

# LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING, PHASE II

(BEING A REPLAT OF TRACT 2, COTTONWOOD CROSSING PHASE II)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2004

PROJECT NUMBER: 1002792

Application Number: 04 DRB-00943

### PLAT APPROVAL

Utility Approvals:

|   |                         |
|---|-------------------------|
| <u>Leonard D. Mank</u><br>PNM Electric Services | <u>3-11-04</u><br>Date  |
| <u>Leonard D. Mank</u><br>PNM Gas Services      | <u>3-11-04</u><br>Date  |
| <u>Rearita R. Griffin</u><br>QWest Corporation  | <u>03/12/04</u><br>Date |
| <u>Rita Euchs</u><br>Comcast                    | <u>3-11-04</u><br>Date  |
| <u>[Signature]</u><br>New Mexico Utilities      | <u>3-12-04</u><br>Date  |

These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

|  |                         |
|--|-------------------------|
| <u>[Signature]</u><br>City Surveyor                                | <u>3-9-04</u><br>Date   |
| <u>N/A</u><br>Real Property Division                               | <u>        </u><br>Date |
| <u>N/A</u><br>Environmental Health Department                      | <u>        </u><br>Date |
| <u>[Signature]</u><br>Traffic Engineering, Transportation Division | <u>6-30-04</u><br>Date  |
| <u>[Signature]</u><br>Utilities Department                         | <u>6-30-04</u><br>Date  |
| <u>Christina Sandoval</u><br>Parks and Recreation Department       | <u>6/30/04</u><br>Date  |
| <u>[Signature]</u><br>AMAFCA                                       | <u>6-30-04</u><br>Date  |
| <u>[Signature]</u><br>City Engineer                                | <u>6/30/04</u><br>Date  |
| <u>[Signature]</u><br>DRB Chairperson, Planning Department         | <u>6/30/04</u><br>Date  |

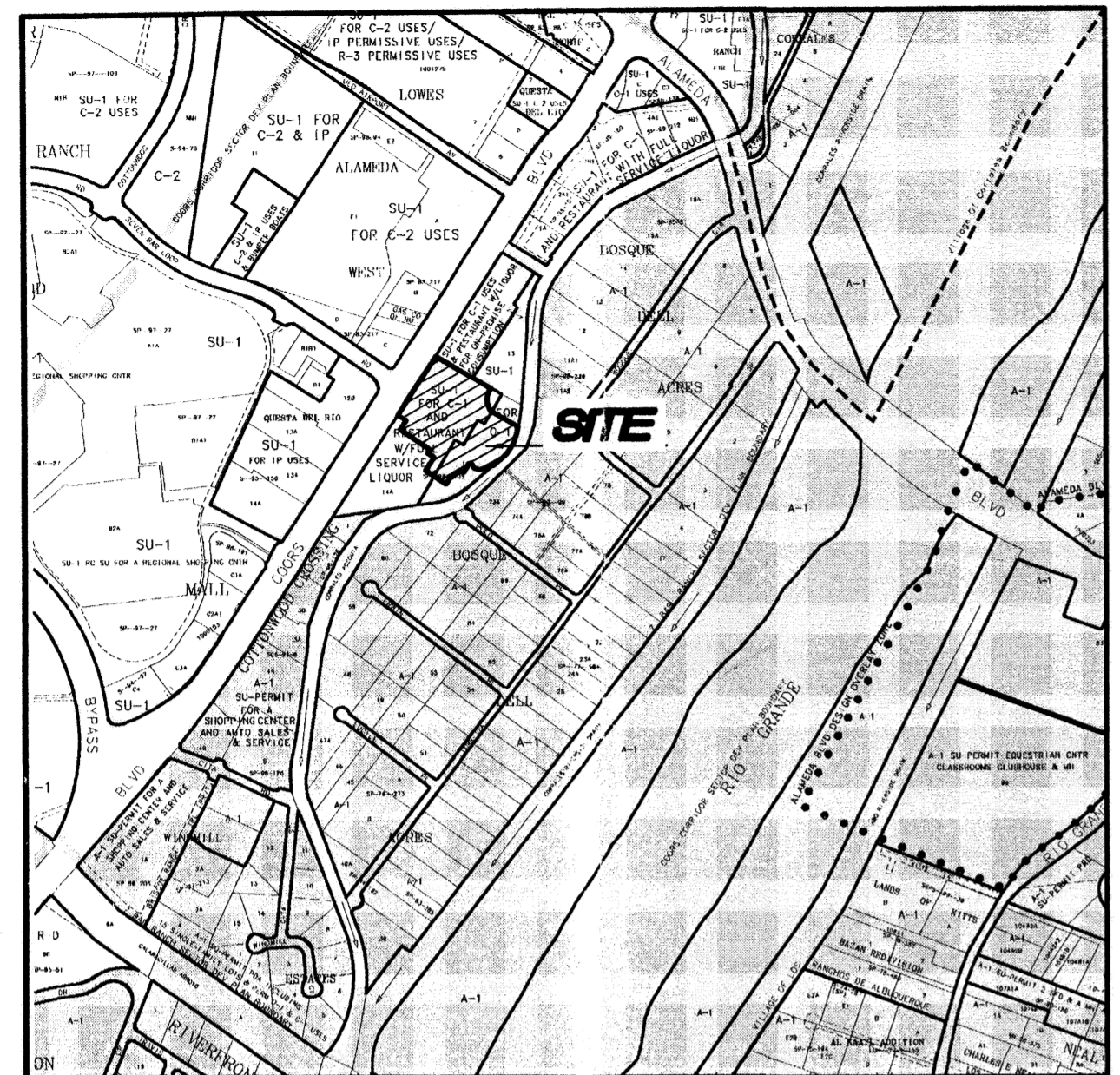
### SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]  
Russ P. Hugg  
NMPS No. 9750  
February 27, 2004

SHEET 1 OF 3

**SURV+TEK, INC.**  
Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3365 Fax: 505-897-3377

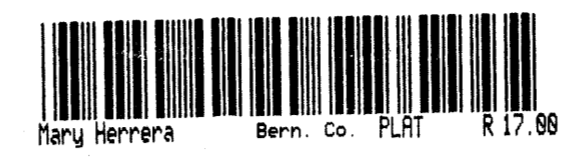


VICINITY MAP  
N.T.S.

### GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1927) originated at the Albuquerque Control Survey Monument "NM448-N12".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page: B-14-Z
- U.C.L.S. Log Number 2004100808.
- Total number of existing Lots: 1
- Total number of new Lots created: 4
- Gross subdivision acreage: 5.3836 acres
- Documents used in the preparation of this survey are as follows:
  - Plat entitled "TRACTS 14-A AND 14-B, BLACK RANCH, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1998", filed June 3, 1998, in Volume 98C, Folio 157, records of Bernalillo County, New Mexico.
  - Survey entitled "BOUNDARY SURVEY PLAT, TRACTS 13 AND 14, BLACK RANCH, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, JUNE 1997", filed June 17, 1997, in Volume 97S, Folio 69, records of Bernalillo County, New Mexico.
  - Plat entitled "LOTS 1 THRU 5, COTTONWOOD CROSSING, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY, 1998", filed July 9, 1998, in Volume 98C, Folio 196, records of Bernalillo County, New Mexico.
  - Title Report prepared for this property by Lawyers Title Insurance Company, Commitment for Title Insurance No. 972091SD, dated July 25, 1997.

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6186311  
Page: 1 of 3  
07/01/2004 03:24P  
Bk-2604C Pg-281



### TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the following property:

UPC# 1-014-065 190 318 20301, 1-014-065 224 313 20303

Bernita Scuttlou-Koehn 7/04  
Bernalillo County Treasurer's Office Date

### PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of such lines across the easement and related equipment and facilities reasonably necessary to provide Sanitary Sewer and Water Service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trimmed and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

### DISCLAIMER

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

### DISCLOSURE STATEMENT

The purpose of this plat is to: Divide existing Lot 2 into four (4) new lots as shown hereon and to show the vacation of the private access easement vacated by APP 04DRB-00218

No new public utility easements are created by this plat.

# LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING, PHASE II

(BEING A REPLAT OF TRACT 2, COTTONWOOD CROSSING PHASE II)

WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2004

### LEGAL DESCRIPTION

All of Lot numbered Two (2) of Cottonwood Crossing, Phase II as the same is shown and designated on the plat entitled "LOTS 1, 2, 3, 4, 5 AND 6, COTTONWOOD CROSSING, PHASE II (BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, filed in the office of the County Clerk of Bernalillo County, New Mexico on February 19, 2004 in Plat Book 2004C, Page 56.

Said parcel contains 5.3836 acres more or less.

### FREE CONSENT

SURVEYED and REPLATTED and now comprising LOTS 2-A, 2-B, 2-C and 2-D, COTTONWOOD CROSSING, PHASE II (BEING A REPLAT OF TRACT 2, COTTONWOOD CROSSING PHASE II) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act. Said owners averment that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: LOT 2, COTTONWOOD CROSSING, PHASE II  
 The Albert J. Black and Mary Jane Black Revocable Trust

*John Black*  
 John Black, Trustee

### ACKNOWLEDGEMENT

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

This instrument was acknowledged before me on this 9<sup>th</sup> day

of March, 2004, by John F. Black.

*Sharon L. Hollins*  
 Sharon L. Hollins

Notary Public  
 11/29/2007  
 My Commission expires:



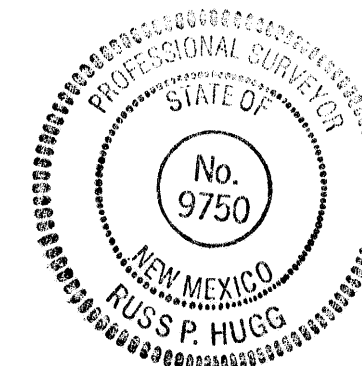
OFFICIAL SEAL  
 Sharon L. Hollins  
 NOTARY PUBLIC-STATE OF NEW MEXICO  
 My commission expires: 11/29/07

### CURVE TABLE

| CURVE | LENGTH  | RADIUS  | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|---------|---------|---------|---------------|-----------|
| C1    | 122.62' | 95.88'  | 71.30'  | 114.43' | S01°34'32"W   | 73°16' "  |
| C2    | 184.86' | 250.00' | 96.89'  | 180.68' | N29°04'56"E   | 42°22'03" |
| C3    | 83.36'  | 165.00' | 42.59'  | 82.48'  | N47°25'59"E   | 28°56'52" |
| C4    | 158.97' | 250.00' | 82.28'  | 156.31' | N26°06'56"E   | 36°26'03" |
| C5    | 25.89'  | 250.00' | 12.96'  | 25.88'  | N47°17'57"E   | 5°56'00"  |
| C6    | 56.40'  | 105.00' | 28.90'  | 55.72'  | N41°41'00"W   | 30°46'24" |
| C7    | 55.66'  | 105.00' | 28.50'  | 55.01'  | N11°06'34"W   | 30°22'27" |
| C8    | 52.87'  | 105.00' | 27.01'  | 52.32'  | N18°30'14"E   | 28°51'09" |
| C9    | 29.04'  | 50.00'  | 14.94'  | 28.63'  | N40°35'06"W   | 33°16'21" |
| C10   | 58.19'  | 100.00' | 29.95'  | 57.37'  | S40°37'09"E   | 33°20'27" |
| C11   | 10.16'  | 30.00'  | 5.13'   | 10.11'  | N47°35'18"W   | 19°24'09" |
| C12   | 26.67'  | 150.00' | 13.37'  | 26.63'  | N32°47'36"W   | 10°11'13" |
| C13   | 22.20'  | 15.00'  | 13.69'  | 20.23'  | S70°05'40"E   | 84°46'20" |
| C14   | 75.07'  | 150.00' | 38.34'  | 74.29'  | N47°17'45"E   | 28°40'26" |
| C15   | 91.69'  | 180.00' | 46.86'  | 90.70'  | N47°33'09"E   | 29°11'12" |
| C16   | 19.41'  | 15.00'  | 11.33'  | 18.09'  | S30°25'05"W   | 74°09'05" |
| C17   | 103.62' | 150.00' | 53.97'  | 101.57' | N13°08'23"E   | 39°34'49" |
| C18   | 141.37' | 90.00'  | 90.00'  | 127.28' | N12°04'12"W   | 90°00'00" |
| C19   | 83.36'  | 165.00' | 42.59'  | 82.48'  | N47°25'59"E   | 28°56'52" |
| C20   | 108.54' | 105.00' | 59.68'  | 103.77' | N03°19'00"E   | 59°13'36" |

### LINE TABLE

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L1   | 10.66'  | S07°53'21"W |
| L2   | 53.59'  | S50°15'56"W |
| L3   | 69.59'  | S72°32'39"W |
| L4   | 32.70'  | N76°36'48"W |
| L5   | 28.72'  | N27°52'55"W |
| L6   | 14.01'  | N86°28'56"W |
| L7   | 55.93'  | S28°23'32"W |
| L8   | 18.19'  | N61°36'28"W |
| L9   | 66.92'  | S58°03'23"W |
| L10  | 37.36'  | S32°55'48"W |
| L11  | 83.38'  | S32°55'48"W |
| L12  | 41.00'  | N57°14'40"W |
| L13  | 22.12'  | S32°55'48"W |
| L14  | 60.00'  | N32°55'48"E |
| L15  | 52.00'  | N57°04'12"W |
| L16  | 62.24'  | S32°55'49"W |
| L17  | 11.00'  | N32°55'48"E |
| L18  | 37.00'  | S57°04'12"E |
| L19  | 23.13'  | N32°55'48"E |
| L20  | 2.09'   | N67°30'58"E |
| L21  | 40.11'  | N57°02'27"W |
| L22  | 23.67'  | N57°02'27"W |
| L23  | 29.39'  | N85°55'21"W |
| L24  | 48.94'  | N57°04'12"W |
| L25  | 23.88'  | S57°04'12"E |
| L26  | 15.89'  | N57°04'12"W |
| L27  | 43.88'  | N57°17'22"W |
| L28  | 30.80'  | S67°30'58"W |
| L30  | 37.14'  | S67°29'37"W |
| L31  | 62.24'  | S32°55'48"W |
| L32  | 69.63'  | S32°55'48"W |
| L33  | 17.00'  | S57°04'12"E |
| L34  | 107.33' | S32°55'48"W |
| L35  | 82.43'  | S62°07'05"W |
| L36  | 46.47'  | S28°23'32"W |
| L37  | 20.59'  | S28°23'32"W |
| L38  | 181.30' | S57°04'12"E |
| L39  | 24.25'  | S61°36'28"E |
| L40  | 33.06'  | S60°38'23"E |
| L41  | 184.73' | S69°01'55"E |
| L42  | 106.53' | N46°20'05"E |
| L43  | 36.03'  | N46°20'05"E |
| L44  | 19.89'  | S88°44'18"E |
| L45  | 156.73' | S57°04'12"E |
| L46  | 289.60' | S70°45'57"W |



SHEET 2 OF 3

**SURV TEK, INC.**

Consulting Surveyors  
 5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114

Phone: 505-897-3366  
 Fax: 505-897-3377

**LOTS 2-A, 2-B, 2-C AND 2-D  
COTTONWOOD CROSSING, PHASE II**

(BEING A REPLAT OF TRACT 2, COTTONWOOD CROSSING PHASE II)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
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PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2004



Albuquerque Control Survey Monument  
"NM448-N12"  
New Mexico State Plane Coordinates -  
Central Zone (NAD27)  
Y=381108.54  
X=1528910.94  
G-C=0.99967595  
Delta Alpha=-00'13.46"  
Elevation=5023.411 (NGVD29)

**NOTE**  
Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No. 96115257.

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Declaration of Protective Covenants, Restrictions and grant of Easements", filed in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 2004, in Book A73, Page 711, as Document No. 2004020771.

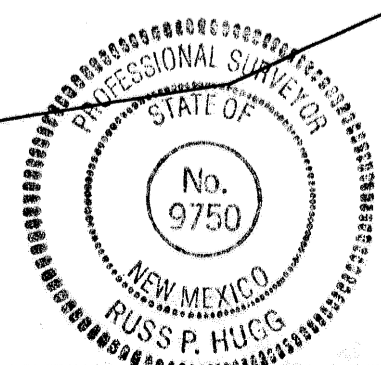
**NOTE**  
All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument-Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.  
Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

**SEVEN BAR LOOP ROAD**  
**COORS ROAD N.W.**  
**(NEW MEXICO STATE HIGHWAY NO. 448)**

Albuquerque Control Survey Monument  
"NM448-N10"  
New Mexico State Plane Coordinates -  
Central Zone (NAD27)  
Y=377788.84  
X=1524161.52  
G-C=0.99967583  
Delta Alpha=-00'14.09"  
Elevation=5045.51 (NGVD29)

TRACT 13  
BLACK RANCH  
Boundary Survey Plat Filed 6-17-97  
Vol. 975, Folio 89

Private Cross Access Easement for the Joint Use and Benefit of Lots 1 through 6 (to be Maintained by Lots 1 through 6). New Public Water and Public Sanitary Sewer Easement to New Mexico Utilities, Inc. and New Dry Utility Easement Granted by plat filed January 19, 2004 and by that certain "Declaration of Protective Covenants, Restrictions and Grant of Easements", filed February 19, 2004 in Book A73, page 711.

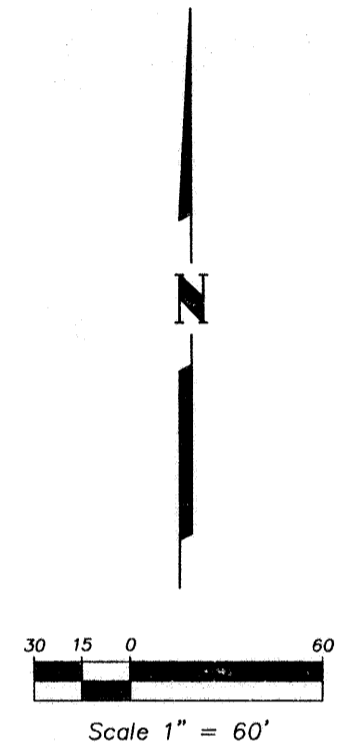


**EASEMENT LEGEND**

- (A) Existing Water Line Easement granted to New Mexico Utilities, Inc. by plat filed February 19, 2004 in Plat Book 2004C, page 56. Easement to be 10' wide unless otherwise indicated.
- (B) Existing Private Access Easement granted to AMAFCA and MRGCD by plat filed February 19, 2004 in Plat book 2004C, page 56. Maintenance to be the responsibility of AMAFCA.
- (C) Existing Private Access Easement per Reciprocal Easement Agreement filed Oct. 21, 1996, in Book BCR 96-28, page 2764. VACATED by 04DRB-00278.
- (D) 20' Sanitary Sewer Easement to New Mexico Utilities, Inc. filed September 21, 1981, Book Misc. 880, page 1, to remain.
- (E) 10' Easement to New Mexico Utilities, filed April 24, 1998, in Book BCR 98-08, Page 8481.
- (F) Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6668, to remain.

**CORNER LEGEND**

- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- SET 4" ALUMINUM CENTERLINE MONUMENT



SHEET 3 OF 3

040131

**SURV TEK, INC.**

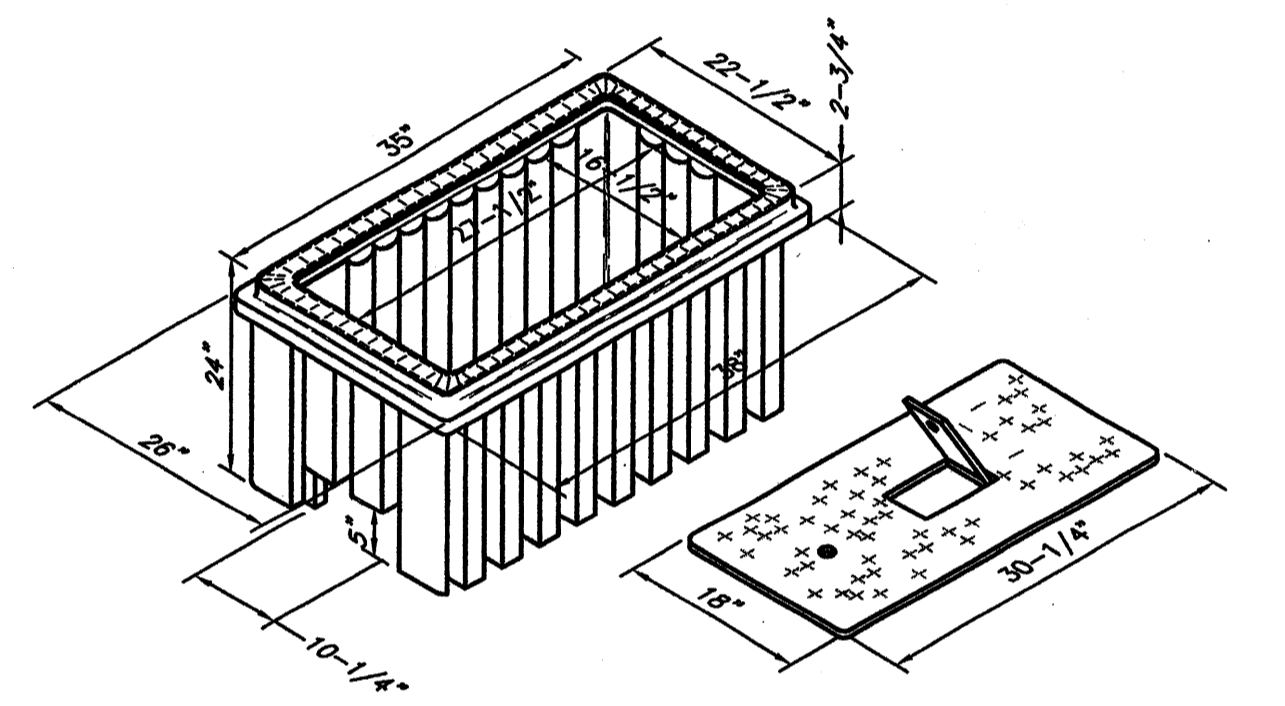
Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

| LEGEND |                              |
|--------|------------------------------|
|        | EXISTING SAS MANHOLE         |
|        | EXISTING 8" SAS              |
|        | PROPOSED SAS MANHOLE         |
|        | PROPOSED SAS CLEANOUT        |
|        | DIRECTION OF FLOW            |
|        | PROPOSED 8" SAS              |
|        | SANITARY SEWER SERVICE LINE  |
|        | EXISTING METER               |
|        | EXISTING VALVE W/BOX         |
|        | EXISTING FIRE HYDRANT        |
|        | EXISTING 16" WL              |
|        | PROPOSED METER               |
|        | PROPOSED VALVE W/BOX         |
|        | PROPOSED FIRE HYDRANT        |
|        | PROPOSED 8" WL               |
|        | EXISTING STORM SEWER MANHOLE |
|        | EXISTING 24" RCP             |
|        | PROPOSED STORM SEWER MANHOLE |
|        | PROPOSED 24" RCP             |
|        | EXISTING CURB & GUTTER       |
|        | PROPOSED CURB & GUTTER       |
|        | BOUNDARY LINE                |
|        | PROPOSED SIDEWALK            |
|        | PROPOSED RETAINING WALL      |

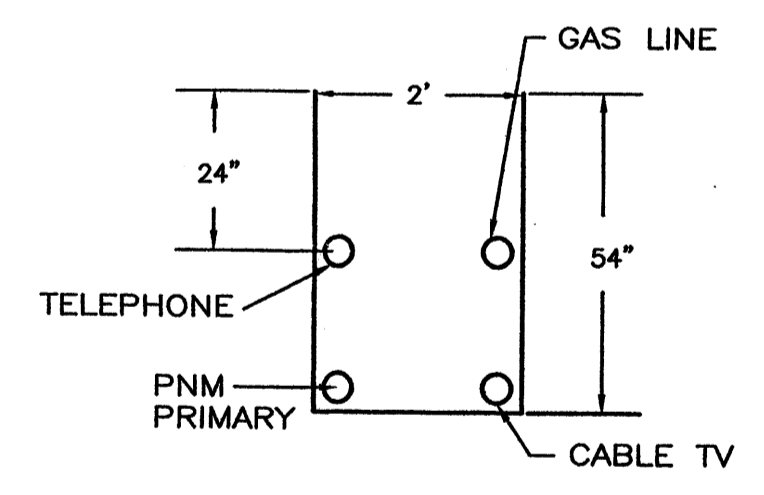
- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
  2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
  4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
  5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
  6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS OF NEW MEXICO UTILITIES INCORPORATED AND WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1999), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THOSE FACILITIES NOT WITHIN DEDICATED EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING



**2" METER BOX DETAIL**  
NTS

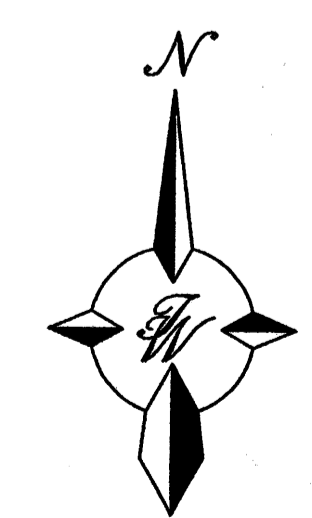


**UTILITY TRENCH DETAIL**  
NTS

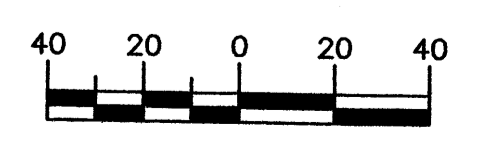
**GENERAL NOTES:**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

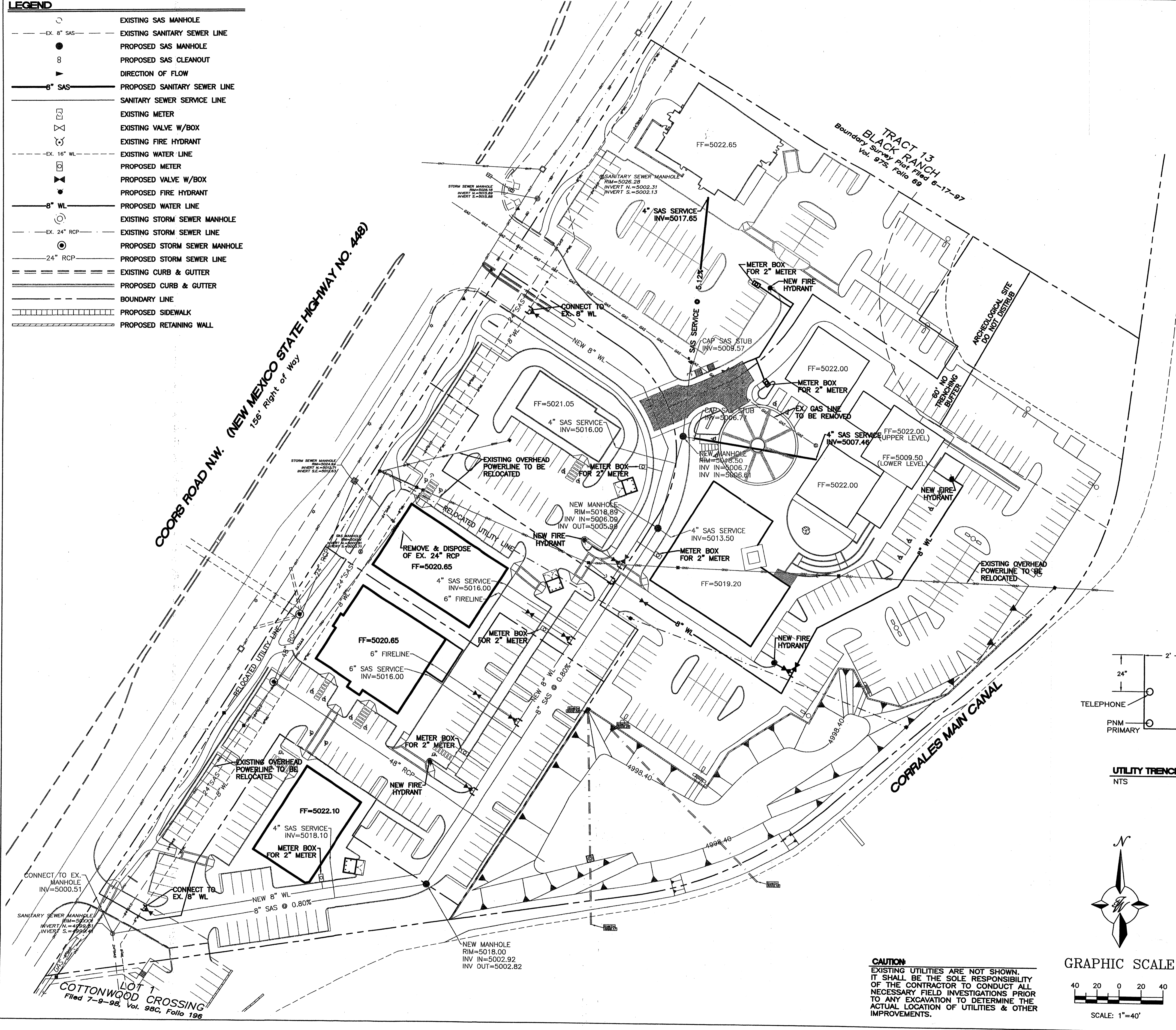
**CAUTION**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



GRAPHIC SCALE



|                                  |   |                    |
|----------------------------------|---|--------------------|
| ENGINEER'S SEAL                  | <b>COTTONWOOD CROSSING PHASE 2</b>  | DRAWN BY JDN       |
|                                  |   | DATE 12-01-03      |
|                                  | <b>MASTER UTILITY PLAN</b>  | 2297MUE-12-1-03    |
|                                  | <b>TERRA WEST, LLC</b><br>8509 JEFFERSON NE<br>ALBUQUERQUE, NEW MEXICO 87113<br>(505)858-3100 | SHEET # <b>C-2</b> |
| RONALD R. BOHANNAN<br>P.E. #7868 |   | JOB # 220097       |



**LOT 1 COTTONWOOD CROSSING**  
Filed 7-9-98, Vol. 98C, Folio 198

PLANNING

# LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING, PHASE II

(BEING A REPLAT OF TRACT 2, COTTONWOOD CROSSING PHASE II)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2004

PROJECT NUMBER: 1002792

Application Number: 04 DRB-

### PLAT APPROVAL

#### Utility Approvals:

|   |                         |
|---|-------------------------|
| <u>Leonard G. Mark</u><br>PNM Electric Services | <u>3-11-04</u><br>Date  |
| <u>Leonard G. Mark</u><br>PNM Gas Services      | <u>3-11-04</u><br>Date  |
| <u>Leovito P. Puyfian</u><br>QWest Corporation  | <u>03/12/04</u><br>Date |
| <u>Rita Euchs</u><br>Comcast                    | <u>3-11-04</u><br>Date  |
| <u>[Signature]</u><br>New Mexico Utilities      | <u>3-12-04</u><br>Date  |

These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

#### City Approvals:

|  |                       |
|--|-----------------------|
| <u>[Signature]</u><br>City Surveyor          | <u>3-9-04</u><br>Date |
| <u>N/A</u><br>Real Property Division         | Date                  |
| Environmental Health Department              | Date                  |
| Traffic Engineering, Transportation Division | Date                  |
| Utilities Development                        | Date                  |
| Parks and Recreation Department              | Date                  |
| AMAFCA                                       | Date                  |
| City Engineer                                | Date                  |
| DRB Chairperson, Planning Department         | Date                  |

### SURVEYOR'S CERTIFICATION

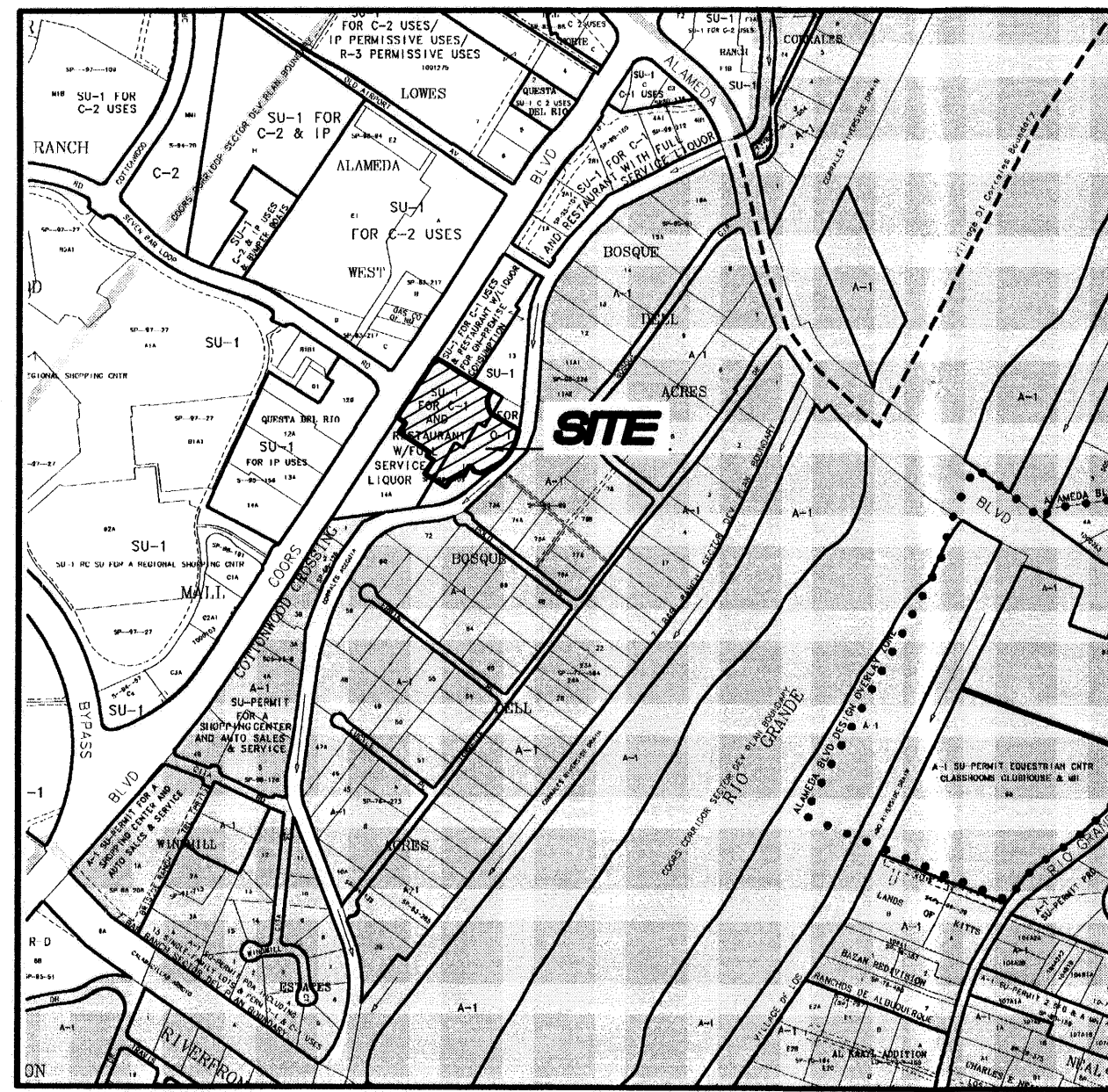
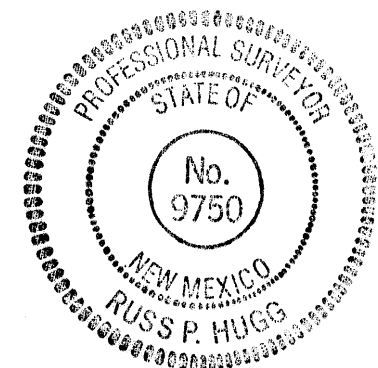
I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]  
Russ P. Hugg  
NMPS No. 9750  
February 27, 2004

SHEET 1 OF 3

**SURV TEK, INC.**

Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377



VICINITY MAP  
N.T.S.

### GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1927) originated at the Albuquerque Control Survey Monument "NM448-N12".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. City of Albuquerque Zone Atlas Page: B-14-Z
8. U.C.L.S. Log Number 2004100808.
9. Total number of existing Lots: 1
10. Total number of new Lots created: 4
11. Gross subdivision acreage: 5.3836 acres
12. Documents used in the preparation of this survey are as follows:
  - A. Plat entitled "TRACTS 14-A AND 14-B, BLACK RANCH, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1998", filed June 3, 1998, in Volume 98C, Folio 157, records of Bernalillo County, New Mexico.
  - B. Survey entitled "BOUNDARY SURVEY PLAT, TRACTS 13 AND 14, BLACK RANCH, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, JUNE 1997", filed June 17, 1997, in Volume 97S, Folio 69, records of Bernalillo County, New Mexico.
  - C. Plat entitled "LOTS 1 THRU 5, COTTONWOOD CROSSING, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY, 1998", filed July 9, 1998, in Volume 98C, Folio 196, records of Bernalillo County, New Mexico.
  - D. Title Report prepared for this property by Lawyers Title Insurance Company, Commitment for Title Insurance No. 972091SD, dated July 25, 1997.

### TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the following property:

UPC# \_\_\_\_\_

Bernalillo County Treasurer's Office \_\_\_\_\_ Date \_\_\_\_\_

### PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- C. QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- D. Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance, and service of such lines across the easement and related equipment and facilities reasonably necessary to provide Sanitary Sewer and Water Service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

### DISCLAIMER

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

### DISCLOSURE STATEMENT

The purpose of this plat is to: Divide existing Lot 2 into four (4) new lots as shown hereon and to show the vacation of the private access easement vacated by APP# 04DRB-00216

No new public utility easements are created by this plat.

# LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING, PHASE II

(BEING A REPLAT OF TRACT 2, COTTONWOOD CROSSING PHASE II)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2004

Albuquerque Control Survey Monument  
"NM448-N12"  
New Mexico State Plane Coordinates -  
Central Zone (NAD27)  
Y=381108.54  
X=1528910.94  
G=0.99967595  
Delta Alpha=-00'13'46"  
Elevation=5023.411 (NGVD29)

SEVEN BAR LOOP ROAD  
COORS ROAD N.W. (NEW MEXICO STATE HIGHWAY NO. 448)  
156' Right of Way

**NOTE**

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No. 96115257.

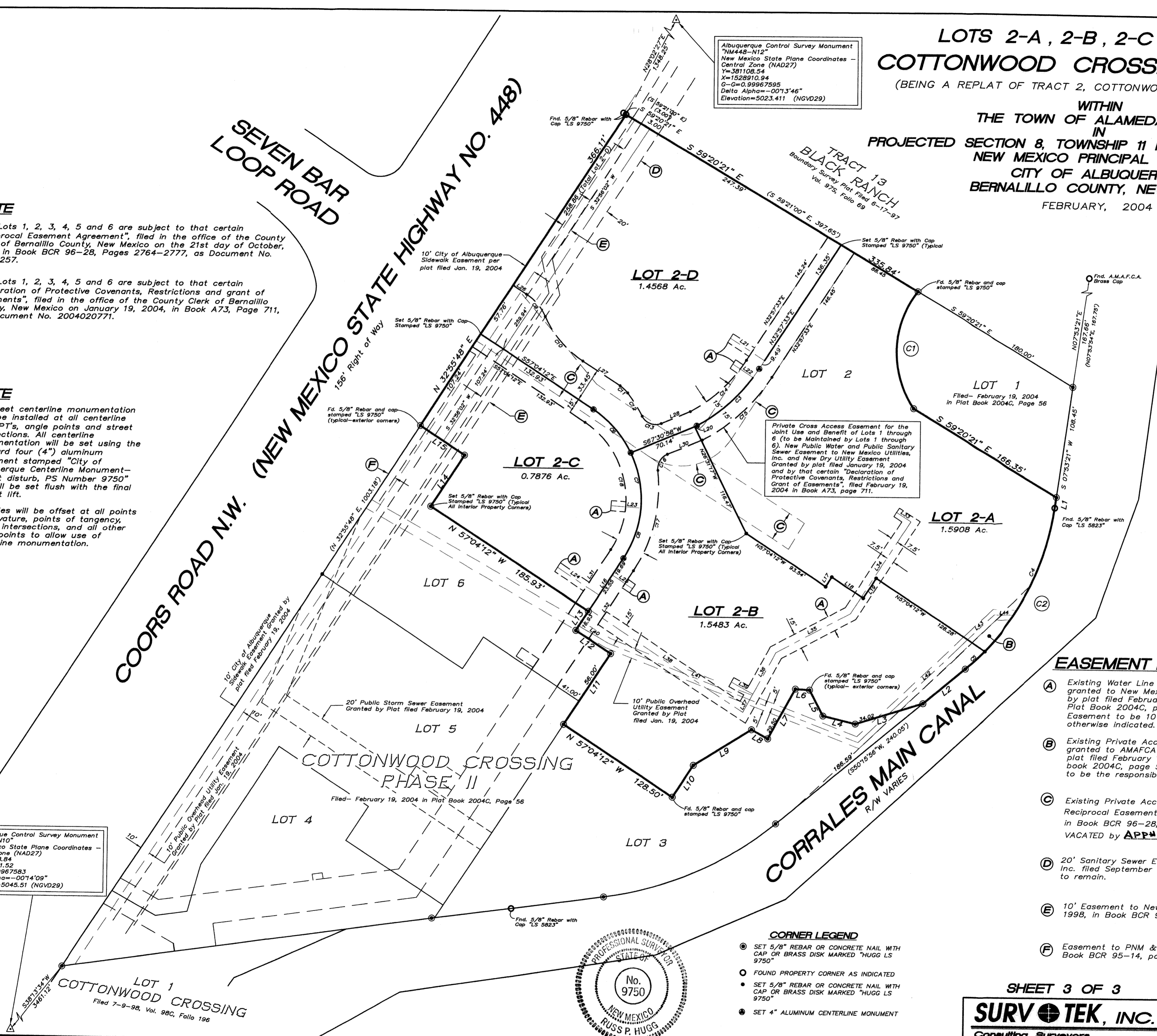
Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Declaration of Protective Covenants, Restrictions and Grant of Easements", filed in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 2004, in Book A73, Page 711, as Document No. 2004020771.

**NOTE**

All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument-Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.

Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

Albuquerque Control Survey Monument  
"NM448-N10"  
New Mexico State Plane Coordinates -  
Central Zone (NAD27)  
Y=377788.84  
X=1524161.52  
G=0.99967583  
Delta Alpha=-00'14'09"  
Elevation=5045.51 (NGVD29)



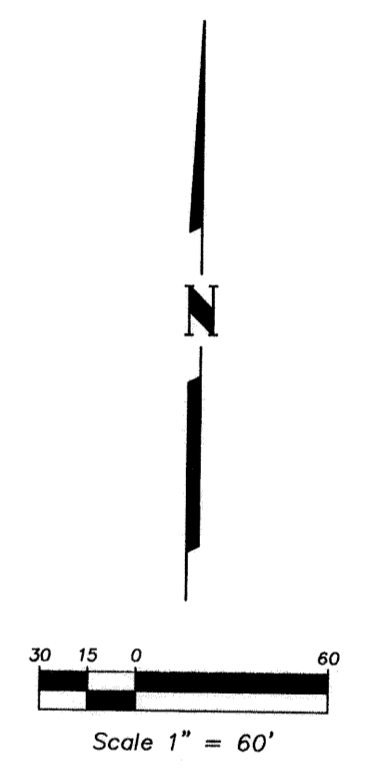
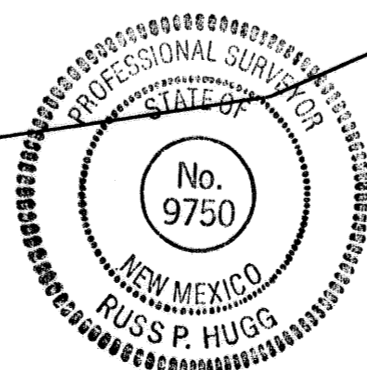
Private Cross Access Easement for the Joint Use and Benefit of Lots 1 through 6 (to be Maintained by Lots 1 through 6). New Public Water and Public Sanitary Sewer Easement to New Mexico Utilities, Inc. and New Dry Utility Easement Granted by plat filed January 19, 2004 and by that certain "Declaration of Protective Covenants, Restrictions and Grant of Easements", filed February 19, 2004 in Book A73, page 711.

**EASEMENT LEGEND**

- (A) Existing Water Line Easement granted to New Mexico Utilities, Inc. by plat filed February 19, 2004 in Plat Book 2004C, page 56. Easement to be 10' wide unless otherwise indicated.
- (B) Existing Private Access Easement granted to AMAFCA and MRGCD by plat filed February 19, 2004 in Plat book 2004C, page 56. Maintenance to be the responsibility of AMAFCA.
- (C) Existing Private Access Easement per Reciprocal Easement Agreement filed Oct. 21, 1996, in Book BCR 96-28, page 2764. VACATED by ~~APP# 04DRB-00278~~.
- (D) 20' Sanitary Sewer Easement to New Mexico Utilities, Inc. filed September 21, 1981, Book Misc. 880, page 1, to remain.
- (E) 10' Easement to New Mexico Utilities, filed April 24, 1998, in Book BCR 98-08, Page 8481.
- (F) Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6668, to remain.

**CORNER LEGEND**

- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- SET 4" ALUMINUM CENTERLINE MONUMENT



SHEET 3 OF 3

040131

**SURVOTEK, INC.**

Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

**LOTS 2-A, 2-B, 2-C AND 2-D  
COTTONWOOD CROSSING, PHASE II**

(BEING A REPLAT OF TRACT 2, COTTONWOOD CROSSING PHASE II)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2004

**LEGAL DESCRIPTION**

All of Lot numbered Two (2) of Cottonwood Crossing, Phase II as the same is shown and designated on the plat entitled "LOTS 1, 2, 3, 4, 5 AND 6, COTTONWOOD CROSSING, PHASE II (BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, filed in the office of the County Clerk of Bernalillo County, New Mexico on February 19, 2004 in Plat Book 2004C, Page 56.

Said parcel contains 5.3836 acres more or less.

**FREE CONSENT**

SURVEYED and REPLATTED and now comprising LOTS 2-A, 2-B, 2-C and 2-D, COTTONWOOD CROSSING, PHASE II (BEING A REPLAT OF TRACT 2, COTTONWOOD CROSSING PHASE II) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER: LOT 2, COTTONWOOD CROSSING, PHASE II  
The Albert J. Black and Mary Jane Black Revocable Trust

  
John F. Black, Trustee

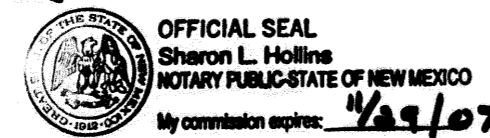
**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

This instrument was acknowledged before me on this 9<sup>th</sup> day of March, 2004, by John F. Black.

  
Notary Public  
11/29/2007  
My Commission expires:



**CURVE TABLE**

| CURVE | LENGTH  | RADIUS  | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|---------|---------|---------|---------------|-----------|
| C1    | 122.62' | 95.88'  | 71.30'  | 114.43' | S01°34'32"W   | 73°16'31" |
| C2    | 184.86' | 250.00' | 96.89'  | 180.68' | N29°04'56"E   | 42°22'03" |
| C3    | 83.36'  | 165.00' | 42.59'  | 82.48'  | N47°25'59"E   | 28°56'52" |
| C4    | 158.97' | 250.00' | 82.28'  | 156.31' | N26°06'56"E   | 36°26'03" |
| C5    | 25.89'  | 250.00' | 12.96'  | 25.88'  | N47°17'57"E   | 5°56'00"  |
| C6    | 56.40'  | 105.00' | 28.90'  | 55.72'  | N41°41'00"W   | 30°46'24" |
| C7    | 55.66'  | 105.00' | 28.50'  | 55.01'  | N11°06'34"W   | 30°22'27" |
| C8    | 52.87'  | 105.00' | 27.01'  | 52.32'  | N18°30'14"E   | 28°51'09" |
| C9    | 29.04'  | 50.00'  | 14.94'  | 28.63'  | N40°35'06"W   | 33°16'21" |
| C10   | 58.19'  | 100.00' | 29.95'  | 57.37'  | S40°37'09"E   | 33°20'27" |
| C11   | 10.16'  | 30.00'  | 5.13'   | 10.11'  | N47°35'18"W   | 19°24'09" |
| C12   | 26.67'  | 150.00' | 13.37'  | 26.63'  | N32°47'36"W   | 10°11'13" |
| C13   | 22.20'  | 15.00'  | 13.69'  | 20.23'  | S70°05'40"E   | 84°46'20" |
| C14   | 75.07'  | 150.00' | 38.34'  | 74.29'  | N47°17'45"E   | 28°40'26" |
| C15   | 91.69'  | 180.00' | 46.86'  | 90.70'  | N47°33'09"E   | 29°11'12" |
| C16   | 19.41'  | 15.00'  | 11.33'  | 18.09'  | S30°25'05"W   | 74°09'05" |
| C17   | 103.62' | 150.00' | 53.97'  | 101.57' | N13°08'23"E   | 39°34'49" |
| C18   | 141.37' | 90.00'  | 90.00'  | 127.28' | N12°04'12"W   | 90°00'00" |

**LINE TABLE**

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L1   | 10.66'  | S07°53'21"W |
| L2   | 53.59'  | S50°15'56"W |
| L3   | 69.59'  | S72°32'39"W |
| L4   | 32.70'  | N76°36'48"W |
| L5   | 28.72'  | N27°52'55"W |
| L6   | 14.01'  | N86°28'56"W |
| L7   | 55.93'  | S28°23'32"W |
| L8   | 18.19'  | N61°36'28"W |
| L9   | 66.92'  | S58°03'23"W |
| L10  | 37.36'  | S32°55'48"W |
| L11  | 83.38'  | S32°55'48"W |
| L12  | 41.00'  | N57°14'40"W |
| L13  | 22.12'  | S32°55'48"W |
| L14  | 60.00'  | N32°55'48"E |
| L15  | 52.00'  | N57°04'12"W |
| L16  | 62.24'  | S32°55'49"W |
| L17  | 11.00'  | N32°55'48"E |
| L18  | 37.00'  | S57°04'12"E |
| L19  | 23.13'  | N32°55'48"E |
| L20  | 2.09'   | N67°30'58"E |
| L21  | 40.11'  | N57°02'27"W |
| L22  | 23.67'  | N57°02'27"W |
| L23  | 29.39'  | N85°55'21"W |
| L24  | 48.94'  | N57°04'12"W |
| L25  | 23.88'  | S57°04'12"E |
| L26  | 15.89'  | N57°04'12"W |
| L27  | 43.88'  | N57°17'22"W |
| L28  | 30.80'  | S67°30'58"W |
| L30  | 37.14'  | S67°29'37"W |
| L31  | 62.24'  | S32°55'48"W |
| L32  | 69.63'  | S32°55'48"W |
| L33  | 17.00'  | S57°04'12"E |
| L34  | 107.33' | S32°55'48"W |
| L35  | 82.43'  | S62°07'05"W |
| L36  | 46.47'  | S28°23'32"W |
| L37  | 20.59'  | S28°23'32"W |
| L38  | 181.30' | S57°04'12"E |
| L39  | 24.25'  | S61°36'28"E |
| L40  | 33.06'  | S60°38'23"E |
| L41  | 184.73' | S69°01'55"E |
| L42  | 106.53' | N46°20'05"E |
| L43  | 36.03'  | N46°20'05"E |
| L44  | 19.89'  | S88°44'18"E |



SHEET 2 OF 3

**SURVOTEK, INC.**

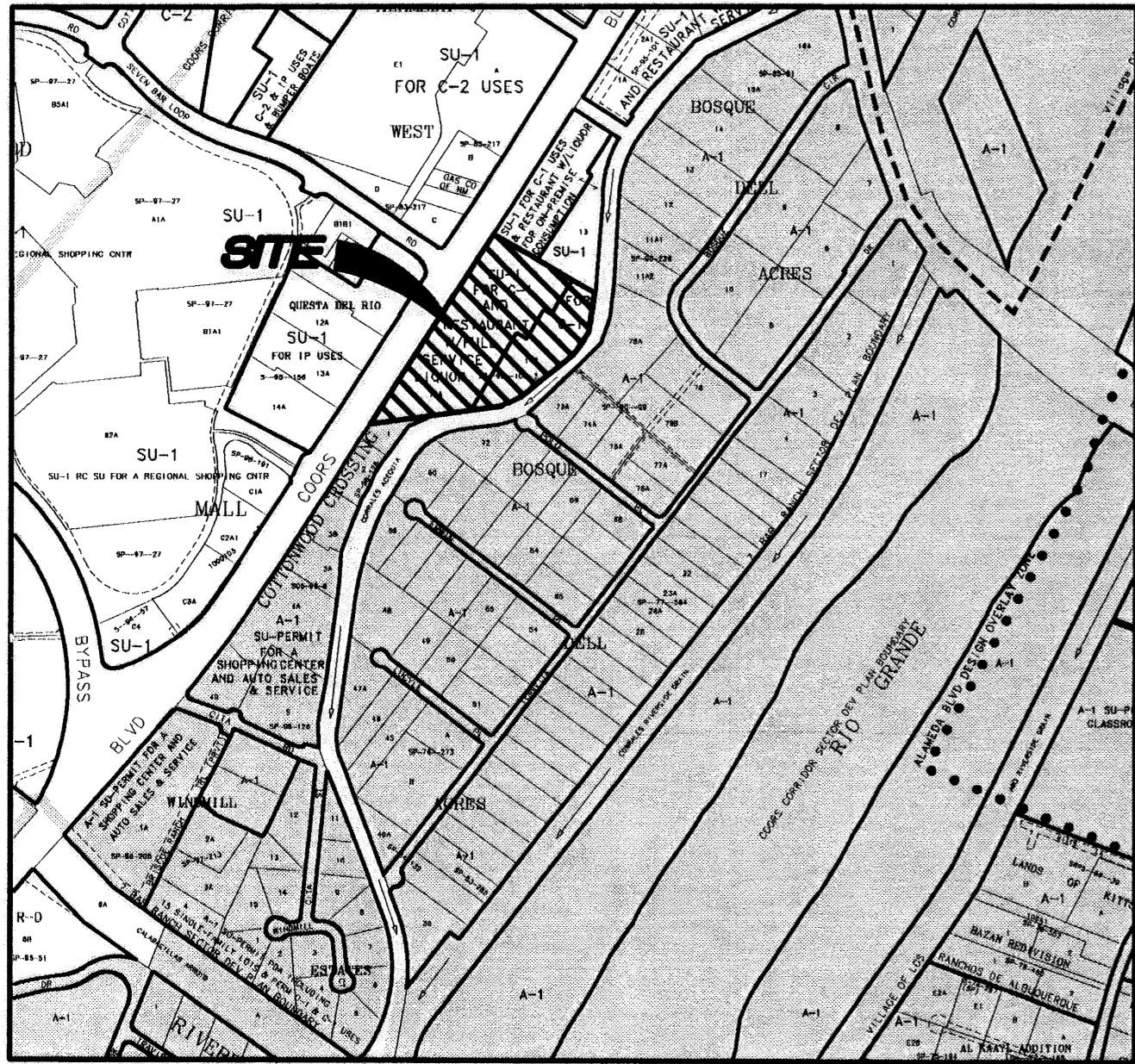
Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3368  
Fax: 505-897-3377

**LOTS 1, 2, 3, 4, 5 AND 6  
COTTONWOOD CROSSING, PHASE II**  
(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003

PRELIMINARY PLAT  
APPROVED BY  
ON 12/1/03  
PROJECT NUMBER: 1002792  
Application Number:



**VICINITY MAP**  
N.T.S.

**SUBDIVISION DATA**

1. City of Albuquerque Zone Atlas Page: B-14-Z
2. U.C.L.S. Log Number 2003461539
3. Total number of existing tracts: 2
4. Total number of new lots created: 6
5. Gross subdivision acreage: 9.7690 acres
6. Total mileage of full width streets created: 0.00 miles

**NOTE**

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No. 96115257.

**NOTE**

These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

**DISCLOSURE STATEMENT**

The purpose of this plat is to create 6 new lots. Grant City of Albuquerque sidewalk, public water line, public sanitary sewer line, public storm sewer, private cross access, public overhead and dry utility easements. Vacate existing easements as shown hereon.

**SHEET INDEX**

- SHEET 1 - Approvals
- SHEET 2 - Legal Description, General Notes
- SHEET 3 - New Lot Boundaries and Existing Easements  
Vacated by 03DRB-01780VPE and \_\_\_\_\_
- SHEET 4 - New Easements Granted by this Plat

**TREASURER'S CERTIFICATION**

This is to certify that taxes are current and paid on the following property:

UPC# 101406519031820301 TRACT 14-A, BLACK RANCH  
UPC# 101506522431320303 TRACT 14-B, BLACK RANCH

Bernalillo County Treasurer's Office \_\_\_\_\_ Date \_\_\_\_\_

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- C. QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- D. Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance, and service of such lines across the easement and related equipment and facilities reasonably necessary to provide Sanitary Sewer and Water Service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DISCLAIMER**

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**PLAT APPROVAL**

Utility Approvals:

PNM Electric Services \_\_\_\_\_ Date \_\_\_\_\_

PNM Gas Services \_\_\_\_\_ Date \_\_\_\_\_

QWest Corporation \_\_\_\_\_ Date \_\_\_\_\_

Comcast \_\_\_\_\_ Date \_\_\_\_\_

New Mexico Utilities \_\_\_\_\_ Date \_\_\_\_\_

City Approvals:  
City Surveyor [Signature] \_\_\_\_\_ Date 12-8-03

Real Property Division \_\_\_\_\_ Date \_\_\_\_\_

Environmental Health Department \_\_\_\_\_ Date \_\_\_\_\_

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

Utilities Development \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

AMA/CA \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.



[Signature]  
Russ P. Hugg  
NMPS No. 9750  
November 26, 2003

**SURVOTEK, INC.**

Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377



LOTS 1, 2, 3, 4, 5 AND 6  
COTTONWOOD CROSSING, PHASE II

(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003

**GENERAL NOTES**

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1927) originated at the Albuquerque Control Survey Monument "NM448-N12".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the month of April, 2003.
- Documents used in the preparation of this survey are as follows:
  - Plat entitled "TRACTS 14-A AND 14-B, BLACK RANCH, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1998", filed June 3, 1998, in Volume 98C, Folio 157, records of Bernalillo County, New Mexico.
  - Survey entitled "BOUNDARY SURVEY PLAT, TRACTS 13 AND 14, BLACK RANCH, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, JUNE 1997", filed June 17, 1997, in Volume 97S, Folio 69, records of Bernalillo County, New Mexico.
  - Plat entitled "LOTS 1 THRU 5, COTTONWOOD CROSSING, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY, 1998", filed July 9, 1998, in Volume 98C, Folio 196, records of Bernalillo County, New Mexico.
  - Title Report prepared for this property by Lawyers Title Insurance Company, Commitment for Title Insurance No. 972091SD, dated July 25, 1997.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument - Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.

Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

**LEGAL DESCRIPTION**


Tracts numbered Fourteen-A (14-A) and Fourteen-B (14-B), Black Ranch, within the Town of Alameda Grant, Projected Section 8, Township 11 North, Range 3 East, N.M.P.M., Bernalillo County, City of Albuquerque, New Mexico, as the same is shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 3, 1998, in Plat Book 98C, Folio 157.

Said parcel contains 9.7690 acres more or less.

**DEDICATION**

SURVEYED and REPLATTED and now comprising LOTS 1, 2, 3, 4, 5 AND 6, COTTONWOOD CROSSING, PHASE II, (BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH) WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the easements as shown hereon. Said owner(s) and proprietor(s) do hereby grant the public utility easements to the use of the public forever, as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.


OWNER: TRACTS 14-A and 14-B, BLACK RANCH  
The Albert J. Black and Mary Jane Black Revocable Trust

  
John F. Black, Trustee

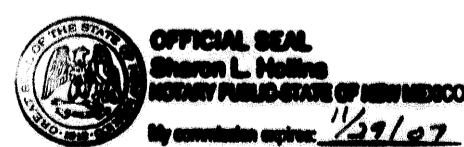
**ACKNOWLEDGEMENT**

STATE OF SS  
COUNTY OF

This instrument was acknowledged before me on this 8th day  
of December, 2003, by John F. Black.

  
Sharon L. Hollins  
Notary Public

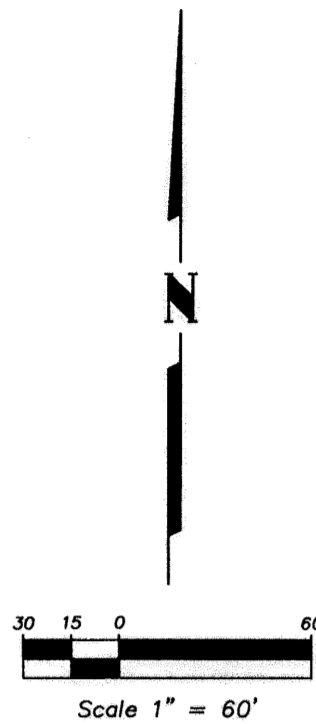
My Commission expires: Nov. 29, 2007



**EASEMENT TABLE**

- 20' Sanitary Sewer Easement to New Mexico Utilities, Inc. filed September 21, 1981, Book Misc. 880, page 1, to remain.
- 10' Overhead Utility Easement to PNM & Mountain States Telephone & Telegraph filed Sept. 19, 1989, Book Misc. 790-A, page 499, vacated by 03DRB-01780VPE.
- Easement for Underground Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2661, to remain.
- 30' Easement for Floodway & Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2669, vacated by 03DRB-01780VPE.
- Temporary Road Easement to A.M.A.F.C.A. filed May 12, 1994, Book BCR 94-15, page 4448, vacated by 03DRB-01780VPE.
- Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6668, to remain.
- 10' Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6671, vacated by 03DRB-01780VPE.
- Reciprocal Easement filed Oct. 21, 1996, in Book BCR 96-28, page 2764, vacated by
- 10' Easement to New Mexico Utilities, filed April 24, 1998, in Book BCR 98-08, Page 8481, to remain.
- Easement to Mountain States Telephone & Telegraph, filed January 16, 1930, in Book 112, page 68. (Blanket Easement), to remain.
- Easement to Mountain States Telephone & Telegraph, filed March 28, 1930, in Book 112, page 196. (Blanket Easement), to remain.
- 30' Access Easement for the use of Tract 14-B per plat filed June 3, 1998, Vol. 98C, Folio 157. (Hatched area), vacated by
- 20' Easement to New Mexico Utilities, Inc., filed September 21, 1981, in Book Misc. 880, page 4, confined to adjoining property - to remain.
- 10' Easement to New Mexico Utilities, Inc., filed October 18, 1996, in Book BCR 96-28, page 1809, confined to adjoining property - to remain.
- Albuquerque Metropolitan Arroyo Flood Control Authority Easement filed August 10, 1983, Misc. 38A, pages 64-67, vacated by 03DRB-01780VPE.

**BOUNDARY INFORMATION AND EXISTING EASEMENTS**



**CORNER LEGEND**

- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"

Albuquerque Control Survey Monument  
 "NM44B-N12"  
 New Mexico State Plane Coordinates -  
 Central Zone (NAD27)  
 X=381108.54  
 Y=15288910.94  
 G=0.99967595  
 Delta Alpha=-001'3"46"  
 Elevation=5023.411 (NGVD29)

**LOTS 1, 2, 3, 4, 5 AND 6  
 COTTONWOOD CROSSING, PHASE II**

(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003

SEE SHEET 2 OF 4 FOR KEYED EASEMENT INFORMATION

**SEVEN BAR LOOP ROAD**  
**COORS ROAD N.W. (NEW MEXICO STATE HIGHWAY NO. 448)**

**TRACT 14-A  
 BLACK RANCH**  
 Filed 6-3-98, Vol. 98C, Folio 157

**LOT 2  
 5.3836 ACRES**

**TRACT 14-B  
 BLACK RANCH**  
 Filed 6-3-98, Vol. 98C, Folio 157

**LOT 6  
 0.6912 ACRES**

**LOT 5  
 1.5376 ACRES**

**LOT 3  
 0.9864 ACRES**

**LOT 4  
 0.7388 ACRES**

**LOT 1  
 COTTONWOOD CROSSING**  
 Filed 7-9-98, Vol. 98C, Folio 196

**CORRALES MAIN CANAL**  
 R/W VARIES

**LINE TABLE**

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L1   | 32.70'  | N76°36'48"W |
| L2   | 28.72'  | N27°52'55"W |
| L3   | 14.01'  | N86°28'56"W |
| L4   | 55.93'  | S28°23'32"W |
| L5   | 41.00'  | N57°14'40"W |
| L6   | 37.00'  | S32°55'48"W |
| L7   | 40.00'  | S32°55'48"W |
| L8   | 48.64'  | S15°11'06"W |
| L9   | 31.45'  | S81°51'16"W |
| L10  | 49.25'  | N61°19'09"W |
| L11  | 18.19'  | N61°36'28"W |
| L12  | 37.36'  | S32°55'48"W |
| L13  | 22.12'  | S32°55'48"W |
| L22  | 12.16'  | S59°20'21"E |
| L23  | 15.01'  | S59°20'21"E |
| L24  | 161.06' | N32°38'46"E |
| L25  | 367.18' | S32°56'02"W |
| L26  | 35.96'  | N12°21'14"W |
| L27  | 175.00' | S32°56'02"W |
| L28  | 175.00' | N32°50'11"E |
| L29  | 371.82' | S32°56'02"W |
| L30  | 370.88' | N32°50'11"E |
| L31  | 21.97'  | S32°56'02"W |
| L32  | 28.57'  | N32°50'11"E |
| L33  | 33.68'  | S07°01'14"E |
| L34  | 21.10'  | N08°09'48"W |
| L35  | 64.62'  | S81°51'16"E |
| L36  | 6.49'   | S81°51'16"E |
| L37  | 26.14'  | N50°13'54"E |
| L38  | 138.63' | N46°31'30"E |
| L39  | 75.97'  | N46°31'30"E |
| L40  | 102.38' | N45°54'06"E |

**CURVE TABLE**

| CURVE | LENGTH               | RADIUS               | TANGENT            | CHORD                | CHORD BEARING                | DELTA                    |
|-------|----------------------|----------------------|--------------------|----------------------|------------------------------|--------------------------|
| C1    | 184.86'<br>(184.86') | 250.00'<br>(250.00') | 96.89'<br>(96.89') | 180.68'<br>(180.68') | S29°04'56"W<br>(S29°05'55"W) | 42°22'02"<br>(42°22'02") |
| C2    | 186.31'<br>(186.31') | 335.00'<br>(335.00') | 95.64'<br>(95.64') | 183.92'<br>(183.92') | S66°11'55"W<br>(S66°11'55"W) | 31°51'57"<br>(31°51'57") |
| C3    | 122.62'              | 95.88'               | 71.30'             | 114.43'              | S01°34'32"W                  | 73°16'31"                |

**NOTE**

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No. 96115257.



**SURVOTEK, INC.**

Consulting Surveyors  
 5645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366  
 Fax: 505-897-3377

**NEW EASEMENTS GRANTED BY THIS PLAT**

**LOTS 1, 2, 3, 4, 5 AND 6  
COTTONWOOD CROSSING, PHASE II**  
(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003

**NOTE**

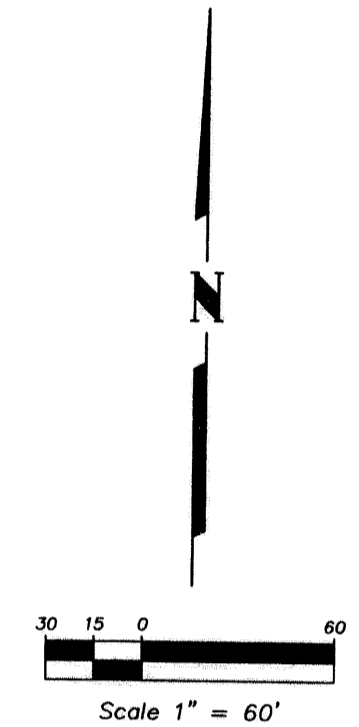
Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No. 96115257.

**NOTE**

All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections. All centerline monumentation will be set using the standard four (4) aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.

Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

Albuquerque Control Survey Monument  
"NM448-N12"  
New Mexico State Plane Coordinates -  
Central Zone (NAD27)  
Y=381108.54  
X=1528910.94  
G=0.99967595  
Delta Alpha=-00'13"46"  
Elevation=5023.411 (NGVD29)



- CORNER LEGEND**
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
  - FOUND PROPERTY CORNER AS INDICATED
  - SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
  - △ SET 4" ALUMINUM CENTERLINE MONUMENT

**LINE TABLE**

| LINE | LENGTH | BEARING     |
|------|--------|-------------|
| L1   | 32.70' | N76°36'48"W |
| L2   | 28.72' | N27°52'55"W |
| L3   | 14.01' | N86°28'56"W |
| L4   | 55.93' | S28°23'32"W |
| L5   | 41.00' | N57°14'40"W |
| L6   | 37.00' | S32°55'48"W |
| L7   | 40.00' | S32°55'48"W |
| L8   | 48.64' | S15°11'06"W |
| L9   | 31.45' | S81°51'16"W |
| L10  | 49.25' | N61°19'09"W |
| L11  | 18.19' | N61°36'28"W |
| L12  | 37.36' | S32°55'48"W |
| L13  | 22.12' | S32°55'48"W |
| L14  | 19.89' | S88°44'18"E |
| L15  | 40.91' | N46°20'05"E |
| L16  | 33.06' | S60°38'23"E |
| L18  | 14.35' | S57°04'12"E |
| L19  | 24.89' | S57°04'12"E |

**CURVE TABLE**

| CURVE | LENGTH  | RADIUS  | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|---------|---------|---------|---------------|-----------|
| C1    | 184.86' | 250.00' | 96.89'  | 180.68' | S29°04'56"W   | 42°22'02" |
| C2    | 186.31' | 335.00' | 95.64'  | 183.92' | S66°11'55"W   | 31°51'57" |
| C3    | 122.62' | 95.88'  | 71.30'  | 114.43' | S01°34'32"W   | 73°16'31" |
| C4    | 71.71'  | 250.00' | 36.10'  | 71.46'  | N42°02'52"E   | 16°26'01" |
| C5    | 56.04'  | 104.00' | 28.72'  | 55.37'  | N41°37'56"W   | 30°52'32" |
| C6    | 107.32' | 104.00' | 58.99'  | 102.62' | N03°22'04"E   | 59°07'28" |
| C7    | 83.36'  | 165.00' | 42.59'  | 82.48'  | N47°25'59"E   | 28°56'52" |
| C8    | 16.26'  | 78.00'  | 8.16'   | 16.23'  | N54°50'39"E   | 11°56'36" |
| C9    | 28.64'  | 78.00'  | 14.48'  | 28.48'  | N71°20'06"E   | 21°02'19" |
| C10   | 40.01'  | 75.00'  | 20.49'  | 39.54'  | N41°33'58"W   | 30°33'50" |
| C11   | 26.87'  | 50.00'  | 13.77'  | 26.54'  | S41°40'38"E   | 30°47'08" |
| C12   | 69.04'  | 150.00' | 35.14'  | 68.44'  | N43°53'01"W   | 26°22'19" |
| C13   | 35.69'  | 25.00'  | 21.65'  | 32.73'  | S71°35'27"E   | 81°47'11" |
| C14   | 33.44'  | 25.00'  | 19.76'  | 31.00'  | S29°11'42"W   | 76°38'30" |



**SURVOTEK, INC.**  
Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3368  
Fax: 505-897-3377

030329P

**LOT 1  
COTTONWOOD CROSSING**  
Filed 7-9-98, Vol. 98C, Folio 196

Albuquerque Control Survey Monument  
"NM448-N10"  
New Mexico State Plane Coordinates -  
Central Zone (NAD27)  
Y=377788.84  
X=1524161.52  
G=0.99967583  
Delta Alpha=-00'14"09"  
Elevation=5045.51 (NGVD29)

**SEVEN BAR LOOP ROAD**  
**COORS ROAD N.W.**  
**(NEW MEXICO STATE HIGHWAY NO. 448)**  
156' Right of Way

**CORRALES MAIN CANAL**  
R/W VARIES

**LOT 6**  
0.6912 ACRES

**LOT 5**  
1.5376 ACRES

**LOT 4**  
0.7388 ACRES

**LOT 3**  
0.9864 ACRES

**LOT 2**  
5.3836 ACRES

**LOT 1**  
0.4314 ACRES

**TRACT 13  
BLACK RANCH**  
Boundary Survey Plat Filed 6-17-97  
Vol. 97S, Folio 69

Private Cross Access, Public Water, Public Sanitary Sewer and Dry Utility Easement Granted by this Plat

10' Public Overhead Utility Easement Granted by this Plat

U.S.C.E. Monument "R.B. ALAMEDA BR. NO. 2"

20' Public Storm Sewer Easement Granted by this Plat

10' Public Overhead Utility Easement Granted by this Plat

10' City of Albuquerque Subsewer Easement Granted by this Plat

Set 5/8" Rebar with Cap Stamped "LS 9750" (Typical All Interior Property Corners)

Set 5/8" Rebar with Cap "LS 9750"

Set 5/8" Rebar with Cap "LS 5823"

Found A.M.A.F.C.A. Brass Cap

Set 5/8" Rebar with Cap "LS 5823"

Found 5/8" Rebar with Cap "LS 9750"

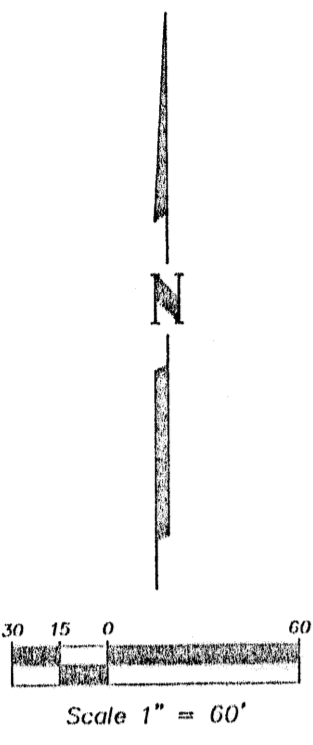
# LOTS 1, 2, 3, 4, 5 AND 6 COTTONWOOD CROSSING, PHASE II

(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 NOVEMBER, 2003

SEE SHEET 2 OF 4 FOR KEYED EASEMENT INFORMATION  
 SEE SHEET 2 OF 4 FOR ADDITIONAL A.M.A.F.C.A. EASEMENT INFORMATION

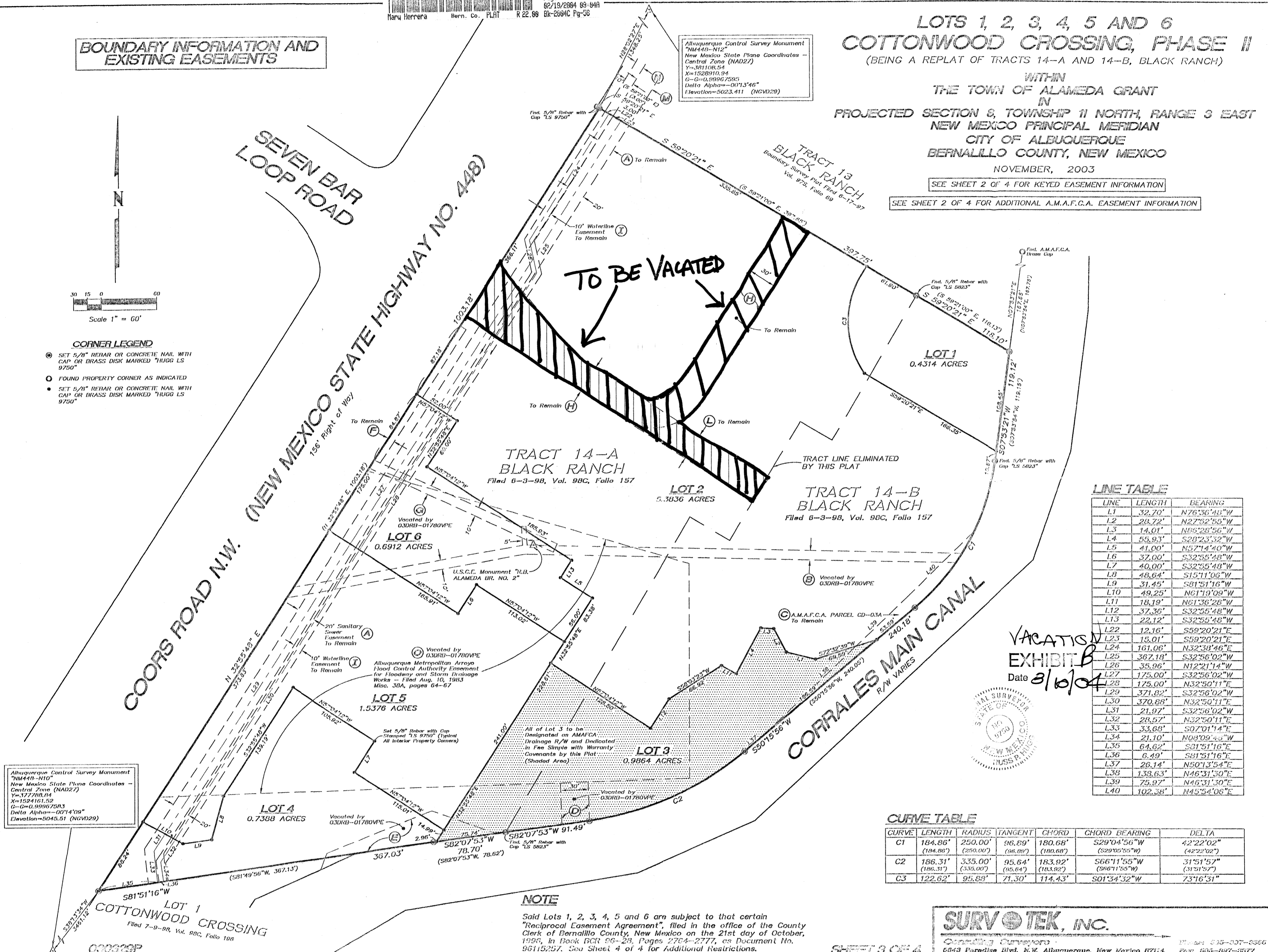
### BOUNDARY INFORMATION AND EXISTING EASEMENTS



#### CORNER LEGEND

- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"

Albuquerque Control Survey Monument  
 "NM44B-N12"  
 New Mexico State Plane Coordinates -  
 Central Zone (NAD27)  
 Y=381108.54  
 X=1528910.94  
 G=0.99967393  
 Delta Alpha=-00'13.46"  
 Elevation=5023.411 (NGVD29)



#### LINE TABLE

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L1   | 32.70'  | N76°36'48"W |
| L2   | 28.72'  | N27°52'55"W |
| L3   | 14.01'  | N86°28'56"W |
| L4   | 55.93'  | S20°23'32"W |
| L5   | 41.00'  | N57°14'40"W |
| L6   | 37.00'  | S32°55'48"W |
| L7   | 40.00'  | S32°55'48"W |
| L8   | 48.64'  | S15°11'06"W |
| L9   | 31.45'  | S81°51'16"W |
| L10  | 49.25'  | N61°19'09"W |
| L11  | 18.19'  | N61°36'28"W |
| L12  | 37.36'  | S32°55'48"W |
| L13  | 22.12'  | S32°55'48"W |
| L14  | 12.16'  | S59°20'21"E |
| L15  | 15.01'  | S59°20'21"E |
| L16  | 161.06' | N32°38'46"E |
| L17  | 367.18' | S32°56'02"W |
| L18  | 35.96'  | N12°21'14"W |
| L19  | 175.00' | S32°56'02"W |
| L20  | 175.00' | N32°50'11"E |
| L21  | 371.82' | S32°56'02"W |
| L22  | 370.88' | N32°50'11"E |
| L23  | 21.97'  | S32°56'02"W |
| L24  | 28.57'  | N32°50'11"E |
| L25  | 33.68'  | S07°01'14"E |
| L26  | 21.10'  | N08°09'45"W |
| L27  | 64.62'  | S01°51'16"E |
| L28  | 6.49'   | S81°51'16"E |
| L29  | 26.14'  | N50°13'54"E |
| L30  | 138.63' | N46°31'30"E |
| L31  | 75.97'  | N46°31'30"E |
| L32  | 102.38' | N45°54'06"E |

#### CURVE TABLE

| CURVE | LENGTH               | RADIUS               | TANGENT            | CHORD                | CHORD BEARING                | DELTA                    |
|-------|----------------------|----------------------|--------------------|----------------------|------------------------------|--------------------------|
| C1    | 184.86'<br>(184.86') | 250.00'<br>(250.00') | 96.89'<br>(96.89') | 180.68'<br>(180.68') | S29°04'56"W<br>(S29°05'55"W) | 42°22'02"<br>(42°22'02") |
| C2    | 186.31'<br>(186.31') | 335.00'<br>(335.00') | 95.64'<br>(95.64') | 183.92'<br>(183.92') | S66°11'55"W<br>(S66°11'55"W) | 31°51'57"<br>(31°51'57") |
| C3    | 122.62'              | 95.88'               | 71.30'             | 114.43'              | S01°34'32"W                  | 73°16'31"                |

VACATION  
 EXHIBIT B  
 Date 3/6/04

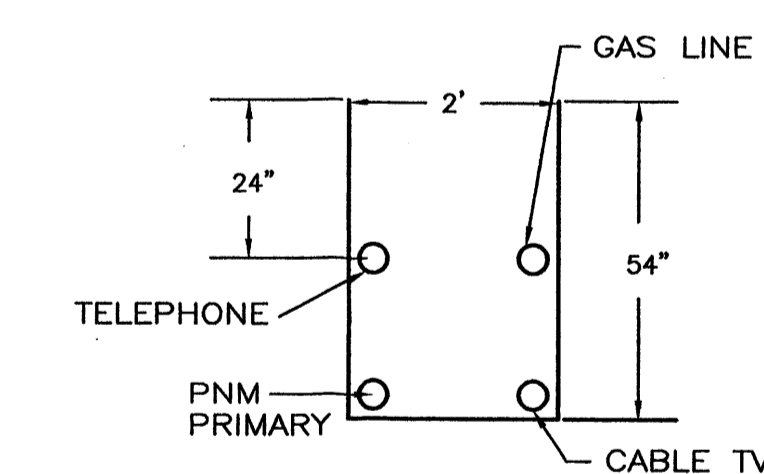
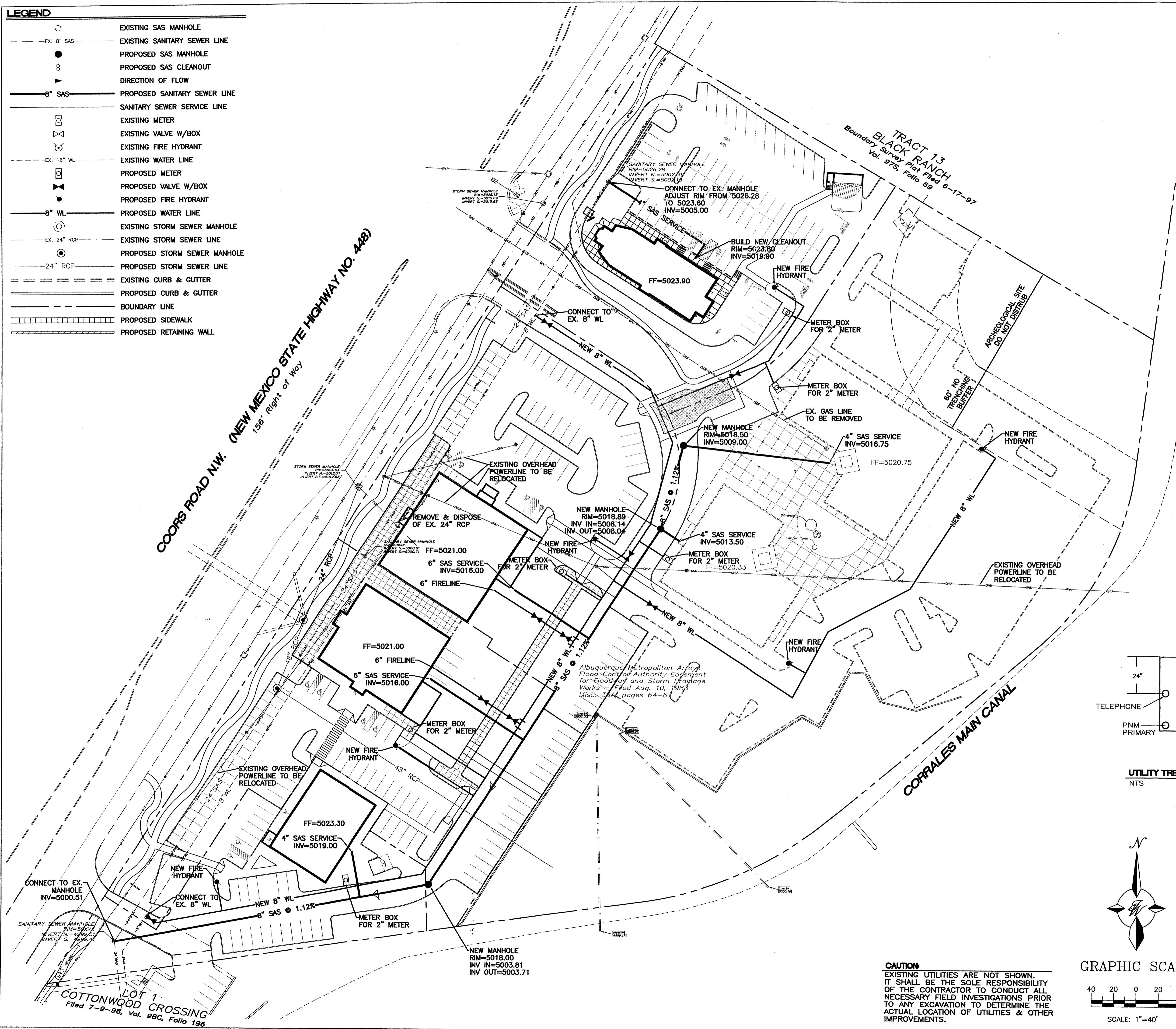


**SURVOTEK, INC.**  
 Consulting Surveyors

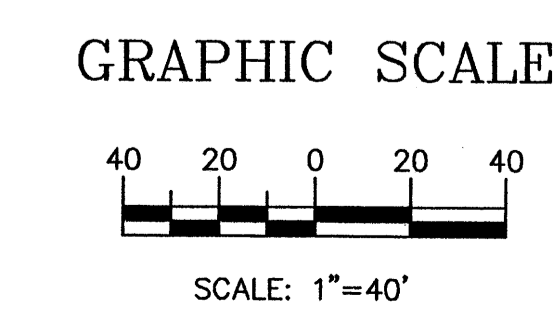
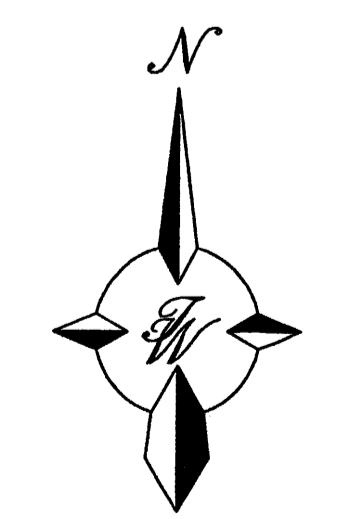
| LEGEND |                              |
|--------|------------------------------|
|        | EXISTING SAS MANHOLE         |
|        | EXISTING 8" SAS              |
|        | PROPOSED SAS MANHOLE         |
|        | PROPOSED SAS CLEANOUT        |
|        | DIRECTION OF FLOW            |
|        | PROPOSED 8" SAS              |
|        | SANITARY SEWER SERVICE LINE  |
|        | EXISTING METER               |
|        | EXISTING VALVE W/BOX         |
|        | EXISTING FIRE HYDRANT        |
|        | EXISTING 16" WL              |
|        | PROPOSED METER               |
|        | PROPOSED VALVE W/BOX         |
|        | PROPOSED FIRE HYDRANT        |
|        | PROPOSED 8" WL               |
|        | EXISTING STORM SEWER MANHOLE |
|        | EXISTING 24" RCP             |
|        | PROPOSED STORM SEWER MANHOLE |
|        | PROPOSED 24" RCP             |
|        | EXISTING CURB & GUTTER       |
|        | PROPOSED CURB & GUTTER       |
|        | BOUNDARY LINE                |
|        | PROPOSED SIDEWALK            |
|        | PROPOSED RETAINING WALL      |

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING



- GENERAL NOTES:**
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
  5. ALL PIPE MATERIAL TO BE USED PER UPC.



**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

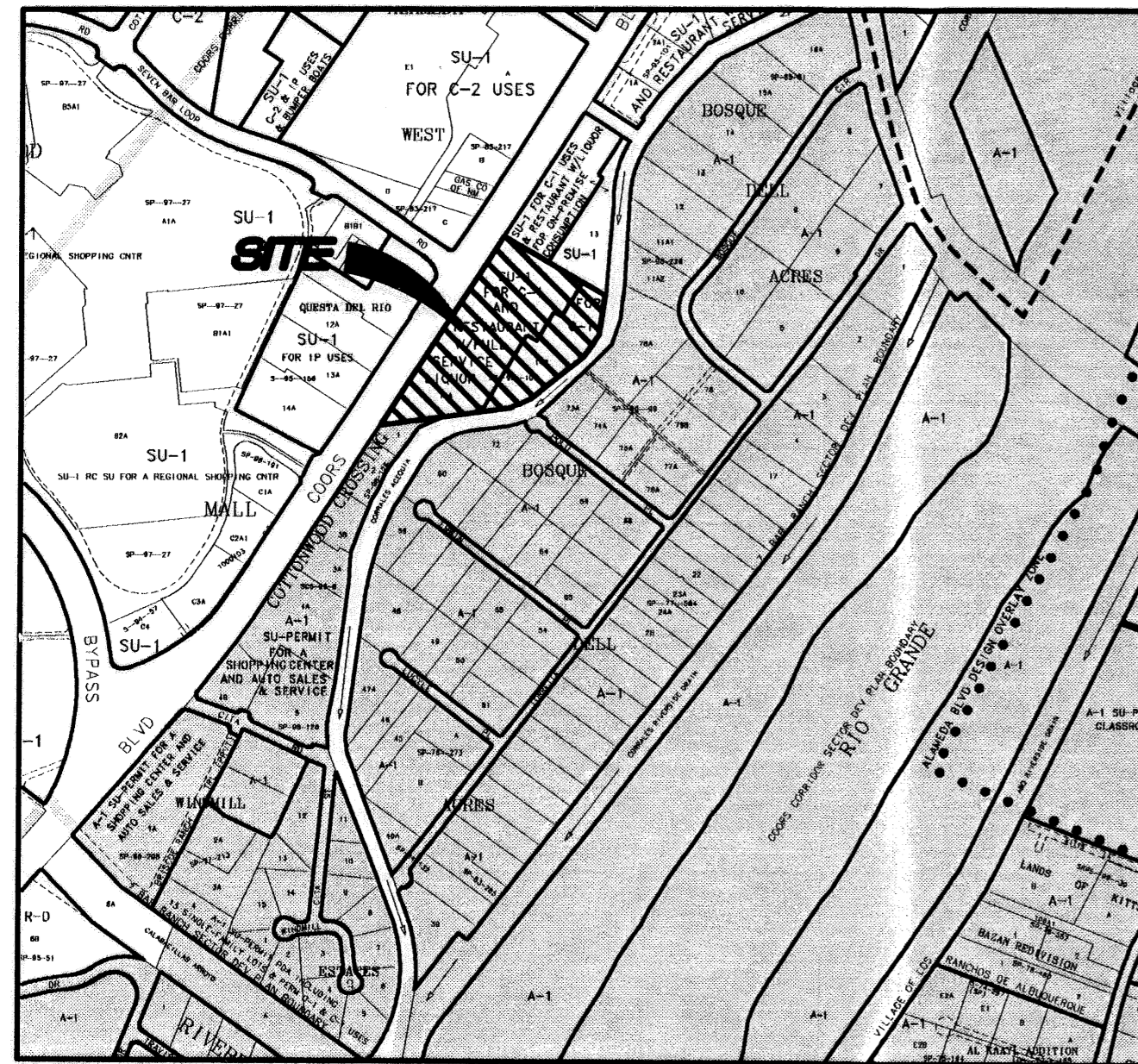
**PLANNING**

|   |                                    |                 |
|---|------------------------------------|-----------------|
| ENGINEER'S SEAL   | <b>COTTONWOOD CROSSING PHASE 2</b> | DRAWN BY JDN    |
|   |                                    | DATE 09-17-03   |
|   | <b>MASTER UTILITY PLAN</b>         | 2297MUB-8-07-03 |
| SHEET # <b>C-4</b>  |                                    | JOB # 220097    |
| <b>TIERRA WEST, LLC</b><br>8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113<br>(505)858-3100 |                                    |                 |

**LOTS 1, 2, 3, 4, 5 AND 6  
COTTONWOOD CROSSING, PHASE II**  
(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003



**VICINITY MAP**  
N.T.S.

**SUBDIVISION DATA**

1. City of Albuquerque Zone Atlas Page: B-14-Z
2. U.C.L.S. Log Number 2003461539
3. Total number of existing tracts: 2
4. Total number of new lots created: 6
5. Gross subdivision acreage: 9.7690 acres
6. Total mileage of full width streets created: 0.00 miles

**NOTE**

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No. 96115257.

**NOTE**

These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

**DISCLOSURE STATEMENT**

The purpose of this plat is to create 6 new lots. Grant City of Albuquerque sidewalk, public water line, public sanitary sewer line, public storm sewer, private cross access, public overhead and dry utility easements. Vacate existing easements as shown hereon.

**SHEET INDEX**

- SHEET 1 - Approvals
- SHEET 2 - Legal Description, General Notes
- SHEET 3 - New Lot Boundaries and Existing Easements  
Vacated by 03DRB-01780VPE and \_\_\_\_\_
- SHEET 4 - New Easements Granted by this Plat

**TREASURER'S CERTIFICATION**

This is to certify that taxes are current and paid on the following property:

UPC# 101406519031820301 TRACT 14-A, BLACK RANCH  
UPC# 101506522431320303 TRACT 14-B, BLACK RANCH

Bernalillo County Treasurer's Office \_\_\_\_\_ Date \_\_\_\_\_

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- C. QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- D. Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance, and service of such lines across the easement and related equipment and facilities reasonably necessary to provide Sanitary Sewer and Water Service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DISCLAIMER**

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PROJECT NUMBER: 1002792  
Application Number: \_\_\_\_\_  
**PRELIMINARY PLAT  
APPROVED BY DRB  
ON 2/18/04**

**PLAT APPROVAL**

Utility Approvals:

PNM Electric Services \_\_\_\_\_ 12-22-03  
Date

PNM Gas Services \_\_\_\_\_ 12-22-03  
Date

QWest Corporation \_\_\_\_\_ 12-19-03  
Date

Comcast \_\_\_\_\_ Date \_\_\_\_\_

New Mexico Utilities \_\_\_\_\_ Date \_\_\_\_\_

City Approvals:  
City Surveyor \_\_\_\_\_ 12-8-03  
Date

Real Property Division \_\_\_\_\_ Date \_\_\_\_\_

Environmental Health Department \_\_\_\_\_ Date \_\_\_\_\_

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

Utilities Development \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

AMAFCA \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.



\_\_\_\_\_  
Russ P. Hugg  
NMPS No. 9750  
November 26, 2003

**SURV TEK, INC.**  
Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

**LOTS 1, 2, 3, 4, 5 AND 6  
COTTONWOOD CROSSING, PHASE II**

(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003

**GENERAL NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1927) originated at the Albuquerque Control Survey Monument "NM44B-N12".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. Field surveys were performed during the month of April, 2003.
8. Documents used in the preparation of this survey are as follows:
  - A. Plat entitled "TRACTS 14-A AND 14-B, BLACK RANCH, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1998", filed June 3, 1998, in Volume 98C, Folio 157, records of Bernalillo County, New Mexico.
  - B. Survey entitled "BOUNDARY SURVEY PLAT, TRACTS 13 AND 14, BLACK RANCH, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, JUNE 1997", filed June 17, 1997, in Volume 97S, Folio 69, records of Bernalillo County, New Mexico.
  - C. Plat entitled "LOTS 1 THRU 5, COTTONWOOD CROSSING, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY, 1998", filed July 9, 1998, in Volume 98C, Folio 196, records of Bernalillo County, New Mexico.
  - D. Title Report prepared for this property by Lawyers Title Insurance Company, Commitment for Title Insurance No. 972091SD, dated July 25, 1997.
9. All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument - Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
 

Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

**LEGAL DESCRIPTION**

Tracts numbered Fourteen-A (14-A) and Fourteen-B (14-B), Black Ranch, within the Town of Alameda Grant, Projected Section 8, Township 11 North, Range 3 East, N.M.P.M., Bernalillo County, City of Albuquerque, New Mexico, as the same is shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 3, 1998, in Plat Book 98C, Folio 157.

Said parcel contains 9.7690 acres more or less.

**DEDICATION**

SURVEYED and REPLATTED and now comprising LOTS 1, 2, 3, 4, 5 AND 6, COTTONWOOD CROSSING, PHASE II, (BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH) WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the easements as shown hereon. Said owner(s) and proprietor(s) do hereby grant the public utility easements to the use of the public forever, as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.


OWNER: TRACTS 14-A and 14-B, BLACK RANCH  
The Albert J. Black and Mary Jane Black Revocable Trust

  
John F. Black, Trustee

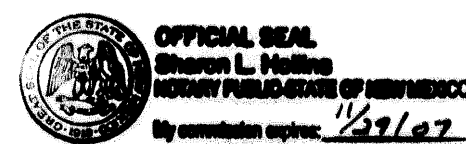
**ACKNOWLEDGEMENT**

STATE OF SS  
COUNTY OF

This instrument was acknowledged before me on this 8<sup>th</sup> day of December, 2003, by John F. Black.

  
Sharon L. Hollins  
Notary Public

My Commission expires: Nov. 29, 2007

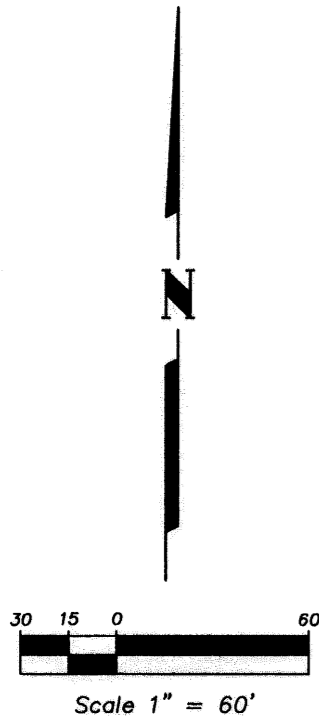


**EASEMENT TABLE**

- (A) 20' Sanitary Sewer Easement to New Mexico Utilities, Inc. filed September 21, 1981, Book Misc. 880, page 1, to remain.
- (B) 10' Overhead Utility Easement to PNM & Mountain States Telephone & Telegraph filed Sept. 19, 1989, Book Misc. 790-A, page 499, vacated by 03DRB-01780VPE.
- (C) Easement for Underground Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2661, to remain.
- (D) 30' Easement for Floodway & Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2669, vacated by 03DRB-01780VPE.
- (E) Temporary Road Easement to A.M.A.F.C.A. filed May 12, 1994, Book BCR 94-15, page 4448, vacated by 03DRB-01780VPE.
- (F) Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6668, to remain.
- (G) 10' Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6671, vacated by 03DRB-01780VPE.
- (H) Reciprocal Easement filed Oct. 21, 1996, in Book BCR 96-28, page 2764, vacated by
- (I) 10' Easement to New Mexico Utilities, filed April 24, 1998, in Book BCR 98-08, Page 8481, to remain.
- (J) Easement to Mountain States Telephone & Telegraph, filed January 16, 1930, in Book 112, page 68. (Blanket Easement), to remain.
- (K) Easement to Mountain States Telephone & Telegraph, filed March 28, 1930, in Book 112, page 196. (Blanket Easement), to remain.
- (L) 30' Access Easement for the use of Tract 14-B per plat filed June 3, 1998, Vol. 98C, Folio 157. (Hatched area), vacated by
- (M) 20' Easement to New Mexico Utilities, Inc., filed September 21, 1981, in Book Misc. 880, page 4, confined to adjoining property - to remain.
- (N) 10' Easement to New Mexico Utilities, Inc., filed October 18, 1996, in Book BCR 96-28, page 1809, confined to adjoining property - to remain.
- (O) Albuquerque Metropolitan Arroyo Flood Control Authority Easement filed August 10, 1983, Misc. 38A, pages 64-67, vacated by 03DRB-01780VPE.



**BOUNDARY INFORMATION AND EXISTING EASEMENTS**



**CORNER LEGEND**

- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"

**LOTS 1, 2, 3, 4, 5 AND 6  
COTTONWOOD CROSSING, PHASE II**

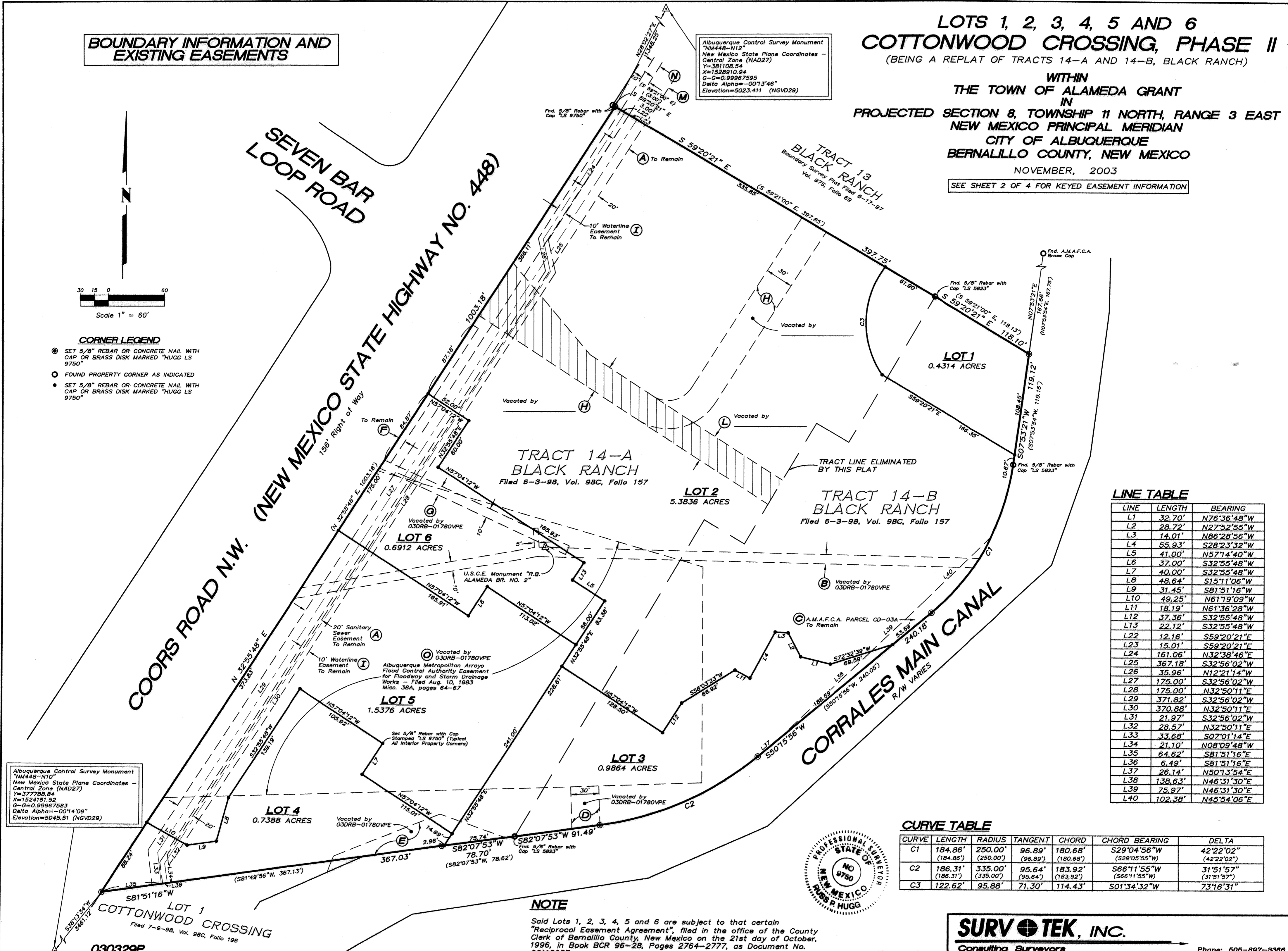
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NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003

SEE SHEET 2 OF 4 FOR KEYED EASEMENT INFORMATION

Albuquerque Control Survey Monument  
"NM448-112"  
New Mexico State Plane Coordinates -  
Central Zone (NAD27)  
Y=381108.54  
X=1528910.94  
G=0.99987595  
Delta Alpha=-00'13'46"  
Elevation=5023.411 (NGVD29)



**LINE TABLE**

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L1   | 32.70'  | N76°36'48"W |
| L2   | 28.72'  | N27°52'55"W |
| L3   | 14.01'  | N86°28'56"W |
| L4   | 55.93'  | S28°23'32"W |
| L5   | 41.00'  | N57°14'40"W |
| L6   | 37.00'  | S32°55'48"W |
| L7   | 40.00'  | S32°55'48"W |
| L8   | 48.64'  | S15°11'06"W |
| L9   | 31.45'  | S81°51'16"W |
| L10  | 49.25'  | N61°19'09"W |
| L11  | 18.19'  | N61°36'28"W |
| L12  | 37.36'  | S32°55'48"W |
| L13  | 22.12'  | S32°55'48"W |
| L22  | 12.16'  | S59°20'21"E |
| L23  | 15.01'  | S59°20'21"E |
| L24  | 161.06' | N32°38'46"E |
| L25  | 367.18' | S32°56'02"W |
| L26  | 35.96'  | N12°21'14"W |
| L27  | 175.00' | S32°56'02"W |
| L28  | 175.00' | N32°50'11"E |
| L29  | 371.82' | S32°56'02"W |
| L30  | 370.88' | N32°50'11"E |
| L31  | 21.97'  | S32°56'02"W |
| L32  | 28.57'  | N32°50'11"E |
| L33  | 33.68'  | S07°01'14"E |
| L34  | 21.10'  | N08°09'48"W |
| L35  | 64.62'  | S81°51'16"E |
| L36  | 6.49'   | S81°51'16"E |
| L37  | 26.14'  | N50°13'54"E |
| L38  | 138.63' | N46°31'30"E |
| L39  | 75.97'  | N46°31'30"E |
| L40  | 102.38' | N45°54'06"E |

**CURVE TABLE**

| CURVE | LENGTH               | RADIUS               | TANGENT            | CHORD                | CHORD BEARING                | DELTA                    |
|-------|----------------------|----------------------|--------------------|----------------------|------------------------------|--------------------------|
| C1    | 184.86'<br>(184.86') | 250.00'<br>(250.00') | 96.89'<br>(96.89') | 180.68'<br>(180.68') | S29°04'56"W<br>(S29°05'55"W) | 42°22'02"<br>(42°22'02") |
| C2    | 186.31'<br>(186.31') | 335.00'<br>(335.00') | 95.64'<br>(95.64') | 183.92'<br>(183.92') | S66°11'55"W<br>(S66°11'55"W) | 31°51'57"<br>(31°51'57") |
| C3    | 122.62'              | 95.88'               | 71.30'             | 114.43'              | S01°34'32"W                  | 73°16'31"                |

**NOTE**

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No. 96115257.



**SURVOTEK, INC.**  
Consulting Surveyors  
6643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3388 Fax: 505-897-3377



**NEW EASEMENTS GRANTED BY THIS PLAT**

**KEYED EASEMENTS**

- (A) 10' Water Line Easement granted to New Mexico Utilities, Inc. by this plat
- (B) Private Access Easement granted to AMAFCA and MRGCD by this plat. Maintenance to be the responsibility of AMAFCA

**NOTE**

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No. 96115257.

**NOTE**

All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.

Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

**LOTS 1, 2, 3, 4, 5 AND 6  
COTTONWOOD CROSSING, PHASE II**  
(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN  
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NOVEMBER, 2003

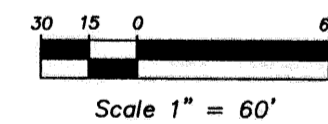
**LINE TABLE**

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L1   | 32.70'  | N76°36'48"W |
| L2   | 28.72'  | N27°52'55"W |
| L3   | 14.01'  | N86°28'56"W |
| L4   | 55.93'  | S28°23'32"W |
| L5   | 41.00'  | N57°14'40"W |
| L6   | 37.00'  | S32°55'48"W |
| L7   | 40.00'  | S32°55'48"W |
| L8   | 48.64'  | S15°11'06"W |
| L9   | 31.45'  | S81°51'16"W |
| L10  | 18.19'  | N61°36'28"W |
| L11  | 37.36'  | S32°55'48"W |
| L12  | 22.12'  | S32°55'48"W |
| L13  | 19.89'  | S88°44'18"E |
| L14  | 40.91'  | N46°20'05"E |
| L15  | 33.06'  | S60°38'23"E |
| L16  | 15.89'  | N57°04'12"W |
| L17  | 43.88'  | N57°17'22"W |
| L18  | 23.67'  | N57°02'27"W |
| L19  | 40.11'  | N57°02'27"W |
| L20  | 12.16'  | S59°38'43"E |
| L21  | 29.39'  | N85°55'21"W |
| L22  | 161.06' | N32°38'46"E |
| L23  | 367.18' | S32°56'02"W |
| L24  | 35.96'  | N12°21'14"W |
| L25  | 175.00' | S32°56'02"W |
| L26  | 175.00' | N32°50'11"E |
| L27  | 371.82' | S32°56'02"W |
| L28  | 370.88' | N32°50'11"E |
| L29  | 21.97'  | S32°56'02"W |
| L30  | 28.57'  | N32°50'11"E |
| L31  | 33.86'  | S07°01'14"E |
| L32  | 21.10'  | N08°09'48"W |
| L33  | 64.62'  | N82°00'42"E |
| L34  | 6.49'   | N80°16'28"E |
| L35  | 26.14'  | N50°13'54"E |
| L36  | 138.63' | N46°31'30"E |
| L37  | 75.97'  | N46°31'30"E |
| L38  | 102.38' | N45°54'06"E |
| L39  | 19.69'  | S32°55'48"W |
| L40  | 23.55'  | S32°55'48"W |
| L41  | 16.87'  | S32°55'48"W |
| L42  | 48.94'  | N57°04'12"W |
| L43  | 23.88'  | S57°04'12"E |
| L44  | 2.13'   | S32°55'48"W |
| L45  | 181.30' | S57°04'12"E |
| L46  | 20.59'  | S28°23'32"W |
| L47  | 24.25'  | S61°36'28"E |
| L48  | 46.47'  | S28°23'32"W |
| L49  | 82.43'  | S62°07'05"W |
| L50  | 107.33' | S32°55'48"W |
| L51  | 17.00'  | S57°04'12"E |
| L52  | 34.87'  | N57°04'12"W |
| L53  | 34.87'  | N57°04'12"W |
| L54  | 56.91'  | N57°04'12"W |
| L55  | 20.80'  | N09°04'27"W |

**CURVE TABLE**

| CURVE | LENGTH  | RADIUS  | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|---------|---------|---------|---------------|-----------|
| C1    | 184.86' | 250.00' | 96.89'  | 180.68' | S29°04'56"W   | 42°22'02" |
| C2    | 186.31' | 335.00' | 95.64'  | 183.92' | S66°11'55"W   | 31°51'57" |
| C3    | 122.62' | 95.88'  | 71.30'  | 114.43' | S01°34'32"W   | 73°16'31" |
| C4    | 71.71'  | 250.00' | 36.10'  | 71.46'  | N42°02'57"E   | 16°26'01" |
| C5    | 56.40'  | 105.00' | 28.90'  | 55.72'  | N41°41'00"W   | 30°46'24" |
| C6    | 55.66'  | 105.00' | 28.50'  | 55.01'  | N11°06'34"W   | 30°22'27" |
| C7    | 52.87'  | 105.00' | 27.01'  | 52.32'  | N18°30'14"E   | 28°51'09" |
| C8    | 72.96'  | 165.00' | 37.09'  | 72.37'  | N49°14'20"E   | 25°20'10" |
| C9    | 10.40'  | 165.00' | 5.20'   | 10.40'  | N34°45'54"E   | 3°36'42"  |
| C10   | 29.04'  | 50.00'  | 14.94'  | 28.63'  | N40°35'06"W   | 33°16'21" |
| C11   | 58.19'  | 100.00' | 29.95'  | 57.37'  | S40°37'09"E   | 33°20'27" |
| C12   | 10.16'  | 30.00'  | 5.13'   | 10.11'  | N47°35'18"W   | 19°24'09" |
| C13   | 26.67'  | 150.00' | 13.37'  | 26.63'  | N32°47'36"W   | 10°11'13" |
| C14   | 22.20'  | 15.00'  | 13.69'  | 20.23'  | S70°05'40"E   | 84°46'20" |
| C15   | 19.41'  | 15.00'  | 11.33'  | 18.09'  | S30°25'05"W   | 74°09'05" |

Albuquerque Control Survey Monument  
"NM448-N12"  
New Mexico State Plane Coordinates -  
Central Zone (NAD27)  
Y=381108.54  
X=1528910.54  
G-C=0.99967595  
Delta Alpha=-00°13'46"  
Elevation=5023.411 (NGVD29)



**CORNER LEGEND**

- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- ▲ SET 4" ALUMINUM CENTERLINE MONUMENT

**SURV TEK, INC.**  
Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

030329P

SHEET 4 OF 4



PROJECT SITE

VICINITY MAP

Table with columns: CURVE, LENGTH, RADIUS, TANGENT, CHORD, BEARING, DELTA. Contains data for curves C1 through C18.

LINE TABLE

Table with columns: LINE, LENGTH, BEARING. Contains data for lines L1 through L44.

NOTE

SAID LOTS 1, 2, 3, 4, 5 AND 6 ARE SUBJECT TO THAT CERTAIN "RECIPROCAL EASEMENT AGREEMENT", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON THE 21ST DAY OF OCTOBER, 1996, IN BOOK BCR 96-28, PAGES 2764-2777, AS DOCUMENT NO. 96115257.

SAID LOTS 1, 2, 3, 4, 5 AND 6 ARE SUBJECT TO THAT CERTAIN "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 19, 2004, IN BOOK A73, PAGE 711, AS DOCUMENT NO. 2004020771.

PHASE II ARCH DESIGN CRITERIA

THIS SITE PROPOSES DEVELOPMENT OF SEVERAL BUILDINGS CLUSTERED AROUND A PLAZA AREA CONTAINING AN EXISTING COTTONWOOD TREE. THIS EXISTING ELEMENT WILL BE RETAINED TO SERVE AS THE FOCAL POINT OF THE CLUSTERED BUILDING DEVELOPMENT OF LOTS 2 AND 2-B. THESE STRUCTURES MUST BE ARCHITECTURALLY COMPATIBLE WITH THE PROPOSED STRUCTURES OF PHASE I, WITH A MAXIMUM OF TWO STORIES (UP TO 42' IN HEIGHT) PERMITTED. WALL SURFACES ARE TO BE PREDOMINANTLY OF STUCCO COLORED WITH LIGHT SHADE DESERT HUES. ARCHITECTURAL DETAILS TO FOLLOW SHOPS BUILDINGS ELEVATIONS. FLAT ROOF AREAS CONTAINING MECHANICAL UNITS ARE TO BE SCREENED WITH STUCCO PARAPETS AND ACCENT ELEMENTS ROOFED WITH GALV. STANDING SEAM ROOFING MATERIAL. PHASE II BUILDINGS WILL BE BUFFERED FROM ADJACENT RESIDENTIAL AREAS BY A LARGE DRAINAGE POND AT THE CORRALES MAIN CANAL.

CURB RADIUS DESIGNATION

- 3 = 3' RADIUS, 4 = 10' RADIUS, 5 = 15' RADIUS, 6 = 20' RADIUS, 7 = 25' RADIUS, 8 = 30' RADIUS

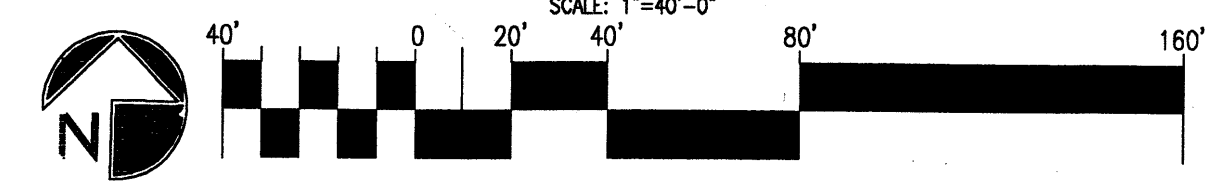
- 1 TEXTURED CONC. PEDESTRIAN CROSSWALK, 2 LIGHT POLE LOCATION REC: 6/A1.1 FOR POLE DETAIL, 3 6' WIDE MEANDERING CONC. PEDESTRIAN WAY

GENERAL NOTES

- CORNER LEGEND: SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750", FOUND PROPERTY CORNER AS INDICATED, SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750", SET 4" ALUMINUM CENTERLINE MONUMENT

PROJECT NUMBER: APPLICATION NUMBER: This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice, Notification of Decision have been complied with: Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements. SITE DEVELOPMENT PLAN: Traffic Engineer, Transportation Division Date; Utilities Development Date; Parks and Recreation Department Date; City Engineer, Engineering Division / AMAFCA Date; Environmental Health Department \*(conditional) Date; Solid Waste Management Date; DRB Chairperson, Planning Department Date; \* Environmental Health, if necessary

SITEPLAN FOR BUILDING PERMIT



SITE DATA TABLE with columns: LEGAL DESCRIPTION, FAST FOOD, UNIT A, UNIT B, UNIT C, UNIT D. Rows include: TOTAL ACREAGE, EXISTING ZONING, PROPOSED ZONING, BUILDING SIZE, FAR, PROPOSED USE, TOTAL PARKING PROVIDED, TOTAL PARKING REQ (INCLUDING EMPLOYEE), BIKE SPACES PROVIDED, BIKE SPACES REQUIRED, SHOWER SPACES PROVIDED, SHOWER SPACES REQUIRED, MAX BUILDING HT.

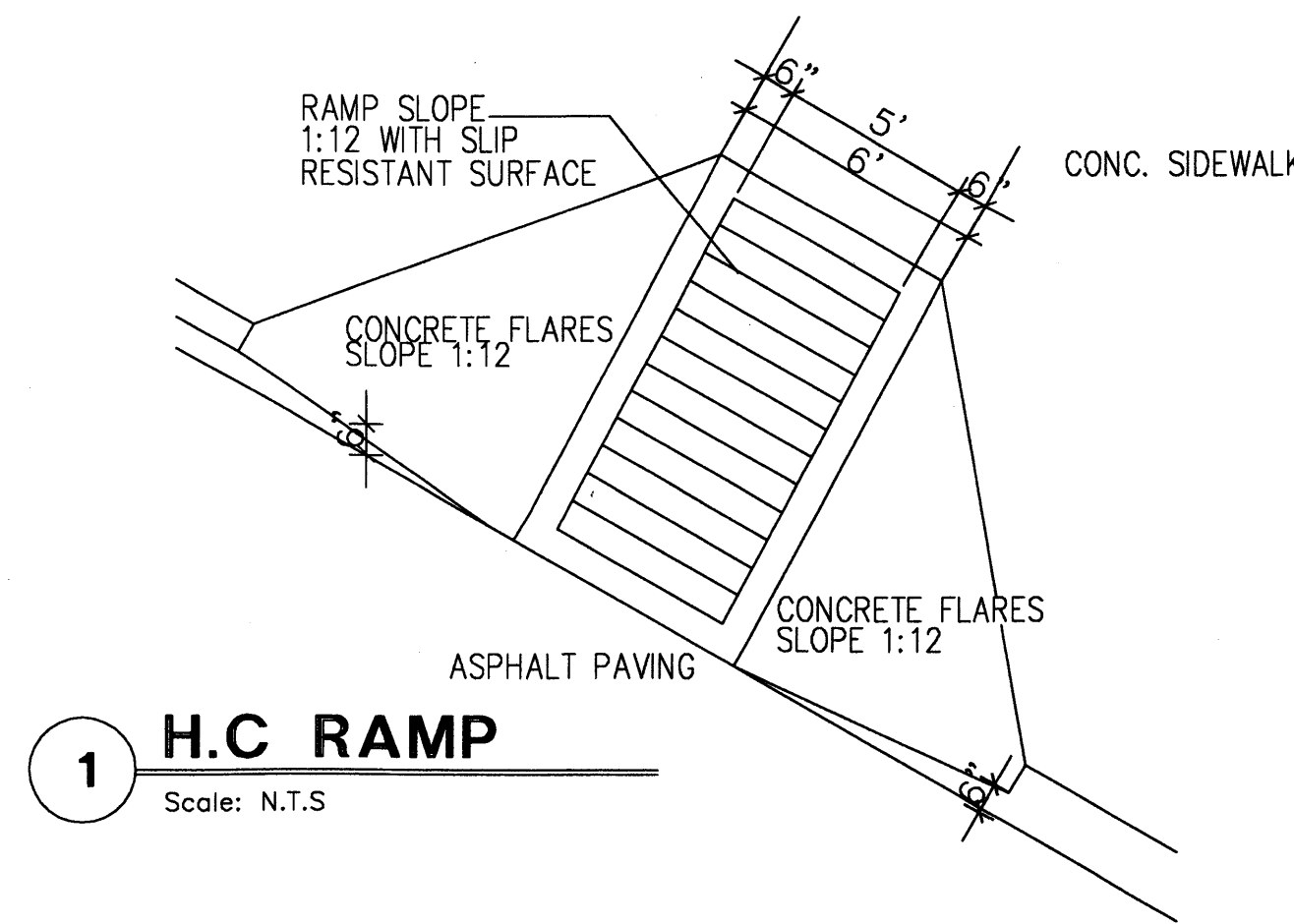
REVISION table with columns: REV, DATE, BY, REVISION.

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC 2325 SAN PEDRO N.E. SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE: TRACT 14 COTTONWOOD CROSSING

PROJECT MANAGER: STEPHEN DUNBAR; JOB NO.: 0309; DRAWN BY: SD; SHEET TITLE: SITEPLAN FOR BUILDING PERMIT

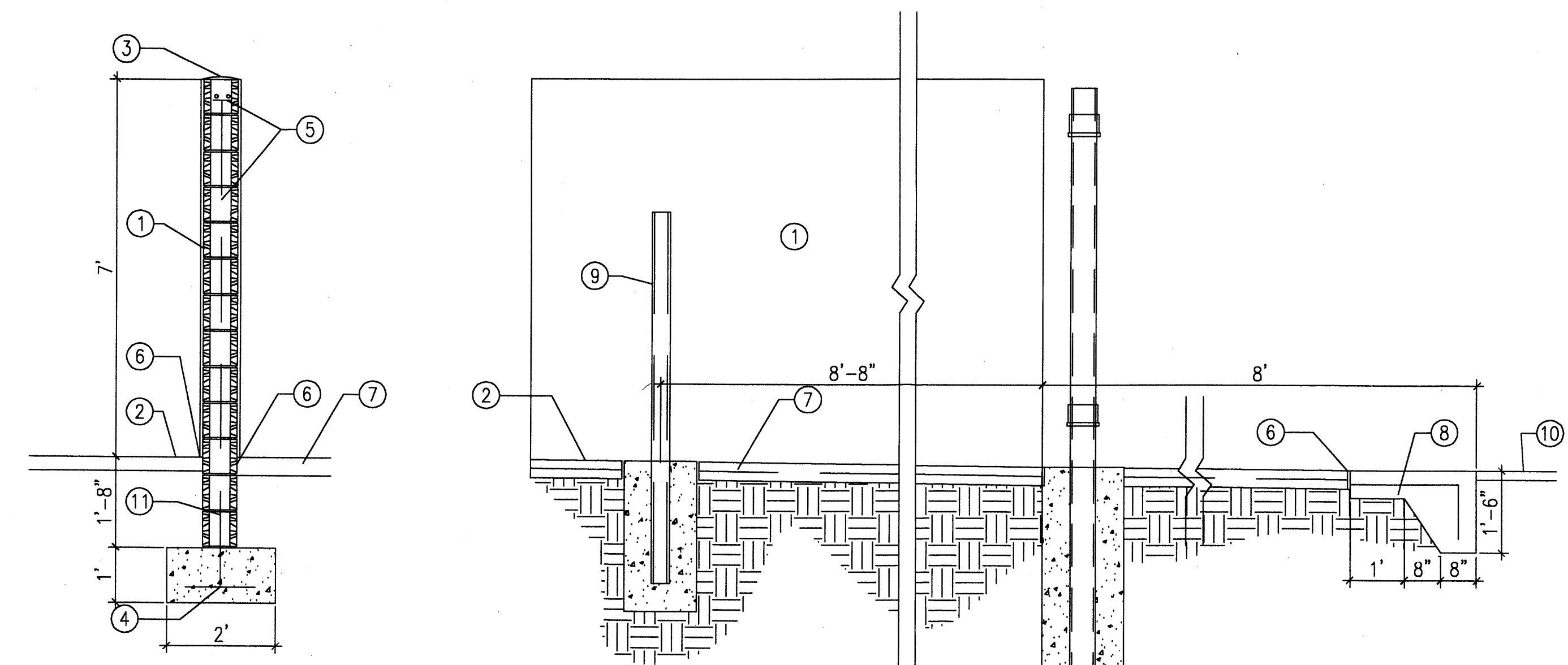
DATE: 6/6/04; SCALE: 1"=40'; sheet: A1 of



**1 H.C. RAMP**  
Scale: N.T.S

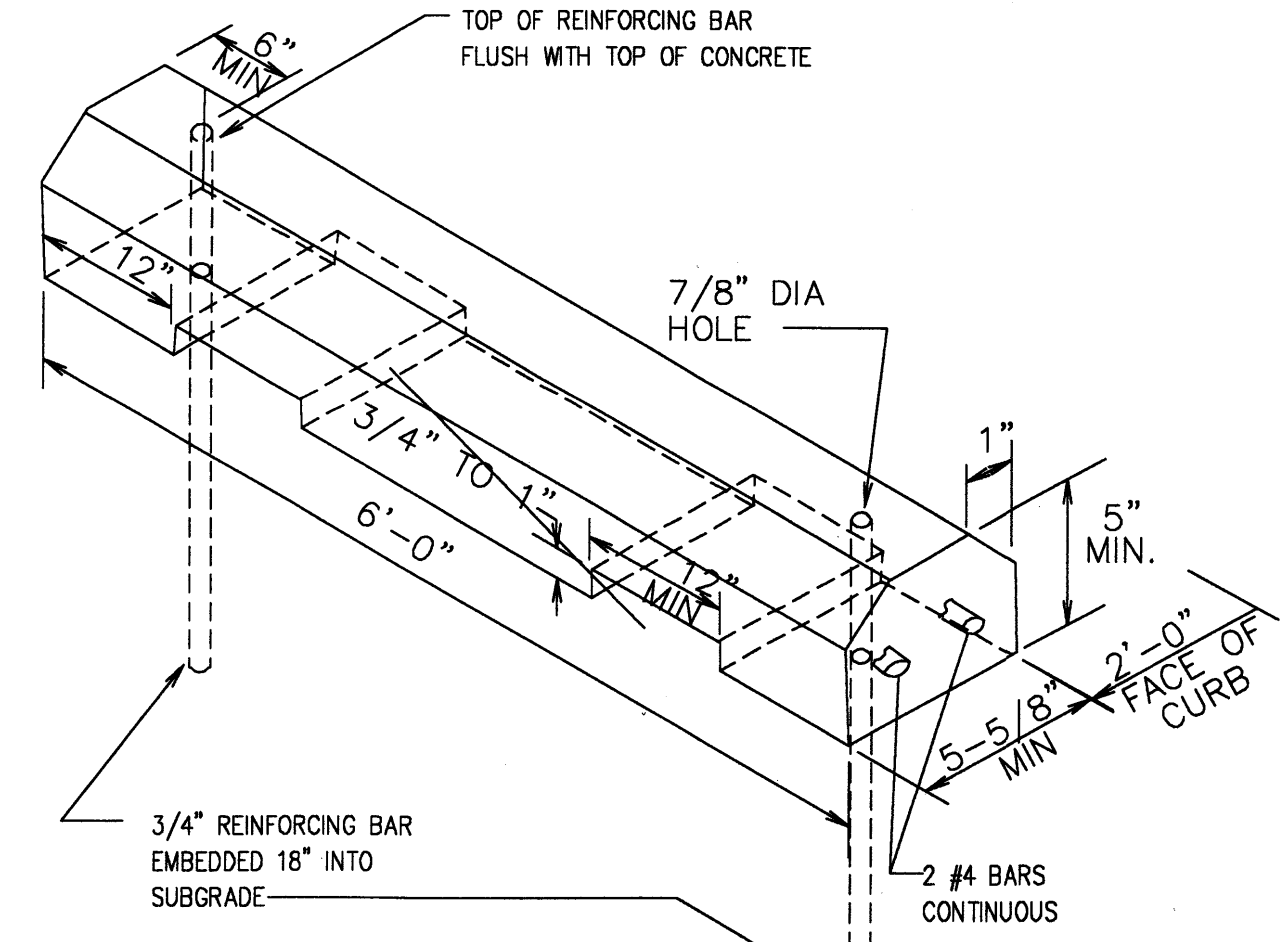
- KEYED NOTES**
- 8" CMU WALL WITH TEXTURED PAINT PAPER. COLOR TO BE BASKET BEIGE SW 6143.
  - FINISH GRADE.
  - SLOPE STUCCO CAP.
  - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
  - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS; #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
  - 1/2" EXPANSION JOINT MATERIAL
  - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM.
  - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM W/ TURNDOWN EDGE.
  - 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
  - ASPHALT PAVING
  - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

**8 ENCLOSURE NOTES**  
Scale: N.T.S

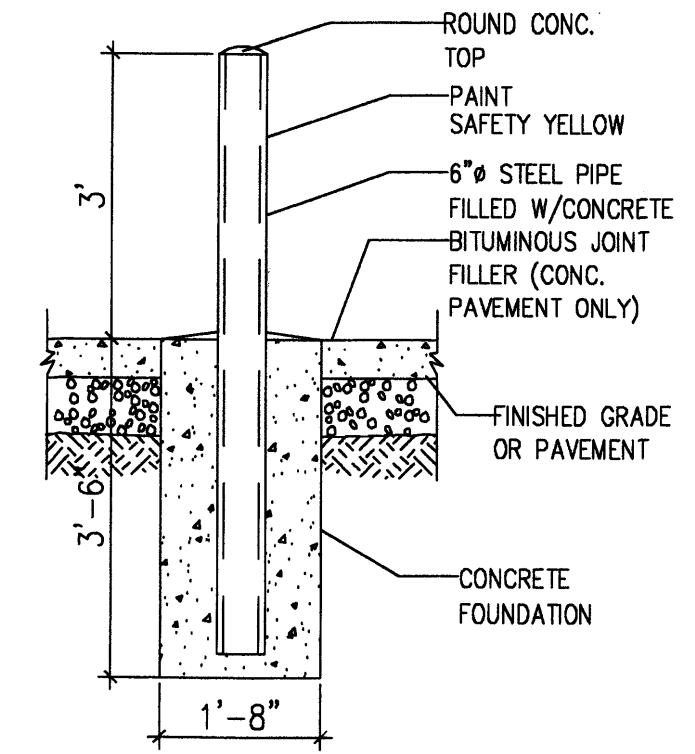


**11 DUMPSTER SEC**  
Scale: 1/2"=1'-0"

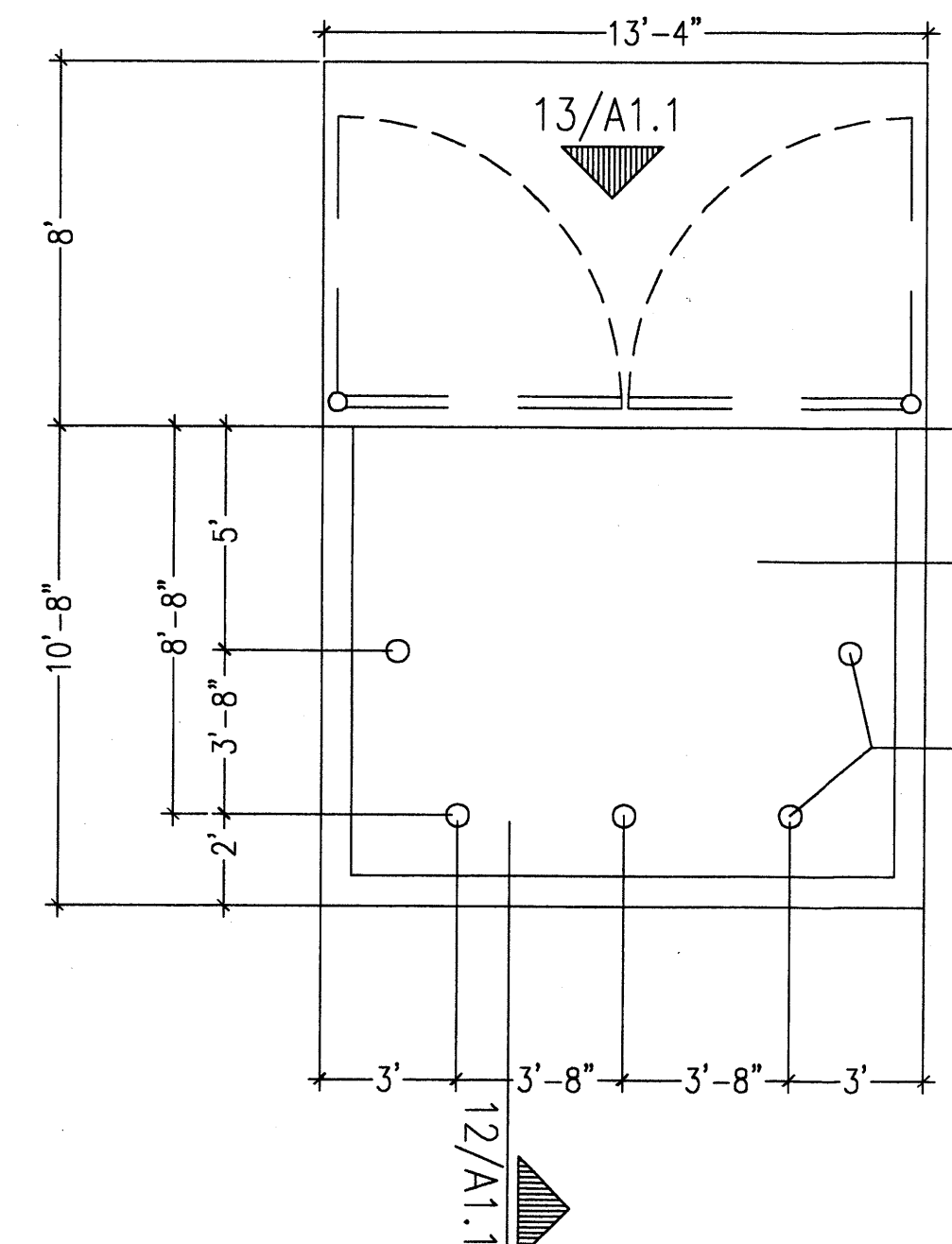
**12 DUMPSTER SEC**  
Scale: 1/2"=1'-0"



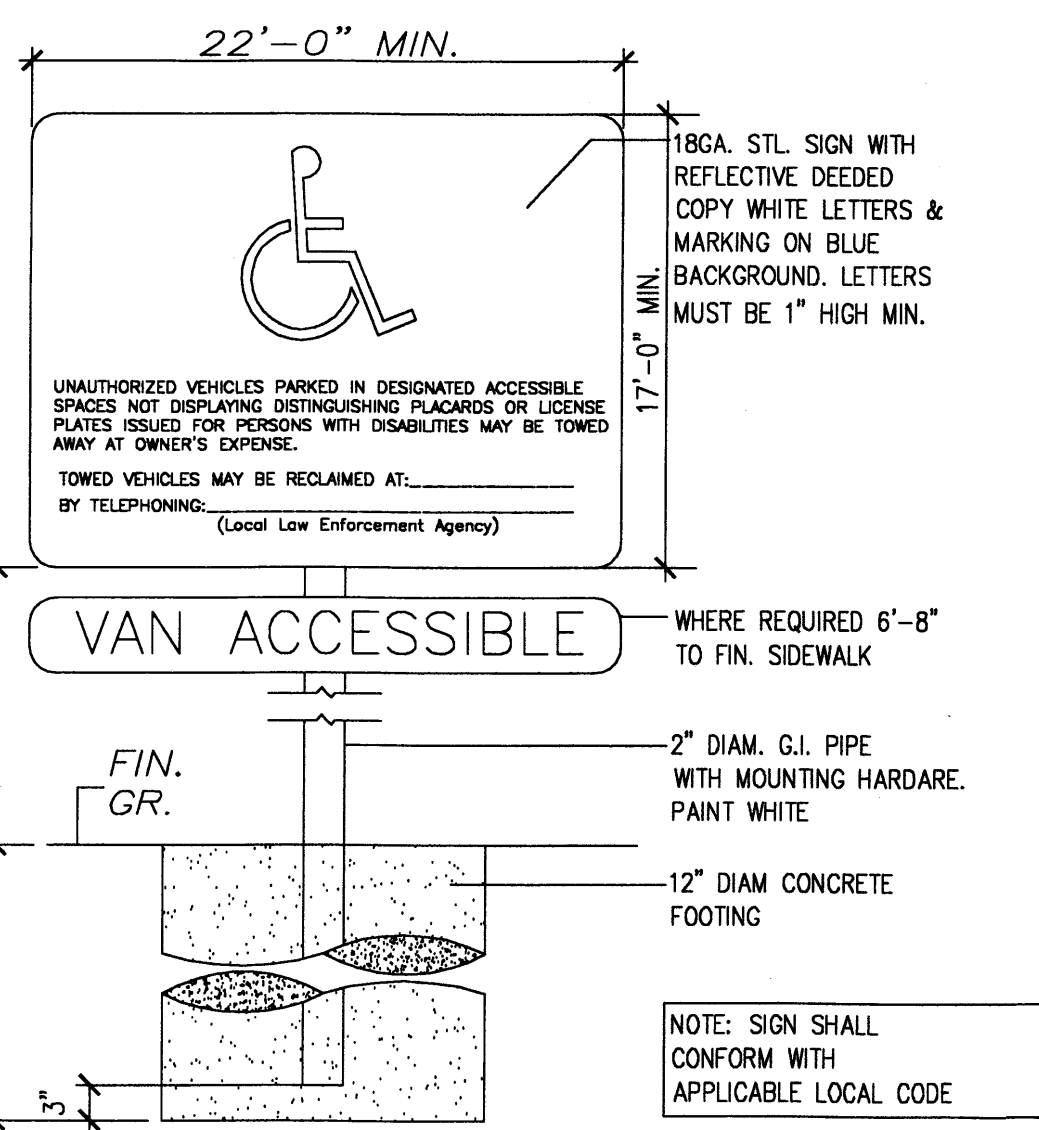
**2 BOLLARD DETAIL**  
Scale: 1/2"=1'-0"



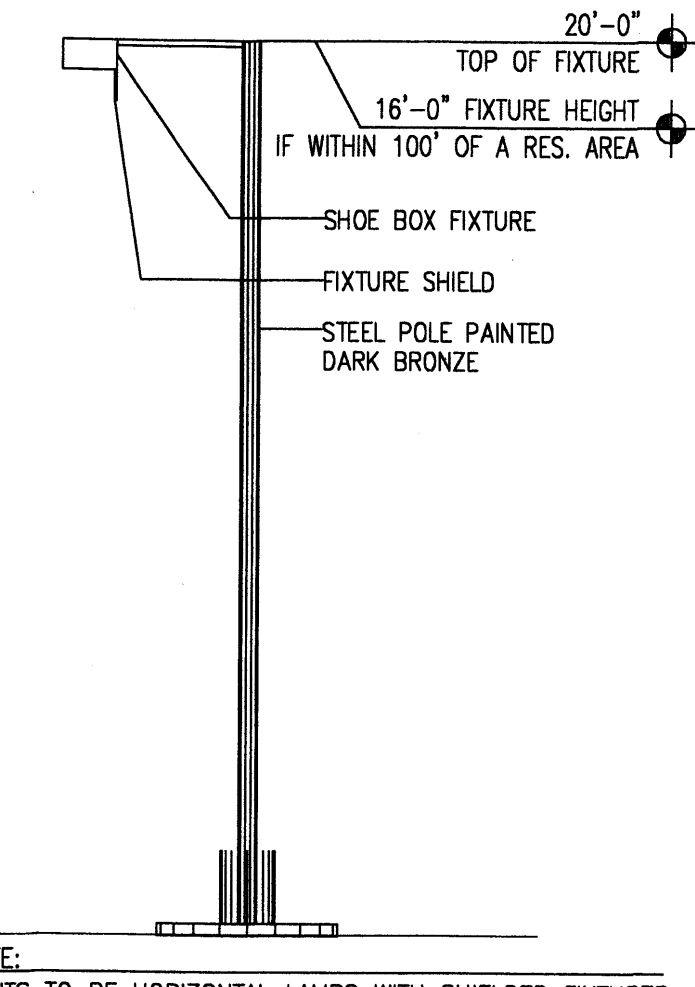
**5 BOLLARD DETAIL**  
Scale: 1/2"=1'-0"



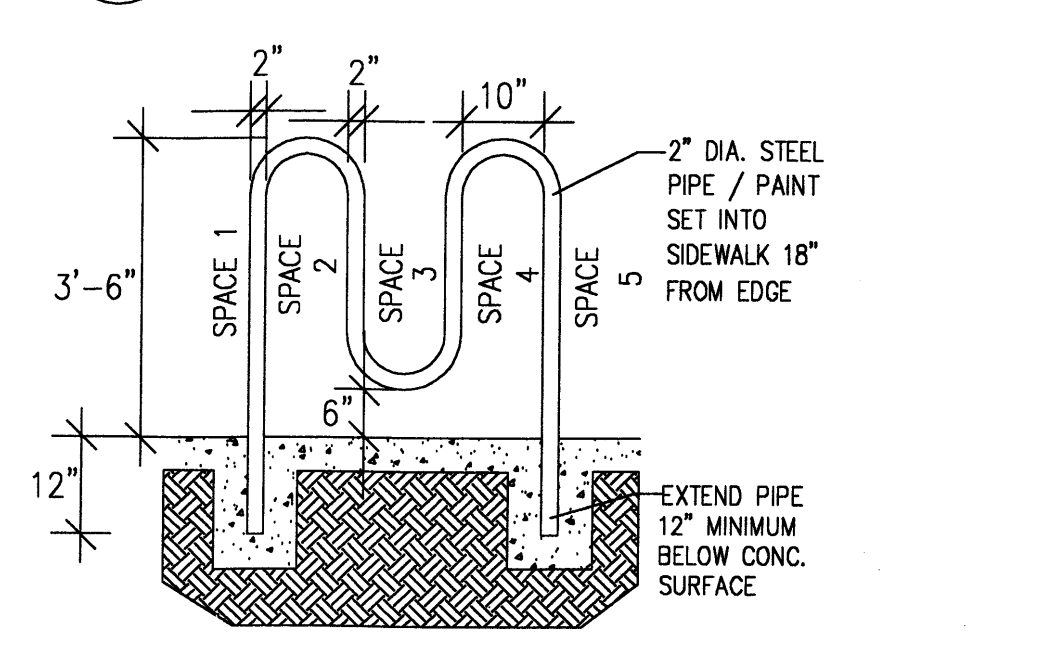
**9 DUMPSTER PLAN**  
Scale: 1/2"=1'-0"



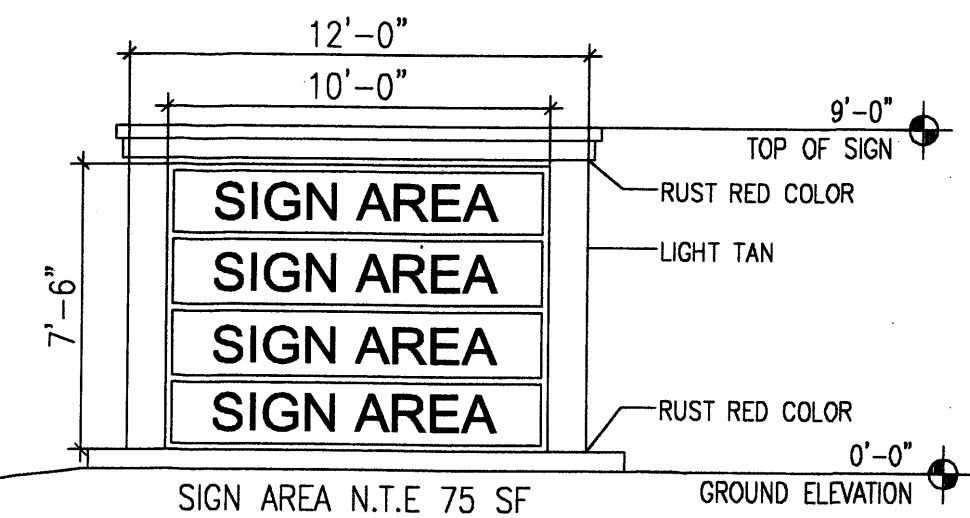
**3 H.C. SIGN DETAIL**  
Scale: N.T.S



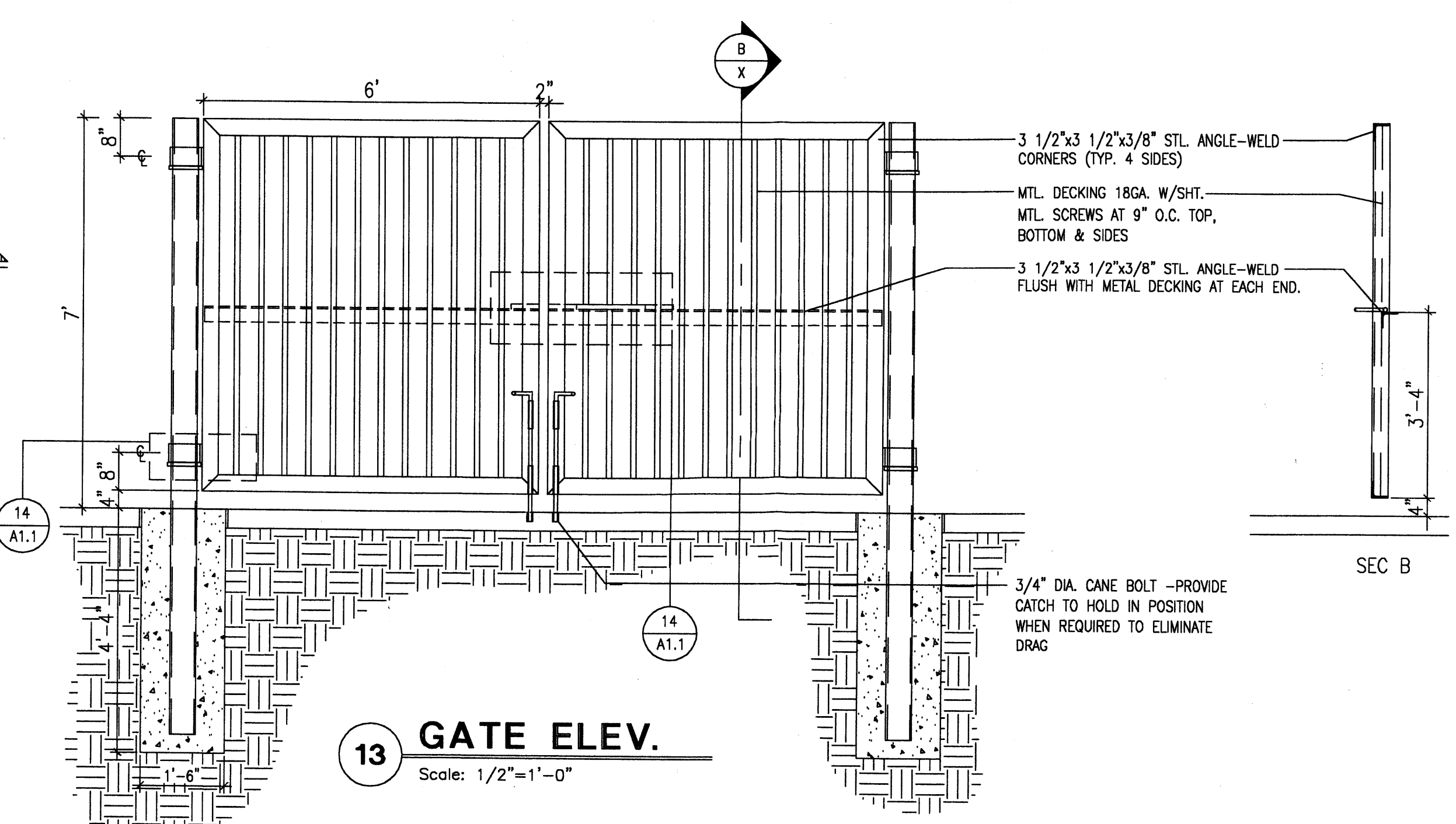
**6 LIGHT POLE**  
Scale: N.T.S



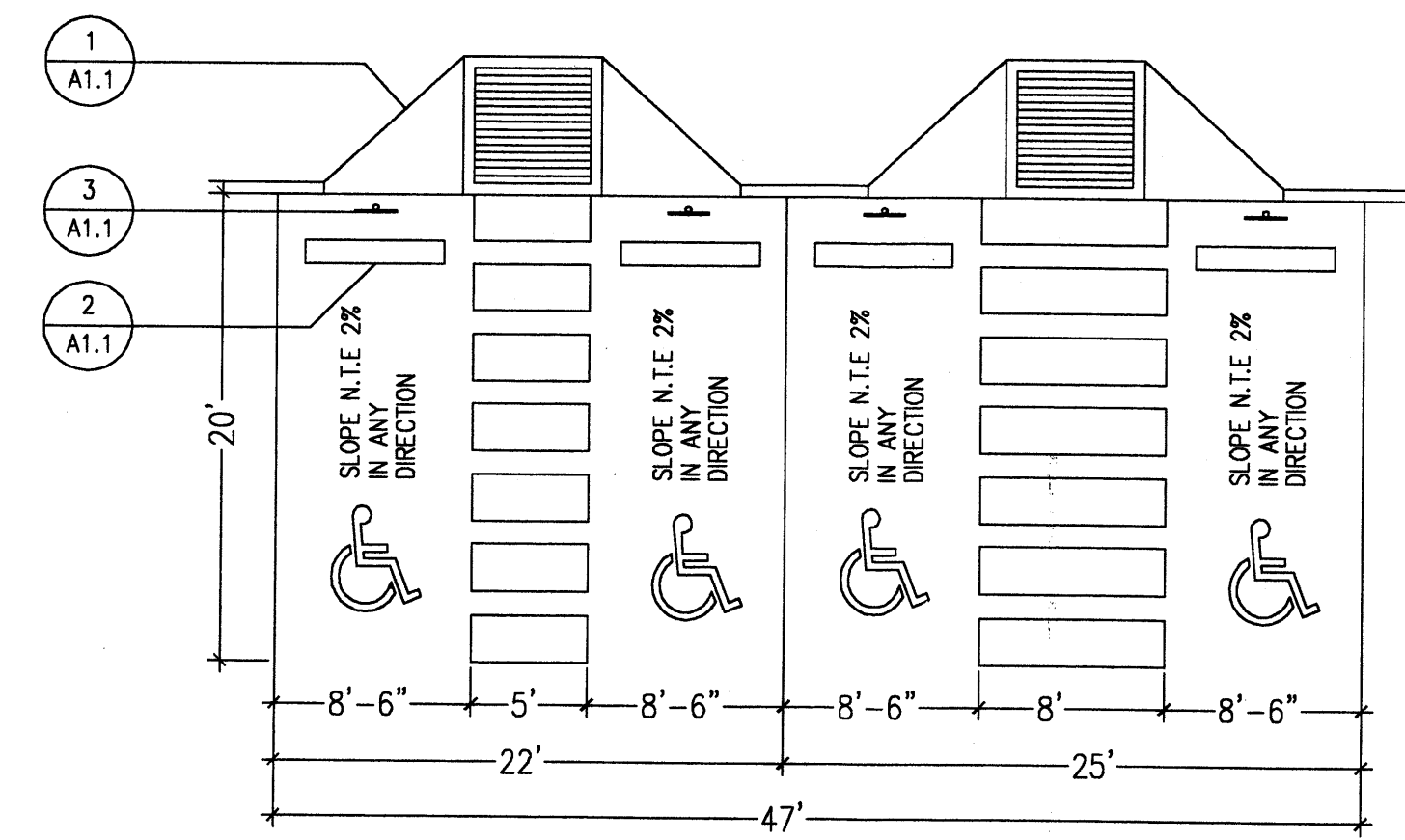
**4 BIKE RACK**  
Scale: 1/2"=1'-0"



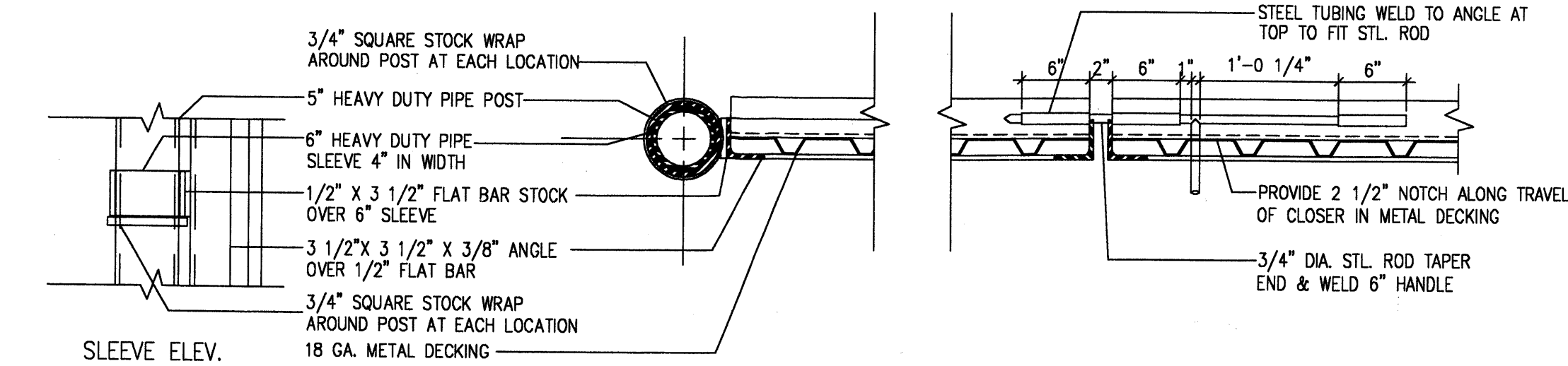
**7 MONUMENT SIGN**  
Scale: N.T.S



**13 GATE ELEV.**  
Scale: 1/2"=1'-0"



**10 H.C. TYP. PARKING DET.**  
Scale: 1"=1'-0"



**14 GATE POST/SLIDE BOLT DET.**  
Scale: 1"=1'-0"

| REV | DATE | BY | REVISION |
|-----|------|----|----------|
| A   |      |    |          |
| A   |      |    |          |
| A   |      |    |          |
| A   |      |    |          |
| A   |      |    |          |
| A   |      |    |          |

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-4877

**PROJECT TITLE**  
COTTONWOOD CROSSING  
COORS BLVD. AND SEVEN BAR LOOP  
ALBUQUERQUE NEW MEXICO

**PROJECT MANAGER**  
STEPHEN DUNBAR

**JOB NO.**  
0309

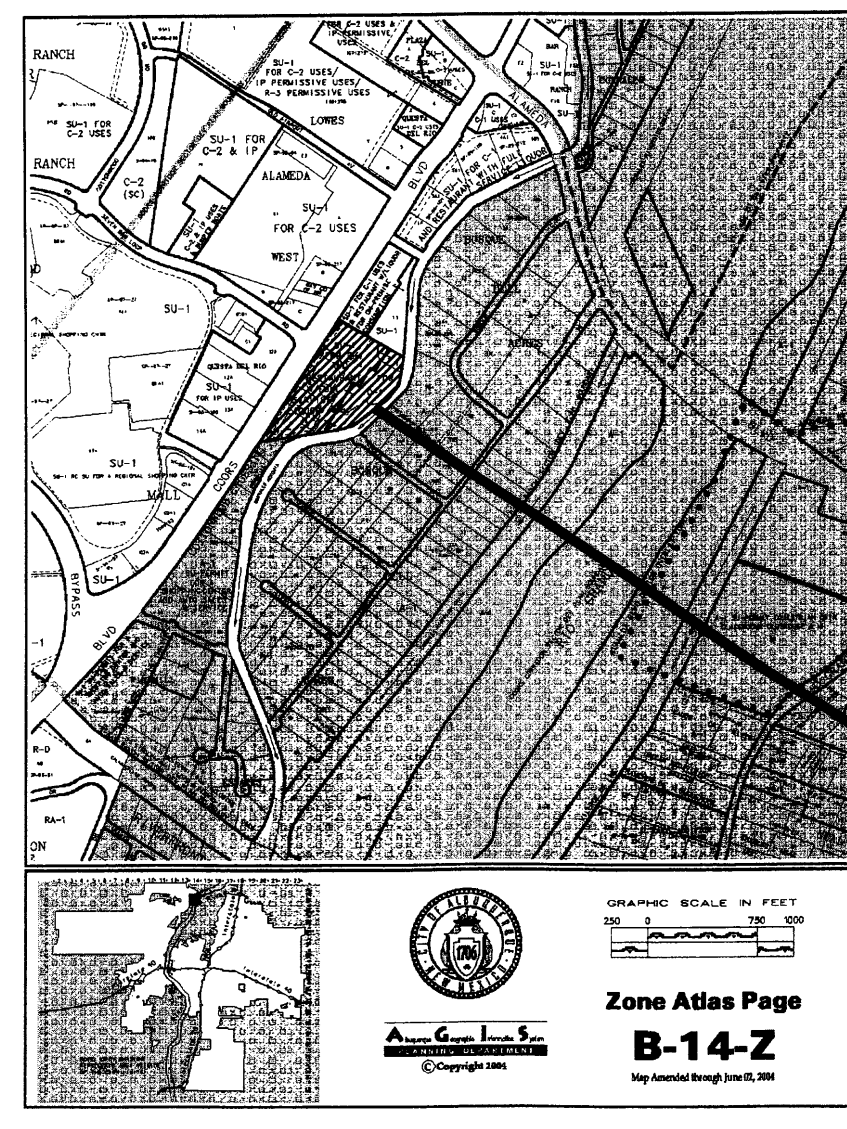
**DRAWN BY:**  
SD

**SHEET TITLE**  
SITE DETAILS

**DATE:**  
6/6/04

**SCALE:**  
VARIES

**sheet-**  
**A.1.1**  
of-



**1 VICINITY MAP**  
Scale: N.T.S.

**CURVE TABLE**

| CURVE | LENGTH  | RADIUS  | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|---------|---------|---------|---------------|-----------|
| C1    | 122.62' | 95.88'  | 71.30'  | 114.43' | S01°34'32"W   | 73°16'31" |
| C2    | 184.86' | 250.00' | 96.89'  | 180.68' | N29°04'56"E   | 42°22'03" |
| C3    | 83.36'  | 165.00' | 42.59'  | 82.48'  | N47°25'59"E   | 28°56'52" |
| C4    | 158.97' | 250.00' | 82.28'  | 156.31' | N26°06'56"E   | 38°28'03" |
| C5    | 25.89'  | 250.00' | 12.96'  | 25.88'  | N41°17'57"E   | 5°56'00"  |
| C6    | 56.40'  | 105.00' | 28.90'  | 55.72'  | N41°11'00"W   | 30°46'24" |
| C7    | 55.66'  | 105.00' | 28.50'  | 55.01'  | N11°06'34"W   | 30°22'27" |
| C8    | 52.87'  | 105.00' | 27.01'  | 52.32'  | N18°30'14"E   | 28°51'09" |
| C9    | 29.04'  | 50.00'  | 14.94'  | 28.63'  | N40°35'06"W   | 33°16'21" |
| C10   | 58.19'  | 100.00' | 29.95'  | 57.37'  | S40°37'09"E   | 33°20'27" |
| C11   | 10.16'  | 30.00'  | 5.13'   | 10.11'  | N47°35'18"W   | 19°24'09" |
| C12   | 26.67'  | 150.00' | 13.37'  | 26.63'  | N32°47'36"W   | 10°11'13" |
| C13   | 22.20'  | 15.00'  | 13.69'  | 20.23'  | S70°05'40"E   | 84°46'20" |
| C14   | 75.07'  | 150.00' | 38.34'  | 74.29'  | N47°17'45"E   | 28°40'26" |
| C15   | 91.69'  | 180.00' | 46.86'  | 90.70'  | N47°33'09"E   | 29°11'12" |
| C16   | 19.41'  | 15.00'  | 11.33'  | 18.09'  | S30°25'05"W   | 74°09'05" |
| C17   | 103.62' | 150.00' | 53.97'  | 101.57' | N13°08'23"E   | 39°34'49" |
| C18   | 141.37' | 90.00'  | 90.00'  | 127.28' | N12°04'12"W   | 90°00'00" |

**LINE TABLE**

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L1   | 10.66'  | S07°53'21"W |
| L2   | 53.59'  | S50°15'56"W |
| L3   | 69.59'  | S72°32'39"W |
| L4   | 32.70'  | N76°36'48"W |
| L5   | 28.72'  | N75°52'55"W |
| L6   | 14.01'  | N86°28'56"W |
| L7   | 55.93'  | S28°23'32"W |
| L8   | 18.19'  | N61°36'28"W |
| L9   | 66.92'  | S58°03'23"W |
| L10  | 37.36'  | S32°55'48"W |
| L11  | 83.38'  | S32°55'48"W |
| L12  | 41.00'  | N57°14'40"W |
| L13  | 22.12'  | S32°55'48"W |
| L14  | 60.00'  | N32°55'48"E |
| L15  | 52.00'  | N57°04'12"W |
| L16  | 62.24'  | S32°55'49"W |
| L17  | 11.00'  | N32°55'48"E |
| L18  | 37.00'  | S67°04'12"E |
| L19  | 23.13'  | N32°55'48"E |
| L20  | 2.09'   | N67°30'58"E |
| L21  | 40.11'  | N57°02'27"W |
| L22  | 23.67'  | N57°02'27"W |
| L23  | 29.39'  | N85°55'21"W |
| L24  | 48.94'  | N57°04'12"W |
| L25  | 23.88'  | S67°04'12"E |
| L26  | 15.89'  | N57°04'12"W |
| L27  | 43.88'  | N57°17'22"W |
| L28  | 30.80'  | S67°30'58"W |
| L29  | 37.14'  | S67°29'37"W |
| L30  | 62.24'  | S32°55'48"W |
| L31  | 69.63'  | S32°55'48"W |
| L32  | 17.00'  | S67°04'12"E |
| L33  | 107.33' | S32°55'48"W |
| L34  | 82.43'  | S67°05'55"W |
| L35  | 46.47'  | S28°23'32"W |
| L36  | 20.59'  | S28°23'32"W |
| L37  | 181.30' | S67°04'12"E |
| L38  | 24.25'  | S61°36'28"E |
| L39  | 33.06'  | S60°38'23"E |
| L40  | 184.73' | S69°01'55"E |
| L41  | 106.53' | N46°20'05"E |
| L42  | 36.03'  | N46°20'05"E |
| L43  | 19.89'  | S88°44'18"E |
| L44  |         |             |

**NOTE**

SAID LOTS 1, 2, 3, 4, 5 AND 6 ARE SUBJECT TO THAT CERTAIN "RECIPROCAL EASEMENT AGREEMENT", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON THE 21ST DAY OF OCTOBER, 1996, IN BOOK BCR 96-28, PAGES 2764-2777, AS DOCUMENT NO. 96115257.

SAID LOTS 1, 2, 3, 4, 5 AND 6 ARE SUBJECT TO THAT CERTAIN "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 19, 2004, IN BOOK A73, PAGE 711, AS DOCUMENT NO. 2004020771.

PRIVATE CROSS ACCESS EASEMENT FOR THE JOINT USE AND BENEFIT OF LOTS 1 THROUGH 6 (TO BE MAINTAINED BY LOTS 1 THROUGH 6). NEW PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENT TO NEW MEXICO UTILITIES, INC. AND NEW DRY UTILITY EASEMENT GRANTED BY PLAT FILED JANUARY 19, 2004 AND BY THAT CERTAIN "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", FILED FEBRUARY 19, 2004 IN BOOK A73, PAGE 711.

**PHASE II ARCH DESIGN CRITERIA**

THIS SITE PROPOSES DEVELOPMENT OF SEVERAL BUILDINGS CLUSTERED AROUND A PLAZA AREA CONTAINING AN EXISTING COTTONWOOD TREE. THIS EXISTING ELEMENT WILL BE RETAINED TO SERVE AS THE FOCAL POINT OF THE CLUSTERED BUILDING DEVELOPMENT OF LOTS 2 AND 2-B. THESE STRUCTURES MUST BE ARCHITECTURALLY COMPATIBLE WITH THE PROPOSED STRUCTURES OF PHASE I, WITH A MAXIMUM OF TWO STORIES (UP TO 42' IN HEIGHT) PERMITTED. WALL SURFACES ARE TO BE PREDOMINANTLY OF STUCCO COLORED WITH LIGHT SHADE DESERT HUES. ARCHITECTURAL DETAILS TO FOLLOW SHOPS BUILDINGS ELEVATIONS. FLAT ROOF AREAS CONTAINING MECHANICAL UNITS ARE TO BE SCREENED WITH STUCCO PARAPETS AND ACCENT ELEMENTS ROOFED WITH GALV. STANDING SEAM ROOFING MATERIAL. PHASE II BUILDINGS WILL BE BUFFERED FROM ADJACENT RESIDENTIAL AREAS BY A LARGE DRAINAGE POND AT THE CORRALES MAIN CANNAL.

**2 GENERAL NOTES**  
Scale: N.T.S.

**CORNER LEGEND**

- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- ▲ SET 4" ALUMINUM CENTERLINE MONUMENT

PROJECT NUMBER: \_\_\_\_\_  
APPLICATION NUMBER: \_\_\_\_\_

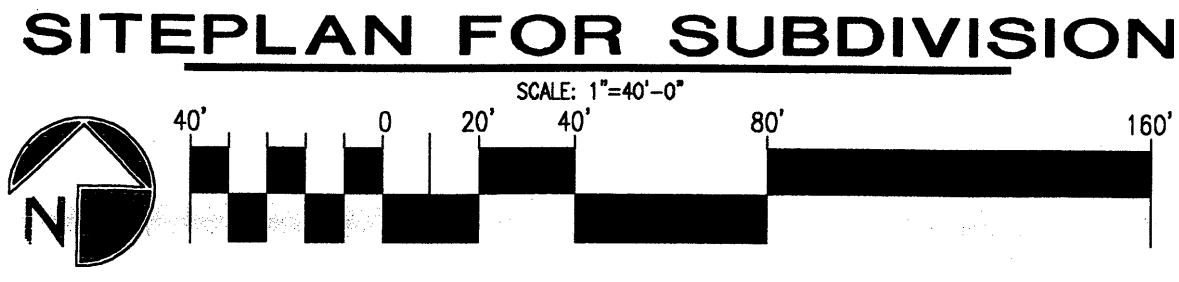
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on \_\_\_\_\_ and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

Is an Infrastructure List required? ( ) YES ( ) NO  
If yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN

|  |      |
|--|------|
| Traffic Engineer, Transportation Division      | Date |
| Utilities Development                          | Date |
| Parks and Recreation Department                | Date |
| City Engineer, Engineering Division / AMAFCA   | Date |
| Environmental Health Department *(conditional) | Date |
| Solid Waste Management                         | Date |
| DRB Chairperson, Planning Department           | Date |

\* Environmental Health, if necessary



**SITE DATA TABLE**

| LEGAL DESCRIPTION                       | LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING, PHASE II WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO | FAST FOOD   | UNIT A  | UNIT B  | UNIT C  | UNIT D  |
|---|---|---|---|---|---|---|
| TOTAL ACREAGE:                          | 1.4568 AC   | 1.5908 AC   | 1.5908 AC   | 1.5908 AC   | 1.5908 AC   | 1.5483 AC   |
| EXISTING ZONING:                        | SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR 0-1   | SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR 0-1 | SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR 0-1 | SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR 0-1 | SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR 0-1 | SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR 0-1 |
| PROPOSED ZONING:                        | SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR 0-1   | SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR 0-1 | SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR 0-1 | SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR 0-1 | SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR 0-1 | SU-1 FOR C-1 AND RESTAURANT WITH FULL SERVICE LIQUOR AND SU-1 FOR 0-1 |
| BUILDING SIZE:                          | 4,549 SF  | 4,070 SF  | 7,700 SF (2 STORY)  | 3,025 SF  | 17,200 SF (2 STORY)   | 17,200 SF (2 STORY)   |
| FAR:                                    | 0.71685   | .058(21 OVERALL UNITS A/B/C)  | .1111(21 OVERALL UNITS A/B/C)   | .04365(21 OVERALL UNITS A/B/C)  | .1275   | .1275   |
| PROPOSED USE:                           | RESTAURANT  | OFFICE  | OFFICE  | OFFICE  | RETAIL/OFFICE   | RETAIL/OFFICE   |
| TOTAL PARKING PROVIDED:                 | 63 SPACES   | 127 SPACES (10 SMALL CARS)  | 127 SPACES (10 SMALL CARS)  | 127 SPACES (10 SMALL CARS)  | 91 SPACES   | 91 SPACES   |
| TOTAL PARKING REQ (INCLUDING EMPLOYEE): | 38 SPACES   | 20 SPACES   | 38 SPACES   | 38 SPACES   | 20 SPACES   | 20 SPACES   |
| H.C PROVIDED:                           | 4 H.C (INCLUDING 2 VAN ACCESSIBLE)  | 8 H.C (INCLUDING 4 VAN ACCESSIBLE)                                    | 8 H.C (INCLUDING 4 VAN ACCESSIBLE)                                    | 8 H.C (INCLUDING 4 VAN ACCESSIBLE)                                    | 8 H.C (INCLUDING 4 VAN ACCESSIBLE)                                    | 8 H.C (INCLUDING 4 VAN ACCESSIBLE)                                    |
| BIKE SPACES PROVIDED:                   | 6 BIKE SPACES   | 10 BIKE SPACES  | 10 BIKE SPACES  | 10 BIKE SPACES  | 5 BIKE SPACES   | 5 BIKE SPACES   |
| BIKE SPACES REQUIRED:                   | 3 BIKE SPACES   | 6 BIKE SPACES   | 6 BIKE SPACES   | 6 BIKE SPACES   | 6 BIKE SPACES   | 6 BIKE SPACES   |
| SHOWER SPACES PROVIDED:                 | NOT REQUIRED  | NOT REQUIRED  | NOT REQUIRED  | NOT REQUIRED  | NOT REQUIRED  | NOT REQUIRED  |
| SHOWER SPACES REQUIRED:                 | NOT REQUIRED  | NOT REQUIRED  | NOT REQUIRED  | NOT REQUIRED  | NOT REQUIRED  | NOT REQUIRED  |
| MAX BUILDING HT                         | 42'   | NOT REQUIRED  | NOT REQUIRED  | NOT REQUIRED  | NOT REQUIRED  | NOT REQUIRED  |

ALBUQUERQUE CENTRAL SURVEY MONUMENT  
T4445-1107  
NEW MEXICO STATE PLANE COORDINATES -  
CENTRAL ZONE (NAD27)  
X=1524191.52  
Y=10519979.53  
DELTA ALPHA=-001400"  
ELEVATION=5046.51 (NAVD83)

| REV | DATE | BY | REVISION |
|-----|------|----|----------|
|     |      |    |          |
|     |      |    |          |
|     |      |    |          |
|     |      |    |          |
|     |      |    |          |
|     |      |    |          |

**PROJECT TITLE**  
TRACT 14 COTTONWOOD CROSSING  
COORS BLVD. N.W.  
ALBUQUERQUE NEW MEXICO

**PROJECT MANAGER**  
STEPHEN DUNBAR

**JOB NO.**  
0309

**DRAWN BY:**  
SD

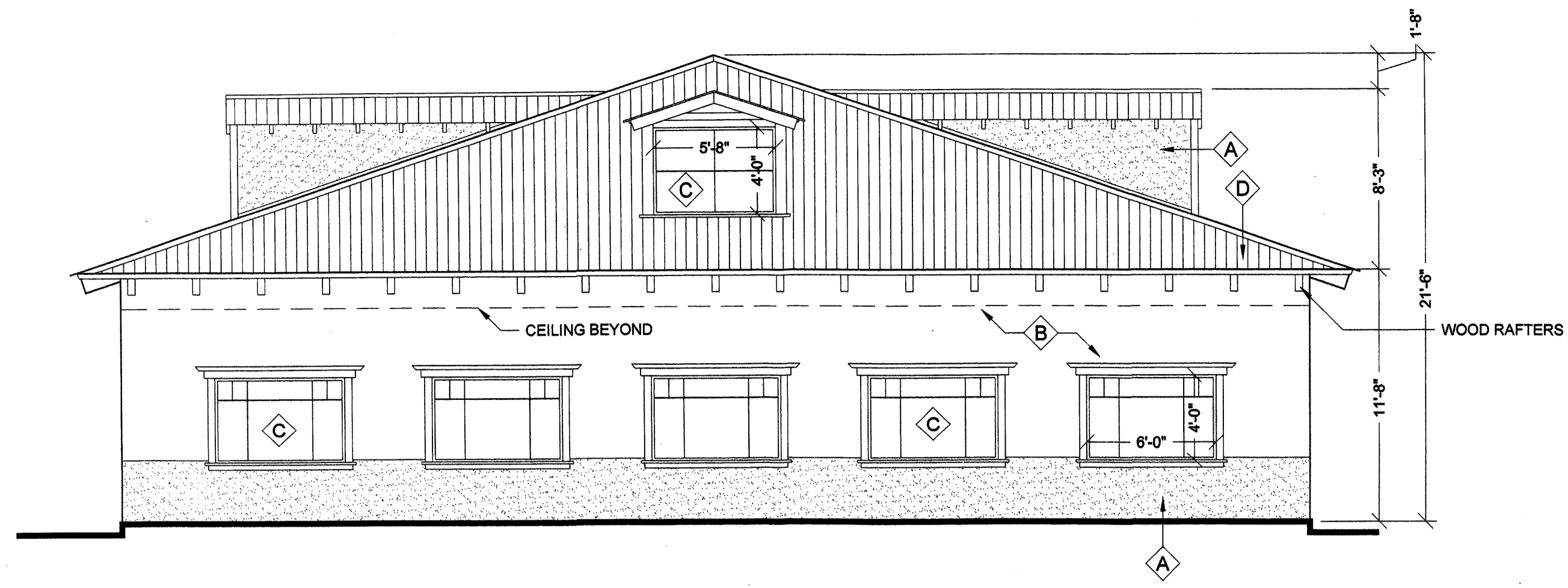
**SHEET TITLE**  
SITEPLAN FOR SUBDIVISION

**DATE:**  
6/6/04

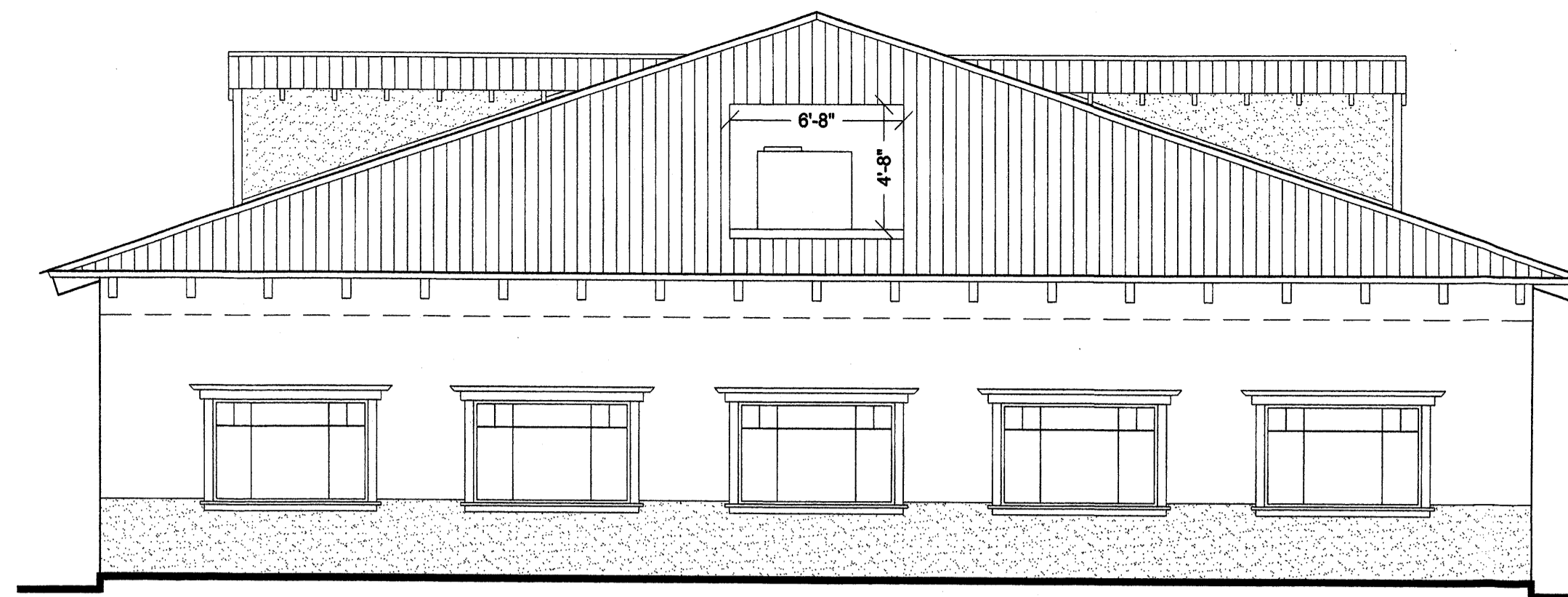
**SCALE:**  
1"=40'

**sheet-**  
**A2**  
of-

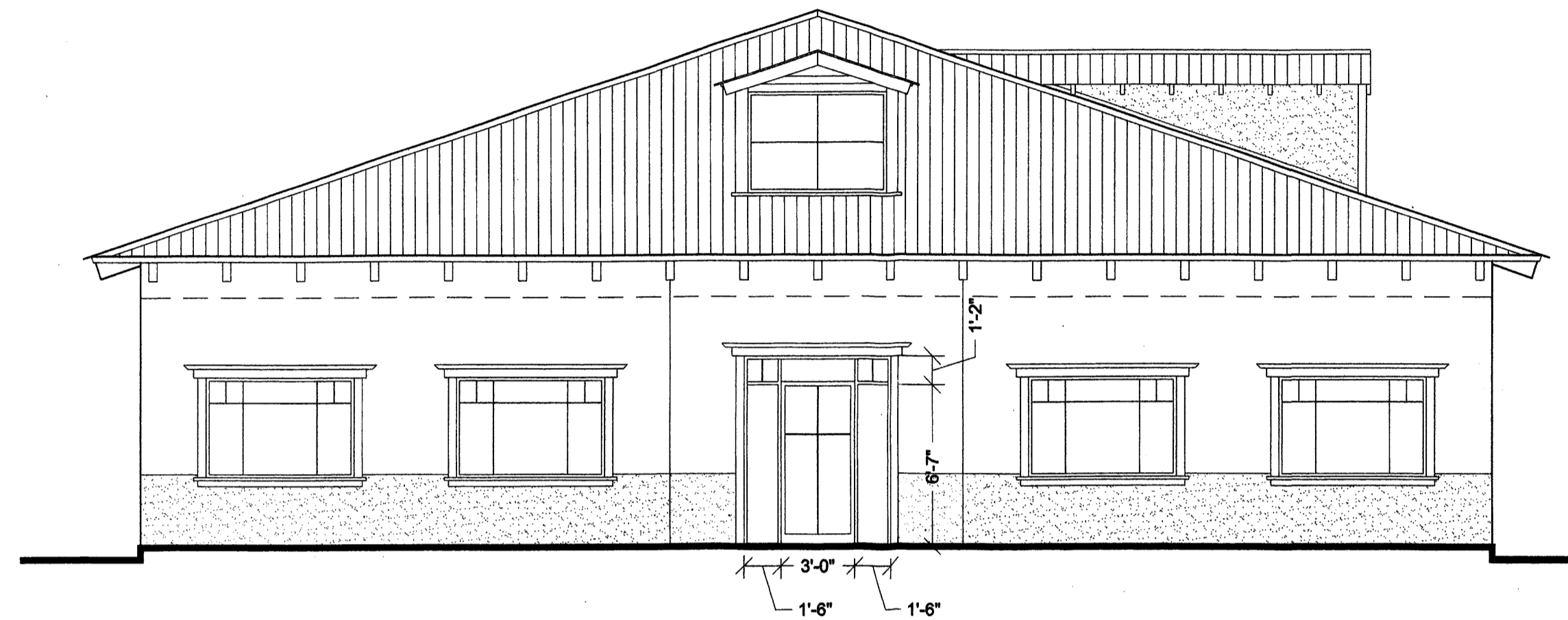
**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877



1 **UNIT A NORTH (TYP.)**  
3/16"=1'-0" (55'-0")



2 **UNIT A SOUTH**  
3/16"=1'-0" (55'-0")



3 **UNIT A EAST**  
3/16"=1'-0" (55'-0")



4 **UNIT A WEST**  
3/16"=1'-0" (55'-0")

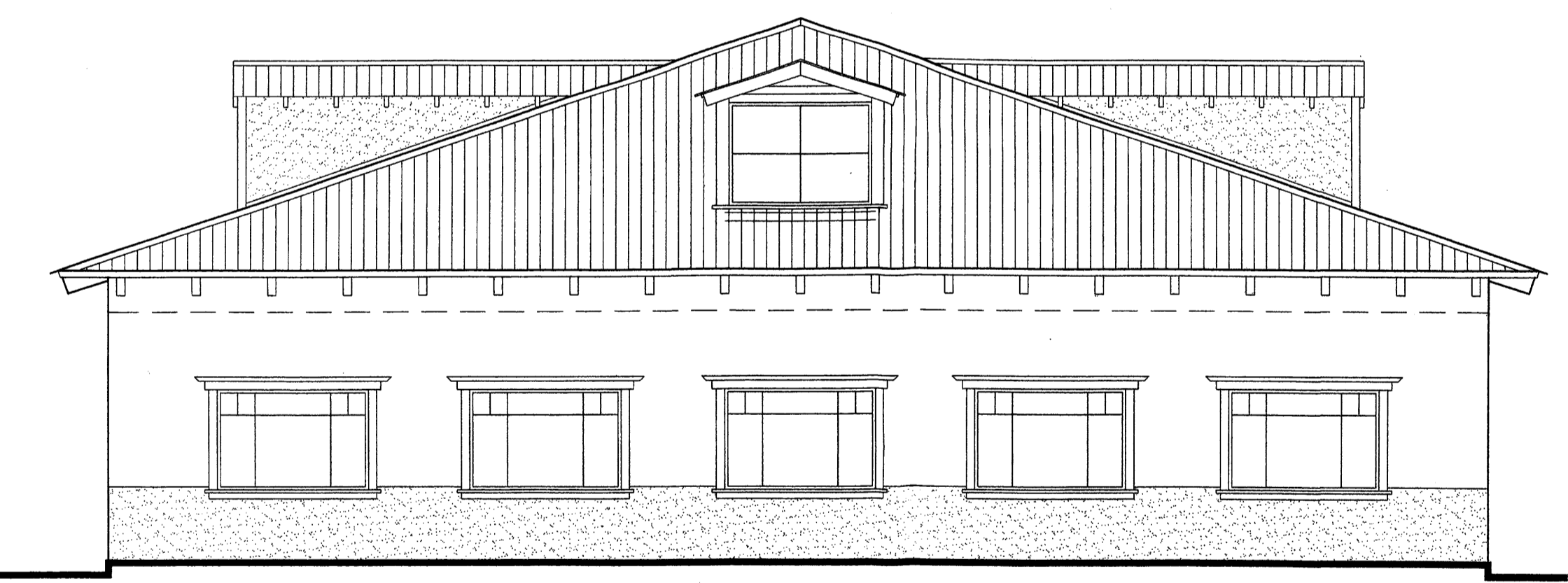
**Keyed Color / Material Schedule**

|     |               |                               |
|-----|---------------|-------------------------------|
| ◆ A | STUCCO BASE   | SN 6335 FIRE BRICK DARK RED   |
| ◆ B | STUCCO        | SW 6148 WOOD SKIN/LIGHT BROWN |
| ◆ C | CLAD GLAZING  | ALUMINUM                      |
| ◆ D | METAL ROOFING | GALVANIZED                    |

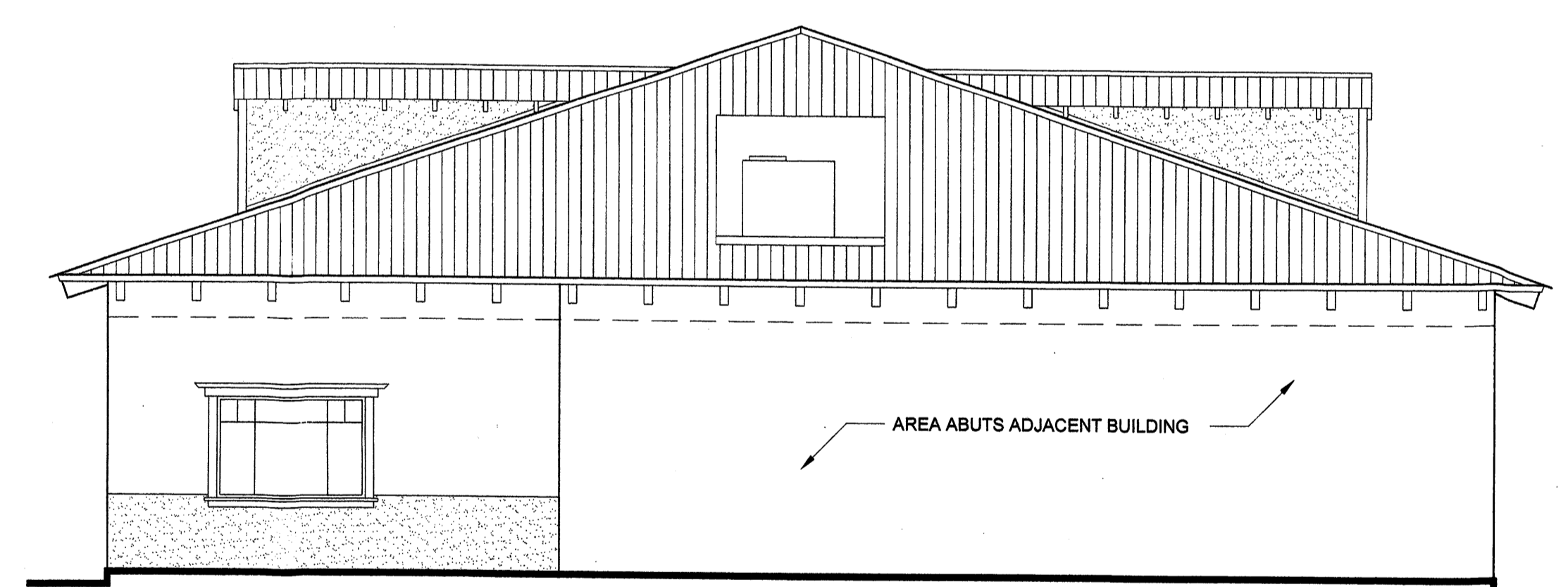
| REV | DATE | BY | REVISION |
|-----|------|----|----------|
| 1   |      |    |          |
| 2   |      |    |          |
| 3   |      |    |          |
| 4   |      |    |          |
| 5   |      |    |          |
| 6   |      |    |          |

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
NOT FOR  
CONSTRUCTION



1 **UNIT C NORTH**  
3/16"=1'-0" (55'-0")



2 **UNIT C SOUTH**  
3/16"=1'-0" (55'-0")

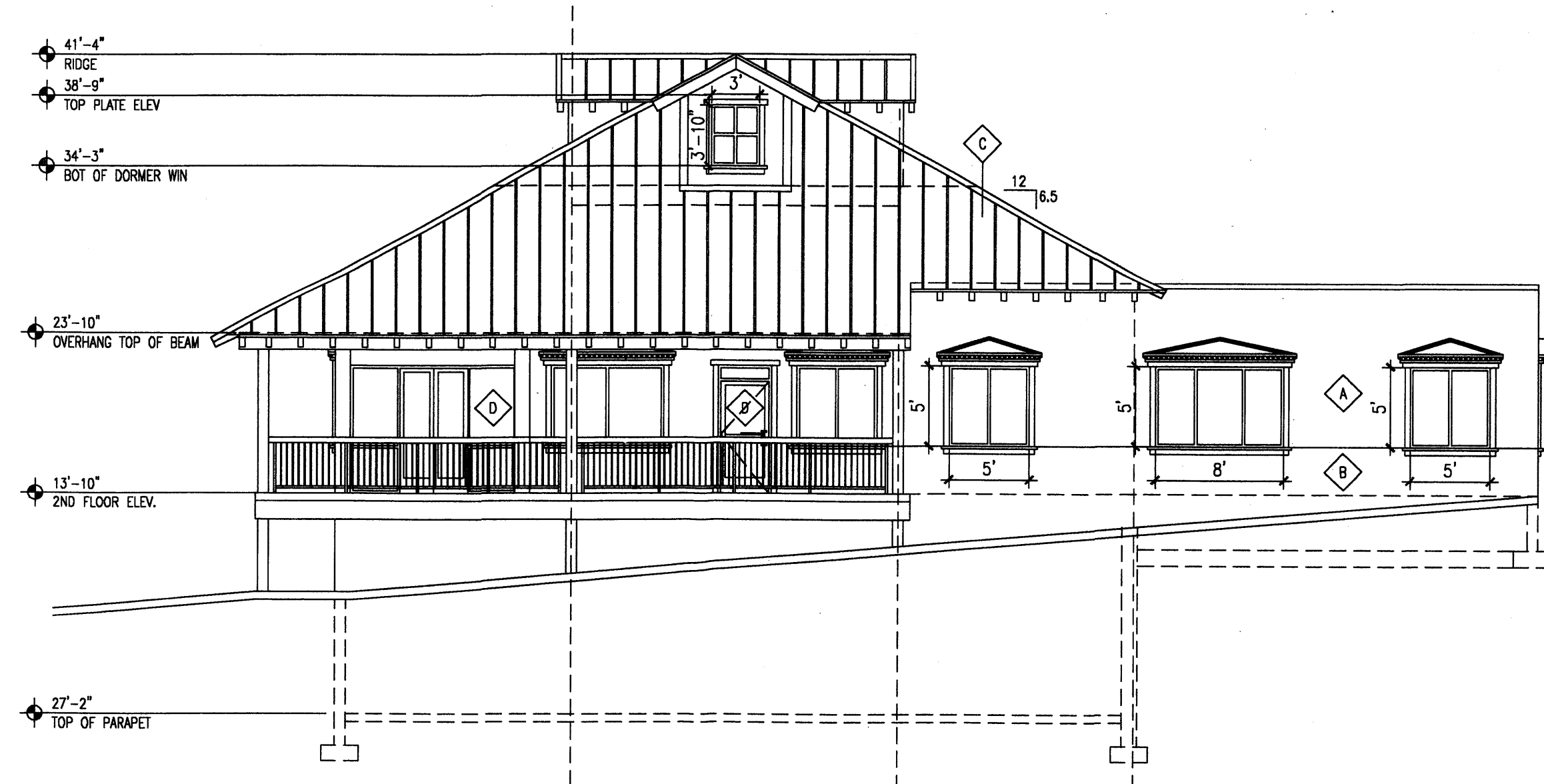


3 **UNIT C EAST**  
3/16"=1'-0" (55'-0")

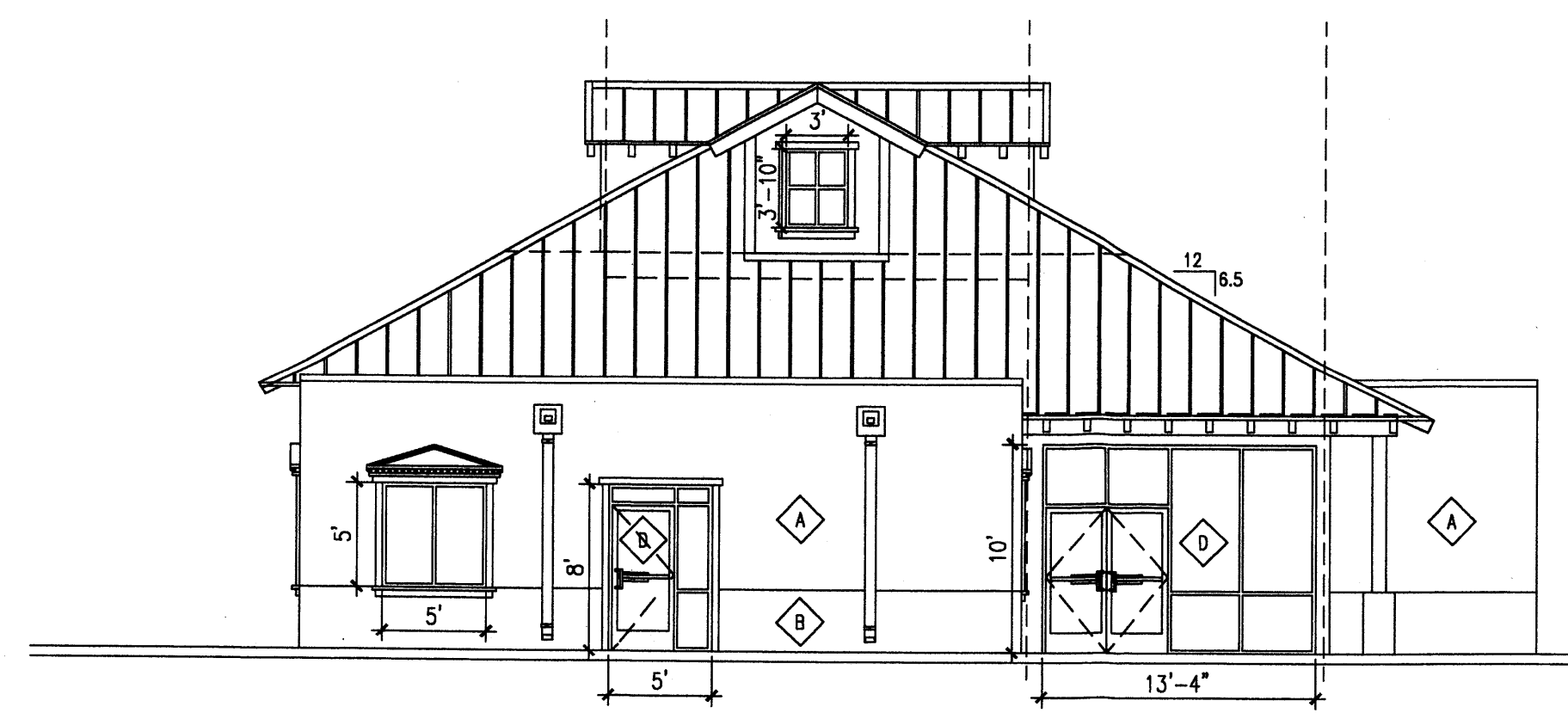


4 **UNIT C WEST**  
3/16"=1'-0" (55'-0")

|               |                    |          |                 |                 |                  |           |     |
|---------------|--------------------|----------|-----------------|-----------------|------------------|-----------|-----|
| PROJECT TITLE | NEW OFFICE 2-STORY | TRACT 14 | ALBUQUERQUE, NM | PROJECT MANAGER | SHAWN M ANDERSON | DRAWN BY: | SMA |
| DATE:         | 11-10-03           | JOB NO.: | 0009            | SHEET TITLE     | ELEVATIONS       | of        | A4  |
| SCALE:        | 3/16"=1'-0"        |          |                 |                 |                  |           |     |

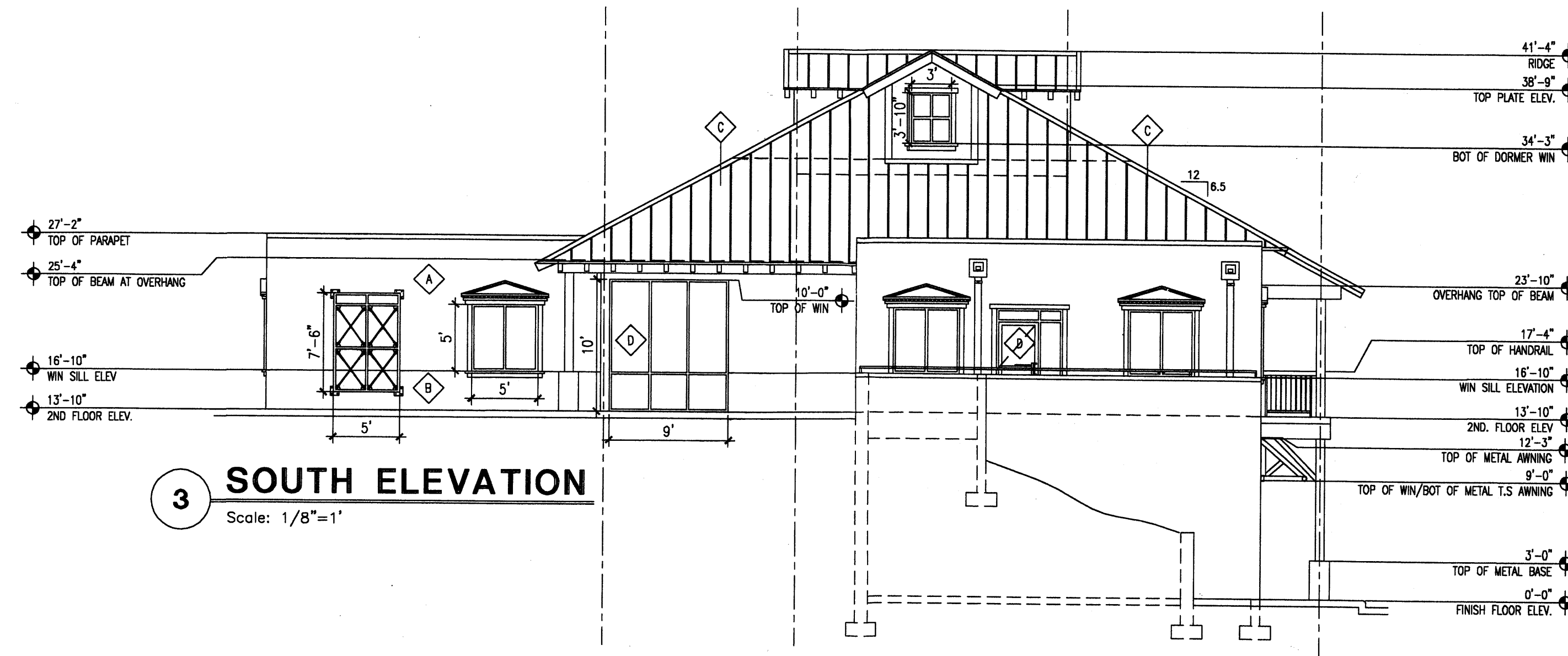


**1 NORTH ELEVATION**  
Scale: 1/8"=1'

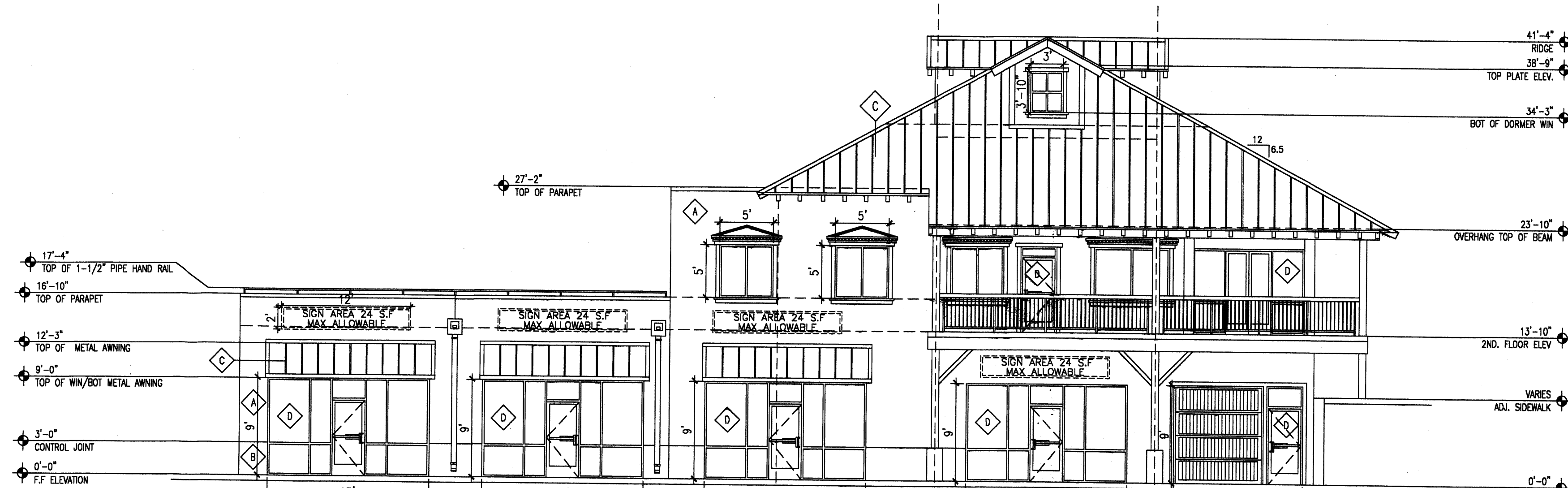


**2 WEST ELEVATION**  
Scale: 1/8"=1'

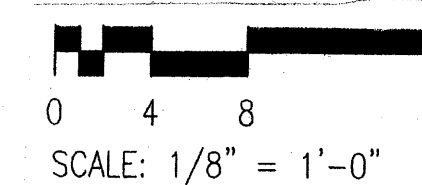
| Keyed Color / Material Schedule |  |
|---------------------------------|--|
| A                               | STUCCO SYSTEM SW 6148 WOOL SKEIN LIGHT BROWN                         |
| B                               | STUCCO SYSTEM SW 6335 FIRE BRICK DARK RED                            |
| C                               | METAL ROOFING TRINAR W/ KYMAR 500 RESIN SYS. COLOR: GALVALUME SILVER |
| D                               | BRONZE ANO. ALUMINUM STOREFRONT KAWNEER TRIFAB 450/ OR EQUAL         |



**3 SOUTH ELEVATION**  
Scale: 1/8"=1'



**4 EAST ELEVATION**  
Scale: 1/8"=1'



| REV | DATE | BY | REVISION |
|-----|------|----|----------|
| 1   |      |    |          |
| 2   |      |    |          |
| 3   |      |    |          |
| 4   |      |    |          |
| 5   |      |    |          |

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

|                         |            |                 |                |
|-------------------------|------------|-----------------|----------------|
| PROJECT TITLE           | UNIT B     | DRAWN BY:       | SD             |
| COTTONWOOD CROSSINGS    |            | JOB NO.         |                |
| ALBUQUERQUE, New Mexico |            | PROJECT MANAGER | STEPHEN DUNBAR |
|                         |            | SHEET TITLE     | ELEVATIONS     |
| DATE:                   | 5/6/04     | sheet-          | A4.B           |
| SCALE:                  | 1/8"=1'-0" | of-             |                |

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

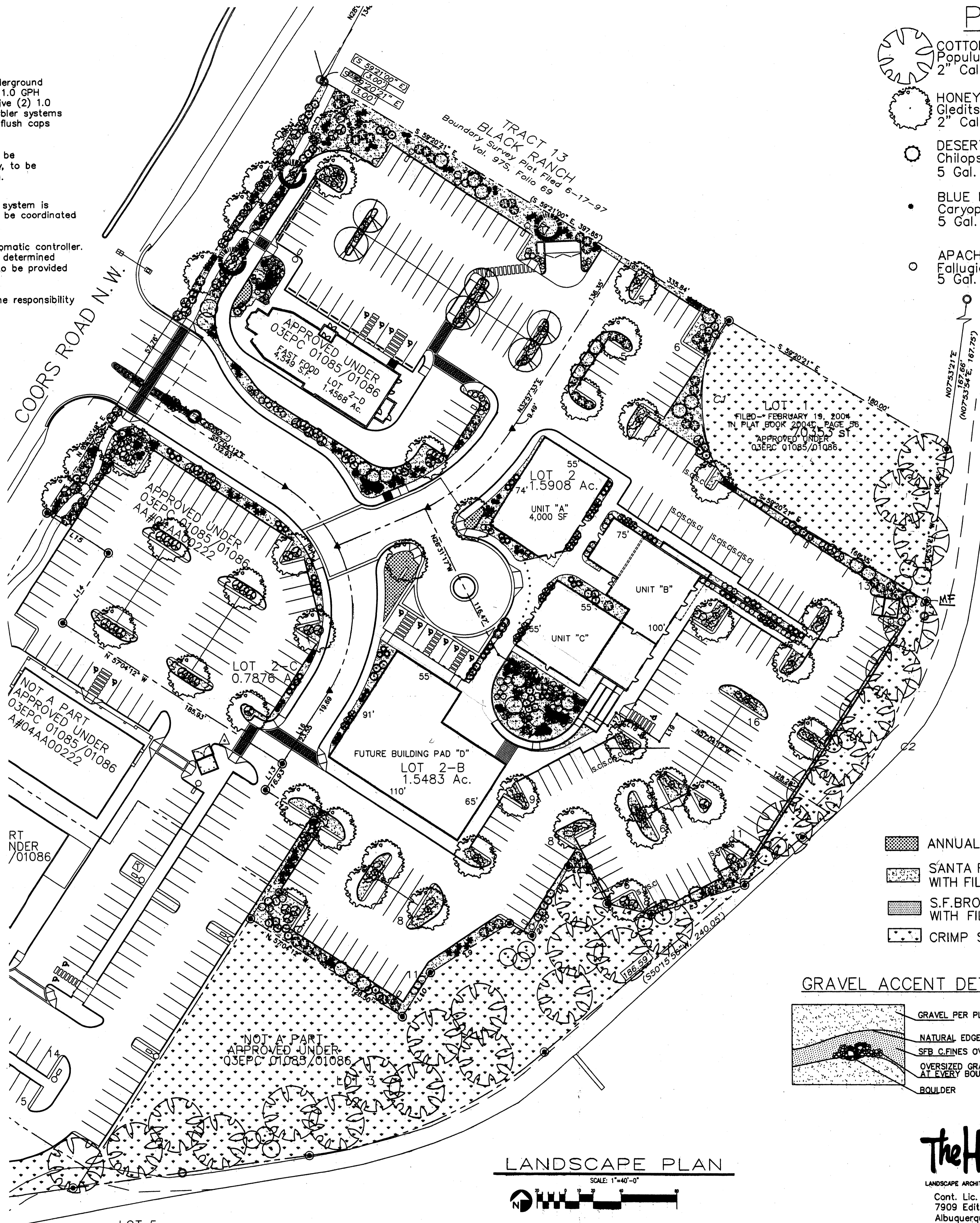
Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

Native seed shall include:  
"Paloma" Indian Rice Grass, "Viva Galleta Grass, "Niner" Sideoats Grama, "Hatchita" Blue Grama, Sand Dropseed, Four-wing Saltbush, Native Wildflowers

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

**LANDSCAPE CALCULATIONS**

|                                |        |             |
|--------------------------------|--------|-------------|
| TOTAL LOT AREA                 | 235136 | square feet |
| TOTAL BUILDINGS AREA           | 25200  | square feet |
| OFFSITE AREA                   | 0      | square feet |
| NET LOT AREA                   | 209936 | square feet |
| LANDSCAPE REQUIREMENT          | 15%    |             |
| TOTAL LANDSCAPE REQUIREMENT    | 31490  | square feet |
| TOTAL BED PROVIDED             | 34935  | square feet |
| GROUND COVER REQ.              | 75%    | square feet |
| TOTAL GROUND COVER REQUIREMENT | 26201  | square feet |
| TOTAL GROUND COVER PROVIDED    | 35740  | square feet |
| TOTAL SOD PROVIDED             | 0      | square feet |
| TOTAL NATIVE SEED PROVIDED     | 24186  | square feet |
| TOTAL LANDSCAPE PROVIDED       | 59121  | square feet |

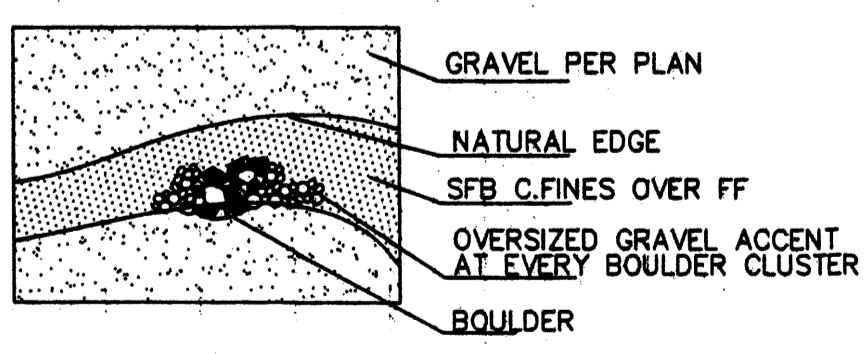


**PLANT LEGEND**

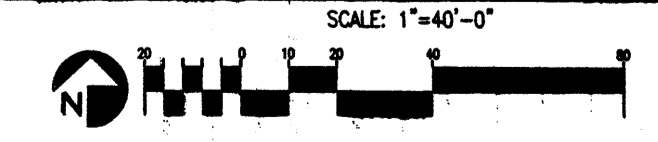
- COTTONWOOD (M) 25  
*Populus fremontii*  
2" Cal.
- HONEY LOCUST (H) 45  
*Gleditsia triacanthos*  
2" Cal.
- DESERT WILLOW (L) 21  
*Chilopsis linearis*  
5 Gal. 225sf
- BLUE MIST SPIREA (M) 51  
*Caryopteris clandonensis*  
5 Gal. 9sf
- APACHE PLUME (L) 36  
*Fallugia paradoxa*  
5 Gal. 25sf
- CHINESE PISTACHE (M) 6  
*Pistachia chinensis*  
2" Cal.
- AUSTRIAN PINE (H) 3  
*Pinus nigra*  
6-8
- NEW MEXICO OLIVE (M) 20  
*Forestiera neomexicana*  
15 Gal.
- MUGO PINE (M) 1  
*Pinus mugo*  
5 Gal.
- PALM YUCCA (L) 7
- RED YUCCA (L) 15  
*Hesperaloe parviflora*  
5 Gal. 9sf
- MAIDEN GRASS (M) 87  
*Miscanthus sinensis*  
5 Gal. 16sf
- RUSSIAN SAGE (M) 66  
*Perovskia atriplicifolia*  
5 Gal. 25sf
- INDIAN HAWTHORN (M) 22  
*Raphiolepis indica*  
5 Gal. 16sf
- TAM JUNIPER (M) 72  
*Juniperus sabina*  
5 Gal. 225sf  
Symbol indicates 3 plants
- AUTUMN SAGE (M) 60  
*Salvia greggii*  
2 Gal. 9sf
- REGAL MIST (M) 18  
*Muhlenbergia ridgens*  
1 Gal. 9sf
- THREADGRASS (L) 55  
*Stipa tenuissima*  
1 Gal. 4sf
- HONEYSUCKLE (M) 75  
*Lonicera sempervirens*  
1 Gal. 200sf  
Unstaked-Groundcover
- CHAMISA (L) 75  
*Chrysothamnus nauseosus*  
1 Gal. 25sf
- WILDFLOWER 74  
1 Gal. 4sf
- NATURAL EDGE
- COMMERCIAL GRADE STEEL EDGING
- OVERSIZED GRAVEL & 17 BOULDERS

- ANNUALS
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- S.F. BROWN C. FINES WITH FILTER FABRIC
- CRIMP STRAW/NATIVE SEED

**GRAVEL ACCENT DETAIL**



**LANDSCAPE PLAN**



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmd@hilltoplandscaping.com

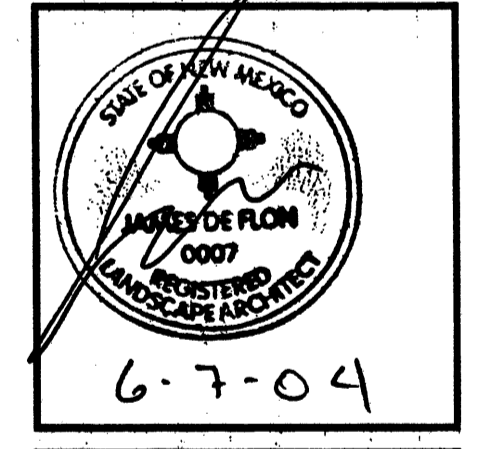
All creative ideas contained herein remain the property of The Hilltop Landscaping Architects and Contractors and are protected by copyright laws. This is an original design and shall not be reissued or copied unless applicable fees have been paid or job order placed.

**ZONING MAP B-14 Z NTS**

|   |            |
|---|------------|
| EPC CASE #  | DRB CASE # |
| This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice, Notification of Decision have been complied with: |            |
| SITE DEVELOPMENT PLAN   |            |
| Traffic Engineer, Transportation Division   | Date       |
| Parks and General Services Department   | Date       |
| Public Works, Water Utilities Division  | Date       |
| City Engineer, Engineering Division / AMAPCA  | Date       |
| APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.  |            |
| City Planner, Albuquerque / Bernalillo County Planning Division   | Date       |
| Solid Waste   |            |

| REV | DATE | BY | REVISION |
|-----|------|----|----------|
| 1   |      |    |          |
| 2   |      |    |          |
| 3   |      |    |          |
| 4   |      |    |          |
| 5   |      |    |          |

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
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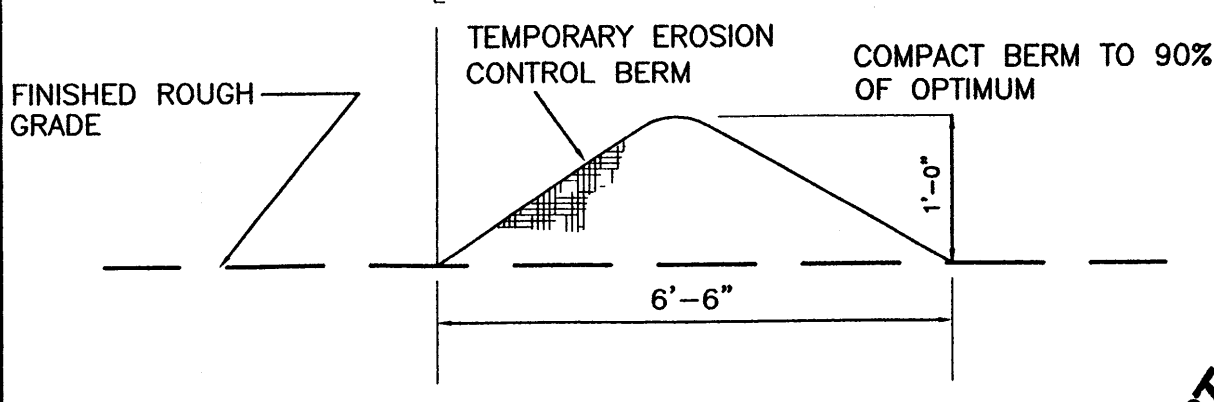


|                 |                              |
|-----------------|------------------------------|
| PROJECT TITLE   | TRACT 14 COTTONWOOD CROSSING |
| PROJECT MANAGER | STEPHEN DUNBAR               |
| DRAWN BY        | SI                           |
| JOB NO.         |                              |
| SHEET TITLE     | LANDSCAPE PLAN               |
| DATE:           | 10/10/03                     |
| SCALE:          | 1"=40'                       |
| SHEET NO.       | 1                            |
| TOTAL SHEETS    | 1                            |

**LEGEND**

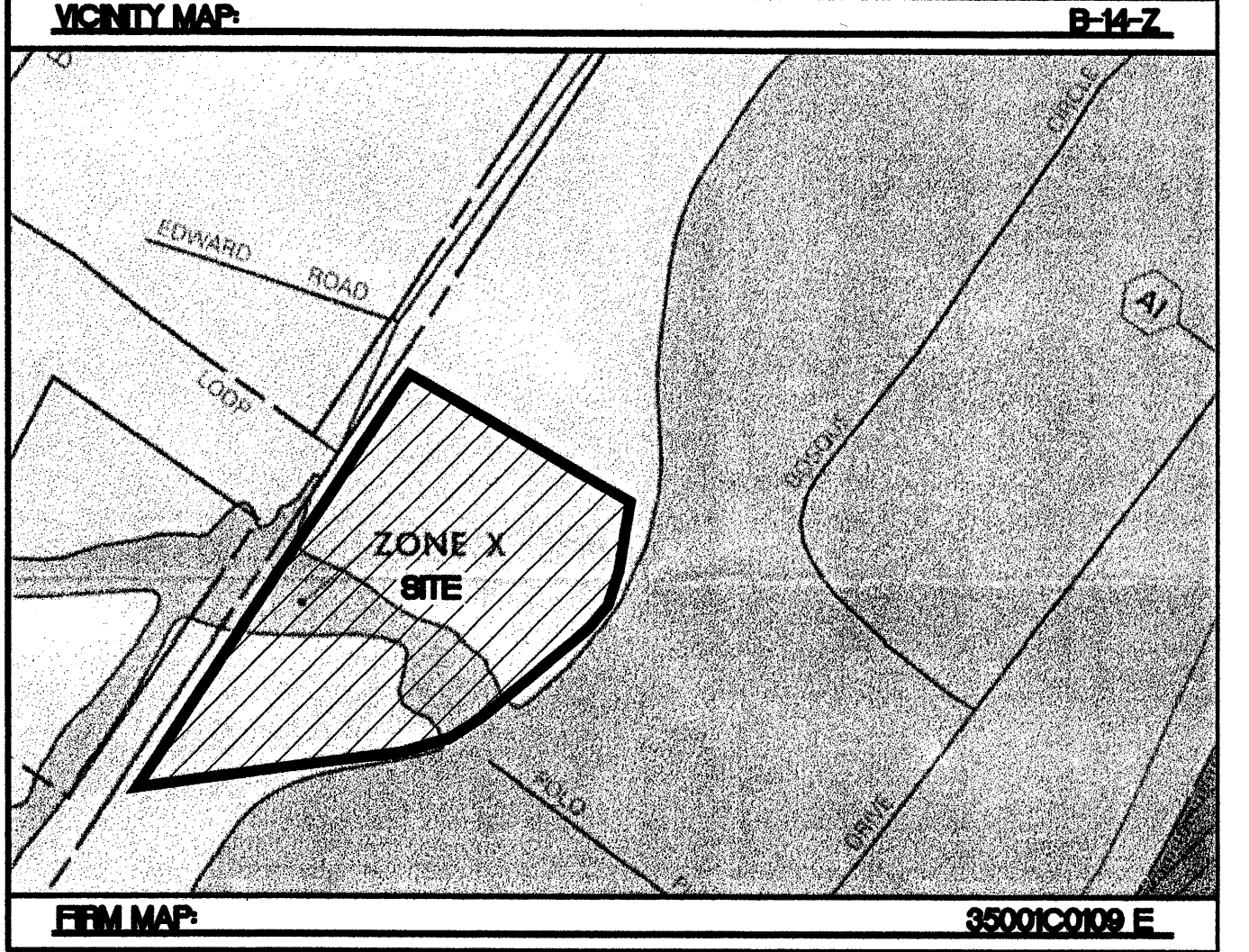
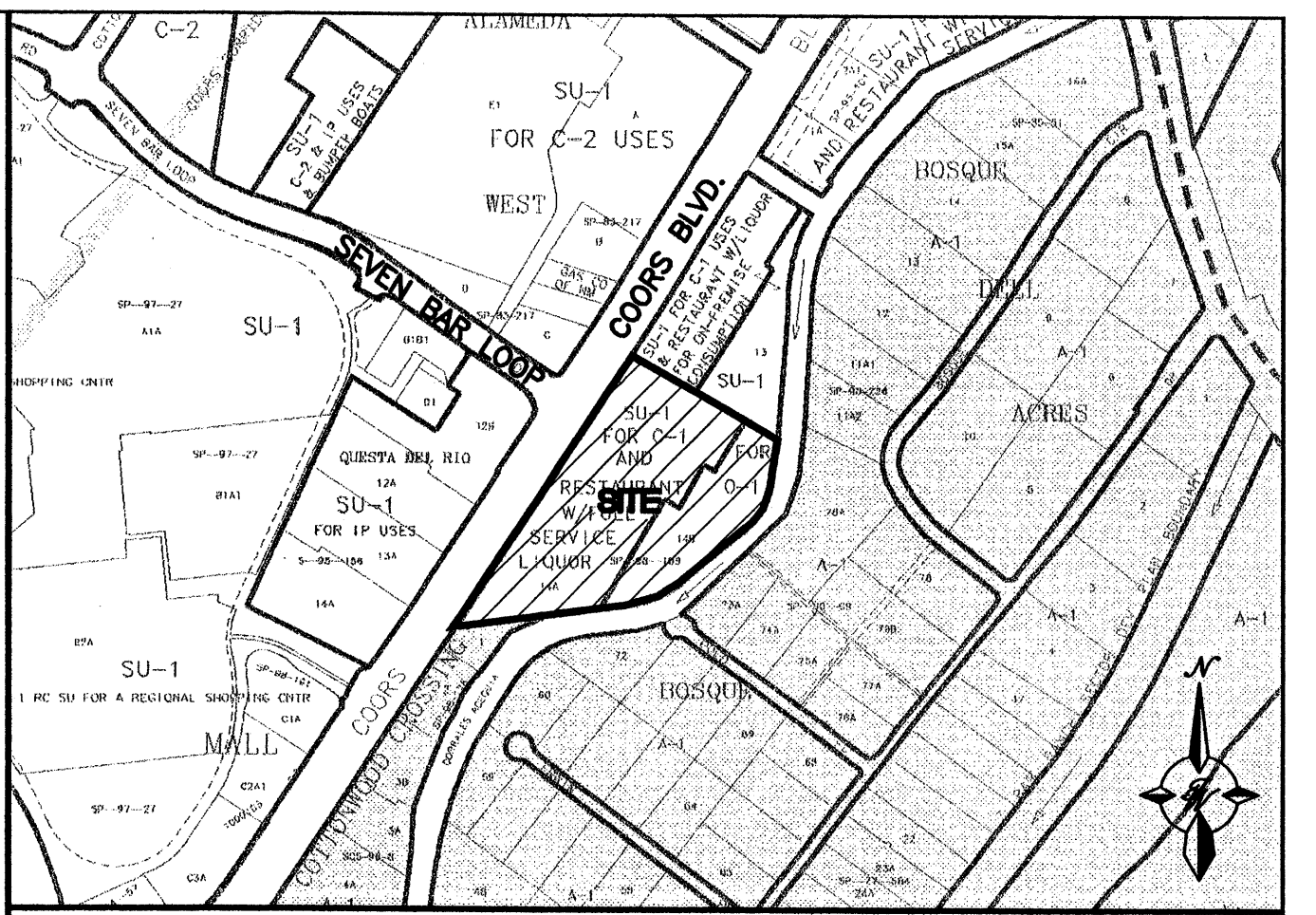
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED 12" LANDSCAPE DRAIN
- PROPOSED DOUBLE "C" WATER QUALITY INLET
- 24" RCP
- PROPOSED STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING SIDEWALK
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- 5011 EXISTING CONTOUR
- 5010 EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- x 5048.25 EXISTING SPOT ELEVATION
- x 5048.25 PROPOSED SPOT ELEVATION

**CAUTION**  
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

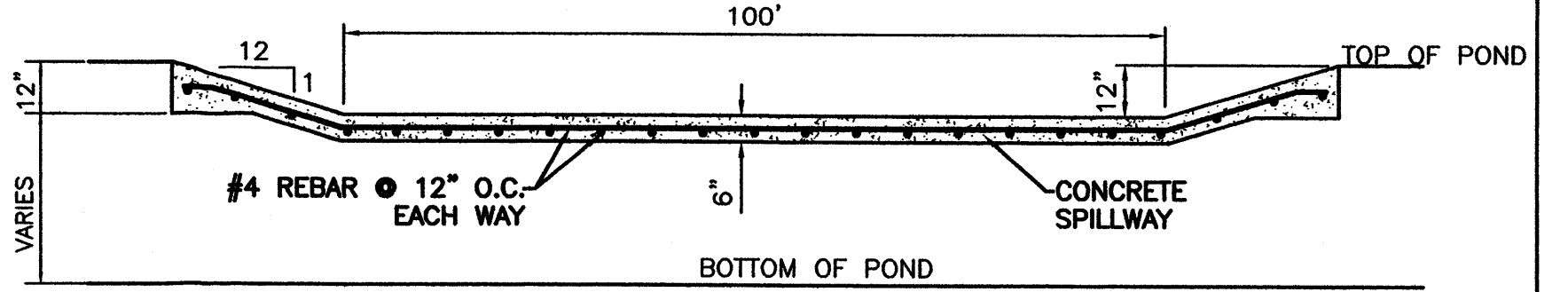
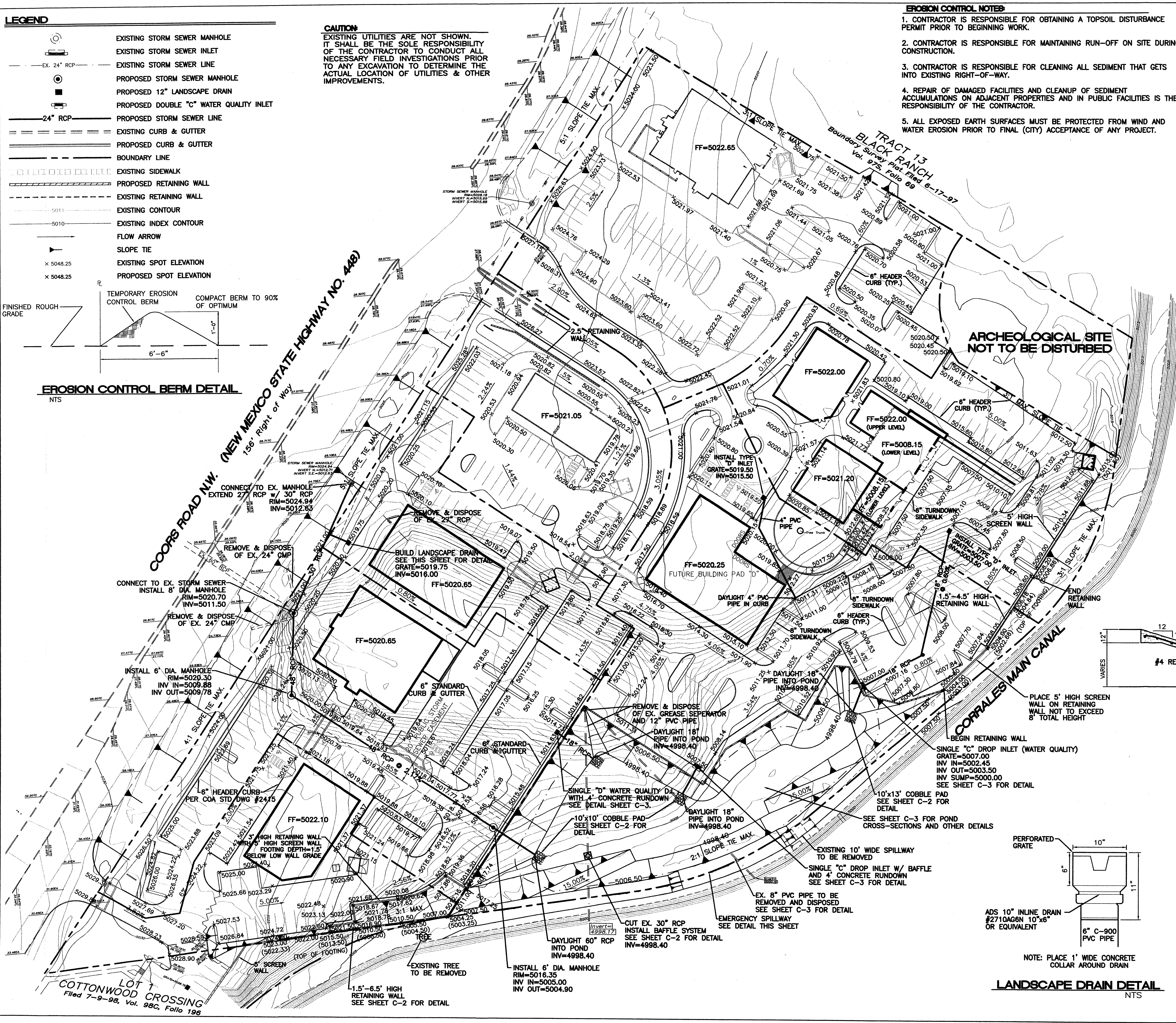


**EROSION CONTROL BERM DETAIL**  
 NTS

- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

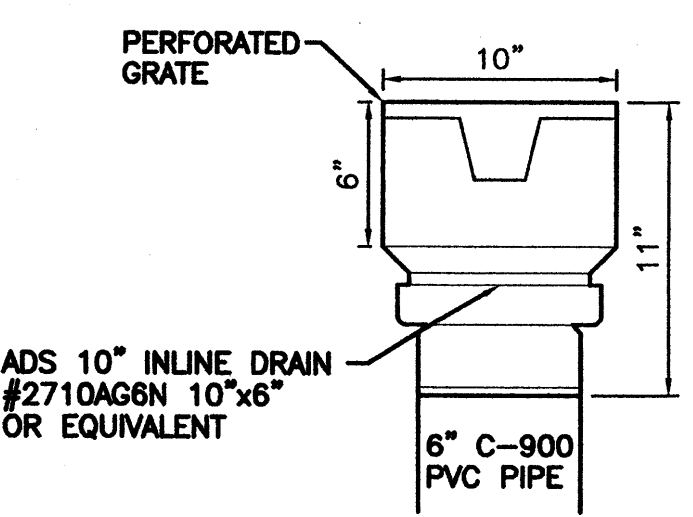
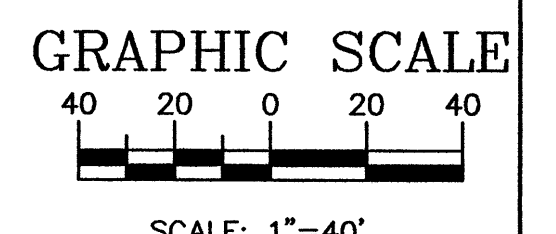
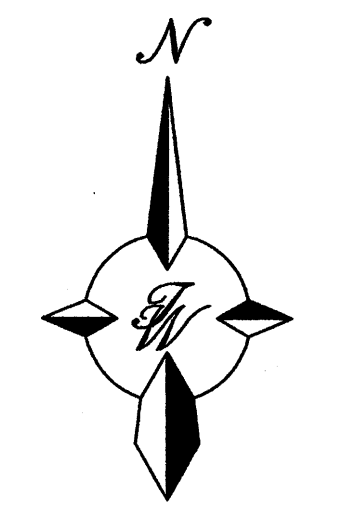


**NOTES**  
 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.



NOTE: CONCRETE TO EXTEND TO CHANNEL LINING AND TIE INTO CANAL SLOPE PAVING

**EMERGENCY SPILLWAY DETAIL**  
 NTS



NOTE: PLACE 1" WIDE CONCRETE COLLAR AROUND DRAIN

**LANDSCAPE DRAIN DETAIL**  
 NTS

|  |  |  |
|--|--|--|
| <p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN<br/>         P.E. #7868</p> | <p><b>COTTONWOOD CROSSING PHASE 2</b></p> <p><b>GRADING AND DRAINAGE PLAN</b></p> <p>TIERRA WEST, LLC<br/>         8509 JEFFERSON NE<br/>         ALBUQUERQUE, NEW MEXICO 87113<br/>         (505)858-3100</p> | <p>DRAWN BY JDN</p> <p>DATE 06-08-04</p> <p>2297GRB-06-02-04</p> <p>SHEET #</p> <p style="font-size: 24pt; font-weight: bold;">C-1</p> <p>JOB # 220097</p> |
|--|--|--|

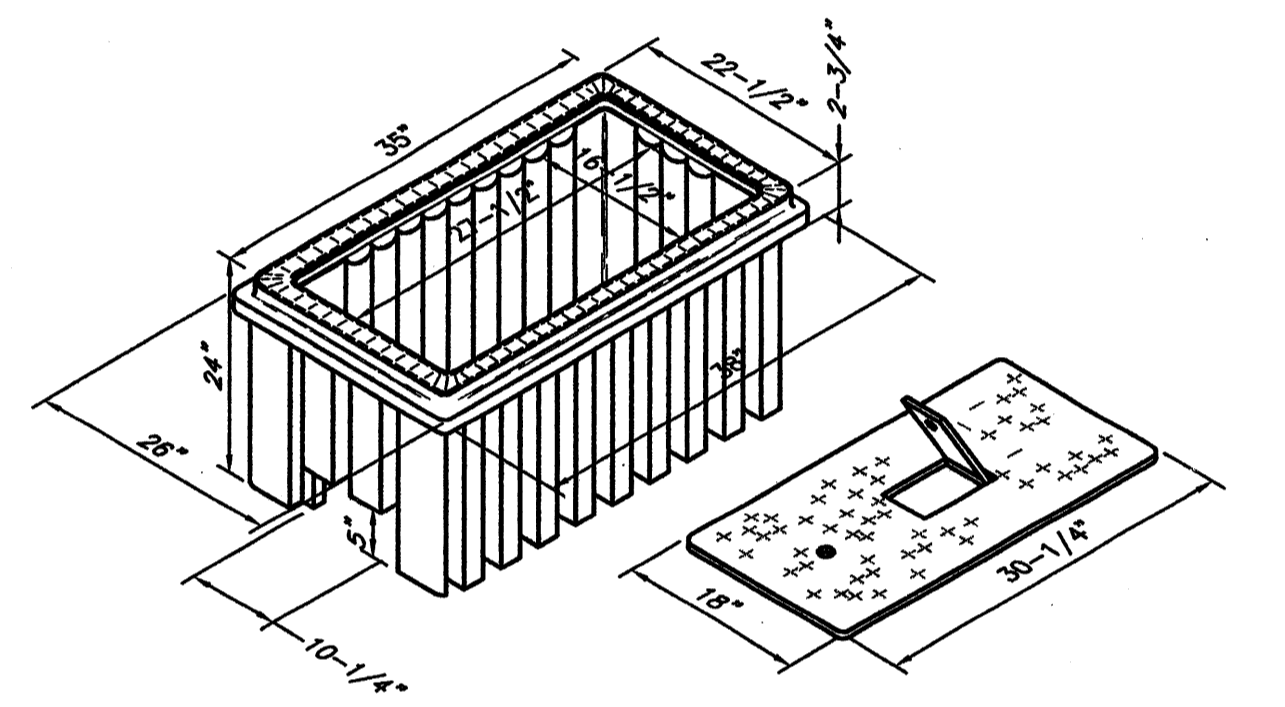


| LEGEND |                              |
|--------|------------------------------|
|        | EXISTING SAS MANHOLE         |
|        | EXISTING 8" SAS              |
|        | PROPOSED SAS MANHOLE         |
|        | PROPOSED SAS CLEANOUT        |
|        | DIRECTION OF FLOW            |
|        | PROPOSED 8" SAS              |
|        | SANITARY SEWER SERVICE LINE  |
|        | EXISTING METER               |
|        | EXISTING VALVE W/BOX         |
|        | EXISTING FIRE HYDRANT        |
|        | EXISTING 16" WL              |
|        | PROPOSED METER               |
|        | PROPOSED VALVE W/BOX         |
|        | PROPOSED FIRE HYDRANT        |
|        | PROPOSED 8" WL               |
|        | EXISTING STORM SEWER MANHOLE |
|        | EXISTING 24" RCP             |
|        | PROPOSED STORM SEWER MANHOLE |
|        | PROPOSED 24" RCP             |
|        | EXISTING CURB & GUTTER       |
|        | PROPOSED CURB & GUTTER       |
|        | BOUNDARY LINE                |
|        | PROPOSED SIDEWALK            |
|        | PROPOSED RETAINING WALL      |

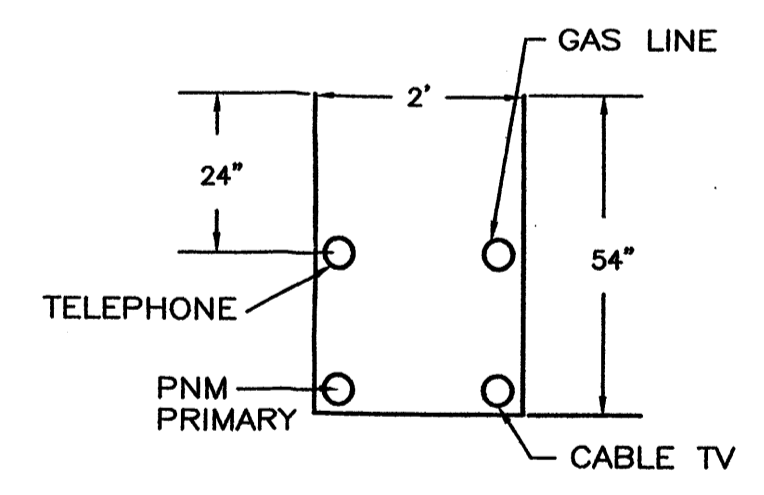
- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
  2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
  4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
  5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
  6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS OF NEW MEXICO UTILITIES INCORPORATED AND WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1999), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THOSE FACILITIES NOT WITHIN DEDICATED EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING



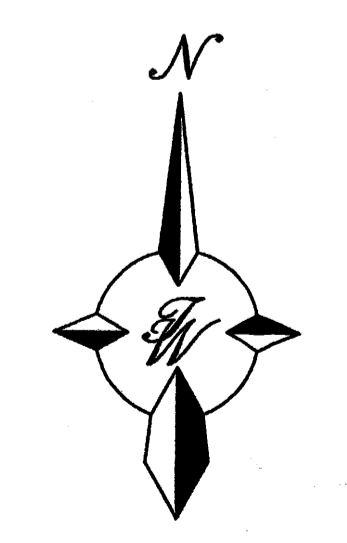
**2" METER BOX DETAIL**  
NTS



**UTILITY TRENCH DETAIL**  
NTS

**GENERAL NOTES:**

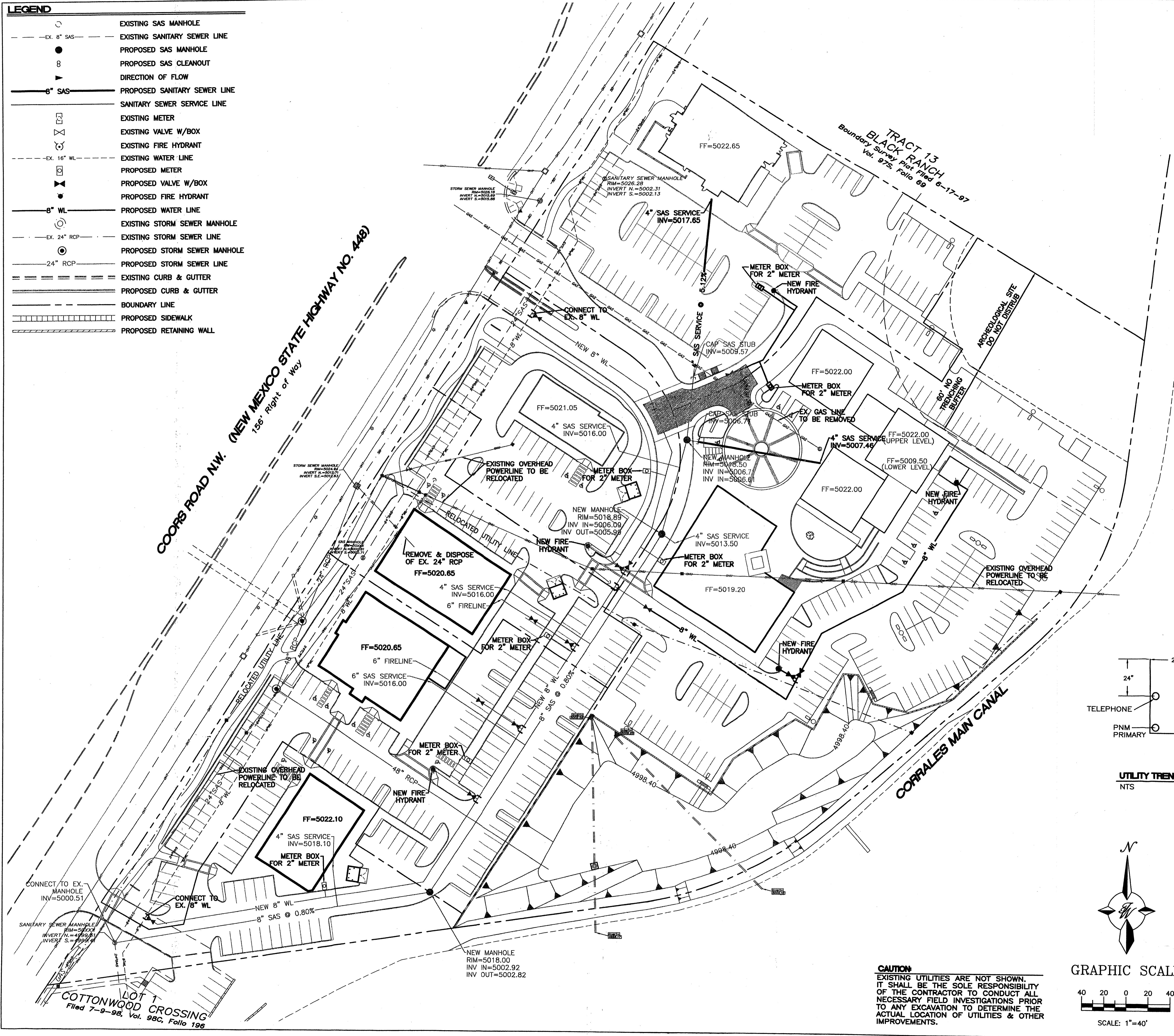
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.



**GRAPHIC SCALE**

SCALE: 1"=40'

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



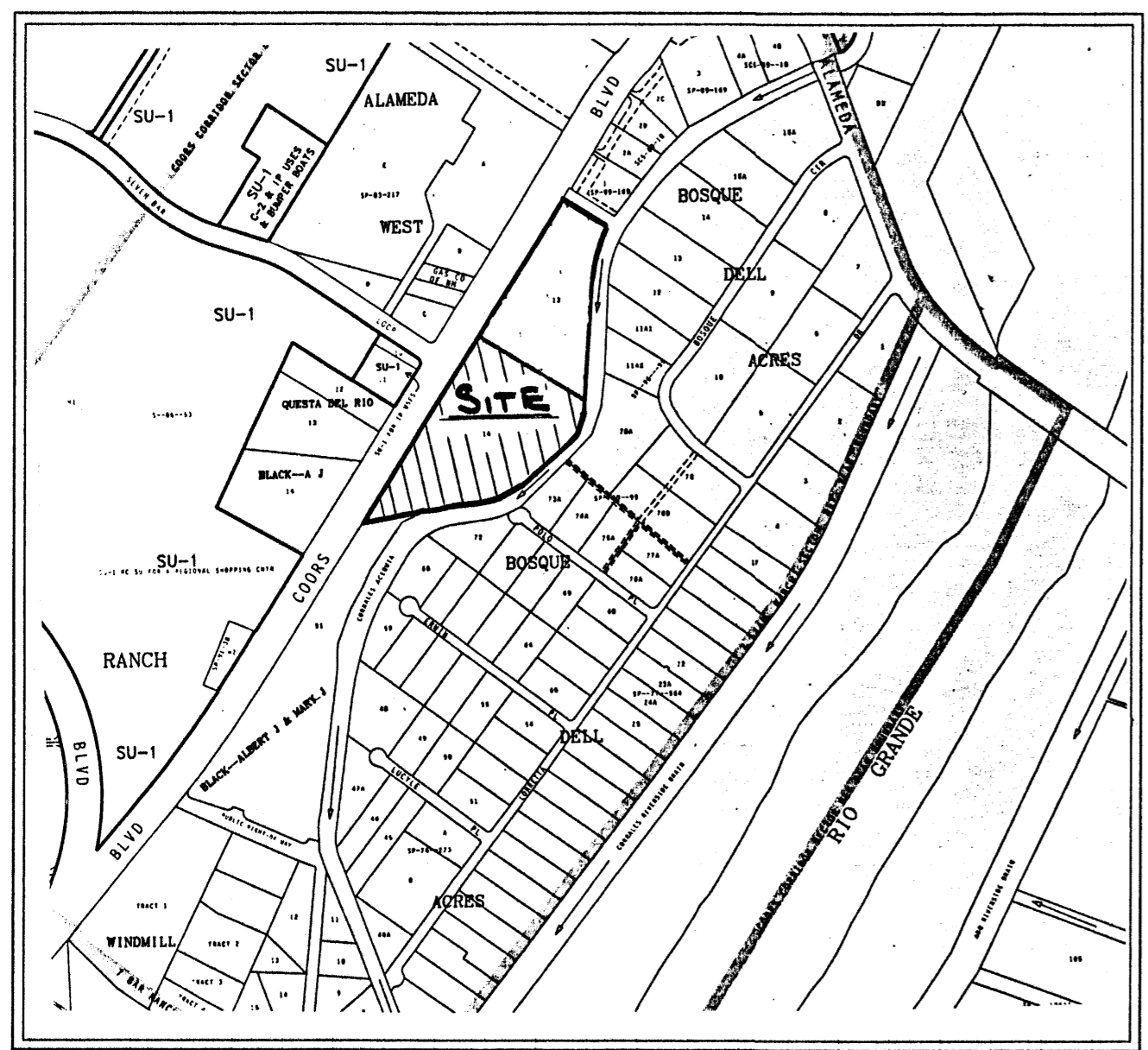
|   |                                    |                 |
|---|------------------------------------|-----------------|
| ENGINEER'S SEAL<br><br>RONALD R. BOHANNAN<br>P.E. #7868 | <b>COTTONWOOD CROSSING PHASE 2</b> | DRAWN BY JDN    |
|   | <b>MASTER UTILITY PLAN</b>         | DATE 12-01-03   |
|   |                                    | 2297MUE-12-1-03 |
|   |                                    | SHEET #         |
|   |                                    | <b>C-2</b>      |
|   |                                    | JOB # 220097    |

**TERRA WEST, LLC**  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

**TRACTS 14-A AND 14-B  
BLACK RANCH**  
(BEING A REPLAT OF TRACT 14, BLACK RANCH)

WITHIN THE  
**TOWN OF ALAMEDA GRANT**  
IN  
**PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
JANUARY, 1998

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND  
PAID ON UPC # 1-016-065-181-313-28305  
PROPERTY OWNER OF RECORD:  
*Joseph M. Serrano*  
BERNALILLO COUNTY TREASURER'S OFFICE  
*Viola Tena*



**Vicinity Map**  
N.T.S.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- C. U.S. West Communications for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- D. Jones Intercable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance, and service of sanitary sewer lines, waterlines, and other related equipment and facilities reasonably necessary to provide sanitary sewer and water service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easements rights to which it may be entitled.

**APPROVALS**

*Rubal D...* 5-27-98  
Traffic Engineer, City of Albuquerque  
Public Works Department  
*Will Clark* 020956  
City Surveyor, City of Albuquerque  
Public Works Department  
*Roger A. Deane* 5-27-98  
Utility Development Division, City of Albuquerque  
Public Works Department  
*V. B...* 5-14-98  
Albuquerque Metropolitan Arroyo Flood Control Authority  
*Frank J. ...* 5-27-98  
City Engineer, City of Albuquerque  
Public Works Department  
*Steven J. ...* 5-28-98  
Property Management, City of Albuquerque  
*Edward G. ...* 5-27-98  
Design and Development, CIP  
City of Albuquerque  
APPROVAL as specified by the Albuquerque Subdivision Ordinance.  
*V. J. ...* 5/29/98  
Chairman, Albuquerque/Bernalillo County  
Development Review Board  
DRB-98-61

98-98-109

**GENERAL NOTES**

1. Bearings are based on the New Mexico State Plane Coordinate System, Central Zone (NAD27) and rotated to grid at the New Mexico State Highway Commission Monument "NM-448-N12".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Delta Alpha = -00° 10' 46"
5. Combined ground to grid factor = 0.99967695
6. All corners are a 5/8" rebar and cap stamped "LS 5823" unless otherwise indicated.
7. Record information, where it differs from that found in the field, is shown in parenthesis (xxx).
8. Zone Atlas Page B-14
9. U.C.L.S. LOG NUMBER 97071611420314

**DISCLOSURE STATEMENT**

The purpose of this plat is to create the tracts shown hereon in conformance to current zoning, to grant to the public the easements shown hereon and to dedicate to the City of Albuquerque in fee simple with warranty covenants, the additional street right of way as shown hereon.

**NOTE:**

These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary sewer System capabilities are based on the NMU, Inc. facilities, not the City of Albuquerque. Water and Sanitary Sewer infrastructure improvements must, however, be approved by both the City of Albuquerque and NMU, Inc.

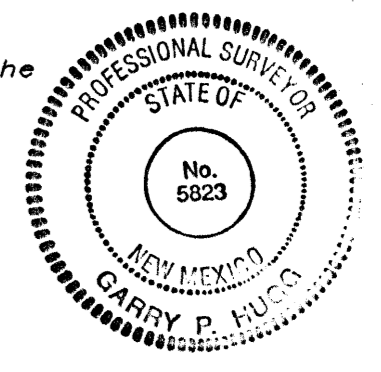
**APPROVALS**

*Joe Dunlop* 3-19-98  
PNM Gas Services  
*Rubal Phil* 3-19-98  
PNM Electric Services  
*Catherine Schneider* 04-14-98  
US West Communications  
*Viola Watson* 3-19-98  
Jones Intercable  
*[Signature]* 4-27-98  
New Mexico Utilities, Inc.

**SURVEYORS CERTIFICATION**

I, Garry P. Hugg, New Mexico Professional Surveyor Number 5823, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*Garry P. Hugg*  
Garry P. Hugg  
NMPS No. 5823  
January 5, 1998



TRACTS 14-A AND 14-B  
BLACK RANCH  
(BEING A REPLAT OF TRACT 14, BLACK RANCH)  
WITHIN THE  
TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY, 1998

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Alameda Grant in projected Section 8, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising Tract Fourteen (14), Black Ranch, lying Westerly of the Westerly right of way line of the Corrales Main Canal, as the same are shown and designated on that certain Boundary Survey Plat entitled "TRACTS 13 AND 14, BLACK RANCH WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on June 17, 1997 in Volume 975, Folio 69 more particularly described by survey performed by Garry P. Hugg, New Mexico Professional Surveyor Number 5823, using the New Mexico State Plane Coordinate System, Central Zone (NAD27) grid bearings and ground distances, as follows:

BEGINNING at the Northwest corner of said Tract 14 and the Northwest corner of the parcel herein described, a point on the Southeastery right of way line of Coors Road N.W. (a 5/8" rebar and cap stamped LS 5823 found in place), whence (1) the New Mexico State Highway Commission Monument "NM-44B-N12" bears N 28° 09' 53" E, 1348.11 feet distant, and (2) the New Mexico State Highway Commission Monument "NM-44B-N10" bears S 36° 59' 44" W, 4460.55 feet distant; Thence,

S 59° 21' 00" E, 518.78 feet along the Northerly line of said Tract 14 to the Northeast corner of said Tract 14 and a point on the Westerly right of way line of the Corrales Main Canal (a 5/8" rebar and cap stamped LS 5823 found in place); Thence Southwesterly along said Westerly right of way line of the Corrales Main Canal for the following five (5) courses:

S 07° 53' 54" W, 119.16 feet to a point of curvature (a 1/2" rebar and cap stamped LS 3517 found in place); Thence,

Southwesterly, 184.86 feet on the arc of a curve to the right (said curve having a radius of 250.00 feet, a central angle of 42° 22' 02" and a chord which bears S 29° 05' 55" W, 180.68 feet) to a point of tangency (a 5/8" rebar and cap stamped LS 5823 found in place); Thence,

S 50° 15' 56" W, 240.05 feet to a point of curvature (a 5/8" rebar and cap stamped LS 5823 found in place); Thence,

Southwesterly, 186.31 feet on the arc of a curve to the right (said curve having a radius of 335.00 feet, a central angle of 31° 51' 57" and a chord which bears S 66° 11' 55" W, 183.92 feet) to a point of tangency (a 5/8" rebar and cap stamped LS 5823 found in place); Thence,

S 82° 07' 53" W, 170.19 feet to a point of curvature (a 5/8" rebar and cap stamped LS 5823 found in place); Thence leaving said Northwesterly right of way line,

S 81° 49' 56" W, 371.11 feet along the Southerly line of said Tract 14 to the Southwest corner of said Tract 14 and the Southwest corner of the parcel herein described, a point on said Southwesterly right of way line of Coors Road N.W. (a 5/8" rebar and cap stamped LS 2455 found in place); Thence,

N 32° 55' 48" E, 1005.67 feet along said Southeastery right of way line of Coors Road N.W. to the Northwest corner and point of beginning of the parcel herein described.

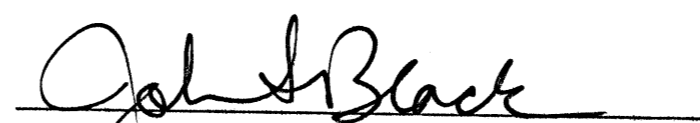
Said Parcel contains 9.8363 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising TRACTS 14-A AND 14-B, BLACK RANCH, (BEING A REPLAT OF TRACT 14, BLACK RANCH), WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate to the City of Albuquerque, in fee simple with warranty covenants, the additional street right of way as shown hereon. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, all easements as shown hereon and do hereby represent that they are so authorized to act.

OWNERS OF TRACTS 14-A AND 14-B  
The Albert J. Black and Mary Jane Black Revocable Trust

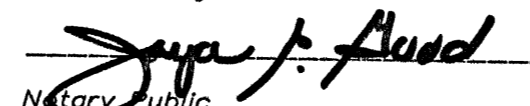
  
A. Rolfe Black, Successor Co Trustee

  
John F. Black, Successor Co Trustee

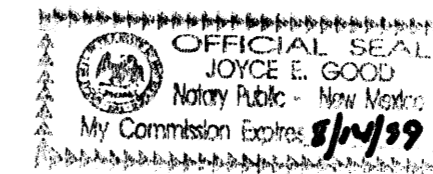
**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on this 10 day of February, 1998, by A. Rolfe Black and John F. Black.

  
Notary Public

8/14/99  
My Commission expires



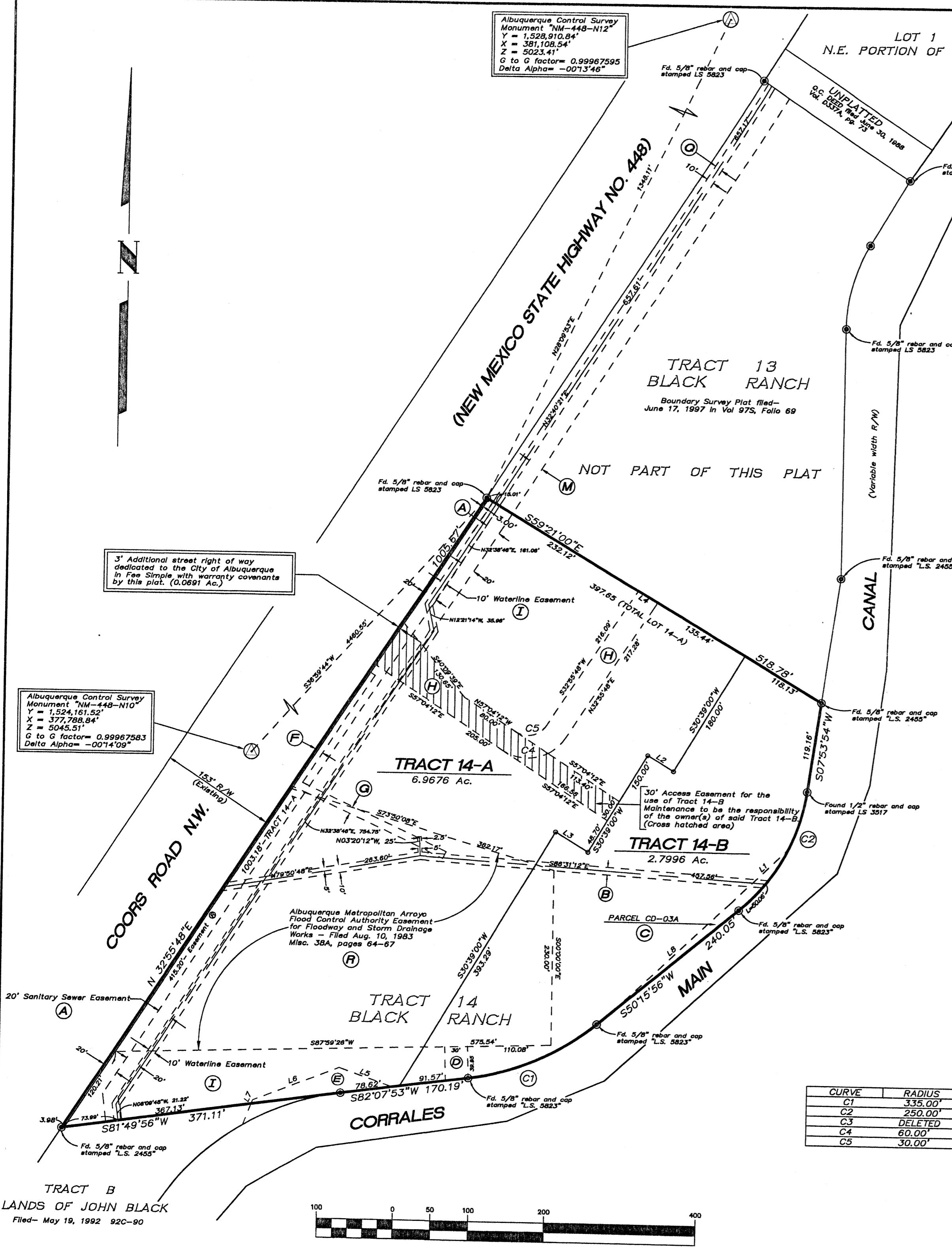
# TRACTS 14-A AND 14-B BLACK RANCH

BEING A REPLAT OF TRACT 14, BLACK RANCH)  
 WITHIN THE  
 TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JANUARY, 1998



1998068725  
 5056183  
 Page: 3 of 3  
 06/03/1998 12:33P  
 BK-98C Pg-157

Albuquerque Control Survey  
 Monument "NM-448-N12"  
 Y = 1,528,910.84'  
 X = 381,108.54'  
 Z = 5023.41'  
 G to G factor = 0.99967595  
 Delta Alpha = -00'13.46"



**NOTE:**  
 Upon development of either Tract 14-A or 14-B, a drainage plan shall be prepared for AMAFCA review and approval. Existing easements may be vacated and new easements or right of way may be required at that time pending proposed relocation of pond.

### EASEMENT TABLE

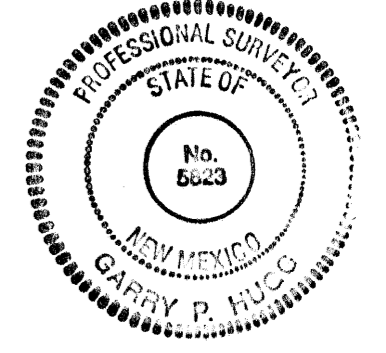
- A. Sanitary Sewer Easement to New Mexico Utilities, Inc. filed September 21, 1981, Book Misc. 880, page 1
- B. Overhead Utility Easement to PNM & Mountain States Telephone & Telegraph filed Sept. 19, 1989, Book Misc. 790-A, page 499
- C. Easement for Underground Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2661
- D. Easement for Floodway & Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2669
- E. Temporary Road Easement to A.M.A.F.C.A. filed May 12, 1994, Book BCR 94-15, page 4448
- F. Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6668
- G. Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6671
- H. Reciprocal Easement filed Oct. 21, 1996, in Book BCR 96-28, page 2764
- I. Easement to New Mexico Utilities, filed April 24, 1998, in Book BCR 98-08, Page 8481.
- J. Easement to Mountain States Telephone & Telegraph, filed January 16, 1930, in Book 112, page 68 (Blanket Easement)
- K. Easement to Mountain States Telephone & Telegraph, filed March 28, 1930, in Book 112, page 196 (Blanket Easement)
- L. DELETED
- M. Easement to New Mexico Utilities, Inc., filed September 21, 1981, in Book Misc. 880, page 4
- N. DELETED
- P. DELETED
- Q. Easement to New Mexico Utilities, Inc., filed October 18, 1996, in Book BCR 96-28, page 1809
- R. Albuquerque Metropolitan Arroyo Flood Control Authority Easement filed- August 10, 1983, Misc. 38A, pages 64-67.

### TANGENT TABLE

| LINE | DIRECTION   | DISTANCE |
|------|-------------|----------|
| L1   | N45°54'06"E | 102.38'  |
| L2   | N59°21'00"W | 40.00'   |
| L3   | N59°21'00"W | 50.00'   |
| L4   | S59°21'00"E | 30.02'   |
| L5   | N70°46'53"W | 73.38'   |
| L6   | S68°13'32"W | 122.23'  |
| L7   | S21°26'02"W | 5.34'    |
| L8   | N46°31'30"E | 214.60'  |

### CURVE TABLE

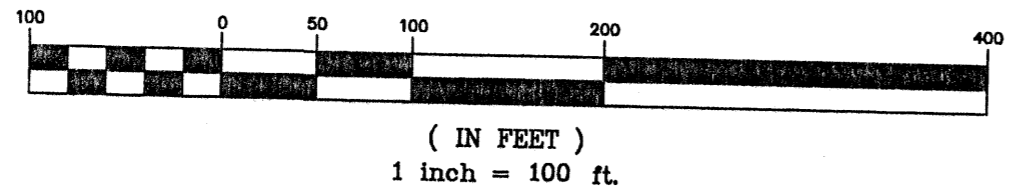
| CURVE | RADIUS  | LENGTH  | TANGENT | CHORD   | BEARING     | DELTA     |
|-------|---------|---------|---------|---------|-------------|-----------|
| C1    | 335.00' | 186.31' | 95.64'  | 183.92' | S66°11'55"W | 31°51'57" |
| C2    | 250.00' | 184.86' | 96.89'  | 180.68' | S29°05'55"W | 42°22'02" |
| C3    | DELETED |         |         |         |             |           |
| C4    | 60.00'  | 94.25'  | 60.00'  | 84.85'  | N77°55'48"E | 90°00'00" |
| C5    | 30.00'  | 47.12'  | 30.00'  | 42.43'  | N77°55'48"E | 90°00'00" |



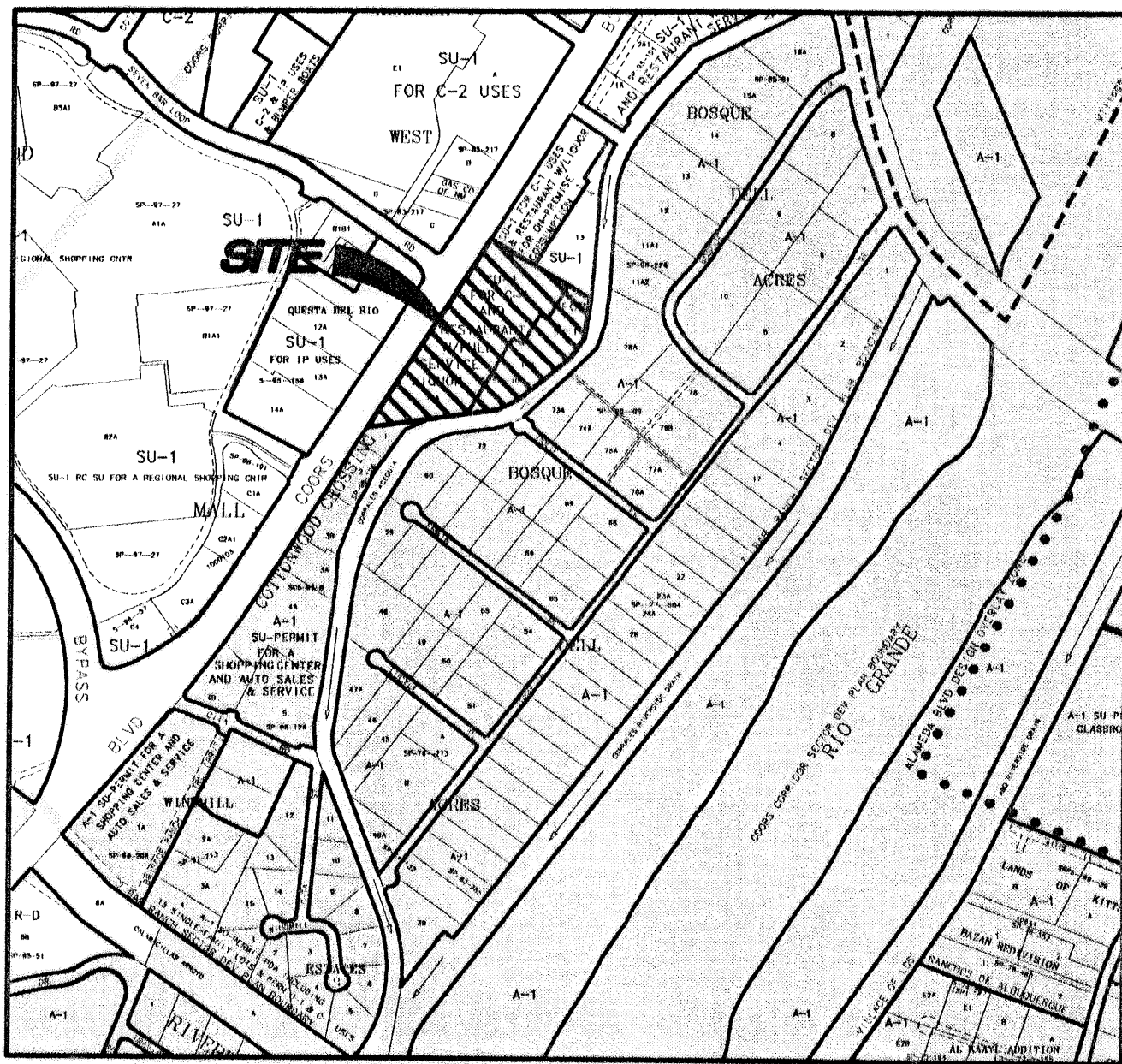
SHEET 3 OF 3

**SURV TEK, INC.**  
 Consulting Surveyors  
 5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3368  
 Fax: 505-897-3377

970309REV. DWG



TRACT B  
 LANDS OF JOHN BLACK  
 Filed- May 19, 1992 92C-90



VICINITY MAP  
N.T.S.

2604028772  
6934256  
Page: 1 of 4  
02/19/2004 09:04A  
Bk-2004C Pg-58  
Bern. Co. PLAT R 22.00  
Maru Herrera

LOTS 1, 2, 3, 4, 5 AND 6  
**COTTONWOOD CROSSING, PHASE II**  
(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003

**TREASURER'S CERTIFICATION**

This is to certify that taxes are current and paid on the following property:

UPC# 101406519031820301 TRACT 14-A, BLACK RANCH  
UPC# 101406522431320303 TRACT 14-B, BLACK RANCH

*[Signature]*  
Bernalillo County Treasurer's Office 2/17/04 Date

PROJECT NUMBER: 1002792

Application Number: 04-00184

**PLAT APPROVAL**

Utility Approvals:

|   |                  |
|---|------------------|
| <i>[Signature]</i><br>PNM Electric Services | 12-22-03<br>Date |
| <i>[Signature]</i><br>PNM Gas Services      | 12-22-03<br>Date |
| <i>[Signature]</i><br>QWest Corporation     | 12-19-03<br>Date |
| <i>[Signature]</i><br>Comcast               | 2-10-04<br>Date  |
| <i>[Signature]</i><br>New Mexico Utilities  | 2-10-04<br>Date  |

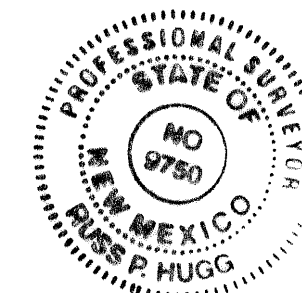
City Approvals:

|  |                 |
|--|-----------------|
| <i>[Signature]</i><br>City Surveyor                                | 12-8-03<br>Date |
| N/A<br>Real Property Division                                      | Date            |
| N/A<br>Environmental Health Department                             | Date            |
| <i>[Signature]</i><br>Traffic Engineering, Transportation Division | 2-18-04<br>Date |
| <i>[Signature]</i><br>Utilities Development                        | 2-18-04<br>Date |
| <i>[Signature]</i><br>Parks and Recreation Department              | 2/18/04<br>Date |
| <i>[Signature]</i><br>AMAFCA                                       | 2-13-04<br>Date |
| <i>[Signature]</i><br>City Engineer                                | 2/18/04<br>Date |
| <i>[Signature]</i><br>DRB Chairperson, Planning Department         | 2/18/04<br>Date |

**SURVEYOR'S CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*[Signature]*  
Russ P. Hugg  
NMPS No. 9750  
November 26, 2003



**SURVOTEK, INC.**

Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-637-3366  
Fax: 505-637-3377

**SUBDIVISION DATA**

- City of Albuquerque Zone Atlas Page: B-14-Z
- U.C.L.S. Log Number 2003461539
- Total number of existing tracts: 2
- Total number of new lots created: 6
- Gross subdivision acreage: 9.7690 acres
- Total mileage of full width streets created: 0.00 miles

**NOTE**

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No. 96115257. See Sheet 4 of 4 for Additional Restrictions.

**NOTE**

These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

**DISCLOSURE STATEMENT**

The purpose of this plat is to create 6 new lots. Grant City of Albuquerque sidewalk, public water line, public sanitary sewer line, public storm sewer, private cross access, public overhead and dry utility easements. Vacate existing easements as shown hereon.

**SHEET INDEX**

- SHEET 1 - Approvals
- SHEET 2 - Legal Description, General Notes
- SHEET 3 - New Lot Boundaries and Existing Easements  
Vacated by 03DRB-01780VPE
- SHEET 4 - New Easements Granted by this Plat

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of such lines across the easement and related equipment and facilities reasonably necessary to provide Sanitary Sewer and Water Service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trimmed and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DISCLAIMER**

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

# LOTS 1, 2, 3, 4, 5 AND 6 COTTONWOOD CROSSING, PHASE II

(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003

### GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1927) originated at the Albuquerque Control Survey Monument "NM448-N12".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the month of April, 2003.
- Documents used in the preparation of this survey are as follows:
  - Plat entitled "TRACTS 14-A AND 14-B, BLACK RANCH, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1998", filed June 3, 1998, in Volume 98C, Folio 157, records of Bernalillo County, New Mexico.
  - Survey entitled "BOUNDARY SURVEY PLAT, TRACTS 13 AND 14, BLACK RANCH, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, JUNE 1997", filed June 17, 1997, in Volume 97S, Folio 69, records of Bernalillo County, New Mexico.
  - Plat entitled "LOTS 1 THRU 5, COTTONWOOD CROSSING, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY, 1998", filed July 9, 1998, in Volume 98C, Folio 196, records of Bernalillo County, New Mexico.
  - Title Report prepared for this property by Lawyers Title Insurance Company, Commitment for Title Insurance No. 972091SD, dated July 25, 1997.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument - Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.

Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

### A.M.A.F.C.A. EASEMENTS RELEASED BY SEPARATE DOCUMENT

The following easements were released by the document entitled "QUITCLAIM DEED / RELEASE OF EASEMENT" filed February 12, 2004, Book A72, Page 9151, records of Bernalillo County, New Mexico.

- Ⓓ 30' Easement for Floodway & Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2669, vacated by 03DRB-01780VPE.
- Ⓔ Temporary Road Easement to A.M.A.F.C.A. filed May 12, 1994, Book BCR 94-15, page 4448, vacated by 03DRB-01780VPE.
- Ⓒ Albuquerque Metropolitan Arroyo Flood Control Authority Easement filed August 10, 1983, Misc. 38A, pages 64-67, vacated by 03DRB-01780VPE.

### LEGAL DESCRIPTION


Tracts numbered Fourteen-A (14-A) and Fourteen-B (14-B), Black Ranch, within the Town of Alameda Grant, Projected Section 8, Township 11 North, Range 3 East, N.M.P.M., Bernalillo County, City of Albuquerque, New Mexico, as the same is shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 3, 1998, in Plat Book 98C, Folio 157.

Said parcel contains 9.7690 acres more or less.

### DEDICATION

SURVEYED and REPLATTED and now comprising LOTS 1, 2, 3, 4, 5 AND 6, COTTONWOOD CROSSING, PHASE II, (BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH) WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the easements as shown hereon and do hereby dedicate Lot 3 in fee simple with warranty covenants to the Albuquerque Metropolitan Arroyo Flood Control Authority. Said owner(s) and proprietor(s) do hereby grant the public utility easements to the use of the public forever, as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.


OWNER: TRACTS 14-A and 14-B, BLACK RANCH  
The Albert J. Black and Mary Jane Black Revocable Trust

  
John F. Black, Trustee

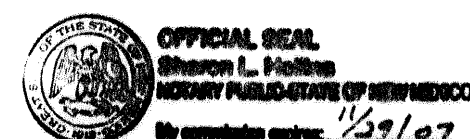
### ACKNOWLEDGEMENT

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on this 5th day  
of December, 2003, by John F. Black.

  
Sharon L. Hollins  
Notary Public

My Commission expires: Nov. 29, 2007



### EASEMENT TABLE

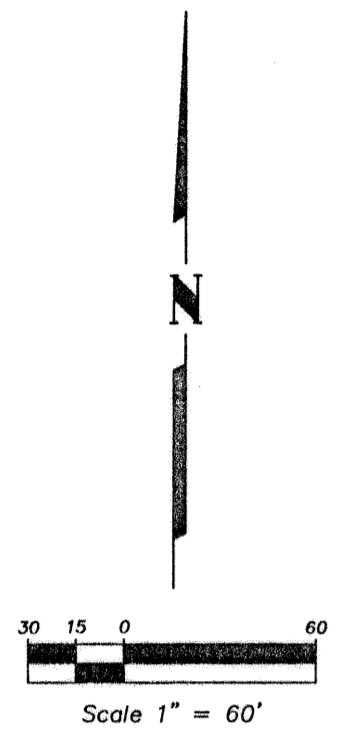
- Ⓐ 20' Sanitary Sewer Easement to New Mexico Utilities, Inc. filed September 21, 1981, Book Misc. 880, page 1, to remain.
- Ⓑ 10' Overhead Utility Easement to PNM & Mountain States Telephone & Telegraph filed Sept. 19, 1989, Book Misc. 790-A, page 499, vacated by 03DRB-01780VPE.
- Ⓒ Easement for Underground Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2661, to remain.
- Ⓓ 30' Easement for Floodway & Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2669, vacated by 03DRB-01780VPE.
- Ⓔ Temporary Road Easement to A.M.A.F.C.A. filed May 12, 1994, Book BCR 94-15, page 4448, vacated by 03DRB-01780VPE.
- Ⓕ Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6668, to remain.
- Ⓖ 10' Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6671, vacated by 03DRB-01780VPE.
- Ⓗ Reciprocal Easement filed Oct. 21, 1996, in Book BCR 96-28, page 2764, To Remain
- Ⓘ 10' Easement to New Mexico Utilities, filed April 24, 1998, in Book BCR 98-08, Page 8481, to remain.
- Ⓙ Easement to Mountain States Telephone & Telegraph, filed January 16, 1930, in Book 112, page 68. (Blanket Easement), to remain.
- Ⓚ Easement to Mountain States Telephone & Telegraph, filed March 28, 1930, in Book 112, page 196. (Blanket Easement), to remain.
- Ⓛ 30' Access Easement for the use of Tract 14-B per plat filed June 3, 1998, Vol. 98C, Folio 157. (Hatched area), To Remain
- Ⓜ 20' Easement to New Mexico Utilities, Inc., filed September 21, 1981, in Book Misc. 880, page 4, confined to adjoining property - to remain.
- Ⓝ 10' Easement to New Mexico Utilities, Inc., filed October 18, 1996, in Book BCR 96-28, page 1809, confined to adjoining property - to remain.
- Ⓞ Albuquerque Metropolitan Arroyo Flood Control Authority Easement filed August 10, 1983, Misc. 38A, pages 64-67, vacated by 03DRB-01780VPE.

**BOUNDARY INFORMATION AND EXISTING EASEMENTS**

**LOTS 1, 2, 3, 4, 5 AND 6**  
**COTTONWOOD CROSSING, PHASE II**  
 (BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)  
 WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 NOVEMBER, 2003

SEE SHEET 2 OF 4 FOR KEYED EASEMENT INFORMATION

SEE SHEET 2 OF 4 FOR ADDITIONAL A.M.A.F.C.A. EASEMENT INFORMATION



**CORNER LEGEND**

- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"

Albuquerque Control Survey Monument  
 "NM448-N12"  
 New Mexico State Plane Coordinates -  
 Central Zone (NAD27)  
 Y=381108.54  
 X=1528910.94  
 G-G=0.99967595  
 Delta Alpha=-0013'46"  
 Elevation=5023.411 (NGVD29)

Albuquerque Control Survey Monument  
 "NM448-N10"  
 New Mexico State Plane Coordinates -  
 Central Zone (NAD27)  
 Y=377788.84  
 X=1524161.52  
 G-G=0.99967583  
 Delta Alpha=-0014'09"  
 Elevation=5045.51 (NGVD29)

**SEVEN BAR LOOP ROAD**  
**COORS ROAD N.W. (NEW MEXICO STATE HIGHWAY NO. 448)**

**TRACT 14-A BLACK RANCH**  
 Filed 6-3-98, Vol. 98C, Folio 157

**TRACT 13 BLACK RANCH**  
 Boundary Survey Plat Filed 8-17-97  
 Vol. 97S, Folio 69

**TRACT 14-B BLACK RANCH**  
 Filed 6-3-98, Vol. 98C, Folio 157

**LOT 1 COTTONWOOD CROSSING**  
 Filed 7-9-98, Vol. 98C, Folio 196

**LINE TABLE**

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L1   | 32.70'  | N76°36'48"W |
| L2   | 28.72'  | N27°52'55"W |
| L3   | 14.01'  | N86°28'56"W |
| L4   | 55.93'  | S28°23'32"W |
| L5   | 41.00'  | N57°14'40"W |
| L6   | 37.00'  | S32°55'48"W |
| L7   | 40.00'  | S32°55'48"W |
| L8   | 48.64'  | S15°11'06"W |
| L9   | 31.45'  | S81°51'16"W |
| L10  | 49.25'  | N61°19'09"W |
| L11  | 18.19'  | N61°36'28"W |
| L12  | 37.36'  | S32°55'48"W |
| L13  | 22.12'  | S32°55'48"W |
| L22  | 12.16'  | S59°20'21"E |
| L23  | 15.01'  | S59°20'21"E |
| L24  | 161.06' | N32°38'46"E |
| L25  | 367.18' | S32°56'02"W |
| L26  | 35.96'  | N12°21'14"W |
| L27  | 175.00' | S32°56'02"W |
| L28  | 175.00' | N32°50'11"E |
| L29  | 371.82' | S32°56'02"W |
| L30  | 370.88' | N32°50'11"E |
| L31  | 21.97'  | S32°56'02"W |
| L32  | 28.57'  | N32°50'11"E |
| L33  | 33.68'  | S07°01'14"E |
| L34  | 21.10'  | N08°09'48"W |
| L35  | 64.62'  | S81°51'16"E |
| L36  | 6.49'   | S81°51'16"E |
| L37  | 26.14'  | N50°13'54"E |
| L38  | 138.63' | N46°31'30"E |
| L39  | 75.97'  | N46°31'30"E |
| L40  | 102.38' | N45°54'06"E |

**CURVE TABLE**

| CURVE | LENGTH               | RADIUS               | TANGENT            | CHORD                | CHORD BEARING                | DELTA                    |
|-------|----------------------|----------------------|--------------------|----------------------|------------------------------|--------------------------|
| C1    | 184.86'<br>(184.86') | 250.00'<br>(250.00') | 96.89'<br>(96.89') | 180.68'<br>(180.68') | S29°04'56"W<br>(S29°05'55"W) | 42°22'02"<br>(42°22'02") |
| C2    | 186.31'<br>(186.31') | 335.00'<br>(335.00') | 95.64'<br>(95.64') | 183.92'<br>(183.92') | S66°11'55"W<br>(S66°11'59"W) | 31°51'57"<br>(31°51'57") |
| C3    | 122.62'              | 95.88'               | 71.30'             | 114.43'              | S01°34'32"W                  | 73°16'31"                |

**NOTE**

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-23, Pages 2764-2777, as Document No. 96115257. See Sheet 4 of 4 for Additional Restrictions.



**SURVOTEK, INC.**

Consulting Surveyors  
 6643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366  
 Fax: 505-897-3377

**NEW EASEMENTS GRANTED BY THIS PLAT**

**KEYED EASEMENTS**

- (A) New Water Line Easement granted to New Mexico Utilities, Inc. by this plat. Easement to be 10' wide unless otherwise indicated.
- (B) New Private Access Easement granted to AMAFCA and MRGCD by this plat. Maintenance to be the responsibility of AMAFCA.

**NOTE**

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No. 96115257.

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Declaration of Protective Covenants, Restrictions and Grant of Easements", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 11th day of November, 2004, in Book 2004020-777 as Document No. 2004020-777

**NOTE**

All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument-Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.

Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

**LOTS 1, 2, 3, 4, 5 AND 6  
 COTTONWOOD CROSSING, PHASE II**  
 (BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
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 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003

SEE SHEET 2 OF 4 FOR ADDITIONAL A.M.A.F.C.A. EASEMENT INFORMATION

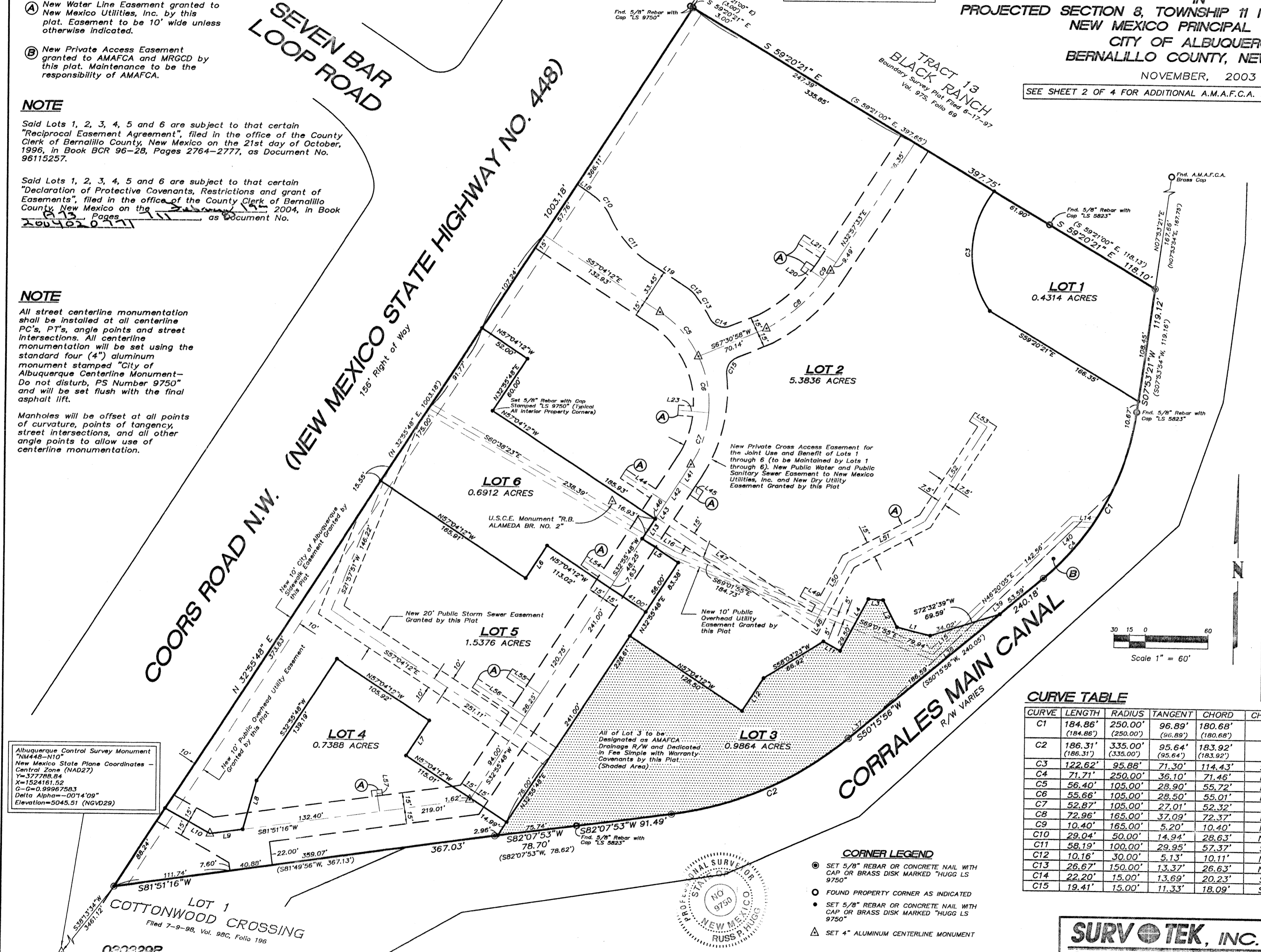
**LINE TABLE**

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L1   | 32.70'  | N76°36'48"W |
| L2   | 28.72'  | N27°52'55"W |
| L3   | 14.01'  | N86°28'56"W |
| L4   | 55.93'  | S28°23'32"W |
| L5   | 41.00'  | N57°14'40"W |
| L6   | 37.00'  | S32°55'48"W |
| L7   | 40.00'  | S32°55'48"W |
| L8   | 48.64'  | S15°11'06"W |
| L9   | 31.45'  | S81°51'16"W |
| L10  | 18.19'  | N61°36'28"W |
| L11  | 37.36'  | S32°55'48"W |
| L12  | 22.12'  | S32°55'48"W |
| L13  | 19.89'  | S88°44'18"E |
| L14  | 40.91'  | N46°20'05"E |
| L15  | 33.06'  | S60°38'23"E |
| L16  | 15.89'  | N57°04'12"W |
| L17  | 43.88'  | N57°17'22"W |
| L18  | 23.67'  | N57°02'27"W |
| L19  | 40.11'  | N57°02'27"W |
| L20  | 12.16'  | S59°38'43"E |
| L21  | 29.39'  | N85°55'21"W |
| L22  | 161.06' | N32°38'46"E |
| L23  | 367.18' | S32°56'02"W |
| L24  | 35.98'  | N12°21'14"W |
| L25  | 175.00' | S32°56'02"W |
| L26  | 175.00' | N32°50'11"E |
| L27  | 371.82' | S32°56'02"W |
| L28  | 370.88' | N32°50'11"E |
| L29  | 21.97'  | S32°56'02"W |
| L30  | 28.57'  | S32°50'11"E |
| L31  | 33.86'  | S07°01'14"E |
| L32  | 21.10'  | N08°09'48"W |
| L33  | 64.62'  | N82°00'42"E |
| L34  | 6.49'   | N80°16'28"E |
| L35  | 26.14'  | N50°13'54"E |
| L36  | 138.63' | N46°31'30"E |
| L37  | 75.97'  | N46°31'30"E |
| L38  | 102.38' | N45°54'06"E |
| L39  | 19.69'  | S32°55'48"W |
| L40  | 23.55'  | S32°55'48"W |
| L41  | 16.87'  | S32°55'48"W |
| L42  | 48.94'  | N57°04'12"W |
| L43  | 23.88'  | S57°04'12"E |
| L44  | 2.13'   | S32°55'48"W |
| L45  | 181.30' | S57°04'12"E |
| L46  | 20.59'  | S28°23'32"W |
| L47  | 24.25'  | S61°36'28"E |
| L48  | 46.47'  | S28°23'32"W |
| L49  | 82.43'  | S62°07'05"W |
| L50  | 107.33' | S32°55'48"W |
| L51  | 17.00'  | S57°04'12"E |
| L52  | 34.87'  | N57°04'12"W |
| L53  | 34.87'  | N57°04'12"W |
| L54  | 56.91'  | N57°04'12"W |
| L55  | 20.80'  | N09°04'27"W |

**CURVE TABLE**

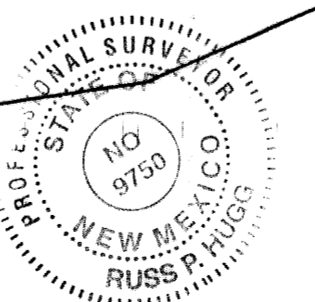
| CURVE | LENGTH               | RADIUS               | TANGENT            | CHORD                | CHORD BEARING                | DELTA                    |
|-------|----------------------|----------------------|--------------------|----------------------|------------------------------|--------------------------|
| C1    | 184.86'<br>(184.86') | 250.00'<br>(250.00') | 96.89'<br>(96.89') | 180.68'<br>(180.68') | S29°04'56"W<br>(S29°05'55"W) | 42°22'02"<br>(42°22'02") |
| C2    | 186.31'<br>(186.31') | 335.00'<br>(335.00') | 95.64'<br>(95.64') | 183.92'<br>(183.92') | S66°11'55"W<br>(S66°11'55"W) | 31°51'57"<br>(31°51'57") |
| C3    | 122.62'<br>(122.62') | 95.88'<br>(95.88')   | 71.30'<br>(71.30') | 114.43'<br>(114.43') | S01°34'32"W                  | 73°16'31"                |
| C4    | 71.71'               | 250.00'              | 36.10'             | 71.46'               | N42°02'37"E                  | 16°26'01"                |
| C5    | 56.40'               | 105.00'              | 28.90'             | 55.72'               | N41°41'00"W                  | 30°46'24"                |
| C6    | 55.66'               | 105.00'              | 28.50'             | 55.01'               | N11°06'34"W                  | 30°22'27"                |
| C7    | 52.87'               | 105.00'              | 27.01'             | 52.32'               | N18°30'14"E                  | 28°51'09"                |
| C8    | 72.96'               | 165.00'              | 37.09'             | 72.37'               | N49°14'20"E                  | 25°20'10"                |
| C9    | 10.40'               | 165.00'              | 5.20'              | 10.40'               | N34°45'54"E                  | 3°36'42"                 |
| C10   | 29.04'               | 50.00'               | 14.94'             | 28.63'               | N40°35'06"W                  | 33°16'21"                |
| C11   | 58.19'               | 100.00'              | 29.95'             | 57.37'               | S40°37'09"E                  | 33°20'27"                |
| C12   | 10.16'               | 30.00'               | 5.13'              | 10.11'               | N47°35'18"W                  | 19°24'09"                |
| C13   | 26.67'               | 150.00'              | 13.37'             | 26.63'               | N32°47'36"W                  | 10°11'13"                |
| C14   | 22.20'               | 15.00'               | 13.69'             | 20.23'               | S70°05'40"E                  | 84°46'20"                |
| C15   | 19.41'               | 15.00'               | 11.33'             | 18.09'               | S30°25'05"W                  | 74°09'05"                |

Albuquerque Control Survey Monument  
 "NM448-N12"  
 New Mexico State Plane Coordinates -  
 Central Zone (NAD27)  
 Y=381108.54  
 X=1528810.94  
 G=0.99967595  
 Delta Alpha=-00'13'46"  
 Elevation=5023.411 (NGVD29)



Albuquerque Control Survey Monument  
 "NM448-N10"  
 New Mexico State Plane Coordinates -  
 Central Zone (NAD27)  
 Y=377788.84  
 X=1524161.52  
 G=0.99967583  
 Delta Alpha=-00'14'09"  
 Elevation=5045.51 (NGVD29)

- CORNER LEGEND**
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
  - FOUND PROPERTY CORNER AS INDICATED
  - SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
  - ▲ SET 4" ALUMINUM CENTERLINE MONUMENT



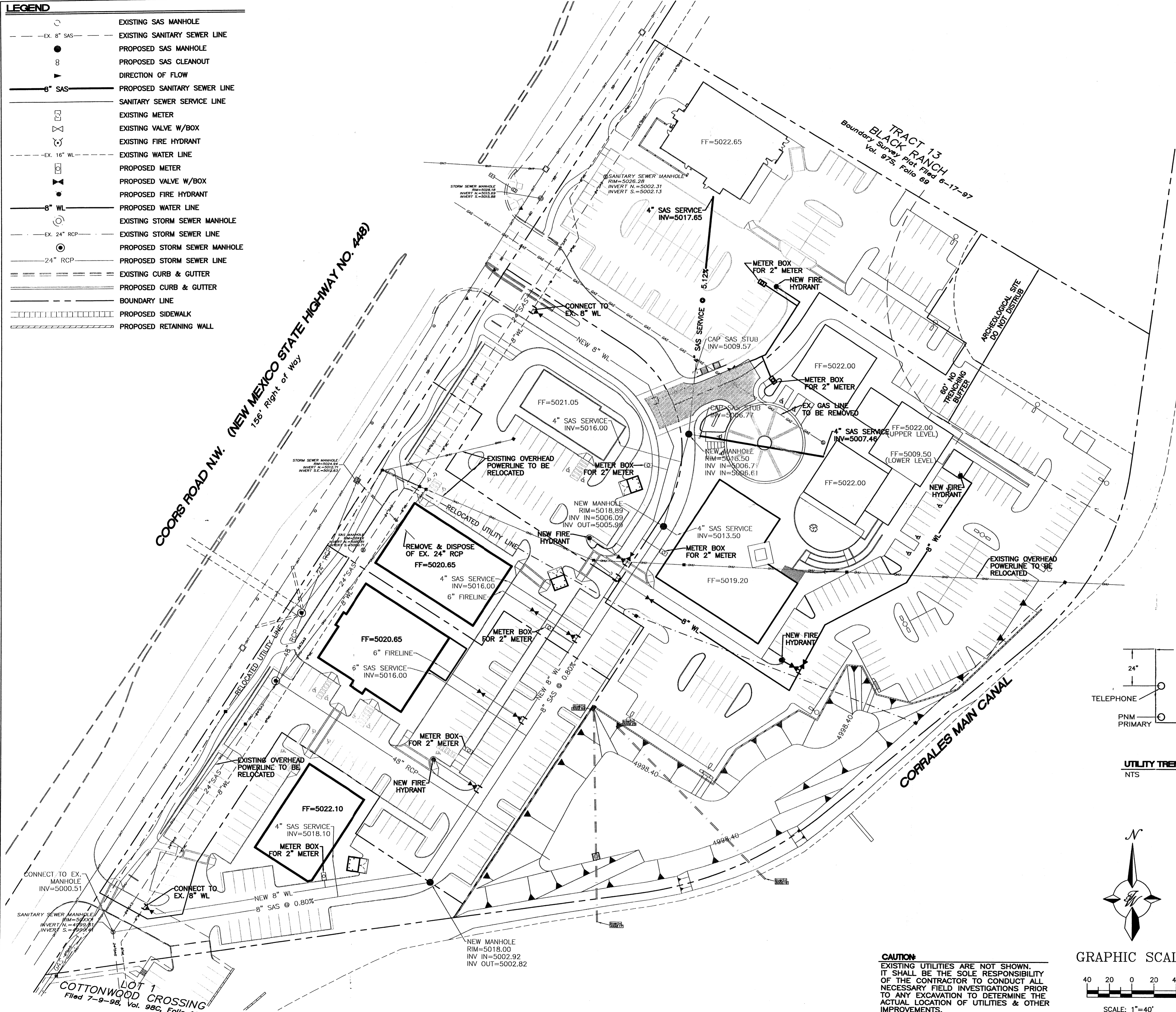
**SURVOTEK, INC.**  
 Consulting Surveyors



| LEGEND |                              |
|--------|------------------------------|
|        | EXISTING SAS MANHOLE         |
|        | EXISTING SANITARY SEWER LINE |
|        | PROPOSED SAS MANHOLE         |
|        | PROPOSED SAS CLEANOUT        |
|        | DIRECTION OF FLOW            |
|        | PROPOSED SANITARY SEWER LINE |
|        | SANITARY SEWER SERVICE LINE  |
|        | EXISTING METER               |
|        | EXISTING VALVE W/BOX         |
|        | EXISTING FIRE HYDRANT        |
|        | EXISTING WATER LINE          |
|        | PROPOSED METER               |
|        | PROPOSED VALVE W/BOX         |
|        | PROPOSED FIRE HYDRANT        |
|        | PROPOSED WATER LINE          |
|        | EXISTING STORM SEWER MANHOLE |
|        | EXISTING STORM SEWER LINE    |
|        | PROPOSED STORM SEWER MANHOLE |
|        | PROPOSED STORM SEWER LINE    |
|        | EXISTING CURB & GUTTER       |
|        | PROPOSED CURB & GUTTER       |
|        | BOUNDARY LINE                |
|        | PROPOSED SIDEWALK            |
|        | PROPOSED RETAINING WALL      |

COORS ROAD N.W. (NEW MEXICO STATE HIGHWAY NO. 448)  
156' Right of Way

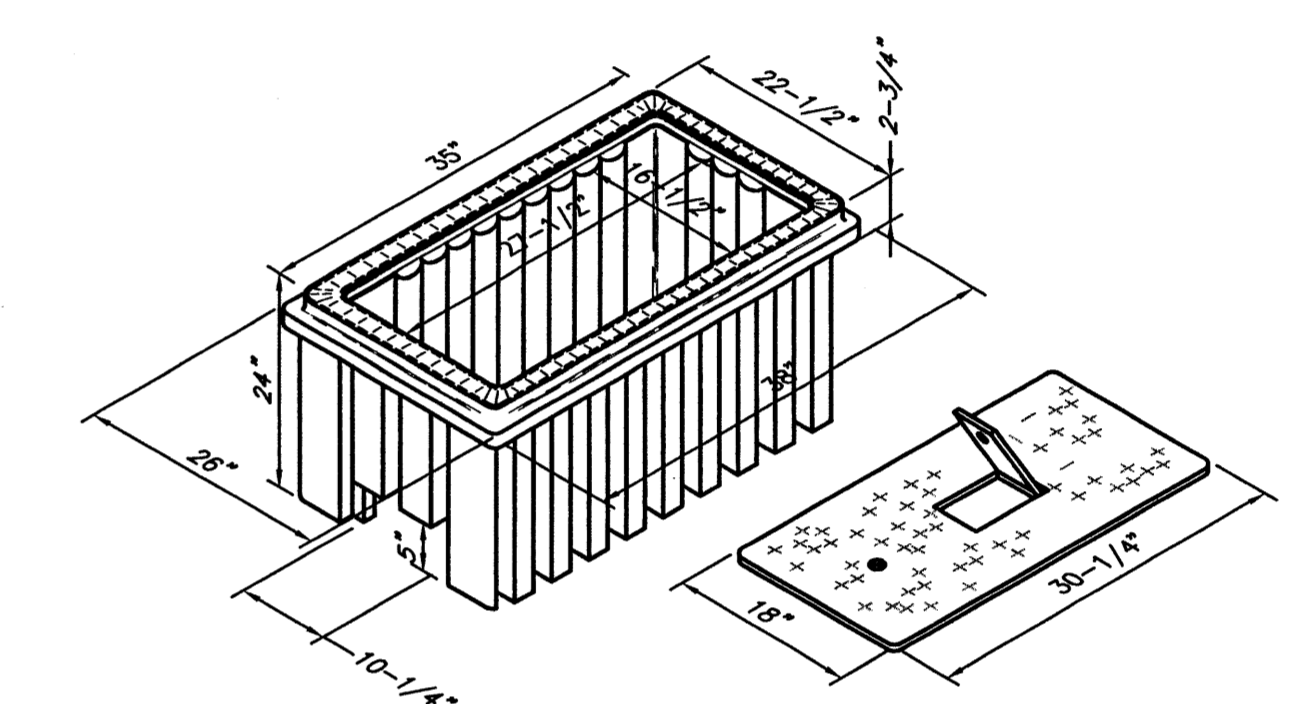
TRACT 13  
BLACK RANCH  
Boundary Survey Plat filed 6-17-97  
Vol. 97S, Folio 69



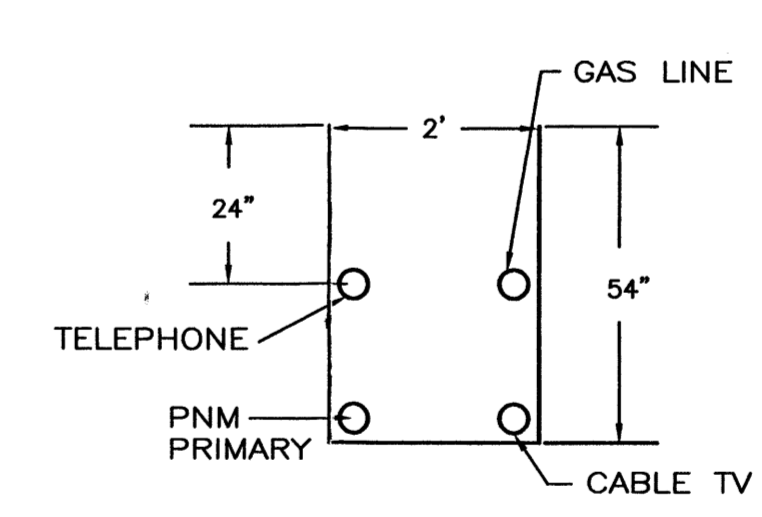
- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
  2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
  4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
  5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
  6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS OF NEW MEXICO UTILITIES INCORPORATED AND WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1999), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THOSE FACILITIES NOT WITHIN DEDICATED EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING



**2' METER BOX DETAIL**  
NTS

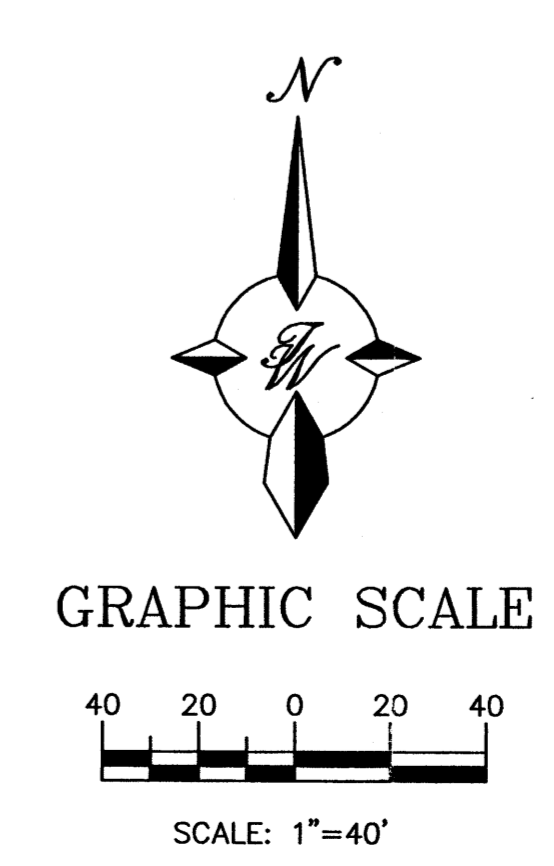


**UTILITY TRENCH DETAIL**  
NTS

**GENERAL NOTES**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER U.P.C.

**CAUTION**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



|                                  |   |                    |
|----------------------------------|---|--------------------|
| ENGINEER'S SEAL                  | <b>COTTONWOOD CROSSING PHASE 2</b>  | DRAWN BY JDN       |
|                                  | <b>MASTER UTILITY PLAN</b>  | DATE 12-01-03      |
|                                  |   | 2297MUE-12-1-03    |
|                                  | <b>TERRA WEST, LLC</b><br>8509 JEFFERSON NE<br>ALBUQUERQUE, NEW MEXICO 87113<br>(505)858-3100 | SHEET # <b>C-2</b> |
| RONALD R. BOHANNAN<br>P.E. #7868 |   | JOB # 220097       |

98C-157(3)

**TRACTS 14-A AND 14-B  
BLACK RANCH**  
(BEING A REPLAT OF TRACT 14, BLACK RANCH)  
WITHIN THE  
TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JANUARY, 1998

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Page: 1 of 3  
06/03/1998 12:33P  
Judy D. Woodward Bern. Co. PLRT R 17.99 Bk-98C Pg-157

**EASEMENT TABLE**

- A. Sanitary Sewer Easement to New Mexico Utilities, Inc. filed September 21, 1981, Book Misc. 880, page 1
- B. Overhead Utility Easement to PNM & Mountain States Telephone & Telegraph filed Sept. 19, 1989, Book Misc. 790-A, page 499
- C. Easement for Underground Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2661
- D. Easement for Floodway & Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2669
- E. Temporary Road Easement to A.M.A.F.C.A. filed May 12, 1994, Book BCR 94-15, page 4448
- F. Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6668
- G. Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6671
- H. Reciprocal Easement filed Oct. 21, 1996, in Book BCR 96-28, page 2764
- I. Easement to New Mexico Utilities, filed April 24, 1998, in Book BCR 98-08, Page 8481.
- J. Easement to Mountain States Telephone & Telegraph, filed January 16, 1930, in Book 112, page 68 (Blanket Easement)
- K. Easement to Mountain States Telephone & Telegraph, filed March 28, 1930, in Book 112, page 196 (Blanket Easement)
- L. DELETED
- M. Easement to New Mexico Utilities, Inc., filed September 21, 1981, in Book Misc. 880, page 4
- N. DELETED
- P. DELETED
- Q. Easement to New Mexico Utilities, Inc., filed October 18, 1996, in Book BCR 96-28, page 1809
- R. Albuquerque Metropolitan Arroyo Flood Control Authority Easement filed- August 10, 1983, Misc. 38A, pages 64-67.

**NOTE:**  
Upon development of either Tract 14-A or 14-B, a drainage plan shall be prepared for AMAFCA review and approval. Existing easements may be vacated and new easements or right of way may be required at that time pending proposed relocation of pond.

**TANGENT TABLE**

| LINE | DIRECTION   | DISTANCE |
|------|-------------|----------|
| L1   | N43°34'08"E | 102.38'  |
| L2   | N59°21'00"W | 40.00'   |
| L3   | N59°21'00"W | 90.00'   |
| L4   | S59°21'00"E | 30.02'   |
| L5   | N70°48'53"W | 73.38'   |
| L6   | S68°13'32"W | 122.23'  |
| L7   | S21°26'02"W | 5.34'    |
| L8   | N48°31'30"E | 214.60'  |

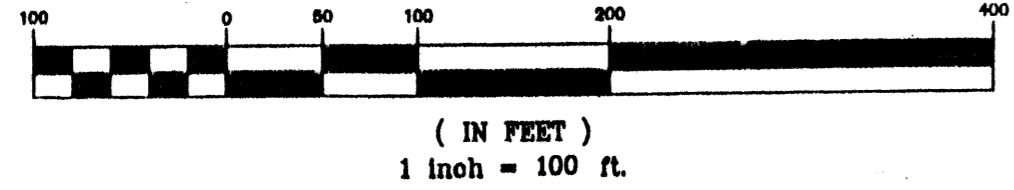
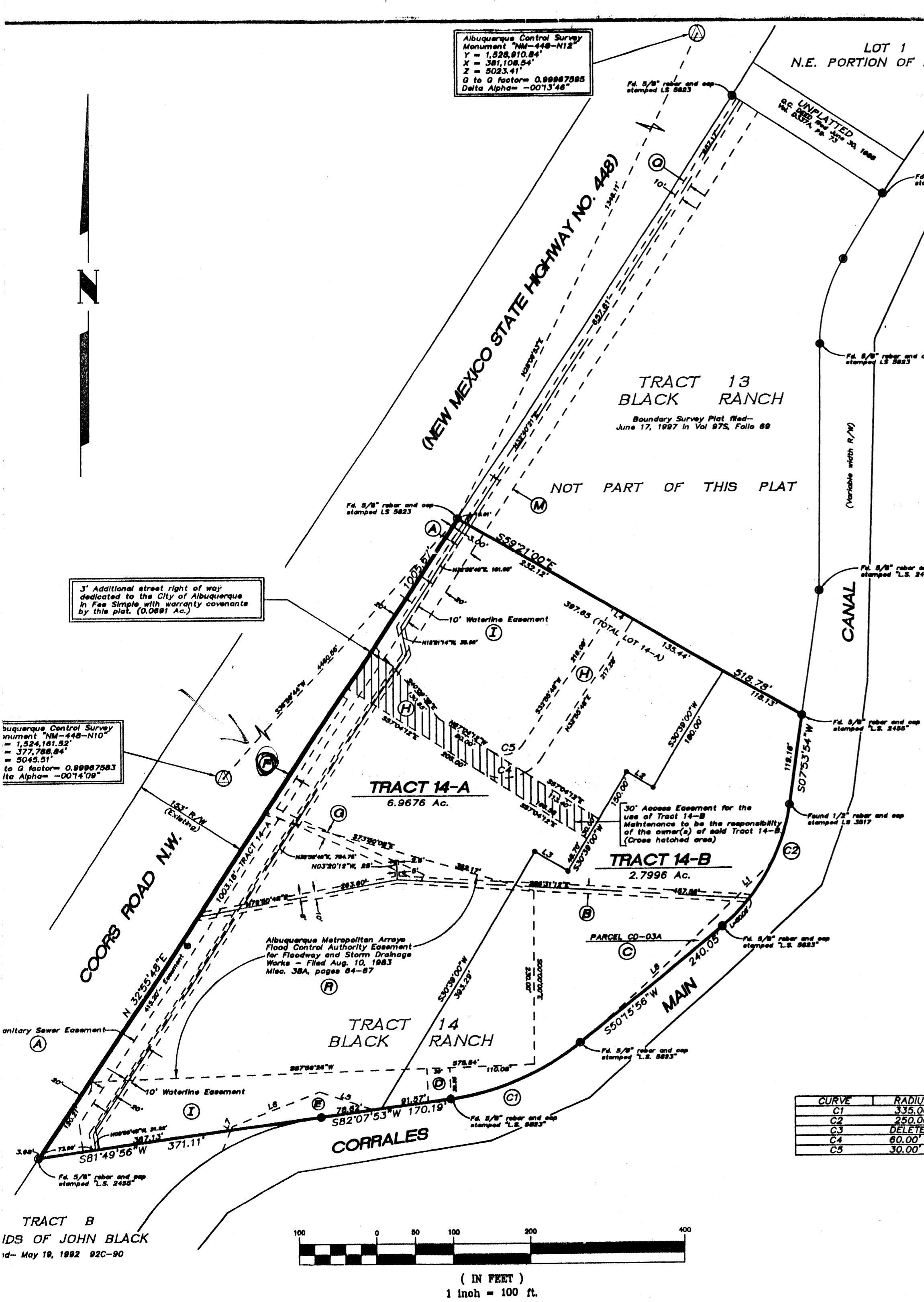
**CURVE TABLE**

| CURVE | RADIUS  | LENGTH  | TANGENT | CHORD   | BEARING     | DELTA     |
|-------|---------|---------|---------|---------|-------------|-----------|
| C1    | 335.00' | 188.31' | 95.64'  | 163.92' | S66°11'55"W | 31°51'57" |
| C2    | 250.00' | 184.66' | 96.89'  | 180.68' | S29°05'55"W | 42°22'02" |
| C3    | DELETED |         |         |         |             |           |
| C4    | 60.00'  | 94.25'  | 60.00'  | 84.85'  | N77°55'48"E | 90°00'00" |
| C5    | 30.00'  | 47.12'  | 30.00'  | 42.43'  | N77°55'48"E | 90°00'00" |



SHEET 3 OF 3

**SURVOTEK, INC.**  
Consulting Surveyors  
6645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

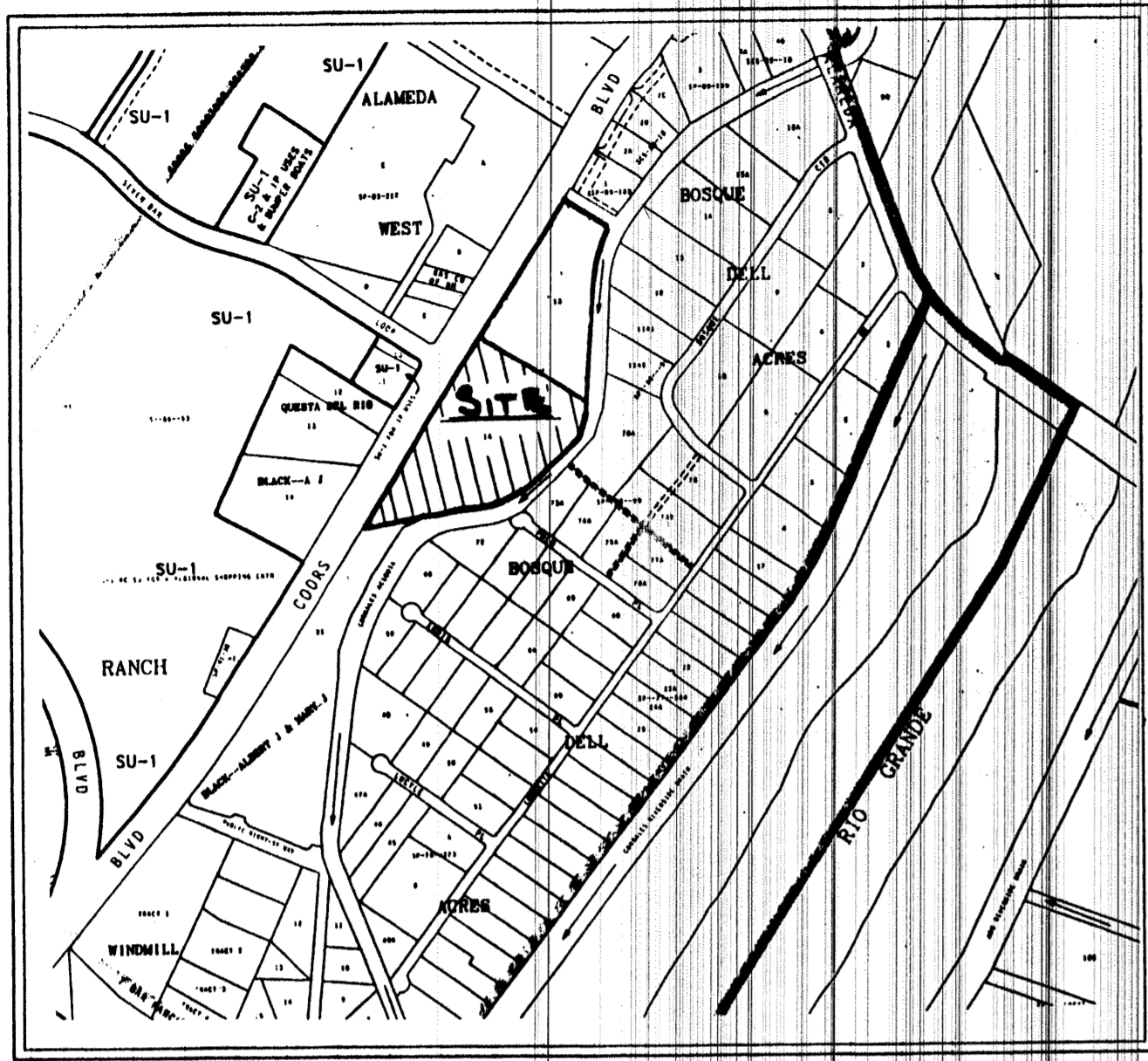


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98C-157(3)

98C-157(3)

**TRACTS 14-A AND 14-B  
 BLACK RANCH**  
 (BEING A REPLAT OF TRACT 14, BLACK RANCH)  
 WITHIN THE  
**TOWN OF ALAMEDA GRANT**  
 IN  
**PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
**JANUARY, 1998**

11251-28B



**Vicinity Map**  
 N.T.S.

**GENERAL NOTES**

- Bearings are based on the New Mexico State Plane Coordinate System, Central Zone (NAD27) and rotated to grid at the New Mexico State Highway Commission Monument "NM-44B-N12".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Delta Alpha = -00° 10' 46"
- Combined ground to grid factor = 0.99967695
- All corners are a 5/8" rebar and cap stamped "LS 5823" unless otherwise indicated.
- Record information, where it differs from that found in the field, is shown in parenthesis (xxx).
- Zone Atlas Page B-14
- U.C.L.S. LOG NUMBER 97071611420314

**DISCLOSURE STATEMENT**

The purpose of this plat is to create the tracts shown hereon in conformance to current zoning, to grant to the public the easements shown hereon and to dedicate to the City of Albuquerque in fee simple with warranty covenants, the additional street right of way as shown hereon.

**NOTE:**

These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary sewer System capabilities are based on the NMU, Inc. facilities, not the City of Albuquerque. Water and Sanitary Sewer Infrastructure Improvements must, however, be approved by both the City of Albuquerque and NMU, Inc.

**THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1-216-665-181-313-2-305**  
 PROPERTY OWNER OF RECORD:  
*Joseph M. Serran*  
 BERNALILLO COUNTY TREASURER'S OFFICE:  
*Viola Tessa*

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- U.S. West Communications for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- Jones Intercable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of sanitary sewer lines, waterlines, and other related equipment and facilities reasonably necessary to provide sanitary sewer and water service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easements shown on this plat which it may be entitled.

**APPROVALS**

- |                            |          |
|----------------------------|----------|
| <i>Joe Dunlop</i>          | 3-19-98  |
| PNM Gas Services           | Date     |
| <i>Paul Phil</i>           | 3-19-98  |
| PNM Electric Services      | Date     |
| <i>Catharina Schauder</i>  | 04-14-98 |
| US West Communications     | Date     |
| <i>Viola Watson</i>        | 3-19-98  |
| Jones Intercable           | Date     |
| <i>[Signature]</i>         | 4-21-97  |
| New Mexico Utilities, Inc. | Date     |

**APPROVALS**

- |  |         |
|--|---------|
| <i>[Signature]</i>   | 5-27-98 |
| Traffic Engineer, City of Albuquerque<br>Public Works Department             | Date    |
| <i>[Signature]</i>   | 020998  |
| City Surveyor, City of Albuquerque<br>Public Works Department                | Date    |
| <i>[Signature]</i>   | 5-27-98 |
| Utility Development Division, City of Albuquerque<br>Public Works Department | Date    |
| <i>[Signature]</i>   | 5-14-98 |
| Albuquerque Metropolitan Arroyo Flood Control Authority                      | Date    |
| <i>[Signature]</i>   | 5-27-98 |
| City Engineer, City of Albuquerque<br>Public Works Department                | Date    |
| <i>[Signature]</i>   | 5-29-98 |
| Property Management, City of Albuquerque                                     | Date    |
| <i>[Signature]</i>   | 5-27-98 |
| Design and Development, CIP<br>City of Albuquerque                           | Date    |
| APPROVAL as specified by the Albuquerque Subdivision Ordinance.              |         |
| <i>[Signature]</i>   | 5/29/98 |
| Chairman, Albuquerque/Bernalillo County<br>Development Review Board          | Date    |

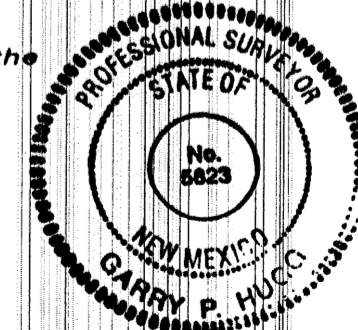
DRB-98-61

**SURVEYORS CERTIFICATION**

I, Garry P. Hugg, New Mexico Professional Surveyor Number 5823, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*[Signature]*

Garry P. Hugg  
 NMPS No. 5823  
 January 5, 1998



SHEET 1 OF 3

98C-157(1)

**TRACTS 14-A AND 14-B  
BLACK RANCH**  
(BEING A REPLAT OF TRACT 14, BLACK RANCH)  
WITHIN THE  
**TOWN OF ALAMEDA GRANT**  
IN  
**PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
JANUARY, 1998

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Page: 2 of 3  
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Bk-98C Pg-157

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Alameda Grant in projected Section 8, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising Tract Fourteen (14), Black Ranch, lying Westerly of the Westerly right of way line of the Corrales Main Canal, as the same are shown and designated on that certain Boundary Survey Plat entitled "TRACTS 13 AND 14, BLACK RANCH WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on June 17, 1997 in Volume 975, Folio 69 more particularly described by survey performed by Garry P. Hugg, New Mexico Professional Surveyor Number 5823, using the New Mexico State Plane Coordinate System, Central Zone (NAD27) grid bearings and ground distances, as follows:

BEGINNING at the Northwest corner of said Tract 14 and the Northwest corner of the parcel herein described, a point on the Southeastly right of way line of Coors Road N.W. (a 5/8" rebar and cap stamped LS 5823 found in place), whence (1) the New Mexico State Highway Commission Monument "NM-448-N12" bears N 28° 09' 53" E, 1348.11 feet distant, and (2) the New Mexico State Highway Commission Monument "NM-448-N10" bears S 38° 59' 44" W, 4480.55 feet distant; Thence,

S 59° 21' 00" E, 518.78 feet along the Northerly line of said Tract 14 to the Northeast corner of said Tract 14 and a point on the Westerly right of way line of the Corrales Main Canal (a 5/8" rebar and cap stamped LS 5823 found in place); Thence Southwesterly along said Westerly right of way line of the Corrales Main Canal for the following five (5) courses:

S 07° 53' 54" W, 119.16 feet to a point of curvature (a 1/2" rebar and cap stamped LS 3517 found in place); Thence,

Southwesterly, 184.86 feet on the arc of a curve to the right (said curve having a radius of 250.00 feet, a central angle of 42° 22' 02" and a chord which bears S 29° 05' 55" W, 180.68 feet) to a point of tangency (a 5/8" rebar and cap stamped LS 5823 found in place); Thence,

S 50° 15' 56" W, 240.05 feet to a point of curvature (a 5/8" rebar and cap stamped LS 5823 found in place); Thence,

Southwesterly, 186.31 feet on the arc of a curve to the right (said curve having a radius of 335.00 feet, a central angle of 31° 51' 57" and a chord which bears S 66° 11' 55" W, 183.92 feet) to a point of tangency (a 5/8" rebar and cap stamped LS 5823 found in place); Thence,

S 82° 07' 53" W, 170.19 feet to a point of curvature (a 5/8" rebar and cap stamped LS 5823 found in place); Thence leaving said Northwesterly right of way line,

S 81° 49' 56" W, 371.11 feet along the Southerly line of said Tract 14 to the Southwest corner of said Tract 14 and the Southwest corner of the parcel herein described, a point on said Southwesterly right of way line of Coors Road N.W. (a 5/8" rebar and cap stamped LS 2455 found in place); Thence,

N 32° 55' 48" E, 1005.67 feet along said Southeastly right of way line of Coors Road N.W. to the Northwest corner and point of beginning of the parcel herein described.

Said Parcel contains 9.8363 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising TRACTS 14-A AND 14-B, BLACK RANCH, (BEING A REPLAT OF TRACT 14, BLACK RANCH), WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate to the City of Albuquerque, in fee simple with warranty covenants, the additional street right of way as shown hereon. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, all easements as shown hereon and do hereby represent that they are so authorized to act.

OWNERS OF TRACTS 14-A AND 14-B  
The Albert J. Black and Mary Jane Black Revocable Trust

*A. Rolfe Black*  
A. Rolfe Black, Successor Co Trustee

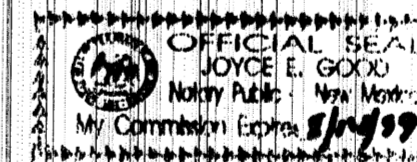
*John F. Black*  
John F. Black, Successor Co Trustee

**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on this 10 day of February, 1998, by A. Rolfe Black and John F. Black.

*Judy D. Woodward*  
Notary Public  
8/14/99  
My Commission expires



SHEET 2 OF 3

**SURVOTEK, INC.**  
Consulting Surveyors  
6645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-597-5366  
Fax: 505-597-5377

98C-15712

98C-15712

**LEGAL DESCRIPTION**  
 BLACK RANCH WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO  
**CURRENT ZONING**  
 TRACT 14-A SU-1 FOR C-1 AND RESTAURANT W/ FULL SERVICE LIQUOR  
 TRACT 14-B SU-1 FOR O-1  
**TOTAL ACREAGE**  
 TRACT 14-A/B 9.769 AC

**PARKING REQUIREMENTS:**  
 SHOPS 1 : 5,400 SF (RETAIL)  
 5,400 / 200 = 27 REQUIRED SPACES  
 PROVIDED SPACES= 28 SPACES

ITALIAN RESTAURANT : 7,200 SF (REST.)  
 300 SEATS/ 3 = 100 REQUIRED SPACES  
 PROVIDED SPACES= 102 SPACES

RESTAURANT : 9,500 SF (REST.)  
 225 SEATS/ 3 = 75 REQUIRED SPACES  
 PROVIDED SPACES= 75 SPACES

FAST FOOD : 4,500 SF (REST.)  
 90 SEATS/ 3 = 30 REQUIRED SPACES  
 PROVIDED SPACES= 30 SPACES

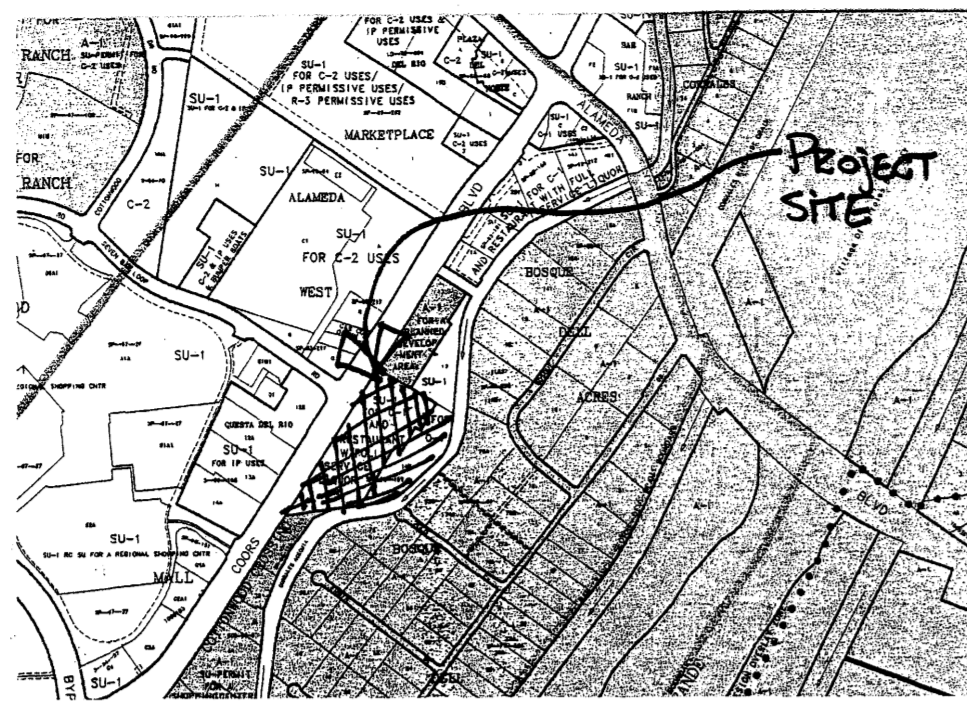
**TOTAL PARKING SPACES REQUIRED**  
 TOTAL REQUIRED SPACES= 232 REQUIRED SPACES  
 TOTAL PROVIDED SPACES= 280 PROVIDED SPACES

**BICYCLE SPACE REQUIREMENT**  
 1 BIKE SPACE PER 20 CARS  
 280 / 20 = 14 REQUIRED BIKE SPACES  
 TOTAL PROVIDED BIKE SPACES PROVIDED 20 BIKE SPACES

**HC PARKING REQUIREMENT**  
 TOTAL HC PARKING SPACES REQUIRED = 8 REQUIRED SPACES  
 TOTAL HC PARKING SPACES PROVIDED = 16 PROVIDED SPACES

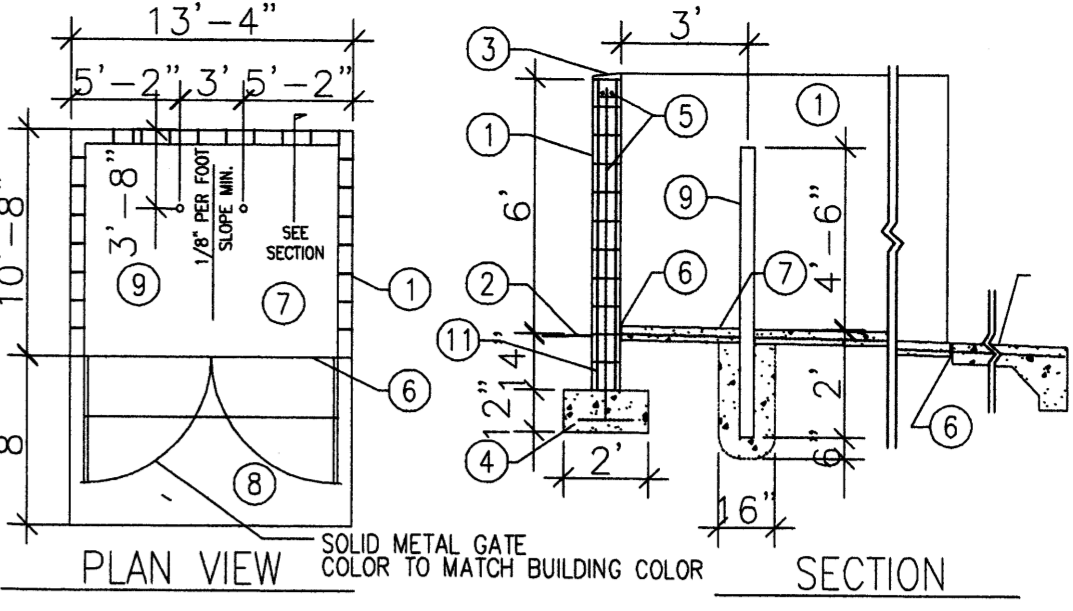
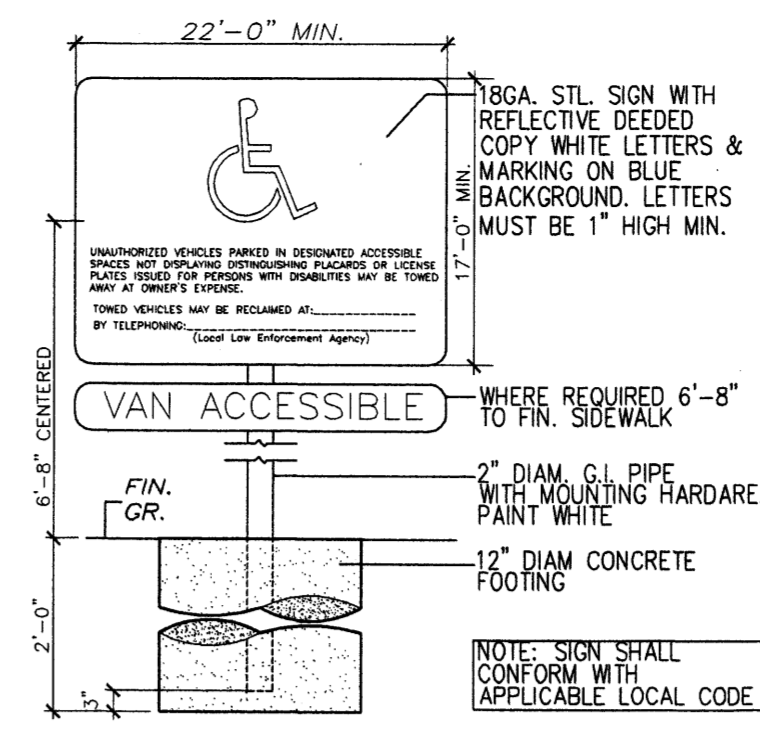
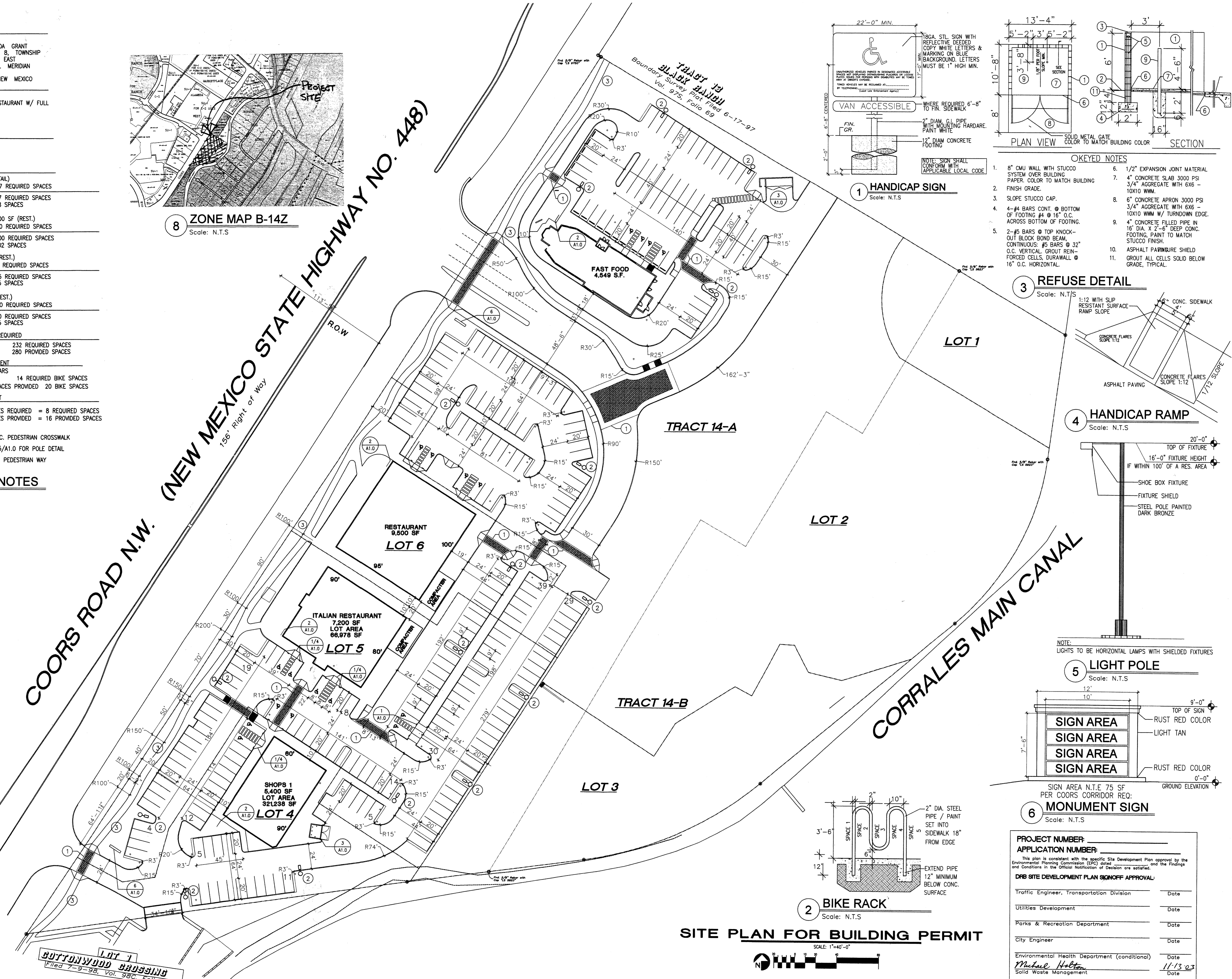
- ① RAISED AND TEXTURED CONC. PEDESTRIAN CROSSWALK
- ② LIGHT POLE LOCATION RE: 5/A1.0 FOR POLE DETAIL
- ③ 6' WIDE MEANDERING CONC. PEDESTRIAN WAY

**7 GENERAL NOTES**  
 Scale: N.T.S

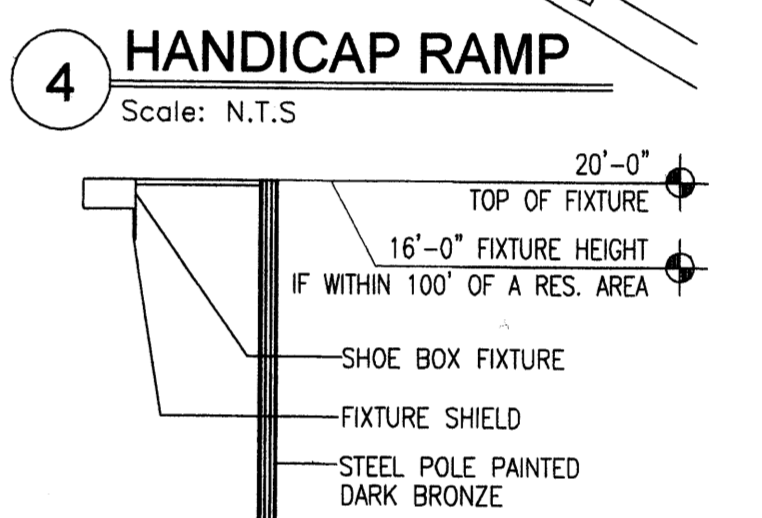
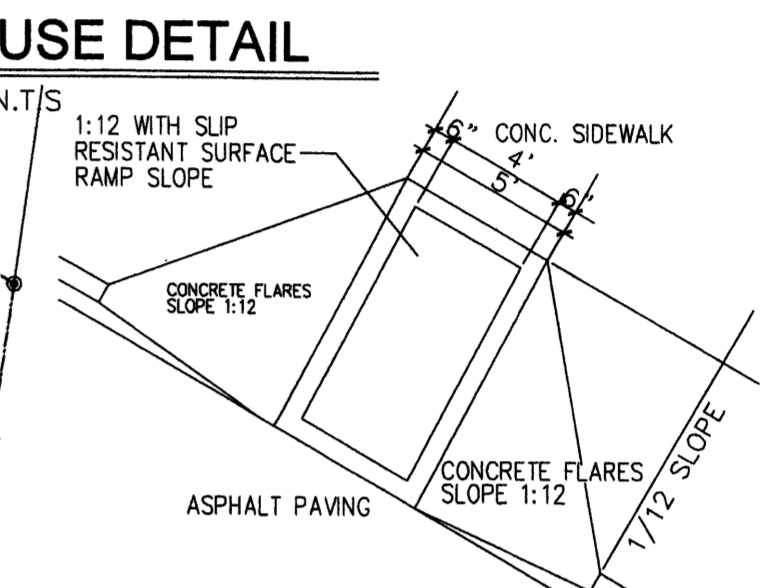


**8 ZONE MAP B-14Z**  
 Scale: N.T.S

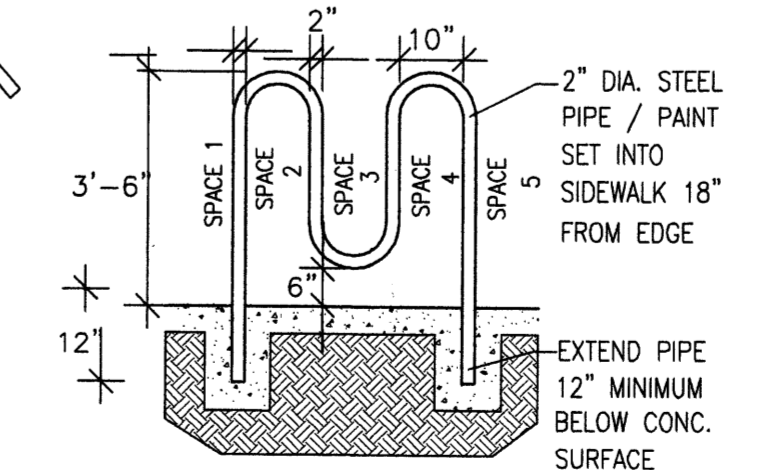
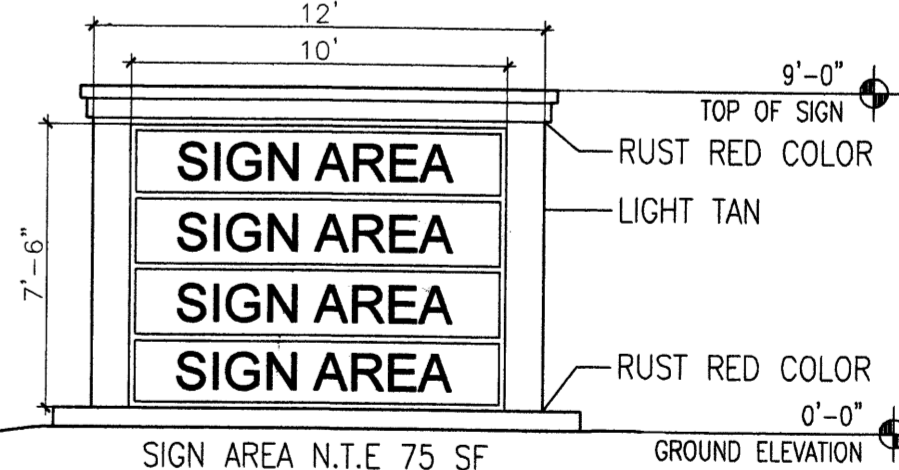
**COORS ROAD N.W. (NEW MEXICO STATE HIGHWAY NO. 448)**  
 150' Right of Way



- KEYED NOTES**
- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR TO MATCH BUILDING FINISH GRADE.
  - SLOPE STUCCO CAP.
  - 4-#4 BARS @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
  - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DRAINWALL @ 16" O.C. HORIZONTAL.
  - 1/2" EXPANSION JOINT MATERIAL
  - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M.
  - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ TURNDOWN EDGE.
  - 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
  - ASPHALT PAVEMENT SHIELD GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.



NOTE:  
 LIGHTS TO BE HORIZONTAL LAMPS WITH SHIELDED FIXTURES



**SITE PLAN FOR BUILDING PERMIT**



**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

|   |       |      |          |
|---|-------|------|----------|
| Traffic Engineer, Transportation Division     | _____ | Date | _____    |
| Utilities Development                         | _____ | Date | _____    |
| Parks & Recreation Department                 | _____ | Date | _____    |
| City Engineer                                 | _____ | Date | _____    |
| Environmental Health Department (conditional) | _____ | Date | 11/13/03 |
| Solid Waste Management                        | _____ | Date | _____    |
| DRB Chairperson, Planning Department          | _____ | Date | _____    |

| REV | DATE | BY | REVISION |
|-----|------|----|----------|
| 1   |      |    |          |
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**GEORGE RAINHART ARCHITECT AND ASSOCIATES P.C.**  
 2925 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

**PROJECT TITLE**  
 TRACT 14 COTTONWOOD CROSSING  
 COORS BLVD. N.W.  
 ALBUQUERQUE NEW MEXICO

**PROJECT MANAGER**  
 STEPHEN DUNBAR

**DRAWN BY:**  
 SD

**SHEET TITLE**  
 SITE PLAN FOR BUILDING PERMIT

**DATE:** 10/10/03  
**SCALE:** 1"=40'  
**SHEET:** A1.0 of \_\_\_\_\_

**LEGAL DESCRIPTION**  
 BLACK RANCH WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN PROJECTED SECTION 8, TOWNSHIP  
 11 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
**CURRENT ZONING**  
 TRACT 14-A  
 SU-1 FOR C-1 AND RESTAURANT W/ FULL  
 SERVICE LIQUOR  
 TRACT 14-B  
 SU-1 FOR O-1  
**TOTAL ACREAGE**  
 TRACT 14-A/B  
 9.789 AC

**PARKING REQUIREMENTS:**  
 SHOPS 1 : 5,400 SF (RETAIL)  
 5,400 / 200 = 27 REQUIRED SPACES  
 REQUIRED SPACES= 27 REQUIRED SPACES  
 PROVIDED SPACES= 28 SPACES

ITALIAN RESTAURANT : 7,200 SF (REST.)  
 300 SEATS/ 3 = 100 REQUIRED SPACES  
 REQUIRED SPACES= 100 REQUIRED SPACES  
 PROVIDED SPACES= 102 SPACES

RESTAURANT : 9,500 SF (REST.)  
 225 SEATS/ 3 = 75 REQUIRED SPACES  
 REQUIRED SPACES= 75 REQUIRED SPACES  
 PROVIDED SPACES= 75 SPACES

FAST FOOD : 4,500 SF (REST.)  
 90 SEATS/ 3 = 30 REQUIRED SPACES  
 REQUIRED SPACES= 30 REQUIRED SPACES  
 PROVIDED SPACES= 30 SPACES

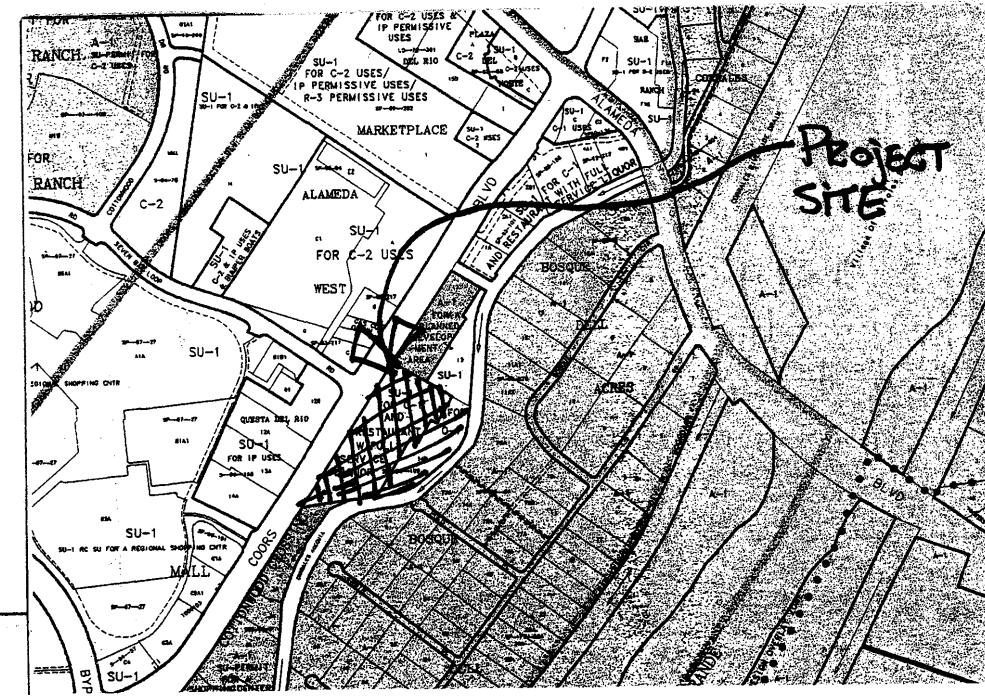
**TOTAL PARKING SPACES REQUIRED**  
 TOTAL REQUIRED SPACES= 232 REQUIRED SPACES  
 TOTAL PROVIDED SPACES= 280 PROVIDED SPACES

**BICYCLE SPACE REQUIREMENT**  
 1 BIKE SPACE PER 20 CARS  
 280 / 20 = 14 REQUIRED BIKE SPACES  
 TOTAL PROVIDED BIKE SPACES PROVIDED 20 BIKE SPACES

**HC PARKING REQUIREMENT**  
 TOTAL HC PARKING SPACES REQUIRED = 8 REQUIRED SPACES  
 TOTAL HC PARKING SPACES PROVIDED = 16 PROVIDED SPACES

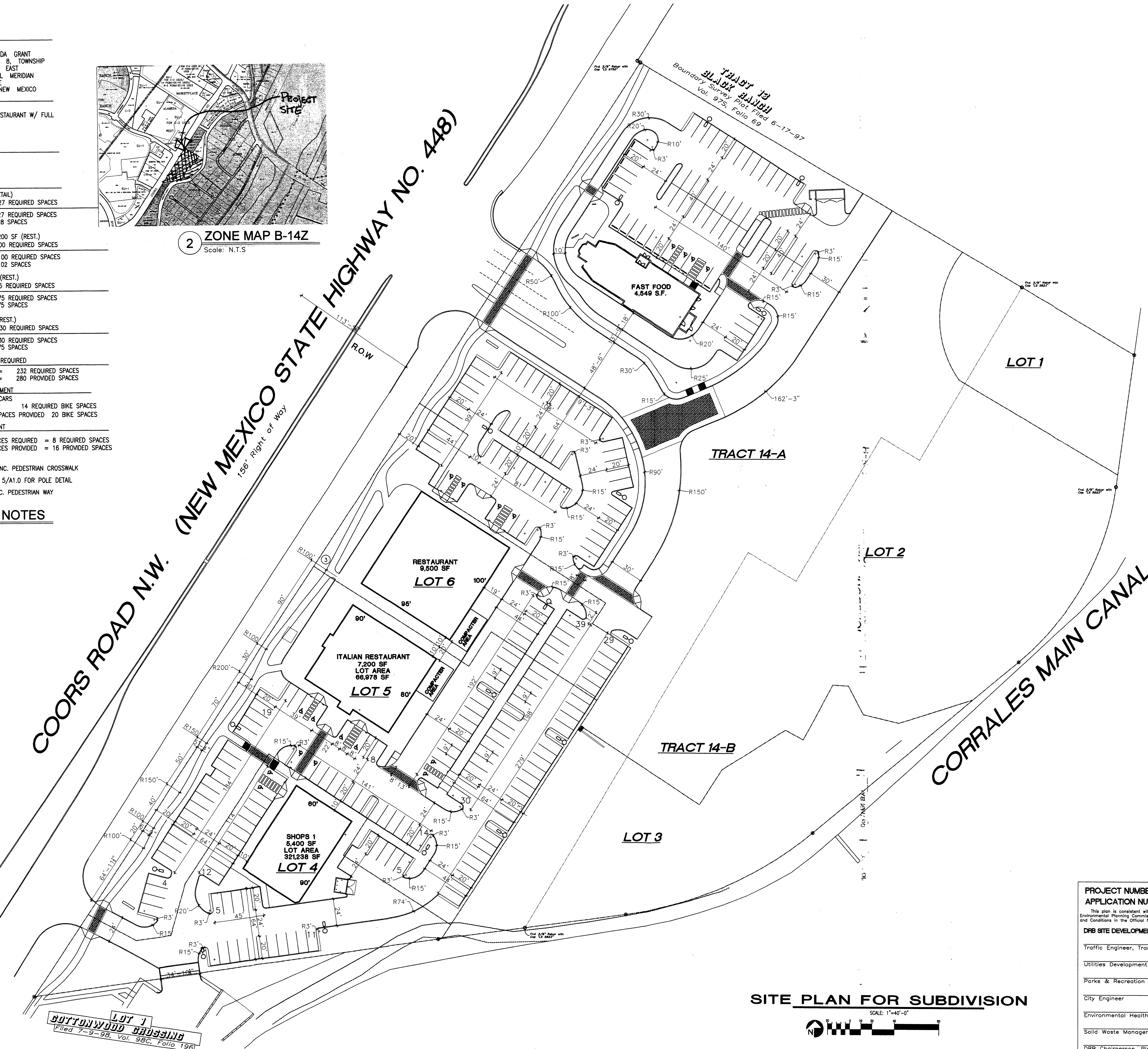
- ① RAISED AND TEXTURED CONC. PEDESTRIAN CROSSWALK
- ② LIGHT POLE LOCATION RE: 5'/A1.0 FOR POLE DETAIL
- ③ 6' WIDE MEANDERING CONC. PEDESTRIAN WAY

**1 GENERAL NOTES**  
 Scale: N.T.S

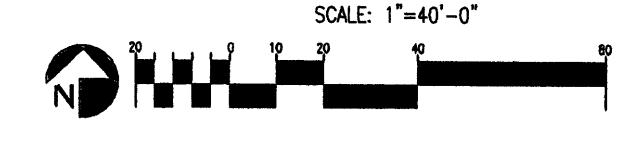


**2 ZONE MAP B-14Z**  
 Scale: N.T.S

**COORS ROAD N.W. (NEW MEXICO STATE HIGHWAY NO. 448)**  
 156' Right of Way  
 R.O.W.



**SITE PLAN FOR SUBDIVISION**



**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

|   |       |      |       |
|---|-------|------|-------|
| Traffic Engineer, Transportation Division     | _____ | Date | _____ |
| Utilities Development                         | _____ | Date | _____ |
| Parks & Recreation Department                 | _____ | Date | _____ |
| City Engineer                                 | _____ | Date | _____ |
| Environmental Health Department (conditional) | _____ | Date | _____ |
| Solid Waste Management                        | _____ | Date | _____ |
| DRB Chairperson, Planning Department          | _____ | Date | _____ |

| REV | DATE | BY | REVISION |
|-----|------|----|----------|
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**GEORGE RAINHART ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

**PROJECT TITLE**  
 TRACT 14 COTTONWOOD CROSSING  
 COORS BLVD. N.W.  
 ALBUQUERQUE, NEW MEXICO

**PROJECT MANAGER**  
 STEPHEN DUNBAR

**JOB NO.** \_\_\_\_\_  
**DRAWN BY:**  
 SD

**SHEET TITLE**  
 SITE PLAN FOR SUBDIVISION

**DATE:** 10/10/03  
**SCALE:** 1"=40'  
**sheet-**  
**A11**  
 of \_\_\_\_\_

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE CALCULATIONS**

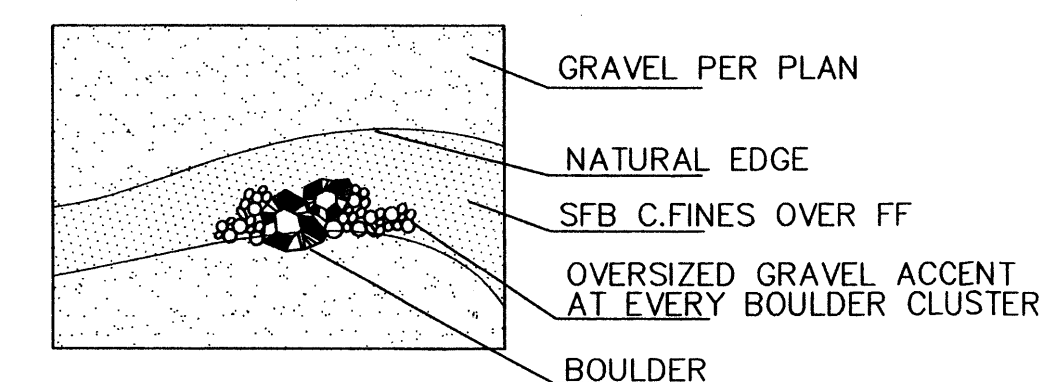
|                                |         |             |
|--------------------------------|---------|-------------|
| TOTAL LOT AREA                 | 226,770 | square feet |
| TOTAL BUILDINGS AREA           | 26,229  | square feet |
| OFFSITE AREA                   | 0       | square feet |
| NET LOT AREA                   | 200,541 | square feet |
| LANDSCAPE REQUIREMENT          | 15%     |             |
| TOTAL LANDSCAPE REQUIREMENT    | 30,081  | square feet |
| TOTAL LANDSCAPE PROVIDED       | 30,980  | square feet |
| GROUND COVER REQ.              | 75%     | square feet |
| TOTAL GROUND COVER REQUIREMENT | 23,235  | square feet |
| TOTAL GROUND COVER PROVIDED    | 25,295  | square feet |
| TOTAL BED PROVIDED             | 30,980  | square feet |
| TOTAL SOD PROVIDED             | 0       | square feet |
| TOTAL NATIVE SEED PROVIDED     | 191,416 | square feet |

**PLANT LEGEND**

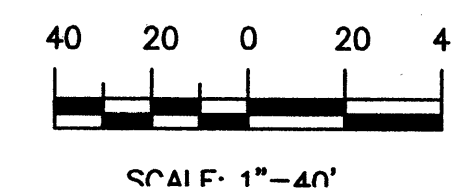
- COTTONWOOD (M) 13  
Populus fremontii  
2" Cal.
- HONEY LOCUST (H) 35  
Gleditsia triacanthos  
2" Cal.
- DESERT WILLOW (L) 4  
Chilopsis linearis  
5 Gal. 225sf
- BLUE MIST SPIREA (M) 64  
Caryopteris clandonensis  
5 Gal. 9sf
- APACHE PLUME (L) 28  
Fallugia paradoxa  
5 Gal. 25sf
- CHINESE PISTACHE (M) 8  
Pistachia chinensis  
2" Cal.
- AUSTRIAN PINE (H) 8  
Pinus nigra  
6'-8'
- NEW MEXICO OLIVE (M) 22  
Forestiera neomexicana  
15 Gal.
- MUGO PINE (M) 1  
Pinus mugo  
5 Gal.
- PALM YUCCA (L) 5
- RED YUCCA (L) 6  
Hesperaloe parviflora  
5 Gal. 9sf
- MAIDENGRASS (M) 101  
Miscanthus sinensis  
5 Gal. 16sf
- RUSSIAN SAGE (M) 69  
Perovskia atriplicifolia  
5 Gal. 25sf
- INDIAN HAWTHORN (M) 1  
Raphiolepis indica  
5 Gal. 16sf
- TAM JUNIPER (M) 39  
Juniperus sabina  
5 Gal. 225sf  
Symbol indicates 3 plants
- AUTUMN SAGE (M) 28  
Salvia greggii  
2 Gal. 9sf
- REGAL MIST (M) 6  
Muhlenbergia ridgens  
1 Gal. 9sf
- THREADGRASS (L) 10  
Stipa tenuissima  
1 Gal. 4sf
- HONEYSUCKLE (M) 98  
Lonicera sempervirens  
1 Gal. 200sf  
Unstaked-Groundcover
- CHAMISA (L) 88  
Chrysothamnus nauseosus  
1 Gal. 25sf
- WILDFLOWER 110  
1 Gal. 4sf
- NATURAL EDGE
- COMMERCIAL GRADE STEEL EDGING
- OVERSIZED GRAVEL & 11 BOULDERS

- ANNUALS
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- S.F. BROWN C.FINES WITH FILTER FABRIC
- CRIMP STRAW/NATIVE SEED

**GRAVEL ACCENT DETAIL**



**GRAPHIC SCALE**



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

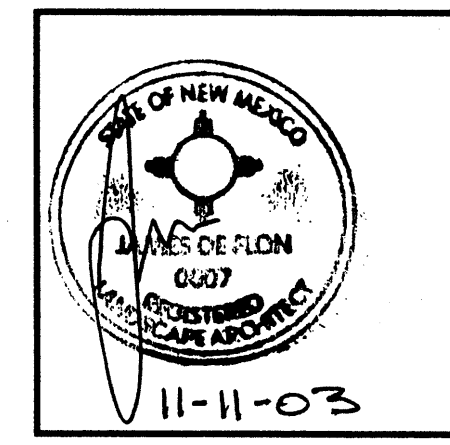
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmd@hilltoplandscaping.com  
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright law. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

**ZONING MAP B-14 Z NTS**

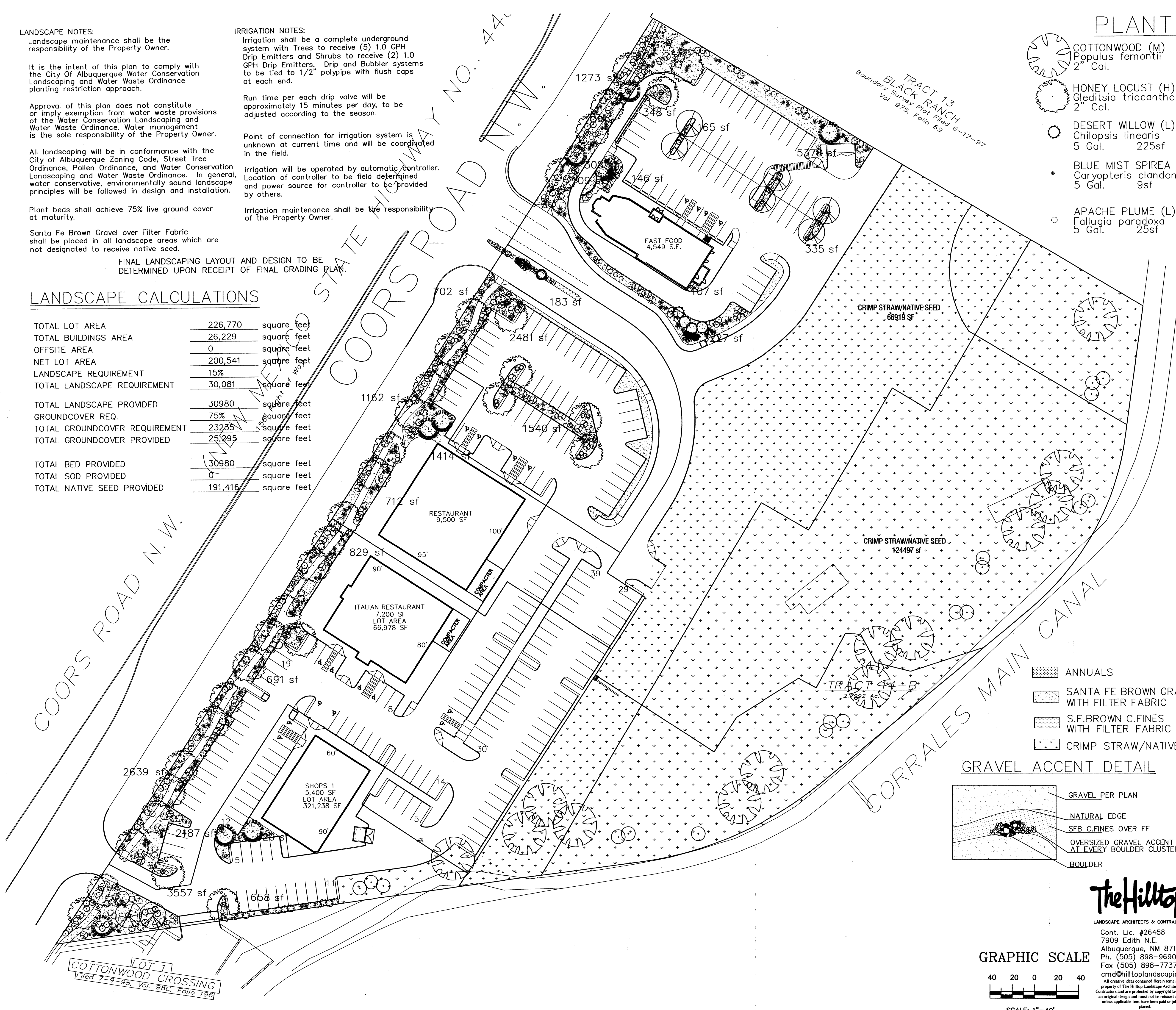
|   |            |
|---|------------|
| EPC CASE #  | DRB CASE # |
| This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [ ] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with: |            |
| <b>SITE DEVELOPMENT PLAN</b>  |            |
| Traffic Engineer, Transportation Division   | Date       |
| Parks and General Services Department   | Date       |
| Public Works, Water Utilities Division  | Date       |
| City Engineer, Engineering Division / AMAFCA  | Date       |
| <b>APPROVAL AND CONDITIONAL ACCEPTANCE:</b> as specified by the Development Process Manual.   |            |
| City Planner, Albuquerque / Bernalillo County Planning Division   | Date       |
| Solid Waste   |            |

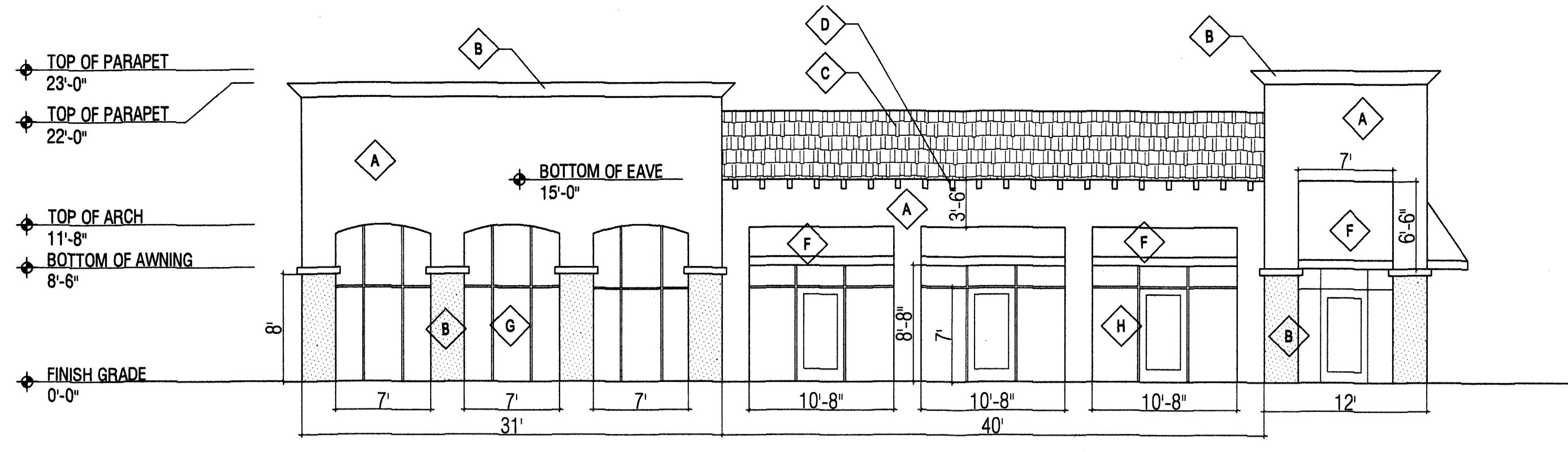
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2375 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-1877

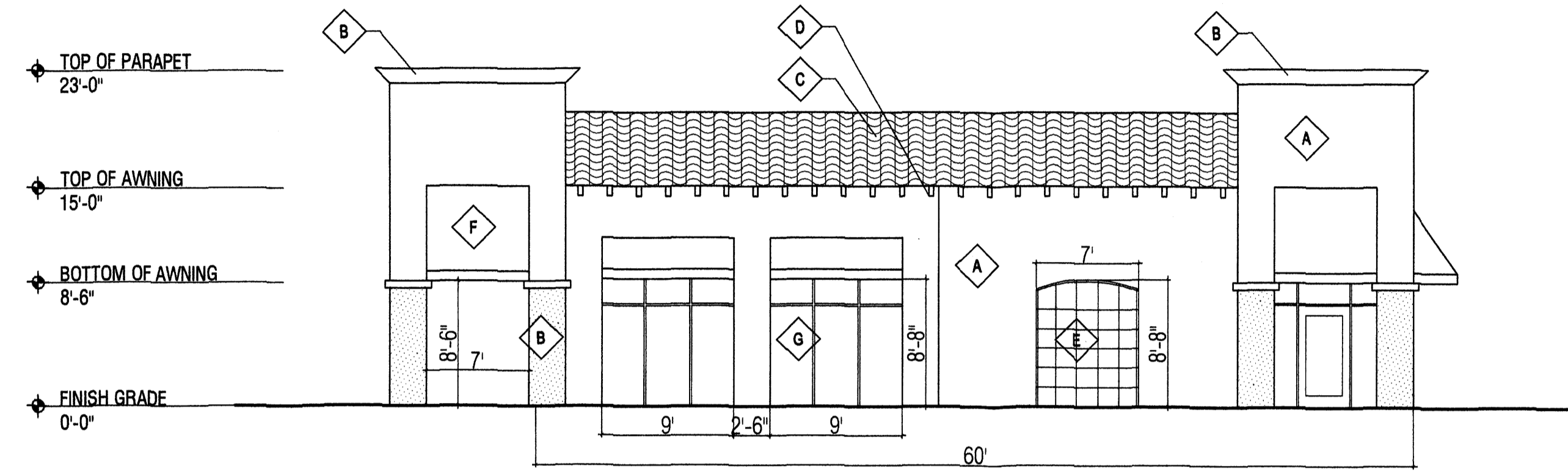


PROJECT TITLE: TRACT 14 COTTONWOOD CROSSING  
COORS BLVD. N.W. ALBUQUERQUE NEW MEXICO  
JOB NO. DRAWN BY: SD  
PROJECT MANAGER: STEPHEN DUNBAR  
SHEET TITLE: LANDSCAPE PLAN  
DATE: 10/10/03 sheet-1  
SCALE: 1"=40' of-

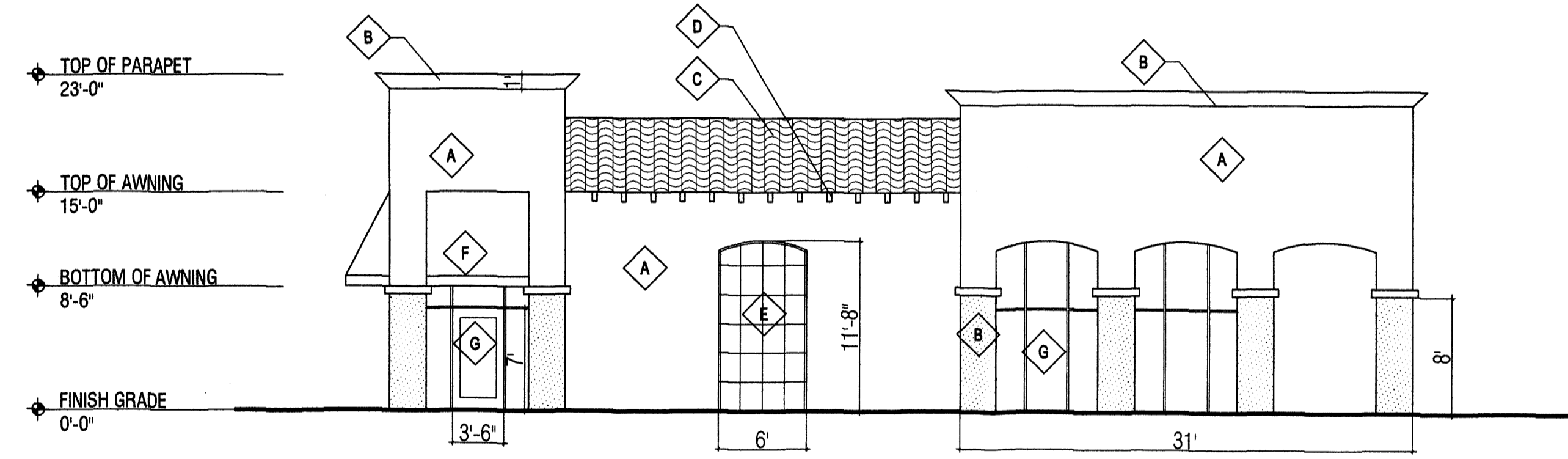




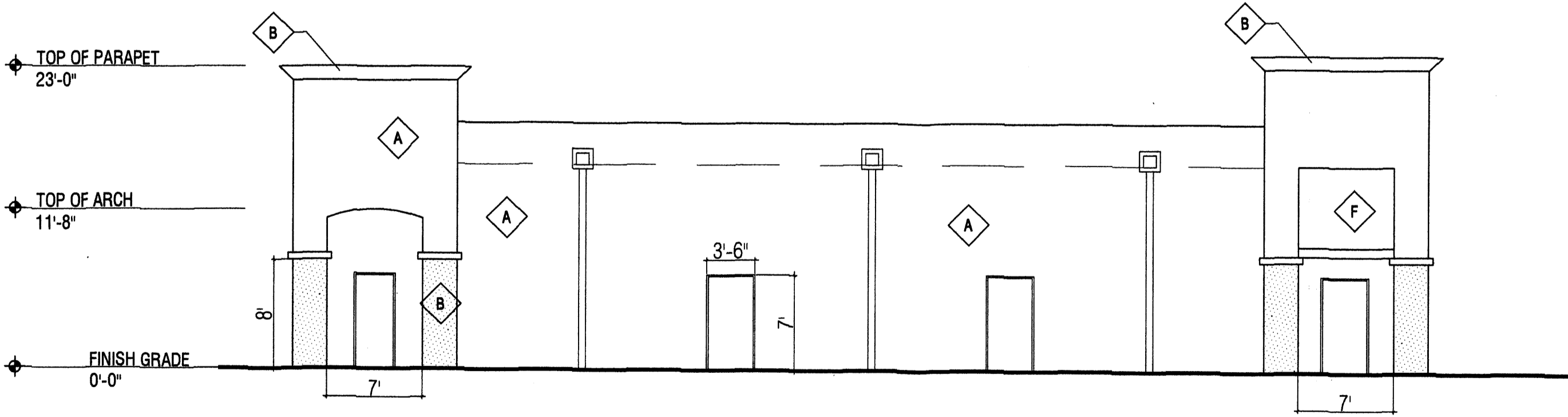
1 WEST ELEVATION  
1/8"=1'-0"



2 SOUTH ELEVATION  
1/8"=1'-0"



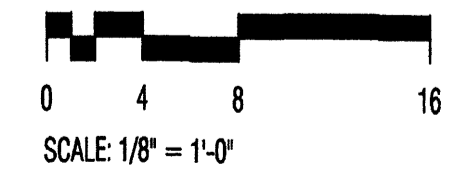
3 NORTH ELEVATION  
1/8"=1'-0"



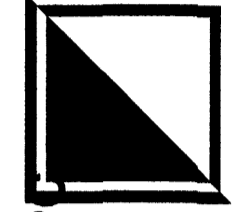
4 EAST ELEVATION  
1/8"=1'-0"

| LEGEND TO MATERIALS AND COLORS |   |   |  |
|--------------------------------|---|---|--|
| A                              | STUCCO<br>COCONUT GROVE SW 2428<br>(LIGHT TAN OR BEIGE)                                 | F | FABRIC AWING COLOR TO MATCH<br>2048 (DARK TAN) |
| B                              | STUCCO DARK COLOR<br>WESTERN RESERVE BIEGE SW2052 (TAN)                                 | G | ALUM STOREFRONT WINDOWS<br>TINTED GLASS        |
| C                              | ROOF TILE - MONIER DESERT DRIFTWOOD 16650   |   |  |
| D                              | WOOD VIGAS PAINTED TO MATCH<br>TIMBERRIDGE SW 2048 (DARK TAN)                           |   |  |
| E                              | 1"x1" METAL GRID ATTACHED TO WALL PAINTED TO<br>MATCH SW TIMBERRIDGE SW 2048 (DARK TAN) |   |  |

SHOPS BUILDING  
ELEVATIONS



| REV | DATE | BY | REVISION |
|-----|------|----|----------|
| 1   |      |    |          |
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| 4   |      |    |          |
| 5   |      |    |          |

  
**GEORGE RAINHART ARCHITECT AND ASSOCIATES P.A.**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
**COTTONWOOD CROSSING PHASE 2**  
 COORS AND SEVEN BAR LOOP  
 ALBUQUERQUE NEW MEXICO

PROJECT MANAGER  
GS

JOB NO.  
0308

DRAWN BY.  
GS

SHEET TITLE  
**BUILDING ELEVATIONS**

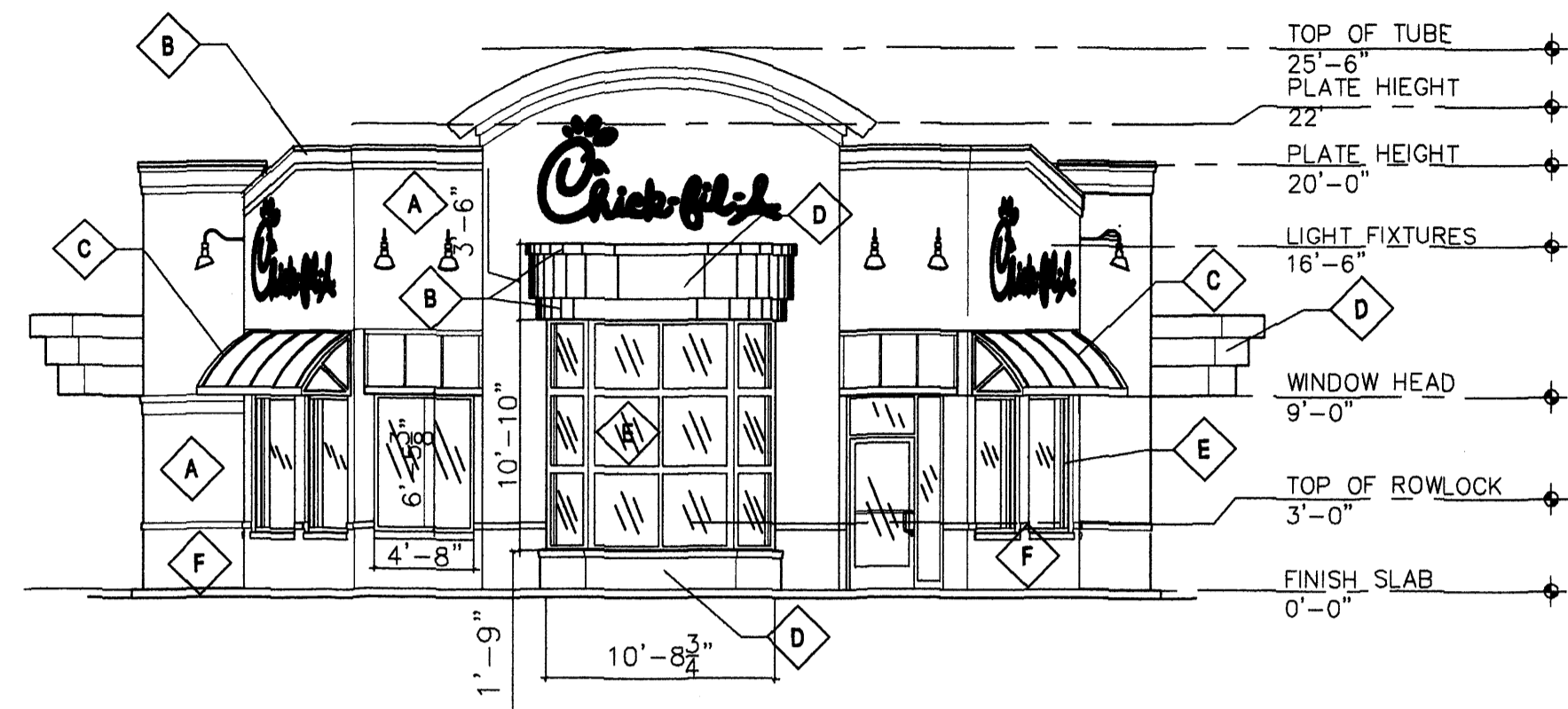
DATE  
6/30/03

SCALE  
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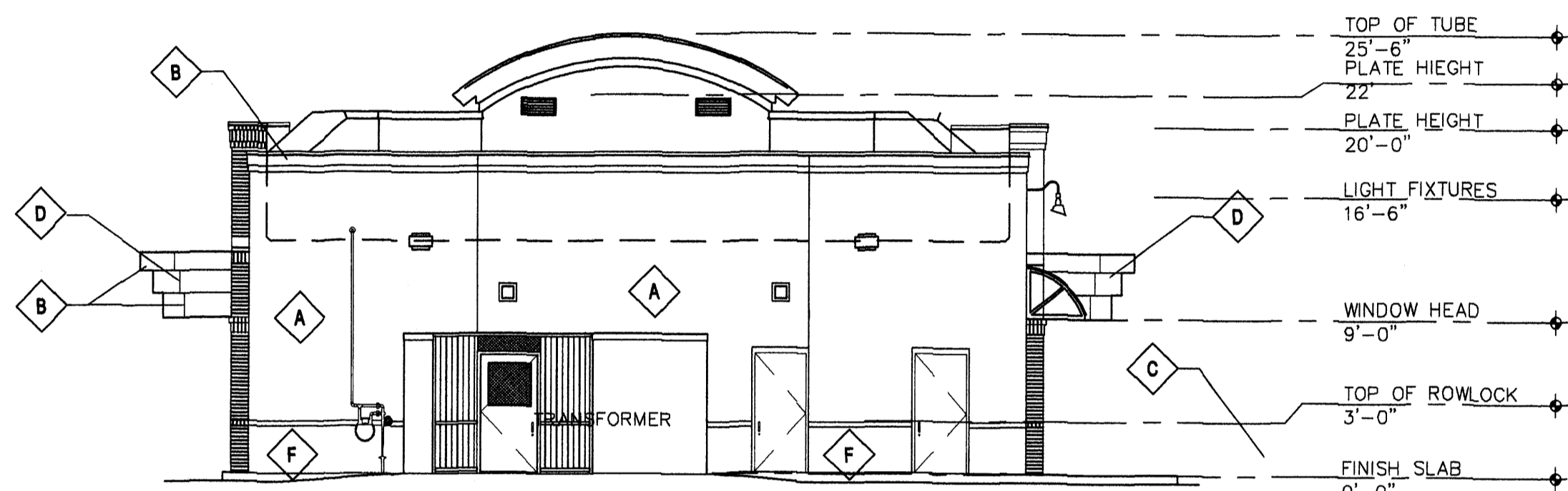
sheet  
**A2**

of





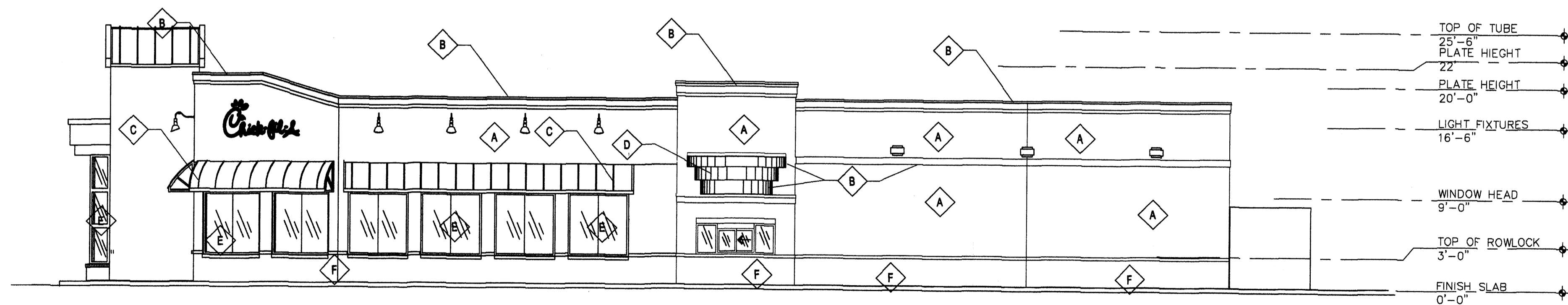
1 WEST ELEVATION  
1/8"=1'-0"



2 EAST ELEVATION  
1/8"=1'-0"



3 NORTH ELEVATION  
1/8"=1'-0"

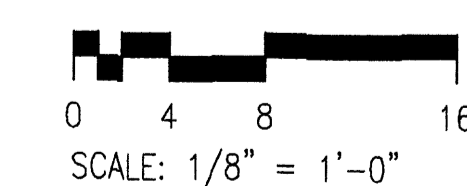


4 SOUTH ELEVATION  
1/8"=1'-0"

LEGEND TO MATERIALS AND COLORS

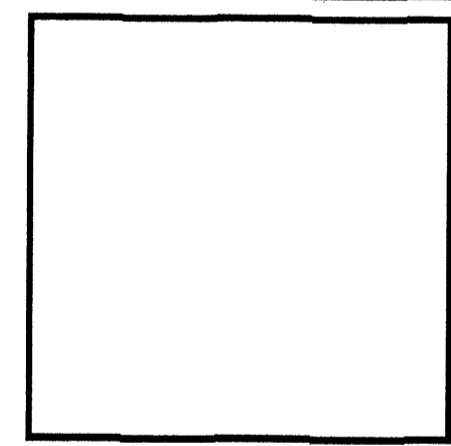
|   |  |
|---|--|
| A | STUCCO<br>MODERATE WHITE SW 6140<br>(LIGHT BEIGE)      |
| B | STUCCO DARK COLOR<br>SW 6062 RUGGED BROWN              |
| C | METAL AWNINGS - COLOR TO MATCH<br>SW 6062 RUGGED BROWN |
| D | RED ACCENT COLOR<br>GYPSY RED SW 6865                  |
| E | STORE FRONT ANODIZED<br>DARK BROWN WINDOWS/DOORS       |
| F | STONE VENEER TAN                                       |

CHICK FILLET  
RESTAURANT ELEVATIONS



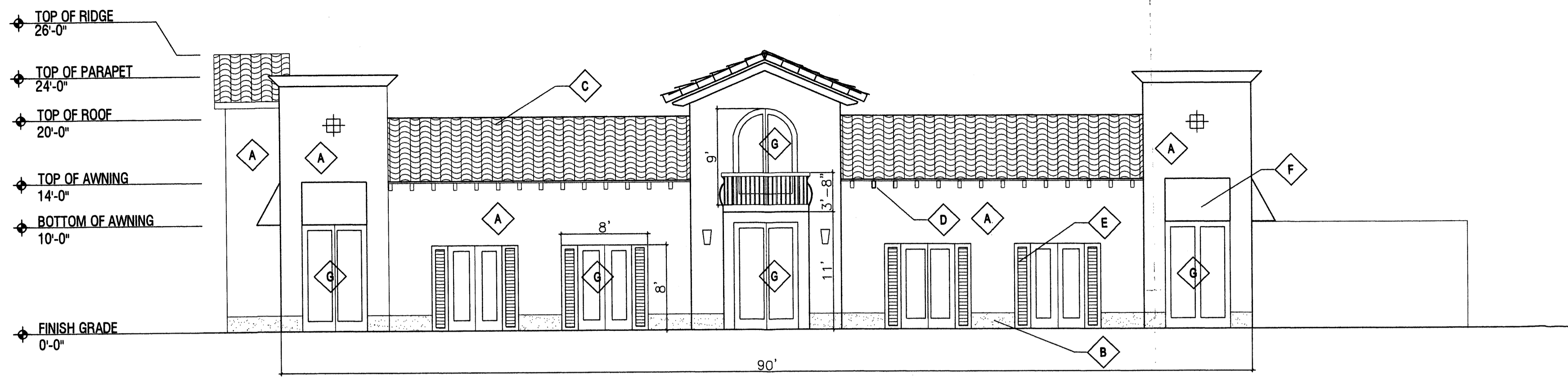
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GEORGE RAINHART ARCHITECT AND ASSOCIATES P  
 2325 SAN PEDRO NE, SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



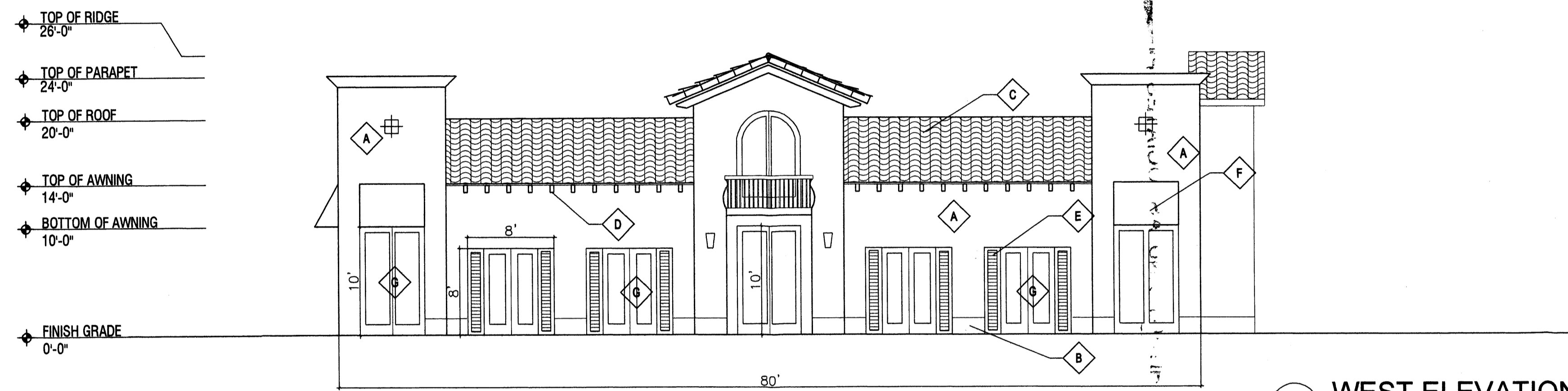
|                  |   |
|------------------|---|
| PROJECT TITLE    | COTTONWOOD CROSSING PHASE 2                         |
| PROJECT LOCATION | COORS AND SEVEN BAR LOOP<br>ALBUQUERQUE, NEW MEXICO |
| PROJECT MANAGER  | CS  |
| JOB NO.          | 0309  |
| DRAWN BY:        | CS  |
| SHEET TITLE      | BUILDING ELEVATIONS                                 |

|              |         |
|--------------|---------|
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| SCALE:       | 1/8"=1' |
| SHEET NO.    | A2.1    |
| TOTAL SHEETS | of      |

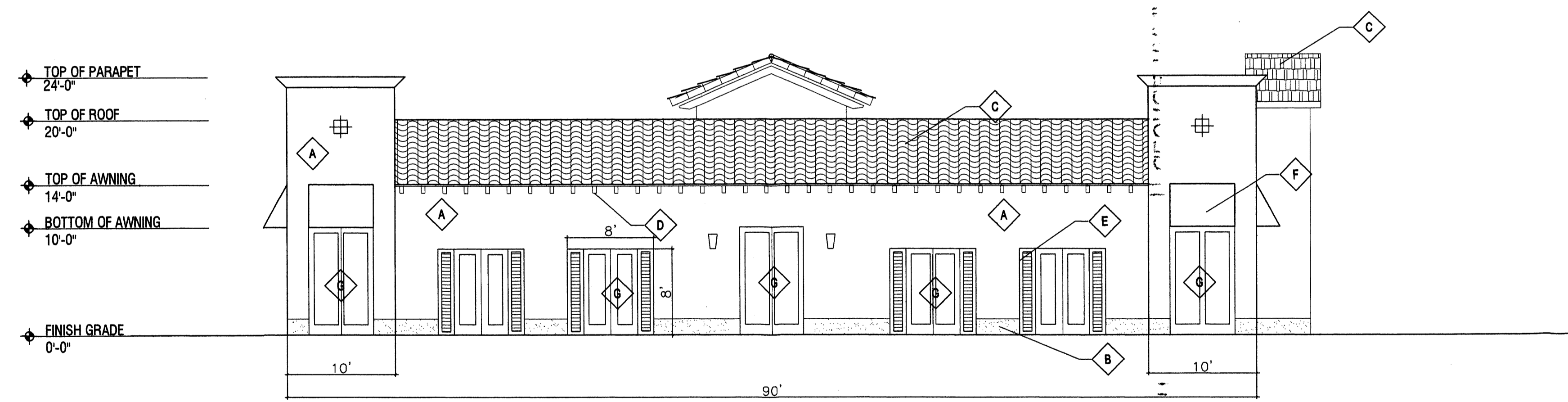


**1 SOUTH ELEVATION**  
1/8"=1'-0"

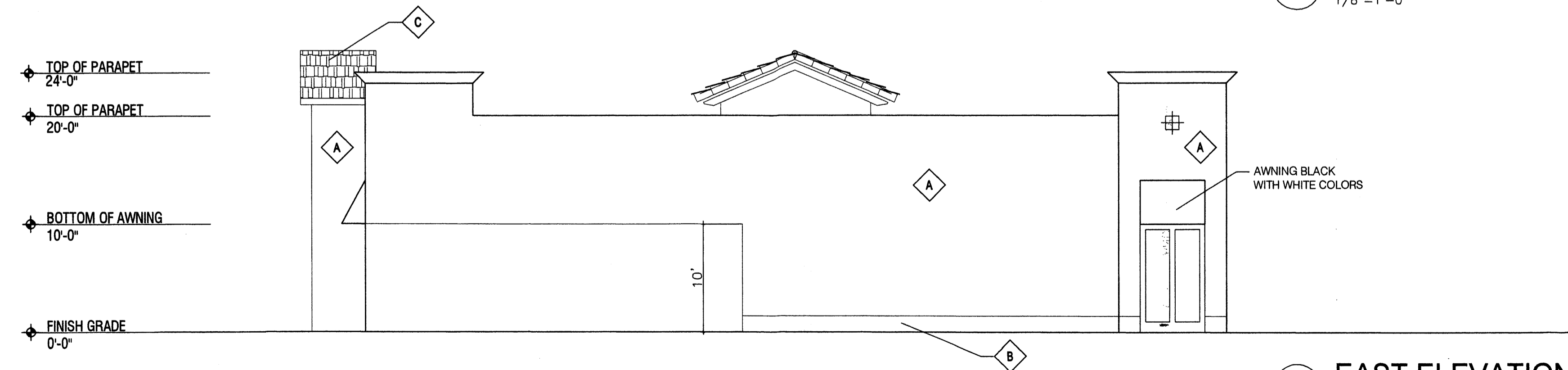
| LEGEND TO MATERIALS AND COLORS |   |
|--------------------------------|---|
| A                              | STUCCO<br>MODERATE WHITE SW 6140<br>(LIGHT BEIGE)   |
| B                              | STUCCO BASE (RED)<br>SW 6328, FIREWEED              |
| C                              | ROOF TILE - MONIER TERRACOTTA<br>GOLD FLASH         |
| D                              | WOOD VIGAS  |
| E                              | DARK GREEN COLOR PAINTED WOOD<br>SIDELIGHTS SW 6180 |
| F                              | FABRIC CANOPY,<br>BLACK WITH WHITE LETTERS          |
| G                              | WOOD DOORS  |



**2 WEST ELEVATION**  
1/8"=1'-0"

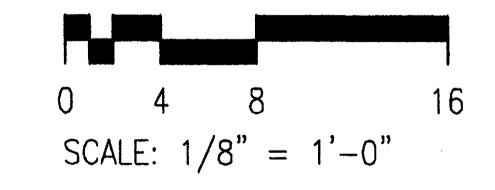


**3 NORTH ELEVATION**  
1/8"=1'-0"



**4 EAST ELEVATION**  
1/8"=1'-0"

ITALIAN RESTAURANT  
ELEVATIONS



| REV | DATE | BY | REVISION |
|-----|------|----|----------|
| 1   |      |    |          |
| 2   |      |    |          |
| 3   |      |    |          |
| 4   |      |    |          |
| 5   |      |    |          |
| 6   |      |    |          |

**GEORGE RAINHART ARCHITECT AND ASSOCIATES P.C.**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
**COTTONWOOD CROSSING PHASE 2**  
COORS AND SEVEN BAR LOOP  
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
CS

JOB NO.  
0309

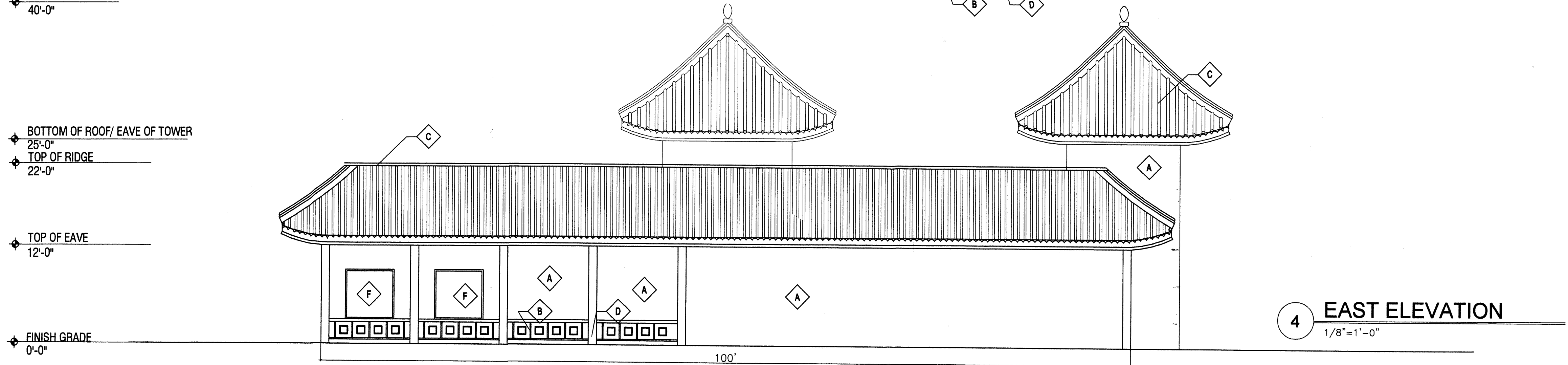
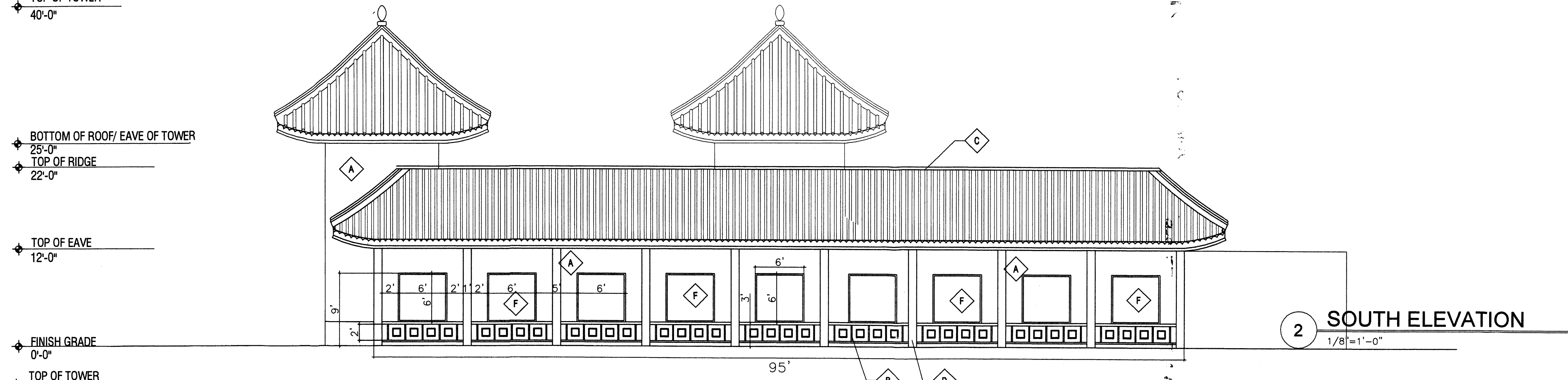
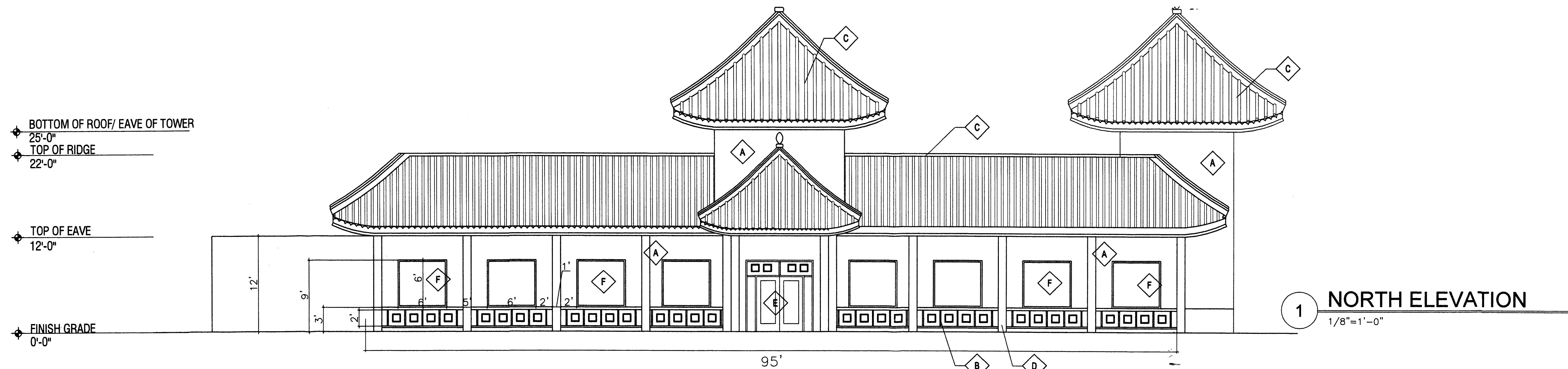
DRAWN BY  
CS

SHEET TITLE  
**BUILDING ELEVATIONS**

DATE  
6/12/03

SCALE  
1/8"=1'

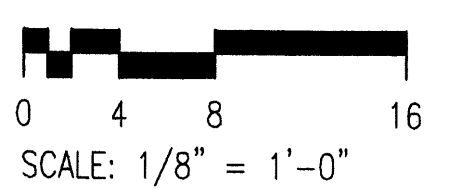
sheet-  
**A2.2**  
of-



LEGEND TO MATERIALS AND COLORS

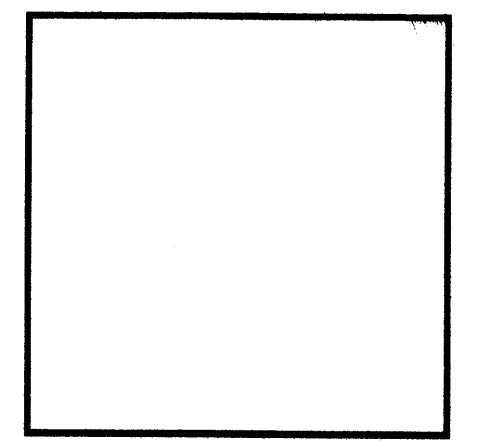
|   |  |
|---|--|
| A | STUCCO<br>WORLDLY GRAY<br>SW 7043 (LIGHT GRAY) |
| B | STUCCO BASE<br>DARK GRAY                       |
| C | ROOF TILE - MONIER MEDITERRANEAN BLUE          |
| D | WOOD FINISH VENEER                             |
| E | STOREFRONT ANODIZED BRONZE FINISH<br>DOORS     |
| F | BRONZE FINISHED<br>STOREFRONT WINDOWS          |

JAPANESE RESTAURANT  
ELEVATIONS

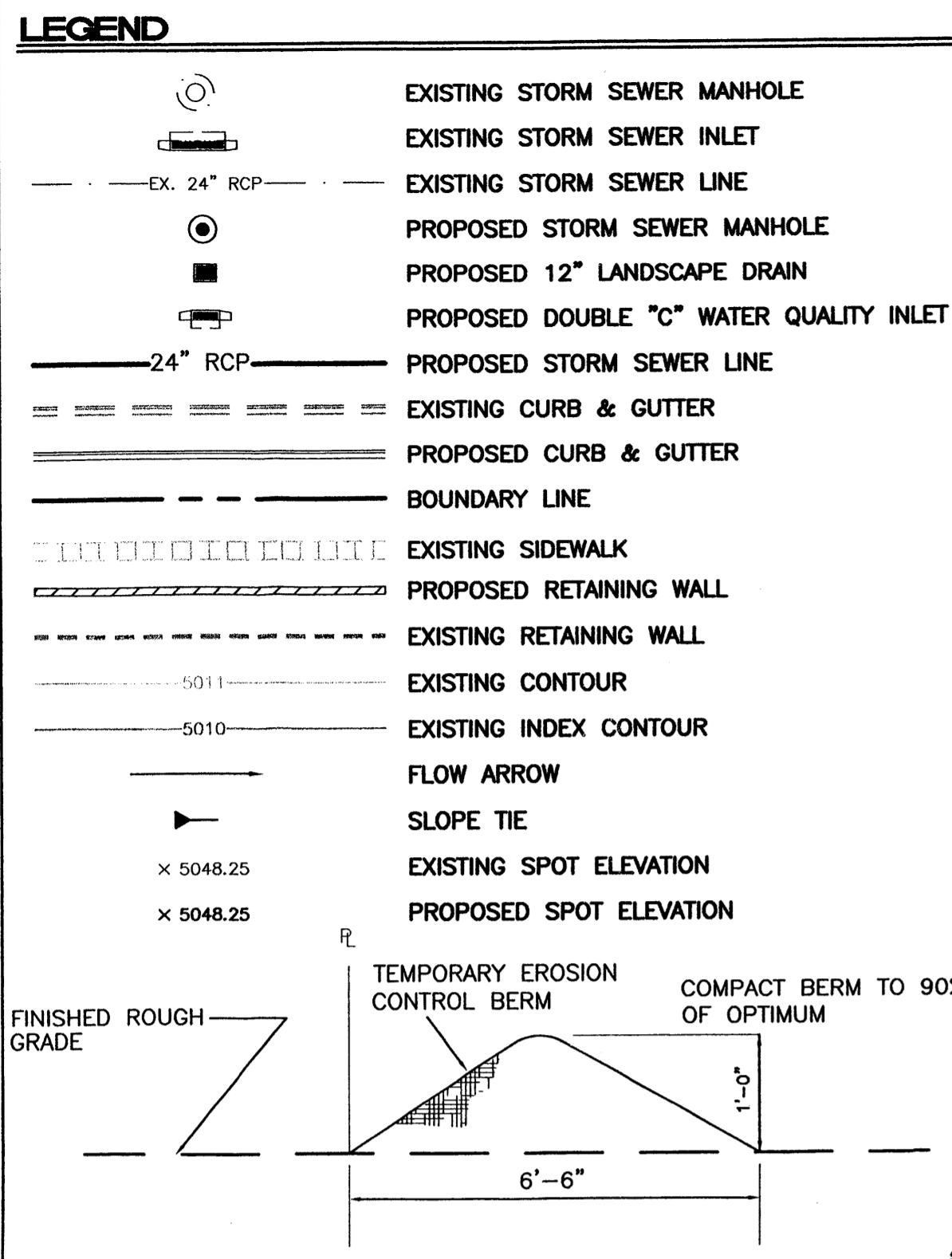


| REV | DATE | BY | REVISION |
|-----|------|----|----------|
| 1   |      |    |          |
| 2   |      |    |          |
| 3   |      |    |          |
| 4   |      |    |          |
| 5   |      |    |          |

GEORGE RAINHART ARCHITECT AND ASSOCIATES P  
2325 SAN PEDRO NE SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877



|  |   |                |
|--|---|----------------|
| PROJECT TITLE<br><b>COTTONWOOD CROSSING PHASE 2</b><br>COOPS AND SEVEN BAR LOOP<br>ALBUQUERQUE, NEW MEXICO | JOB NO.<br>0309                           | DRAWN BY<br>CS |
| PROJECT MANAGER<br>CS  | SHEET TITLE<br><b>BUILDING ELEVATIONS</b> |                |
| DATE<br>6/12/03  | sheet<br><b>A2.3</b>                      |                |
| SCALE<br>1/8"=1'-0"  | of  |                |



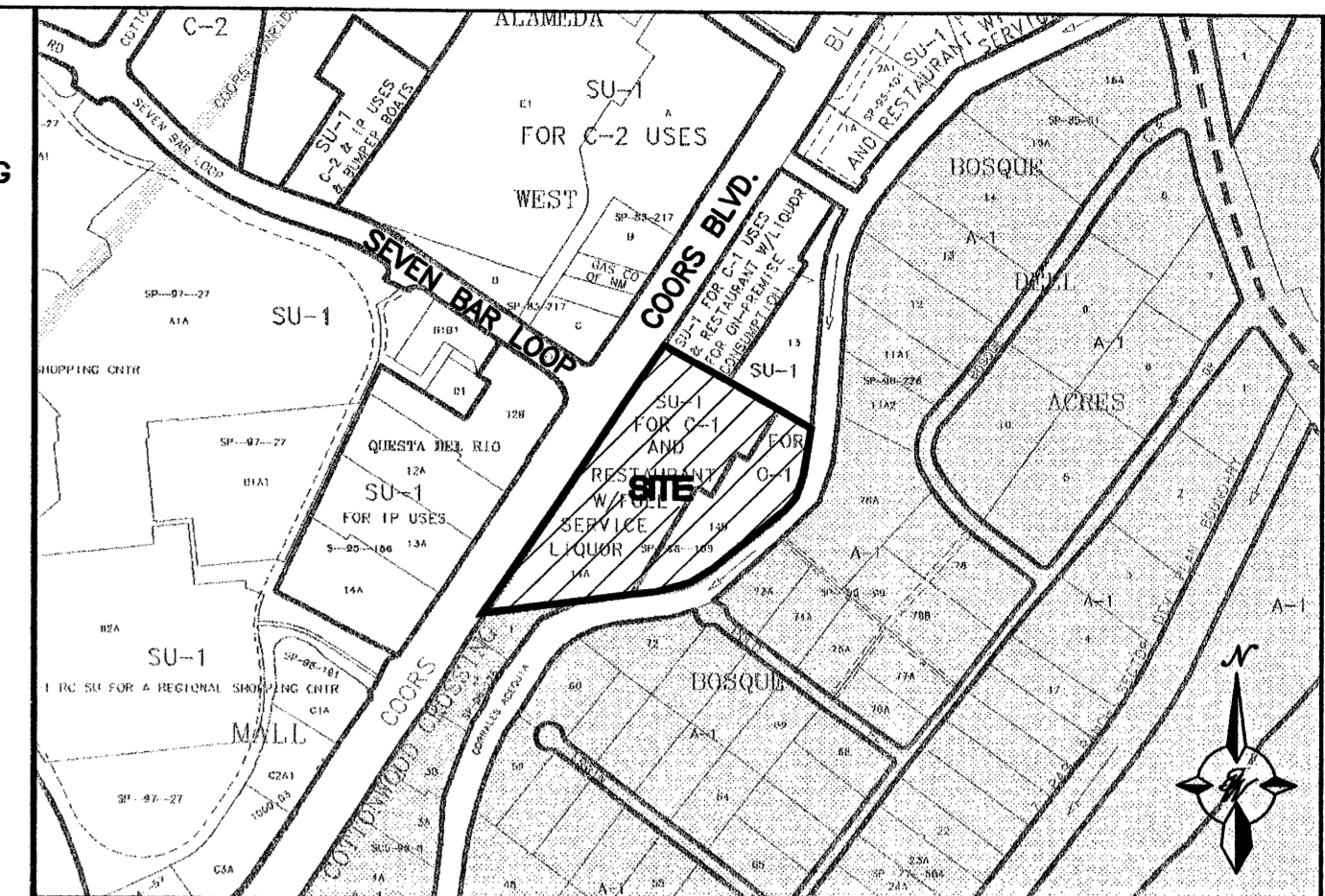
**EROSION CONTROL BERM DETAIL**

NTS

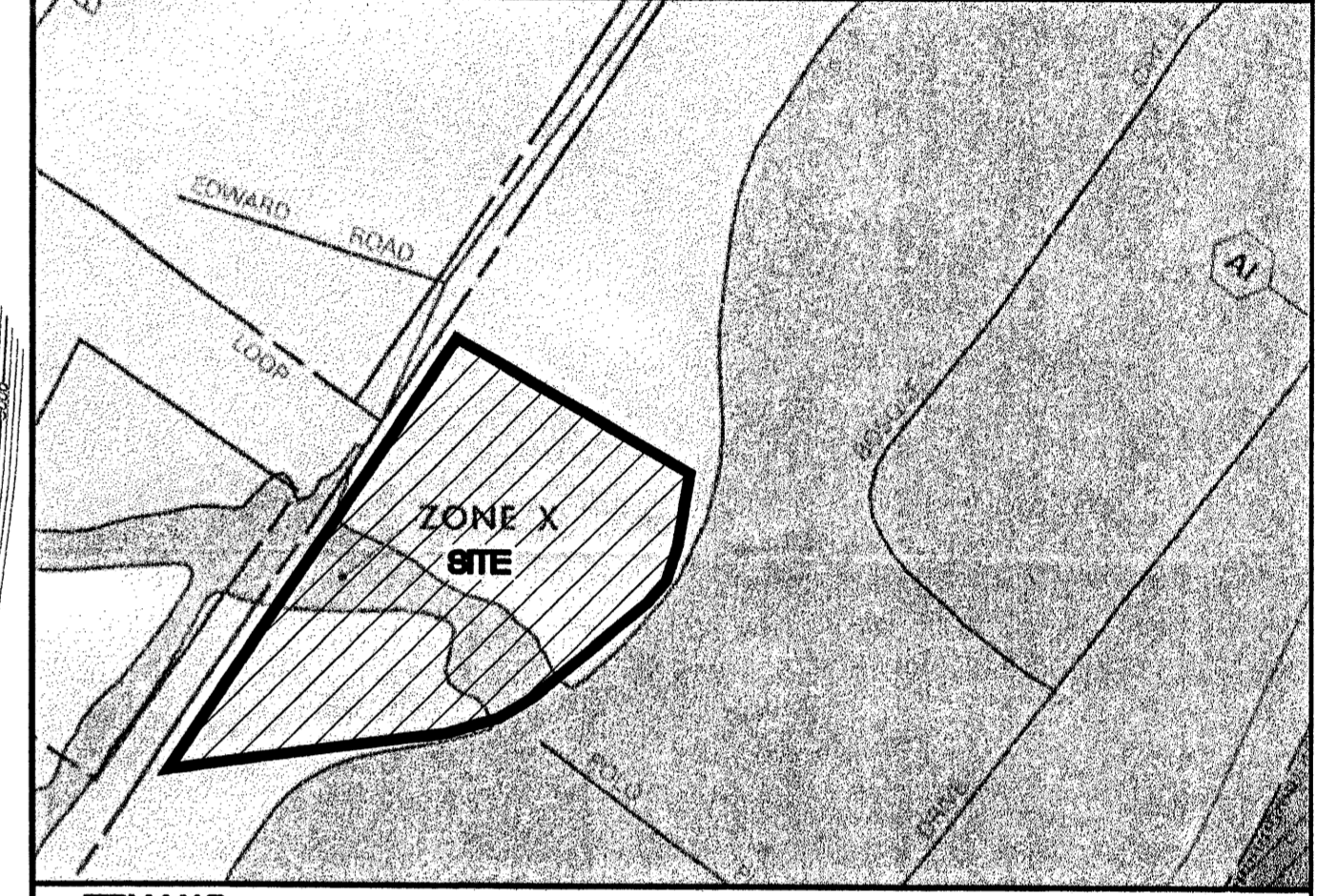
**CAUTION**  
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

**EROSION CONTROL NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

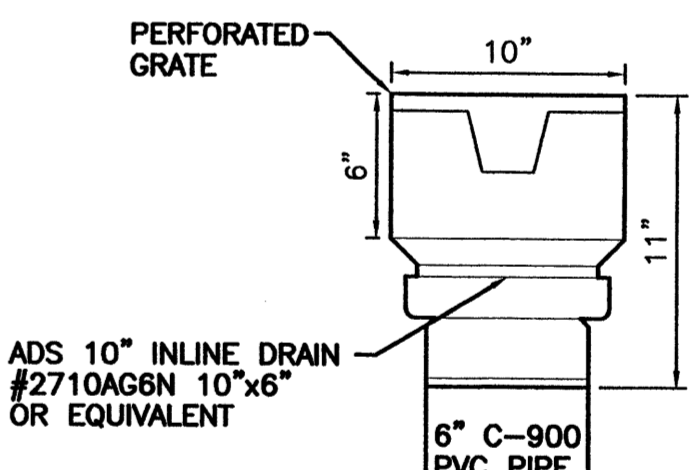


**VICINITY MAP**



**ERM MAP**

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.



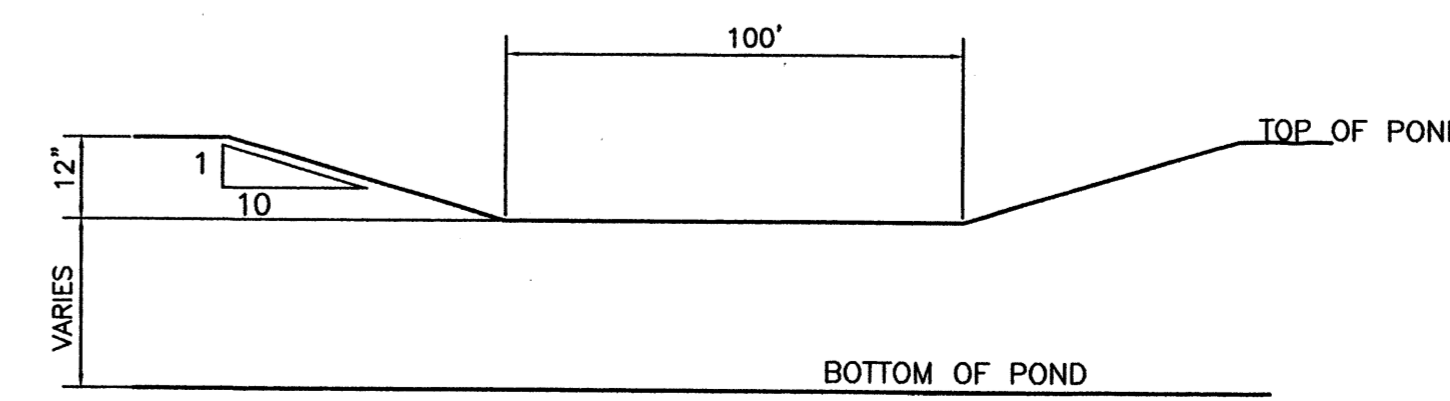
**INLINE DRAIN DETAIL**

NTS



**GRAPHIC SCALE**

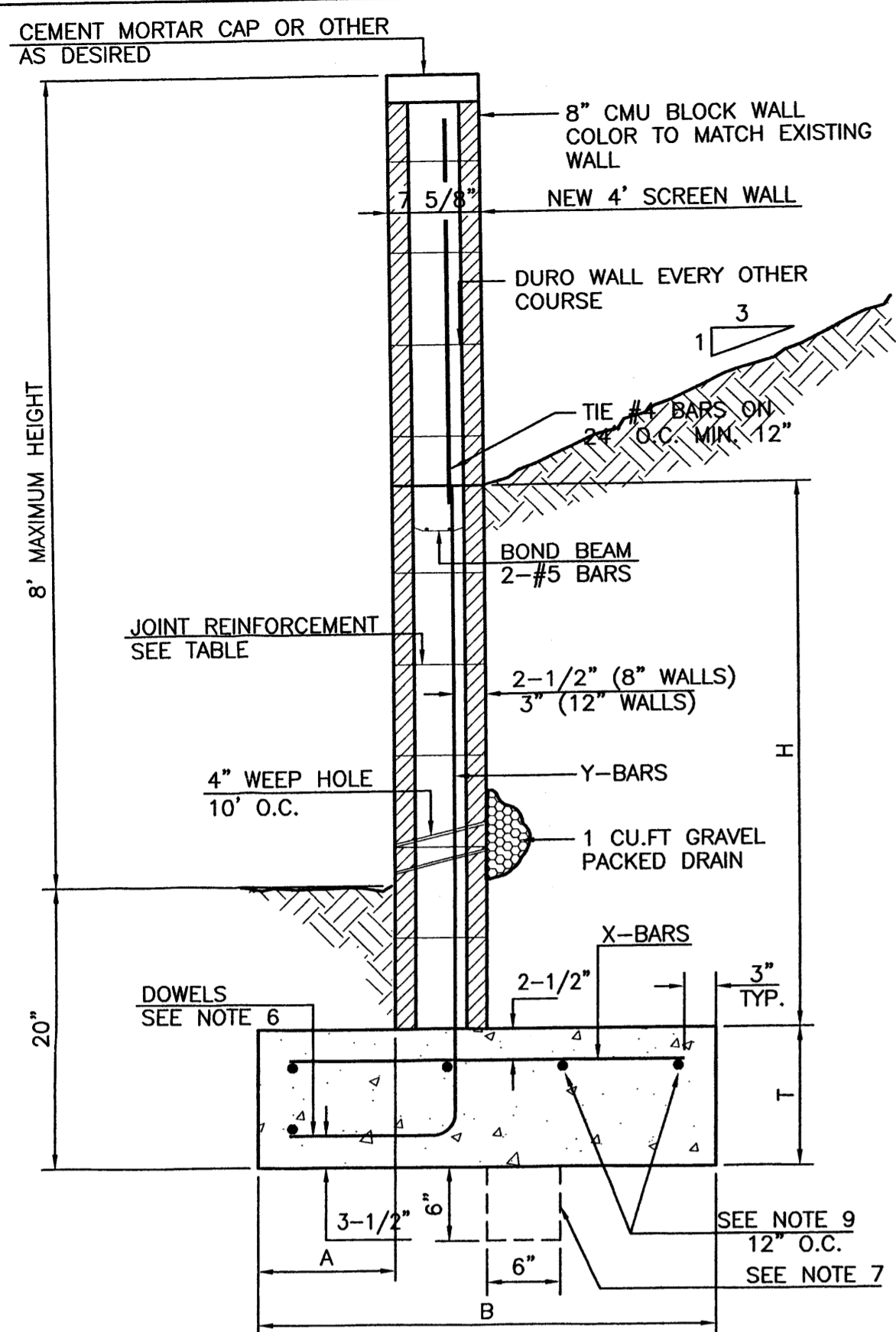
SCALE: 1"=40'



**EMERGENCY SPILLWAY DETAIL**

NTS

|  |  |   |
|--|--|---|
|  | <b>ENGINEER'S SEAL</b><br><b>COTTONWOOD CROSSING PHASE 2</b><br><b>GRADING AND DRAINAGE PLAN</b> | DRAWN BY JDN<br>DATE 10-08-03<br>2297GRB-8-6-03 |
|  | TIERRA WEST, LLC<br>8509 JEFFERSON NE<br>ALBUQUERQUE, NEW MEXICO 87113<br>(505)858-3100          | SHEET #<br><b>C-1</b><br>JOB #<br>220097        |



**8 INCH REINFORCED CONCRETE MASONRY WALL**

| H       | X       | A   | B       | T   | Y-BARS       | X-BARS       |
|---------|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | ft.-in. | in. | ft.-in. | in. |              |              |
| 2'-0"   | 1'-1"   | 8"  | 2'-4"   | 9"  | #3 @32" O.C. | #3 @27" O.C. |
| 2'-8"   | 1'-9"   | 8"  | 2'-9"   | 9"  | #4 @32" O.C. | #3 @27" O.C. |
| 3'-4"   | 2'-5"   | 8"  | 2'-4"   | 9"  | #3 @32" O.C. | #3 @27" O.C. |
| 4'-0"   | 3'-1"   | 10" | 2'-9"   | 9"  | #4 @32" O.C. | #3 @27" O.C. |
| 4'-8"   | 3'-10"  | 12" | 3'-4"   | 10" | #5 @32" O.C. | #3 @27" O.C. |
| 5'-4"   | 4'-6"   | 14" | 3'-8"   | 10" | #4 @16" O.C. | #4 @30" O.C. |
| 6'-0"   | 5'-3"   | 16" | 4'-2"   | 12" | #6 @24" O.C. | #4 @25" O.C. |

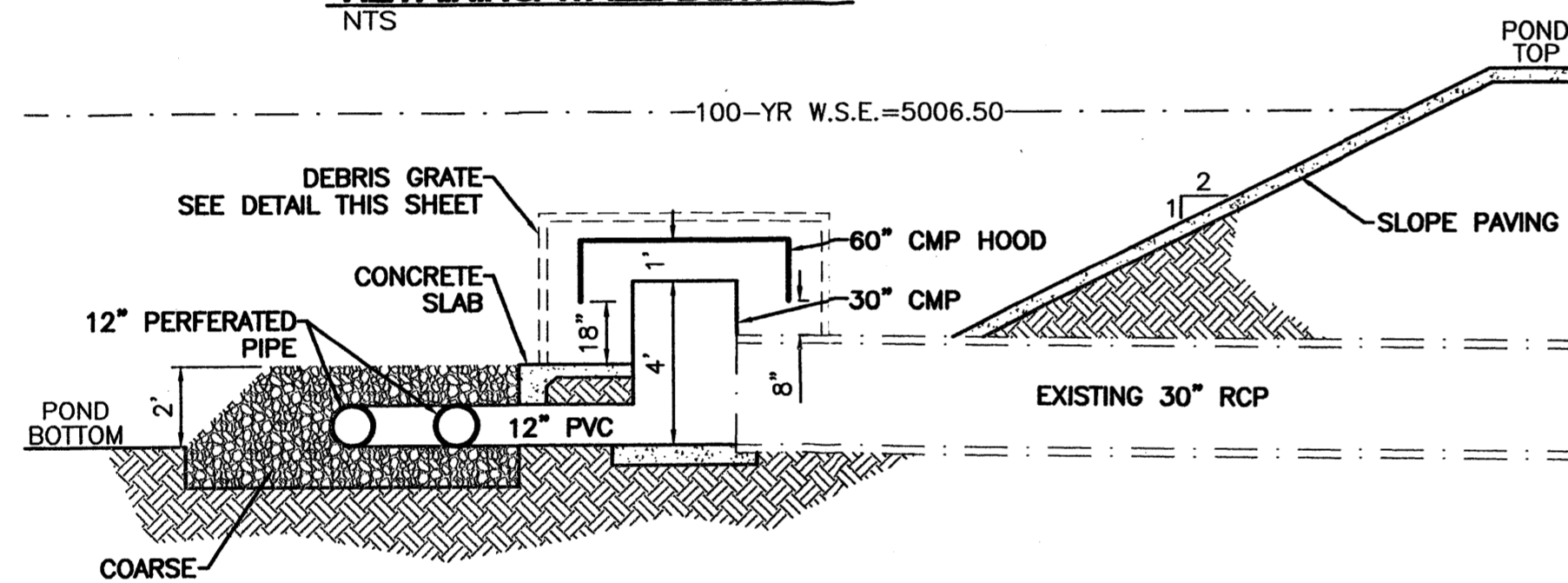
**12 INCH REINFORCED CONCRETE MASONRY WALL**

| H       | X       | A   | B       | T   | Y-BARS       | X-BARS       |
|---------|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | ft.-in. | in. | ft.-in. | in. |              |              |
| 5'-4"   | 4'-8"   | 14" | 3'-8"   | 10" | #4 @24" O.C. | #3 @25" O.C. |
| 6'-0"   | 5'-4"   | 15" | 4'-2"   | 12" | #4 @16" O.C. | #4 @30" O.C. |
| 6'-8"   | 6'-0"   | 16" | 4'-6"   | 12" | #6 @24" O.C. | #4 @22" O.C. |
| 7'-4"   | 6'-8"   | 18" | 4'-10"  | 12" | #5 @16" O.C. | #5 @26" O.C. |
| 8'-0"   | 7'-4"   | 20" | 5'-4"   | 12" | #7 @24" O.C. | #5 @21" O.C. |
| 8'-8"   | 8'-0"   | 20" | 5'-8"   | 12" | #7 @16" O.C. | #5 @21" O.C. |

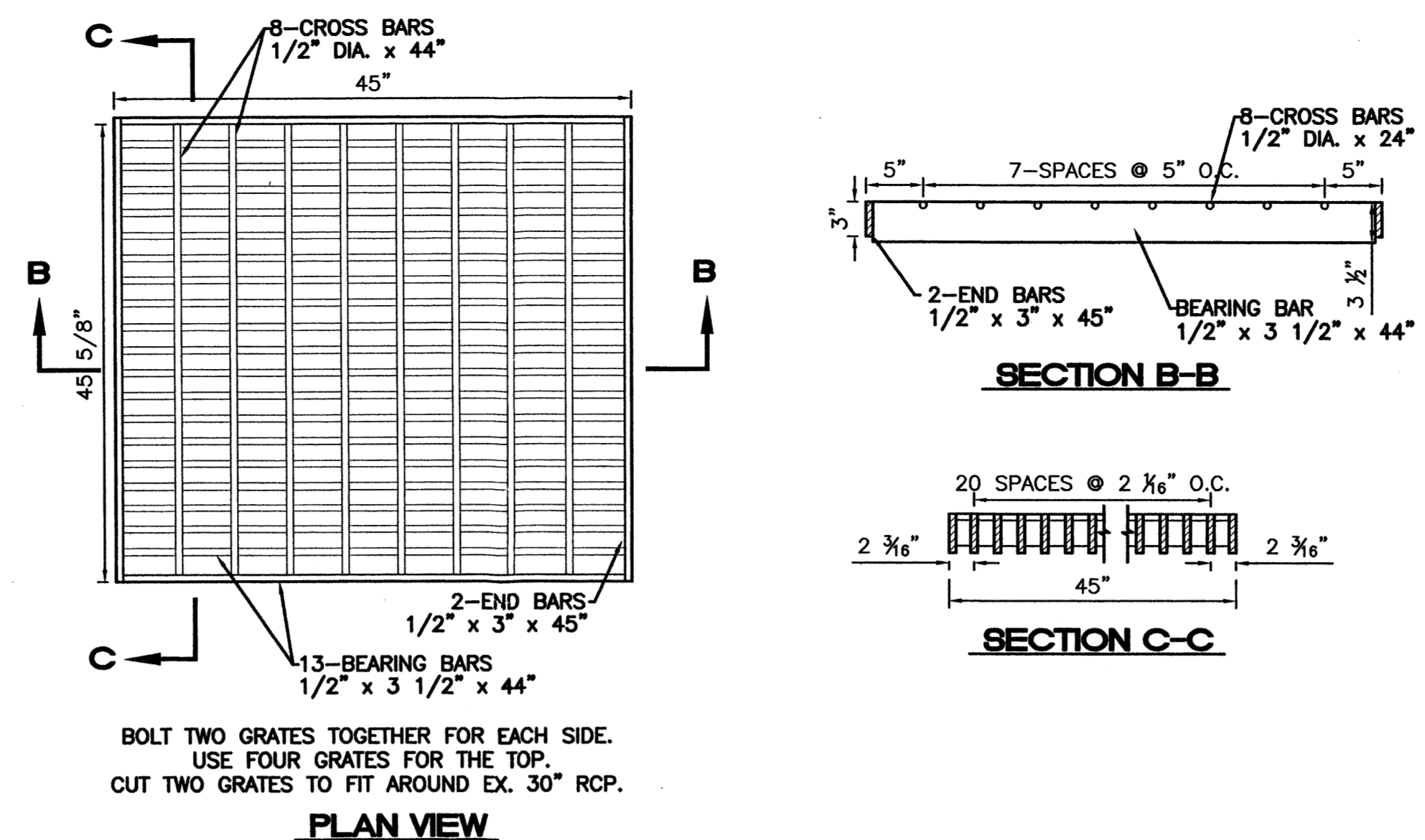
**GENERAL NOTES:**

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DURO-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0".
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. #3 BARS TO BE USED ON WALLS LESS THAN 2'-8" IN HEIGHT.
10. #4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-8".
11. X BARS TO BE USED ON WALLS EXCEEDING 2'-8".
12. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

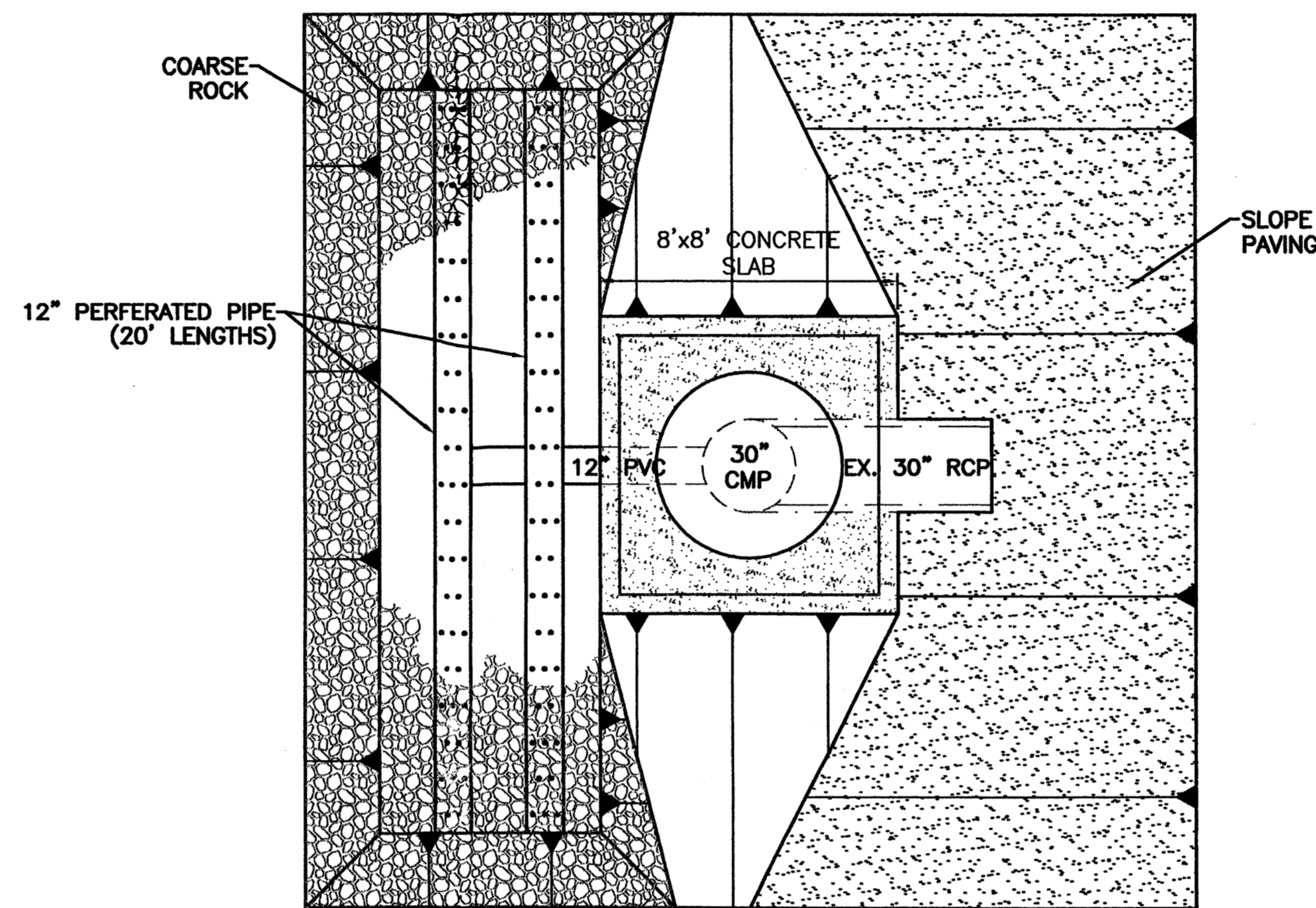
**RETAINING WALL DETAIL**  
NTS



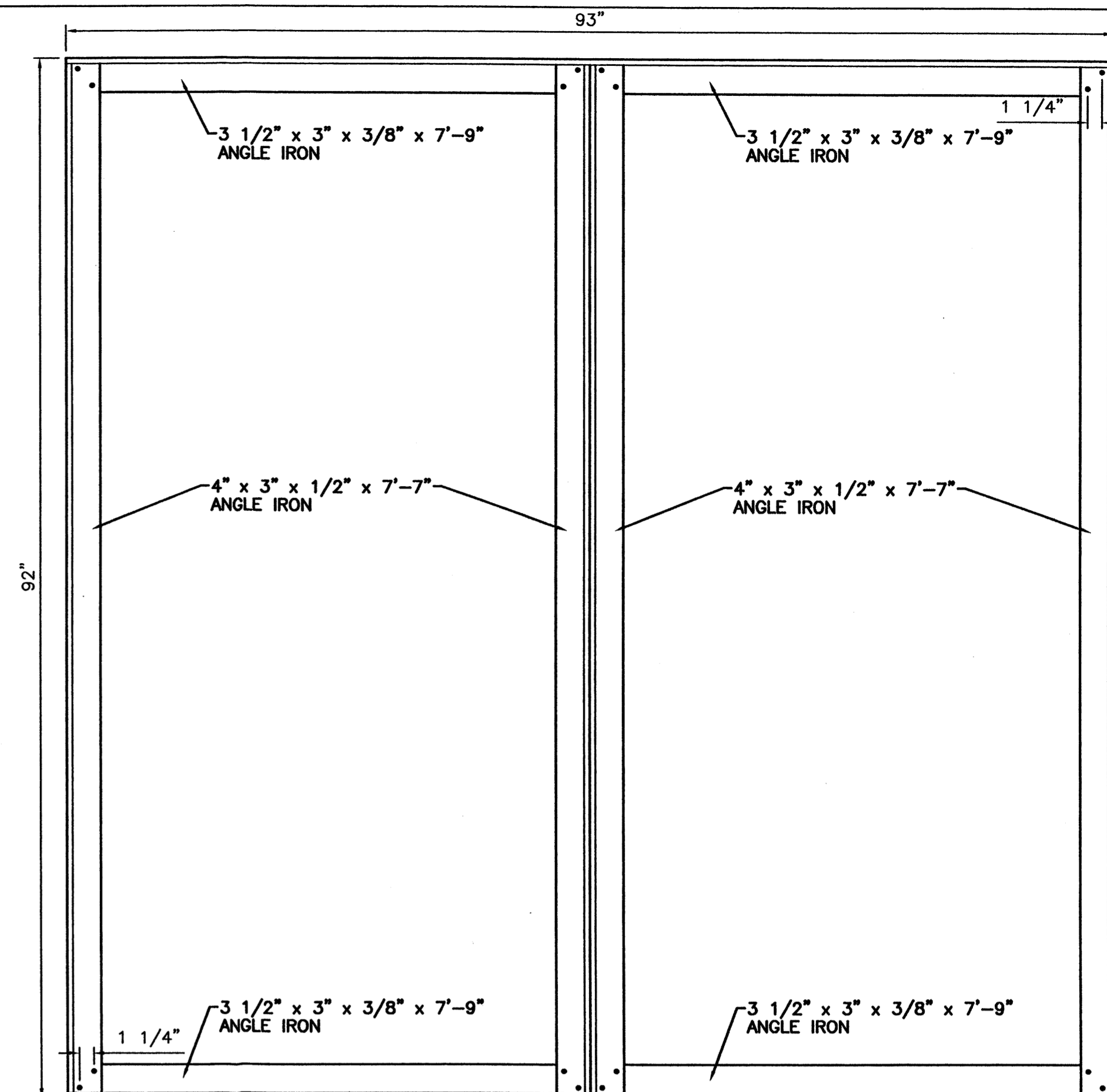
**BAFFLE DETAIL**  
SCALE: NTS



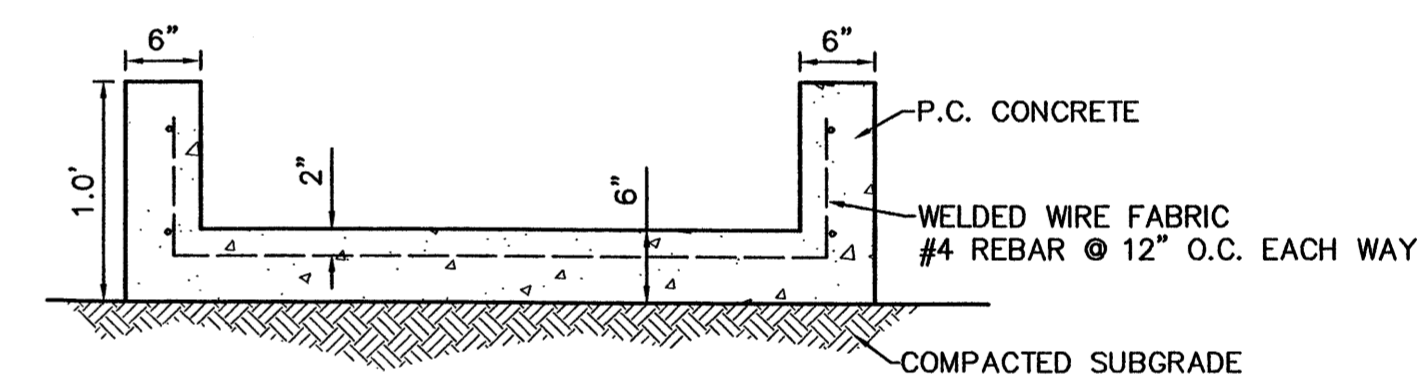
**DEBRIS GRATE DETAIL**  
NTS



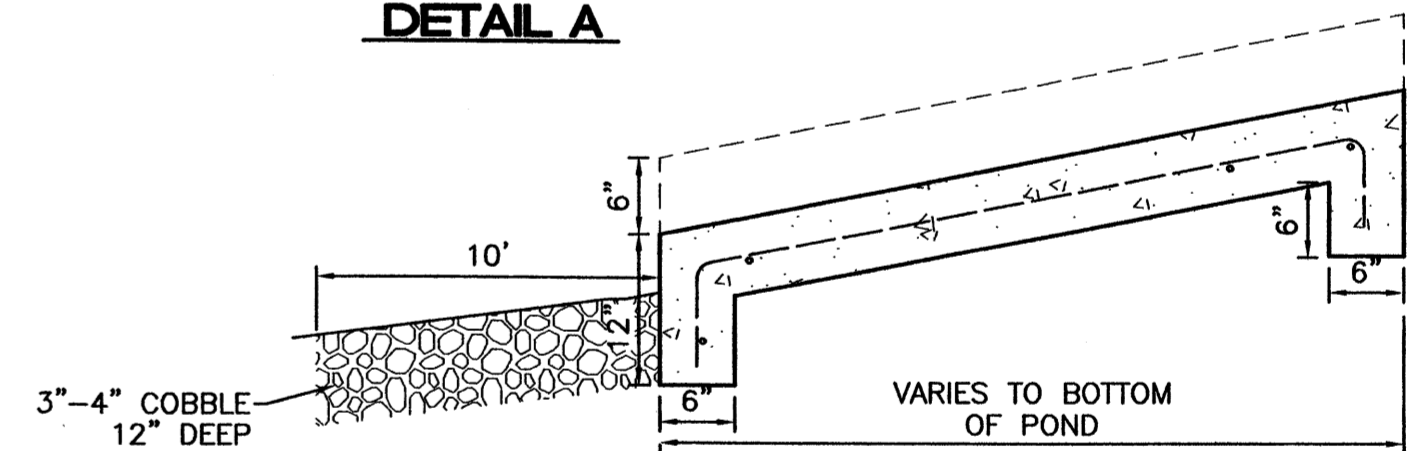
**BAFFLE DETAIL PLAN VIEW**  
SCALE: NTS



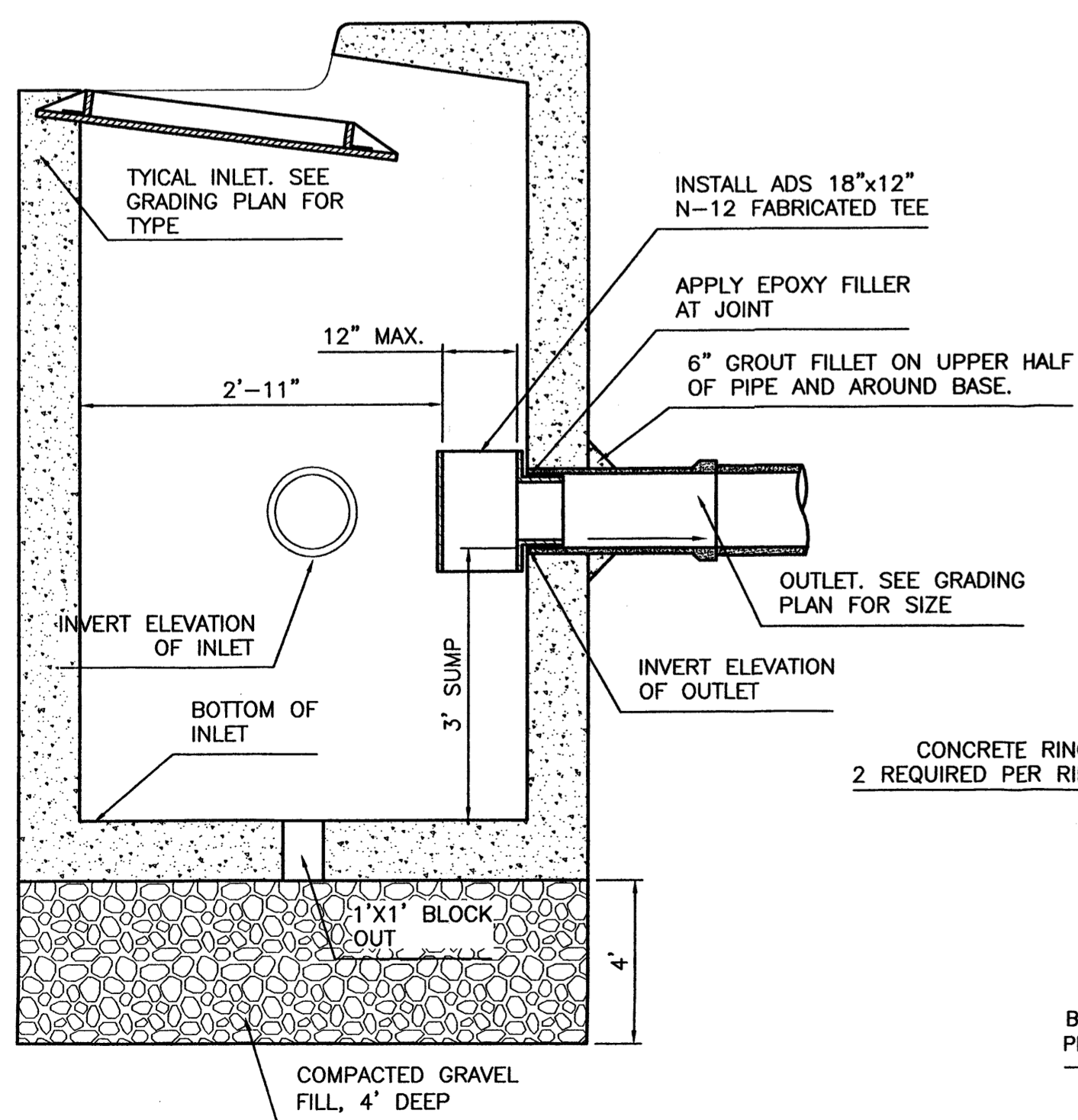
**STORM INLET GRATE FRAME**  
NTS



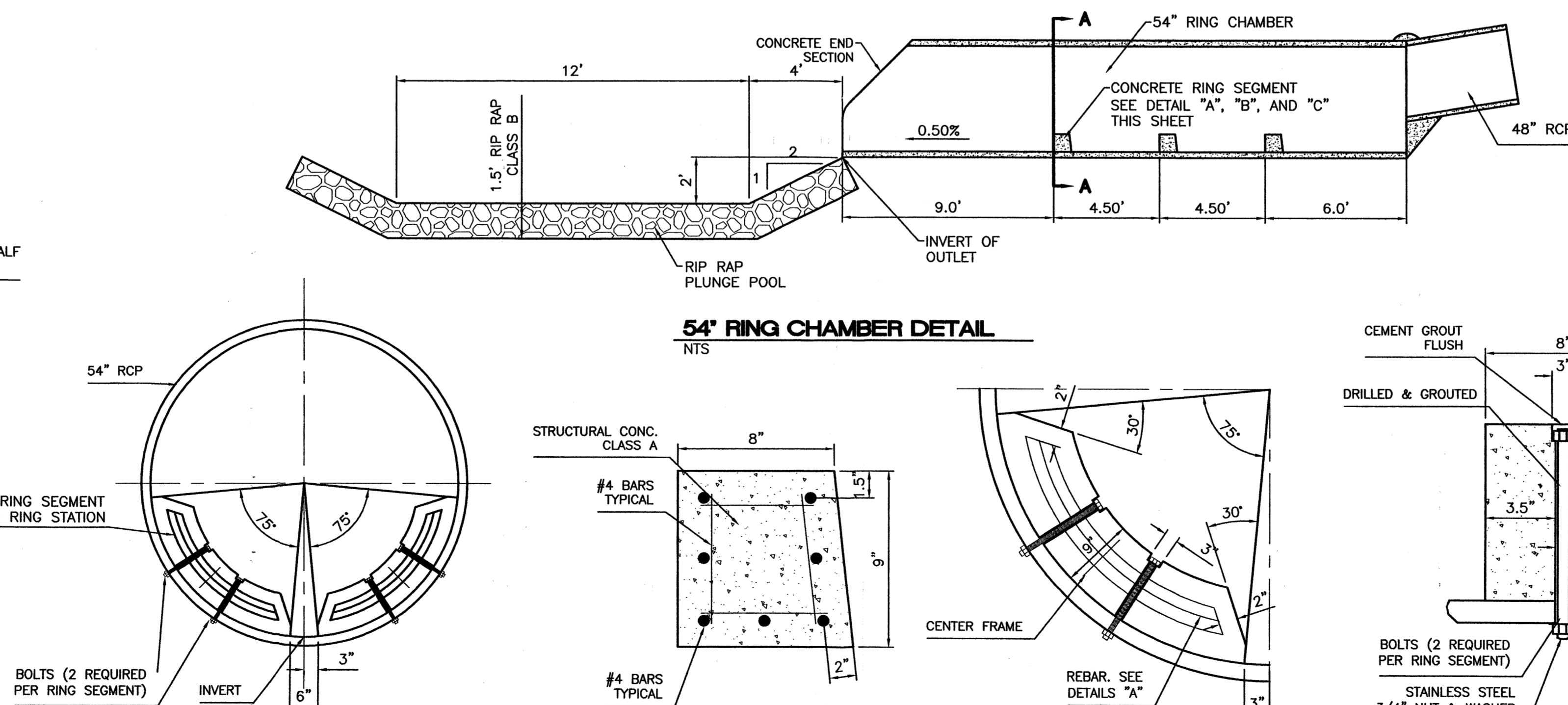
**DETAIL A**



**DETAIL B**  
**CONCRETE RUNDOWN DETAILS**

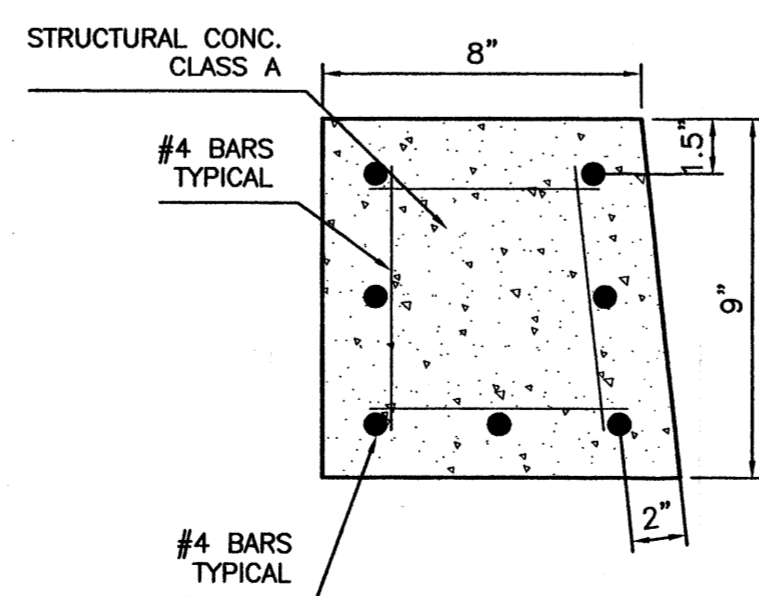


**TYPICAL WATER QUALITY INLET DETAIL**  
NTS

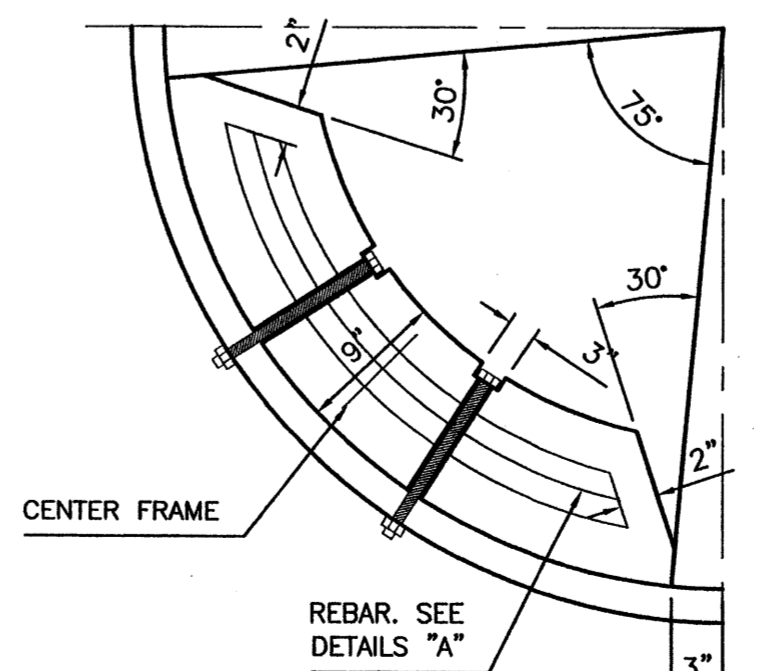


**54" RING CHAMBER DETAIL**  
NTS

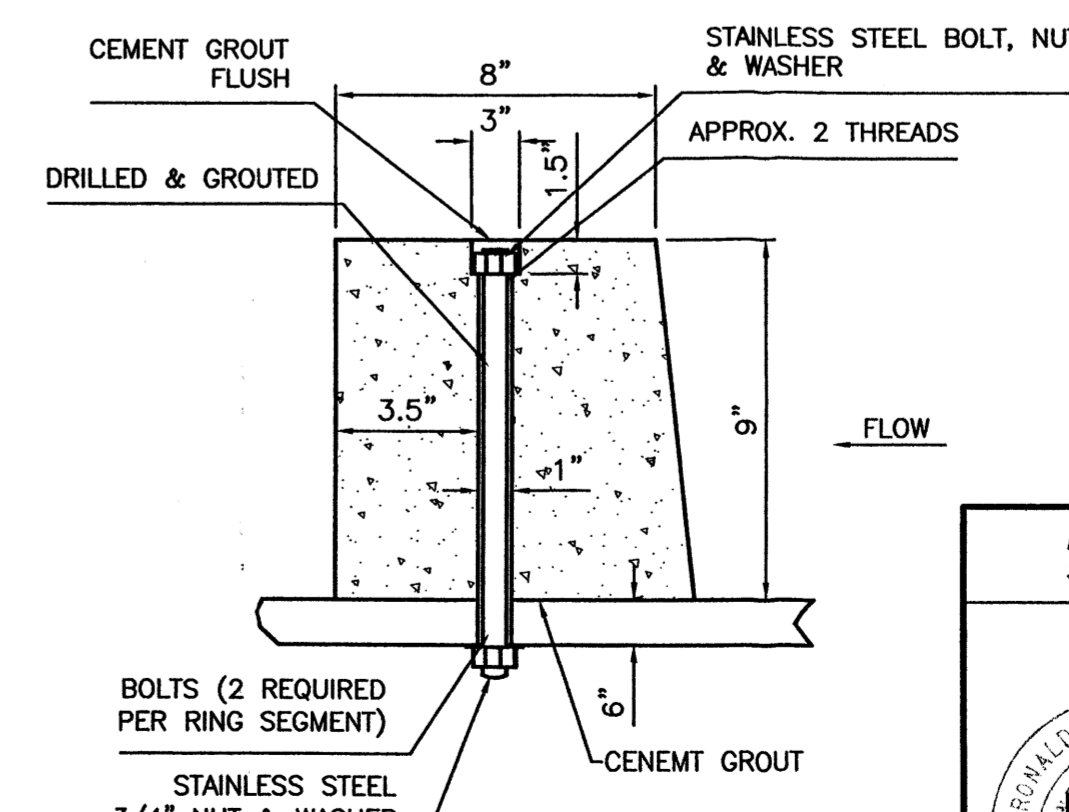
**SECTION A-A RING SEGMENT**  
NTS



**DETAIL 'A'**  
NTS

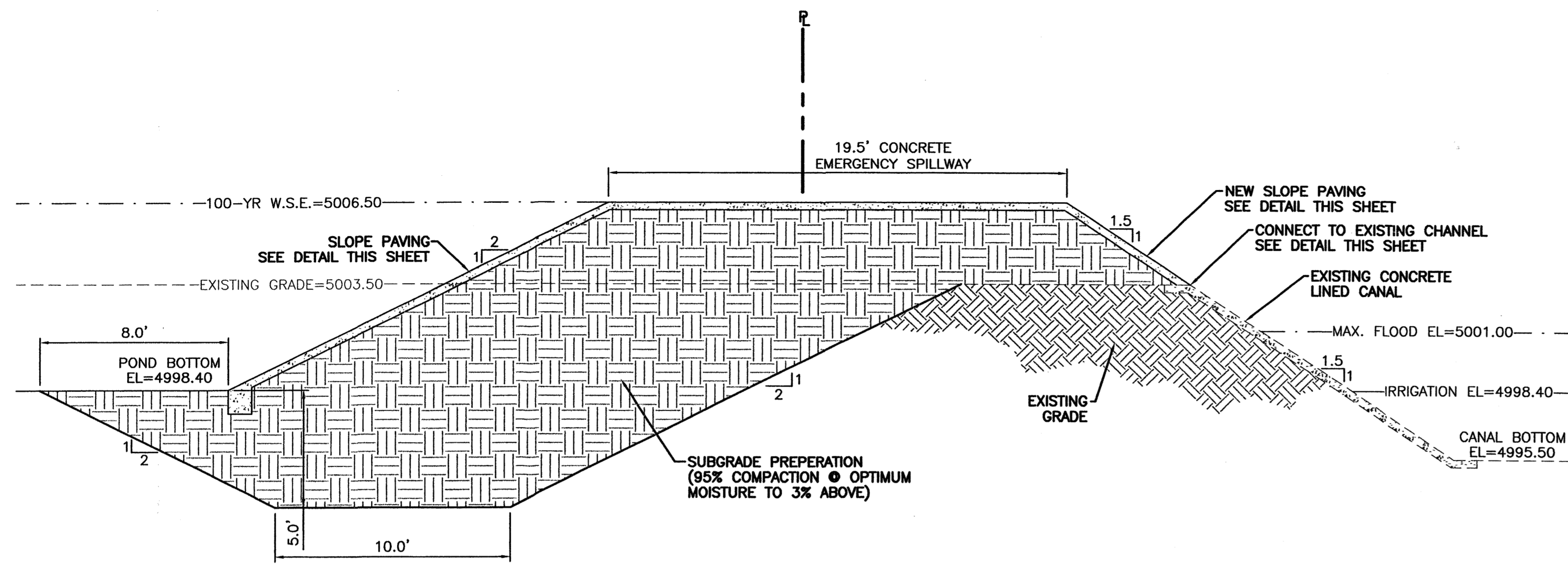


**DETAIL 'B'**  
NTS

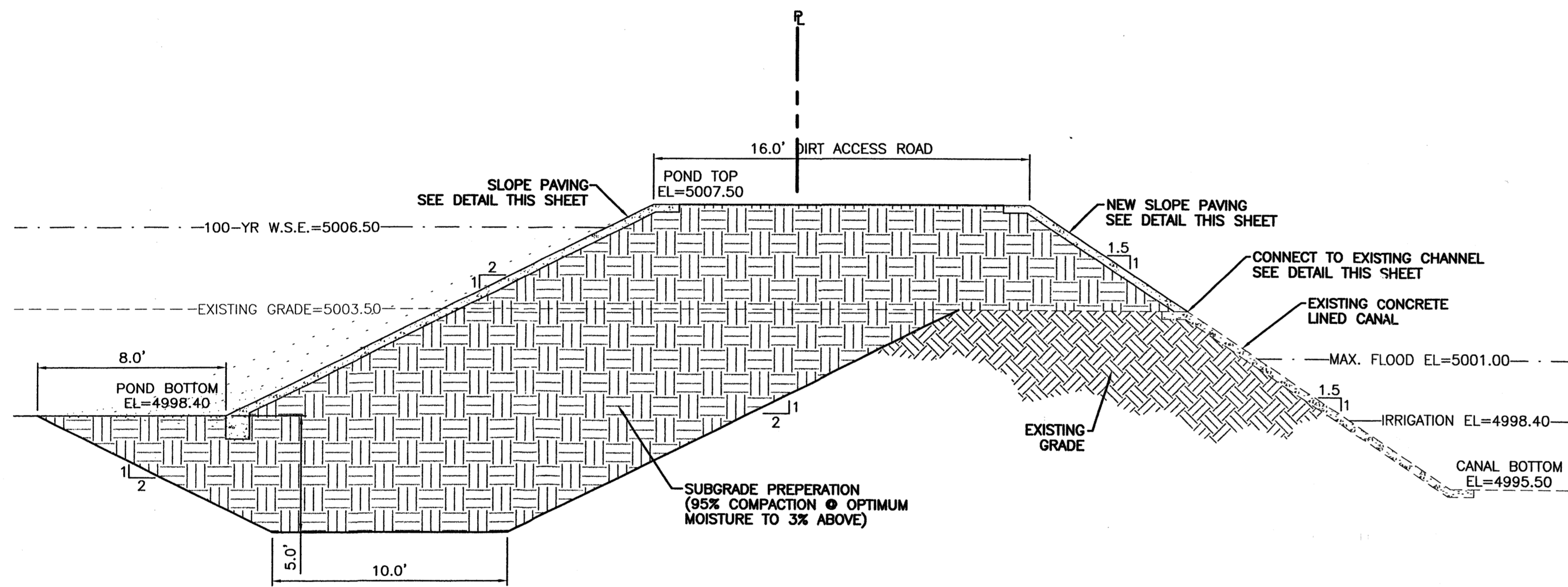


**DETAIL 'C'**  
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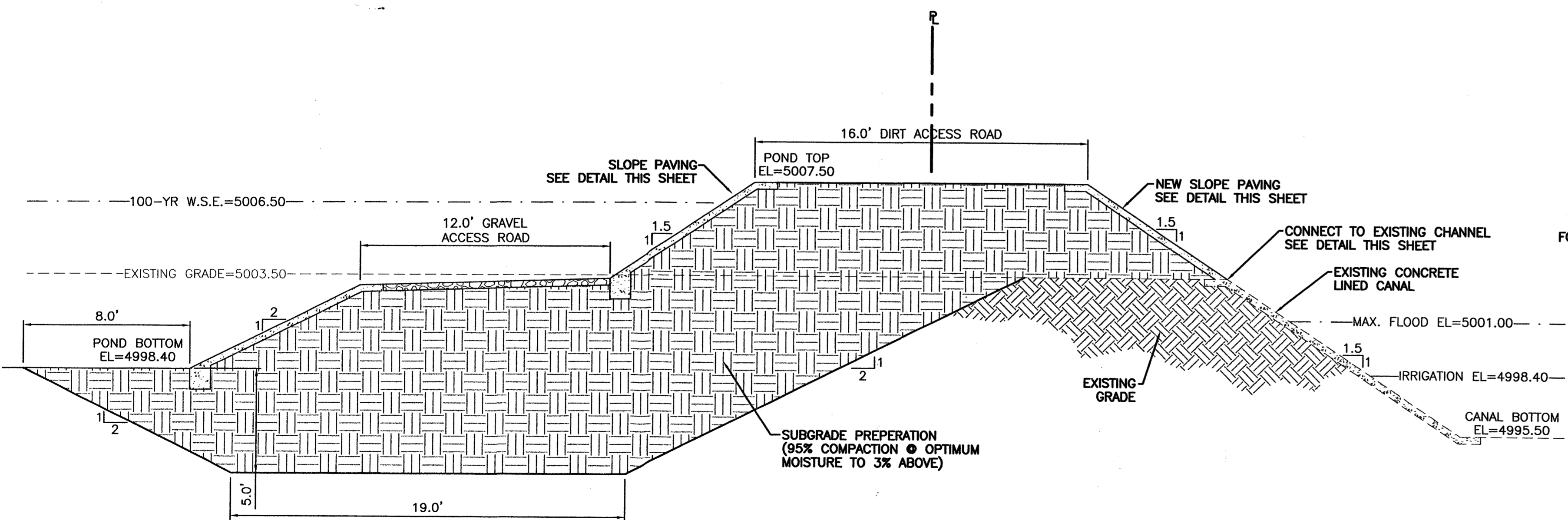
|  |  |   |
|--|--|---|
|  | <b>COTTONWOOD CROSSING PHASE 2</b><br><b>DETAIL SHEET</b>                                      | DRAWN BY JDN<br>DATE 10-08-03<br>2297GRB-8-6-03 |
|  | <b>TIERRA WEST, LLC</b><br>8509 JEFFERSON NE<br>ALBUQUERQUE, NEW MEXICO 87113<br>(505)858-3100 | SHEET #<br><b>C-2</b><br>JOB #<br>220097        |



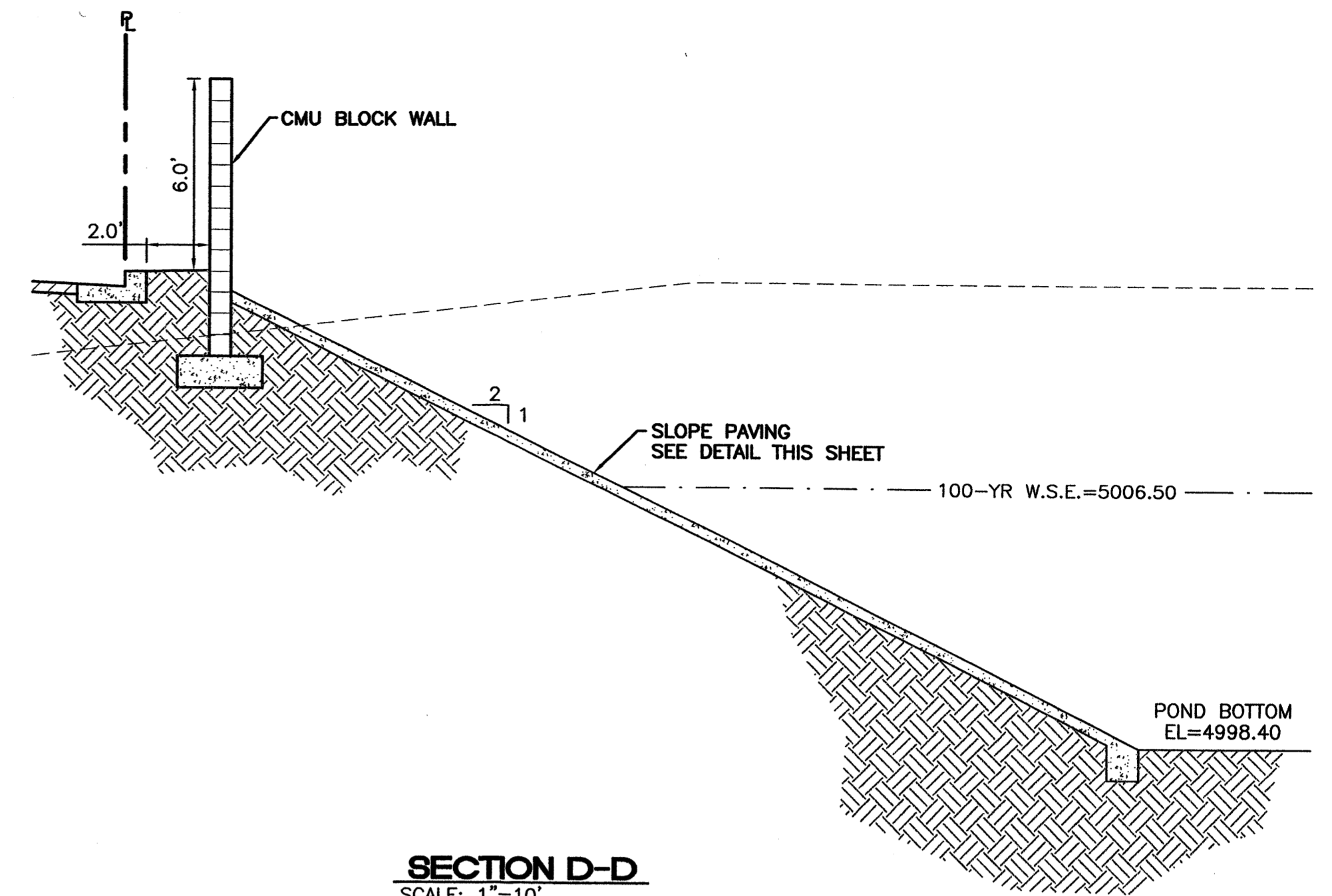
**SECTION A-A**  
SCALE: 1"=10'



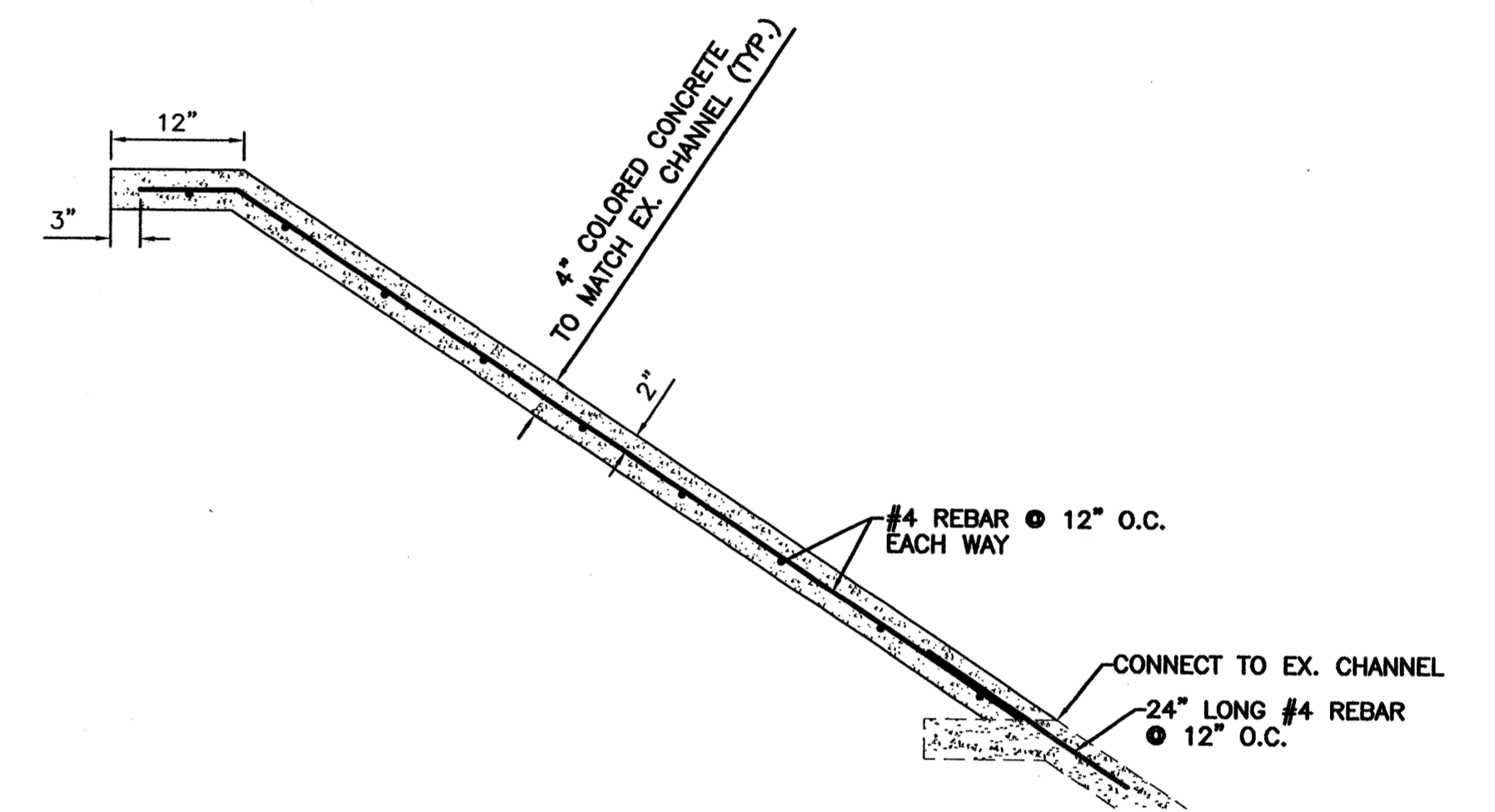
**SECTION B-B**  
SCALE: 1"=10'



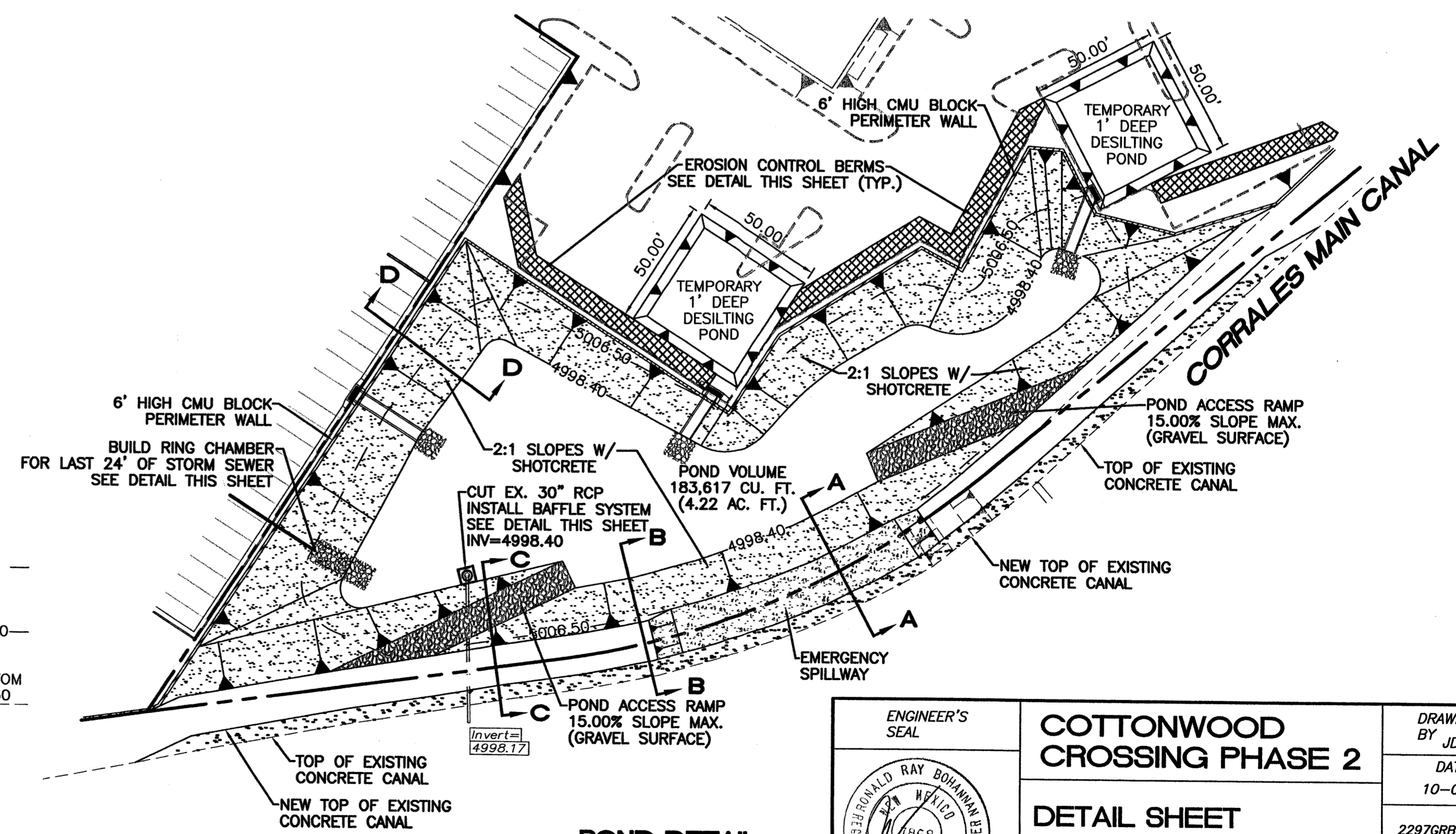
**SECTION C-C**  
SCALE: 1"=10'



**SECTION D-D**  
SCALE: 1"=10'



**CONCRETE LINING DETAIL (TYP.)**  
SCALE: NTS



**POND DETAIL**  
SCALE: 1"=40'

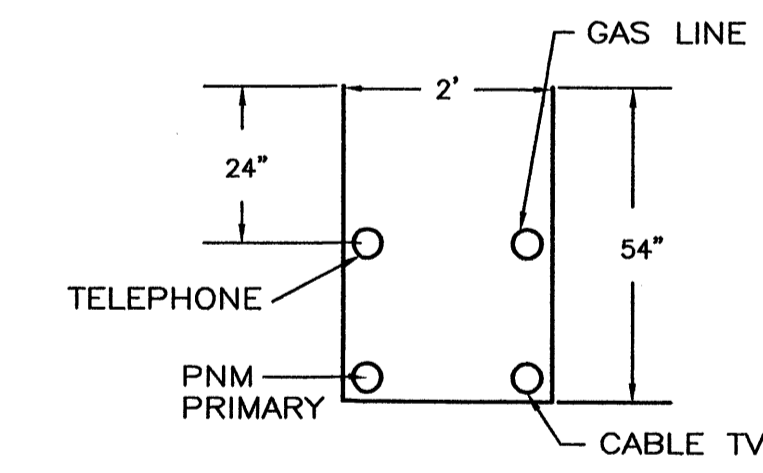
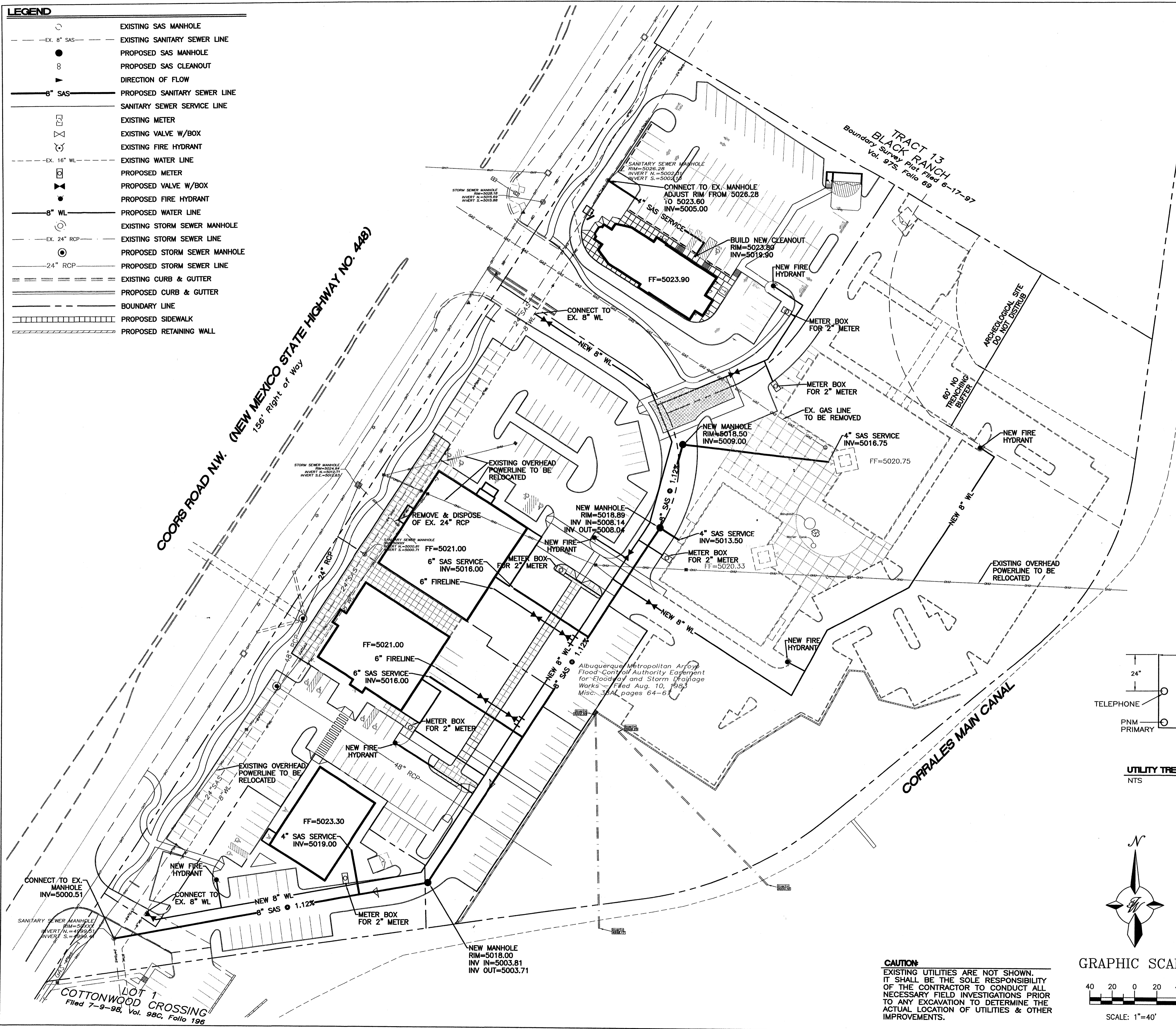
|                               |   |                    |
|-------------------------------|---|--------------------|
|                               | <b>COTTONWOOD CROSSING PHASE 2</b>                            | DRAWN BY JDN       |
|                               | <b>DETAIL SHEET</b>   | DATE 10-08-03      |
|                               | 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 | 2297GRB-8-6-03     |
|                               |   | SHEET # <b>C-3</b> |
| RONALD R. BOHANNAN P.E. #7868 |   | JOB # 220097       |

**LEGEND**

- EXISTING SAS MANHOLE
- EX. 8" SAS
- PROPOSED SAS MANHOLE
- PROPOSED SAS CLEANOUT
- DIRECTION OF FLOW
- 8" SAS
- SANITARY SEWER SERVICE LINE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EX. 16" WL
- PROPOSED METER
- PROPOSED VALVE W/BOX
- PROPOSED FIRE HYDRANT
- 8" WL
- PROPOSED WATER LINE
- EXISTING STORM SEWER MANHOLE
- EX. 24" RCP
- PROPOSED STORM SEWER MANHOLE
- 24" RCP
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL

**NOTICE TO CONTRACTORS**

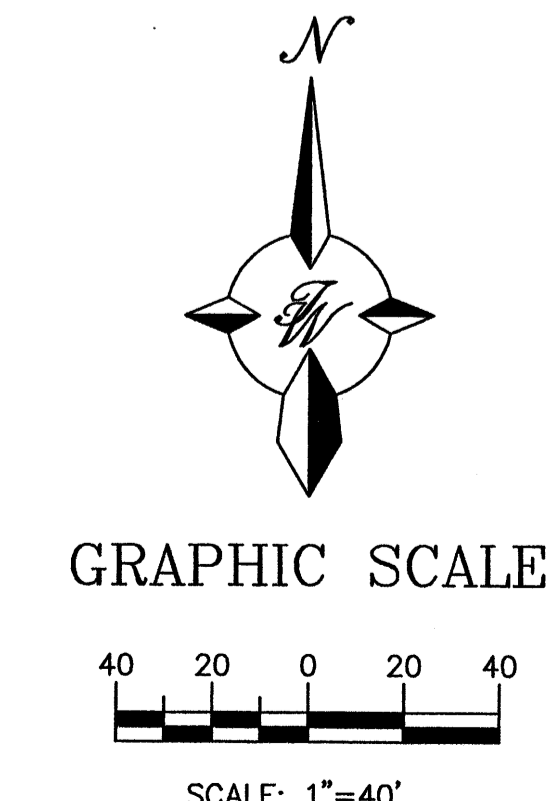
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING



**UTILITY TRENCH DETAIL**  
NTS

- GENERAL NOTES:**
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
  5. ALL PIPE MATERIAL TO BE USED PER U.P.C.

**CAUTION**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



|                                  |  |                       |                 |
|----------------------------------|--|-----------------------|-----------------|
| ENGINEER'S SEAL                  | <b>COTTONWOOD CROSSING PHASE 2</b>   | DRAWN BY JDN          |                 |
|                                  | <b>MASTER UTILITY PLAN</b>   | DATE<br>09-17-03      | 2297MUB-8-07-03 |
|                                  | <b>TIERRA WEST, LLC</b><br>8509 JEFFERSON NE<br>ALBUQUERQUE, NEW MEXICO 87113<br>(505)858-3100 | SHEET #<br><b>C-4</b> | JOB #<br>220097 |
| RONALD R. BOHANNAN<br>P.E. #7868 |  |                       |                 |

**LOT 1 COTTONWOOD CROSSING**  
Filed 7-9-98, Vol. 98C, Folio 196

Albuquerque Metropolitan Area Flood Control Authority Easement for Floodway and Storm Drainage Works - Filed Aug. 10, 1993 Misc. 35AL pages 64-67