

9



18-26-03  
JMA

### DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-01119 (P&F)  
Project Name: **BERQUIST ADDITION**  
Agent: Surveys Southwest

Project # **1002797**  
EPC Application No.:  
Phone No.: 998-0303

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 7/14/03 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

Project Number

1002797

X

TRANSPORTATION: R/W dedication

UTILITIES:

CITY ENGINEER / AMAFCA:

X

PARKS / CIP: cashin lica for parks

PLANNING (Last to sign): Signed...

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.

X

**Include 3 copies of the approved site plan along with the originals.**  
 **County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**

**Property Management's signature must be obtained prior to Planning Department's signature.**

X

~~Copy of final plat AND a DXF File for AGIS is required.~~ OK by  
 **Copy of recorded plat for Planning.**

8-26-03  
AM

APPLICATION NO. 03DRB-01119	PROJECT NO. 1002797
PROJECT NAME	
EPC APPLICATION NO.	
APPLICANT / AGENT	PHONE NO. 998-0303
ZONE ATLAS PAGE 1C-11	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
<b>ONE STOP COMMENT FORM LOG</b>	

<b>TRANSPORTATION DEV (505) 924-3990</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>RD</i>	DATE <i>8-26-03</i>	DATE
COMMENTS:		

<b>UTILITY DEV (505) 924-3989</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

<b>HYDROLOGY DEV (505) 924-3986</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

<b>PARKS AND REC (505) 768-5328</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>CS</i>	DATE <i>8/25/03</i>	DATE
COMMENTS:		

<b>PLANNING (505) 924-3858</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

(Return form with plat / site plan)



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

July 16, 2003

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:05 a.m.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000420**  
03DRB-01005 Major-Vacation of  
Public Easements

TIERRA WEST agent(s) for HARLAN FAUST request(s) the above action(s) for all or a portion of Tract(s) H1-A-1, **THE 25**, zoned IP, located on THE 25 WAY NE, between JEFFERSON ST NE and THE LANE AT 25 NE containing approximately 2 acre(s). [REF: 02DRB-01524] (F-17) **VACATION APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**



**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

2. **Project # 1000188**  
03DRB-01131 Minor-Amnd SiteDev Plan  
Subd/EPC  
03DRB-01132 Minor-Amnd SiteDev Plan  
BldPermt/EPC
- 03DRB-01135 Minor-Amnd SiteDev Plan  
Subd/EPC  
03DRB-01136 Minor-Amnd SiteDev Plan  
BldPermt/EPC
3. **Project # 1002630**  
03DRB-01114 Minor-Amnd SiteDev Plan  
BldPermt/EPC
- TIERRA WEST LLC agent(s) for WEST BLUFF CENTER LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **WEST BLUFF SUBDIVISION**, zoned C-2 community commercial zone, located on OURAY RD NW, between COORS BLVD NW and CORONA DR NW containing approximately 10 acre(s). [REF: 01EPC-01539, 01EPC-01540] **[RUSSELL BRITO, EPC CASE PLANNER]** (H-11) **THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THE AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
- TIERRA WEST LLC agent(s) for WEST BLUFF CENTER LLC request(s) the above action(s) for all or a portion of Tract(s) 1, 2 and 3, **WEST BLUFF SUBDIVISION**, zoned C-2 community commercial zone, located on OURAY RD NW, between COORS BLVD NW and CORONA DR NW containing approximately 12 acre(s). [REF: 01EPC-00467, 01EPC-00304] **[RUSSELL BRITO, EPC CASE PLANNER]** (H-11) **THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THE AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
- KEVIN GEORGES & ASSOCIATES, agent(s) for PRESBYTERIAN HEALTHCARE SERVICES, request(s) the above action(s) for all or a portion of Block(s) 25A, Tract(s) A1, **TERRACE ADDITION**, zoned SU-2 special neighborhood zone, MC, located on CEDAR ST SE, between LEAD AVE SE and COAL AVE SE containing approximately 1 acre(s). [REF: 03EPC-00688, Z-81-67, Z-79-72, Z-78-177-1, 2 & 3] **[CYNTHIA BORREGO, EPC CASE PLANNER]** (K-15) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGENT TO ATTACH ORIGINAL SITE PLAN TO THIS ONE AND VOID THE ORIGINAL ONE.**

4. **Project # 1000264**  
03DRB-01124 Minor-SiteDev Plan  
Subd/EPC  
03DRB-01125 Minor-SiteDev Plan  
BldPermit/EPC  
03DRB-01126 Minor-Prelim&Final Plat  
Approval

TIERRA WEST LLC agent(s) for WEST BLUFF CENTER LLC & CONWAY WEST BLUFF LLC, request(s) the above action(s) for all or a portion of Tract(s) 1A,1B,1C, 2A, 3A and 3B, **CBRL SUBDIVISION**, zoned C-2 community commercial zone, located on OURAY BLVD NW, between COORS BLVD NW and CORONA DR NW containing approximately 6 acre(s). **[RUSSELL BRITO, EPC CASE PLANNER] (H-11) THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING BECAUSE VERTICAL DIMENSIONS OF BUILDING ARE SHOWN BUT ELEVATIONS NEED TO SHOW TYPICAL DIMENSIONS. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING BECAUSE VERTICAL DIMENSIONS OF BUILDING ARE SHOWN BUT ELEVATIONS NEED TO SHOW TYPICAL DIMENSIONS. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR DOCUMENTS FOR MAINTENANCE COVENANTS AND INTERNAL EASEMENTS FOR PRIVATE SEWER.**

03DRB-01129 Minor-Amnd SiteDev Plan  
Subd/EPC  
03DRB-01130 Minor-Amnd SiteDev Plan  
BldPermt/EPC

TIERRA WEST LLC agent(s) for WEST BLUFF CENTER LLC & CONWAY WEST BLUFF, request(s) the above action(s) for all or a portion of Tract(s) 1A,1B, 1C, 2A, 3A and 3B, **CBRL SUBDIVISION**, zoned C-2 community commercial zone, located on OURAY RD NW, between COORS BLVD NW and CORONA DR NW containing approximately 6 acre(s). [REF: 02EPC-01166, 02EPC-01167] **[RUSSELL BRITO, EPC CASE PLANNER] (H-11) THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR LANDSCAPING NOTES AND TO CHECK FOR RUSSELL BRITO'S COMMENTS IN THE FILE.**

5. **Project # 1002405**  
03DRB-00879 Minor-SiteDev Plan  
BldPermit/EPC

JOHN A. MYERS agent(s) for TANAGER- REDLANDS, LLC request(s) the above action(s) for all or a portion of Tract(s) A-28-B1, **TOWN OF ATRISCO GRANT, NORTHEAST UNIT**, zoned SU-1 special use zone, for C-1 uses to include AUTO BODY REP. & PAINT., located on the WEST SIDE OF COORS BLVD NW, between SEQUOIA RD NW and QUAIL RD NW containing approximately 5 acre(s). [REF: 02EPC-01949] [DEBBIE STOVER, EPC CASE PLANNER] [*Deferred from 6/11/03, 7/9/03 & 7/16/03*] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 8/6/03.**

6. **Project # 1000610**  
03DRB-00985 Minor-SiteDev Plan  
BldPermit/EPC  
03DRB-00984 Minor-Prelim&Final Plat  
Approval

CONSENSUS PLANNING, agent(s) for WEST MESA MINI STORAGE, request(s) the above action(s) for all or a portion of Tract(s) 334/SLY, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned SU-1 special use zone, OFFICE, located on the NORTHWEST CORNER OF MIAMI ST NW AND 57<sup>TH</sup> ST NW containing approximately 6 acre(s). [REF: 03EPC-00312, 03EPC-00314, 03EPC-00315] [MAKITA HILL, EPC CASE PLANNER] [*Deferred from 6/25/03 & 7/9/03*] (H-11) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO FIND OUT WHAT HAPPENED TO THE MIDDLE FIRE HYDRANT WEST OF BUILDING G. WITH THE SIGNING OF THE AMENDED INFRASTRUCTURE LIST DATED 7/16/03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS DEFERRED TO 7/23/03.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

7. **Project # 1000505**  
03DRB-01121 Minor-Prelim&Final Plat  
Approval
- SURVEYS SOUTHWEST, agent(s) for ALBERT GALLEGOS, requests the above action(s) for all or a portion of Lot(s) 1-A-1 & 2-A-1, Block(s) 5, **GRANT TRACT**, zoned SU-2 special neighborhood zone, Office, located on 6TH ST NW, between MOUNTAIN RD. NW and GRANITE AV. NW containing approximately 1 acre(s). [REF:03DRB-00531,ZA-00-74, DRB-99-314](J-14) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**
8. **Project # 1001347**  
03DRB-01133 Minor-Amnd Prelim Plat  
Approval  
03DRB-01134 Minor-Final Plat Approval
- ISAACSON & ARFMAN, PA agent(s) for D. R. HORTON, INC. request(s) the above action(s) for all or a portion of Tract(s) A1, Unit(s) 3, **ALBUQUERQUE SOUTH, ELEGANTE AT EL RANCHO GRANDE – FORMERLY EL RANCHO GRANDE UNIT 7**) zoned R-LT residential zone, per RIO BRAVO SECTOR PLAN, located on VALLEY VIEW DR SW, between FLOYD AVE SW and DEL REY SW containing approximately 13 acre(s). [REF: 01-00960 & 62, 02DRB-01829, 02DRB-00764 & 65, 03DRB-00165 & 67] (M-9) **WITH THE SIGNING OF THE AMENDED INFRASTRUCTURE LIST DATED 7/16/03 THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO CITY ENGINEER FOR CONNECTION OF ADJACENT RIGHT-OF-WAY LABEL. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**



9. **Project # 1002797**  
03DRB-01119 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST, LTD agent(s) for RAY MARES request(s) the above action(s) for all or a portion of Lot(s) T, **BERQUIST ADDITION**, zoned R-2 residential zone, located on ESTANCIA DR NW, between AVALON RD NW and CENTRAL AVE NW containing approximately 1 acre(s). (K-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND TRANSPORTATION DEVELOPMENT FOR RIGHT-OF-WAY DEDICATION.**

10. **Project # 1002799**  
03DRB-01123 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST, LTD agent(s) for BRENT DEPONTE request(s) the above action(s) for all or a portion of Tract(s) B-1-C & B-1-E, **NETHERWOOD PARK ADDITION**, zoned C-3 heavy commercial zone, located on CUTLER AVE NE, between INTERSTATE 40 NE and WASHINGTON ST NE containing approximately 3 acre(s).[REF:DRB-96-358, DRB-96-491,V-96-91] (H-17) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR A NOTE REVISION: "EASEMENT SHOULD BE LABELED " 25 FOOT PRIVATE ACCESS AND PUBLIC UTILITY AND PUBLIC WATER AND SANITARY SEWER EASEMENT".**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

11. **Project # 1001753**  
03DRB-01128 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES, PA, agent(s) for MESA VERDE DEVELOPMENT CORP., request(s) the above action(s) for all or a portion of Tract(s) 1, Lot(s) 1-11 and 21-32, Block(s) 10 and 11, Unit 3, NORTH ALBUQUERQUE ACRES, **DESERT RIDGE TRAILS EAST**, zoned R-D, located east of WYOMING BLVD NE, between SAN DIEGO AVE NE and GLENDALE AVE NE, containing approximately 12 acre(s). (B-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**



12. **Project # 1002636**  
03DRB-01084 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST LTD agent(s) for ROBERT SEIGLITZ request(s) the above action(s) for all or a portion of Lot(s) 24, **RICE'S DURANES ADDITION - UNIT 1**, zoned R-2, located on RICE AVE NW, between RIO GRANDE BLVD NW and DURANES NW containing approximately 1 acre(s). [REF: 03DRB-00708 (H-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project # 1002798**  
03DRB-01122 Minor-Sketch Plat or Plan

ROBERT GARCIA agent(s) for BILLY HOLLER request(s) the above action(s) for all or a portion of Tract(s) A, **RIMA ADDITION**, Tract(s) 83A-1, **MRGCD, MAP 34** and Tract(s) A-1, **LANDS OF CONRADO GARCIA**, zoned SU-1 special use zone for PRD, C-2 & RA-2, located on the south side of CANDELARIA RD NW, between 12TH ST. NW and RIO GRANDE BLVD NW containing approximately 3 acre(s). [REF: Z-72-216] (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. **Project # 1002800**  
03DRB-01127 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES, PA agent(s) for ASHWATER HOMES, LLC request(s) the above action(s) for all or a portion of Lot(s) 10-23, Block(s) 12, Tract(s) 1, **NORTH ALBUQUERQUE ACRES, UNIT 3, QUIVERA ESTATES**, zoned R-D residential and related uses zone, developing area, located on the west side of BARSTOW ST NE, between GLENDALE NE and MODESTO AVE NE containing approximately 14 acre(s). [REF: DRB-99-143, SV-97-27] (B-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project # 1002788**  
03DRB-01078 Minor-Sketch Plat or Plan

LOUIS KOLKER, agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP, request(s) all or a portion of Lot(s) A-1, Block(s) 11, **YEAROUTS - KNOB HEIGHTS SUBDIVISION**, zoned R-3, located on THAXTON AVE SE between WELLESLEY SE and AMHERST SE, containing approximately 1 acre(s). *[Deferred from 7/9/03]* (L-16)  
**THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. ADJOURNED: 11:05 A.M.

9



# DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-01119 (P&F)	Project # 1002797
Project Name: BERQUIST ADDITION	EPC Application No.:
Agent: Surveys Southwest	Phone No.: 998-0303

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 7/16/03 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

Project Number

1002797

X

TRANSPORTATION:

*R/W dedication*

- 
- 
- 
- 

UTILITIES:

- 
- 
- 
- 

CITY ENGINEER / AMAFCA:

- 
- 
- 
- 

X

PARKS / CIP:

*cashin line for parks*

- 
- 
- 
- 

PLANNING (Last to sign):

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- Copy of final plat AND a DXF File for AGIS is required.** *dx fokay*
- Copy of recorded plat for Planning.**

**CITY OF ALBUQUERQUE**  
**Planning Department**  
**Development Review Board**  
**July 16, 2003 Comments**

ITEM # 9

PROJECT # 1002797

APPLICATION # 03DRB-01119

RE: Berquist Addition, Lot T

The size of these two lots qualify only for townhomes as they are 3,0001 square feet each. Single family must have 3,600 square feet. Apartments require 6,000 square feet minimum.

Be sure to follow the RT setback requirements when developing the lots. We are assuming the lots are currently vacant?

AGIS dxf approval is done.



Sheran Matson, AICP DRB Chair  
924-3880 Fax 924-3864





F

**City of Albuquerque**  
**Parks and Recreation Department**  
PO Box 1293, Albuquerque, New Mexico 87103  
Inter-Office Correspondence

Development Review Board Comments

**Project Number:** 1002797

**Application Number:** 03DRB-01119

**DRB Date:** 7/16/03

**Item Number:** 9

**Subdivision:**

Lot T, Berquist Addition

**Zoning:** R-2

**Zone Page:** K-11

**New Lots (or units) :** 1

**Request for:**

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

**Parks and Recreation Comments:**

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 1 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

**Signed:**

Christina Sandoval, (PRD)

Phone: 768-5328



**City of Albuquerque**  
CITY OF ALBUQUERQUE  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
**HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1002767**

**AGENDA ITEM NO: 9**

**SUBJECT:**

- |                         |                          |                              |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

No adverse comments.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** July 16, 2003

AGIS ELECTRONIC SUBMITTAL CHECKLIST

DRB Project# 1002797 Subdivision Name Bergquist addn. lots T-1 & T-2

Surveyor Gary Gritsko Company Survey SW

Contact person Sarah Phone # \_\_\_\_\_ email samat@swsurvey.com

Barbara A. Romero \_\_\_\_\_ 7-8-03  
Approved \*Not Approved Date

DXF RECEIVED 7-8-03 DATE  
 HARD-COPY RECEIVED 7-8-03 DATE  
 DISCLOSURE STATEMENT

===== NAD 27 ground =====

**\*Not Approved for one or more of the following reasons:**

**File Format and naming**

- 1) \_\_\_ Format is not DXF file in ASCII format
- 2) \_\_\_ No hard copy of the final plat submitted
- 3) \_\_\_ <DRB Project #>.dxf not used as a standard naming convention

**Coordinate System**

- 4) \_\_\_ Submittal does not include a disclosure of the datum (NAD27 or NAD83)
- 5) \_\_\_ Submittal does not specify if coordinates are based on ground or grid distances
- 6) \_\_\_ Submittal does not include information, such as a tie to an ACS monument, necessary to convert from ground to grid
- 7) \_\_\_ Lines cannot be projected/converted to correct location in NAD83 NMSP coordinate system

**Content**

- 8) \_\_\_ Submittal is not single drawing in model space showing only parcel and easement lines
- 9) \_\_\_ Digital submittal does not match final plat
- 10) \_\_\_ Parcel lines are not in one separate layer
- 11) \_\_\_ Access easement lines and all other easements that are 20 feet wide or greater are not in a second separate layer
- 12) \_\_\_ All other easement lines are not in a third separate layer

Comments:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

AGIS Use Only: Copied cov 2797 to agiscov on 7-8-03 Client Notified By email



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION Supplemental form S

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN P

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

ZONING & PLANNING Supplemental form Z

- Annexation
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Subdivision Regulations)

APPEAL / PROTEST of... A

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: ROY MARES PHONE: 275-5681  
 ADDRESS: 811 WARM SANDS CT. SE FAX: \_\_\_\_\_  
 CITY: ALBU STATE NM ZIP 87123 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: OWNER  
 AGENT (if any): SURVEYS SOUTHWEST, LTD PHONE: 998-0303  
 ADDRESS: 333 LOMAS BLVD NE FAX: 998-0306  
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: DIVIDE ONE EXISTING LOT INTO TWO NEW LOTS.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 1 Block: 1 Unit: 1  
 Subdiv. / Addn. BERQUIST ADDITION  
 Current Zoning: R-2 Proposed zoning: \_\_\_\_\_  
 Zone Atlas page(s): K-11-Z No. of existing lots: 1 No. of proposed lots: 2  
 Total area of site (acres): 0.1378 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO  
 UPC No. 1-011-057-181-367-20837 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: ESTANCIA DRIVE NW  
 Between: AVALON RD. NW and CENTRAL AV. NW.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): NA

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 7-07-03  
 (Print) Dan Graney  Applicant  Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>03DRB</u>	<u>PLF</u>		<u>\$ 285.00</u>
<input checked="" type="checkbox"/> All fees have been collected				\$
<input checked="" type="checkbox"/> All case #'s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #'s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				\$
<input type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>JULY 16<sup>th</sup> '03</u>			Total <u>\$ 285.00</u>

[Signature] 7/7/03  
 Planner signature / date

Project # 1002797



**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

**SKETCH PLAT REVIEW AND COMMENT**

**YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

**MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT**

**Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

**Extensions are not reviewed through internal routing.**  
Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule) **\$2850**
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**AMENDMENT TO PRELIMINARY PLAT (with minor changes)**

**Your attendance is required.**

**AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

**AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
  - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Grancy  
Dan Grancy

Applicant name (print)

7-07-03  
Applicant signature / date



Form revised MARCH 2003

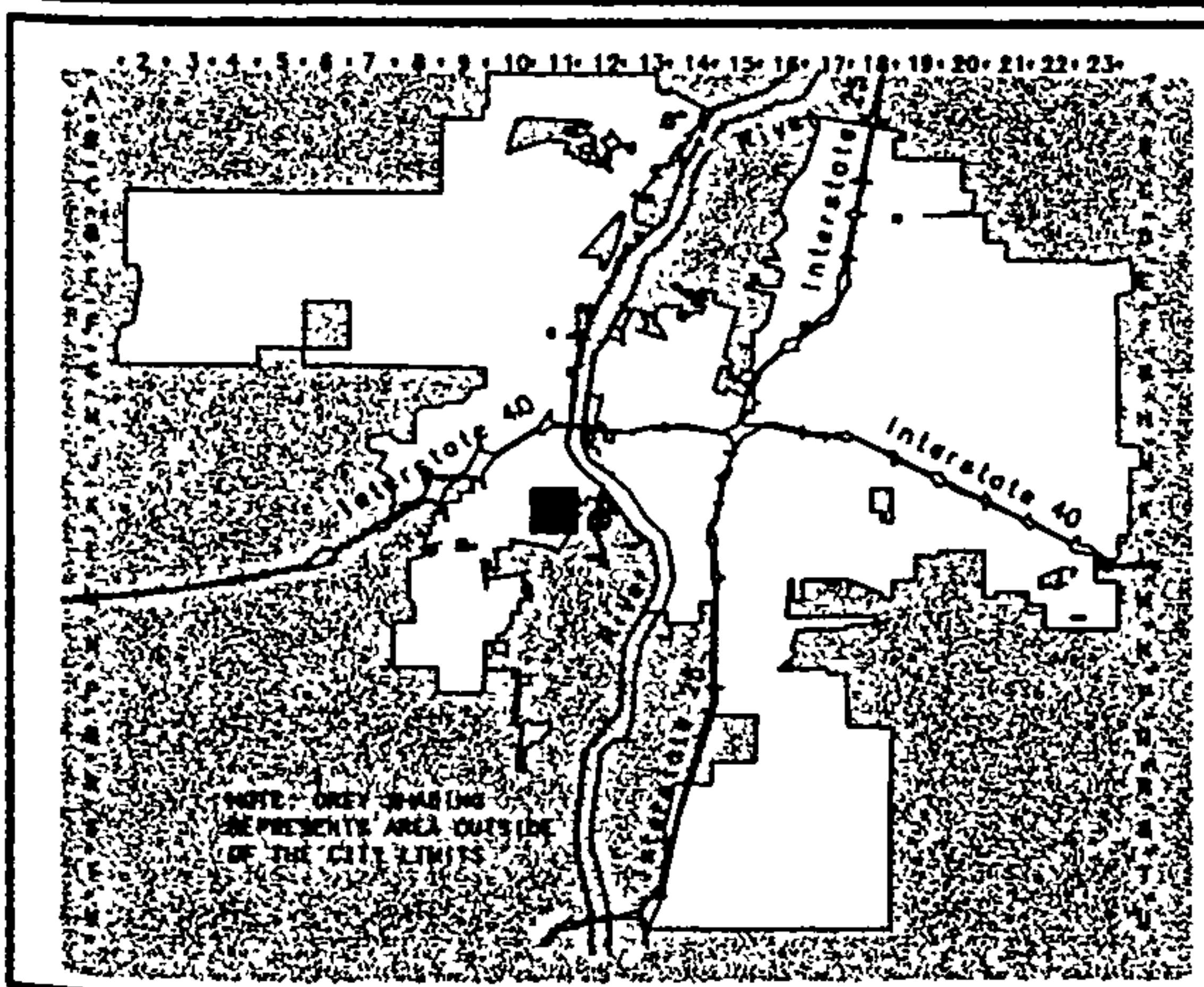
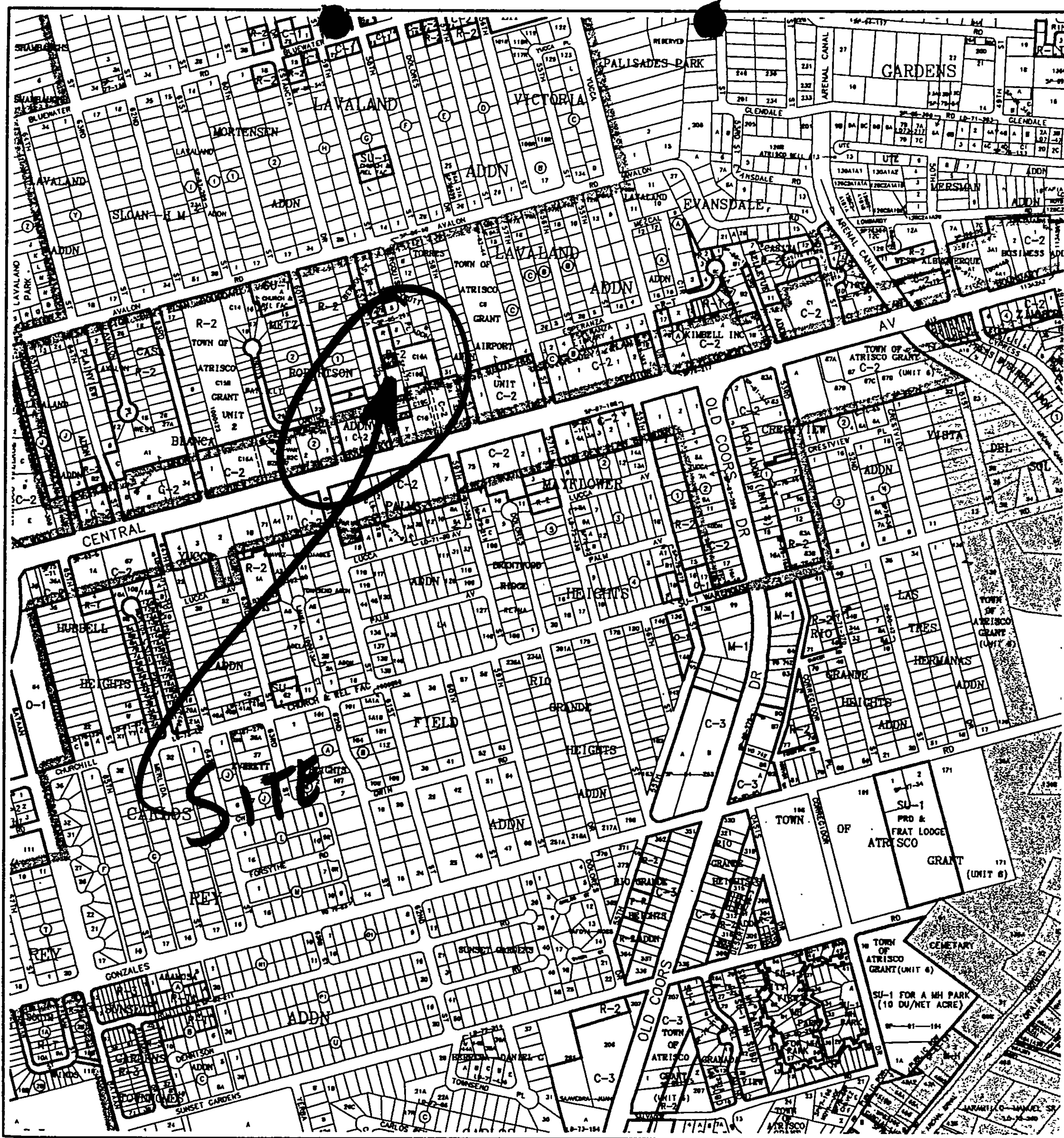
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
03DRB-01119

Robert 7/7/03  
Planner signature / date

**Project # 1002797**



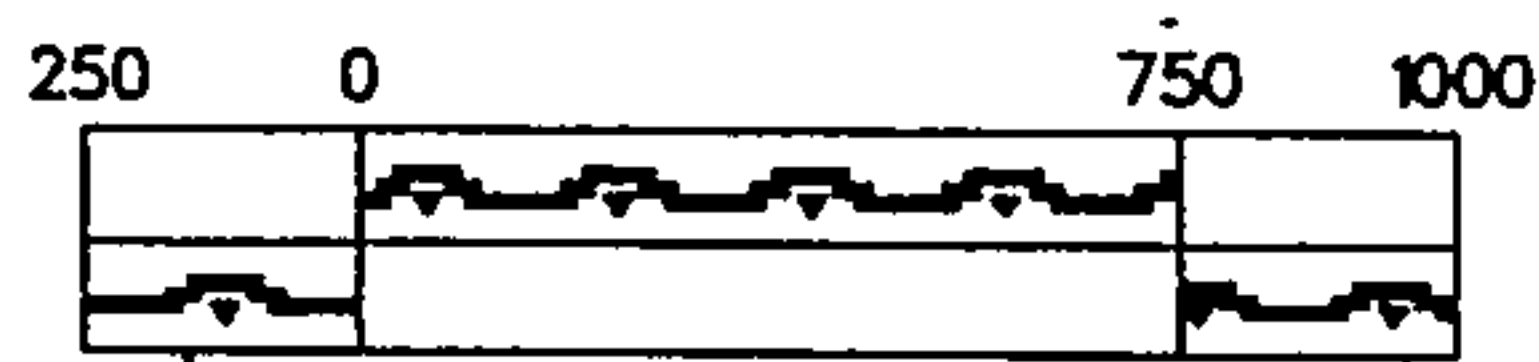


CITY OF  
Albuquerque

**A**buquerque **G**eographic **I**nformation **S**ystem  
**PLANNING DEPARTMENT**

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GRAPHIC SCALE IN FEET



**Zone Atlas Page**

**K-11-Z**

Map Amended through July 18, 2001



# *Surveys Southwest, LTD*

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333 Lomas Blvd., NE \* Albuquerque, New Mexico 87102 \* 998-0303 \* Fax 998-0306

July 8, 2003

DEVELOPMENT REVIEW BOARD MEMBERS  
PLAZA DEL SOL  
600 SECOND STREET NW  
ALBUQUERQUE, NM 87102

REF: LOTS T-1 & T-2, BERQUIST ADDITION

Dear Board Members:

Surveys Southwest, LTD is requesting to divide One (1) existing lot into Two (2) new lots for the above referenced property.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney  
President

ONE STOP SHOP ••• FRONT COUNTER  
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)  
LAND DEVELOPMENT COORDINATION SECTION (LDC)  
Plaza Del Sol - 2nd & 4<sup>TH</sup> Floor West - 600 2nd St NW 87102  
Front Counter Main Number (505) 924-3858 or 924-3895  
Main Fax (505) 924-3864

### PAID RECEIPT

**APPLICANT NAME** R. MARES

**AGENT** Surveys SW

**ADDRESS** 333 LOMAS BLVD NE 87102

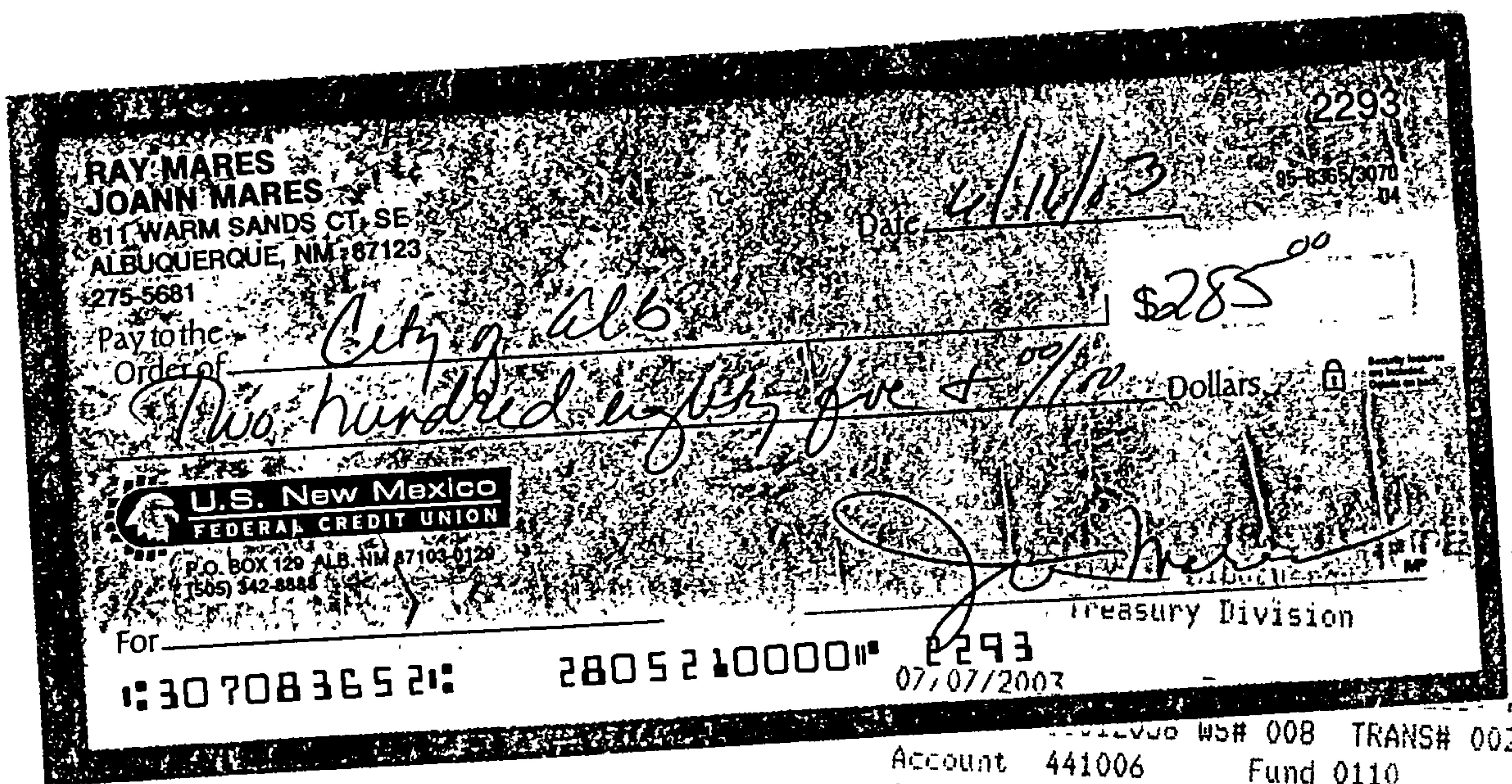
**PROJECT NO.** 1002797

**APPLICATION NO.** 03DR2-01119

\$ 285<sup>00</sup> 441006 / 4983000 (DRB Cases)  
\$ \_\_\_\_\_ 441006 / 4971000 (EPC & AA / LUCC / Appeals)  
\$ \_\_\_\_\_ 441018 / 4971000 (Notification)

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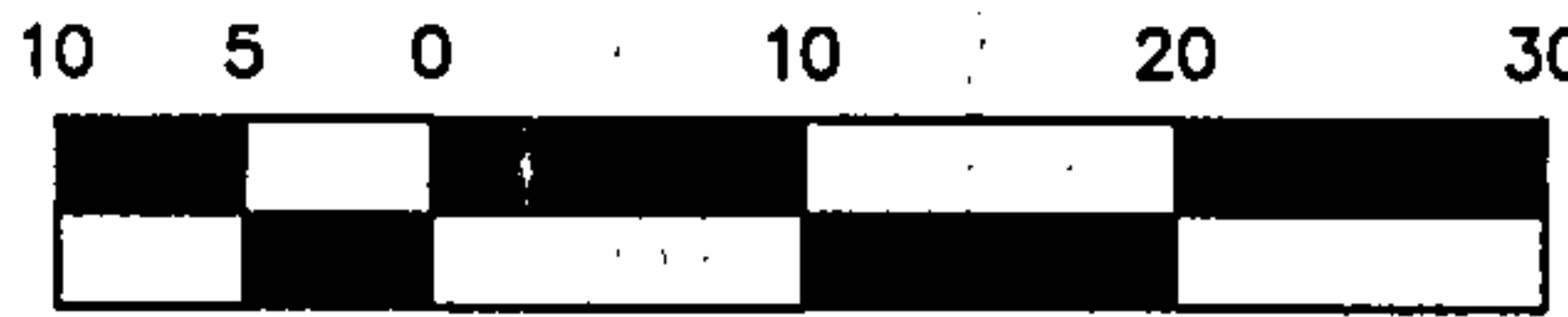
\$ 285<sup>00</sup> Total amount due



Account 441006 Fund 0110  
Activity 4983000 TRSDMM  
Trans Amt \$285.00  
J24 Misc 10/28/02 \$285.00  
CA \$285.00  
CHANGE \$0.00



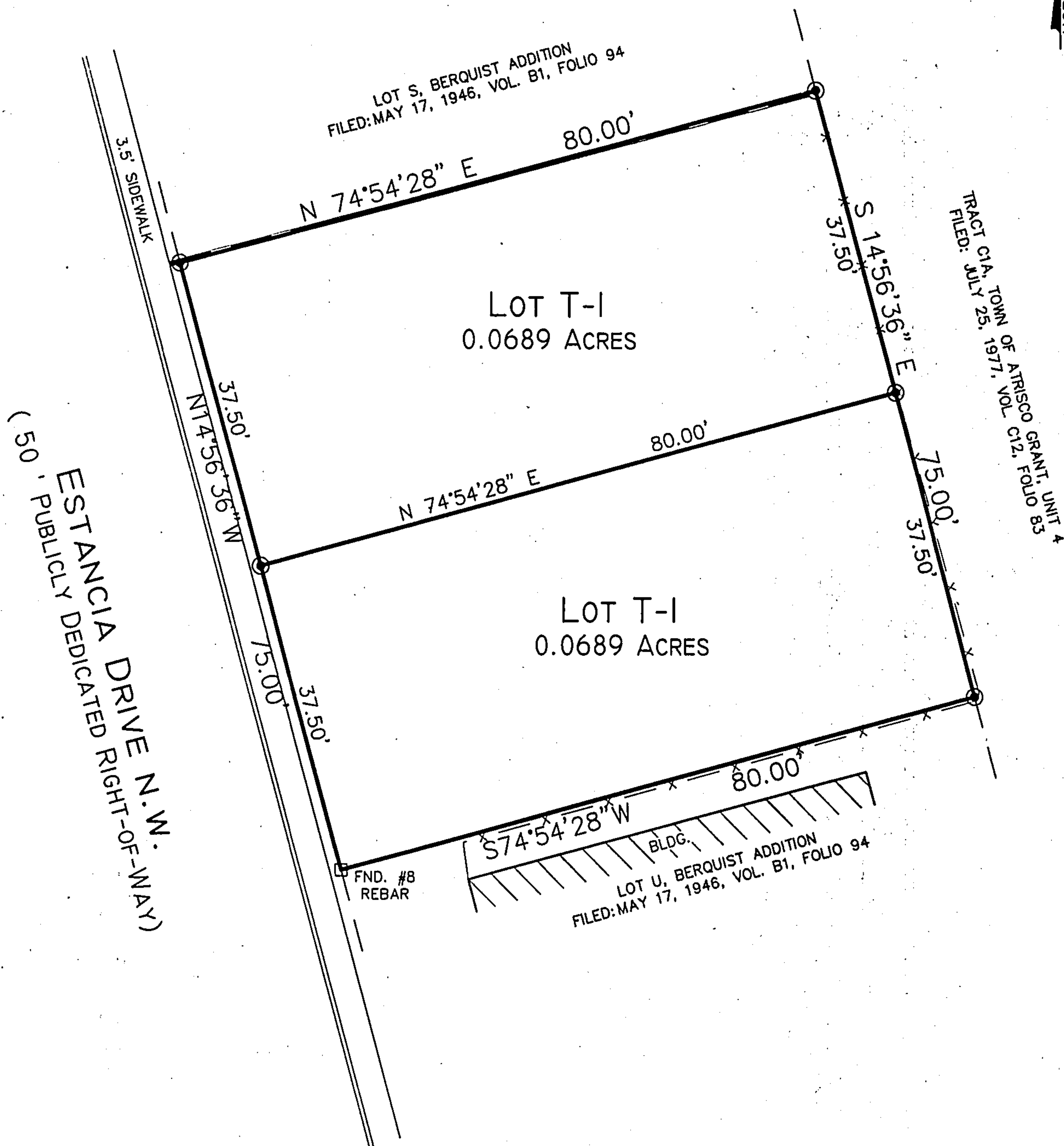
"EXHIBIT"



1" = 20'  
PROJECT NO. 0306RS51  
DRAWN BY : RS  
ZONE ATLAS: K-11-Z  
LOT-T.CR5



NORTH



THIS REPORT IS NOT FOR USE BY A PROPERTY OWNER FOR ANY PURPOSE.

**SURVEYS SOUTHWEST, LTD.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0306

**BERQUIST ADDITION**