND TO CHANNEL LINING AND TIE INTO CANAL SLOPE FINISH

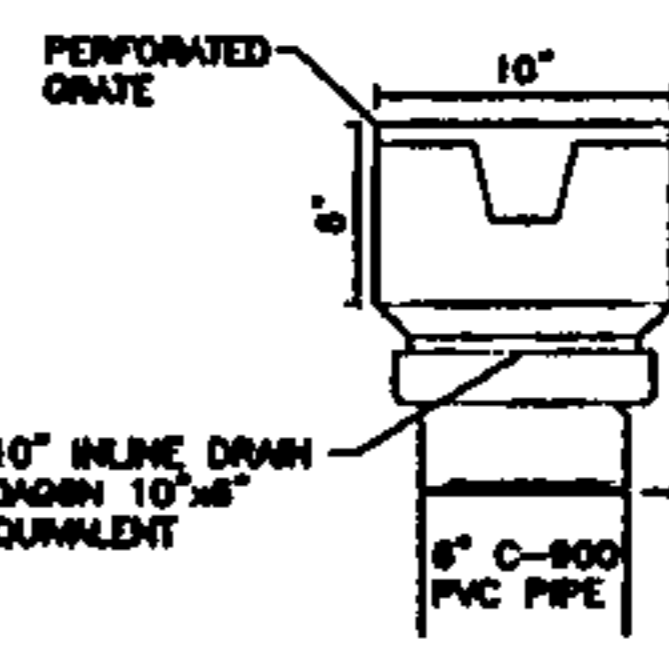
PLACE 5' HIGH SCREEN WALL ON RETAINING WALL NOT TO EXCEED 8' TOTAL HEIGHT

BEHIND RETAINING WALL
 SINGLE "C" DROP INLET (WATER QUALITY)
 GRATE-5007.00
 INV IN=5002.45
 INV OUT=5003.50
 INV SLUMP=5000.00
 SEE SHEET C-3 FOR DETAIL.

10'x13' COBBLE PAD
 SEE SHEET C-2 FOR DETAIL.

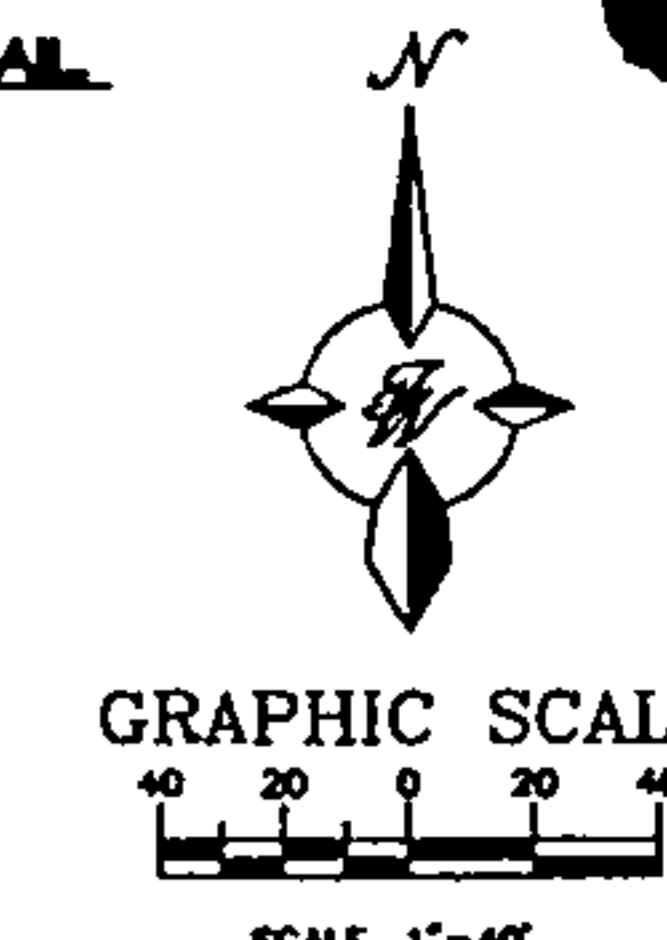
EXISTING 10' WIDE SPILLWAY TO BE REMOVED

EX. 8" PVC PIPE TO BE REMOVED AND DISPOSED. SEE SHEET C-3 FOR DETAIL.



LANDSCAPE DRAIN DETAIL
 NTS

NOTE: PLACE 1' WIDE CONCRETE COLLAR AROUND DRAIN



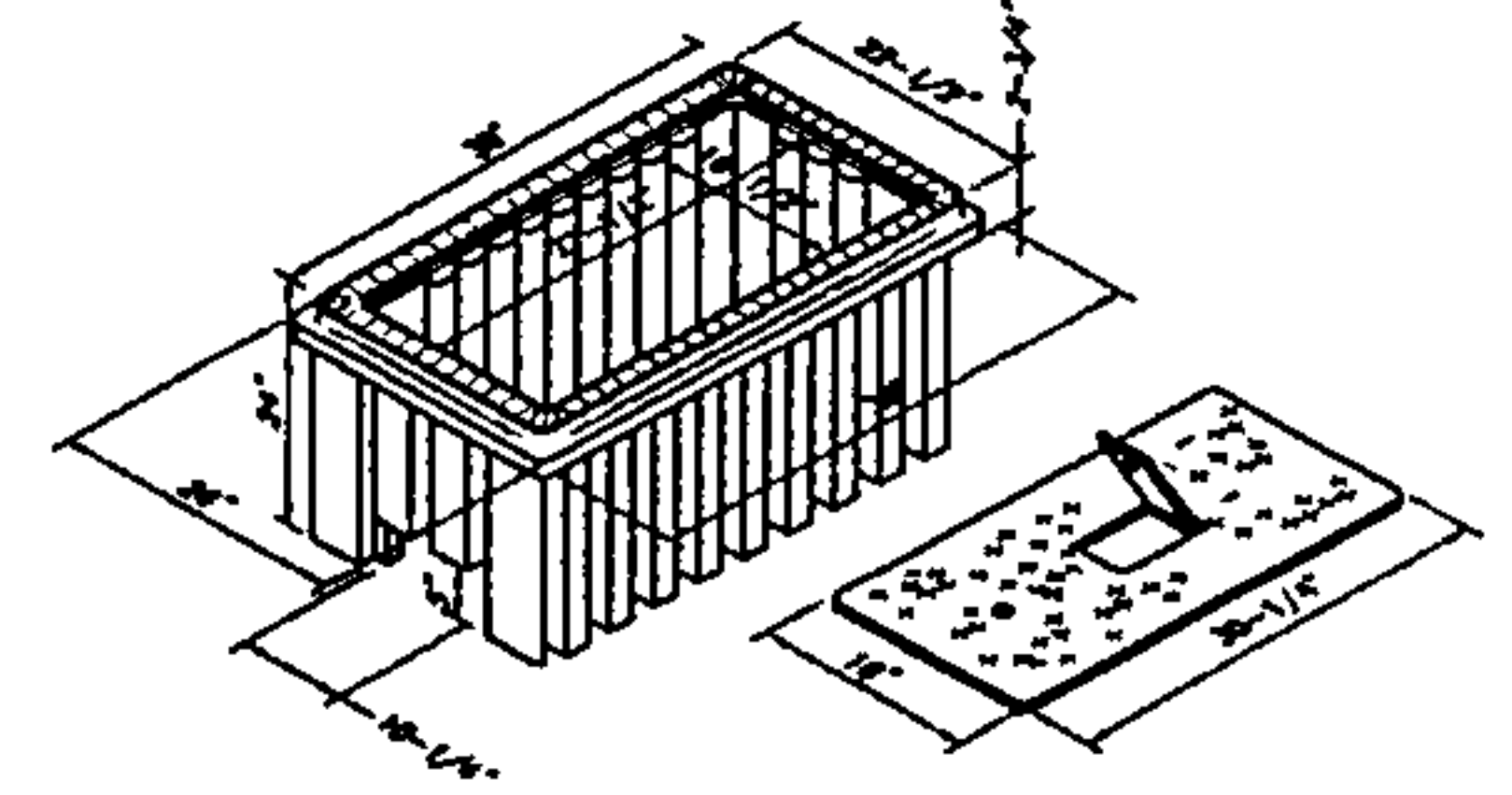
 ENGINEER'S SEAL RONALD R. BOHANNON P.E. 77088	COTTONWOOD CROSSING PHASE 2 GRADING AND DRAINAGE PLAN TERRA WEST, LLC 8500 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)856-3100	DRAWN BY JON
		DATE 08-08-04
2287988-06-02-04		SHEET / C-1
JOB / 220087		

LEGEND	
	EXISTING SAS MANHOLE
	EXISTING SANITARY SEWER LINE
	PROPOSED SAS MANHOLE
	PROPOSED SAS CLEANOUT
	DIRECTION OF FLOW
	PROPOSED SANITARY SEWER LINE
	SANITARY SEWER SERVICE LINE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	PROPOSED METER
	PROPOSED VALVE W/BOX
	PROPOSED FIRE HYDRANT
	PROPOSED WATER LINE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	PROPOSED SIDEWALK
	PROPOSED RETAINING WALL

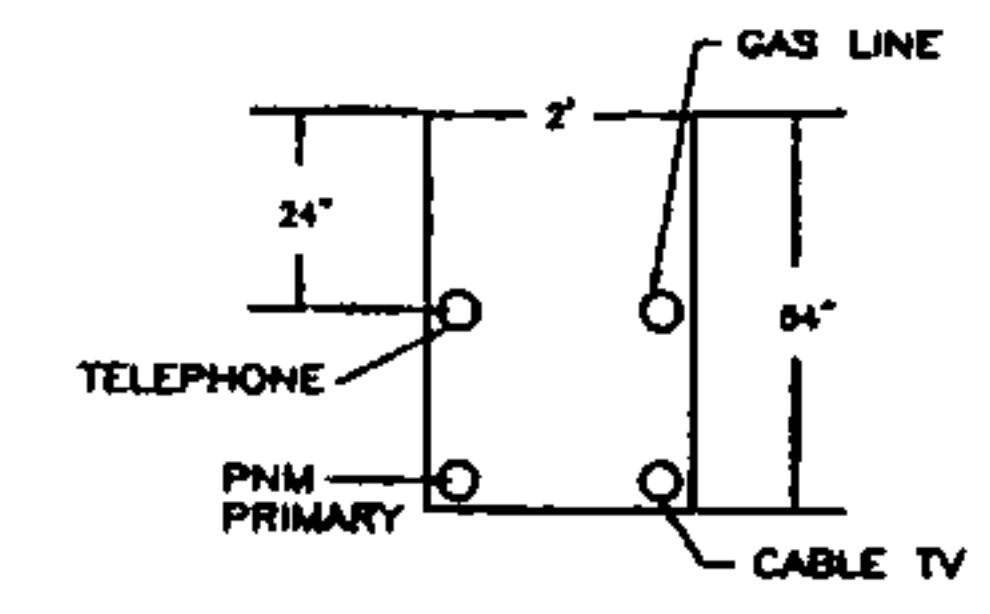
- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
 2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 3. NOTIFY NEW MEXICO UTILITIES (888-2841) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN.
 4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET.
 5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
 6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY.

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED THEREIN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS OF NEW MEXICO UTILITIES INCORPORATED AND WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1998.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (282-1989), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THOSE FACILITIES NOT WITHIN DEDICATED EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING



2" METER BOX DETAIL
NTS

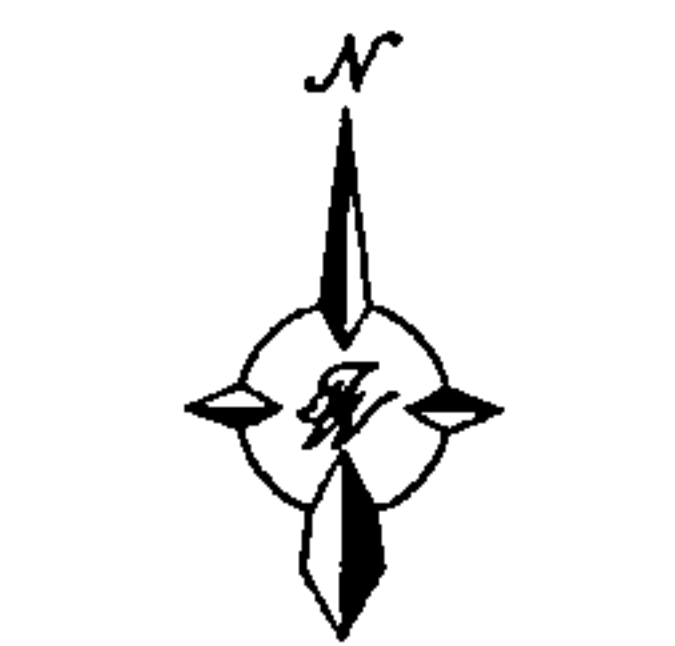


UTILITY TRENCH DETAIL
NTS

GENERAL NOTES

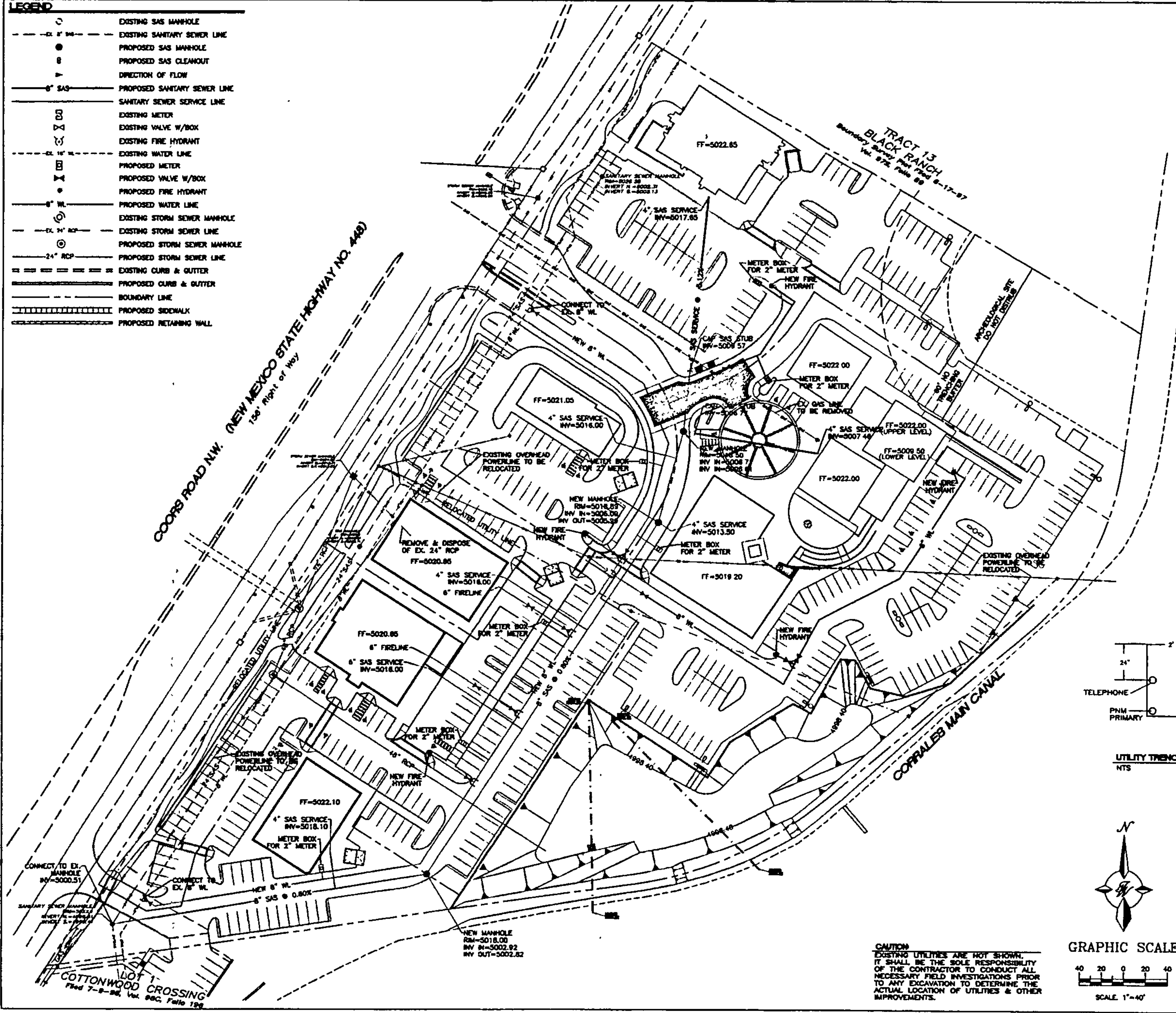
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILS UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE REEL LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 3320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

CAUTION
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



GRAPHIC SCALE
SCALE: 1"=40'

ENGINEER'S SEAL RONALD R. BOWMAN P.E. 7788	COTTONWOOD CROSSING PHASE 2	DRAWN BY: JDN DATE: 12-01-03
	MASTER UTILITY PLAN	229744K-12-1-03
 8506 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)856-3100		SHEET # C-2
		JOB # 220087





City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: January 16, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002792***
03EPC-02034 EPC Site Development Plan-
Subdivision
03EPC-02035 EPC Site Development Plan-Building
Permit
03EPC-02036 Zone Map Amendment
03EPC-02037 EPC Sector Development Plan

John Black
3613 NM State Rd 528 NW, Suite 710
Albuq. NM 87114

LEGAL DESCRIPTION: for all or a portion of Tract(s) 14A & 14B, **Black Ranch**, from SU-1 for C-1 & Restaurant with full service liquor & SU-1 for O-1 to SU-1 for C-1 & Restaurant with full service liquor and SU-1 for O-1 located on Coors Boulevard., between 7 Bar Loop Road and Alameda Boulevard NW, containing approximately 10 acre(s).
(B-14) Deborah Stover, Staff Planner

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1002792/ 03EPC 02037, a request for an amendment to the Seven-Bar Ranch Sector Development Plan, for Lot 14B, Black Ranch, based on the following Findings:

FINDINGS:

1. This is a request for an amendment to the Seven-Bar Ranch Sector Development Plan to allow C-1 uses along with a restaurant with full service liquor on Tract 14B, now zoned SU-1 for O-1 and shown as such in the Seven-Bar Ranch Sector Development Plan. This change would allow the majority of the eastern half of the site to have either offices or retail and restaurant uses.
2. The Seven-Bar Ranch Sector Development Plan was adopted in 1982, whereas the amendments to the *West Side Strategic Plan* were adopted in 2002. The change in designation of this area to a regional center by the *WSSP* justifies the amendment to the sector plan.

OFFICIAL NOTICE OF DECISION
PROJECT #1002792
JANUARY 15, 2004
PAGE 2 OF 7

3. The subject site is in an area that is intended to serve the entire region, not just the West Side, and should be "characterized by a major concentration of a full mixture of the most intensive activities needed to service a metropolitan population and a wider range of uses should be allowed in this area and on this site.
 4. The SU-1 zone allows for site plan review, while the C-1 and restaurants with full service liquor would allow offices and other commercial as well as restaurants similar in style to others that have developed in the area, allowing for more flexibility within the Regional Center boundaries.
 5. There is no known opposition to this request.
-

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1002792/ 03EPC 02036, a for a zone map amendment from SU-1 for O-1 to SU-1 for C-1 Uses and Restaurant with Full Service Liquor, for Tracts 14A & 14B (excluding Lots 1 and 3, which will remain SU-1 for O-1), Black Ranch, based on the following Findings and subject to the following Condition:

FINDINGS:

1. This is a request for a zone map amendment for Tracts 14A and 14B, Black Ranch, from SU-1 for O-1 to SU-1 for C-1 and Restaurant with Full Service Liquor and SU-1 for O-1.
2. This zone designation is identical to Tract 14A to the west of the subject tract. Tract 14A was reviewed by EPC in August 2003 and approved for site plan for subdivision and building permit to allow 4 restaurants to be built. This request is to 'clean up' the property by eliminating a zone line and providing one uniform zone category except for the archeological and ponding sites, which will be SU-1 for O-1.
3. Changed community conditions in the area include the designation of this area as a Regional Center and the construction of the Cottonwood Mall. The Regional Center designation was adopted after the Seven-Bar Sector Development Plan and the Coors Corridor Plan were adopted.
4. The request would be more advantageous to the community by allowing the zone change on the site to create a more harmonious site. The prior submittal for this site initially included office buildings that straddled both property and zone boundary lines. The zone map amendment would eliminate this problem and create continuity for the site, which is more advantageous to the community in a technical sense.

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PROJECT #1002792
JANUARY 15, 2004
PAGE 3 OF 7

5. The zone change is justified according to Resolution 270-1980 by complying with the *Albuquerque/Bernalillo County Comprehensive Plan*. The site is located within a Regional Center and is therefore appropriate for commercial uses as per Policy j of the *Comprehensive Plan*.
6. The zone change would be compatible with the surrounding area as the location and intensity of the zone category is the same as the property adjacent to the west (*Comprehensive Plan, Policy d*).
7. The zone change would promote new growth that would be accommodated through development in areas where vacant land is contiguous to existing urban facilities and the integrity of the existing neighborhoods will be ensured, as no neighborhoods abut the property (*Comprehensive Plan, Policy e*).
8. The zone map amendment complies with the *West Side Strategic Plan* by providing a more flexible zone category that would allow the development of services in this Regional Center. Commercial, office and restaurants would be allowed with the proposed zoning and this condition would allow the property to more fully develop (*WSSP p. 32*).
9. With the designation of this area as a Regional Center that is proposed to develop with a greater density and larger amount of commercial services than anywhere else on the West Side, it becomes more advantageous to the community to allow the greater range of uses on the site to encourage the area to develop as planned (*WSSP p. 32*).
10. If the amendment to the *Seven-Bar Ranch Sector Development Plan* is approved, the zone change is the next step, as that amendment would necessitate the change of the *Zoning Map* as well.
11. There is no known opposition to this request.

CONDITION:

1. A replat of the site to create lot lines that correspond to the approved zone boundaries is required prior to or concurrent with final DRB sign-off.

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1002792/ 03EPC 03EPC 02034, a request for site development plan for subdivision, for Tracts 14A & 14B, Black Ranch, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for site development plan for subdivision for an approximately 10-acre site known as Tract 14A and 14B, Black Ranch, located on Coors Boulevard between Alameda Boulevard and the Coors Bypass.
2. The submitted plan is in compliance with the *Albuquerque/Bernalillo County Comprehensive Plan* by providing an effective buffer for the residential development east of the site. The commercial uses will help minimize the effects of this busy, high-automobile usage area on the rural neighborhood to the east. The proposal is using existing streets (Policy e) and is not putting forward a harmful use that would adversely affect nearby neighborhoods (Policy i).
3. The subject request complies with the policies of the *West Side Strategic Plan* by providing appropriate commercial services in areas along a major commercial corridor (Policy 3.8).
4. The site plan for subdivision contains all the required components as defined in the *Zoning Code* (§14-16-1-5).
5. The site development plan for subdivision meets the requirements of the *Coors Corridor Plan*.
6. There is no known neighborhood opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. A replat of the site is required prior to or concurrent with final DRB sign-off.

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1002792/ 03EPC 02035, a request for site development plan for building permit, for Lots 1, 2A, 2B, 3 and 7, Black Ranch, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Lots 1, 2A, 2B, 3 and 7, Black Ranch, a .45-acre tract of land located on Coors Boulevard between Paseo del Norte and Irving Boulevard NW.
2. The submitted plan is in compliance with the *Albuquerque/Bernalillo County Comprehensive Plan* by providing an effective buffer for the residential development east of the site. The commercial uses will help minimize the effects of this busy, high-automobile usage area on the neighbors below the bluff. The proposal is using existing streets (Policy e) and is not putting forward a harmful use that would adversely affect nearby neighborhoods (Policy i).
3. The subject request complies with the policies of the *West Side Strategic Plan* by providing appropriate commercial services in areas along a major commercial corridor ((Policy 3.8).
4. With some changes and adjustments, the submittal will be in compliance with the policies of the *Coors Corridor Plan*.
5. The proposal meets the goals of the *Seven-Bar Ranch Sector Development Plan* by adhering to the principles and recommendations of the plan and specifically by providing quality design with landscape buffers and a development that relates to the pedestrian walkway along Coors Boulevard.
6. The submittal will be adequate with some changes and additions.
7. There is no known neighborhood opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site plan shall show what is planned for the area shown as Building Pad 'D' prior to the development of such a pad site.
3. Landscape Plan:

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PROJECT #1002792
JANUARY 15, 2004
PAGE 6 OF 7

- a. The walkway at the northern portion of the site is shown with vegetation planted within it on the landscape plan. This shall be corrected to show a clear pathway in this area.
 - b. The type of native seed to be planted shall be specified on the landscape plan and shall include native grass seed as well as native wildflower seed.
 - c. Additional cottonwood trees shall be planted along the Corrales Main Canal to provide a better screen of the proposed office center from the neighborhood to the east. The area east of the office parking area and the southeastern edge of the drainage area shall be filled in with cottonwood trees to match the remaining edges of the site.
 - d. The Coors Corridor Plan requires that one tree shall be planted every 10 parking spaces and distributed such that at least one tree is planted per every 15 linear parking space (CCP, Policy 5, B. 2., p. 94). The landscape plan shows stretches of parking areas with no trees. This shall be corrected.
4. Building C shall be labeled as such on the elevation sheet.
5. All the comments from Public Works and other entities shall be complied with including the following:
- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
 - c. Traffic Impact Study is required and has been submitted.
 - d. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site.
 - e. Provide cross access agreement between tracts.
 - f. Site shall comply and be designed per DPM Standards.
 - g. The intersection of Seven Bar Loop and Coors to be constructed per the TIS in its entirety.
 - h. The main drive aisle to be constructed in its entirety (full width).
 - i. Dedication of an additional 6 feet of right-of-way along Coors Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
 - j. Provision for bicycle lanes along Coors Boulevard adjacent to the subject property, as designated on Long Range Bikeways System.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **JANUARY 30, 2004** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

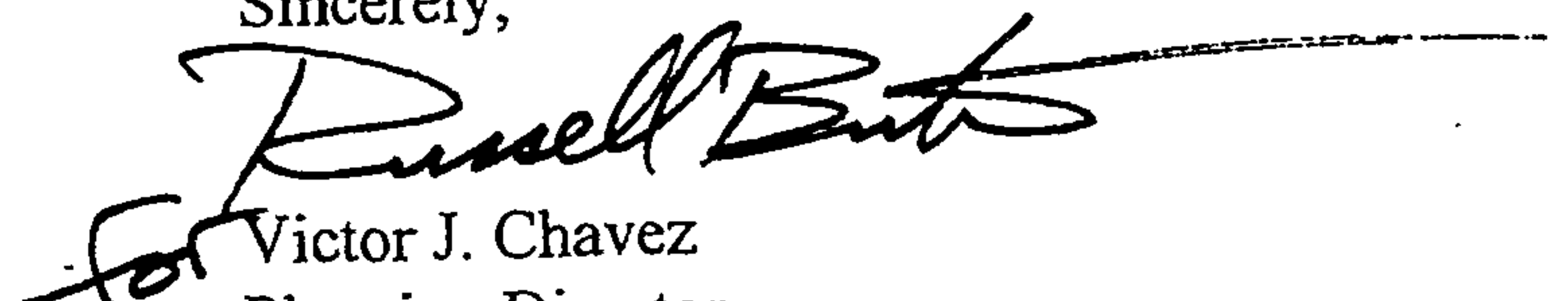
OFFICIAL NOTICE OF DECISION
PROJECT #1002792
JANUARY 15, 2004
PAGE 7 OF 7

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


For Victor J. Chavez
Planning Director

VJC/DS/ac

cc: George Rainhart, 2325 San Pedro NE, Albuquerque, NM 87110
Sharon Decatur, 100039 Bosque Circle NW, Albuquerque, NM 87114

June 5, 2004

Sheran Matson, AICP, DRB Chair
City of Albuquerque
Planning department
600 2nd St. N.W
Albuquerque N.M 87102

Re: CONDITIONS OF APPROVAL:

03EPC-02034 SITE DEVELOPMENT PLAN-SUBDIVISION
03EPC-02035 SITE DEVELOPMENT PLAN-BUILDING PERMIT
03EPC-02036 ZONE MAP AMENDMENT
03EPC-02037 EPC SECTOR DEVELOPMENT PLAN

Sheran Matson:

1. The following are actions taken to reflect the conditions of approval for the above referenced project.
2. A replat of the site to create lot lines that correspond to the approved zone boundaries is required prior to or concurrent with final DRB sign-off.
 - 2a. ACTION TAKEN:
Replating of site lot lines to corresponding zone boundaries is occurring simultaneous to DRB sign-off
3. The building plan shall show what is planned for the area shown as building pad "D" prior to the development of such a pad site.
 - 3a. ACTION TAKEN:
A note indicating the requirement of this condition has been added to pad site "D" on the development plan.
4. Landscape plan:
The walkway at the northern portion of the site is shown with vegetation planted within it on the landscape plan. This shall be corrected to show a clear pathway in this area.
 - 4a. ACTION TAKEN:
The area of the site landscape plan showing vegetation within the walkway at the northern portion of the site has been removed from the proposed pathway
5. The type of native seed to be planted shall be specified on the landscape plan and shall include native grass seed as well as native wildflower seed.
 - 5a. ACTION TAKEN:
Native and wildflower seed has been specified on the landscape plan.
6. Additional cottonwood trees shall be planted along the corrales main canal to provide a better screen of the proposed office center from the neighborhood to the east. The area east of the office parking area and the southeastern edge of the drainage area shall be filled in with cottonwood trees to match the remaining edges of the site.
 - 6a. ACTION TAKEN:
Cottonwood trees have been added to the eastern edge of the site on the landscape plan.
7. The coors corridor plan requires that one tree shall be planted every 10 parking spaces and distributed such that at least one tree is planted per every 15 linear parking spaces.

The landscape plan shows stretches of parking areas with no trees. This shall be corrected.

7a. ACTION TAKEN:

The landscape plan has been modified to reflect this condition.

8. Building C shall be labeled as such on the elevation sheet.

8a. ACTION TAKEN:

Notation has been added to the elevation sheet to reflect this comment.

9. All the comments from public works and other entities shall be complied with including the following:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and/ or paid for.
- b. The developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- c. Traffic Impact study (TIS) is required and has been submitted.
- d. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site.
- e. Provide cross access agreement between all tracts.
- f. Site shall comply and be designed per DPM standards.
- g. The intersection of Seven Bar Loop and Coors to be constructed per the TIS in its entirety.
- h. The main drive aisle to be constructed in its entirety(full width)
- i. Dedication of an additional 6 feet of right-of-way along Coors Blvd. as required by the city engineer to provide for on-street bicycle lanes.
- j. Provisions for bicycle lanes along Coors Blvd. adjacent to the subject property as designated on the long range bikeways system.

9a. ACTION TAKEN:

The above actions a thru j have been addressed.

Sincerely:



Stephen Dunbar

George Rainhart, Architect and Associates P.C

June 5, 2004

Sheran Matson, AICP, DRB Chair

City of Albuquerque

Planning department

600 2nd St. N.W

Albuquerque N.M 87102

Re:03EPC-02034 SITE DEVELOPMENT PLAN-SUBDIVISION

03EPC-02035 SITE DEVELOPMENT PLAN-BUILDING PERMIT

03EPC-02036 ZONE MAP AMENDMENT

03EPC-02037 EPC SECTOR DEVELOPMENT PLAN

Sheran Matson:

The cottonwood crossings phase II project comprises a clustered office concept surrounding an existing cotton wood tree which dates back to the Black ranch era. This compound will serve as a focal point of the complex design. The clustered concept also takes into account the views of the mountains towards the east, while respecting certain archeological areas within the site as well.

Sincerely:



Stephen Dunbar

George Rainhart, Architect and Associates P.C

June 30, 2003

City of Albuquerque
Development services
600 2nd Street NW
Albuquerque, NM 87102

Re: Cottonwood Crossing PII

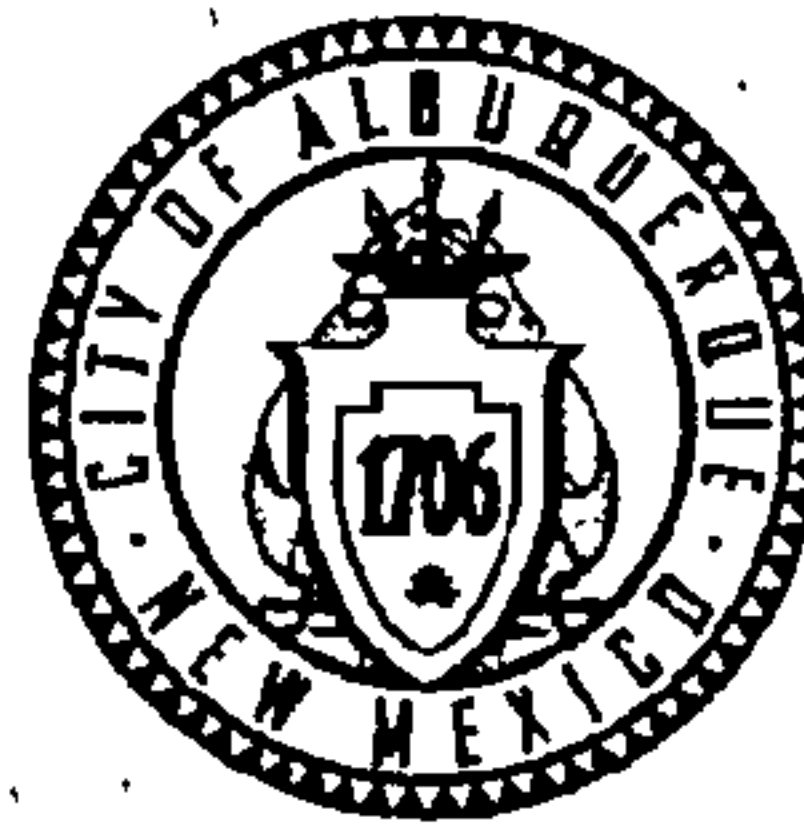
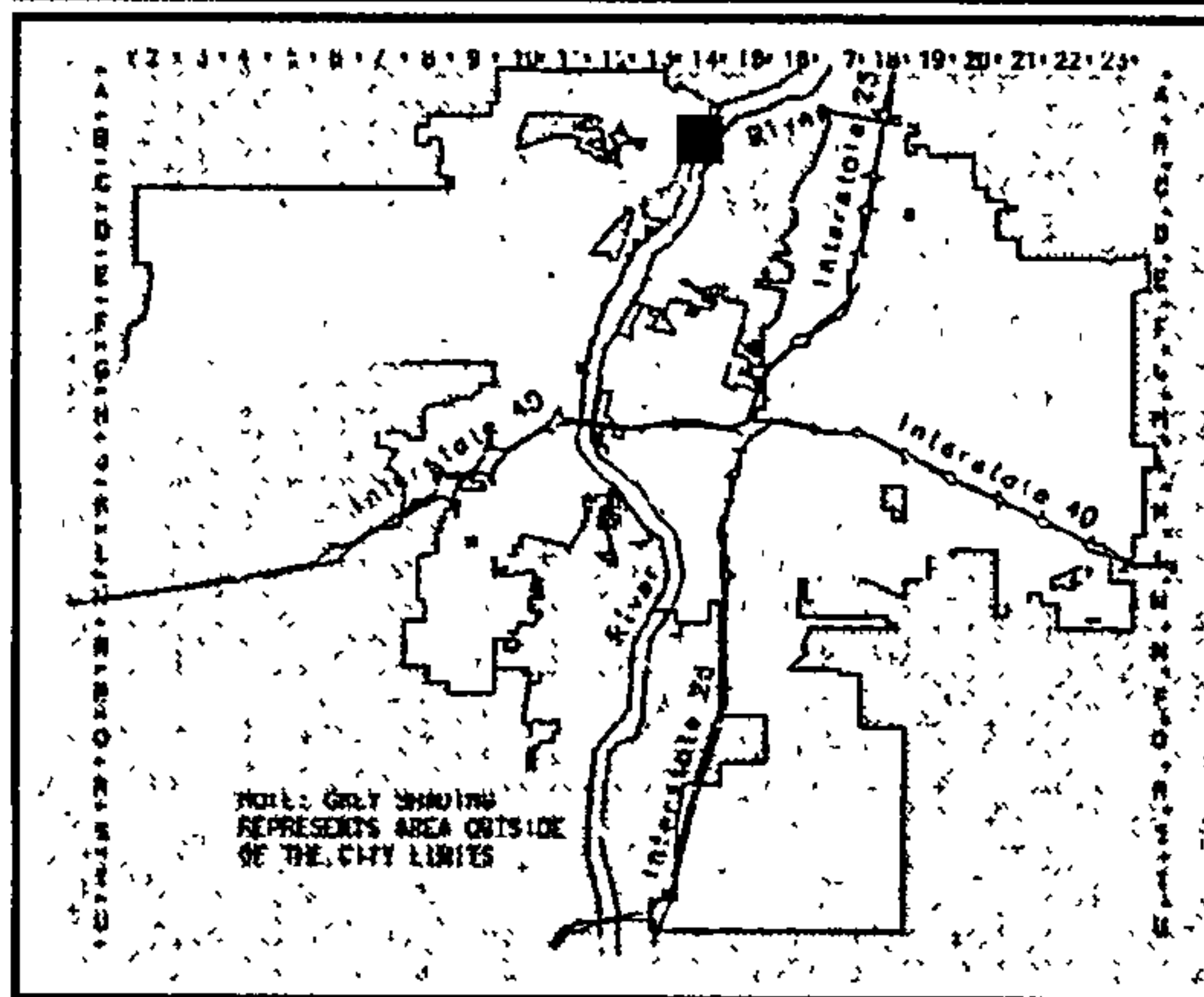
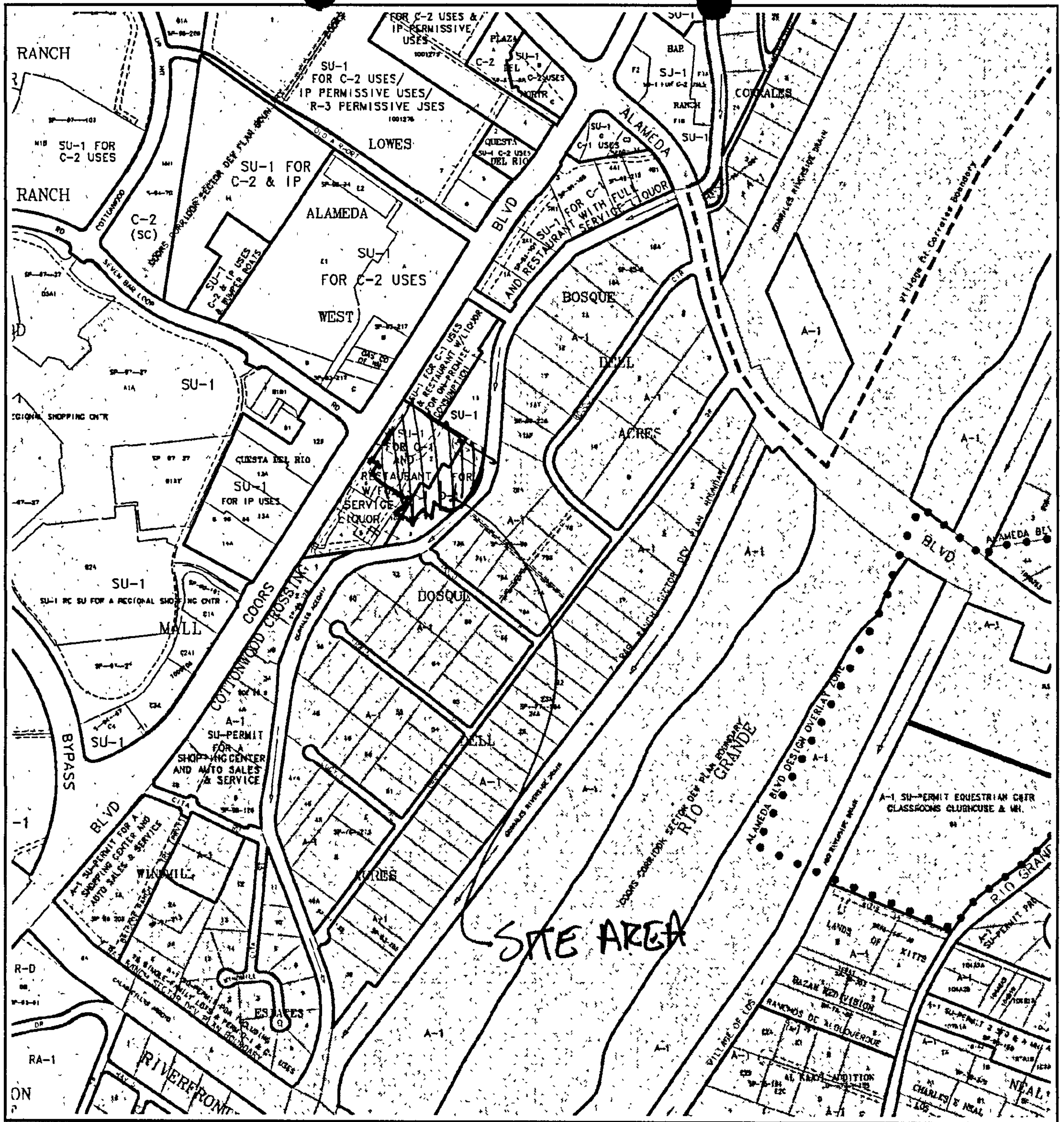
To Whom It May Concern:

This letter hereby authorizes George Rainhart Architects and Associates to act as agent for the trust of Albert and Mary Black. George Rainhart Architects will perform environmental planning services for the site.

Sincerely,



John Black
Trustee



Zone Atlas Page

B-14-Z

Map Amended through June 02, 2004

A G I S
Albuquerque Geographic Information System
PLANNING DEPARTMENT

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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Stephen A. Dunbar 6/7/04
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Preliminary Grading Plan (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. Building and Structure Elevations

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 82" x 11" reduction for each plan sheet.
- B. Written project summary. Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Existing structures on the site and within 20 feet of the site boundaries
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: SEE SITE PLAN provided: _____
 Handicapped spaces required: _____ provided: _____
- B. Bicycle parking & facilities **SEE SITE PLAN.**
 - 1. Bicycle racks, spaces required: _____
 provided: _____
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation.
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- D. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Trust of Albert & Mary Black (John Black)
AGENT George Reinhart Arch & Assoc
ADDRESS 2325 San Pedro NE 87110
PROJECT & APP # 1002792/04DRB-00896/04DRB 00897
PROJECT NAME Black Ranch

\$ 20.00 469099/4916000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

06/08/2004 12:09PM LOC: ANN
X

RECEIPT# 00027120 WS# 007 TRANSH 0019

Account 469099 Fund 0110

Activity 4916000 TRSLJS

Trans Amt \$20.00

J24 Misc \$20.00

VI \$20.00

CHANGE \$0.00



SUBDIVISION	Supplemental form S	ZONING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation & Zone Establishment	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input checked="" type="checkbox"/> Vacation	V	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Change	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Text Amendment	
<input type="checkbox"/> ...for Subdivision Purposes		APPEAL / PROTEST of...	A
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: TRUST OF ALBERT & MARY BLACK PHONE: 792.3713
 ADDRESS: 3613 NM STATE RD 528 NW FAX: 792.3735
 CITY: ABQ STATE NM ZIP 87114 E-MAIL: _____
 Proprietary interest in site: OWNER
 AGENT (if any): TIERRA WEST LLC PHONE: 858-3100
 ADDRESS: 8509 JEFFERSON NE FAX: 858-1118
 CITY: ABQ STATE NM ZIP 87113 E-MAIL: twllc@tierrawestllc.com

DESCRIPTION OF REQUEST: VACATION OF PRIVATE EASEMENTS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 1-6 Block: _____ Unit: _____
 Subdiv. / Addn. COTTONWOOD CROSSING, PHASE II
 Current Zoning: SU-1 FOR C-1 & REST.(ETC.) & SU-1 O-1 Proposed zoning: SAME
 Zone Atlas page(s): B14 No. of existing lots: 2 No. of proposed lots: 6
 Total area of site (acres): 9.76 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO
 UPC No. 101406519031820301 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 10042 COORS BLVD NW
 Between: COORS BLVD NW and SEVEN BAR LOOP NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB-94-358/SRP5-98-37/DRB-90-361/DRB-98-61/O3EPC-01085/O3EPC-01086/O3DRB-01780/O3DRB-2084/O4DRB-00184/O4AA-00222 -- PROJ#: 1002792

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE

(Print) RONALD R. BOHANNAN, P.E.

DATE 2/24/04

Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	-	<u>CMF</u>	-	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>04DRB</u> - <u>60278</u>	<u>VPE</u>	-	\$ <u>45.00</u>
<input type="checkbox"/> All case #s are assigned	-	-	-	\$ _____
<input type="checkbox"/> AGIS copy has been sent	-	-	-	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	-	-	-	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	-	-	-	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>Mar. 19 '04</u>			Total \$ <u>65.00</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	<u>3/2/04</u>			
	Planner signature / date	Project # <u>1002792</u>		

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (Public Hearing Case)**
- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. Variance and subdivision should be applied for simultaneously. (24 copies)
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- VACATION OF PUBLIC RIGHT-OF-WAY**
- VACATION OF PUBLIC EASEMENT**
- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)**
- SIDEWALK DESIGN VARIANCE**
- SIDEWALK WAIVER**
- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- VACATION OF PRIVATE EASEMENT**
- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

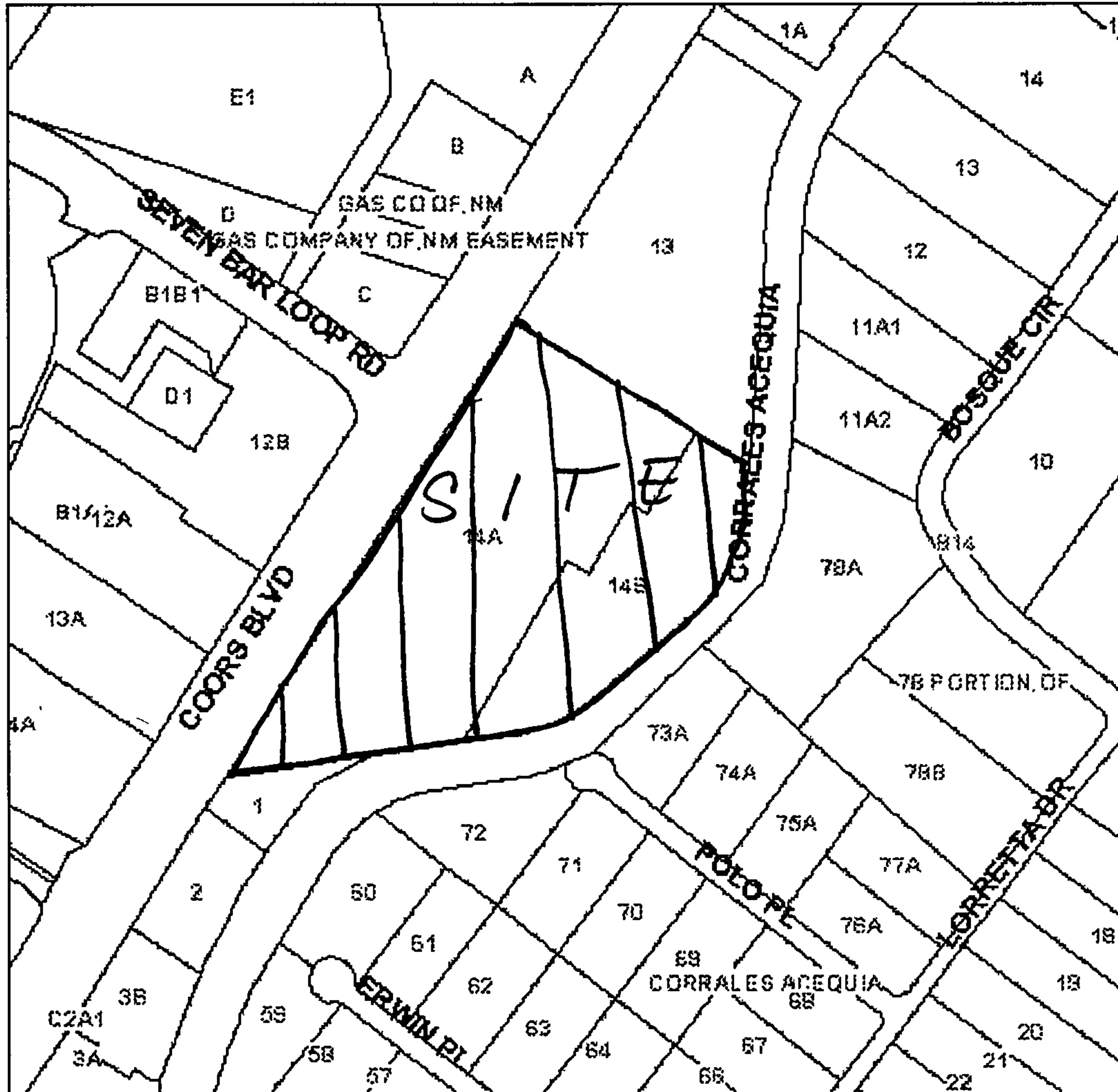
Ronald R. Bohannon, P.E.
 Applicant name (print)
[Signature]
 Applicant signature / date



Form revised April 2003

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
040RB - 00278

[Signature] 3/2/04
 Planner signature / date
 Project # 1002792



Zoning: SU-1 FOR C-1 AND RESTAURANT W/ FULL SERVICE LIQUOR

Lot/Block/Subd: 14A , 0000 , BLACK RANCH

ZoneMap Page: B14 Jurisdiction: CITY

UPC #: 101406519031820301

Owner Name: BLACK ALBERT J C/O BLACK JOHN F

Zoning: SU-1 FOR O-1

Lot/Block/Subd: 14B , 0000 , BLACK RANCH

ZoneMap Page: B14 Jurisdiction: CITY

UPC #: 101406522431320303

Owner Name: BLACK ALBERT J C/O BLACK JOHN F



Project Summary Report

Click on any Application Number or Completion Disposition under Related Applications to reveal greater detail.

Date: 02/25/2004

Page 1

Project Number: 1002792

Project Name: BLACK RANCH, TRS. 14-A&B

Project Description:

SITEPLAN FOR S/D & BP SITEPLAN FOR S/D & BP

Related Applications in Order of Submittal:

Red - Withdrawn

<u>Application</u>	<u>Application Type</u>	<u>Completed Activity</u>	<u>Completion Disposition</u>	<u>Date</u>
<u>03EPC - 01085</u>	BUILDING PERMIT	NO MORE ACTION	<u>COMPLETED</u>	10/23/2003
<u>03EPC - 01086</u>	SUBDIVISION	NO MORE ACTION	<u>COMPLETED</u>	10/23/2003
<u>03DRB - 01780</u>	VACATION OF PUBLIC EASEMENTS	DRB HEARING DECISION	<u>DEFERRAL TO A DATE</u>	12/17/2003
<u>03DRB - 01945</u>	SITEDEV PLAN SUBD/EPC	DRB HEARING DECISION	<u>DEFERRAL TO A DATE</u>	12/17/2003
<u>03DRB - 01946</u>	SITEDEV PLAN BLDPERMIT/EPC	DRB HEARING DECISION	<u>DEFERRAL TO A DATE</u>	12/17/2003
<u>03EPC - 02034</u>	SUBDIVISION	AGENCY DISTRIBUTN / REVIEW	<u>COMPLETED/DISTRIBUTED</u>	12/16/2003
<u>03EPC - 02035</u>	BUILDING PERMIT	AGENCY DISTRIBUTN / REVIEW	<u>COMPLETED/DISTRIBUTED</u>	12/16/2003
<u>03EPC - 02036</u>	ZONE MAP AMENDMENT	AGENCY DISTRIBUTN / REVIEW	<u>COMPLETED/DISTRIBUTED</u>	12/16/2003
<u>03EPC - 02037</u>	SMALL MAP AMENDMENT	AGENCY DISTRIBUTN / REVIEW	<u>COMPLETED/DISTRIBUTED</u>	12/16/2003
<u>03DRB - 02084</u>	PRELIM&FINAL PLAT APPROVAL	DISTRIBUTION	<u>DISTRIBUTED</u>	12/15/2003
<u>04DRB - 00184</u>	FINAL PLAT APPROVAL	NO MORE ACTION	<u>COMPLETED</u>	2/18/2004
<u>04AA - 00222</u>	SU-1 PLAN	ADMIN AMENDMENT SUBMITTAL	<u>ACCEPTED</u>	2/18/2004

Trusts of Albert J. and Mary J. Black

**% John F. Black, Trustee
3163 NM ST HWY # 528, Suite H
Albuquerque, NM 87114
Phone: 505-792-3713**

March 1, 2004

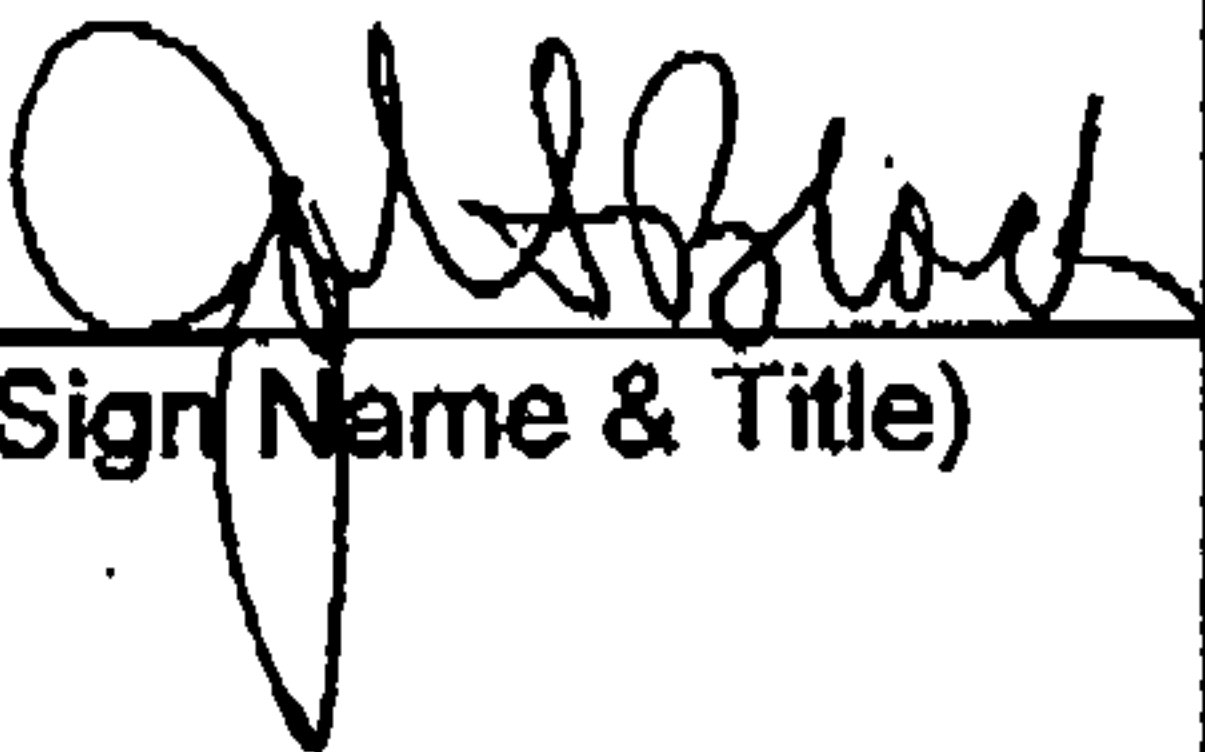
City of Albuquerque
Environmental Planning Commission
Development Review Board
PO Box 1293
Albuquerque, NM 87103

Re: LOTS 1-6, COTTONWOOD CROSSING, PHASE II
ALBUQUERQUE, NEW MEXICO

To Whom It May Concern:

As the Trustee, I hereby grant Ronald R. Bohannon and Tierra West, LLC to act as agent on behalf of Trusts of Albert & Mary Black c/o John Black on matters pertaining to any and all of the submittals to the City of Albuquerque of LOTS 1-6, COTTONWOOD CROSSING, PHASE II project.

John F. Black, Trustee
(Print Name & Title)

 Trustee
(Sign Name & Title)

March 1, 2004
(Date)

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

March 1, 2004

Mrs. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Vacation of Private Easements
Tracts 14-A & 14-B, Black Ranch
Zone Atlas Page B-14
Project#: 1002792**

Dear Mrs. Matson:

Tierra West LLC, on behalf of Trust of Albert & Mary Black, requests approval for the vacation of private easements on Tracts 14-A & 14-B, Black Ranch. The site is located at 10042 Coors Boulevard NW between Coors Boulevard NW and Seven Bar Loop NW. The private reciprocal and cross access easements shown on the previously recorded plat were for the benefit of Tracts 13 and 14-B in order to gain access from Coors Boulevard NW. The reciprocal easement was granted by document, which we have attached and the cross access was granted by plat. A private cross access easement was granted and recorded on February 19, 2004 on the current plat.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



Ronald R. Bohannon, PE

Enclosure/s

cc: John Black

JN: 220097
RRB/kk

96115257

2764

Return to: SUELL
Lawyer's Insurance Corp.
TI # 119

RECIPROCAL EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT ("Agreement") is made and entered into as of the 9th day of September, 1996, by and between the individuals named and the Trustee of the three (3) trusts listed on Exhibit "1" attached hereto and incorporated herein by reference (collectively, the "Tract 13 Owners") and the Albert J. Black and Mary Jane Black Revocable Trust dated December 11, 1985 (the "Tract 14 Owner").

RECITALS

- A. The Tract 13 Owners are owners of that certain real property, more particularly described in Exhibit "2" ("Tract 13") attached hereto and made a part hereof.
- B. The Tract 14 Owner is the owner of that certain real property, more particularly described in Exhibit "3" (Tract 14) attached hereto and made a part hereof.
- C. The Tract 13 Owners have Tract 13 under contract to a purchaser who will subdivide, develop and/or sell Tract 13.
- D. The Tract 14 Owner intends to hold Tract 14 for investment.
- E. Tracts 13 and 14 front on Coors Boulevard, NW, with Tract 14 located at a point where a traffic signal regulates automobile traffic upon Coors Blvd. at Seven Bar Loop Road, N.W. If commercial access to the intersection of Coors Blvd. and Seven Bar Loop Road, N.W. was to be permitted from Tract 14, installation of an additional signal light at such intersection would be required (the "4th Leg").
- F. The Tract 14 Owner paid to the City of Albuquerque the cost of the original signal light at the Coors/Seven Bar Loop Road, NW intersection.
- G. The owners of Tract 14 have agreed to the creation of a perpetual, non-exclusive, ingress, egress and access easement (the "Tract 14 Common Driveway") across a portion of Tract 14, more particularly described in Exhibit "4" attached hereto and made a part hereof, for the benefit of the owners of Tract 13, their successors, assigns and grantees.
- H. The owners of Tract 13 have agreed that, subsequent to the platting of Tract 13, the owners of Tract 14 will have a perpetual, non-exclusive, ingress, egress and access easement across the portion of Tract 13 hereafter shown on the plat of Tract 13 as the primary driveway through Tract 13.
- I. The owners of Tracts 13 and 14 agreed to the installation of the 4th Leg to the traffic signals at Coors/Seven Bar Loop Road, NW intersection (with the cost of such 4th Leg paid by the Tract 13 Owners), in order that access to the Coors Blvd./Seven Bar Loop Road, N.W. intersection will be available from both Tracts 13 and 14.
- J. As additional consideration for the granting of the easement described herein by the Owner of Tract 14, and in partial compensation for the expenses previously incurred by the Tract 14 Owner of the existing traffic signal at Coors Blvd./Seven Bar Loop Road, N.W. intersection, the Tract 13 Owners have

agreed to convey Tract 4 of the Partition of the Black Ranch, more particularly described in Exhibit "5" (Tract 4) attached hereto and made a part hereof, to the Tract 14 Owner.

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Tract 13 Owners and the Tract 14 Owner hereby agree as follows:

ARTICLE ONE

THE EASEMENT

1. Grant of Easement

1.1. Grant of Easement to the Tract 13 Owners. The Tract 14 Owner hereby grants and conveys to the Tract 13 Owners, for the use of the owners of Tract 13, their tenants, invitees, licensees, grantees, successors and assigns, an appurtenant, perpetual, non-exclusive easement to, upon, over, and across the Tract 14 Common Driveway for purposes of ingress and egress, accessibility and unrestricted circulation of motor vehicles and pedestrians from, to, and upon Tract 13.

1.2. Grant of Easement to the Tract 14 Owners. The Tract 13 Owners hereby agree that when Tract 13 is platted that the primary (but private) driveway (the "Tract 13 Common Driveway") will be shown on the plat extending in a general north-south direction from Tract 14 to Lot 1A (as Lot 1A is shown on the Plat of Lots 1A, 2A-1 and 2B-1 Northeast Portion of Black Ranch, Bernalillo County, New Mexico, as filed in the office of the County Clerk of Bernalillo County, New Mexico on May 5, 1995 in Volume 95C, folio 164) and will be available to the Owners of Tract 14, their tenants, invitees, licensees, grantees, successors and assigns for purposes of ingress and egress, accessibility and unrestricted circulation of motor vehicles from, to and upon Tract 14.

1.3. Restriction as to Parking of Motor Vehicles. The Tract 13 Owners and the Tract 14 Owner acknowledge that the foregoing grant of easement does not grant any right to park motor vehicles on the Tract 13 Common Driveway or the Tract 14 Common Driveway.

2. Not a Public Dedication. The easements created hereby shall at all times constitute private, non-exclusive easements, which shall not be dedicated to the public or any public authority by either party without the mutual written consent and agreement of all owners of Tract 13 and Tract 14 (as of the date of dedication) and the owners of each platted subdivided lot (as of the date of dedication) within the lands which now compromise Tracts 13 and 14.

3. Improvements to Tract 14 Common Driveway. It is anticipated that the Tract 13 Owners will convey Tract 13 to a third party and that the grantee of the Trust 13 Owners will improve the Tract 14 Common Driveway with asphalt paving prior to the date Tract 14 is developed. It is agreed that the Tract 13 Owners, the Tract 14 Owners, or any grantee, successor or assign of such owners may, at the cost and expense of such owner, improve the Tract 14 Common Driveway with paving and landscaping.

4. Maintenance of Common Driveway(s)

4.1 Prior to Ground Breaking Within Tract 14. Until Tract 14 is subdivided and construction of a building is begun on Tract 14 (as subdivided) the responsibilities for maintenance and repair of the Tract 14 Common Driveway shall be that of the Owners of Tract 13 (or each subdivided parcel within Tract 13) and the Owners of Tract 14 shall have no obligation for maintenance or repair of the Tract 14 Common Driveway. Further, the owners of Tract 13 coincident with the construction of improvements upon Tract 13 shall fence the Tract 14 Common Driveway to protect and secure the portion of Tract 14 not burdened by the Tract 14 Common Driveway.

4.2 Subsequent to Ground Breaking Within Tract 14. Following the subdivision of Tract 14 as evidenced by a recorded subdivision plat of Tract 14 and the commencement of construction of a building on one or more of the subdivided parcels within Tract 14 (as subdivided), the owners of each legal parcel (as now existing or hereafter shown on a subdivision plat recorded in Bernalillo County, New Mexico) within Tract 13 and Tract 14 (hereinafter referred to as a "Parcel") shall be responsible for the maintenance and repair of the portion of the Tract 13 Common Driveway and Tract 14 Common Driveway within such owners' Parcel, at such owner's expense. Each owner of a Parcel shall keep the portion of a Common Driveway located on the owner's Parcel clean, and in good condition and repair, including without limitation, the paving, repairing and resurfacing of such areas when necessary with the type of material originally installed therein or such substitute therefor as shall in all respects be equal thereto in quality, appearance and durability; the removal of debris and waste material and the washing and sweeping of the Common Driveway as required; and the painting and repainting of striping markers as required. The fencing requirement of the last sentence of paragraph 4.1 above shall terminate coincident with ground breaking within Tract 14.

5. Limitation on Obligations. The obligations and liabilities imposed by Paragraphs 3 and 4 hereof on any owner(s) of Tract 13, Tract 14, or any Parcel under this Agreement (the "Obligations") are only for the period of time the owner(s) holds title to Tract 13, Tract 14 or a Parcel. No owner(s) will be responsible for the performance of or liability for the failure to perform any of the Obligations by a grantee of such owner arising after such owner(s) transfers his, hers or its ownership of a Tract or Parcel.

6. Performance of Obligations. Violation of any one or more of the restrictions or covenants contained herein may be restrained or enforced by any court of competent jurisdiction and/or damages may be awarded for any violation. However, nothing herein shall be construed as meaning that damages are an adequate remedy where equitable relief is sought. If the owner of Tract 13, Tract 14 or any Parcel shall fail or refuse to perform any of its respective obligations or duties as set forth in this Agreement, and if such failure or refusal shall continue for thirty (30) days after such defaulting party receives written notice thereof from any other party hereunder (unless, within such thirty (30) day period, such defaulting party has commenced and is diligently pursuing the performance of the obligation or duty specified in such notice), then the party giving such written notice shall have the right (but not the obligation) to perform or pay the obligation or duty which the defaulting party has failed or refused to perform or pay, and, in connection therewith, each party hereto grants to the other party, and its respective agents, employees and independent contractors, full right on, to and from their respective properties for the purposes of performing such obligations or duties. All costs and expenses incurred by any party in

connection with the performance of a defaulting party's obligation or duty shall be repaid by the defaulting party within thirty (30) days after demand, together with interest thereon from the date of demand until repaid at the greater of (1) the maximum rate permitted under applicable law or (2) the rate of eighteen percent (18%) per annum.

Any such claim for repayment, together with interest as aforesaid, shall be a secured right, and a lien therefor in favor of the party who paid or performed the defaulting owner's obligation may attach to the real property (and improvements thereon) described herein which is owned by the defaulting owner effective upon recording of a notice of claim of lien in the office of the County Clerk of Bernalillo County, New Mexico, executed by the party who performed or paid the defaulting owner's obligation, stating the amount due, the name of the defaulting owner, and the legal description of the Parcel owned by such defaulting owner. Such lien shall be subordinate to any mortgage or deed of trust now or hereafter covering any portion of such defaulting party's real property and improvements thereon. A breach of this Agreement or a foreclosure of any such lien shall not defeat or render invalid any such mortgage or deed of trust. If any mortgage holder or beneficiary under any such deed of trust should take title to the defaulting party's real property, by way of foreclosure, or a deed in lieu of foreclosure, title shall be taken free of such lien. It is further agreed that the foregoing lien shall be in addition to any right of subrogation the party paying or performing such obligation or duty may have to any mechanics', contractors' or materialmen's liens. The party who paid or performed the defaulting owner's obligation may bring an action at law against the defaulting owner personally obligated to pay the same for a money judgment or to foreclose the lien against the Parcel, or both, and interest, costs and reasonable attorneys' fees of any action shall be added to the amounts due and owing.

ARTICLE TWO

CONVEYANCE OF TRACT 4 AND OBLIGATION TO PAY COSTS OF ADDITIONAL SIGNAL LIGHTING

7. Tract 4. The Tract 13 Owners agree to convey Tract 4 to the Owners of Tract 14 within ten (10) business days of execution of this Agreement, by special warranty deed, subject to all taxes and assessments for the year 1996 and subsequent years.

8. Payment of Costs of 4th Leg. The Tract 13 Owners have contracted with the City of Albuquerque for the installation of the 4th Leg to the signal lights at the Coors Blvd./Seven Bar Loop Road, NW intersection and have paid all costs required by the City of Albuquerque for installation of the 4th Leg and related costs.

ARTICLE THREE

MISCELLANEOUS

9. Integration. This Agreement constitutes the sole and entire agreement between the parties with respect to the matters contained herein. Any and all prior or contemporaneous negotiations and undertakings, oral or written, with respect to the subject matter of this Agreement are hereby superseded.

10. **Amendments in Writing.** No termination or modification of, deletion from, or amendment to this Agreement shall be effective unless made in writing and executed by the owner of each Parcel subject hereto.

11. **Successors and Assigns.** The benefits and burdens of the respective easements rights established hereunder shall run with Tract 13 and Tract 14 and each Parcel in perpetuity and shall inure to the benefit of and be binding upon the Tract 13 Owners, the Tract 14 Owner, and each owner of a Parcel, their respective heirs, devisees, personal representatives, grantees, assigns and successors in title.

12. **Attorneys' Fees and Costs.** In the event any party to this Agreement or any owner of any Parcel subject to this Agreement shall commence any litigation or other legal proceedings against any other owner to enforce the provisions of this Agreement or to declare rights and/or obligations under this Agreement, the prevailing party shall recover from the losing party its costs, including without limitation, reasonable attorneys' fees.

13. **Notices.** Any notice, request, demand, instruction or other communication to be given to any party under this Agreement shall be in writing and personally delivered or sent by registered or certified mail, postage prepaid, return receipt requested, as follows:

Tract 13 Owners:

Mr. Richard Groff
5312 Chapel Drive, NW
Albuquerque, New Mexico 87114

The Tract 14 Owner:

Mr. A. Rolfe Black
Co-Trustee
2505 Clark Carr Loop, SE
Albuquerque, New Mexico 87106

As to any grantee of Tract 13, Tract 14, or any Parcel, the address shown on the deed of conveyance (or the address shown on the records of the Bernalillo County Assessor for years subsequent to the year of recording of the deed of the conveyance) shall be the address at which notice shall be given. Notice shall be deemed to have been given when personally delivered (personal delivery includes delivery to the address by public courier such as Federal Express, with a signed slip by the courier that the notice was delivered), or, if mailed, three (3) business days following its deposit in the United States mail, postage prepaid, certified mail, return receipt requested. The addresses and addressees for the purpose of this paragraph may be changed by giving written notice of such change in the manner provided herein for giving notice.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement the day and year first written above.

The "TRACT 13 OWNERS"

Amy G. Black
Amy G. Black, a single woman

Randolph E. Black
Randolph E. Black, a married man dealing with his sole and separate property

Sally E. Black Ruscitti
Sally E. Black Ruscitti, a married woman dealing with her sole and separate property

Jennifer Briscoe Spradlin
Jennifer Briscoe Spradlin, a married woman dealing with her sole and separate property

Robert Briscoe II
Robert Briscoe II, a married man dealing with his sole and separate property

June Briscoe Groff
June Briscoe Groff, a married woman dealing with her sole and separate property

The three (3) Trusts dated December 23, 1981, for the benefit of Sharon Smart Kellum, Kathryn Smart Morgan and Warren A. Smart II

By: William E. Black
WILLIAM E. BLACK
Trustee

The following, as a spouse of one of the above named grantors, hereby ratifies and confirms the separate property ownership of his or her respective spouse in the foregoing described real estate and joins in this Reciprocal Easement Agreement.

Frank Ruscitti
Frank Ruscitti, husband of Sally Black Ruscitti

Marcella Renee Black
Marcella Renee Black, wife of Randolph E. Black

Richard Groff
Richard Groff, husband of June Briscoe Groff

Maryvonne Briscoe
Maryvonne Briscoe, wife of Robert Briscoe II

Ronald G. Spradlin
Ronald G. Spradlin, husband of Jennier Briscoe Spradlin

The "TRACT 14 OWNER"

Albert J. Black and Mary J. Black
Revocable Trust dated December 11, 1985

By: Mary J. Black
Mary J. Black, Co-Trustee

By: A. Rolfe Black
A. Rolfe Black, Co-Trustee

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

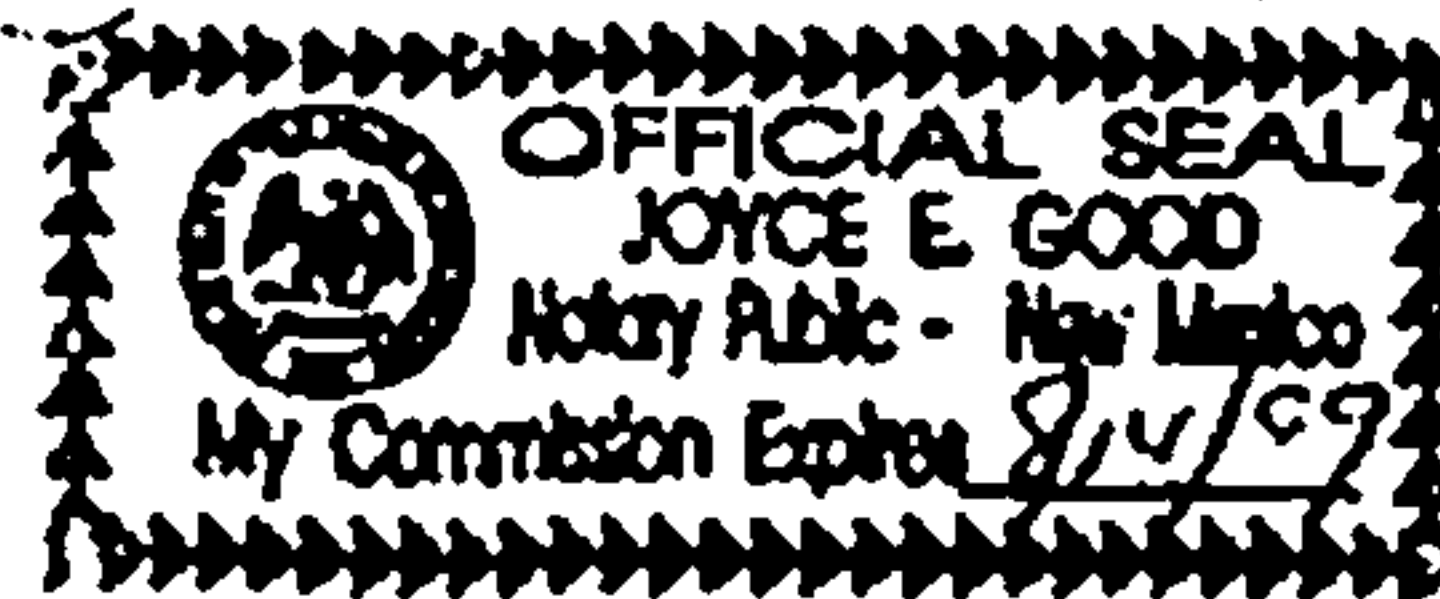
ACKNOWLEDGMENT

The foregoing instrument was acknowledged before me this 15 ^{October} day of September, 1996, by Mary Jane Black and A. Rolfe Black, as Co-Trustees of the Albert J. Black and Mary J. Black Revocable Trust on behalf of said Trust.

Joyce E. Good
Notary Public

My Commission Expires:

8/14/99



STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

ACKNOWLEDGMENT

This instrument was acknowledged before me on September 20, 1996, by Amy Gayle Black, a single woman.

My commission expires:

May 19, 1999

Lucy M. Contreras
Notary Public

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

ACKNOWLEDGMENT

This instrument was acknowledged before me on September 20, 1996, by Sally Black Ruscitti, a married woman dealing with her sole and separate property and by Frank Ruscitti, her husband.

My commission expires:

May 19, 1999

Lucy M. Contreras
Notary Public

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

ACKNOWLEDGMENT

This instrument was acknowledged before me on September 20, 1996, by Randolph E. Black, a married man dealing with his sole and separate property and by Marcella Renee Black, his wife.

My commission expires:

May 19, 1999

Lucy M. Contreras
Notary Public

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

ACKNOWLEDGMENT

This instrument was acknowledged before me on September , 1996, by June Briscoe Groff, a married woman dealing with her sole and separate property and by Richard Groff, her husband.

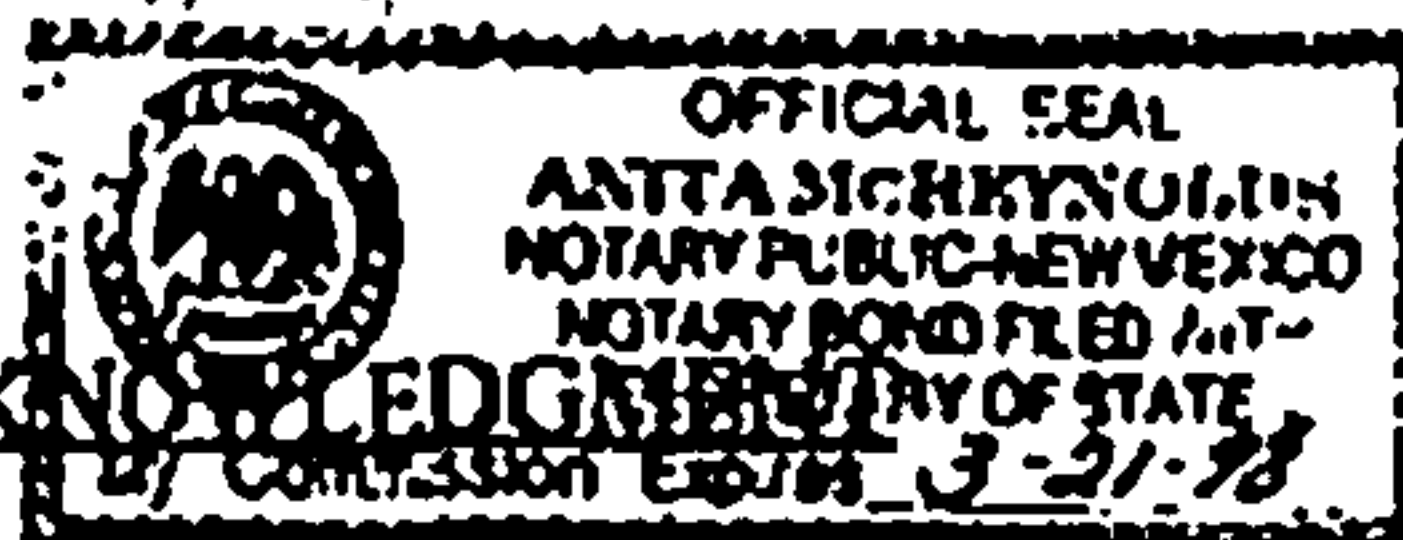
My commission expires:

3-21-98

Paula M. Reynolds
Notary Public

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

ACKNOWLEDGMENT



This instrument was acknowledged before me on September 20, 1996, by Robert Briscoe II, a married man dealing with his sole and separate property and by Maryvonne Briscoe, his wife.

My commission expires:

May 19, 1999

Lucy M. Contreras
Notary Public

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

ACKNOWLEDGMENT

This instrument was acknowledged before me on September 20, 1996, by Jennifer L. Spradlin, a married woman dealing with her sole and separate property and by Ronald G. Spradlin, her husband.

My commission expires:

May 19, 1999

Lucy M. Contreras
Notary Public

2772

STATE OF NEW MEXICO)
) ss. ACKNOWLEDGMENT
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on September 20, 1996, by William E. Black, Trustee under Trust dated December 23, 1981, for the benefit of Warren A. Smart II, as Trustee under Trust dated December 23, 1981, for the benefit of Kathryn Smart Morgan, and as Trustee under Trust dated December 23, 1981, for the benefit of Sharon Smart Kellum.

My commission expires:

May 19, 1999

Lucy M. Contreras
Notary Public

11200

The Tract 13 Owners

Amy G. Black, a single woman; Randolph E. Black, a married man dealing with his sole and separate property; Sally E. Black Ruscitti, a married woman dealing with her sole and separate property; Robert Briscoe II, a married man dealing with his sole and separate property; Jennifer Briscoe Spradlin, a married woman dealing with her sole and separate property; June Briscoe Groff, a married woman dealing with her sole and separate property; and William E. Black as Trustee under the three (3) Trusts dated December 23, 1981, for the benefit of Sharon Smart Kellum, Kathryn Smart Morgan and Warren A. Smart II.

LEGAL DESCRIPTION OF TRACT 13TRACT 13

BEGINNING at the northwest corner of the tract herein described, said corner being the southwest corner of Lot 1, REPLAT MAP FOR TRACT C-2, NORTHEAST PORTION OF BLACK RANCH, BERNALILLO COUNTY, NEW MEXICO, filed in the office of the County Clerk of Bernalillo County, New Mexico on June 15, 1989 in Volume C39, Folio 88, a point on the southeasterly right-of-way line of Coors Road, N.W., whence the New Mexico Highway Commission Control Monument "NM-448-N12" having New Mexico State Plane Coordinates for Central Zone: X=381,108.54 and Y=1,528,910.94 bears N22°25'27"E, a distance of 646.04 feet and from said point of beginning running thence along the southerly boundary line of said Lot 1, S57°25'10"E, a distance of 227.03 feet to the southeast corner of said Lot 1, a point on the northwesterly right-of-way line of the Corrales Acequia (Corrales Main Canal), thence running along the easterly boundary line of the tract herein described and also along said right-of-way line, S30°20'41"W, a distance of 50.04 feet to the northeast corner of said Tract 13, thence running along the easterly boundary line of said Tract 13 and also along said right-of-way line, S30°20'41"W, a distance of 100.22 feet to a point of curvature; thence, 116.17 feet along the arc of a curve to the left having a radius of 219.63 feet and a chord which bears S15°11'32"W, a distance of 114.82 feet to a point of tangency; thence, S00°02'22"W, a distance of 327.94 feet to a point; thence, S07°40'52"W, a distance of 168.24 feet to the southeast corner of said Tract 13, thence leaving said right-of-way line and running thence along the southerly boundary line of said Tract 13, N59°32'29"W, a distance of 519.28 feet to the southwest corner of said Tract 13, a point on the southeasterly right-of-way line of Coors Road, N.W., thence running along the westerly boundary line of said Tract 13 and also along said right-of-way line, N32°42'00"E, a distance of 708.00 feet to the northwest corner of the tract herein described, a point on the westerly boundary line of said relinquished Corrales Main Canal right-of-way line, thence running along the northerly boundary line of the tract herein described, S57°25'10"E, a distance of 3.00 feet to the point and place of beginning.

Tract contains 5.5152 acres, more or less.

LEGAL DESCRIPTION OF TRACT 14**TRACT 14**

A certain tract of land situate on M.R.G.C.D. Map 22, Bernalillo County, New Mexico, and being more particularly described as follows:

BEGINNING at the northwest corner, a point on the easterly right of way line of New Mexico State Highway 448, whence the U.S.B.R. Monument No. A6-16 bears N42°31'55"E, 2410.82 feet and from said beginning point running thence, S59°32'29"E, 519.28 feet to the northeast corner, a point on the westerly right of way line of the Corrales Main Canal; thence continuing along said right of way, S07°40'52"W, 118.40 feet to a point of curvature; thence, 184.84 feet along the arc of a curve to the right, having a radius of 250.00 feet and a chord bearing S28°51'45"W, 180.66 feet to a point of tangency; thence continuing along said right of way, S50°02'38"W, 240.31 feet to a point of curvature; thence, 186.31 feet along the arc of a curve to the right, having a radius of 335.00 feet and a chord bearing S65°58'34"W, 183.92 feet to a point of tangency; thence S81°54'30"W, 170.08 feet to the southeast corner; thence, S81°36'33"W, 371.16 feet to the southwest corner, a point on the easterly right of way line of New Mexico State Highway 448; thence continuing along said right of way, N32°42'00"E, 1005.44 feet to the point and place of beginning. Tract contains 9.83 acres, more or less.

EXHIBIT "3"

LEGAL DESCRIPTION OF TRACT 14 COMMON DRIVEWAY

A certain tract of land situate within the Town of Alameda Grant in projected Section 8, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being a northwesterly portion of Tract 14, BLACK RANCH as the same is shown and designated on a Plat of Survey entitled "BLACK RANCH, BERNALILLO COUNTY, NEW MEXICO", prepared by Bohannon, Westman and Huston in July, 1976, and being more particularly described as follows:

BEGINNING at northwest corner of the tract herein described, a point on the northwesterly boundary line of said Tract 14 and also being a point on the southeasterly right-of-way line of Coors Boulevard, whence the New Mexico Highway Commission Control Monument "NM-448-N12" having New Mexico State Plane Coordinates for Central Zone: X=381,108.54 and Y=1,528,910.94 bears N28°32'16"E, a distance of 1546.49 feet and the northwest corner of said Tract 14 bears N32°42'00"E, a distance of 198.73 feet and from said point of beginning leaving the northwesterly boundary line of said Tract 14 and also said right-of-way line and running thence along the northerly boundary line of the tract herein described, S40°23'27"E, a distance of 130.65 feet to a point; thence, S57°18'00"E, a distance of 80.00 feet to a point of curvature; thence, 47.12 feet along the arc of a curve to the left having a radius of 30.00 feet and a chord which bears N77°42'00"E, a distance of 42.43 feet to a point of tangency; thence, N32°42'00"E, a distance of 215.93 feet to the most northerly corner of the tract herein described, a point on the boundary line common to Tracts 13 and 14 of said BLACK RANCH, thence running along the boundary line common to said Tracts 13 and 14, S59°32'29"E, a distance of 30.02 feet to the northeast corner of the tract herein described, thence leaving the boundary line common to said Tracts 13 and 14 and running thence along the southeasterly boundary line of the tract herein described, S32°42'00"W, a distance of 217.10 feet to a point of curvature; thence, 94.25 feet along the arc of a curve to the right having a radius of 60.00 feet and a chord which bears S77°42'00"W, a distance of 84.85 feet to a point of tangency on the southwesterly boundary line of the tract herein described; thence, N57°18'00"W, a distance of 205.00 feet to the southwest corner of the tract herein described, a point on the northwesterly boundary line of said Tract 14 and also being a point on the southeasterly right-of-way line of Coors Boulevard, thence running along the northwesterly boundary line of said Tract 14 and also along said right-of-way line, N32°42'00"E, a distance of 68.00 feet to the point and place of beginning

Tract contains 17,141 square feet or 0.3935 acre, more or less.

2777

LEGAL DESCRIPTION OF TRACT 4

TRACT 4

A certain tract of land situate on M.R.G.C.D. Map 25, Bernalillo County, New Mexico, within the Alameda Grant, and being more particularly described as follows:

BEGINNING at the southwest corner, a point on the easterly right of way of New Mexico State Highway 448, whence the State Highway Commission Monument NM448-N10 bears N40°21'24"E, 886.35 feet and from said beginning point running thence, N40°32'30"E, 83.14 feet to a right of way marker Station 424+00; thence continuing along said right of way N40°33'42"E, 122.42 feet to the northwest corner; thence 549°26'18"E, 58.63 feet to the northeast corner, a point on the westerly right of way line of the Corrales Main Canal; thence continuing along said right of way, 540°29'30"W, 37.77 feet to a point of curvature; thence, 174.45 feet along the arc of a curve to the left, having a radius of 362.72 feet and a chord bearing S26°42'48"W, 172.77 feet to the southeast corner; thence leaving said right of way, N49°27'33"W, 100.00 feet to the point and place of beginning. Tract contains 0.33 acres, more or less.

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

1996 OCT 21 AHID: 31

EXHIBIT "5"

812-28-2724-
JJC
CO. LITTON
C. LITTON

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Trust of Albert + Mary Black

AGENT Teira West

ADDRESS _____

PROJECT & APP # 1002792

PROJECT NAME Cottonwood Crossing II

\$ 20.00 469099/4916000 Conflict Management Fee

\$ 45.00 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 65.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

TIERRA WEST LLC 8509 JEFFERSON NE ALBUQUERQUE, NM 87113 (505) 858-3100		1584
		95-677/1070
DATE <u>3.01.04</u>		
PAY TO THE ORDER OF <u>City of Albuquerque</u>	***DUPLICATE*** City of Albuquerque Division DOLLARS	\$ <u>65.00</u>
<u>Sixty five and 00/100</u>		
03/02/2004 12:17PM HIGH DESERT STATE BANK Member FDIC 8110 Ventura NE Albuquerque, NM 87122	LOC: ANN	03/02/2004 12:17PM LOC: ANN
RECEIPT# <u>00020306</u> US# 008 TRANS# 0007		
Account 469099 Fund 0110		
FOR <u>Account 469099 Fund 0110</u>		
Activity 4710VVU		
Trans Amt <u>001584.00</u>	Trans Amt <u>45.00</u>	Trans Amt <u>45.00</u>
		CK CHANGE \$0.00

Thank You



SUBDIVISION	Supplemental form S	ZONING	Supplemental form Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation & Zone Establishment	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Change	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Text Amendment	
<input type="checkbox"/> ...for Subdivision Purposes		APPEAL / PROTEST of...	A
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>TRUST OF ALBERT & MARY BLACK</u>	PHONE: <u>792.3713</u>
ADDRESS: <u>3613 NM STATE RD 528 NW</u>	FAX: <u>792.3735</u>
CITY: <u>ABQ</u> STATE <u>NM</u> ZIP <u>87114</u>	E-MAIL: _____
Proprietary interest in site: <u>OWNER</u>	
AGENT (if any): <u>TIERRA WEST LLC</u>	PHONE: <u>858-3100</u>
ADDRESS: <u>8509 JEFFERSON NE</u>	FAX: <u>858-1118</u>
CITY: <u>ABQ</u> STATE <u>NM</u> ZIP <u>87113</u>	E-MAIL: <u>twllc@tierrawestllc.com</u>

DESCRIPTION OF REQUEST: FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS 14A & 14B Block: _____ Unit: _____

Subdiv. / Addn. BLACK RANCH

Current Zoning: SU-1 FOR C-1 & REST.(ETC.) & SU-1 O-1 Proposed zoning: SAME

Zone Atlas page(s): B14 No. of existing lots: 2 No. of proposed lots: 6

Total area of site (acres): 9.76 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 101406519031820301 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 10042 COORS BLVD NW
Between: COORS BLVD NW and SEVEN BAR LOOP NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): DRB-94-358/SRP5-98-37/DRB-90-361/DRB-98-61/O3EPC-01085/O3EPC-01086/O3DRB-01780/O3DRB-2084 -- PROJ#: 1002792

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE _____ DATE 1/30/04

(Print) RONALD R. BOHANNAN, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 00184</u>	<u>FP</u>	<u>5(3)</u>	<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	<u>Conf. mem. Fee</u>	_____	<u>\$ 20⁰⁰</u>
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>Feb. 18, 04</u>			Total <u>\$ 20⁰⁰</u>
Planner signature / date <u>[Signature] 2/2/04</u>		Project # <u>1002792</u>		

FORM S(3): SUBDIVISION D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, ~~4 copies for internal routing.~~
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification *TURNS IN & PROCESSING - KK*
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, P.E.
Applicant name (print)
[Signature]
Applicant signature / date
1/30/04

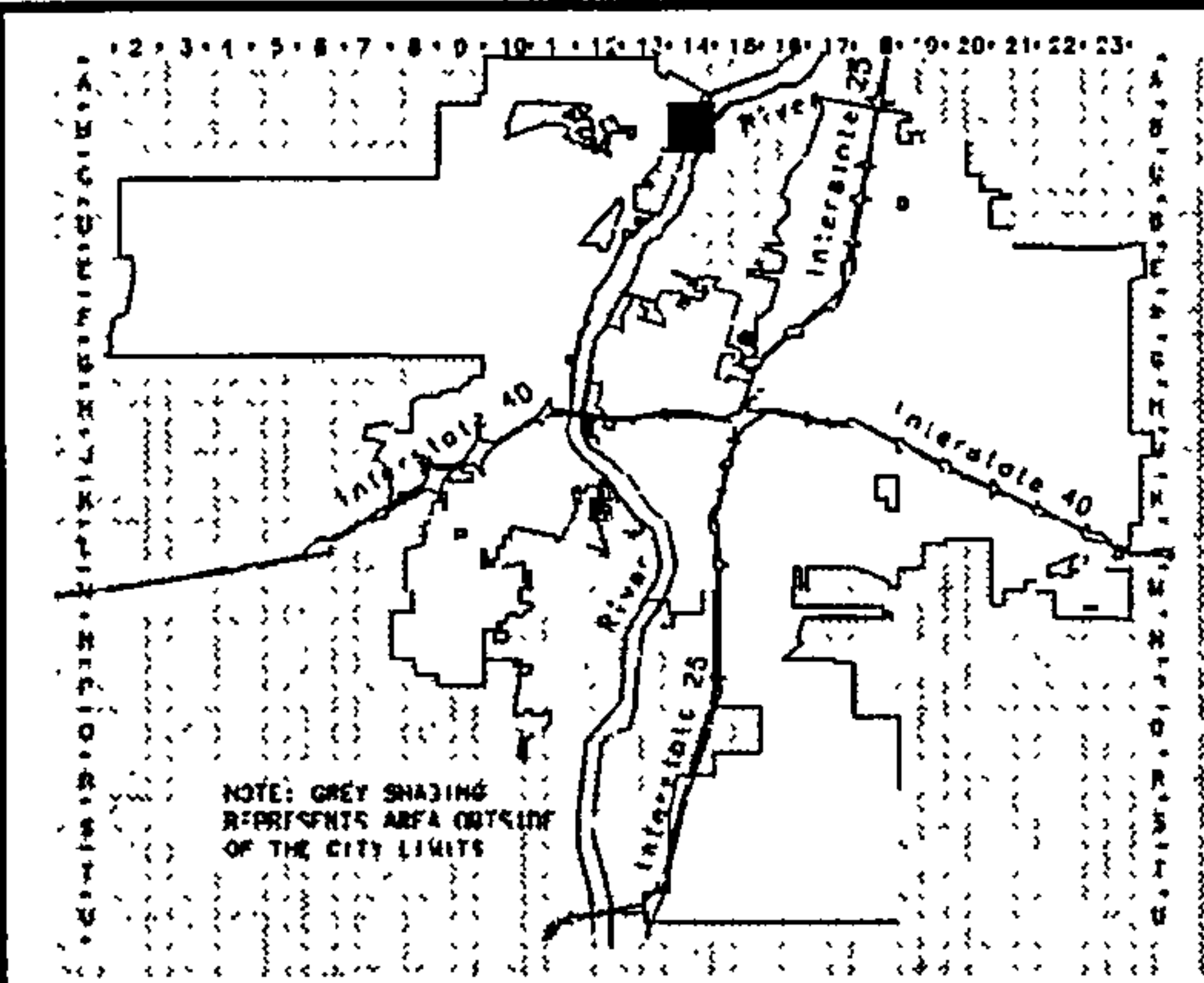
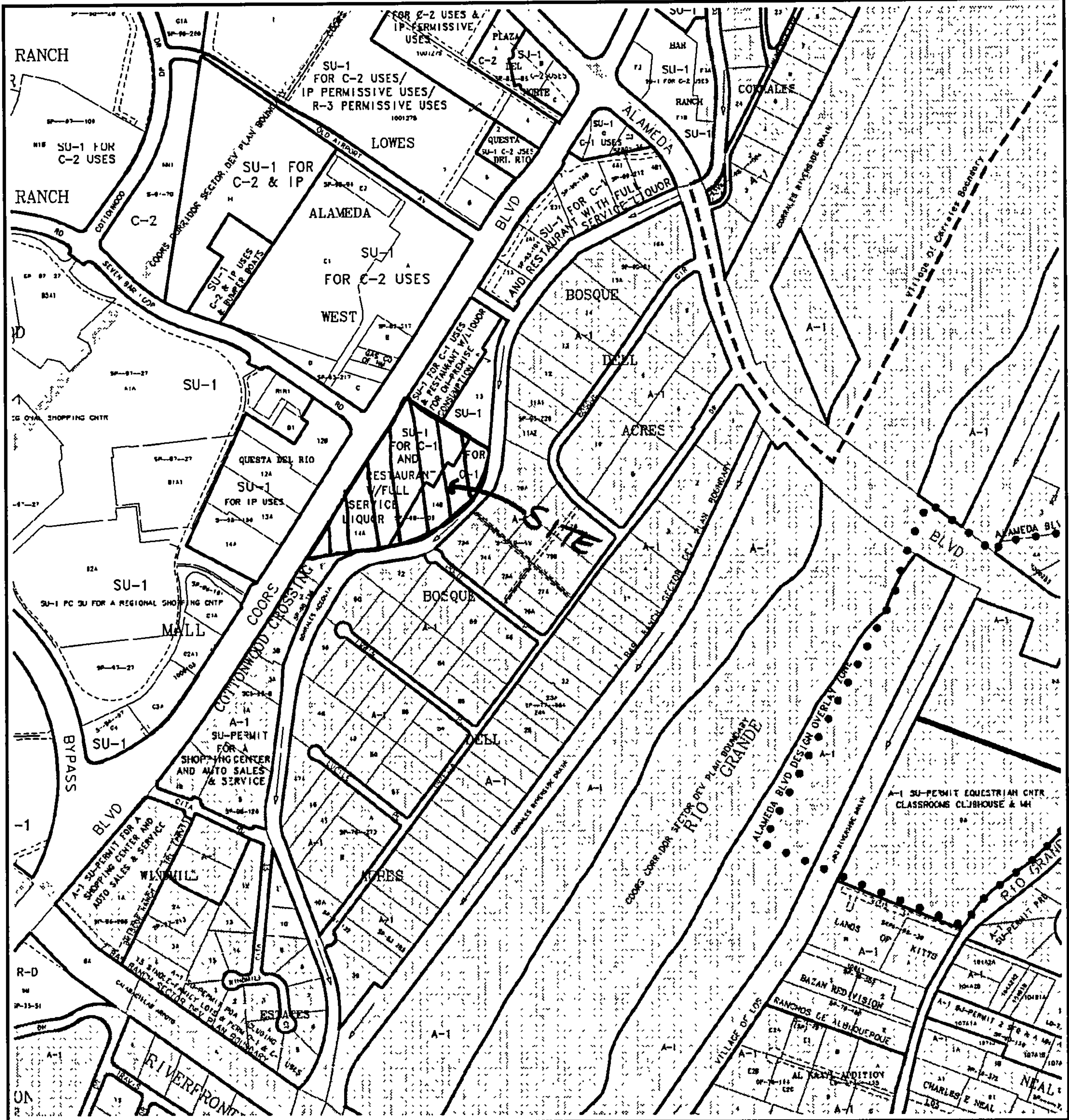


Form revised 10/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

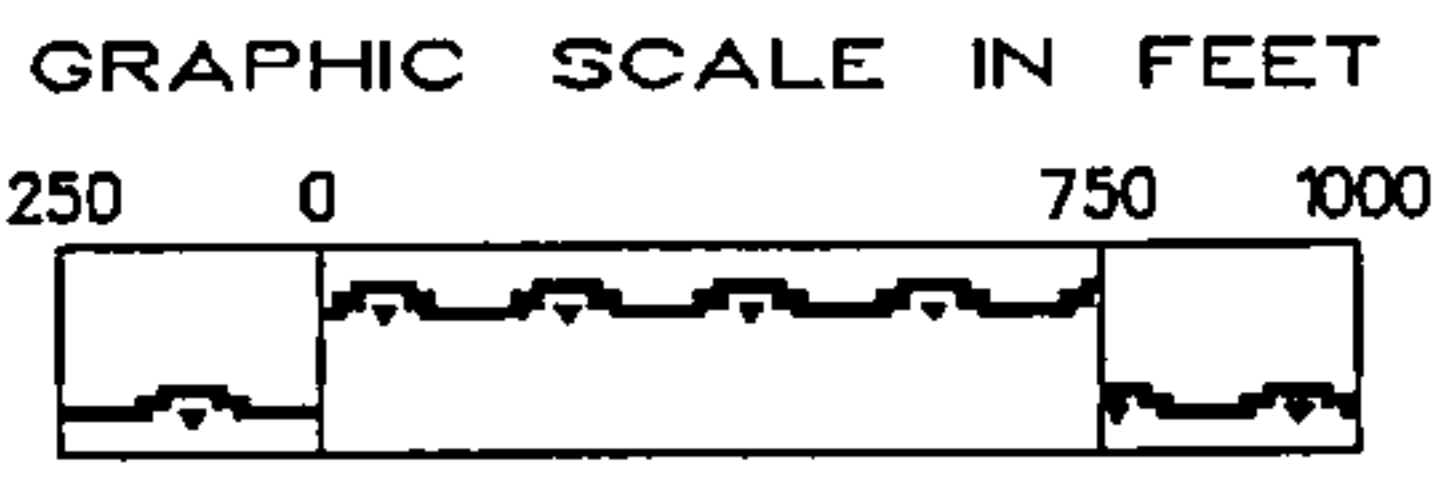
Application case numbers
040RB - 00184

[Signature] 2/2/04
Planner signature / date
Project # 1002792



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT

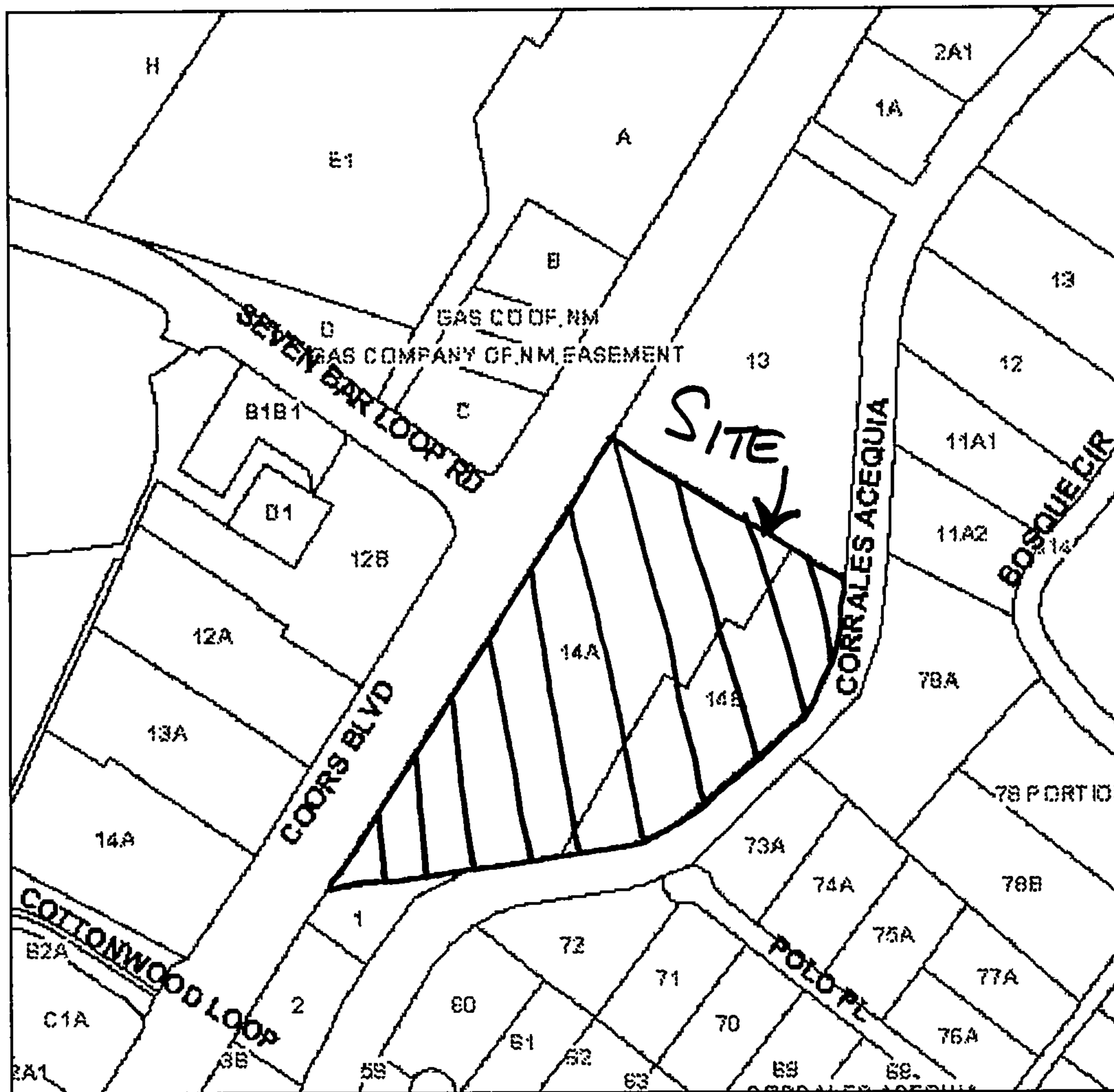
© Copyright 2003



Zone Atlas Page

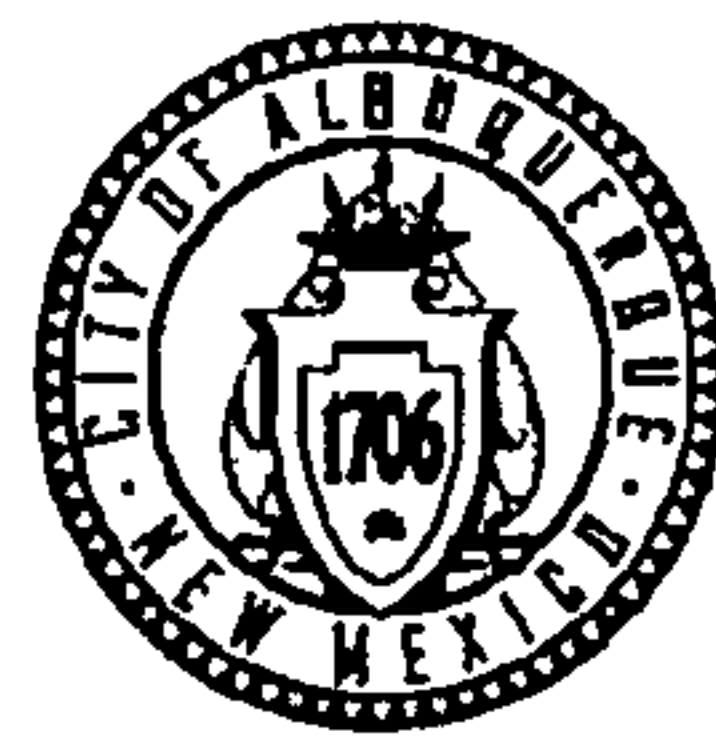
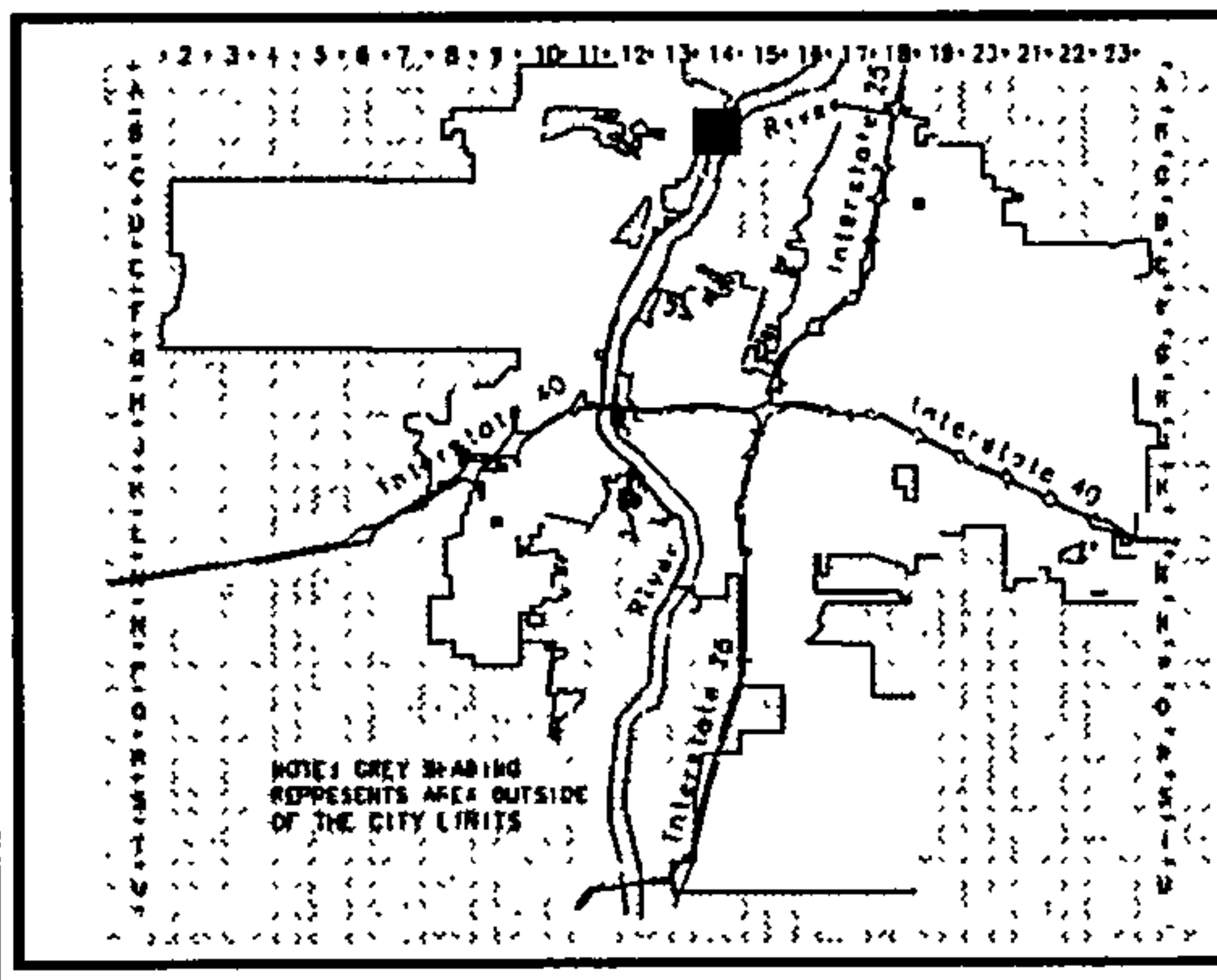
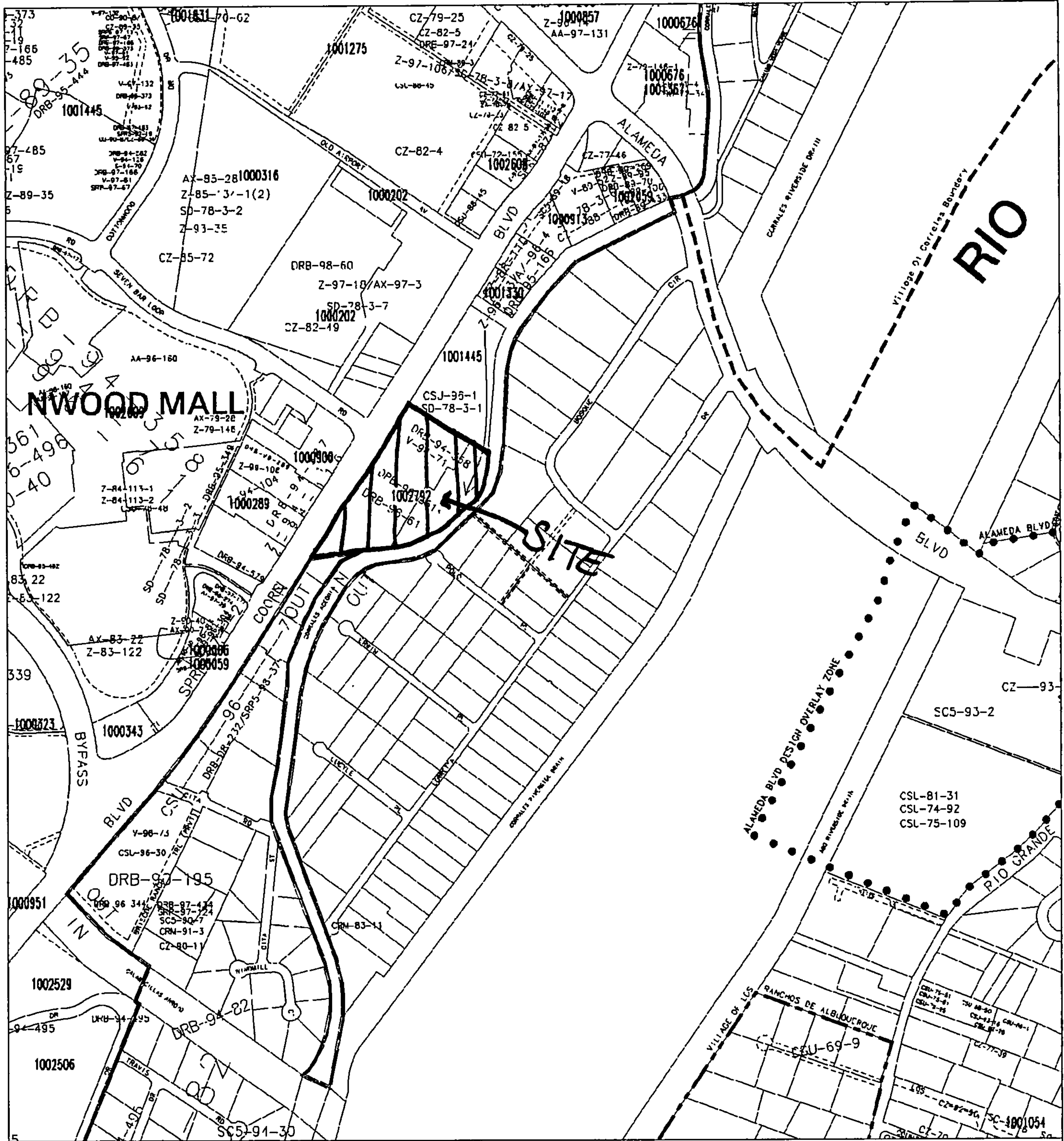
B-14-Z

Map Amended through July 31, 2003



Selected Address: 10042 COORS BLVD NW
Zoning: SU-1 FOR C-1 AND RESTAURANT W/ FULL SERVICE LIQUOR
Lot/Block/Subd: 14A , 0000 , BLACK RANCH
ZoneMap Page: B14
Jurisdiction: CITY
UPC #: 101406519031820301
Owner Name: BLACK ALBERT J C/O BLACK JOHN F

Selected Address: 99999 COORS BLVD NW
Zoning: SU-1 FOR O-1
Lot/Block/Subd: 14B , 0000 , BLACK RANCH
ZoneMap Page: B14
Jurisdiction: CITY
UPC #: 101406522431320303
Owner Name: BLACK ALBERT J C/O BLACK JOHN F



A G I S
 ANGELO GARCIA IRRIGATOR SERVICES
 PLANNING DEPARTMENT
 © Copyright 2004

History Map B-14

January 13, 2004

Scale is Approximately 1" = 750'

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

January 28, 2004

Mrs. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Final Plat Approval
Tracts 14A & 14B, Black Ranch to be known as Tract 1-6, Cottonwood Crossings
Phase II
DRB Project#: 1002792; Zone Atlas Page B-14

Dear Mrs. Matson:

Tierra West LLC, on behalf of The Trust of Albert & Mary Black, requests approval of the Final Plat for the above-referenced project. The site is located at 10042 Coors Boulevard NW, east of Coors Boulevard NW and the intersection of Seven Bar Loop NW.

On December 17, 2003 the DRB approved the Preliminary Plat and Infrastructure List, and Vacation of easements. We have submitted the SIA for processing. In reference to the perimeter walls, there is no perimeter walls on this project with the exception of a wall around the west and north side of the pond to protect the welfare and safety of the citizens.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: John Black

JN: 220097
RRB/kk

15. Project # 1002792

03DRB-01780 Major-Vacation of Public Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as COTTONWOOD CROSSING) zoned SU-1 for C-1 & Rest (ETC) & SU-1,O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s).[REF: 03EPC-01085 & 01086] [Deferred from 11/12/03 & 11/26/03 & 12/10/03] (B-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

03DRB-01945 Minor-SiteDev Plan Subd/EPC

03DRB-01946 Minor-SiteDev Plan BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES, agents for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as COTTONWOOD CROSSING) zoned SU-1 for C-1 & Rest (ETC) & SU-1, O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s).[REF: 03EPC-01085 & 01086, 03DRB-01780] [Debbie Stover, EPC Case Planner] [Deferred from 11/26/03 & 12/10/03] (B-14) **THE SITE PLAN FOR SUBDIVISION AND SITE PLAN FOR BUILDING PERMIT WERE APPROVED AND DELEGATED TO PLANNING FOR EPC CONDITIONS AND UTILITIES DEVELOPMENT FOR FIRE MARSHAL'S APPROVAL.**

03DRB-02084 Minor-Prelim&Final Plat Approval

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as COTTONWOOD CROSSING) zoned SU-1 for C-1 & Rest. (ETC) & SU-1 O-1, located on COORS BLVD. NW, between COORS BLVD. NW and SEVEN BAR LOOP NW containing approximately 10 acre(s). [REF: DRB-94-358, DRB-98-61, 03EPC 01086] (B-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12-17-03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12-17-03 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT APPROVAL: PROVIDE ACCESS TO LOTS 1 AND 3. FINAL PLAT WAS INDEFINITELY DEFERRED FOR SIA.**

27th

No. Of Lots 6

Nearest Major Streets COORS BOULEVARD NW

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 6th day of February, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and THE TRUSTS OF ALBERT J. AND MARY J. BLACK C/O JOHN BLACK ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] A TRUST, whose address is 3613 NM STATE HWY 528 STE. H, ALBUQUERQUE, NM 87114 and whose telephone number is 505.792.3713, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] TRACTS 14-A & 14-B, BLACK RANCH, recorded on JUNE 3, 19 98 in the records of the Bernalillo County Clerk at Book 98C, Folio 157 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] THE TRUSTS OF ALBERT J. AND MARY J. BLACK C/O JOHN BLACK ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as LOTS 1, 2, 3, 4, 5, & 6, COTTONWOOD CROSSING PHASE II describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 17TH day of DECEMBER, 2005 ("Construction Completion Deadline"), at no cost to the City. The improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 7290.81.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board (DRB), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an



AGIS ELECTRONIC SUBMITTAL FORM

DRB Project Case #: 1002792

Subdivision Name: Cottonwood Crossing, Phase II - Lots 1 thru 6

Surveyor: Russ P. Hugg

Company/Agent: Surv Tek, Inc.

Contact Person: Karen Kline

E-mail: 858-3100

Phone: russhugg@swcp.com

DXF Received Date: 2/2/2004

Hard-Copy Date: 2/3/2004

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other

Russ P. Hugg

2/4/04

Approved

Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only

Copied cov2795 to agiscov on 2/4/2004. Contact person notified on 2/4/2004

To be Filed before Plat Filed

DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS

THIS DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS (this "Declaration") is made this ___ day of _____, 2004, by A. WADE BLACK and JOHN F. BLACK, Co-Trustees of the ALBERT J. BLACK AND MARY J. BLACK REVOCABLE TRUST (collectively, the "Declarant").

WHEREAS, the Declarant owns the following described real estate:

Lots 1, 2, 3, 4, 5 and 6, as said Lots are shown and designated on the Plat (hereinafter, the "Plat") entitled "Lots 1, 2, 3, 4, 5 and 6 Cottonwood Crossing, Phase II (being a Replat of Tracts 14-A and 14-B, Black Ranch), within the Town of Alameda Grant in Projected Section 8, Township 11 North, Range 3 East, NMPM, City of Albuquerque, Bernalillo County, New Mexico, filed in the office of the county clerk for Bernalillo County, New Mexico, on _____, 2003, in Volume ___, Folio (collectively, the "Premises"); such Premises shall be replated after the recordation of this Declaration, designating such 6 lots as 8 lots, and such replat shall be incorporated by reference herein and shall be referred to herein as the "Plat" after recordation thereof in the office of the county clerk for Bernalillo County;

WHEREAS, the Declarant desires to develop the Premises as an integrated development for the mutual benefit of each parcel of land comprising the Premises and, therefore, wishes to establish certain easements, covenants and restrictions on the Premises;

WHEREAS, in order to preserve the quality and harmonious development of the Premises, the Declarant desires to impose upon the Premises certain protective covenants, conditions and restrictions governing the parking, access, drainage, utilities, landscaping, lighting, signage, maintenance and use of the Premises;

WHEREAS, the Premises shall be owned, held, sold, conveyed, and/or leased subject to these provisions;

NOW, THEREFORE, the Declarant hereby certifies and declares that all of the Premises shall be owned, held, sold, leased, exchanged, conveyed, occupied, improved, maintained and used subject to the covenants, conditions and restrictions hereinafter set forth, all of which shall run with the right, title and/or interest in and to the Premises, and/or any part or parts thereof, and shall be binding upon and inure to the benefit of the present and all future owners of the Premises and/or any part or parts thereof.

ARTICLE I DEFINITIONS

The following terms shall have the meanings specified below.

1.01. Building Area(s). The Building Areas in the Premises are the portions of the Premises upon which buildings or other improvements are constructed on a Tract from time to time in accordance with approved plans and specifications approved by the City of Albuquerque and/or Bernalillo County, and shall consist of the area within or attached to the exterior surfaces of the exterior walls of any heated building or structure. The approximate locations of the original Building Areas, to the extent they are known at this time, are shown on the Site Plan for Subdivision, the Site Plan for Building Permit, and the related grading, drainage, master utility, landscape and other plans, as approved by the City of Albuquerque, Bernalillo County, New Mexico (reference City of Albuquerque Project No. _____ and City EPC Case Numbers _____ and _____).

1.02. Common Area(s). The Common Areas are all real property within the Premises except the Building Areas and the Limited Common Areas; provided, those portions of the Building Areas upon which buildings are not constructed shall be deemed to be Common Areas until such time as the initial construction of buildings thereon commences. The Common Areas shall include, but not be limited to, parking lots, landscaping, lighting, curbs, sidewalks, drainage facilities, driveways and any other Common Area improvements as specifically designated and/or required by the City or the Tract Owners as Common Areas for the common benefit of the project, excluding the Building Areas and the Limited Common Areas.

1.03. Date Hereof. The Date Hereof shall mean the date of execution of this Declaration by all parties hereto, as evidenced by the date first above written.

1.04. Interest Rate. The Interest Rate shall mean the rate of eighteen percent (18%) per annum or two percentage points over the U.S. Prime Rate published in the Wall Street Journal in the latest edition thereof published prior to the date such interest commences, whichever is greater, provided that the Interest Rate shall not exceed the maximum rate permitted by law.

1.05. Limited Common Area(s). That portion of the Premises lying adjacent or near to the Building Areas that are designated on Site Plan for Subdivision, the Site Plan for Building Permit, and the related grading, drainage, master utility, landscape and other plans, as approved by the City of Albuquerque, Bernalillo County, New Mexico, (reference City of Albuquerque Project No. _____ and City EPC Case Numbers _____ and _____) as dining areas, play areas, trash corrals, plaza areas, drive-up lanes and drive-up facilities, and delivery lanes to be constructed on the Premises and used with respect to specific Building Areas, and shall be for the exclusive use by the owner of the Tract on which such improvements are located and its customers, invitees, licensees, agents and employees.

1.06. Majority Parties. The Majority Parties shall mean those Parties who, collectively, have fee simple title to a total of 67% of the square footage of land within the Premises.

1.07. Occupant. Occupant shall mean any person or legal entity from time to time entitled to use and occupancy of any portion of a building in the Premises under an ownership right or any lease, sublease, license, concession or other similar agreement.

1.08. Permittees. Permittees shall mean the Tract Owners and all Occupants and their directors, employees, agents, contractors, customers, vendors, suppliers, visitors, invitees, licensees and concessionaires insofar as their activities relate to the intended use of the Premises.

1.09. Site Plan(s). Site Plan(s) shall mean the Site Plan for Subdivision, the Site Plan for Building Permit, and the related grading, drainage, master utility, landscape and other plans, as approved by the City of Albuquerque, Bernalillo County, New Mexico, (reference City of Albuquerque Project No. _____ and City EPC Case Numbers _____ and _____), and any amendments thereto or and any later submitted site plan pertaining to a Tract once such has received final approval from the City of Albuquerque.

1.10. Tract. Tract shall mean those tracts referred to as Tracts 14 _____ on the Plat, and/or as further parcels or tracts of land resulting from the further subdividing or platting of the Tracts.

1.11. Tract Owner. Tract Owner(s) means the owner(s) of each Tract and their respective assigns, grantees and successors in interest.

ARTICLE II CONSTRUCTION OBLIGATIONS

2.01. Construction Compatibility. In order to produce an architecturally compatible, unified Premises pursuant to the common general plan contemplated by this Declaration, and to comply with the City ordinances, each Tract Owner agrees to consult with and obtain approval from the other Tract Owner(s) concerning the design, color, treatment and exterior materials to be used in the construction and reconstruction of all buildings and structures on its respective Tract and to consider the views of the other Tract Owners with respect thereto. The approval of the other Tract Owners will not be unreasonably withheld, conditioned or delayed and will be given provided the proposed design, color, treatment and exterior materials to be used in the construction and reconstruction of buildings and structures as proposed are consistent with on-site improvements then existing on the Tracts, the Site Plans, and applicable governmental zoning and building restrictions. In the event of a dispute concerning such approval, the dispute shall be submitted to a single arbitrator who shall decide the matter, and whose decision shall be binding on the parties, all in accordance with New Mexico law. Such arbitrator shall be chosen by the parties of such dispute, provided that if such parties cannot chose an arbitrator acceptable to such parties, any party to the dispute may petition a sitting judge of the Second Judicial District Court in Albuquerque, New Mexico to chose such arbitrator. With respect to any perimeter-type wall constructed by a Tract Owner, whether voluntarily or by order of the City of Albuquerque, such wall shall be constructed of masonry and shall match, with respect to design, color, treatment, materials and style, the perimeter wall on the east side of the parcel of developed tracts immediately adjacent to the south of the Premises (which parcel is commonly known as Cottonwood Crossing Phase I).

2.02. General Requirements.

Compliance with Laws. Each Tract Owner agrees that all construction activities performed

by it within the Premises shall be performed in compliance with all laws, rules, regulations, orders and ordinances of the City of Albuquerque, Bernalillo County, State of New Mexico and federal governmental agencies, affecting improvements constructed within the Premises.

(b) Interference. Each Tract Owner agrees that its construction activities shall not:

- (i) cause any unreasonable increase in the cost of constructing improvements upon another Tract Owners' Tract; unreasonably interfere with construction work being performed on any other part of the Premises;
- (iii) unreasonably interfere with the use, occupancy or enjoyment of any Tract by the Tract Owner, its Occupants or its Permittees;
- (iv) cause any other Tract Owner to be in violation of any law, rule, regulation, order or ordinance applicable to its Tract of the City of Albuquerque, Bernalillo County, State of New Mexico or federal governmental agencies, or any department or agency thereof.

(c) General Construction Indemnity. Each Tract Owner agrees to defend, indemnify and hold harmless each and every other Tract Owner from all claims, actions and proceedings and costs incurred (including reasonable attorneys' fees and costs of suit) which result from any accident, injury, loss or damage whatsoever occurring to any person or to the property of any person arising out of or resulting from the performance of any construction activities performed or authorized by such indemnifying Tract Owner. Any damage occurring to any portion of the Premises as a result of such construction work shall be the responsibility of the Tract Owner performing such construction work or causing such construction work to be performed and shall be repaired by such Tract Owner, at such Tract Owner's sole cost and expense, to the same condition as existed immediately prior to such work promptly upon the completion of such construction work. Nothing in this subparagraph (c) of Section 2.02 shall be construed to require a Tract Owner to indemnify any indemnitee under this subparagraph (c) of Section 2.02 (an "Indemnitee") from liability, claims, damages, losses or expenses, including attorney fees, arising from, in whole or in part, the negligence, act or omission of the Indemnitee, its officers, employees or agents, it being the intent of the Declarant that the indemnification provisions of this subparagraph (c) of Section 2.02 not be construed by a court of law to be void and unenforceable pursuant to Section 56-7-1 New Mexico Statutes Annotated as amended.

2.03. Mechanic's or Construction Lien. If, because of any act or omission (or alleged act

or omission) of any Tract Owner, any mechanic's or construction lien shall be filed with respect to any portion of the Premises (whether or not such lien is valid or enforceable as such), such Tract Owner shall cause same to be discharged of record, or bonded, with respect to such portion of the Premises not owned by such Tract Owner, within thirty (30) days after being notified of the filing thereof; and such Tract Owner shall indemnify and save harmless the other Tract Owners and all ground and underlying lessors and mortgagees from all costs, liabilities, suits, penalties, claims and demands, including reasonable attorneys' fees resulting therefrom. If such Tract Owner fails to comply with the foregoing, any other Tract Owner shall have the option of discharging or bonding any such lien, and if such option is exercised, the Tract Owner whose act or omission (or alleged act or omission) gave rise to the lien shall reimburse the Tract Owner who discharged or bonded such lien for all costs, expenses and other sums of money (including reasonable attorneys' fees) in connection therewith promptly upon demand, and such Tract Owner shall have all rights with respect to the amounts owed to it, including, but not limited to, its rights under Section 8.04 hereof.

ARTICLE III SIGNAGE

No exterior identification signs shall be allowed within the Premises except as approved by the appropriate governmental authority. All signage shall be consistent with the Site Plans and shall be similar in design, color, treatment and exterior materials to signs being used within the Premises.

ARTICLE IV GENERAL RESTRICTIONS

No improvements may be built or maintained in the Common Areas of the Premises other than those improvements set forth on the Site Plans including, without limitation, landscaping, curbs, sidewalks, parking stalls, berms, etc., or as set forth in one or more amendments to the Site Plans.

ARTICLE V USE RESTRICTIONS

5.01. Use in General. Except as provided in Subsections 5.02 and 5.03 below, the Tracts may be used for any lawful purpose not otherwise contrary to the terms of this Declaration. No illegal business or business which is in violation of any zoning law or ordinance will be allowed to function on the Tracts. During the term of this Declaration, the Premises shall be used only for retail purposes, restaurant, office, hotel, motel, financial institution, and other uses commonly found in or in close proximity to a first-class development.

5.02. Prohibited Uses Applicable to the Premises. Notwithstanding the foregoing, no use or operation will be made, conducted or permitted on or with respect to all or any part of the Tracts as follows:

- (a) Any public or private nuisance,
- (b) Any noise or sound that is objectionable due to intermittence, beat, frequency

shrillness or loudness (the Tract Owners acknowledging that the use of a speaker in connection with drive thru service or appropriate theme music piped to an outdoor patio dining area (subject to conformance with City of Albuquerque laws and/or codes) shall not be deemed to violate this provision provided that such is not unreasonable in volume and further provided that such is not directed to the east towards the residential subdivisions lying east of the Tracts). Otherwise, outdoor music and paging are prohibited on and from the Tracts.

- (c) Any excessive quantity of dust, dirt or fly ash; provided however, this prohibition shall not preclude the sale of soils, fertilizers or other garden materials or building materials in containers if incident to the operation of a home improvement or other similar store.
- (d) Any fire, explosion or other damaging or dangerous hazard, including the storage, display or sale of explosives or fireworks, excluding the sale and storage of gasoline and oil.
- (e) Any assembly, manufacture, distillation, refining, smelting, agriculture or mining operations.
- (f) Any mobile home or trailer court, labor camp, junkyard, stock yard or animal raising. Notwithstanding the foregoing, pet shops shall be permitted within the Premises.
- (g) Any drilling for and/or removal of subsurface substances, except for removal of dirt and other material removed as part of (i) the archeological site on Lot 1 of the Premises or (ii) excavation for a basement of a structure constructed as permitted hereunder.
- (h) Any dumping of garbage or refuse, other than in enclosed, covered receptacles intended for such purpose.
- (i) Any veterinary hospital, mortuary or similar service establishment.
- (j) Any automobile body and fender repair work.
- (k) Any skating rink, bowling alley, fitness center, car wash, service station (except a service station/car wash combination, if any, on Lot 7 or Lot 8 of the Premises), bar (except incidental to restaurant use), discotheque, dance hall, amusement gallery, poolroom, massage parlor, off-track betting facility, racetrack, adult book stores or "x" rated adult cinemas, "peep shows", or operation of a business devoted primarily to providing entertainment or the sale of products of an obscene or pornographic nature.

5.03. Prohibited Uses Applicable to Lot 5 of the Premises. Notwithstanding the foregoing, no use or operation will be made, conducted or permitted on or with respect to all or any part of the Premises (other than Lot 5 of the Premises) as a full service, sit down Italian restaurant without the written permission of the Owner of Lot 5 of the Premises, which permission may be withheld in the sole discretion of the Owner of Lot 5 of the Premises, provided that upon the first to occur of: (a) Lot 5, or any part thereof ceases to be used as, or in connection with, a full service, sit down Italian restaurant, or (b) the Tract Owner of Lot 5 of the Premises, first operating such restaurant ceases to be the Tract Owner of Lot 5 of the Premises, then the restriction in this subsection 5.03 shall terminate and be deemed lifted and no longer binding on the Premises as to the prohibition on use described in this subsection 5.03.

5.04. Non-Interference With Common Area. The Common Area is intended for the nonexclusive use by the Occupants and Permittees of the Premises. In order to provide for the orderly development and operation of the Premises, no Occupant shall display, store or sell any merchandise or place portable signs or other objects in the Common Area; provided, however, this restriction shall not apply to, only if then permitted by law, by the Occupant, of (i) the sidewalk and parking areas adjacent to the Occupant's building for marketing, special promotion, and customer service purposes, and (ii) portions of the service area, if any, behind and adjacent to the Occupant's building for deliveries.

5.05. Exclusive. Notwithstanding anything contained in this Declaration to the contrary, each Occupant shall have the exclusive right to use (i) the sidewalk areas adjacent to its building located on its Tract for marketing, special promotion, and customer service purposes and for food sales by one vendor from a movable cart or kiosk (such as a hot dog cart or the like), and (ii) portions of the service area behind and adjacent to its building located on its Tract for the staging of inventory.

ARTICLE VI EASEMENTS

6.01. Ingress, Egress and Parking. The Declarant hereby declares, grants and conveys for the benefit of the Tract Owners, a non-exclusive easement appurtenant to each Tract owned and/or leased by each party for ingress and egress by vehicular and pedestrian traffic and for vehicular parking, upon, over and across the Common Area, if any, within each Tract covered by this Declaration. All easements referenced in this Section 6.01 shall be subject to all restrictions imposed on such uses by this Declaration; provided, such easements shall not pertain to the construction and/or maintenance of utility lines, which shall be governed by the provisions in Section 6.02 below. Additionally, all such easements shall be in accordance with the Site Plan and Plat as approved by the appropriate governmental authority and the appropriate utility company. Each future Tract Owner, by taking title or by leasing its Tract subject to this Declaration, shall be deemed to have granted such easement with respect to the Common Area, if any, on its Tract to all other Tract Owners and their Occupants. Such easement rights shall exist only during the term of the reservations, as well as other provisions contained in this Declaration:

- (a) Except for situations specifically provided for in the following

subparagraphs, or as set forth on the Site Plan, no fence or other barrier which would unreasonably prevent or obstruct the passage of pedestrian or vehicular travel for the purposes herein permitted shall be erected or permitted within or across the easement areas; provided, however, that the foregoing provisions shall not prohibit the installation of convenience facilities (such as mailboxes, benches or public transportation shelters), landscaping, berms or planters, nor of curbing and other forms of traffic controls by Tract Owner in accordance with governmental authority.

- (b) In connection with any construction, reconstruction, repair or maintenance on its Tract, each Tract Owner reserves the right to create a temporary staging and/or storage area in the Common Area, if any, on its Tract at such location as will not unreasonably interfere with access between such Tract and the other areas of the Premises and public streets or roadways adjacent to the Premises.

6.02. Utility Lines/Drainage. The Declarant hereby declares, grants and conveys, for the benefit of each Tract Owner, non-exclusive easements appurtenant to the Tract owned, under, through and across the Common Area of each Tract, all as more specifically described and shown on the Plat, for the installation, maintenance, repair and replacement of water drainage systems, flows or structures, water mains, storm drains, sewers, telephone or electrical conduits or systems, gas mains or other public utility facilities necessary for the orderly development and operation of the Common Area and each building in the Premises; provided that all such improvements and utilities shall be approved, in writing, by the appropriate governmental authority(s) and utility company(s); provided, further, that the rights granted pursuant to such easements shall at all times be exercised in such a manner as to cause the least interference with the normal operation of the development on the Premises; and provided further, except in an emergency, the right of any Tract Owner to enter upon the Tract of the other Tract Owner for the exercise of any right pursuant to such easements shall be conditioned upon obtaining the prior written consent of such other Tract Owner, which consent shall not unreasonably be withheld.

All such systems, structures, mains, sewers, conduits, lines and other public utilities shall be, to the extent reasonably possible, installed and maintained below the ground level or surface of such easements. In the event any Tract Owner deems it to be necessary to cause the installation of any utility line across the Common Area of the other Tract or Tracts subsequent to the initial paving and improving thereof, the Tract Owner of the Tract on which such improvements are to be made agrees not to unreasonably withhold the grant of consent herein required; provided, however, that in no event will such installation be permitted if it would unreasonably interfere with the normal operation of any business on the Premises or the quiet enjoyment of the Premises or easements thereon by the Tract Owner or their successor and/or assigns.

Notwithstanding the terms of any such consent, in the event any Tract Owner, in exercising the foregoing granted rights, disturbs or otherwise damages any portion of the Common Area improvements, such Tract Owner shall expeditiously prosecute to completion the utility work, and at its sole expense, shall immediately restore and repair the Common Area improvements to their

condition prior to the commencement of construction. In the event that it should be necessary to grant any of the foregoing easements and rights to the local utility companies as a condition of their providing or continuing service, such rights shall be granted so long as the Tract Owner deems the terms and conditions of such grant to be reasonable and necessary.

6.03. Parking Restrictions. No persons, other than customers, employees and invitees of the Occupants of the Premises, shall be permitted to park in the Common Areas, unless the Tract Owner of the respective Tract gives prior written approval thereto.

ARTICLE VII INSURANCE PROVISIONS

7.01. Insurance. Each Tract Owner agrees to maintain, or cause to be maintained, liability insurance against claims for bodily injury, death or property damage occurring on, in or about the Common Area within its Tract with a "Combined Single Limit" (covering bodily injury liability and property damage) of not less than Two Million Dollars (\$2,000,000.00). In addition, each Tract Owner who, on its Tract, is engaged in the business of selling liquor (or its Occupant if the Occupant, as a tenant or licensee, is engaged in selling liquor) shall carry dram shop insurance against claims for bodily injury, death or property damage, occurring as a result of liquor served at the Premises with such insurance to afford protection of not less than Two Million (\$2,000,000.00) Dollars in respect of bodily injury or death, and of not less than Two Hundred Fifty Thousand (\$250,000.00) Dollars for property damage. A Tract Owner shall be responsible for insuring that its Occupant carries the insurance(s) required under this Section 7.01.

The insurance(s) may be in the form of blanket liability coverage applicable to the Tract Owner's Tract and other property owned or occupied by the Tract Owner or the party carrying such insurance coverage (or the responsible parent, subsidiary or affiliated companies of such Tract Owner or party). Such Tract Owner or party may insure, in whole or in part, under any plan of self-insurance, which such Tract Owner or party (or the parent, subsidiary or affiliated companies of such Tract Owner or party) may, from time to time, have in force and effect, provided it shall have a net worth of more than Fifty Million Dollars (\$50,000,000.00). Each Tract Owner shall, upon request, provide the other Tract Owners with evidence of such coverage and a description of any plan of self-insurance being used together with a certification not less frequently than annually such self-insuring Tract Owner maintains a program of self-insurance which shall include professionally issued financial statements evidencing compliance with the net worth requirement described above.

Each Tract Owner as indemnitor shall indemnify, defend and hold harmless all other Tract Owners from all claims, demands, liabilities, losses, costs and expenses with respect to the negligent and/or wrongful acts or omissions of the indemnifying Tract Owner relating to construction, restriction, maintenance, use, operation, occupancy and/or management of any part of the Premises and/or with respect to the use by the indemnifying Tract Owner and its tenants and Permittees of the easements granted in Article VI. Such indemnity shall not apply to the extent of any loss or claim due to or arising from the negligent or wrongful acts or omissions of the indemnified party.

7.02. Insurance Coverage Adjustment. In the event that a Tract Owner shall at any time

deem the limits of the liability and dram shop insurance then carried by the Tract Owners to be insufficient, the Tract Owners shall endeavor to agree on the proper and reasonable limits for insurance then to be carried. Liability insurance and dram shop insurance shall thereafter be carried with the limits thus agreed on until further change pursuant to the provisions of this Section. However, if the Tract Owners are unable to agree on the limits for liability insurance to be carried under Section 7.01 above, the proper and reasonable limits for insurance then to be carried shall be determined by an impartial third person selected by the Tract Owners, or should they be unable to agree on a selection, by an impartial third person chosen by the presiding judge of the Second Judicial District Court, Bernalillo County, New Mexico, or his successor on application by either party made after ten (10) days' written notice to the other party of the time and place of the application. The decision of the impartial third person as to the proper and reasonable limits for insurance then to be carried shall be binding on the parties, and insurance shall be carried with the limits as thus determined until the limits are again changed pursuant to the provisions of this Section. The expenses of the determination shall be borne equally by the parties.

ARTICLE VIII MAINTENANCE PROVISIONS

8.01. Maintenance of Common Areas. Commencing with the completion of all of the Common Area improvements to a Tract and continuing thereafter until changed by agreement or notice, as provided hereinafter, the Tract Owner, with respect to said Tract, agrees to maintain, or cause to be maintained, the Common Area located within said Tract, at all times, in good and clean condition and repair, which maintenance shall include, but not be limited to the following:

- (a) Maintaining the asphalt surfaces in a level, smooth and evenly covered condition with the type of surfacing material originally installed or such substitute as shall in all respects be equal or superior in quality, use and durability;
- (b) Removing ice, snow, sand, papers, debris, filth and refuse, as soon as practically possible, and thoroughly sweeping the Common Area to the extent reasonably necessary to keep it in a clean and orderly condition;
- (c) Placing, keeping in repair and replacing any necessary appropriate directional signs, markers and lines;
- (d) Operating, keeping in repair and replacing, where necessary, such artificial lighting facilities as shall be reasonably required;
- (e) Maintaining all landscaped areas and repairing automatic landscape sprinkler systems or water lines and making replacements of shrubs and other landscaping as is necessary; and
- (f) Maintaining and repairing any and all walls, common storm drains, all drainage ponds and appurtenances, utility lines, sewers and other services which are necessary for the operation of the buildings and improvements within the

Premises.

- (g) Maintaining/paying for all trash and garbage services and, with respect thereto, keeping all odors from garbage and trash to a minimum so that such are not unreasonably offensive to adjacent properties. With respect to the foregoing, all trash shall be kept in trash receptacles sufficient in size and number to prevent the overflow trash or garbage, with trash service in frequent enough intervals to keep unreasonable odors and the overflow of trash from occurring.

8.02. Lighting. The artificial lighting for the Common Area shall remain on during ordinary hours of business (except in daylight hours), which is agreed to mean that period during which Majority Parties (computed through a comparison of square footage of buildings actually constructed on the Tracts) on the Premises are open for business, provided that all buildings in the subdivision tracts shall maintain security lighting at night. Each Tract Owner will cause the lighting of the Common Area located upon its respective Tract to be metered separately along with the metering for the electrical use of its buildings. The utility costs of lighting the Common Area on each Tract shall be borne by the owner of each such Tract. Site lighting shall be limited to 16 feet in height in accordance with the Site Plans. All light fixtures shall be fully horizontal lamps so that no fugitive light shall escape beyond the property line. No light source shall be visible from the site perimeter of a Tract. Additional shielding shall be installed as reasonably necessary by each Owner whose Tract is adjacent to the Corrales Main Canal in order to shield fugitive lighting from view from residential subdivisions to the east of the Tract.

8.03. Effect on Sale by Party. If any Tract Owner in the Premises sells all or a part of the Tract owned by it, other than to perfect a sale and leaseback (or other similar financing) of such property, then, from and after the date of sale, such Tract Owner shall have no further obligation under this Declaration with respect to such Tract sold; provided, however, the conveyances of all or any portion of the Premises subsequent to the Date Hereof shall recite that they are subject to the terms and provisions of this Declaration.

8.04. Default; Cure by Non-Defaulting Tract Owner(s); Lien for Expenses. Any non-defaulting Tract Owner, after providing 24-hour written notice to the defaulting Tract Owner, may correct any default for and on behalf of any defaulting Tract Owner hereunder and the cost of correcting the default, together with interest at the Interest Rate, shall be immediately due and payable. If not paid, the Tract Owner correcting the same shall have a lien on the Tract of the defaulting Tract Owner for such amount in default, which amount shall bear interest at the Interest Rate from the due date until paid. In addition to the foregoing, if any Tract Owner defaults under this Declaration, any other Tract Owner may institute legal action against the defaulting Tract Owner for specific performance, declaratory relief, damages, or any other available legal remedy. In addition to recovery of the sum so expended on behalf of the defaulting Tract Owner and in addition to obtaining a decree of specific performance or injunctive relief, the prevailing Tract Owner shall be entitled to receive from the losing Tract Owner such amount as the court may adjudge to be reasonable attorneys' fees for the services rendered to the prevailing Tract Owner in any such action. The lien provided for above may be filed for record by the curing Tract Owner as a claim of lien against the Tract of the defaulting Tract Owner in the same manner and with the same priority and

legal affect as a mechanics' lien in New Mexico.

8.05. Notice to Tract Owner; Waiver of Subrogation Rights; Indemnity Provisions. Each Tract Owner shall promptly notify the other Tract Owners of any asserted claim with respect to which a Tract Owner is or may be indemnified against hereunder and shall deliver to such Party copies of process and pleadings. The Tract Owners each, on behalf of their respective insurance companies insuring against any such loss, waive any right of subrogation it may have against the other Tract Owners, and each Tract Owner shall procure from such insurers under all policies of such insurance coverage a waiver of all rights of subrogation which the insurers might otherwise have under such policies. If any Tract Owner fails to perform such obligation, such failure shall constitute a default, in which case the other Tract Owners may cause the performance of such obligations and bill the defaulting Tract Owner for the expenses incurred. In the event the defaulting Tract Owner fails to repay such expenses, the applicable provisions and remedies of Section 8.04 above shall apply.

8.06. Rules and Regulations. The Tract Owners by unanimous consent may make rules and regulations which shall further control the use and operation of the Common Area. Such rules and regulations shall be those which are necessary or desirable to provide for the most effective, economical and fair use and enjoyment of the facilities and which do not unduly favor or prejudice the Tract Owners or tenants of all or any part of the Premises in the use of such facilities. Such rules and regulations may be amended from time to time and may include, but shall not be limited to, requirements that owners and occupants of the Building Area require employees to restrict their parking to one or more portions of the Common Area or restrict them from any parking within the Premises.

8.07. Sidewalks. The cleaning, maintenance and repair of the sidewalks immediately adjacent to the buildings on the Premises shall be the responsibility of the Tract Owner of all or any Tract on which the Sidewalks are located. In the event of a failure to repair, the applicable provisions and remedies of Section 8.04 shall apply.

ARTICLE IX MISCELLANEOUS

9.01. Notices. Any notice, payment, demand, offer or communication required or permitted to be given by any provision of this Declaration shall be deemed to have been sufficiently given or served for all purposes if sent by registered or certified mail, postage and charges prepaid, or by Federal Express or other reputable overnight courier or delivery service.

Any such notice shall be deemed to be given (i) on the date the notice is deposited with the United States Post Office, provided it is sent prepaid, registered or certified mail, return receipt requested, and (ii) on the date the notice is delivered by a reputable professional courier service to the address of the person to whom it is directed, provided it is sent prepaid.

9.02. Breach - Effect on Mortgage and Right to Cure. Breach of any of the covenants or restrictions contained in this Declaration shall not defeat or render invalid the lien of any mortgage

made in good faith, but all of the foregoing provisions, restrictions, and covenants shall be binding and effective against any owner of any portion of the Premises, or any part thereof, who acquires title by foreclosure or power of trust sale or by deed in lieu of foreclosure; provided, however, that any such owner who acquires title by foreclosure or power of trust sale shall take title free of any liens created or provided for hereunder, though otherwise subject to the provisions hereof. Notwithstanding any other provision in this Declaration for notices of default, the mortgagee of any Tract Owner in default hereunder shall be entitled to notice of said default, in the same manner that other notices are required to be given under this Declaration; provided, however, that said mortgagee shall have, prior to the time of the default, notified the Tract Owner giving said notice of default of the mortgagee's interest and mailing address. In the event that any notice shall be given of the default of a Tract Owner and such defaulting Tract Owner has failed to cure or commence to cure such default as provided in this Declaration then and in that event the Tract Owner giving such notice of default covenants to give such mortgagee (which has previously given the above stated notice to such Tract Owner) under any mortgage affecting the Tract of the defaulting Tract Owner an additional notice given in the manner provided above, that the defaulting Tract Owner has failed to cure such default and such mortgagee shall have thirty (30) days after said additional notice to cure any such default, or, if such default cannot be cured within thirty (30) days, diligently to commence curing within such time and diligently pursue such cure to completion within a reasonable time thereafter. Giving of any notice of default or the failure to deliver a copy to any mortgagee shall in no event create any liability on the part of the Tract Owner so declaring a default.

9.03. Effect on Third Parties. The rights, privileges, or immunities conferred hereunder are for the benefit of the Tract Owners and not for any other party.

9.04. Assignment. The Declarant and each Tract Owner, without consent from the other Tract Owners, shall have the right to delegate, by assignment, its rights, responsibilities and obligations set forth in this Declaration to another party including a tenant or licensee of all or a part of a Tract; provided, such assignment shall not relieve the Tract Owner of its responsibilities hereunder as such pertain to the Premise and the other Tract Owners.

9.05. Governing Law. This Declaration and the obligations of the Tract Owners hereunder shall be interpreted, construed, and enforced in accordance with the laws of the State of New Mexico.

9.06. Release. If a Tract Owner shall sell, transfer or assign its entire Tract or its interest therein, it shall, except as provided in this Declaration, be released from its unaccrued obligations hereunder from and after the date of such sale, transfer or assignment.

9.07. Duration of Declaration. This Declaration shall remain in effect for a period fifty-five (55) years from the date of the Declaration is recorded, after which time they shall automatically renewed for ten year periods unless the Majority Parties elect in writing not to so renew and shall expressly terminate these covenants by written instrument recorded in the public records of the county in which the Premises are located.

9.08. Realty. Each Tract Owner shall pay, or cause to be paid prior to delinquency all real

estate taxes and assessments which may be levied, assessed or charged by any public authority against such Tract Owner's Tract, the improvements thereon or any other part thereof. In the event a Tract Owner shall deem any real estate tax or assessment (including the rate thereof or the assessed valuation of the property) to be excessive or illegal, such Tract Owner shall have the right, at its own cost and expense, to contest the same by appropriate proceedings, and nothing contained in this Section shall require such Tract Owner to pay such real estate tax or assessment as long as (a) no other Tract Owner's Tract would be immediately affected by such failure to pay (or bond); and (b) the amount or validity thereof shall be contested in good faith. If the failure to pay (or bond) such tax would affect another Tract Owner's Tract, such other Tract Owner shall have the right to pay such tax and shall have a lien on the nonpaying Tract Owner's Tract for the amount so paid until reimbursed such payment. Any such lien shall be subject to, and junior to, and shall in no way impair defeat the lien or charge of any mortgagee.

9.09. Binding Effect. All of the limitations, covenants, conditions, easements restrictions contained herein shall attach to and run with each Tract and shall benefit and bind the successors and assigns of the respective Tract Owners. This Declaration and the terms, covenants and conditions herein contained shall be enforceable as enforceable servitude in favor of said Tracts and any portion thereof.

9.10. Estoppel Certificate. Any Party may, in connection with the financing, sale or transfer of such Tract Owner's Tract, deliver written notice to the other Tract Owners requesting such Tract Owner to certify in writing that to the best knowledge of the certifying Tract Owner, the requesting Tract Owner is not in default in the performance of its obligations under this Declaration, or if in default, to describe the nature and amount of defaults. Each Tract Owner receiving such request shall execute and return such certificate within thirty (30) days following the receipt thereof. The Tract Owners acknowledge that such certificate may be relied upon the by third parties designated in the request by the Tract Owner requesting such certificate.

9.11. Counterparts. This Declaration, and any amendment thereof, may be executed in any number of counterparts, each of which, when so executed, shall be deemed to be an original; and such counterparts together shall constitute one instrument.

In witness whereof, the undersigned have executed this Declaration effective as of the Date Hereof.

A. WADE BLACK, Co-Trustee of the Albert J.
Black and Mary J. Black Trust

JOHN F. BLACK, Co-Trustee of the Albert J.
Black and Mary J. Black Trust

STATE OF)
)
COUNTY OF)

The foregoing document was acknowledged before on _____,
2003, by A. Wade Black, Co-Trustee of the Albert J. Black and Mary J. Black Trust.

Notary Public

My Commission Expires:

STATE OF NEW MEXICO)
)
COUNTY OF BERNALILLO)

The foregoing document was acknowledged before on _____,
2003, by John F. Black, Co-Trustee of the Albert J. Black and Mary J. Black Trust.

Notary Public

My Commission Expires:

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Trust of Albert & Mary Black
AGENT TIERRA WEST, LLC
ADDRESS 8509 JEFFERSON ST. NE. 87113
PROJECT & APP # 1002792 / 04DRB-00180
PROJECT NAME COTTONWOOD CROSSING, PHASE II

\$ 20⁰⁰ 469099/4916000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

TIERRA WEST LLC
8509 JEFFERSON NE
ALBUQUERQUE, NM 87113
(505) 858-3100

1563
95-677/1070

PAY TO THE ORDER OF City of Albuquerque DATE 2/10/04
Twenty & XX/100 \$ 20.00
DOLLARS

HIGH DESERT STATE BANK
Member FDIC
8110 Venture NE
Albuquerque, NM 87122

FOR _____ Donna J Bohannon MP

⑈001563⑈ ⑆107006677⑆0100201813⑈

DUPLICATE
City Of Albuquerque
Treasury Division

02/10/2004 11:37AM LOC: ANN
X
RECEIPT# 00019531 WS# 008 TRANS# 0020
Account 469099 Fund 0110
Activity 4916000 TRSTAM
Trans Amt \$20.00
J24 Misc \$20.00
CK \$20.00
CHANGE \$0.00

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Cottonwood Crossing Phase II
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts 14-A and 14-B, Black Ranch
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	30"-48"	RCP Storm Sewer	Lot 5 20' Public Easement	Coors Boulevard	Lot 3 AMAFCA Pond	/	/	/
<input type="text"/>	<input type="text"/>	4 AC. FT.	Detention Pond (AMAFCA)	Lot 3 Pond			/	/	/
<input type="text"/>	<input type="text"/>		Baffle per AMAFCA	Lot 3 Pond			/	/	/
<input type="text"/>	<input type="text"/>		Shotcrete Slope Protection	Lot 3 Pond			/	/	/
<input type="text"/>	<input type="text"/>		Concrete Spillway	Lot 3 Pond			/	/	/
<input type="text"/>	<input type="text"/>	3 Each	Storm Drain Inlets and Rundowns	Lot 2 and Lot 5		Lot 3 AMAFCA Pond	/	/	/
<input type="text"/>	<input type="text"/>		Striping as Required	Intersection of Coors Blvd and 7-Bar Loop			/	/	/
<input type="text"/>	<input type="text"/>	6 FT.	Bike Lane	Coors Blvd	South Property Line	North Property Line	/	/	/
<input type="text"/>	<input type="text"/>	8" *	Sanitary Sewer Line	Site Road. Coors Blvd.	Coors Blvd	Coors Blvd.	/	/	/
<input type="text"/>	<input type="text"/>	8" *	Water line	Site Road	Coors Blvd.	Coors Blvd.	/	/	/

* N M O I.

ORIGINAL

SIA Sequence #	COA DRC Project #
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Size Type of Improvement Location From To

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/

NOTES

- 1 _____
- 2 _____
- 3 _____

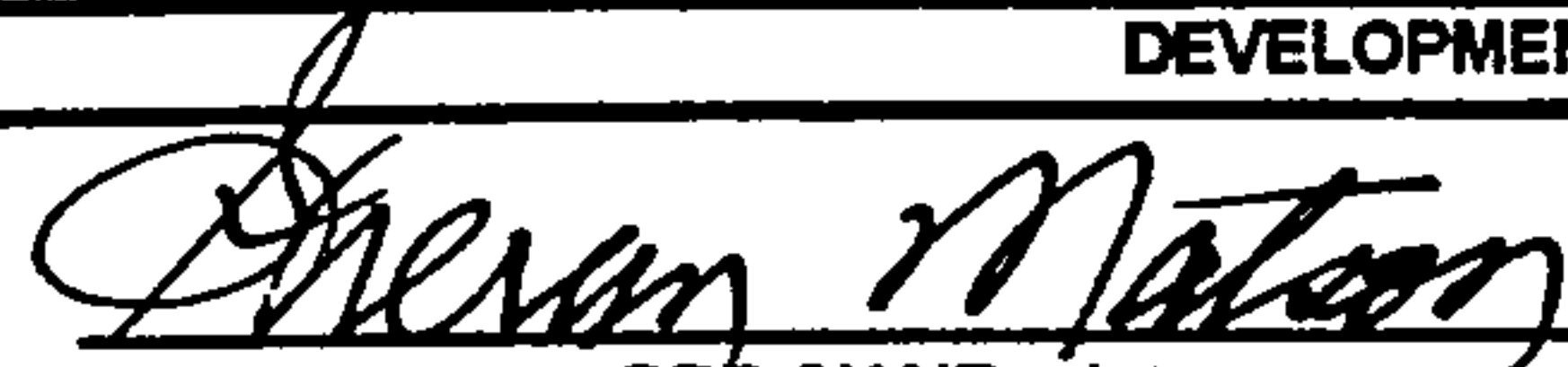

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

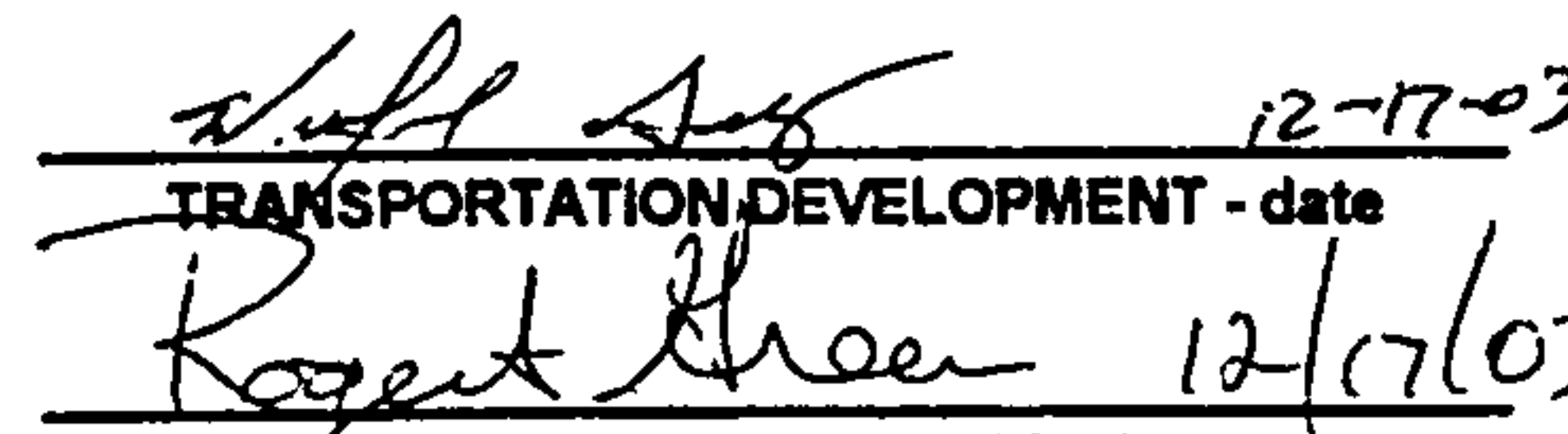
RONALD R. BOHANNAN, P.E.
NAME (print)


TIERRA WEST LLC
FIRM



SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

 12/17/03  12/17/03
DRB CHAIR - date PARKS & GENERAL SERVICES - date

 12-17-03 _____
TRANSPORTATION DEVELOPMENT - date AMAFCA - date

 12-17-03 _____
UTILITY DEVELOPMENT - date _____ - date

 12-17-03 _____
CITY ENGINEER - date _____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



City of Albuquerque
CITY OF ALBUQUERQUE, NEW MEXICO 87103
P.O. BOX 1239 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002792

AGENDA ITEM NO: 15

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report dated 12-16-03 is on file for Preliminary Plat approval.
The Hydrology Section has no objection to the vacation request.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: December 17, 2003

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
December 17, 2003
Comments**

Item # 15

Project # 1002792

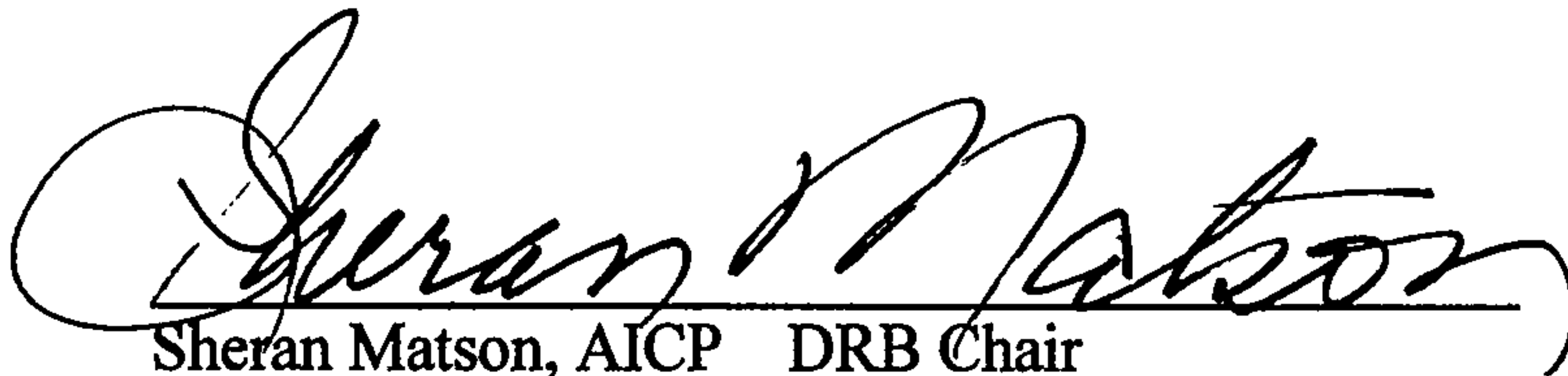
Application # 03DRB-01780

RE: Tracts 14A & 14B, Black Ranch/vacation & prelim& final plat

No objection to the platting action as it appears to match the site plan.

AGIS dxf approval is required before Planning can sign the final plat. Also, the 15 day appeal period for the vacation which is now shown on the plat must expire before Planning signs the plat.

Applicant may file the plat. Please be sure applicant gives Planning a recorded copy to close the file.



Sheran Matson, AICP DRB Chair

924-3880 Fax 924-3864 smatson@cabq.gov

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002792 AGENDA#: 15 DATE: 12-17-03

1. Name: John Address: _____ Zip: _____

2. Name: Agent Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



<p>SUBDIVISION</p> <p><input type="checkbox"/> Major Subdivision action</p> <p><input checked="" type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p>	<p>Supplemental form</p> <p>S</p> <p>V</p> <p>P</p> <p>L</p>	<p>Supplemental form</p> <p>ZONING</p> <p><input type="checkbox"/> Annexation & Zone Establishment</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Zone Change</p> <p><input type="checkbox"/> Text Amendment</p> <p>APPEAL / PROTEST of...</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal</p>	<p>Z</p> <p>A</p>
---	--	---	---------------------------------

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>TRUST OF ALBERT & MARY BLACK</u>	PHONE: <u>792.3713</u>
ADDRESS: <u>3613 NM STATE RD 528 NW</u>	FAX: <u>792.3735</u>
CITY: <u>ABQ</u> STATE <u>NM</u> ZIP <u>87114</u>	E-MAIL: _____
Proprietary interest in site: <u>OWNER</u>	
AGENT (if any): <u>TIERRA WEST LLC</u>	PHONE: <u>858-3100</u>
ADDRESS: <u>8509 JEFFERSON NE</u>	FAX: <u>858-1118</u>
CITY: <u>ABQ</u> STATE <u>NM</u> ZIP <u>87113</u>	E-MAIL: <u>twllc@tierrawestllc.com</u>

DESCRIPTION OF REQUEST: PRELIMINARY PLAT & INFRASTRUCTURE LIST APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS 14A & 14B Block: _____ Unit: _____

Subdiv. / Addn. BLACK RANCH

Current Zoning: SU-1 FOR C-1 & REST.(ETC.) & SU-1 O-1 Proposed zoning: SAME

Zone Atlas page(s): B14 No. of **existing** lots: 2 No. of **proposed** lots: 6

Total area of site (acres): 9.76 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 101406519031820301 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 10042 COORS BLVD NW
Between: COORS BLVD NW and SEVEN BAR LOOP NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB-94-358/SRP5-98-37/DRB-90-361/DRB-98-61/O3EPC-01085/O3EPC-01086/O3DRB-01780 -- PROJ#: 1002792

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE _____

(Print) RONALD R. BOHANNAN, P.E.

DATE 12/9/03

Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>03 DRB - 02084</u>	<u>P+7</u>	<u>563</u>	<u>\$ 565.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>Dec 17, 2003</u>			Total <u>\$ 565.00</u>

Ronald Bohannan 12/9/03
Planner signature / date

Project # 1002792

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD R. BOHANNAN, P.E.

[Handwritten Signature]

Applicant name (print)

12/9/03

Applicant signature / date

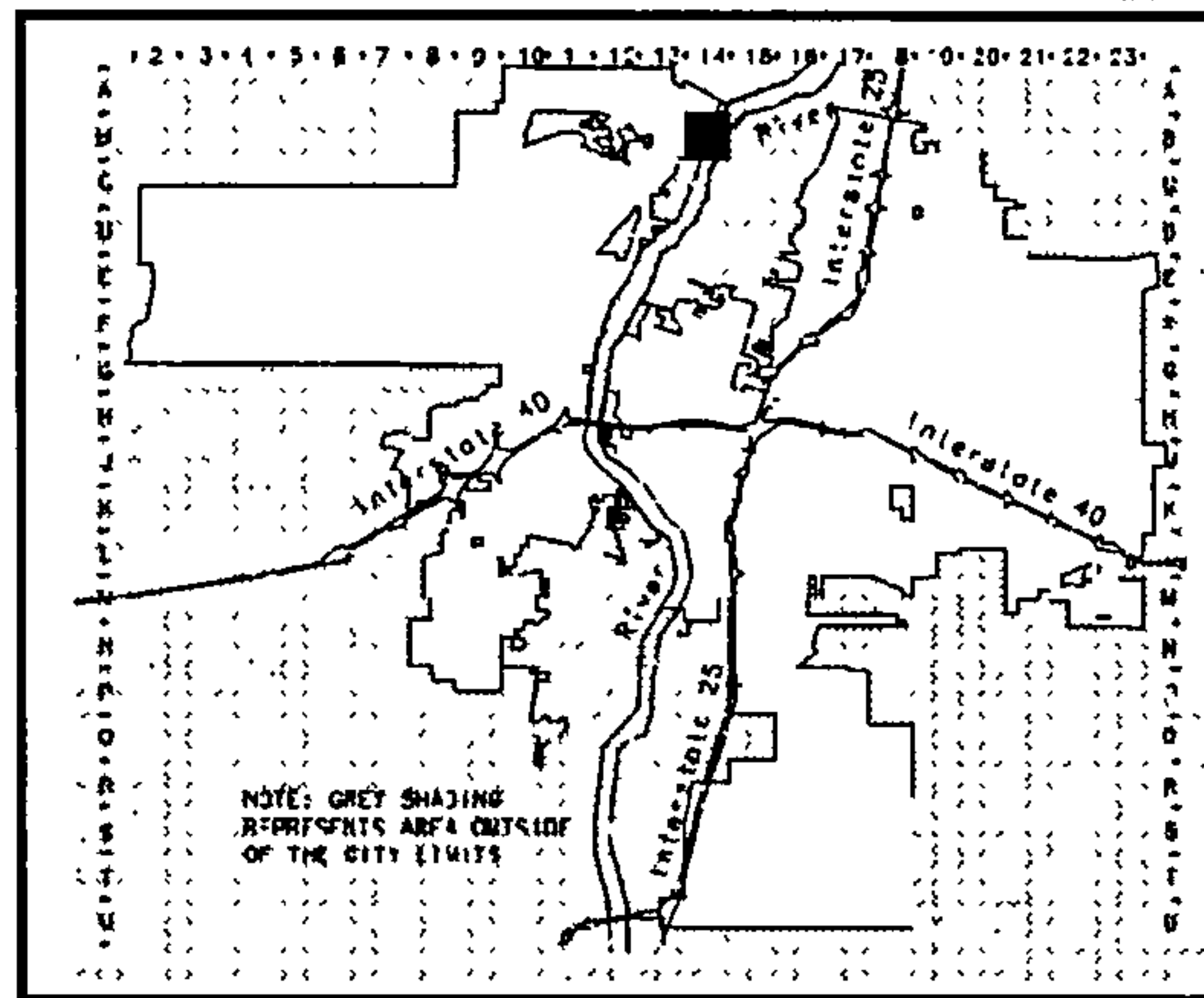
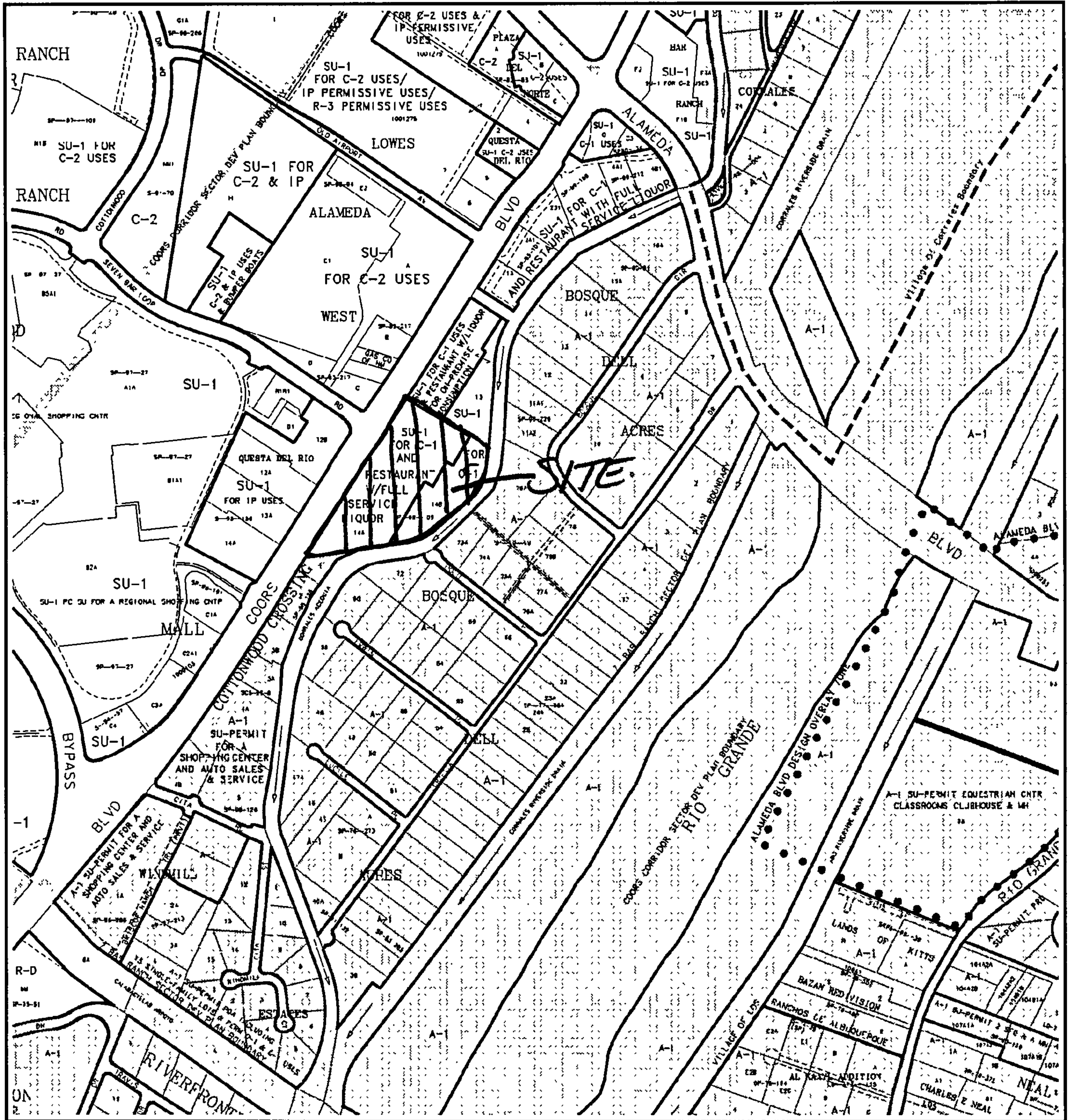


Form revised February 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 03003 - _____ - 02089
 _____ - _____ - _____
 _____ - _____ - _____

[Handwritten Signature] 12/8/03
 Planner signature / date
Project # 1002792



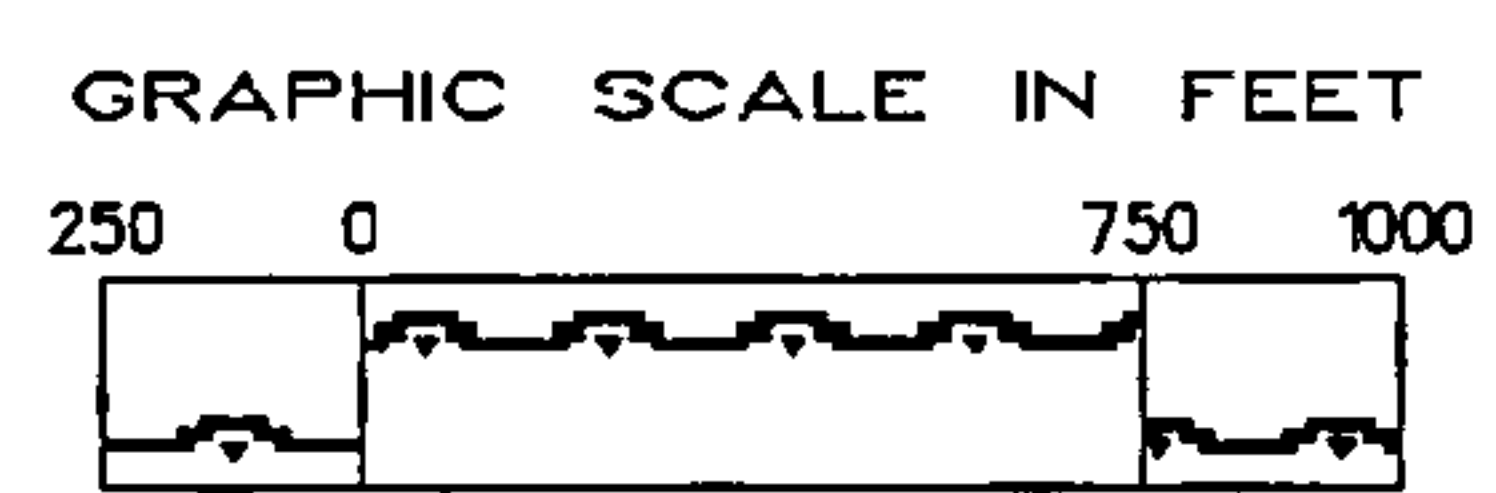
NOTE: GREY SHADING REPRESENTS AREA OUTSIDE OF THE CITY LIMITS



CITY OF Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 2003



Zone Atlas Page

B-14-Z

Map Amended through July 31, 2003

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

December 9, 2003

Mrs. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Preliminary Plat and Infrastructure List Approval
Tracts 14A & 14B, Black Ranch to be known as Tract 1-6, Cottonwood Crossings
Phase II
DRB Project#: 1002792; Zone Atlas Page B-14**

Dear Mrs. Matson:

Tierra West LLC, on behalf of the Trust of Albert & Mary Black, requests approval of the Preliminary Plat and Infrastructure List for the above-referenced project. The site is located at 10042 Coors Boulevard NW, east of Coors Boulevard NW and the intersection of Seven Bar Loop NW.

The DRB approved the vacation of easements last month and we are now requesting approval of the Preliminary Plat, which shows the vacated and granted easements. The Infrastructure List is for the storm sewer, a detention pond for AMAFCA, bike lane and new striping.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

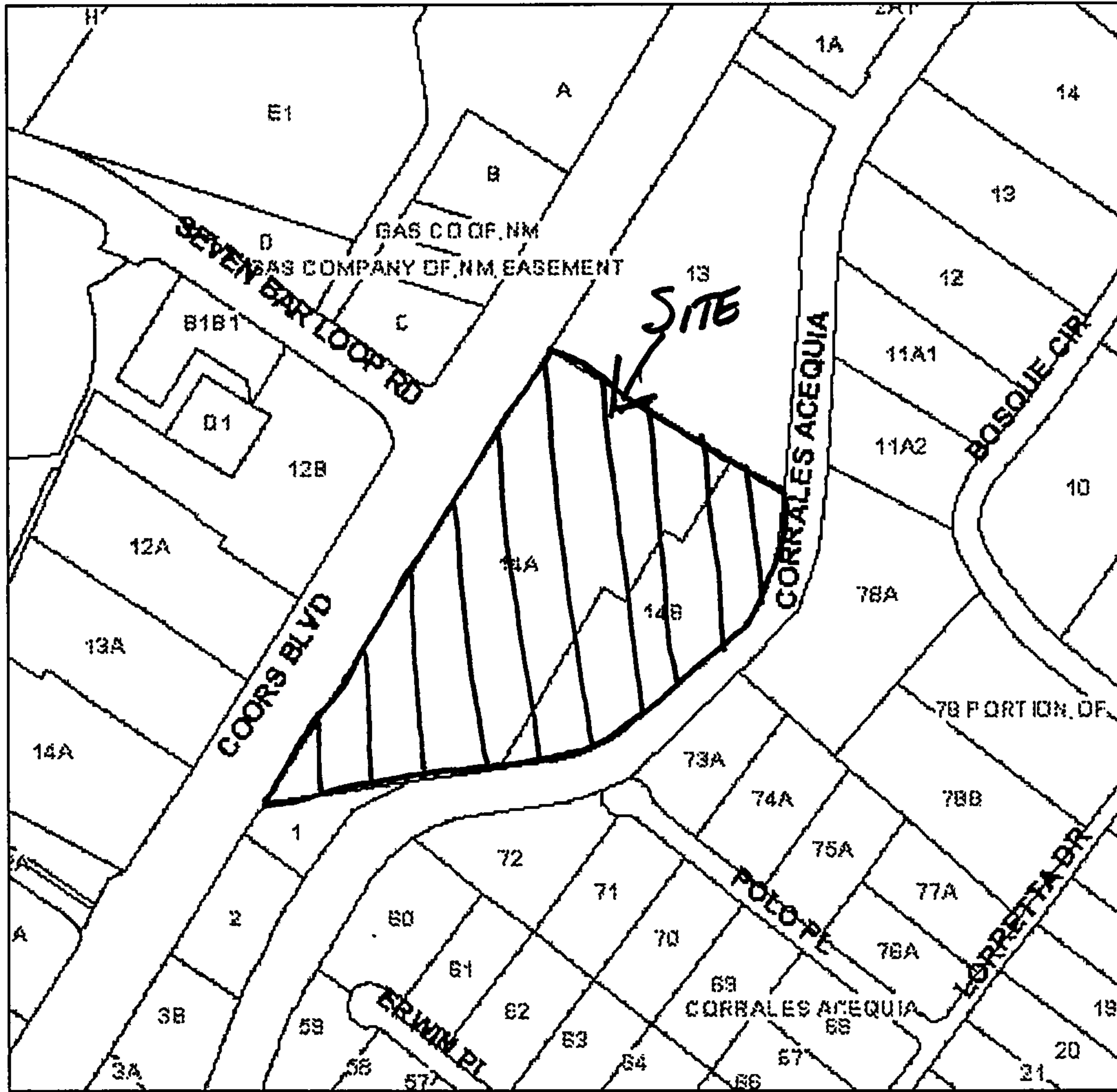
Sincerely,

Donna Bohannon
for Ronald R. Bohannon, P.E.

Enclosure/s

cc: John Black

JN: 220097
RRB/kk



Selected Address: 10042 COORS BLVD NW
Zoning: SU-1 FOR C-1 AND RESTAURANT W/ FULL SERVICE LIQUOR
Lot/Block/Subd: 14A , 0000 , BLACK RANCH
ZoneMap Page: B14 Jurisdiction: CITY
UPC #: 101406519031820301
Owner Name: BLACK ALBERT J C/O BLACK JOHN F
Owner Street Adress: 10416 MORNING STAR
Owner City/State/Zip: ALBUQUERQUE / NM / 87111 NM

Selected Address: 99999 COORS BLVD NW
Zoning: SU-1 FOR O-1
Lot/Block/Subd: 14B , 0000 , BLACK RANCH
ZoneMap Page: B14 Jurisdiction: CITY
UPC #: 101406522431320303
Owner Name: BLACK ALBERT J C/O BLACK JOHN F
Owner Street Adress: 10416 MORNING STAR
Owner City/State/Zip: ALBUQUERQUE / NM / 87111 NM

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1002792
DRB Application No.: 03DRB-01780

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Cottonwood Crossing Phase II
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts 14-A and 14-B, Black Ranch
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	30"-48"	RCP Storm Sewer	Lot 5 20' Public Easement	Coors Boulevard	Lot 3 AMAFCA Pond	/	/	/
<input type="text"/>	<input type="text"/>	4 AC. FT.	Detention Pond (AMAFCA)	Lot 3 Pond			/	/	/
<input type="text"/>	<input type="text"/>		Baffle per AMAFCA	Lot 3 Pond			/	/	/
<input type="text"/>	<input type="text"/>		Shotcrete Slope Protection	Lot 3 Pond			/	/	/
<input type="text"/>	<input type="text"/>		Concrete Spillway	Lot 3 Pond			/	/	/
<input type="text"/>	<input type="text"/>	3 Each	Storm Drain Inlets and Rundowns	Lot 2 and Lot 5		Lot 3 AMAFCA Pond	/	/	/
<input type="text"/>	<input type="text"/>		Striping as Required	Intersection of Coors Blvd and 7-Bar Loop			/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

SIA Sequence #	COA DRC Project #

Size Type of Improvement Location From To

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/

NOTES

1 _____

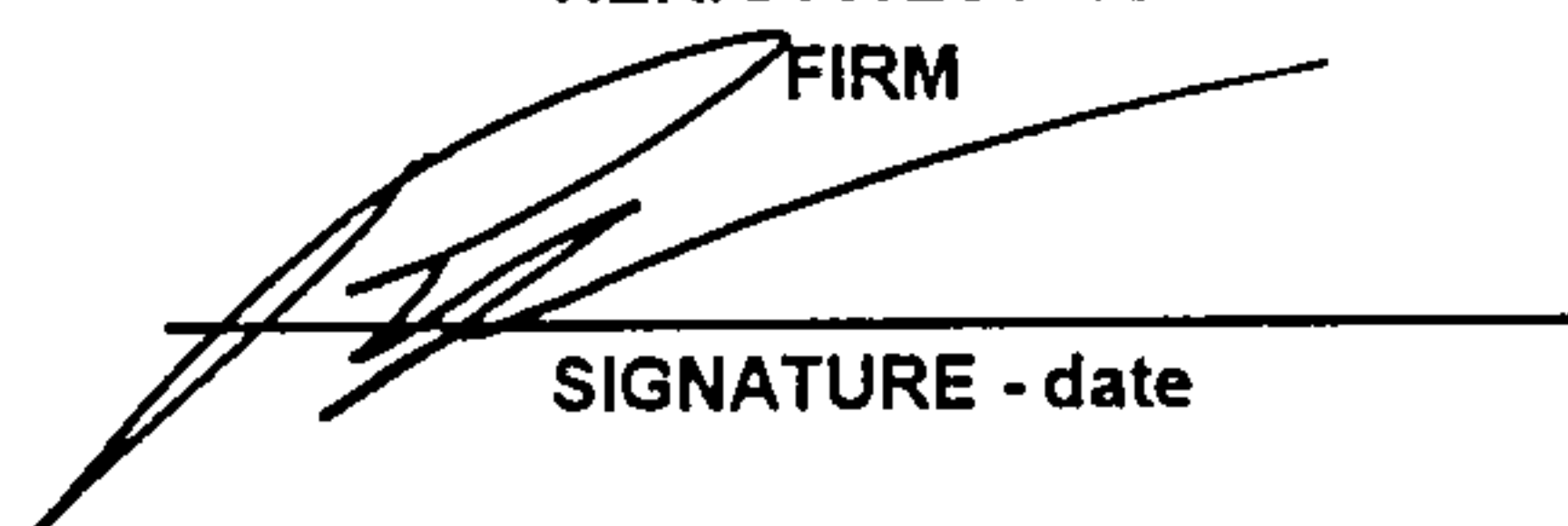
2 _____

3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
---------------	---

RONALD R. BOHANNAN, P.E.
 NAME (print)

TIERRA WEST LLC
 FIRM


 SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
 THE IMPROVEMENTS WITHOUT A DRB
 EXTENSION: _____

_____ DRB CHAIR - date

_____ TRANSPORTATION DEVELOPMENT - date

_____ UTILITY DEVELOPMENT - date

_____ CITY ENGINEER - date

_____ PARKS & GENERAL SERVICES - date

_____ AMAFCA - date

_____ - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

ONE STOP SHOP . . . FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4th Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME

Trust of Albert + Mary Black

AGENT

Tierra West LLC

ADDRESS

8509 Jefferson NE

PROJECT NO.

1002792

APPLICATION NO.

03DRB 0204

\$ 565⁰⁰ 441006 / 4983000 (DRB Cases)

\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)

\$ _____ 441018 / 4971000 (Notification)

\$ 565⁰⁰ Total amount due

WARNING THIS DOCUMENT HAS FLUORESCENT FIBERS, A VOID PANTOGRAPH AND A MICROPRINT SIGNATURE LINE

ALBERT J BLACK AND MARY JANE BLACK

BANK OF ALBUQUERQUE

1031

REVOCABLE TRUST
9007 WASHINGTON NE, SUITE A
ALBUQUERQUE, NM 87113

660 / 1070

12/8/2003

PAY TO THE ORDER OF City of Albuquerque

\$ **565.00

Five Hundred Sixty-Five and 00/100*****

DOLLARS

City of Albuquerque
PO Box 1313
Albuquerque, NM 87103

MEMO Tract 14, Cottonwood Crossing Ph II

DUPLICATE

City of Albuquerque
12/07/2003

⑈001031⑈ ⑆107006606⑆ 7827218886⑈

WARNING THIS DOCUMENT HAS FLUORESCENT FIBERS, A VOID PANTOGRAPH AND A MICROPRINT SIGNATURE LINE

Account 441006 Fund 0110
Activity 4983000 TRSEJA
Trans Amt 10/28/03 \$565.00
J24 Misc \$565.00
CK \$565.00
CHANGE \$0.00

A City of Albuquerque



DEVELOPMENT PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form

S

V

P

L

Supplemental form

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

Z

A

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Trust of Albert & Mary Black

ADDRESS: 3613 NM St Rd 528 N.W

CITY: ALBUQUERQUE

STATE NM ZIP 87114

Proprietary interest in site: OWNER

AGENT (if any): GEORGE RAINHART ARCH & ASSOC CONTACT STEPHEN DUNBAR

ADDRESS: 2325 SAN PEDRO N E

CITY: ALBUQUERQUE

STATE NM ZIP 87110

PHONE: _____

FAX: _____

E-MAIL: _____

PHONE: 824-9110 Ext 206

FAX: _____

E-MAIL: _____

DESCRIPTION OF REQUEST: DRB approval of site plan Building

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 14-A 3 B

Block: _____

Unit: _____

Subdiv. / Addn. BLACK RANCH

Current Zoning: Sulforc-1 (BEST w/ full service liquor and o-i)

Proposed zoning: _____

Zone Atlas page(s): B-14-Z

No. of existing lots: _____

No. of proposed lots: _____

Total area of site (acres): _____

Density if applicable: dwellings per gross acre: _____

dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.)

Within 1000FT of a landfill? _____

UPC No. _____

MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Coors NW 3 Seven BAR loop N.W

Between: Debbie Stoner and EPC Case Planner

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):

03ERC-01086 (SPS) 03ERC-01085 (SBP) 03DRB-01780 (VPE)

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Stephen A Dunbar

DATE 11/13/03

(Print) STEPHEN A DUNBAR

Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/03

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

03DRB - 01945

03DRB - 01946

Action

SPS

SBP

S.F.

Fees

\$ -0-

\$ -0-

\$ _____

\$ _____

\$ _____

\$ _____

Total

\$ -0-

Hearing date 11-26-03

Clare Amora 11-13-03
Planner signature / date

Project # 1002792

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

NOT RELEVANT

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

 STEPHEN ADUNBAR
 Applicant name (print)

 Stephen Adunbar
 Applicant signature / date



Form revised September 2001

<input type="checkbox"/> Checklists complete	Application case numbers		
<input type="checkbox"/> Fees collected	03DRB -	- 01945	(SPS)
<input type="checkbox"/> Case #s assigned	03DRB -	- 01946	(SBP)
<input type="checkbox"/> Related #s listed	-	-	

 Planner signature / date
 Date: 11/13/03
 Project # 1002792



ALBUQUERQUE

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: August 22, 2003

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1002792 *
03EPC-01086 EPC Site Development Plan-
Subdivision
03EPC-01085 EPC Site Development Plan-Building
Permit

Trust of Albert & Mary Black
3613 NM State Rd. 528 NW
Albuq. NM 87114

LEGAL DESCRIPTION: for all or a portion of
Tracts 14-A & 14B, **Black Ranch**, zoned SU-1 for
C-1 & restaurant with full service liquor and O-1,
located on COORS BLVD. NW, between COORS
NW and SEVEN BAR LOOP NW, containing
approximately 10 acre(s). (B-14) Debbie Stover,
Staff Planner

On August 21, 2003 the Environmental Planning Commission voted to approve Project 1002792/03EPC 01086, a site plan for subdivision, for Tracts 14A and 14B, Black Ranch, zoned SU-1 for C-1 & Restaurant w/Full Service Liquor & O-1 based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for site development plan for subdivision for a 10-acre site known as Tract 14A and 14B, Black Ranch, located on Coors Boulevard between Alameda Boulevard and the Coors Bypass.
2. The submitted plan is in compliance with the *Albuquerque/Bernalillo County Comprehensive Plan* by providing an effective buffer for the residential development east of the site. The commercial uses will help minimize the effects of this busy, high-automobile usage area on the rural neighborhood to the east. The proposal is using existing streets (Policy e) and is not putting forward a harmful use that would adversely affect nearby neighborhoods (Policy i).
3. The subject request complies with the policies of the *West Side Strategic Plan* by providing appropriate commercial services in areas along a major commercial corridor (Policy 3.8).

received
8-29-03

4. The site plan for subdivision contains all the required components as defined in the *Zoning Code* (§14-16-1-5).
5. The site development plan for subdivision meets the requirements of the *Coors Corridor Plan*.
6. There is no known neighborhood opposition to this request.



CONDITIONS:

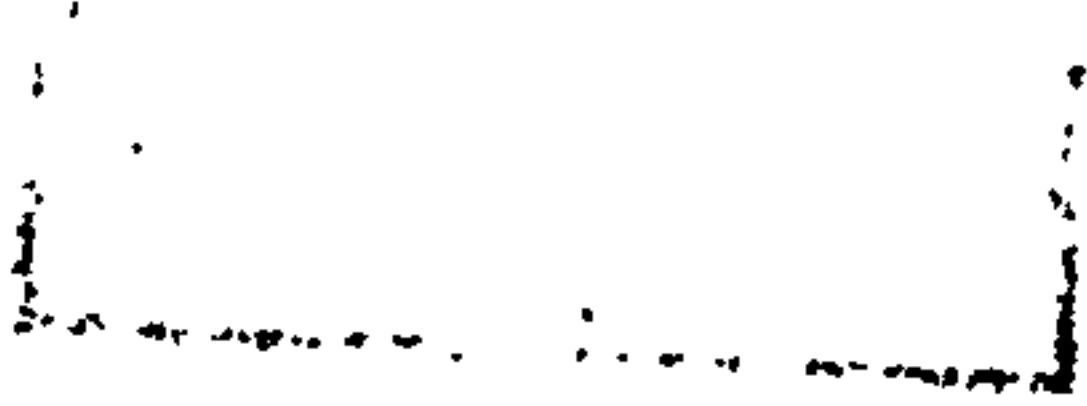
1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.



On August 21, 2003 the Environmental Planning Commission voted to approve Project 1002792/03EPC 01085, a site plan for building permit, for Tracts A1, A2, A3, & A4, Black Ranch, zoned SU-1 for C-1 & Restaurant w/Full Service Liquor & O-1, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Tracts A1, A2, A3, A4 & A5, Black Ranch, a .94-acre parcel located on Coors Boulevard between Paseo del Norte and Irving Boulevard NW.
2. The submitted plan is in compliance with the *Albuquerque/Bernalillo County Comprehensive Plan* by providing an effective buffer for the residential development east of the site. The commercial uses will help minimize the effects of this busy, high-automobile usage area on the neighbors below the bluff. The proposal is using existing streets (Policy e) and is not putting forward a harmful use that would adversely affect nearby neighborhoods (Policy i).
3. The subject request complies with the policies of the *West Side Strategic Plan* by providing appropriate commercial services in areas along a major commercial corridor ((Policy 3.8).
4. With some changes and adjustments, the submittal will be in compliance with the policies of the *Coors Corridor Plan*.



5. The proposal meets the goals of the *Seven-Bar Ranch Sector Development Plan* by adhering to the principles and recommendations of the plan and specifically by providing quality design with landscape buffers and a development that relates to the pedestrian walkway along Coors Boulevard.
6. The submittal will be adequate with some changes and additions.
7. The remaining intact portion of the Calabacillas Pueblo Ruin is located on the northeast corner of the site. The applicant has worked with the State Historic Preservation Office to ensure preservation of the Ruin and intends to dedicate a sufficient portion of the property sufficient to preserve the Ruin to the Albuquerque Open Space Division.
8. There is no known neighborhood opposition to this request.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. A connection to each tract from the 6-foot wide meandering pathway shall be provided.
3. A detail of the proposed light poles shall be provided with height, colors, material and description of the fixture that ensures that it is a full cut-off type that will not allow light spillage to escape the property. In addition, no lights shall be higher than 16-feet if within 100-feet of a residential area.
4. A pedestrian crossing shall be provided at the south entrance to the site. This crossing shall be clearly demarcated with slightly raised and/or textured paving and shall serve as a link to the 6-foot wide meandering pathway along Coors.
5. A minimum of 14 bicycle spaces shall be provided. The calculations and the locations of the bike racks shall be shown within the site plan.
6. Landscaping shall be provided "in" and "around" the paved area of the parking lots. A minimum of 20% of the parking lot area shall be landscaped and shall consist primarily of shade trees and shrubs (CCP, Policy 5, B. 1., p. 94). One tree shall be planted every 10 parking spaces and distributed such that at least one tree is planted per every 15 linear parking space (CCP, Policy 5, B. 2., p. 94).

7. The site plan shall show an average of a 35-foot landscape buffer between Coors Boulevard and the parking areas, buildings and pedestrian ways along the property. No parking area shall intrude upon the 35-foot- wide landscaped setback in Segments 4 of the *Coors Corridor Plan*. A minimum of 50% of this area shall be planted and maintained with live landscaping material which will visually screen and buffer parking development behind the street yard (*Coors Corridor Plan*, Policy 3, p. 91).
8. All colors, including the color of the roof tile and the refuse enclosure, shall be specified as to basic color family.
9. The signs that are shown within the meandering pathway shall be moved. A detail of the two proposed sign shall be provided within the submittal. Details of the signs, including height, width, square-footage of sign face (in accordance with the restrictions in the *Coors Corridor Plan*), colors and materials shall be provided within the site plan prior to DRB approval. No sign shall be higher than 9-feet.
10. The type of native seed to be planted shall be specified on the landscape plan and shall include native grass seed as well as native wildflower seed.
11. CONDITIONS FROM CITY ENGINEER and PUBLIC WORKS:
 - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.
 - b. Traffic Impact study (TIS) is required (has been submitted).
 - c. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site.
 - d. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.
 - e. Site shall comply and be designed per DPM Standards.
 - f. Right turn lanes on Coors may be required at site entrances by the Traffic Engineer. Check TIS and DPM requirements.
 - g. Main site drive width may need to be adjusted to accommodate four lanes exiting and one lane entering (see TIS).
 - h. Provide cross access agreement between all tracts.
 - i. Dedication of a *minimum* 78 feet of right-of-way from the centerline of Coors Boulevard, a limited access, principal arterial as designated on the Long Range Roadway System.
 - j. Dedication of an additional 6 feet of right-of-way along Coors Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
 - k. Platting consummating the proposed vacation should be a concurrent DRB action.

12. The applicant shall provide a minimum 30 inch high screening of parking areas which abut Coors Road NW.
- ↑
END


~~IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY SEPTEMBER 5, 2003~~ IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


For Victor J. Chavez
Planning Director

VJC/DS/ac

cc: George Rainhart Arch., 2325 San Pedro NE, Suite 2B, Albuquerque, NM 87110

Sheran Matson, AICP, DRB Chair
City of Albuquerque
Planning department
600 2nd St. N.W
Albuquerque N.M 87102

Re: CONDITIONS OF APPROVAL:

03EPC-01086 SITE DEVELOPMENT PLAN-SUBDIVISION
03EPC-01085 SITE DEVELOPMENT PLAN-BUILDING PERMIT

Sheran Matson:

The following are actions taken to reflect the conditions of approval for the above referenced project.

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this sit plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. A connection to each tract from the 6-foot wide meandering pathway shall be provided.

ACTION TAKEN:

A connection point has been added as required to each tract from the meandering path along Coors Rd.

3. A detail of the proposed light poles shall be provided with height, colors, material and description of the fixture that ensures that it is a full cut-off type that will not allow light spillage to escape the property. In addition, no lights shall be higher than 16-feet if within 100-feet of a residential area.

ACTION TAKEN:

A light pole detail has been provided with a height, color, and material description. The detail indicates that the fixture will be a full cut-off type that will not allow any light source beyond the property line, and shall be no higher than 16 feet in height if within 100' of a residential area.

4. A pedestrian crossing shall be provided at the south entrance to the site. This crossing shall be clearly demarcated with slightly raised and/or textured paving and shall serve as a link to the 6-foot wide meandering pathway along Coors.

ACTION TAKEN:

An eight foot wide slightly raised and textured concrete cross walk has been provided at the southern entry to the site.

5. A minimum of 14 bicycle spaces shall be provided. The calculations and the locations of the bike racks shall be shown within the site plan.

ACTION TAKEN:

A bike rack containing sufficient space for five bikes has been provided at each pad building site. Calculations and designation of the rack locations are shown on the site plan for building permit sheet.

6. Landscaping shall be provided "in" and "around" the paved area of the parking lots. A minimum of 20% of the parking lot area shall be landscaped and shall consist primarily of shade trees and shrubs (CCP, Policy 5, B.1., p.94).

ACTION TAKEN:

Landscaping has been provided at the 20% ratio required above. Refer to the revised landscaping sheet for details.

7. The site plan shall show an average of a 35-foot landscape buffer between Coors Boulevard and the parking areas, buildings and pedestrian ways along the property. No parking area shall intrude upon the 35-foot-wide landscaped setback in Segments 4 of the *Coors Corridor Plan*. A minimum of 50% of this area shall be planted and maintained with live landscaping material which will visually screen and buffer parking development behind the street yard (*Coors Corridor Plan*, Policy 3, p.91).

ACTION TAKEN:

The site plan configuration along Coors blvd. shows an average buffer of thirty five feet along the frontage of the corridor with minimum landscaped area of 50% which will serve as a buffer between the corridor and parking areas.

8. All colors, including the color of the roof tile and the refuse enclosure, shall be specified as to basic color family.

ACTION TAKEN:

Colors pertaining to roofing, and refuse enclosures are specified within the elevation set, and refuse details.

9. The signs that are shown within the meandering pathway shall be moved. A detail of the two proposed sign shall be provided within the submittal. Details of the signs, including height, width, square-footage of sign face (in accordance with the restrictions in the *Coors Corridor Plan*), colors and materials shall be provided with in the site plan prior to DRB approval. No sign shall be higher than 9-feet.

ACTION TAKEN:

The site signage is modified to conform to the conditions requested. Refer to A1.0 site plan for building permit.

10. The type of native seed to be planted shall be specified on the landscape plan and shall include native grass seed as well as native wildflower seed.

ACTION TAKEN:

Refer to sheet L-1 for details.

11. CONDITIONS FROM CITY ENGINEER and PUBLIC WORKS:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and/or provided for, if applicable.
- b. Traffic Impact study (TIS) is required (has been submitted).
- c. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site.
- d. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.
- e. Site shall comply and be designed per DPM Standards.
- f. Right turn lanes on Coors may be required at site entrances by the Traffic Engineer. Check TIS and DPM requirements.
- g. Main site drive width may need to be adjusted to accommodate four lanes exiting and one lane entering (see TIS).
- h. Provide cross access agreement between all tracts.
- i. Dedication of a *minimum* 78 feet of right-of-way from the centerline of Coors Boulevard, a limited access, principal arterial as designated on the Long Range Roadway System.
- j. Dedication of an additional 6 feet of right-of-way along Coors Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
- k. Platting consummating the proposed vacation should be a concurrent DRB action.

ACTIONS TAKEN:

The above referenced items A thru K have been provided on

12. The applicant shall provide a minimum 30-inch high screening of parking areas, which abut Coors Road NW.

ACTION TAKEN:

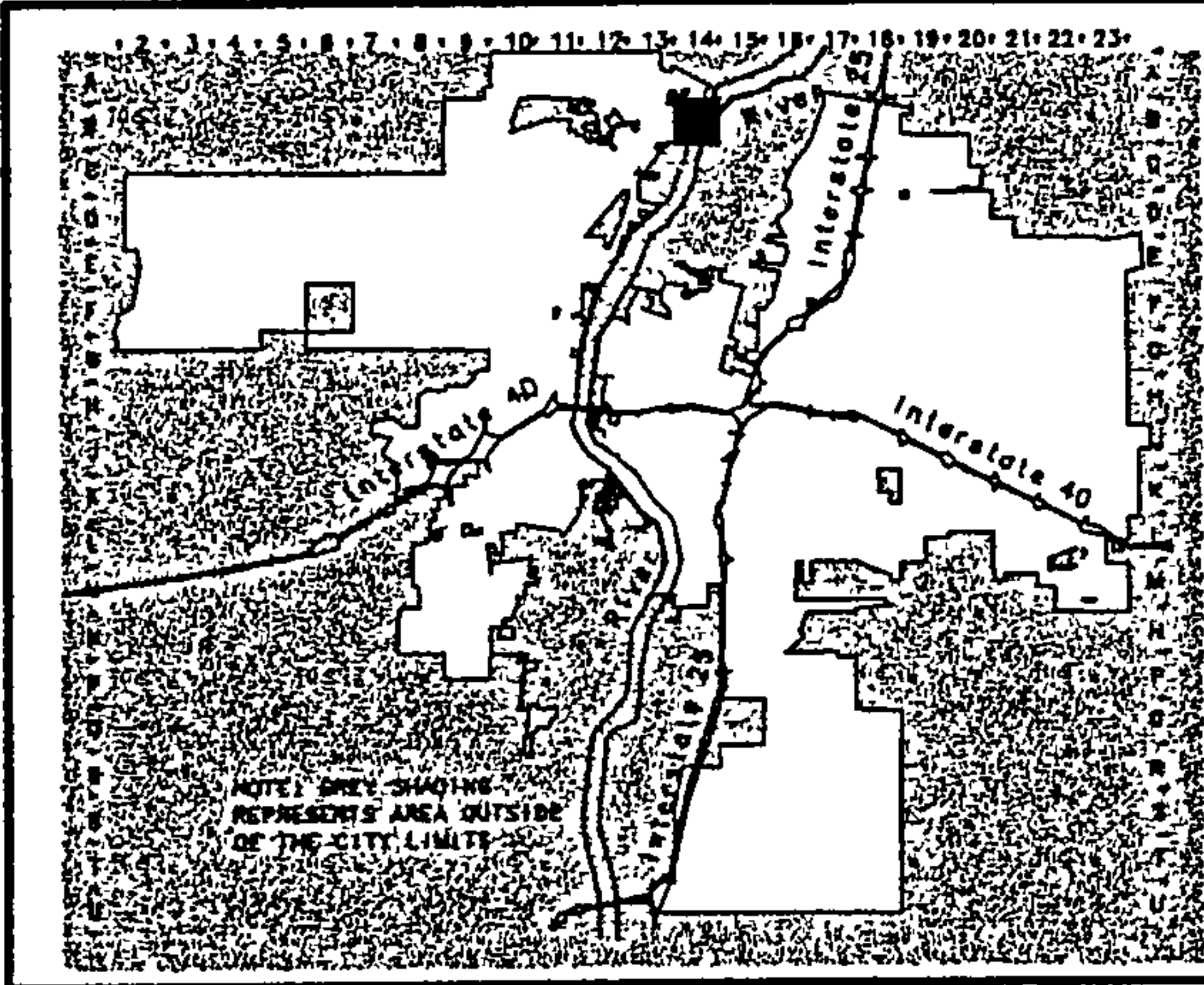
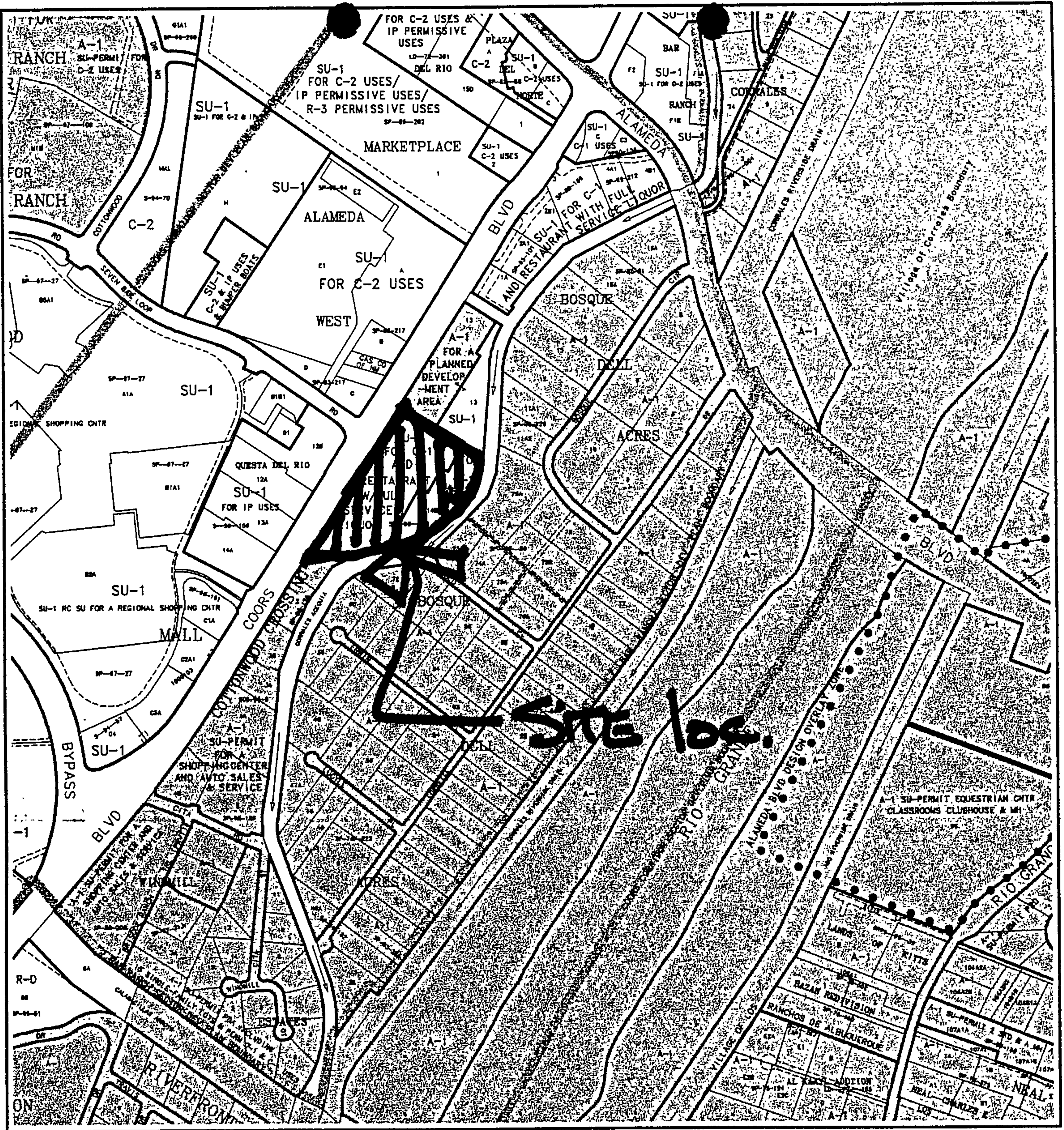
A 30 inch high earth berm has provided to satisfy this request.

Sincerely:



Stephen Dunbar

George Rainhart, Architect and Associates P.C



CITY OF
Albuquerque
A G I S
Albuquerque Geographic Information System
PLANNING DEPARTMENT
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Zone Atlas Page

B-14-Z

Map Amended through July 20, 2001



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

November 12, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:10 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000029**
03DRB-01785 Major-Preliminary Plat Approval
03DRB-01786 Major-Vacation of Public Easements
03DRB-01787 Minor-Sidewalk Waiver
03DRB-01788 Minor-Temp Defer SDWK
BOHANNAN HUSTON, INC. agent(s) for SAWMILL COMMUNITY LAND & TRUST request(s) the above action(s) for all or a portion of Lot(s) C & B-1-A-1, Duke City Lumber Company Addition and Lot D-1-A of Arbolera De Vida, (to be known as **ARBOLERA DE VIDA, PHASE 2**), zoned S-M1, S-DR, located on BELLAMAH AVE. NW, between 19th ST NW and 18th ST NW containing approximately 26 acre(s).
[Deferred from 11/12/03] (H-13) DEFERRED AT THE AGENT'S REQUEST TO 11/19/03.

2. **Project # 1000650**
03DRB-01782 Major-Bulk Land
Variance
03DRB-01783 Minor-Prelim&Final Plat
Approval
03DRB-01906 Minor-SiteDev Plan
Subd/EPC

TIERRA WEST LLC agent(s) for WAL-MART STORES INC. request(s) the above action(s) for all or a portion of Tract(s) 1A & 2A, **LANDS OF LAMONICA & WENK**, zoned SU-1,C-1 Perm. Uses, located on COORS BLVD SW, between RIO BRAVO BLVD SW and LAMONICA RD SW containing approximately 21 acre(s). [REF: 03EPC-00905, 00907, 01109 & 01110] **[Carmen Marrone, EPC Case Planner] [Deferred from 11/12/03] (P-10) DEFERRED AT THE AGENT'S REQUEST TO 11/19/03.**

3. **Project # 1001765**
03DRB-01781 Major-Bulk Land
Variance

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT COMPANY INC. request(s) the above action(s) for all or a portion of Tract(s) UNPLATTED LAND WITHIN SEC 8, T9N, R2E, N.M.P.M., TOWN OF ATRISCO GRANT, (to be known as **ANDERSON HEIGHTS**, zoned C-1, R-LT, located on DENNIS CHAVEZ BLVD SW between COORS BLVD SW and 118th ST SW containing approximately 98 acre(s). [REF: 03DRB-01695, 02EPC-00315, 02EPC-00314] (P-8) **THE BULK LAND VARIANCE WAS APPROVED.**

- Project # 1001765**
03DRB-01695 Minor-Prelim & Final
Plat Approval

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT COMPANY INC. request(s) the above action(s) for all or a portion of Tract(s) UNPLATTED, **TOWN OF ATRISCO GRANT**, zoned C-1, R-LT, located on DENNIS CHAVEZ BLVD SW between DENNIS CHAVEZ BLVD SW and 118TH ST SW containing approximately 98 acre(s). [Project # changed from 1003017 now void] **[Deferred from 10/15/03] (P-8) THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO CITY ENGINEER FOR MODIFICATION OF EASEMENT LANGUAGE AND PLANNING FOR AGIS DXF FILE.**

4. **Project # 1002194**
03DRB-01778 Major-Preliminary Plat
Approval

GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) 2, **SUNPORT LODGINGS ADDITION**, zoned R-2 residential zone, located on WELLESLEY DR SE, between KATHRYN AVE SE and ANDERSON AVE SE containing approximately 2 acre(s). [REF: 03DRB-00537] (L-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/12/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/8/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: A 20-FOOT PUBLIC DRAINAGE EASEMENT SHALL BE INCORPORATED INTO LOT 7.**

5. **Project # 1002792**
03DRB-01780 Major-Vacation of
Public Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH**, zoned SU-1 for C-1 & Rest (ETC) & SU-1,O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s).[REF: 03EPC-01085 & 01086] [*Deferred from 11/12/03*] (B-14) **DEFERRED AT THE AGENT'S REQUEST TO 11/26/03.**

6. **Project # 1002957**
03DRB-01784 Major-Vacation of
Public Easements

JEFF MORTENSEN & ASSOCIATES INC. agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) 26A-1, TAYLOR RANCH, zoned R-T residential zone, located on TAYLOR RANCH DR NW, between MONTANO RD NW and HOMESTEAD CR NW containing approximately 14 acre(s). [REF: 03DRB-01524 & 01525] (D-11) VACATION APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDITIONAL CONDITION: PRIOR TO FINAL PLAT APPROVAL A REPLACEMENT TEMPORARY CONSTRUCTION EASEMENT ACCEPTABLE TO THE CITY'S WATER UTILITY DIVISION AND APPROVED BY THE CITY ENGINEER SHALL BE PROVIDED TO BE RECORDED WITH THE COUNTY CLERK BY THE CITY WITH THE FINAL PLAT.

7. **Project # 1000875**
03DRB-01747 Major-Preliminary Plat
Approval
03DRB-01748 Minor-Temp Defer SDWK

COMMUNITY SCIENCES CORPORATION agent(s) for FINELAND LLC & KB HOME NM request(s) the above action(s) for all or a portion of Tract(s) F & E, FINELAND DEVELOPMENT, (to be known as CRESTVIEW SUBDIVISION) zoned SU-1 for R-2, located on MCMAHON BLVD NW, between UNSER BLVD NW and TUSCANY DR NW containing approximately 11 acre(s). [REF: 03EPC-01095, 100875, 100898] [Deferred from 11/5/03] (A-11) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/12/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/12/03 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

8. **Project # 1001816**
03DRB-01640 Major-Vacation of Pub
Right-of-Way

JANE CARLTON request(s) the above action(s) for all or a portion of Lot(s) 10, 11 and 12, **NM TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-2 special neighborhood zone, HDA, located on the southside of TIJERAS AVE NW, between 9th ST NW AND 10TH St NW containing approximately 1 acre(s). [REF: 02LUC-00952, 02CC-00446 & 00950 AP, Z-94-1, LUC92-3] *[Deferred from 10/22/03 & 10/29/03]* (J-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDITIONAL CONDITION: AN INFRASTRUCTURE LIST WILL BE REQUIRED TO REMOVE AND REPLACE THE SIDEWALK.**

9. **Project # 1000922**
03DRB-01725 Major-Bulk Land Variance
03DRB-01726 Major-Vacation of Pub
Right-of-Way
03DRB-01727 Major-Vacation of Public
Easements
03DRB-01728 Minor-Prelim&Final Plat
Approval

WILSON & COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT, request(s) the above action(s) for all or a portion of **VOLCANO CLIFFS SUBDIVISION, UNIT 20**, LOTS 1-30, BLOCK 1, LOTS 1-38, BLOCK 2, LOTS 1-62, BLOCK 3, LOTS 1-14, BLOCK 4 AND LOTS 1-22, BLOCK 5 AND **VOLCANO CLIFFS SUBDIVISION, UNIT 21**, ALL BLOCKS AND LOTS AND **VOLCANO CLIFFS SUBDIVISION, UNIT 23**, LOTS 1-10, BLOCK 1, LOTS 1-13, BLOCK 2, LOTS 1-21, BLOCK 3, LOTS 1-51, BLOCK 4, LOTS 1-27, BLOCK 5, LOTS 1-6, BLOCK 6, LOTS 1-28, BLOCK 7 AND LOTS 1-7, BLOCK 8 AND **VOLCANO CLIFFS SUBDIVISION, UNIT 27**, LOTS 16-18 AND 22, BLOCK 2, LOTS 1-8, BLOCK 4 AND LOTS 1-7, BLOCK 5, (to be known as **LA CUENTISTA SUBDIVISION**) zoned R-1, located on the east and west sides of Unser Blvd NW (Kimmick) between Urraca NW and Calle Norteña NW, containing approximately 237 acres. [REF: DRB-97-78, V-97-116, 02DRB-01783, 02DRB-01785] (C-10/11 & D-10/11) **THE BULK LAND VARIANCE WAS APPROVED. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT DELEGATED TO PLANNING FOR AGIS DXF FILE AND THE 15-DAY APPEAL PERIOD.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1000694**
03DRB-01897 Minor-SiteDev Plan
BldPermit/EPC
03DRB-01898 Minor-Prelim&Final Plat
Approval
- JCG & ASSOCIATES agent(s) for FAMILY WORSHIP CENTER request(s) the above action(s) for all or a portion of Lot(s) 226-230, **TOWN OF ATRISCO GRANT-AIRPORT UNIT**, zoned SU-1 for Church, located on GLENRIO RD NW, between I-40 and 72nd ST NW containing approximately 8 acre(s). [REF: DRB-96-415, DRB-96-313] **[Mary Piscitelli, EPC Case Planner]** *[Deferred from 11/12/03]* (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 11/26/03.**
11. **Project # 1003057**
03DRB-01902 Minor-Amnd SiteDev Plan
Subd
03DRB-01903 Minor-Prelim&Final Plat
Approval
03DRB-01904 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES agent(s) for GRAYLAND, INC. request(s) the above action(s) for all or a portion of Tract(s) A-2, **CLIFFORD WEST BUSINESS PARK, UNIT 3**, zoned SU-1 IP, located on UNSER BLVD NW, between LOS VOLCANES RD NW and SAUL BELL RD NW containing approximately 13 acre(s). [REF: 1000918, AA-98-54, Z-97-11, DRB-97-138, S-98-54] *[Deferred from 11/12/03]* (K-9/K-10) **DEFERRED AT THE AGENT'S REQUEST TO 11/19/03.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS

12. **Project # 1002565**
03DRB-01905 Minor- Minor-Subd Design
(DPM) Variance
- MARK GOODWIN & ASSOCIATES agent(s) for LOS GRIEGOS DEVELOPMENT, LLC. request(s) the above action(s) for Lots 161A, 161B1, 161B2, 162A, 162B, 163A, 166A, 166B, 167A, MRGCD MAP 31, **VILLA DE LA CAPILLA**, zoned RA-2, located on GRIEGOS RD NW, between SAN ISIDRO ST NW and the GRIEGOS DRAIN containing approximately 5 acre(s). (F-13) **A SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
13. **Project # 1000933**
03DRB-01895 Minor-Final Plat
Approval
- BOHANNAN HUSTON, INC. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) B-5, **MANZANO MESA, TERRACITA SUBDIVISION**, zoned R-T residential zone, located on SOUTHERN BLVD SE, between JUAN TABO BLVD SE and SHIRLEY ST SE containing approximately 13 acre(s). [REF: 03DRB-00515, 00516, 00517 & 00518] [*Deferred from 11/12/03*] (L-21) **DEFERRED AT THE AGENT'S REQUEST TO 11/19/03.**
14. **Project # 1002455**
03DRB-01899 Minor-Prelim&Final Plat
Approval
- TIMOTHY M. OTT agent(s) for JOE COTRUZZOLA request(s) the above action(s) for all or a portion of Lot(s) A3B, **J. GROUP ADDITION**, zoned SU -1, C-1, located on SAN ANTONIO RD NE, between I-25 and SAN PEDRO NE containing approximately 10 acre(s). [REF: Z-93-3, DRB-96-452, 03DRB-01654, 03DRB-01655] (E-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/12/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/16/03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

15. **Project # 1002638**
03DRB-01896 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST, LTD agent(s) for KIET & NGA NGUYEN request(s) the above action(s) for all or a portion of Lot(s) 13, Block(s) 31, **BUENA VENTURA**, zoned R-1 residential zone, located on ALTEZ ST NE, between COPPER AVE. NE and ERBBE ST. NE containing approximately 1 acre(s). [REF: 03DRB-00714] (K-20) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR REAL PROPERTY AND AMAFCA SIGNATURES.**

16. **Project # 1003095**
03DRB-01900 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC., agent(s) for PREFERRED BUILDINGS SYSTEMS request(s) the above action(s) for all or a portion of Tract(s) 2-A, **LA MIRADA ADDITION.**, zoned O-1/P, office and institution zone, parking, located on LA MIRADA PL NE, between WYOMING BLVD NE and PENNSYLVANIA ST NE containing approximately 3 acre(s). (G-19) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE.**

17. **Project # 101655**
03DRB-01887 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for ROSS VANWASSENHOVE request(s) the above action(s) for all or a portion of Lot(s) 23A-1-A-1, Block(s) 14, **PALISADES ADDITION**, zoned R-1, located on GRANDE VISTA NW N, between VISTA GRANDE NW and WARD DR NW containing approximately 2 acre(s). [REF: 01DRB-01840, 02DRB00250, 03-00940] [*Deferred from 11/2/03*] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 11/19/03.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

18. **Project # 1003096**
03DRB-01901 Minor-Sketch Plat or Plan
- EILEEN DEVEREOX request(s) the above action(s) for all or a portion of Lot(s) 53 - 58, **J. M. MOORE REALTY CO., NO. 1**, zoned SU-2 special neighborhood zone, SMRN / SR, located on the northwest corner of Mountain Rd NW and 8th ST NW containing approximately .2662 acre(s). (J-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
19. Approval of the Development Review Board Minutes for October 29, 2003. **THE MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 12:10 P.M.

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002792 AGENDA#: 5 DATE: 11.12

1. Name: John M. Address: Jessie West Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002792

AGENDA ITEM NO: 5

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

The Hydrology Section cannot approve the vacation request until the AMAFCA board has acted on the vacation request.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

11-26-03

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: November 12, 2003



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

November 12, 2003

Project # 1002792
 03DRB-01780 Major-Vacation of Public Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH**, zoned SU-1 for C-1 & Rest (ETC) & SU-1,O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s).[REF: 03EPC-01085 & 01086] (B-14)

AMAFCA

AMAFCA does not approve vacation of the AMAFCA Floodway & Storm Drainage Works Easement. Vacation will require action by the AMAFCA Board of Directors at the November 20 meeting.

- COG No adverse comments.
- Transit No comments received.
- Zoning Enforcement Reviewed, no comment.
- Neighborhood Coor. No Association.
- APS No comments received.
- Police Department No adverse comments.
- Fire Department No adverse comments.
- PNM Gas Approves.
- PNM Electric

PNM approves the vacations. For final plat sign off all existing and newly proposed electric lines will need to be covered by platted easements.

- Comcast No comments received.
- QWEST No comments received.

Environmental Health

Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D.

No comments received.

Open Space Division

No adverse comments.

City Engineer

The Hydrology section has no objection to the vacation request with the following conditions: 1) AMAFCA board must vacate their easement. 2) A drainage report showing alternate easement must be approved by both the City and AMAFCA prior to Final Plat.

Transportation Development

No objection to vacation action, defer to utilities having an interest.

Parks & Recreation

Defer to effected agencies.

Utilities Development

No objection to Vacation requests.

Planning Department

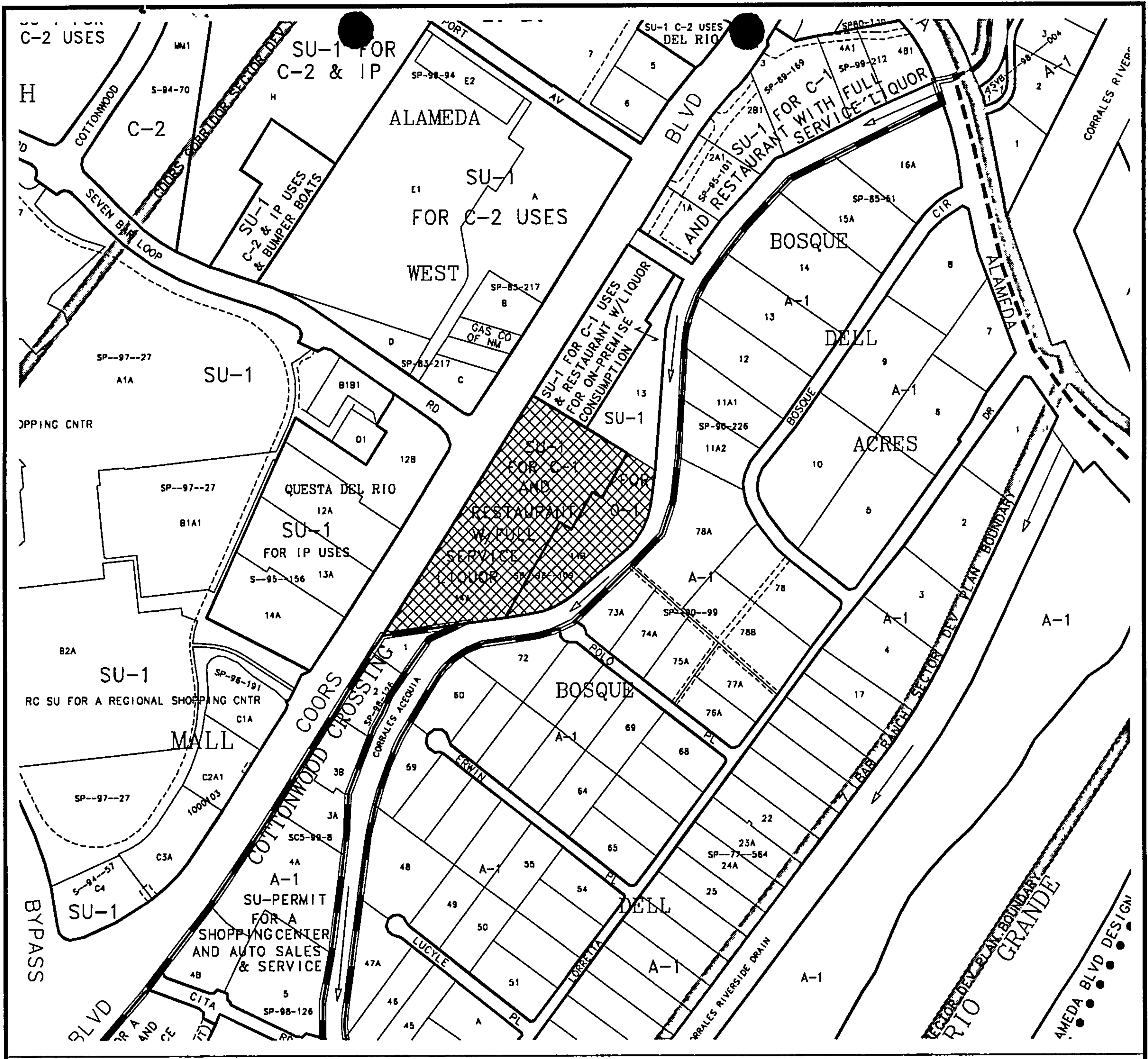
No objection to the requested vacations. It does appear, however, that there is an existing PNM & US WEST easement in the three feet of additional public right of way to be granted to the City when the platting action occurs. Section 14-14-2-4 (B)(1) states that such dedications shall be free of encumbrances.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: Trust of Albert & Mary Black, 3613 NM State Road 528 NW, 87114

Tierra West LLC, 8509 Jefferson St NE, 87113

PLANNING DEPARTMENT



ZONING MAP



Scale 1" = 517'

PROJECT NO.
1002792

HEARING DATE
11-12-03

MAP NO.
B-14

ADDITIONAL CASE NUMBER(S)
03DRB-01780

Note: Shaded area indicates County

Not to Scale



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1002792

03DRB-01780 Major-Vacation of Public Easements


TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH**, zoned SU-1 for C-1 & Rest (ETC) & SU-1,O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s). [REF: 03EPC-01085 & 01086] (B-14)

Project # 1002957

03DRB-01784 Major-Vacation of Public Easements

JEFF MORTENSEN & ASSOCIATES INC. agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) 26A-1, **TAYLOR RANCH**, zoned R-T residential zone, located on TAYLOR RANCH DR NW, between MONTANO RD NW and HOMESTEAD CR NW containing approximately 14 acre(s). [REF: 03DRB-01524 & 01525] (D-11)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, OCTOBER 27, 2003.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, November 12, 2003**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000029

03DRB-01785 Major-Preliminary Plat
Approval
03DRB-01786 Major-Vacation of Public
Easements
03DRB-01787 Minor-Sidewalk Waiver
03DRB-01788 Minor-Temp Defer SDWK

BOHANNAN HUSTON, INC. agent(s) for SAWMILL COMMUNITY LAND & TRUST request(s) the above action(s) for all or a portion of Lot(s) C & B-1-A-1, Duke City Lumber Company Addition and Lot D-1-A of Arbolera De Vida, (to be known as **ARBOLERA DE VIDA, PHASE 2**), zoned S-M1, S-DR, located on BELLAMAH AVE. NW, between 19th ST NW and 18th ST NW containing approximately 26 acre(s). (H-13)

Project # 1000650

03DRB-01782 Major-Bulk Land Variance
03DRB-01783 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for WAL-MART STORES INC. request(s) the above action(s) for all or a portion of Tract(s) 1A & 2A, **LANDS OF LAMONICA & WENK**, zoned SU-1,C-1 Perm. Uses, located on COORS BLVD SW, between RIO BRAVO BLVD SW and LAMONICA RD SW containing approximately 21 acre(s). [REF: 03EPC-00905, 00907, 01109 & 01110] (P-10)

Project # 1001765

03DRB-01781 Major-Bulk Land Variance

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT COMPANY INC. request(s) the above action(s) for all or a portion of Tract(s) UNPLATTED LAND WITHIN SEC 8, T9N, R2E, N.M.P.M., TOWN OF ATRISCO GRANT, (to be known as **ANDERSON HEIGHTS**, zoned C-1, R-LT, located on DENNIS CHAVEZ BLVD SW between COORS BLVD SW and 118th ST SW containing approximately 98 acre(s). [REF: 03DRB-01695, 02EPC-00315, 02EPC-00314] (P-8)

Project # 1002194

03DRB-01778 Major-Preliminary Plat
Approval

GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) 2, **SUNPORT LODGINGS ADDITION**, zoned R-2 residential zone, located on WELLESLEY DR SE, between KATHRYN AVE SE and ANDERSON AVE SE containing approximately 2 acre(s). [REF: 03DRB-00537] (L-16)

SEE PAGE 2

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: November 12, 2003
Zone Atlas Page: B-14-Z
Notification Radius: 100 Ft.

Project# 1002792
App# 03DRB-01780

Cross Reference and Location: N/A

Applicant: TRUST OF ALBERT & MARY BLACK
Address: 3613 NM STATE RD 528 NW
ALBUQUERQUE NM 87114

Agent: TIERRA WEST, LLC
Address: 8509 JEFFERSON ST NE
ALBUQUERQUE NM 87113

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: October 24, 2003

Signature: Kyle Tsethlikai

101406522938020302 LEGAL: TR 1 3 PARTITION OF THE BLACK RANCH WITHIN MRGCD MA LAND USE:
 PROPERTY ADDR: 00000 COORS
 OWNER NAME: GARDUNG DAVE & LORETTA
 OWNER ADDR: 10555 MONTGOMERY BL NE ALBUQUERQUE NM 87111

101406516235720225 LEGAL: TR C ALA MEDA WEST CONT 0.8642 AC M/L OR 37,645 SF LAND USE:
 PROPERTY ADDR: 00000 COORS
 OWNER NAME: STRATEGIC NEW MEXICO PARTNERS
 OWNER ADDR: 10200 CORRALES RD NW ALBUQUERQUE NM 87114

101406514433120110 LEGAL: LT 1 2-B OF LTS 12-A, 12-B, 13-A & 14-A QUESTA DEL LAND USE:
 PROPERTY ADDR: 00000 COORS
 OWNER NAME: CAJUN WEST INVESTMENTS LLC
 OWNER ADDR: 02201 HARDY ST HATTIESBURG MS 39401

101406519031820301 LEGAL: TRAC T 14 -A TRACTS 14-A AND 14-B BLACK RANCH CONT 6 LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: BLACK ALBERT J
 OWNER ADDR: 10416 MORNING STAR NE ALBUQUERQUE NM 87111

101406511932120111 LEGAL: LT 1 2-A OF LTS 12-A, 12-B, 13-A & 14-A QUESTA DEL LAND USE:
 PROPERTY ADDR: 00000 COORS
 OWNER NAME: PRESIDIO LLC
 OWNER ADDR: 00000 ALBUQUERQUE NM 87194

101406524830110214 LEGAL: TR 7 8A BOSQUE DELL ACRES BEING A REPL OF TR 11 & T LAND USE:
 PROPERTY ADDR: 00000 BOSQUE
 OWNER NAME: DECATUR EDWARD N & SHARON B
 OWNER ADDR: 10039 BOSQUE CI NW ALBUQUERQUE NM 87114

101406522431320303 LEGAL: TRAC T 14 -B TRACTS 14-A AND 14-B BLACK RANCH CONT 2 LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: BLACK ALBERT J
 OWNER ADDR: 10416 MORNING STAR NE ALBUQUERQUE NM 87111

101406510530120112 LEGAL: LT 1 3-A OF LTS 12-A, 12-B, 13-A & 14-A QUESTA DEL LAND USE:
 PROPERTY ADDR: 00000 COORS
 OWNER NAME: GARDUNG FAMILY INV LLC
 OWNER ADDR: 11312 WOODMAR LN NE ALBUQUERQUE NM 87111

101406509428120113 LEGAL: LT 1 4-A OF LTS 12-A, 12-B, 13-A & 14-A QUESTA DEL LAND USE:
 PROPERTY ADDR: 00000 COORS
 OWNER NAME: BRINKER RESTAURANT CORP
 OWNER ADDR: 06820 LBJ FREEWAY DALLAS TX 75240

101406521828310201 LEGAL: TR 7 3A BOSQUE DELL ACRES BEING A REPL OF TR 11 & T LAND USE:
 PROPERTY ADDR: 00000 POLO
 OWNER NAME: EVANKO MARK A & DEBORAH A
 OWNER ADDR: 01511 POLO PL NW ALBUQUERQUE NM 87114

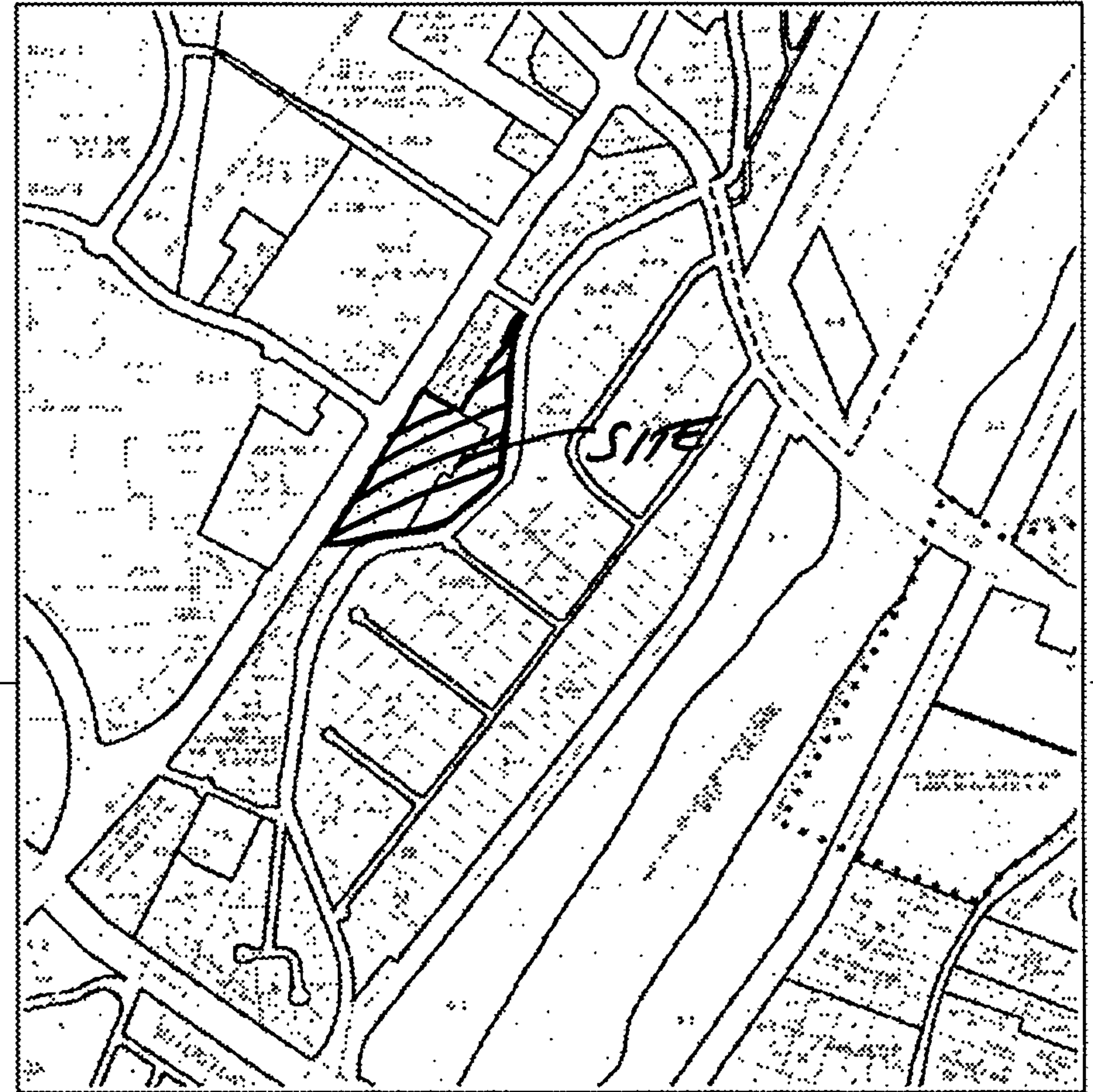
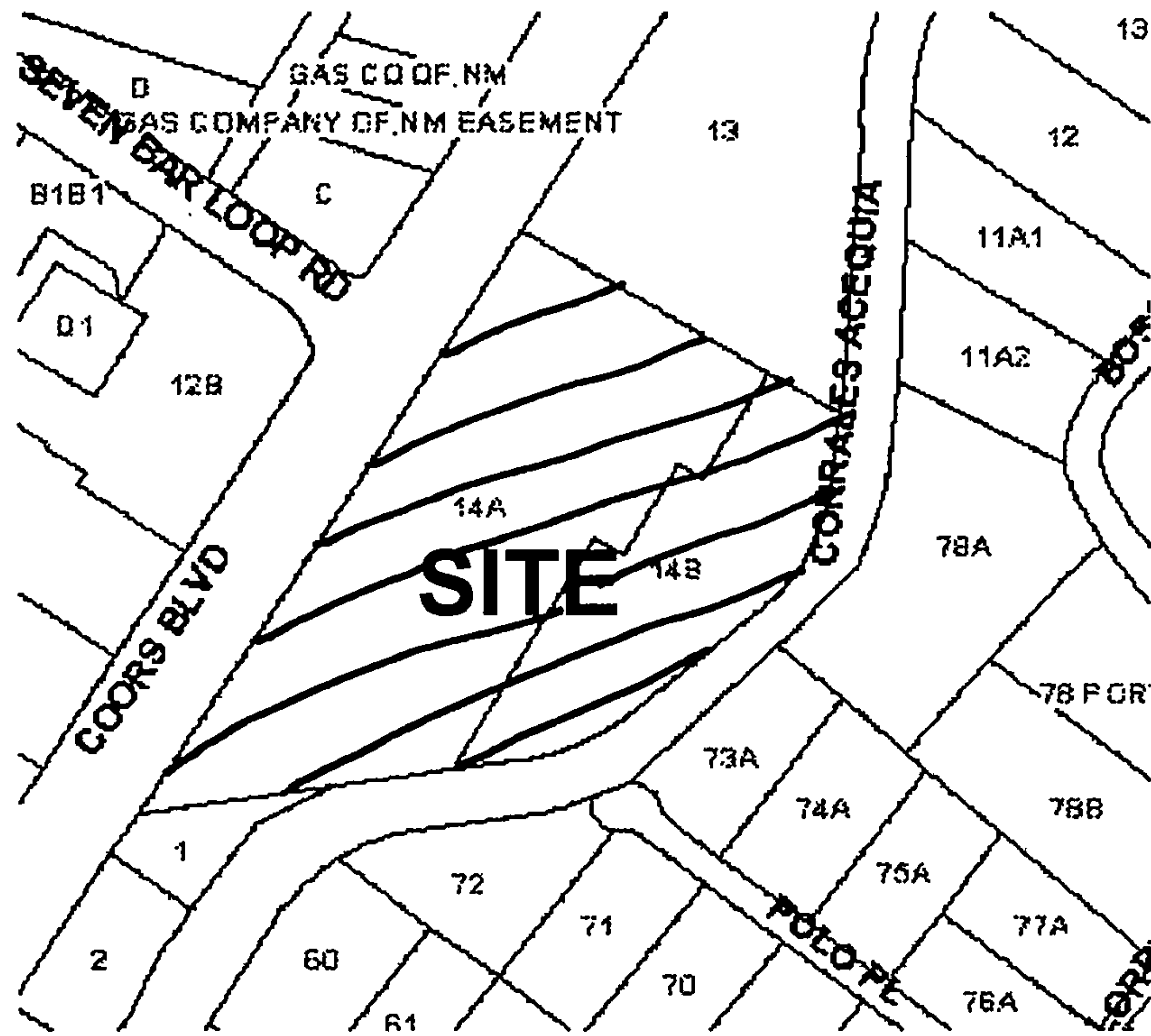
101406518626630234 LEGAL: 072 BOSQUE DELL ACRES SUB LAND USE:
 PROPERTY ADDR: 00000 POLO
 OWNER NAME: PINTZ FREDERICK R
 OWNER ADDR: 01516 POLO PL NW ALBUQUERQUE NM 87114

101406514828220307 LEGAL: LT 1 OF LTS 1 - 5 COTTONWOOD CROSSING LAND USE:
 PROPERTY ADDR: 00000 COORS
 OWNER NAME: BLACK DEVELOPMENT ONE LLC
 OWNER ADDR: 10416 MORNING STAR NE ALBUQUERQUE NM 87111

101406520125630233 LEGAL: 071 BOSQUE DELL ACRES SUB LAND USE:
 PROPERTY ADDR: 00000 POLO
 OWNER NAME: KLECAN MARK J & PATRICIA A
 OWNER ADDR: 01512 POLO PL NW ALBUQUERQUE NM 87114

101406515925230222 LEGAL: 060 BOSQUE DELL ACRES SUB LAND USE:
 PROPERTY ADDR: 00000 ERWIN
 OWNER NAME: KUNKLE ROBERT J & DONNA L
 OWNER ADDR: 01519 ERWIN PL NW ALBUQUERQUE NM 87114

101406513526520306 LEGAL: LT 2 OF LTS 1 - 5 COTTONWOOD CROSSING LAND USE:
 PROPERTY ADDR: 00000 COORS
 OWNER NAME: WESTERN BANK
 OWNER ADDR: 00000 ALBUQUERQUE NM 87125



Selected Address: 10042 COORS BLVD NW
Zoning: SU-1 FOR C-1 AND RESTAURANT W/
FULL SERVICE LIQUOR
Lot/Block/Subd: 14A , 0000 , BLACK RANCH
UPC #: 101406519031820301

Zoning: SU-1 FOR O-1
Lot/Block/Subd: 14B , 0000 , BLACK RANCH
UPC #: 101406522431320303

ALBUQUERQUE
City of Albuquerque
1846

Zone Atlas Page

B-14-Z

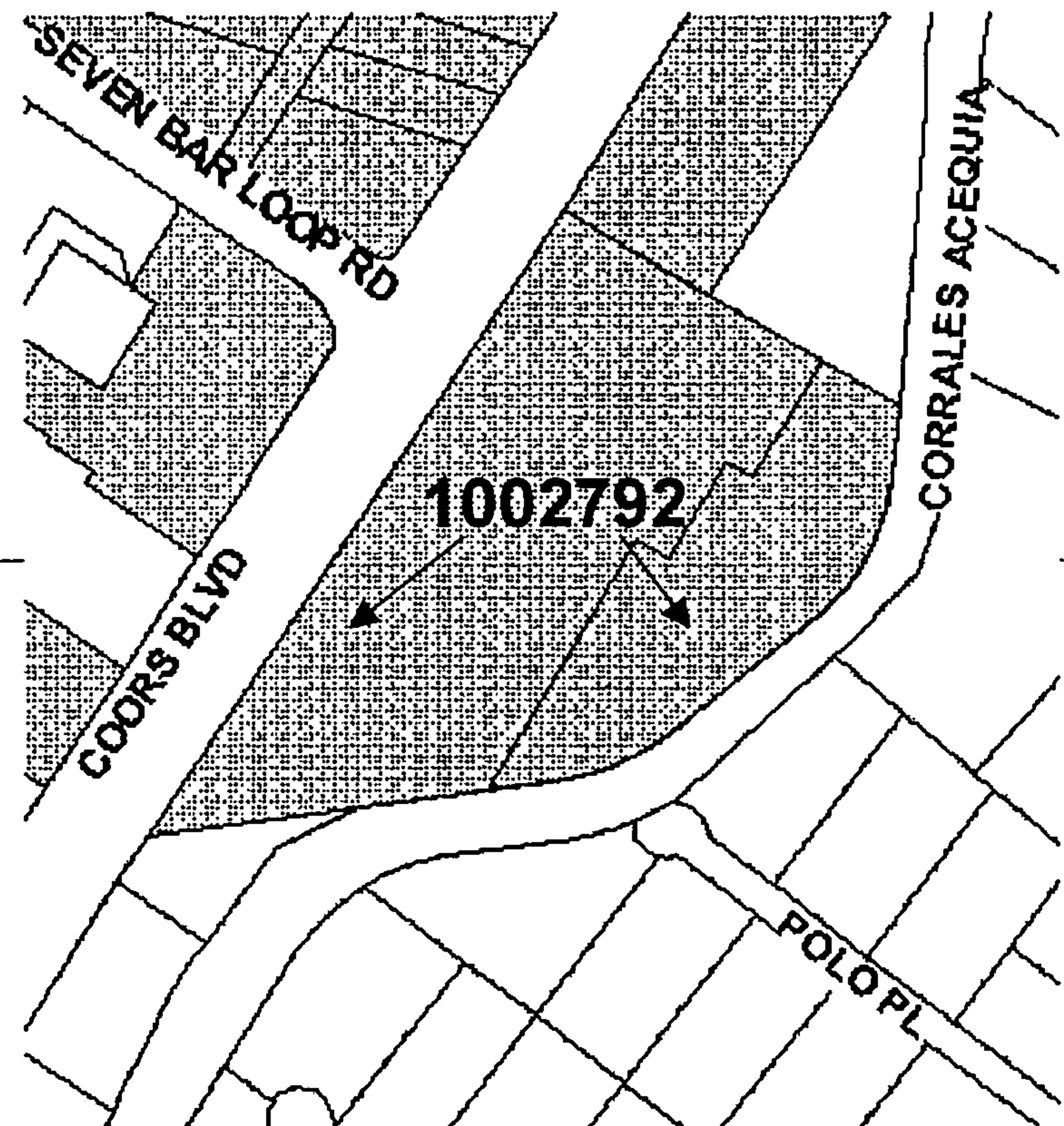
Map Revised Through 10/1/2005

Project Description: BLACK RANCH, TRACTS 14A & B

Project Number: 1002792

03EPC 01085 BUILDING PERMIT AGENCY DISTRIBUTN / REVIEW
COMPLETED/DISTRIBUTED 7/2/2003

03EPC 01086 SUBDIVISION AGENCY DISTRIBUTN / REVIEW
COMPLETED/DISTRIBUTED 7/2/2003





SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form

S

V

P

L

Supplemental form

ZONING

Z

- Annexation & Zone Establishment
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Zone Change
- Text Amendment

APPEAL / PROTEST of...

A

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: TRUST OF ALBERT & MARY BLACK
 ADDRESS: 3613 NM STATE RD 528 NW
 CITY: ABQ

STATE NM ZIP 87114

PHONE: 792.3713
 FAX: 792.3735
 E-MAIL: _____

Proprietary interest in site: OWNER
 AGENT (if any): TIERRA WEST LLC
 ADDRESS: 8509 JEFFERSON NE
 CITY: ABQ

STATE NM ZIP 87113

PHONE: 858-3100
 FAX: 858-1118
 E-MAIL: twllc@tierrawestllc.com

DESCRIPTION OF REQUEST: VACATION OF PUBLIC EASEMENTS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS 14A & 14B Block: _____ Unit: _____

Subdiv. / Addn. BLACK RANCH

Current Zoning: SU-1 FOR C-1 & REST.(ETC.) & SU-1 O-1 Proposed zoning: SAME

Zone Atlas page(s): B14 No. of existing lots: 2 No. of proposed lots: 2

Total area of site (acres): 9.7672± Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 101406519031820301 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 10042 COORS BLVD NW
 Between: COORS BLVD NW and SEVEN BAR LOOP NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB-94-358/SRP5-98-37/DRB-90-361/DRB-98-61/O3EPC-01085/O3EPC-01086 -- PROJ#: 1002792

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE

(Print) RONALD R. BOHANNAN, P.E.

DATE 10/14/03

Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>03DRB-01780</u>	<u>VPE</u>		\$ <u>90⁰⁰</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	<u>Adv. Fee</u>	_____	\$ <u>75⁰⁰</u>
Hearing date <u>Nov. 12, 2003</u>			Total \$ _____

Ronald Bohannan 10/17/03
 Planner signature / date

Project # 1002792

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE FROM SUBDIVISION DESIGN STANDARDS

- Application for subdivision (Plat) on FORM S, including those submittal requirements. Variance and subdivision should be applied for simultaneously. (24 copies)
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, P.E.

Applicant name (print)

10/16/03
Applicant signature / date



.pdf Form revised Sept. 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
030203 - 01780

10/17/03
Planner signature / date
Project # 1002792

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

October 17, 2003

Mrs. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

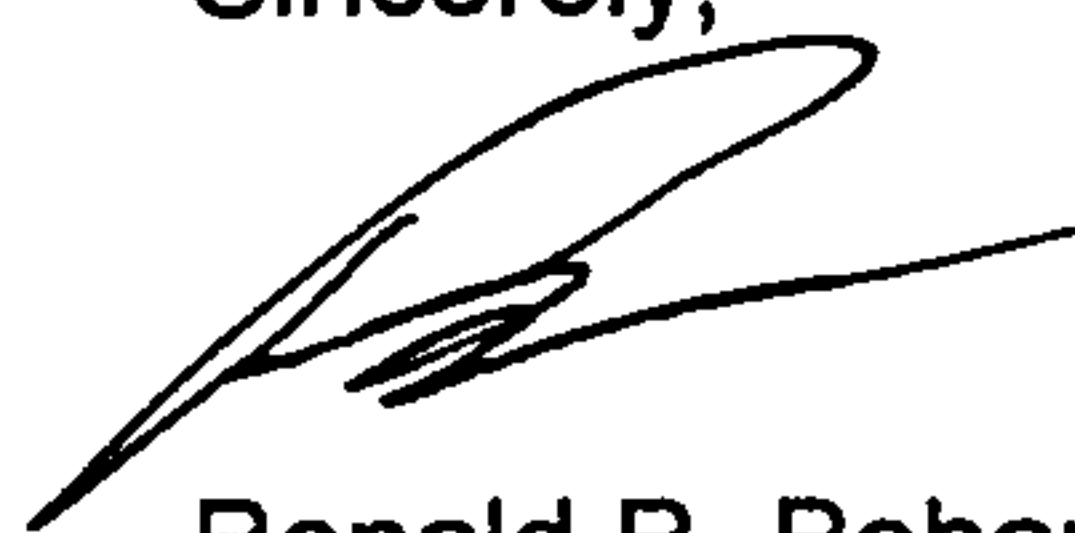
**RE: Vacation of Public Easements
Tracts 14-A & 14-B, Black Ranch
Zone Atlas Page B-14
Project#: 1002792**

Dear Mrs. Matson:

Tierra West LLC, on behalf of Trust of Albert & Mary Black, requests the approval of the Vacation of Public Easements on Tracts 14-A & 14-B, Black Ranch. The site is located at 10042 Coors Boulevard NW between Coors Boulevard NW and Seven Bar Loop NW. The easements to be vacated are a existing PNM and QWest overhead line and an existing AMAFCA Floodway and storm drainage easement, which we have attached an exhibit. We have also attached an exhibit showing the dedication of new easements for the benefit of these entities.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: John Black

JN: 220097
RRB/kk



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: October 16, 2003

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on October 16, 2003
(date)

TO CONTACT NAME: Karen Kline
COMPANY/AGENCY: Tierra West, LLC
ADDRESS/ZIP: 8509 Jefferson NE 87113
PHONE/FAX #: 858-3100 / 858-1118

Contacted the Office of Community and Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at Tract 14A & 14B Black Ranch
zone map page(s) B-14.

Our records indicate that as of 10-16-03, there were **no Recognized Neighborhood Associations** in this area.
(date)

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaina G. Carmona
OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

Phone: 505-858-3100
Fax: 505-858-1118

FACSIMILE TRANSMITTAL

To: OFFICE OF NEIGHBORHOOD COORDINATION FAX: 924-3913
TOTAL OF (2) PAGES

From: KAREN KLINE

Subject: HOMEOWNERS ASSOCIATION INFORMATION JN: 220097

Date: October 16, 2003

**PLEASE FORWARD INFORMATION ON ALL RECOGNIZED AND UNRECOGNIZED
HOMEOWNER ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS:
TRACT 14A & 14B, BLACK RANCH**

LOCATED ON LEGAL DESCRIPTION 10042 COORS BLVD NW
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN COORS BLVD NW AND SEVEN BAR LOOP NW
STREET NAME OR OTHER IDENTIFYING LANDMARK STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS SHEET:

(B-14).
ZONE ATLAS #

PLEASE CALL IF YOU HAVE ANY QUESTIONS.

SHOULD YOU HAVE ANY QUESTIONS REGARDING THIS TRANSMITTAL OR
ANY OTHER ITEMS PERTAINING TO THIS PROJECT, PLEASE DO NOT HESITATE
TO CONTACT OUR OFFICE.

IF YOU DO NOT RECEIVE ALL PAGES OF THIS TRANSMITTAL, OR IF MATERIAL IS NOT LEGIBLE,
PLEASE CONTACT OUR OFFICE FROM 8:00 AM TO 5:00 PM, MST, MONDAY THROUGH FRIDAY.
THANK YOU.

TRANSMISSION VERIFICATION REPORT

TIME : 10/16/2003 07:32
NAME : TIERRA WEST
FAX : 505-858-1118
TEL : 505-858-3100

DATE, TIME	10/16 07:30
FAX NO./NAME	9243913
DURATION	00:01:57
PAGE(S)	02
RESULT	OK
MODE	STANDARD ECM

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

Phone: 505-858-3100
Fax: 505-858-1118

FACSIMILE TRANSMITTAL

To: OFFICE OF NEIGHBORHOOD COORDINATION FAX: 924-3913
TOTAL OF (2) PAGES

From: KAREN KLINE

Subject: HOMEOWNERS ASSOCIATION INFORMATION JN: 220097

Date: October 16, 2003

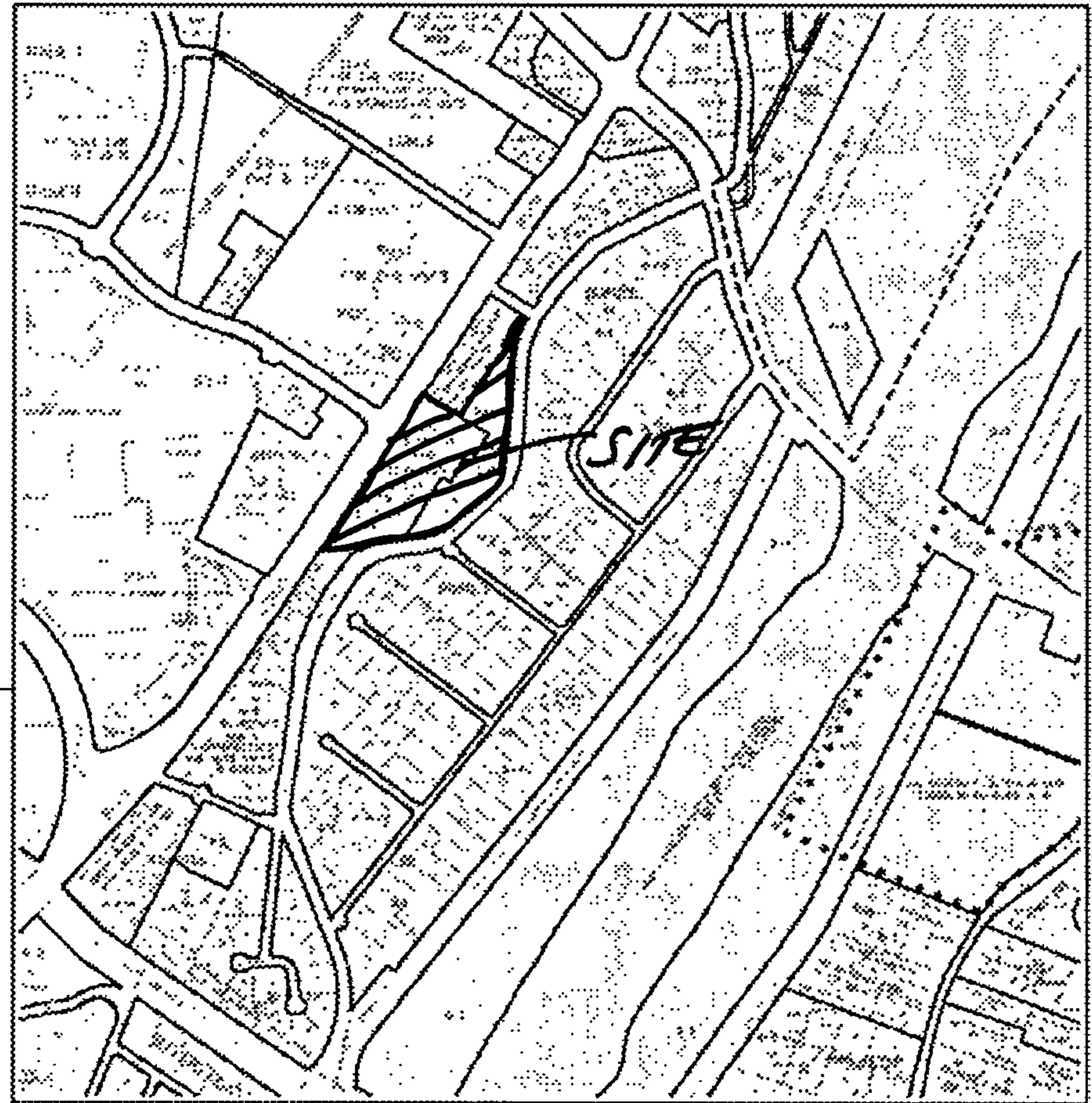
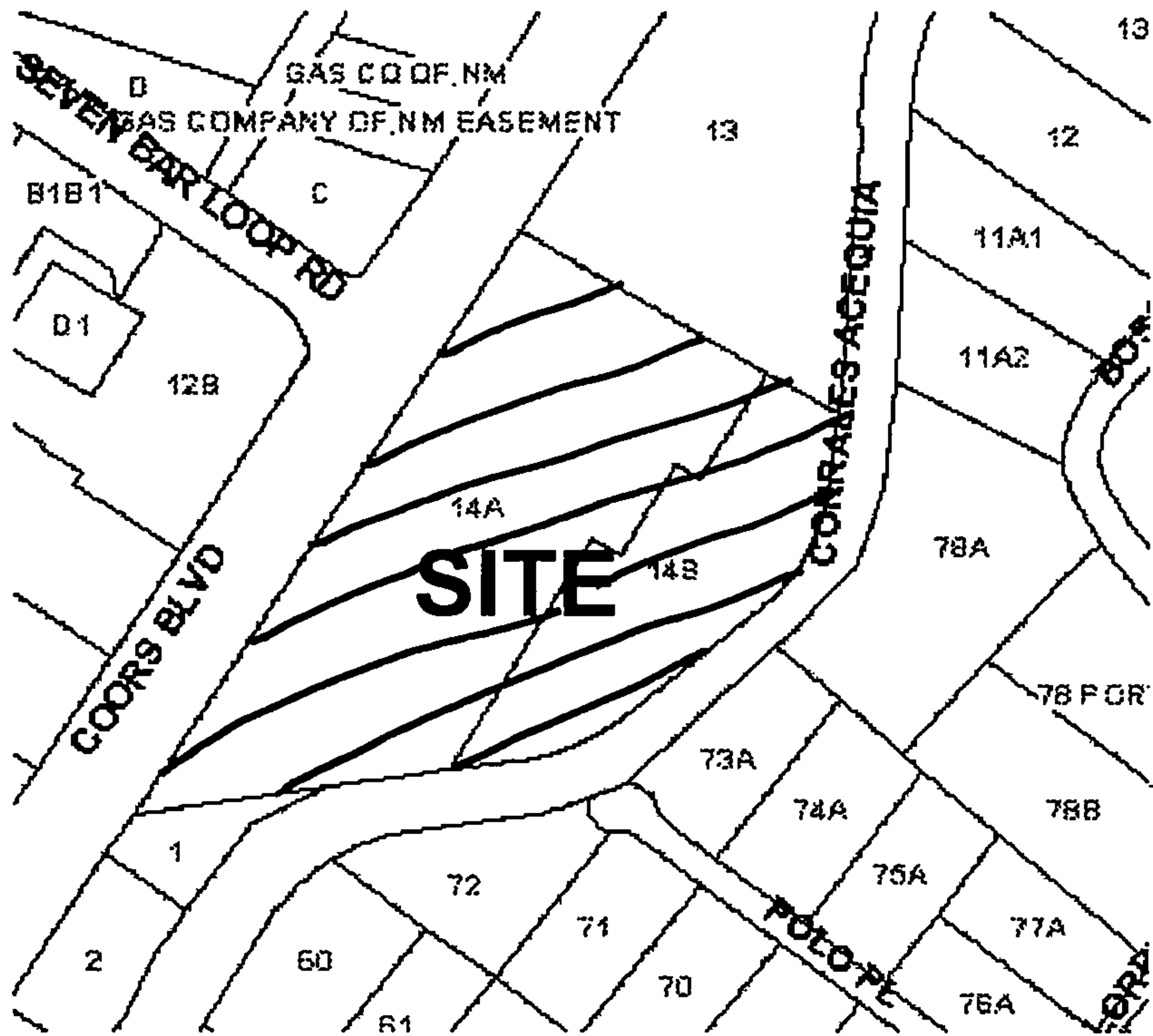
**PLEASE FORWARD INFORMATION ON ALL RECOGNIZED AND UNRECOGNIZED
HOMEOWNER ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS:
TRACT 14A & 14B, BLACK RANCH**

LOCATED ON 10042 COORS BLVD NW
LEGAL DESCRIPTION
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN COORS BLVD NW AND SEVEN BAR LOOP NW
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS SHEET:
(B-14)
ZONE ATLAS #

PLEASE CALL IF YOU HAVE ANY QUESTIONS.



Selected Address: 10042 COORS BLVD NW
Zoning: SU-1 FOR C-1 AND RESTAURANT W/
FULL SERVICE LIQUOR
Lot/Block/Subd: 14A , 0000 , BLACK RANCH
UPC #: 101406519031820301

Zoning: SU-1 FOR O-1
Lot/Block/Subd: 14B , 0000 , BLACK RANCH
UPC #: 101406522431320303

ALBUQUERQUE
 ANTONIO GARCIA LUNA SENATOR
 1999

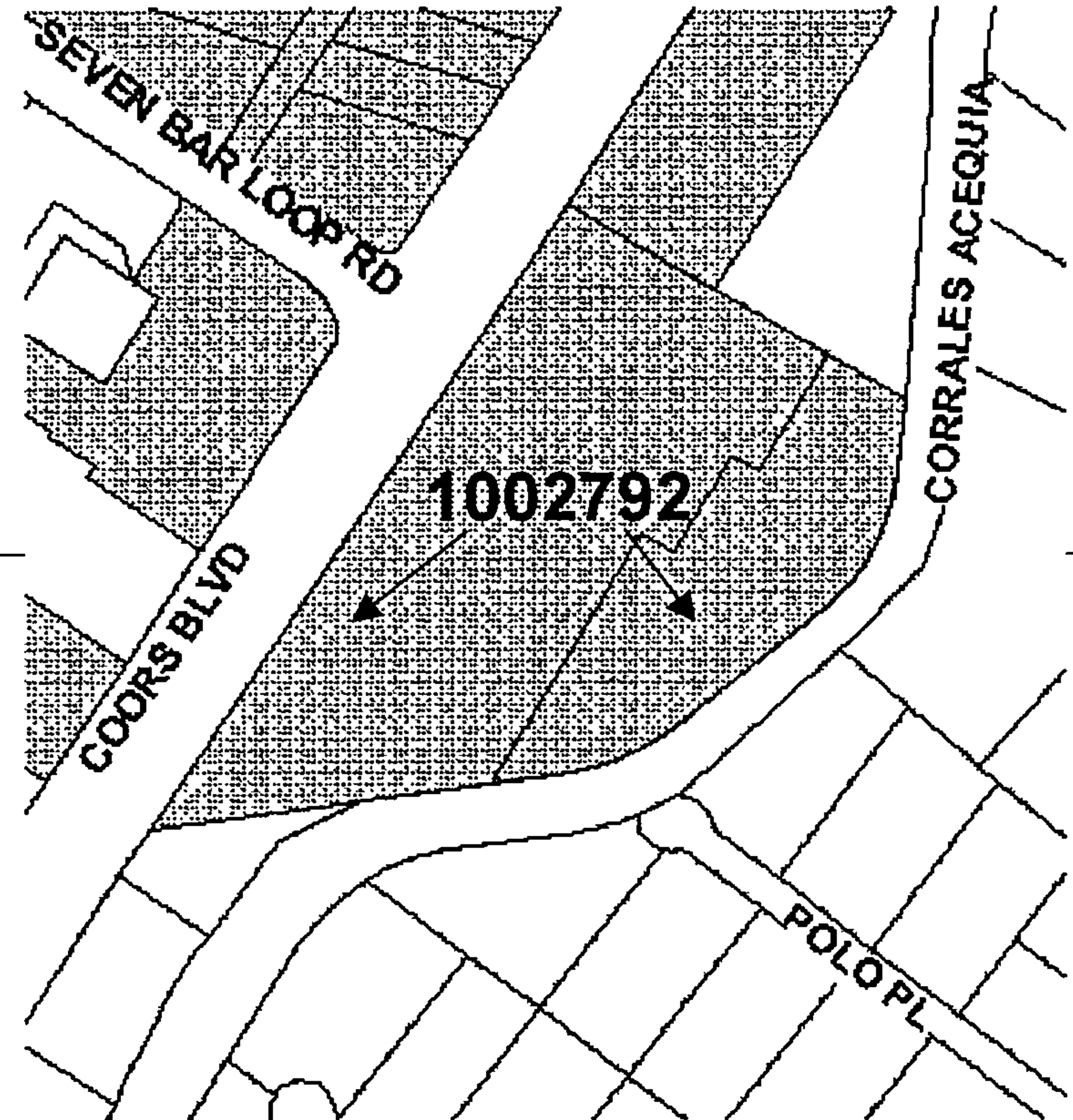
Zone Atlas Page
B-14-Z
 Map Revised/Reprint: 10/25/2025

Project Description: BLACK RANCH, TRACTS 14A & B

Project Number: 1002792

03EPC 01085 BUILDING PERMIT AGENCY DISTRIBUTN / REVIEW
COMPLETED/DISTRIBUTED 7/2/2003

03EPC 01086 SUBDIVISION AGENCY DISTRIBUTN / REVIEW
COMPLETED/DISTRIBUTED 7/2/2003



ONE STOP SHOP ••• FRONT COUNTER
 City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
 LAND DEVELOPMENT COORDINATION SECTION (LDC)
 Plaza Del Sol - 2nd & 4th Floor West - 600 2nd St NW 87102
 Front Counter Main Number (505) 924-3858 or 924-3895
 Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME

Trust of Albert + Mary Black

AGENT

Tierra West

ADDRESS

8509 Jefferson

PROJECT NO.

100 2792

APPLICATION NO.

03EPC 01780

\$ 90⁰⁰ 441006 / 4983000 (DRB Cases)

\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)

\$ 75⁰⁰ 441018 / 4971000 (Notification)

\$ 165⁰⁰ Total amount due

10 7/10
 X RE AC AC TR J2
 7/10
 4213 WSH 00/06
 9AM
 0012

TIERRA WEST LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NM 87113
 (505) 858-3100

City of Albuquerque
 City of Albuquerque
 City of Albuquerque

1433
 95-677/1070
 DATE 10/17/03
 \$ 165⁰⁰
 DUPLICATE
 DOLLARS
 Security Features Details on Back

HIGH DESERT STATE BANK
 Member FDIC
 8110 Ventura NE
 Albuquerque, NM 87122

10/17/2003 10:40AM LOC: ANN
 X
 REF: 0001 WSH 007 TRANSH 0012

MP
 001433 1070066770100201813 4971000 TRSLJS

J24 Misc		\$75.00
CK	10/28/02	\$165.00
CHANGE		\$0.00

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from Oct. 28 To Nov. 12, 2003

5. REMOVAL

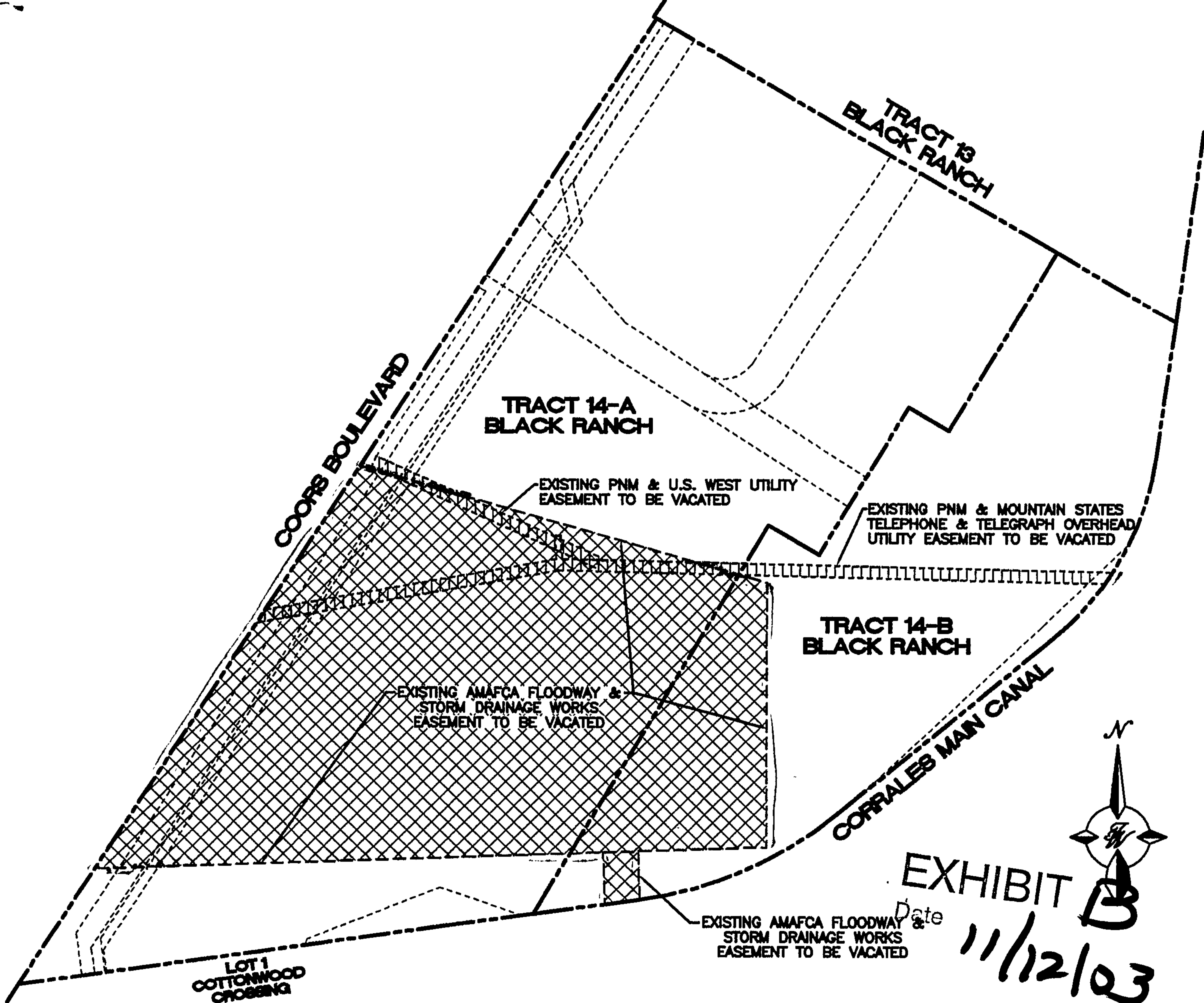
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Karen Klein (Applicant or Agent) 10/17/03 (Date)

I issued 1 signs for this application, 10/17/03 (Date), Paul Carder (Staff Member)

DRB PROJECT NUMBER: 1002792



LOT 1
COTTONWOOD
CROSSING

TRACT 14-A
BLACK RANCH

TRACT 13
BLACK RANCH

TRACT 14-B
BLACK RANCH

COORS BOULEVARD

CORRALES MAN CANAL

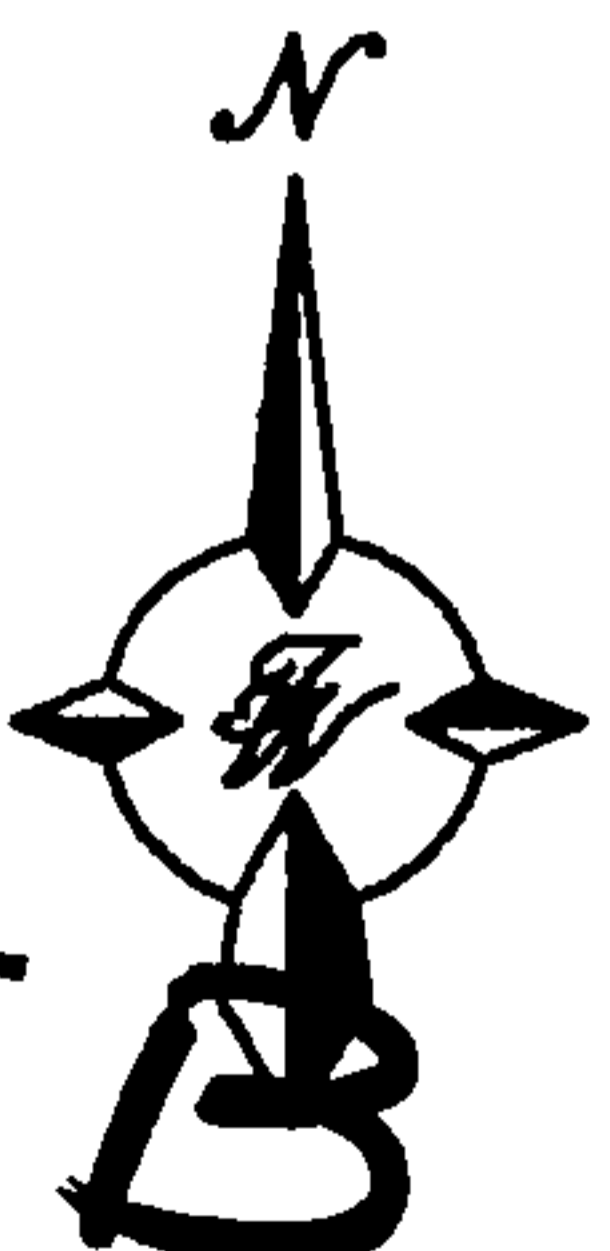
EXISTING PNM & U.S. WEST UTILITY
EASEMENT TO BE VACATED

EXISTING PNM & MOUNTAIN STATES
TELEPHONE & TELEGRAPH OVERHEAD
UTILITY EASEMENT TO BE VACATED

EXISTING AMAFCA FLOODWAY &
STORM DRAINAGE WORKS
EASEMENT TO BE VACATED

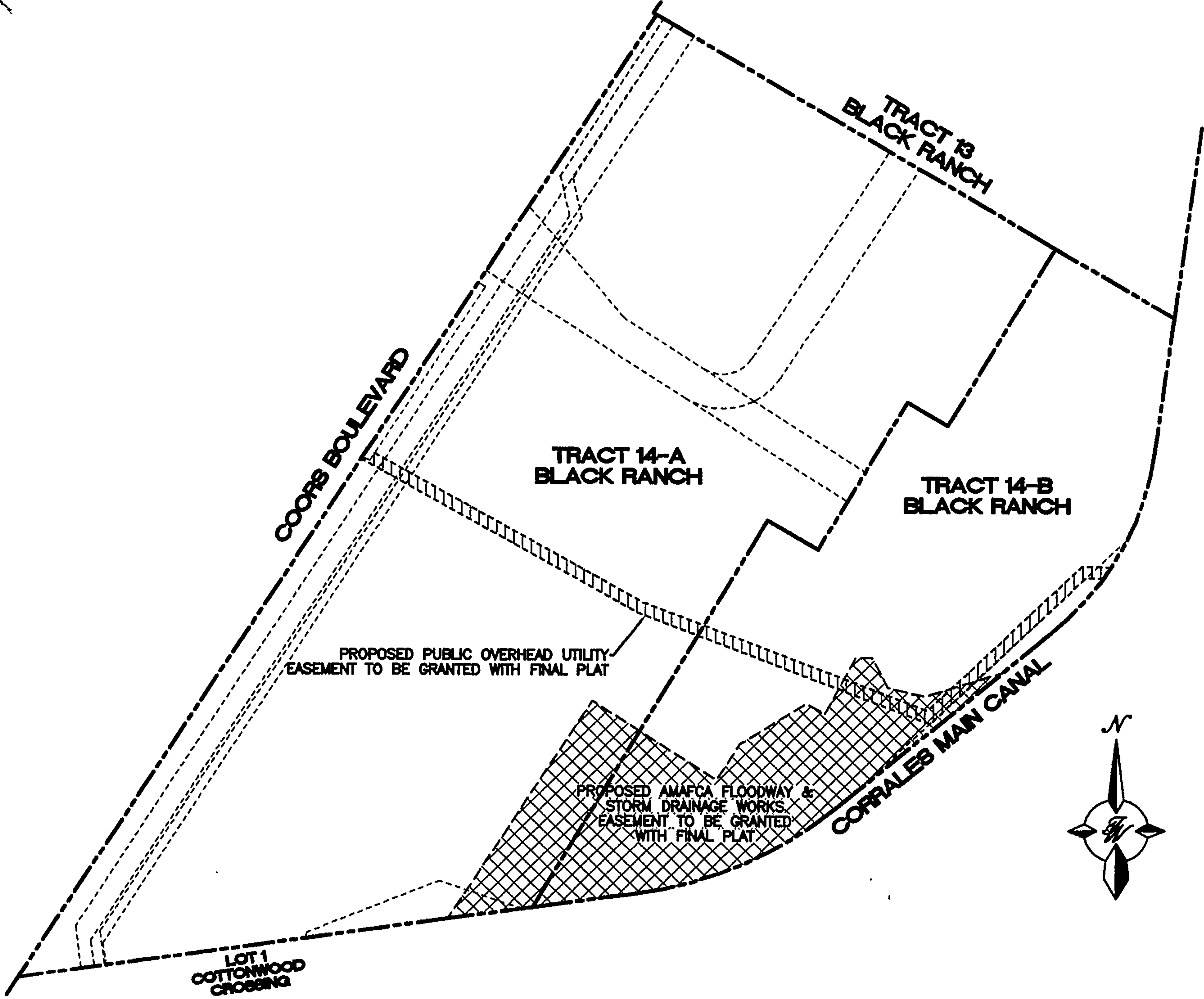
EXISTING AMAFCA FLOODWAY &
STORM DRAINAGE WORKS
EASEMENT TO BE VACATED

EXHIBIT



Date
11/12/03

EASEMENT VACATION EXHIBIT



COORS BOULEVARD

**TRACT 13
BLACK RANCH**

**TRACT 14-A
BLACK RANCH**

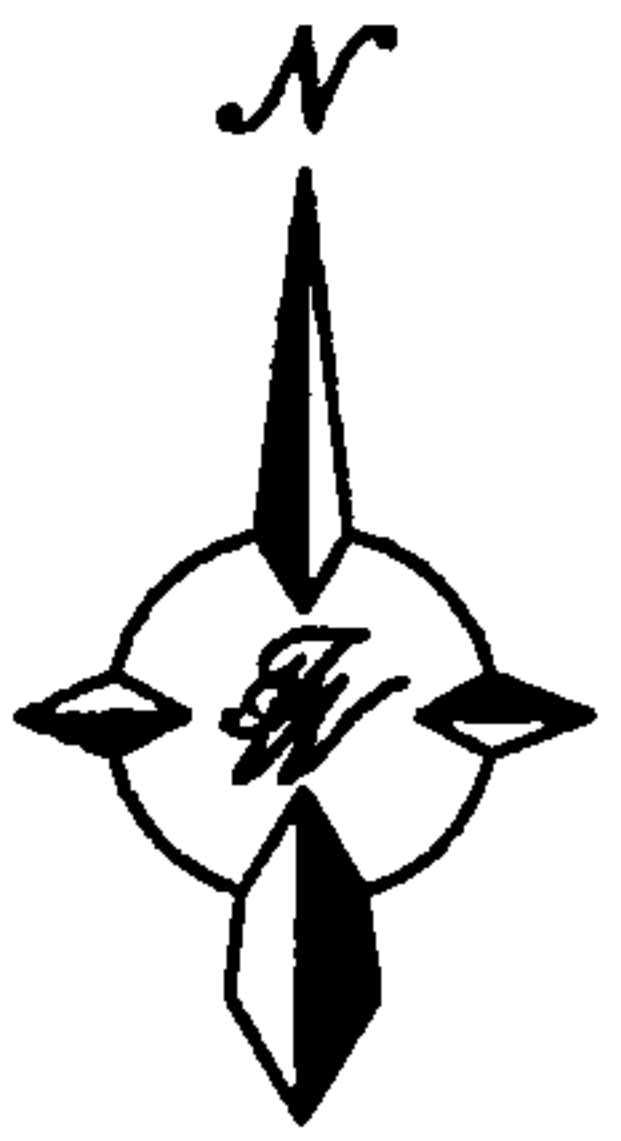
**TRACT 14-B
BLACK RANCH**

PROPOSED PUBLIC OVERHEAD UTILITY
EASEMENT TO BE GRANTED WITH FINAL PLAT

PROPOSED AMAFCA FLOODWAY &
STORM DRAINAGE WORKS
EASEMENT TO BE GRANTED
WITH FINAL PLAT

CORRALES MAN CANAL

**LOT 1
COTTONWOOD
CROSSING**



PROPOSED EASEMENT EXHIBIT



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1002792

**03DRB-01780 Major-Vacation of Public
Easements**

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH**, zoned SU-1 for C-1 & Rest (ETC) & SU-1,O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s). [REF: 03EPC-01085 & 01086] (B-14)

Project # 1002957

**03DRB-01784 Major-Vacation of Public
Easements**

JEFF MORTENSEN & ASSOCIATES INC. agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) 26A-1, **TAYLOR RANCH**, zoned R-T residential zone, located on TAYLOR RANCH DR NW, between MONTANO RD NW and HOMESTEAD CR NW containing approximately 14 acre(s). [REF: 03DRB-01524 & 01525] (D-11)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, OCTOBER 27, 2003.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, November 12, 2003**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000029

03DRB-01785 Major-Preliminary Plat Approval
03DRB-01786 Major-Vacation of Public Easements
03DRB-01787 Minor-Sidewalk Waiver
03DRB-01788 Minor-Temp Defer SDWK

BOHANNAN HUSTON, INC. agent(s) for SAWMILL COMMUNITY LAND & TRUST request(s) the above action(s) for all or a portion of Lot(s) C & B-1-A-1, Duke City Lumber Company Addition and Lot D-1-A of Arbolera De Vida, (to be known as **ARBOLERA DE VIDA, PHASE 2**), zoned S-M1, S-DR, located on BELLAMAH AVE. NW, between 19th ST NW and 18th ST NW containing approximately 26 acre(s). (H-13)

Project # 1000650

03DRB-01782 Major-Bulk Land Variance
03DRB-01783 Minor-Prelim&Final Plat Approval

TIERRA WEST LLC agent(s) for WAL-MART STORES INC. request(s) the above action(s) for all or a portion of Tract(s) 1A & 2A, **LANDS OF LAMONICA & WENK**, zoned SU-1,C-1 Perm. Uses, located on COORS BLVD SW, between RIO BRAVO BLVD SW and LAMONICA RD SW containing approximately 21 acre(s). [REF: 03EPC-00905, 00907, 01109 & 01110] (P-10)

Project # 1001765

03DRB-01781 Major-Bulk Land Variance

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT COMPANY INC. request(s) the above action(s) for all or a portion of Tract(s) UNPLATTED LAND WITHIN SEC 8, T9N, R2E, N.M.P.M., TOWN OF ATRISCO GRANT, (to be known as **ANDERSON HEIGHTS**, zoned C-1, R-LT, located on DENNIS CHAVEZ BLVD SW between COORS BLVD SW and 118th ST SW containing approximately 98 acre(s). [REF: 03DRB-01695, 02EPC-00315, 02EPC-00314] (P-8)

Project # 1002194

03DRB-01778 Major-Preliminary Plat Approval

GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) 2, **SUNPORT LODGINGS ADDITION**, zoned R-2 residential zone, located on WELLESLEY DR SE, between KATHRYN AVE SE and ANDERSON AVE SE containing approximately 2 acre(s). [REF: 03DRB-00537] (L-16)

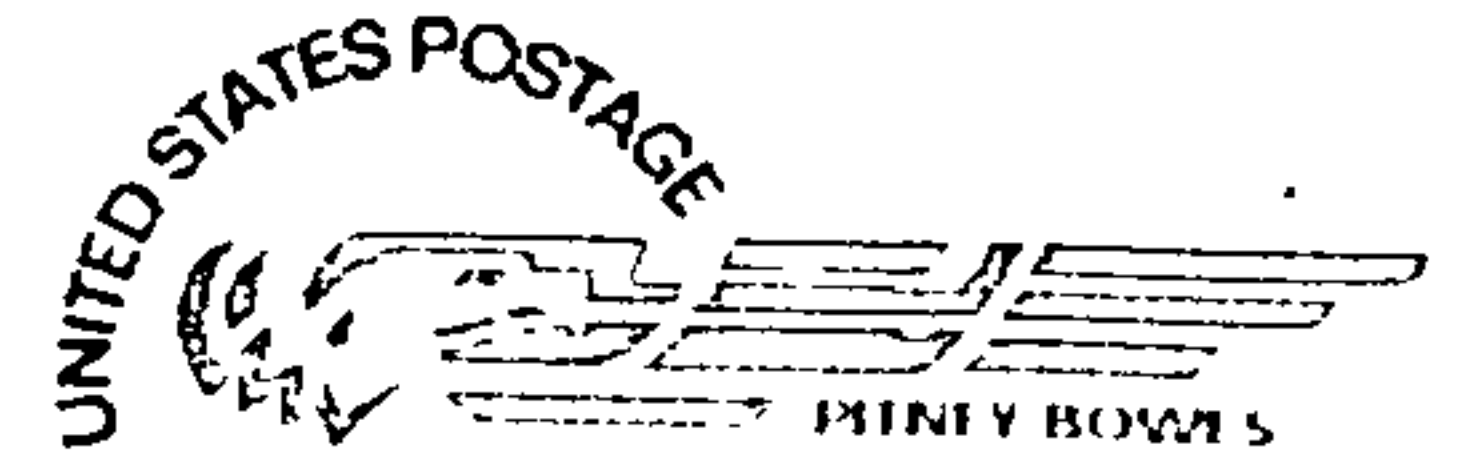
SEE PAGE 2



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



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STRATEGIC NEW MEXICO PARTNERS
10200 CORRALES RD NW
ALBUQUERQUE NM 87114

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