

PLAT OF
RIMA ADDITION
 IN THE CITY OF
ALBUQUERQUE, NEW MEXICO

g184

State of New Mexico }
 County of Bernalillo } SS
 This instrument was filed for record on
 2:34 SEP 7 1972
 At 9 o'clock P.M. Recorded in Vol. 101
 of records of said County Falls
 Clerk & Recorder
 Deputy

PLAT NO. LD-72-364

ROSS HOWARD COMPANY RLH-DRK/MJ
 AUGUST 31, 1972

APPROVED:

CITY PLANNING COMMISSION
 ALBUQUERQUE, NEW MEXICO

[Signature]
 6-13 CITY

I, David R. Kraemer, a duly qualified Land Surveyor licensed to practice under the Laws of the State of New Mexico, do hereby certify the Plat hereon delineated was prepared under my direction and supervision, and that the representations thereon are true and correct to the best of my knowledge and belief.

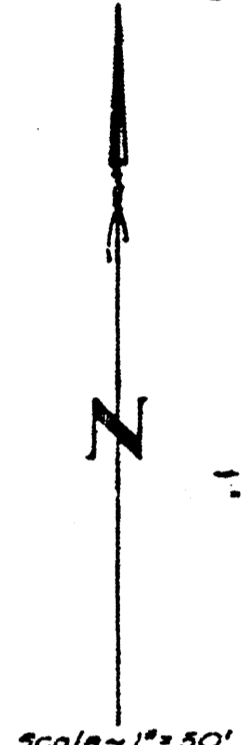
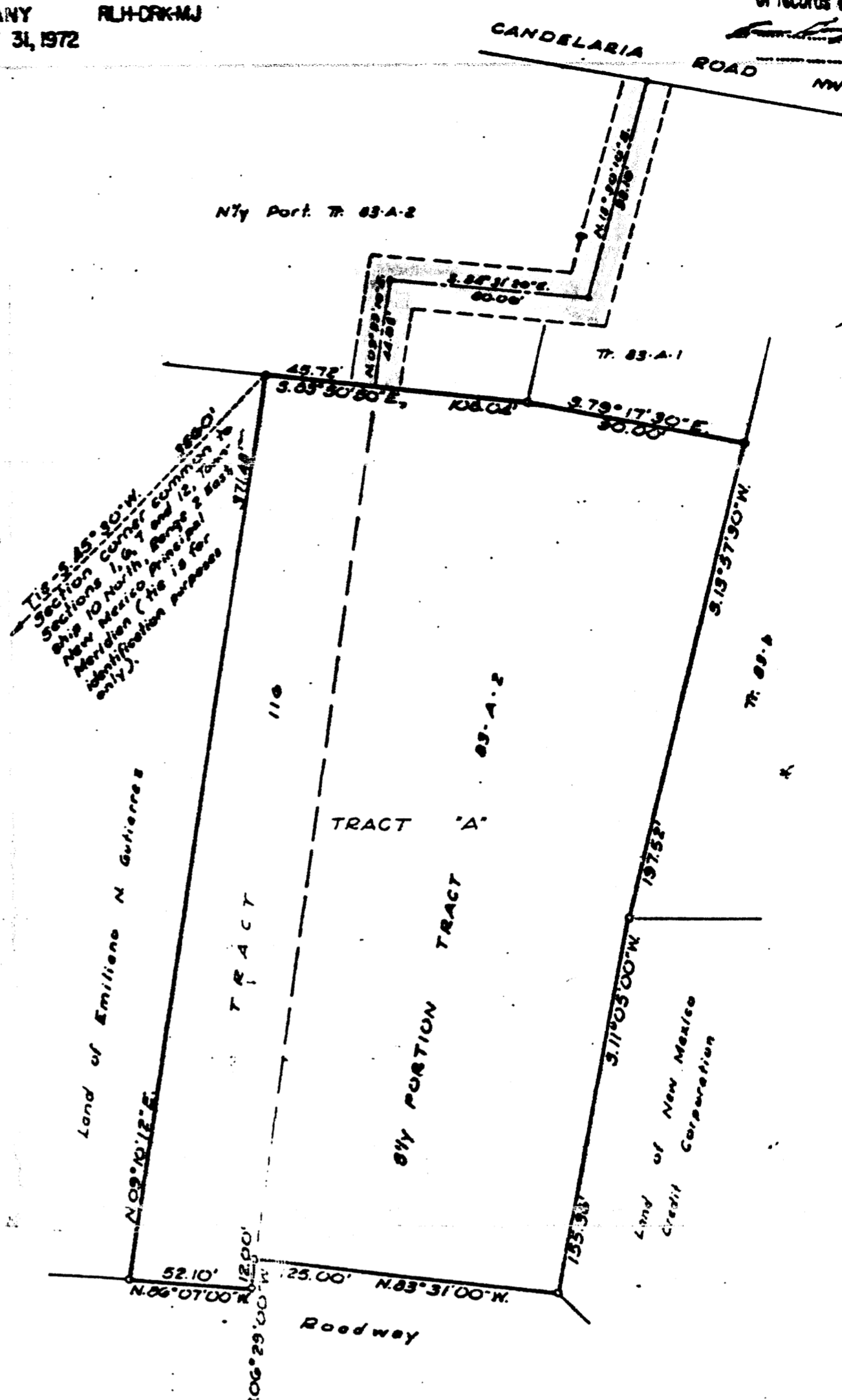


David R. Kraemer
 David R. Kraemer
 New Mexico Registered
 Land Surveyor No. 4577

New Mexico Title Company hereby certifies that all taxes have been paid in full for the period of the past ten (10) years, up to and including the year 1971, for all of the property included in the plat upon which this certificate appears.

NEW MEXICO TITLE COMPANY

By *Margie R. Fladath*



A certain tract of land situate in Section 6, Township 10 North, Range 3 East, New Mexico Principal Meridian, within the City Limits of the City of Albuquerque, New Mexico, being identified as all of Tract Numbered 116 and the Southerly portion of Tract numbered 83-A-2, as the same are shown and designated on Middle Rio Grande Conservancy District Property Map No. 34. Being more particularly described by metes and bounds survey as follows: Bearings are by astronomical observation.

Beginning at the Northwest corner of the tract herein described, said Northwest corner being common to the Northwest corner of Tract numbered 116 as shown and designated on Middle Rio Grande Conservancy District Property Map No. 34, whence the Section Corner common to Sections 1, 6, 7 and 12, Township 10 North, Range 2 East, New Mexico Principal Meridian, bears S.45°30'W., 3560 feet distant (tie is for identification purposes only); thence S.83°50'50"E., 108.04 feet distant to a point; thence S.79°17'30"E., 90.00 feet distant to the Northeast corner of the tract herein described; thence S.13°57'30"W., 197.52 feet distant to a point; thence S.11°05'00"W., 155.36 feet distant to the Southeast corner of the tract herein described, said Southeast corner being common to the Southeast corner of Tract numbered 83-A-2 as shown on Middle Rio Grande Conservancy District Property Map No. 34; thence N.83°31'00"W., 125 feet to a point; thence S.05°29'00"W., 12.00 feet distance to a point; thence N.86°07'00"W., 52.10 feet distance to the Southwest corner of the tract herein described, said Southwest corner being common to the Southwest corner of said Tract 116; thence N.09°10'12"E., 371.48 feet distance to the place of beginning and containing 1.528 acres, more or less.

ALSO, a Twenty (20) foot wide roadway easement to be used for ingress and egress to and from the above described tract, measuring Ten (10) feet on either side of the following described centerline, to wit:

Beginning, for a tie, at the Northwest corner of the above described tract and running thence S.83°50'50"E., 45.72 feet distance along the northerly boundary of said tract to the most southerly and true beginning point of the centerline herein described; thence N.09°23'10"E., 44.05 feet distance to a point; thence S.84°31'20"E., 80.06 feet distance to a point; thence N.15°30'10"E., 92.10 feet distance to the most northerly point of the centerline herein described, said most northerly point being a point on the southerly right of way line of Candelaria Road NW.

And now hereon shown, surveyed and subdivided, comprising TRACT "A" of RIMA, AN ADDITION IN BERNALILLO COUNTY, NEW MEXICO, is with the free consent and in accordance with the desires of the undersigned owners and proprietors thereof.

Agent For RIMA CORPORATION

Richard A. Burmeister
 Richard A. Burmeister

STATE OF NEW MEXICO }
 COUNTY OF BERNALILLO } SS

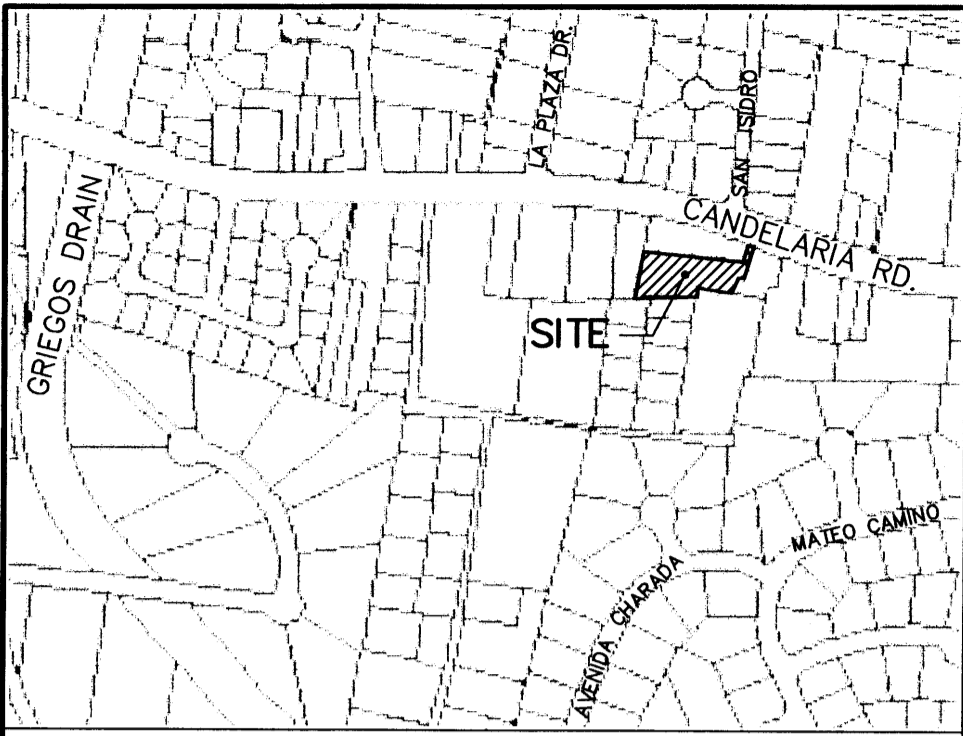
S E A L

The foregoing instrument was acknowledged before me this 4th day of September, 1972, by Richard A. Burmeister, Agent for RIMA Corporation.

Richard M. Howard
 NOTARY PUBLIC

My commission expires June 24, 1974

AGIS ✓



VICINITY MAP ZONE MAP NO. G-13-Z SCALE: 1" = 500'±

DISCLOSURE STATEMENT: THE PURPOSE OF THIS PLAT IS TO VACATE 20 FEET PRIVATE ROADWAY EASEMENT. LEGAL DESCRIPTION: A CERTAIN TRACT OF LAND SITUATE IN SECTION 6, T. 10 N. R. 3 E. N.M.P.M., WITHIN THE CITY LIMITS OF ALBUQUERQUE, NEW MEXICO, BEING IDENTIFIED AS TRACT 83-A-2, AS THE SAME IS SHOWN AND DESIGNATED ON MIDDLE RIO GRANDE CONSERVANCY DISTRICT PROPERTY MAP NO. 34, BERNALILLO COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT BEING A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF CANDELARIA ROAD NW., FROM WHENCE A TIE TO ACS MONUMENT "6-G13A" BEARS N. 67°04'32" W., A DISTANCE OF 394.61 FEET; THENCE, FROM SAID POINT OF BEGINING S.15°30'10"W., 96.16 FEET TO AN ANGLE POINT; THENCE, N.84°31'20"W., 16.39 FEET TO AN ANGLE POINT; THENCE, S.25°41'00"W., 36.96 FEET TO AN ANGLE POINT; THENCE, N.83°46'52"W., 108.05 FEET TO AN ANGLE POINT; THENCE, S.27°44'19"W., 7.22 FEET TO AN ANGLE POINT; THENCE, S.89°23'45"W., 142.05 FEET TO AN ANGLE POINT AND SOUTHWEST CORNER OF SAID TRACT; THENCE, N.09°57'02"E., 130.31 FEET TO AN ANGLE POINT; THENCE, S.80°24'45"E., 262.28 FEET TO AN ANGLE POINT; THENCE, N.14°14'36"E., 43.78 FEET TO AN ANGLE POINT; THENCE, S.71°22'20"E., 20.00 FEET TO AN ANGLE POINT AND POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; CONTAINING 0.6780 AC. (29,534.11 SF.), MORE OR LESS.

FREE CONSENT THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT.

OWNER(S) SIGNATURE: Greg B Hill DATE: 5/17/04 OWNER(S) PRINT NAME: Greg B. Hill

ACKNOWLEDGMENT STATE OF NEW MEXICO) S.S. COUNTY OF BERNALILLO) THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 17th DAY OF May 20 04, BY Greg B. Hill, Property owner

OFFICIAL SEAL SHAHRAM BIAZAR NOTARY PUBLIC STATE OF NEW MEXICO My Commission Expires 9-20-07

LINE TABLE with columns: LINE, LENGTH, BEARING. Rows: L1 (16.39, N84°31'20"W), L2 (7.22, S27°44'19"W), L3 (20.00, S71°22'20"E)

ACS MONUMENT "6-G13A" NM STATE PLANE COORDINATES CENTRAL ZONE X = 375,498.02 Y = 1,500,656.54-NAD 1927 EL. = 4965.73-NGVD 1929 G-G = 0.9996802 DELTA ALPHA = -0°14'22"



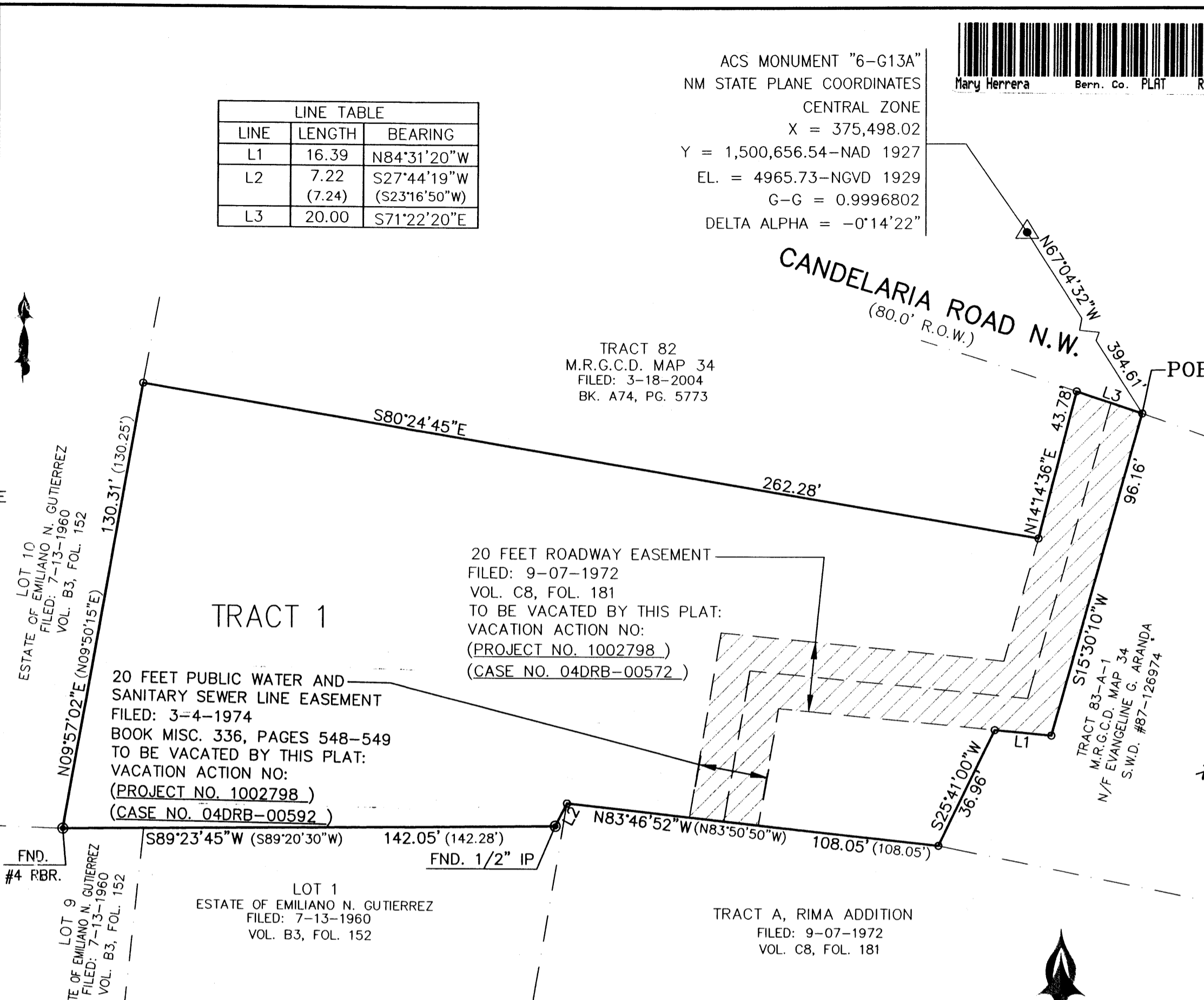
2004072704 6886156 Page: 1 of 1 05/27/2004 12:25P Bk-2004C Pg-165

PLAT OF TRACT 1 LAND OF HILL SECTION 6, T. 10 N., R. 3 E., N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO MAY, 2004

PROJECT NO. 1002798 APPLICATION NO. 04-00717

UTILITY APPROVALS table with columns: SERVICE, DATE. Rows: PNM ELECTRIC SERVICES (NA), PNM GAS SERVICES (NA), QWEST TELECOMMUNICATIONS (NA), COMCAST (NA)

APPROVALS table with columns: NAME, DATE. Rows: City Surveyor (Jan Tiel, 5-17-2004), Traffic Engineering (5-26-04), Utilities Development (5/26/04), Parks and Recreation (Christina Sandomal, 5/26/04), City Engineer (Budd L. Bihan, 5/26/04), DRB Chairperson (Sheran Matson, 5/26/04)



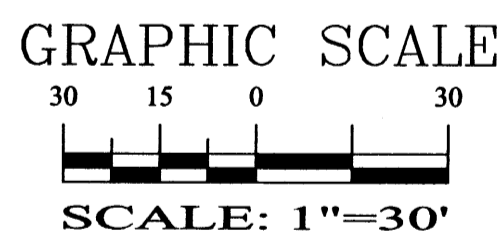
- GENERAL NOTES: 1: UNLESS NOTED, NO.4 REBAR WITH CAP STAMPED P.S. #9801 WERE SET AT ALL PROPERTY CORNERS. 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD. 3: TOTAL AREA OF PROPERTY: 0.6780 ACRES. 4: TALOS LOG NO. 2004201113. 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD,1927. 6: BEARINGS ARE GRID, DISTANCES ARE GROUND. 7: RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS.

8: Zoning : C-2

OWNER(S) SIGNATURE: William I. Christensen DATE: 05/17/2004 OWNER(S) PRINT NAME: William I. Christensen

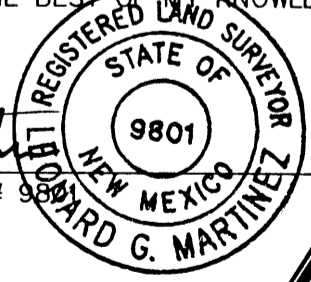
ACKNOWLEDGMENT STATE OF NEW MEXICO) S.S. COUNTY OF BERNALILLO) THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 17th DAY OF May 20 04, BY William I. Christensen, Property owner

OFFICIAL SEAL SHAHRAM BIAZAR NOTARY PUBLIC STATE OF NEW MEXICO My Commission Expires 9-20-07



SURVEYORS CERTIFICATE: I, LEONARD MARTINEZ, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND ALSO MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

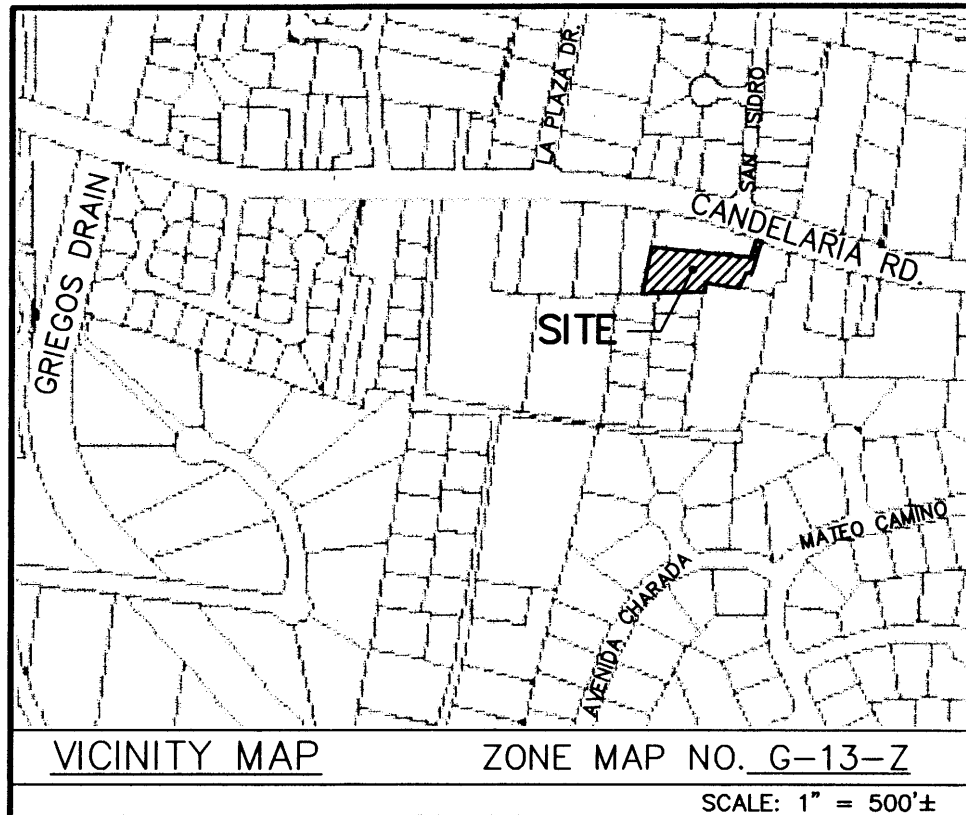
LEONARD MARTINEZ P.S. # 98801 DATE: 5-17-04



ADVANCED ENGINEERING and CONSULTING, LLC 4416 ANAHEIM AVE., NE ALBUQUERQUE, NEW MEXICO 87113 (505)899-5570

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1 013 060 250 259 310 15 PROPERTY OWNER OF RECORD: Hill Greg B BERNALILLO CO. TREASURER'S OFFICE: [Signature]

**PLAT OF
TRACT 1
LAND OF HILL**
SECTION 6, T. 10 N., R. 3 E., N.M.P.M.,
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2004



LINE	LENGTH	BEARING
L1	16.39	N84°31'20"W
L2	7.22 (7.24)	S27°44'19"W (S23°16'50"W)
L3	20.00	S71°22'20"E

ACS MONUMENT "6-G13A"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 375,498.02
Y = 1,500,656.54-NAD 1927
EL. = 4965.73-NGVD 1929
G-G = 0.9996802
DELTA ALPHA = -0°14'22"

PROJECT NO. 1002798
APPLICATION NO.

UTILITY APPROVALS:

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE

APPROVALS:

<i>Jan Hill</i> CITY SURVEYOR	5-17-2004 DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO VACATE 20 FEET PRIVATE ROADWAY EASEMENT.

LEGAL DESCRIPTION:

A CERTAIN TRACT OF LAND SITUATE IN SECTION 6, T. 10 N. R. 3 E. N.M.P.M., WITHIN THE CITY LIMITS OF ALBUQUERQUE, NEW MEXICO, BEING IDENTIFIED AS TRACT 83-A-2, AS THE SAME IS SHOWN AND DESIGNATED ON MIDDLE RIO GRANDE CONSERVANCY DISTRICT PROPERTY MAP NO. 34, BERNALILLO COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT BEING A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF CANDELARIA ROAD NW., FROM WHENCE A TIE TO ACS MONUMENT "6-G13A" BEARS N. 67°04'32" W., A DISTANCE OF 394.61 FEET; THENCE, FROM SAID POINT OF BEGINNING S.15°30'10"W., 96.16 FEET TO AN ANGLE POINT; THENCE, N.84°31'20"W., 16.39 FEET TO AN ANGLE POINT; THENCE, S.25°41'00"W., 36.96 FEET TO AN ANGLE POINT; THENCE, N.83°46'52"W., 108.05 FEET TO AN ANGLE POINT; THENCE, S.27°44'19"W., 7.22 FEET TO AN ANGLE POINT; THENCE, S.89°23'45"W., 142.05 FEET TO AN ANGLE POINT AND SOUTHWEST CORNER OF SAID TRACT; THENCE, N.09°57'02"E., 130.31 FEET TO AN ANGLE POINT; THENCE, S.80°24'45"E., 262.28 FEET TO AN ANGLE POINT; THENCE, N.14°14'36"E., 43.78 FEET TO AN ANGLE POINT; THENCE, S.71°22'20"E., 20.00 FEET TO AN ANGLE POINT AND POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; CONTAINING 0.6780 AC. (29,534.11 SF.), MORE OR LESS.

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT.

OWNER(S) SIGNATURE: *Greg B Hill* DATE: *5/17/04*

OWNER(S) PRINT NAME: *Greg B. Hill*

ACKNOWLEDGMENT

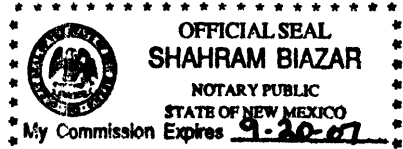
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) S.S.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS *17th* DAY OF *May*

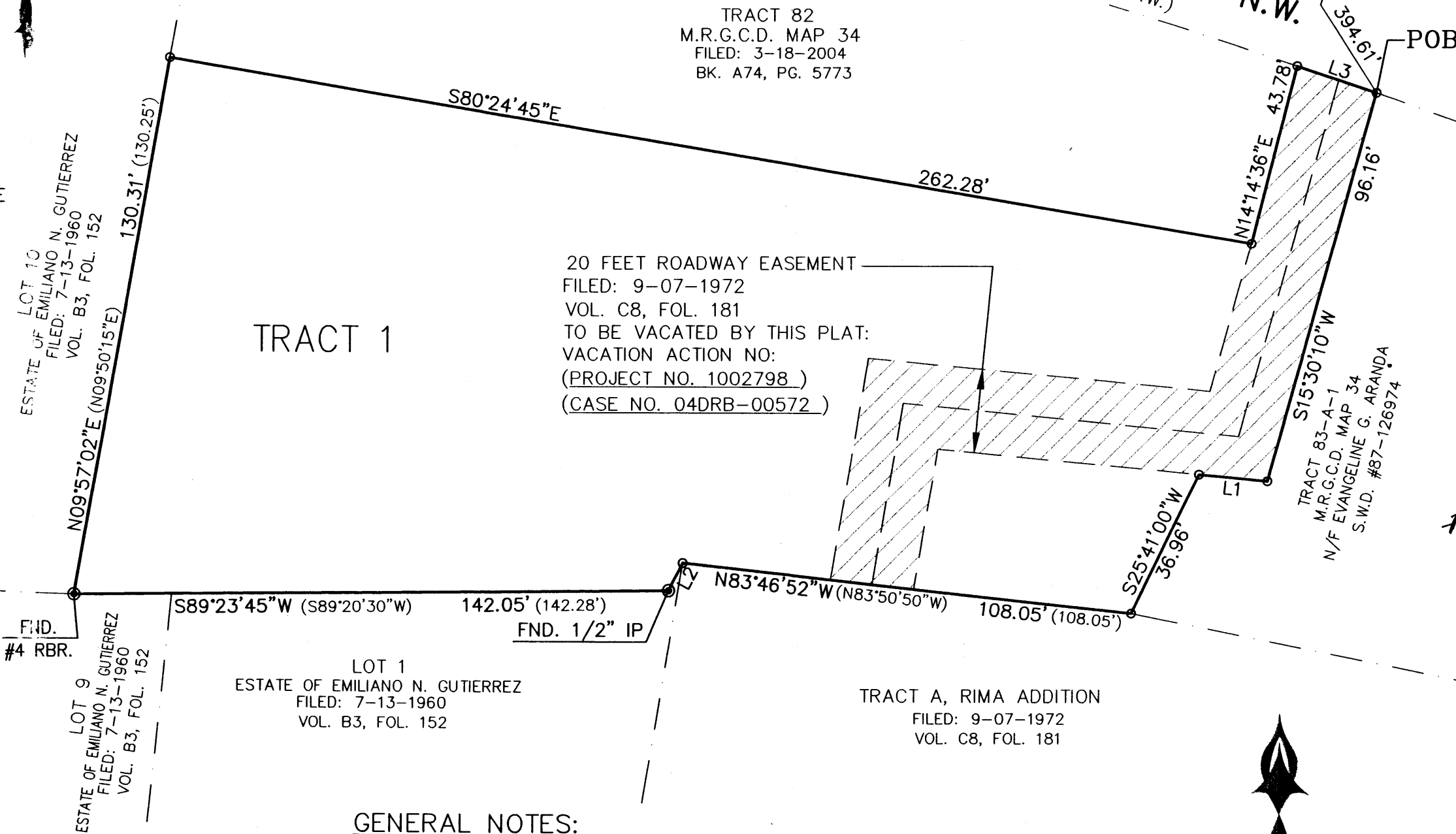
20 *04*, BY *Greg B. Hill, Property owner*

Shahram Biazar
NOTARY

MY COMMISSION EXPIRES: *9-20-07*



TRACT 1

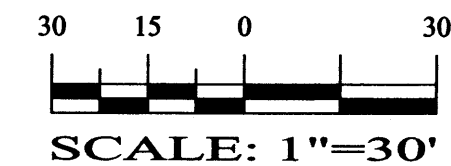


20 FEET ROADWAY EASEMENT
FILED: 9-07-1972
VOL. C8, FOL. 181
TO BE VACATED BY THIS PLAT:
VACATION ACTION NO:
(PROJECT NO. 1002798)
(CASE NO. 04DRB-00572)

GENERAL NOTES:

- UNLESS NOTED, NO.4 REBAR WITH CAP STAMPED P.S. #9801 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 0.6780 ACRES.
- TALOS LOG NO. 2004201113
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD,1927.
- BEARINGS ARE GRID, DISTANCES ARE GROUND.
- RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS.

GRAPHIC SCALE



OWNER(S) SIGNATURE: *William I. Christensen* DATE: *05/17/2004*

OWNER(S) PRINT NAME: *William I. Christensen*

ACKNOWLEDGMENT

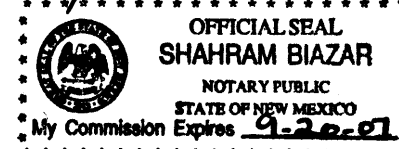
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) S.S.

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20 *04*, BY *William I. Christensen, Property owner*

Shahram Biazar
NOTARY

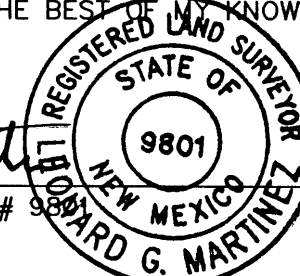
MY COMMISSION EXPIRES: *9-20-07*



SURVEYORS CERTIFICATE:

I, LEONARD MARTINEZ, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND ALSO MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Leonard Martinez
LEONARD MARTINEZ P.S. # *9801*



5-17-04
DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC # _____
PROPERTY OWNER OF RECORD: _____
BERNALILLO CO. TREASURER'S OFFICE: _____

**ADVANCED
ENGINEERING
and CONSULTING, LLC**

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

PLAT OF
 LOTS 1 THRU 8 AND TRACT "A"
 RANCHO DE CANDELARIA
 SECTION 6, T. 10 N., R. 3 E., N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 APRIL 2004

A.C.S. MONUMENT
 "6-613A"
 X= 375,498.02
 Y= 1,500,656.54
 ELEV. = 4965.72
 CENTRAL ZONE
 G/G FACTOR=0.9996802
 NAD 1927, NAVD 1929

LINE	BEARING	DISTANCE
L1	N 14°41'28" E	45.95
L2	N 84°27'00" E	24.65
L3	N 08°57'10" E	69.00
L4	S 71°40'55" E	63.91
L5	S 11°13'21" W	1.97
L6	S 83°10'30" E	23.26
L7	S 12°08'30" W	30.85
L8	S 49°25'01" E	37.78
L9	S 89°14'19" E	26.39

(PLAT, N 13°57'30"E, 46.00')
 (PLAT, N 84°08'30"E, 24.65')
 (PLAT, N 08°38'40"E, 69.00')
 (PLAT, S 71°59'25"E, 63.91')
 (PLAT, S 10°54'50"W, 1.97')
 (PLAT, S 83°29'00"E, 23.26')
 (PLAT, N 11°55'37"E, 30.85')
 (PLAT, N 09°23'10"W, 44.05')

TR. 83-A-2-A, MAP #34
 N/F KREG B. HILL
 W.D. #77-59521

20.0' ROADWAY EASEMENT RECORDED 09-07-72, CB-181
 GRANT OF EASEMENT FOR PUBLIC UTILITIES RECORDED
 03-04-74, MISC. 336, PG. 548-549,
 TO BE VACATED BY THIS PLAT AS PER NOTIFICATION
 OF DECISION DATED 11-21-03, PRO. #1002798
 03EPC-01873-6 03EPC-01674,
 APPROVED ON 11-20-03.

TR. 83-A-1, MAP #34
 N/F EVANGELINE G. ARANDA
 S.W.D. #87-126974

35.25' PRIVATE ACCESS AND PUBLIC
 WATER & SEWER LINE EASEMENT
 GRANTED BY THIS PLAT.

TRACT "B"
 L.D. CONRADO GARCIA
 FILED 10-03-73, 88-173.

TRACT 79-B, MAP #34
 N/F J.A. ANDRES & A.L. MILLER
 FILED 02-11-2003, BK. A50, PG. 1825

TRACT 78-A-1-A, MAP #34
 N/F CITY OF ALBUQUERQUE
 W.D. FILED 02-14-73, VOL. D936
 FOLIO 593.
 PLAT OF SURVEY, BY R.A. FORSTBAUER
 NMPS #6126, FILED 02-04-97, 97S-10.

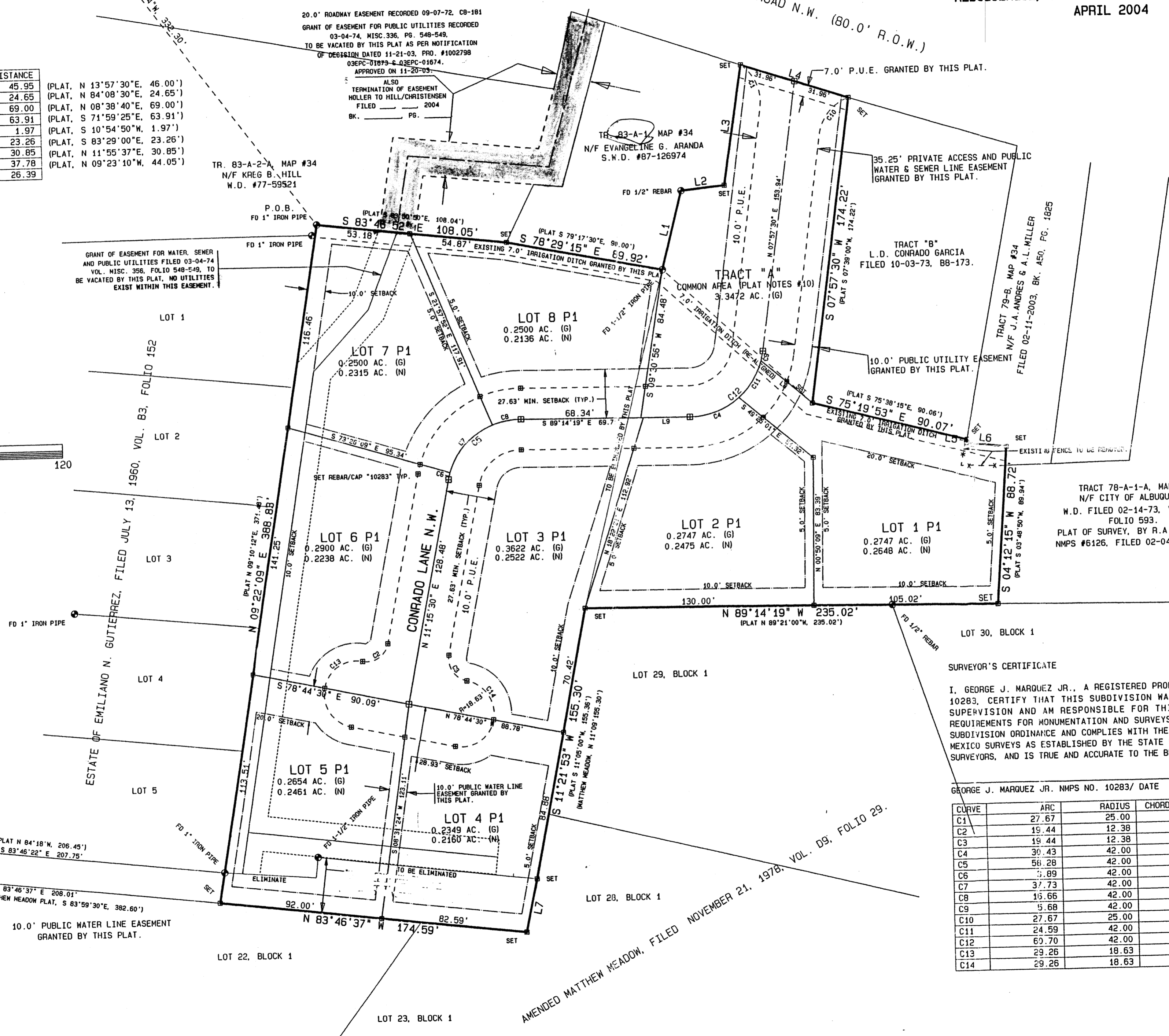
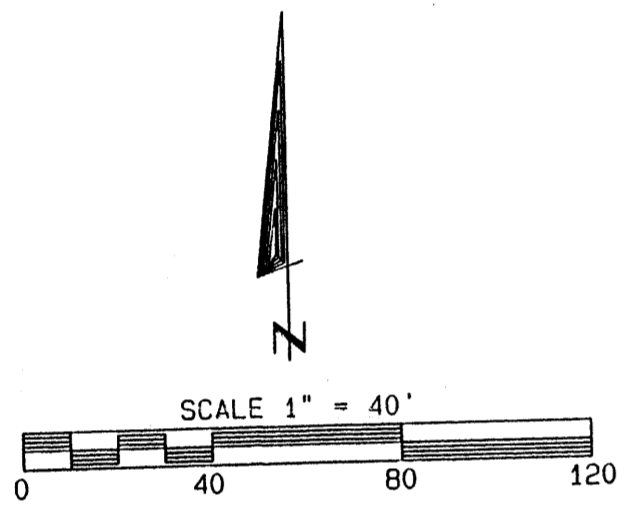


EXHIBIT B
 Date 4/21/04

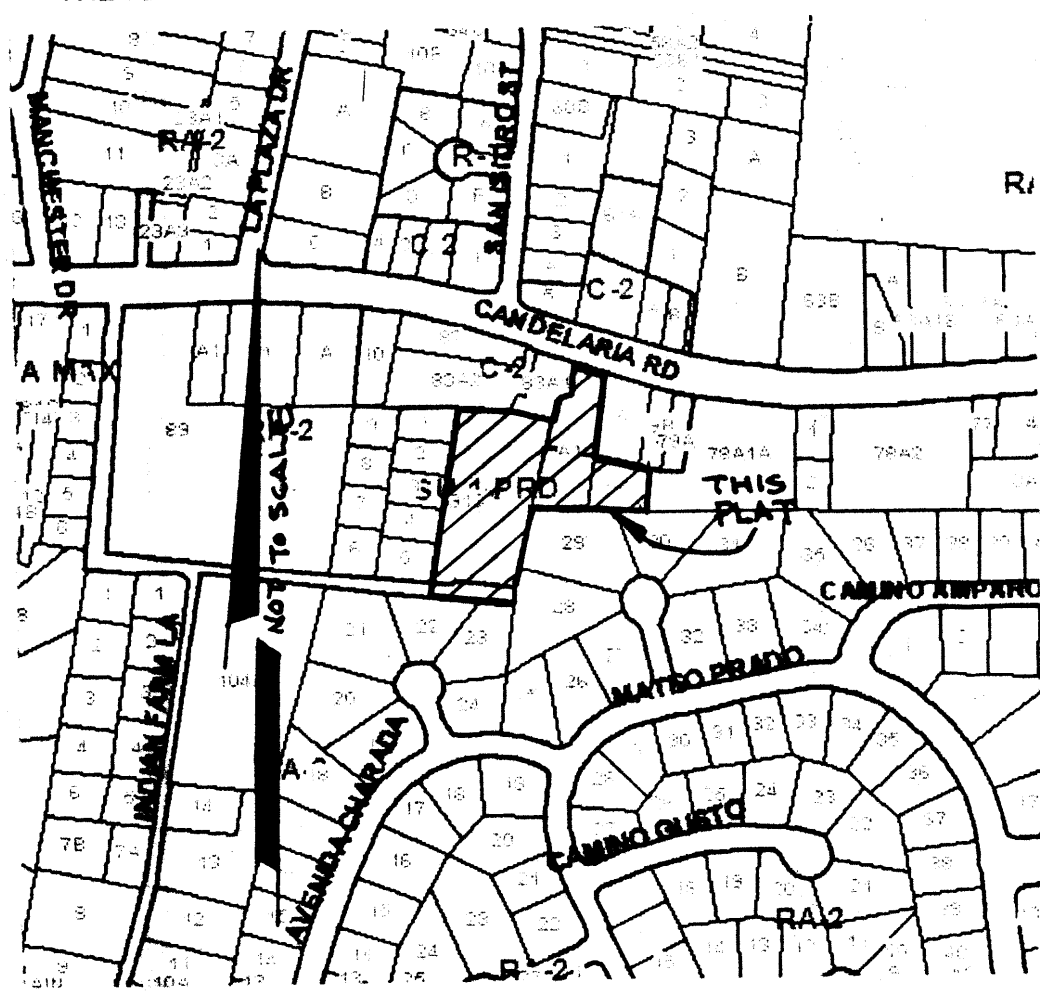
SURVEYOR'S CERTIFICATE

I, GEORGE J. MARQUEZ JR., A REGISTERED PROFESSIONAL NEW MEXICO LAND SURVEYOR NO. 10283, CERTIFY THAT THIS SUBDIVISION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND AM RESPONSIBLE FOR THIS SURVEY, WHICH MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND COMPLIES WITH THE MINIMUM STATUTES AND STANDARDS FOR NEW MEXICO SURVEYS AS ESTABLISHED BY THE STATE BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

GEORGE J. MARQUEZ JR. NMPS NO. 10283/ DATE

CURVE	ARC	RADIUS	CHORD LENGTH	CHORD BEARING	TAN LENGTH
C1	27.67	25.00	26.28	S 23°44'44" E	15.44
C2	19.44	12.38	17.50	S 56°15'30" W	12.38
C3	19.44	12.38	17.50	N 33°44'30" W	12.38
C4	30.43	42.00	29.77	N 70°00'23" E	15.92
C5	56.28	42.00	53.71	N 51°00'36" E	34.93
C6	3.89	42.00	3.89	S 13°54'40" W	1.95
C7	37.73	42.00	36.47	S 42°17'59" W	20.25
C8	15.66	42.00	16.55	S 79°23'55" W	8.44
C9	5.68	42.00	5.67	N 11°49'48" E	2.84
C10	27.67	25.00	26.28	N 39°39'44" E	15.44
C11	24.59	42.00	24.24	N 32°28'35" E	12.66
C12	60.70	42.00	55.55	N 49°21'36" E	37.03
C13	29.26	18.63	26.34	S 56°15'30" W	18.63
C14	29.26	18.63	26.34	N 33°44'30" W	18.63

MARQUEZ SURVEYING GROUP
 2713 VIOLA ROAD S.W.
 ALBUQUERQUE, NEW MEXICO, 87105
 (505) 842-6579 FAX (505) 246-9106
 AND
 P.O. BOX 11, BLUEWATER, NEW MEXICO, 87030
 (505) 867-2684 FAX (505) 867-2684



PLAT NOTES

- 1. PROPERTY ZONEING : SU-1 FOR PRD.
2. ZONE PAGE NUMBERS : 6-13-2
3. GROSS ACREAGE : 2.4392 AC.
4. NUMBER OF LOTS CREATED: EIGHT (8) LOTS AND ONE (1) COMMONS TRACT.
5. ROAD MILEAGE CREATED IS PRIVATE : 0.08 MILE
6. ALL EASEMENTS OF RECORD ARE SHOWN ON THIS PLAT.
7. BEARINGS ARE GRID BASED ON THE USE OF THE A.C.S. MONUMENTS MARKED "6-G13A" AND "5-G13B". DISTANCES ARE GROUND.
8. ALL CORNERS SET BY THIS SURVEY ARE 1/2" X 16" REBAR WITH A PLASTIC CAP MARKED "MARQUEZ 10283". UNLESS OTHERWISE NOTED.
9. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
10. THE 36.0 FOOT PRIVATE ACCESS EASEMENT IS FOR THE BENEFIT OF AND TO BE MAINTAINED BY THE OWNERS OF LOTS 1 THRU 8, TRACT "A" IS TO BE A COMMON OPEN SPACE AND/OR GUEST PARKING, AND TO BE MAINTAINED BY THE OWNERS OF THE HOMEOWNERS ASSOCIATION. IF THE RESPONSIBLE PARTIES FAIL OR REFUSE TO ACT ON MAINTENANCE OBLIGATIONS AS SET FORTH IN THE COMMONS, THE CITY SHALL HAVE THE AUTHORITY TO PERFORM SUCH MAINTENANCE AS NECESSARY TO PROTECT THE PUBLIC HEALTH AND SAFTY. THE CITY MAY AFTER WRITTEN NOTICE AND FAILURE TO COMPLY WITHIN 30 DAYS ENTER UPOND AND MAINTAIN THE COMMONS. THE COST OF SUCH MAINTENANCE PLUS ANY OTHER PENALTIES OR COST ALLOWED BY LAW IN CONNECTION THEREIN, SHALL BE ASSESSED AGAINST THE PROPERTIES WITHIN SAID SUBDIVISION, AND FAILURE TO PAY ASSESSED CHARGES MAY RESULT IN A MUNICIPAL LIEN AGAINST EACH INDIVIDUAL LOT IN THIS SUBDIVISION. THIS PROVISION SHALL NOT BE DEEMED TO CREATE AN OBLIGATION TO ACT ON THE PART OF THE CITY. UNDER NO CIRCUMSTANCES WILL THE CITY MAINTAIN RECREATION USES AND UNDER NO CIRCUMSTANCES SHALL THE CITY MAINTAIN THE COMMONS FOR A PERIOD OF LONGER THAN ONE YEAR.
11. THE PURPOSE OF THIS PLAT IS TO CREATE EIGHT (8) SINGLE FAMILY LOTS AND ONE COMMONS TRACT FROM TWO (2) EXISTING TRACTS.
12. The Irrigation Easement will be Maintained by Underline Property Owners.

NOTE: THE RANCHO DE CANDELARIA HOMEOWNER'S ASSOCIATION ("ASSOCIATION") AND THE INDIVIDUAL LOT OWNERS (LOT OWNERS) SHALL MAINTAIN THE PRIVATE ACCESS EASEMENT AT THE EXPENSE OF THE ASSOCIATION AND LOT OWNER. THE ASSOCIATION AND THE LOT OWNERS SHALL BE JOINTLY AND SEVERALLY LIABLE FOR THE MAINTENANCE OF THE PRIVATE ACCESS EASEMENT.

PUBLIC ROAD PARCEL, DESCRIPTION
UPON THE APPROVAL, EXECUTION AND RECORDING OF THIS PLAT, THE CITY OF ALBUQUERQUE DISCLAIMS ANY INTEREST, RIGHT OR TITLE TO THAT CERTAIN PARCEL OF LAND BEING IDENTIFIED AS "A PUBLIC ROAD", CONTAINING 0.1100 OF AN ACRE WITHIN SECTION 6, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF THE PORTION OF SAID ROAD BEING DESCRIBED, FOUND A 1" IRON PIPE IN PLACE, WHENCE FOR A TIE TO THE A.C.S. MONUMENT MARKED "6-G13A" BEARS N 12°14'02" W, 648.05 FEET DISTANCE; THENCE,
S 85°55'02" E, 52.10 FEET DISTANCE ALONG THE NORTHERLY RIGHT-OF-WAY TO A POINT; THENCE,
N 06°30'03" E, 11.81 FEET TO A FOUND 1-1/2" IRON PIPE IN PLACE; THENCE,
S 83°28'52" E, 124.68 FEET DISTANCE ALONG SAID RIGHT-OF-WAY TO THE NORTHEASTERLY CORNER OF THE PUBLIC ROAD, ALSO BEING THE WESTERY BOUNDARY OF LOT 28, BLOCK 1, AMENDED MATTHEW MEADOWS, FILED NOVEMBER 21, 1979 IN VOLUME 09, FOLIO 29; THENCE,
S 12°08'30" W, 30.85 FEET DISTANCE ALONG SAID BOUNDARY TO A POINT COMMON WITH LOTS 23 AND 28, BLOCK 1, AMENDED MATTHEW MEADOWS; THENCE,
N 83°46'37" W, 174.59 FEET DISTANCE ALONG THE SOUTHERLY RIGHT-OF-WAY TO THE SOUTHWEST CORNER OF THIS PORTION OF PUBLIC ROAD; THENCE,
N 09°22'09" E, 17.60 FEET TO THE POINT OF BEGINNING.

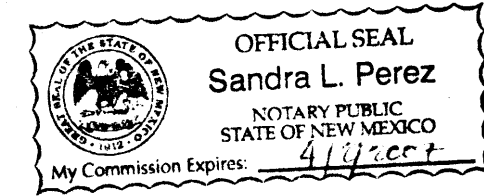
LEGAL DESCRIPTION
A CERTAIN PARCEL OF LAND BEING IDENTIFIED AS TRACT LETTERED "A", RIMA ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 7TH, 1972, IN PLAT BOOK 08, FOLIO 181, ALSO TRACT LETTERED "A", LANDS OF CONRADO GARCIA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 3RD, 1973, IN PLAT BOOK 88, FOLIO 173, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWESTERLY CORNER OF THE PARCEL HEREIN DESCRIBED, FOUND A ONE-INCH (1") IRON PIPE IN PLACE ALONG THE NORTHERLY RIGHT-OF-WAY OF AN EXISTING IRRIGATION DITCH, WHENCE FOR A TIE TO THE A.C.S. MONUMENT MARKED "6-G13A" BEARS N 36°31'14" W, 332.30 FEET DISTANCE; THENCE,
S 83°46'52" E, 108.05 FEET DISTANCE ALONG SAID DITCH TO A POINT; THENCE,
S 78°29'15" E, 89.92 FEET DISTANCE ALONG SAID DITCH TO A FOUND ONE AND ONE-HALF INCH (1-1/2") IRON PIPE IN PLACE; THENCE,
N 14°41'28" E, 45.95 FEET DISTANCE TO A FOUND ONE-HALF INCH (1/2") REBAR IN PLACE; THENCE,
N 84°27'00" E, 24.65 FEET DISTANCE TO A POINT; THENCE,
N 08°57'10" E, 69.00 FEET DISTANCE TO A POINT ALONG THE SOUTHERLY RIGHT-OF-WAY OF CANDELARIA ROAD N.W.; THENCE,
S 71°40'55" E, 63.91 FEET DISTANCE ALONG SAID ROAD TO THE NORTHEASTERLY CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE,
S 07°57'30" W, 174.22 FEET DISTANCE TO A POINT ALONG SAID DITCH; THENCE,
S 75°19'53" E, 90.07 FEET DISTANCE ALONG SAID DITCH TO A POINT; THENCE,
S 11°13'21" W, 1.97 FEET DISTANCE TO A POINT; THENCE,
S 83°10'30" E, 23.26 FEET DISTANCE TO A POINT; THENCE,
S 04°12'15" W, 88.72 FEET DISTANCE TO A POINT ALONG THE BOUNDARY COMMON WITH MATTHEW MEADOW; THENCE,
N 89°14'19" W, 235.02 FEET DISTANCE ALONG SAID BOUNDARY TO A POINT; THENCE,
S 11°21'53" W, 155.30 FEET DISTANCE ALONG SAID BOUNDARY TO A POINT; THENCE,
S 12°08'30" W, 30.85 FEET DISTANCE TO A SOUTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE,
N 83°46'37" W, 174.59 FEET DISTANCE ALONG SAID BOUNDARY TO A POINT; THENCE,
N 09°22'09" E, 388.83 FEET DISTANCE TO THE POINT OF BEGINNING AND CONTAINING 2.5492 ACRES MORE OR LESS.

THIS PROPERTY IS NOW BEING KNOWN AS "RANCHO DE CANDELARIA", LOTS 1 THRU 8 AND TRACT "A".
FREE CONSENT
THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF THE UNDERSIGNED OWNER(S) AND OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) DO HEREBY GRANT ALL ACCESS, UTILITY AND DITCH EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT AND MAINTAIN FACILITIES THEREIN, AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRIC POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINE, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTAIN, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FORGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

William D. Holler (OWNER) WILLIAM D. HOLLER / DATE
Darlene M. Holler (OWNER) DARLENE M. HOLLER / DATE

ACKNOWLEDGEMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)
ON THIS 8th DAY OF June 2004 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY

WILLIAM D. AND DARLENE M. HOLLER
NOTARY PUBLIC
MY COMMISSION EXPIRES 4/2/2007



PUBLIC UTILITY EASEMENTS
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE 10' FEET WIDE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF:
1. THE PUBLIC SERVICE ELECTRIC COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PUBLIC SERVICE GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICE, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE REMOVE, MODIFY, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OF CONSTRUCTED ON SAID EASEMENT, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATION OF NATIONAL ELECTRIC SAFTY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

TRACTS A-1 AND A-2 WERE CREATED BY DOCUMENT AND ARE NOT LEGAL LOTS OF RECORD.

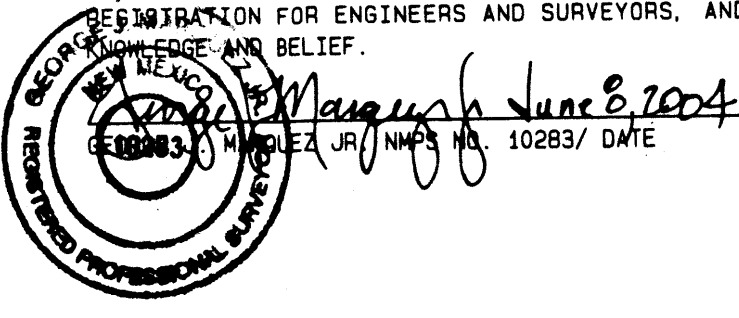
PROJECT NUMBER: 1002798
APPLICATION NUMBER: 04DRB-01009
PLAT APPROVAL:
Lead 9. Mark 6-25-04
P.N.M. ELECTRIC SERVICE / DATE
Lead 9. Mark 6-25-04
P.N.M. GAS SERVICE / DATE
David R. Muller 6-24-04
QWEST TELECOMMUNICATION / DATE
Tommy Babin 1-3-05
COMCAST / DATE
NA
NEW MEXICO UTILITIES / DATE
CITY APPROVALS:
Shirley Hart 6-25-04
CITY SURVEYOR / DATE
Sandra L. Perez 01/12/05
REAL PROPERTY DIVISION / DATE
NA
ENVIRONMENTAL HEALTH DEPT. / DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION / DATE 1-26-05
Regina A. Green 1-26-05
UTILITIES DEVELOPMENT / DATE
Christina Sandoval 1/26/05
PARKS AND RECREATION DEPARTMENT / DATE
Lynn M. Meyer 1-12-05
A.M.A.F.C.A. / DATE
Bradley L. Bingham 1-26-05
CITY ENGINEER DATE
CITY APPROVAL AND CONDITIONAL ACCEPTANCE: BY SIGNATURE OF THE DEVELOPMENT REVIEW BOARD MEMBER OF THEIR REPRESENTATIVE AND AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF CHAPTER 7 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NM
Sheran Nason 1/26/05
CITY PLANNER, PLANNING DEPARTMENT / DATE

PUBLIC SERVICE COMPANY
IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICE AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, P.N.M. DOES NOT WAIVER NOR RELEASE ANY EASEMENT OF EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT, OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.

MIDDLE RIO GRANDE CONSERVANCY DISTRICT
NOTE : UNDER NO CIRCUMSTANCE SHALL FENCES/STRUCTURES OF ANY KIND BE CONSTRUCTED/INSTALLED ON OR WITHIN THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT RIGHT-OF-WAY/EASEMENT OR ON ANY DITCH EMBANKMENT.

BERNALILLO COUNTY TREASURER'S OFFICE
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC: See list on Certificate
PROPERTY OWNER OF RECORD: Holler Wm: Darlene Terry FB
BERNALILLO COUNTY TREASURER'S OFFICE: Denny Vignola 26 June 05

SURVEYOR'S CERTIFICATE
I, GEORGE J. MARQUEZ JR., A REGISTERED PROFESSIONAL NEW MEXICO LAND SURVEYOR NO. 10283, CERTIFY THAT THIS SUBDIVISION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND AM RESPONSIBLE FOR THIS SURVEY, WHICH MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND COMPLIES WITH THE MINIMUM STATUTES AND STANDARDS FOR NEW MEXICO SURVEYS AS ESTABLISHED BY THE STATE BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



MARQUEZ SURVEYING GROUP
2713 VIOLA ROAD S.W.
ALBUQUERQUE, NEW MEXICO, 87105-5455
(505) 842-6579, FAX (505) 246-9106
EMAIL marquez@qwest.net

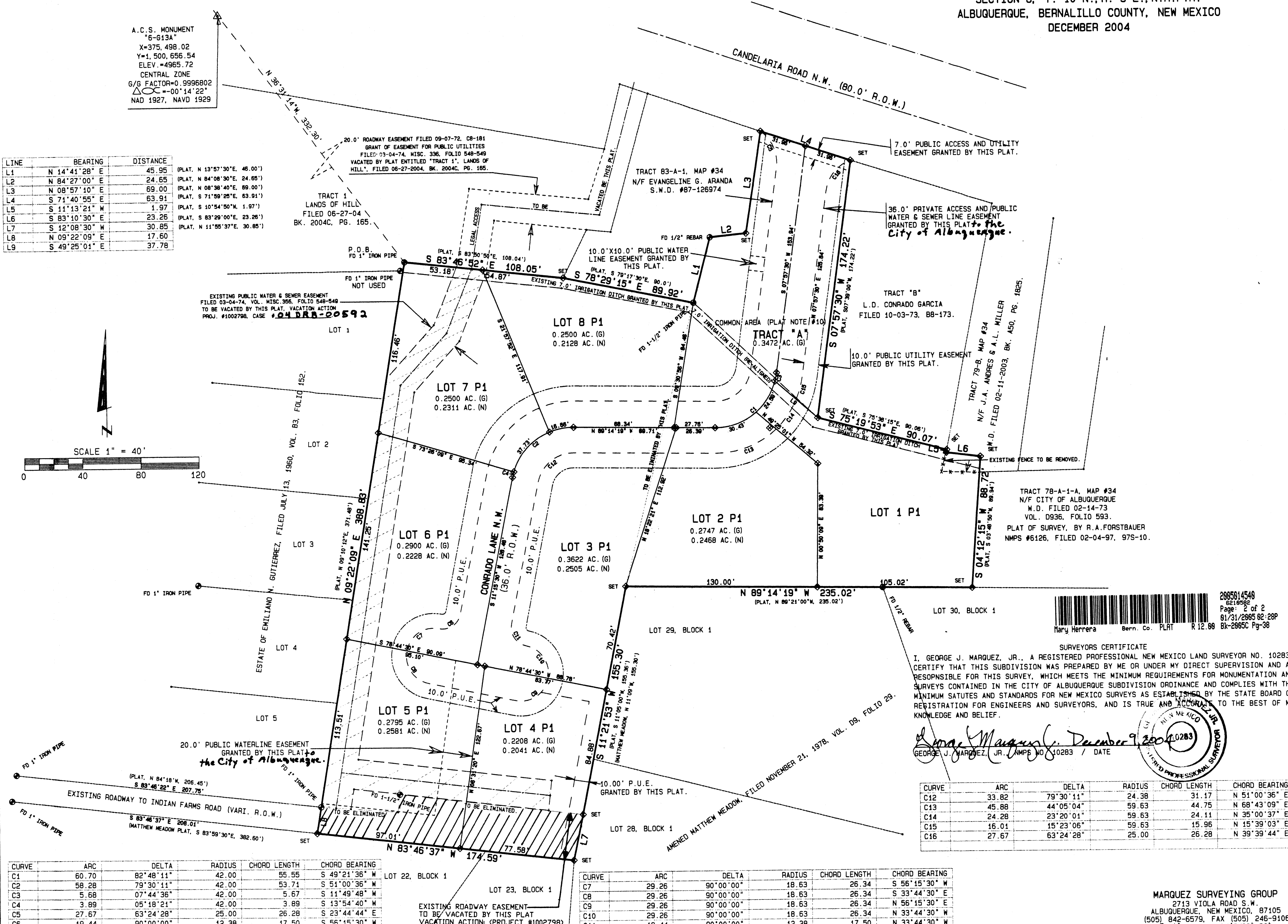
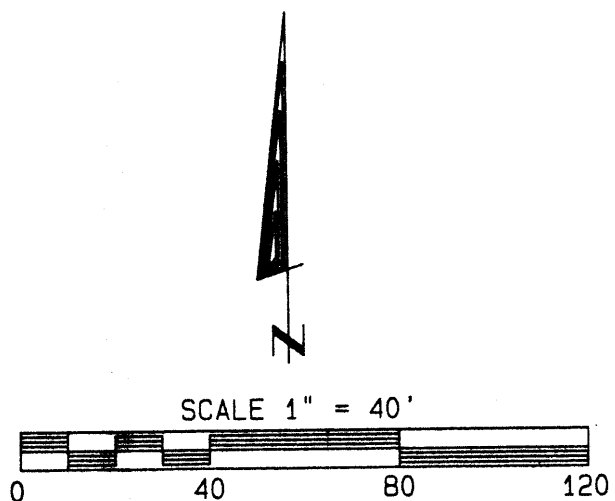
PLAT OF
 LOTS 1 THRU 8, AND TRACT "A"
 RANCHO DE CANDELARIA
 SECTION 6, T. 10 N., R. 3 E., N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2004

A.C.S. MONUMENT
 6-G13A
 X=375,498.02
 Y=1,500,656.54
 ELEV.=4965.72
 CENTRAL ZONE
 G/S FACTOR=0.9996802
 ΔOC=-00°14'22"
 NAD 1927, NAVD 1929

LINE	BEARING	DISTANCE
L1	N 14°41'28" E	45.95
L2	N 84°27'00" E	24.65
L3	N 08°57'10" E	69.00
L4	S 71°40'55" E	63.91
L5	S 11°13'21" W	1.97
L6	S 83°10'30" E	23.26
L7	S 12°08'30" W	30.85
L8	N 09°22'09" E	17.60
L9	S 49°25'01" E	37.78

TRACT 1
 LANDS OF HILL
 FILED 06-27-04
 BK. 2004C, PG. 165.

EXISTING PUBLIC WATER & SEWER EASEMENT
 FILED 03-04-74, VOL. MISC. 366, FOLIO 548-549
 TO BE VACATED BY THIS PLAT, VACATION ACTION
 PROJ. #1002798, CASE #04DRB-00593



CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING
C1	60.70	82°48'11"	42.00	55.55	S 49°21'36" W
C2	58.28	79°30'11"	42.00	53.71	S 51°00'36" W
C3	5.68	07°44'36"	42.00	5.67	S 11°49'48" W
C4	3.89	05°18'21"	42.00	3.89	S 13°54'40" W
C5	27.67	63°24'28"	25.00	26.28	S 23°44'44" E
C6	19.44	90°00'00"	12.38	17.50	S 56°15'30" W

CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING
C7	29.26	90°00'00"	18.63	26.34	S 56°15'30" W
C8	29.26	90°00'00"	18.63	26.34	S 33°44'30" E
C9	29.26	90°00'00"	18.63	26.34	N 56°15'30" E
C10	29.26	90°00'00"	18.63	26.34	N 33°44'30" W
C11	19.44	90°00'00"	12.38	17.50	N 33°44'30" W

2885814540
 6216962
 Page: 2 of 2
 81/31/2005 02:28P
 BK-2865C Pg-38

Mary Herrera Bern. Co. PLAT R 12.00 BK-2865C Pg-38

SURVEYORS CERTIFICATE
 I, GEORGE J. MARQUEZ, JR., A REGISTERED PROFESSIONAL NEW MEXICO LAND SURVEYOR NO. 10283,
 CERTIFY THAT THIS SUBDIVISION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND AM
 RESPONSIBLE FOR THIS SURVEY, WHICH MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND
 SURVEYS CONTAINED IN THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND COMPLIES WITH THE
 MINIMUM STATUTES AND STANDARDS FOR NEW MEXICO SURVEYS AS ESTABLISHED BY THE STATE BOARD OF
 REGISTRATION FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND ACCURATE TO THE BEST OF MY
 KNOWLEDGE AND BELIEF.

George J. Marquez, Jr.
 GEORGE J. MARQUEZ, JR. N.M.P.S. NO. 10283 / DATE December 9, 2004

CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING
C12	33.82	79°30'11"	24.38	31.17	N 51°00'36" E
C13	45.88	44°05'04"	59.63	44.75	N 68°43'09" E
C14	24.28	23°20'01"	59.63	24.11	N 35°00'37" E
C15	16.01	15°23'06"	59.63	15.96	N 15°39'03" E
C16	27.67	63°24'28"	25.00	26.28	N 39°39'44" E

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 Email = marqsurv@qwest.net

PLAT OF
 LOTS 1 THRU 8 AND TRACT "A"
 RANCHO DE CANDELARIA
 SECTION 6, T. 10 N., R. 3 E., N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JUNE 2004

A.C.S. MONUMENT
 6-613A
 X= 375,498.02
 Y=1,500,656.54
 ELEV. = 4965.72
 CENTRAL ZONE
 G/G FACTOR=0.9996802
 ΔOC=-00°14'22"
 NAD 1927, NAVD 1929

LINE	BEARING	DISTANCE
L1	N 14°41'28" E	45.95
L2	N 84°27'00" E	24.65
L3	N 08°57'10" E	69.00
L4	S 71°40'55" E	63.91
L5	S 11°13'21" W	1.97
L6	S 83°10'30" E	23.26
L7	S 12°08'30" W	30.85
L8	S 49°25'01" E	37.78
L9	S 78°44'30" E	5.01

(PLAT, N 13°57'30"E, 46.00')
 (PLAT, N 84°08'30"E, 24.65')
 (PLAT, N 08°38'40"E, 69.00')
 (PLAT, S 71°59'25"E, 63.91')
 (PLAT, S 10°54'50"W, 1.97')
 (PLAT, S 83°29'00"E, 23.26')
 (PLAT, N 11°55'37"E, 30.85')
 (PLAT, N 09°23'10"W, 44.05')

20.0' ROADWAY EASEMENT FILED 09-07-72, C8-181
 GRANT OF EASEMENT FOR PUBLIC UTILITIES
 FILED 03-04-74, MISC. 356, FOLIO 548-549
 VACATED BY PLAT ENTITLED "TRACT 1, LANDS OF
 HILL", FILED 06-27-04, BK. 2004C, PG. 165.

TRACT 1
 LANDS OF HILL
 FILED 06-27-04
 BK. 2004C, PG. 165.

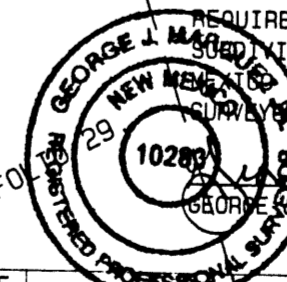
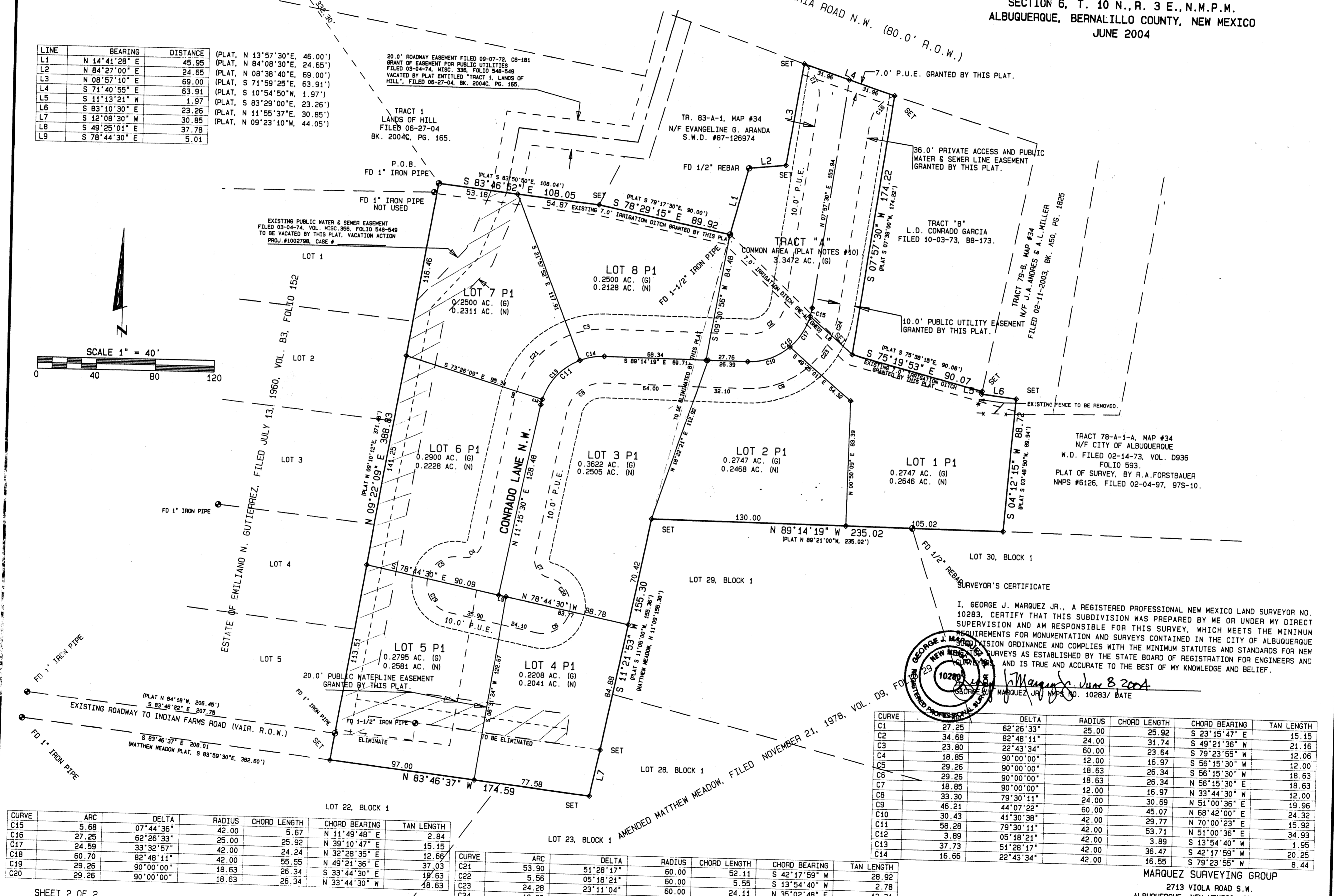
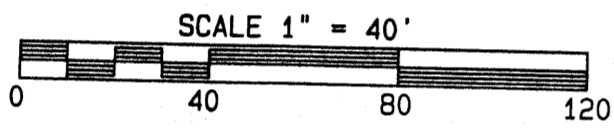
TR. 83-A-1, MAP #34
 N/F EVANGELINE G. ARANDA
 S.W.D. #87-126974

36.0' PRIVATE ACCESS AND PUBLIC
 WATER & SEWER LINE EASEMENT
 GRANTED BY THIS PLAT.

TRACT "B"
 L.D. CONRADO GARCIA
 FILED 10-03-73, BB-173.

TRACT 79-B, MAP #34
 N/F J.A. ANDRES & A.L. MILLER
 FILED 02-11-2003, BK. 150, PG. 1825

TRACT 78-A-1-A, MAP #34
 N/F CITY OF ALBUQUERQUE
 W.D. FILED 02-14-73, VOL. D936
 FOLIO 593.
 PLAT OF SURVEY, BY R.A. FORSTBAUER
 NMPS #6126, FILED 02-04-97, 97S-10.



SURVEYOR'S CERTIFICATE
 I, GEORGE J. MARQUEZ JR., A REGISTERED PROFESSIONAL NEW MEXICO LAND SURVEYOR NO. 10283, CERTIFY THAT THIS SUBDIVISION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND AM RESPONSIBLE FOR THIS SURVEY, WHICH MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND COMPLIES WITH THE MINIMUM STATUTES AND STANDARDS FOR NEW MEXICO SURVEYS AS ESTABLISHED BY THE STATE BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

George J. Marquez, Jr.
 June 8, 2004
 GEORGE J. MARQUEZ, JR. MAPS NO. 10283 / DATE

CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING	TAN LENGTH
C15	5.68	07°44'36"	42.00	5.67	N 11°49'48" E	2.84
C16	27.25	62°26'33"	25.00	25.92	N 39°10'47" E	15.15
C17	24.59	33°32'57"	42.00	24.24	N 32°28'35" E	12.66
C18	60.70	82°48'11"	42.00	55.55	N 49°21'36" E	37.03
C19	29.26	90°00'00"	18.63	26.34	S 33°44'30" E	18.63
C20	29.26	90°00'00"	18.63	26.34	N 33°44'30" W	48.63

CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING	TAN LENGTH
C21	53.90	51°28'17"	60.00	52.11	S 42°17'59" W	28.92
C22	5.56	05°18'21"	60.00	5.55	S 13°54'40" W	2.78
C23	24.28	23°11'04"	60.00	24.11	N 35°02'48" E	12.31
C24	16.23	15°29'46"	60.00	16.18	N 15°42'23" E	8.16

CURVE	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING	TAN LENGTH
C1	27.25	62°26'33"	25.00	25.92	S 23°15'47" E
C2	34.68	82°48'11"	24.00	31.74	S 49°21'36" W
C3	23.80	22°43'34"	60.00	23.64	S 79°23'55" W
C4	18.85	90°00'00"	12.00	16.97	S 56°15'30" W
C5	29.26	90°00'00"	18.63	26.34	S 56°15'30" W
C6	29.26	90°00'00"	18.63	26.34	N 56°15'30" E
C7	18.85	90°00'00"	12.00	16.97	N 33°44'30" W
C8	33.30	79°30'11"	24.00	30.69	N 51°00'36" E
C9	46.21	44°07'22"	60.00	45.07	N 68°42'00" E
C10	30.43	41°30'38"	42.00	29.77	N 70°00'23" E
C11	58.28	79°30'11"	42.00	53.71	N 51°00'36" E
C12	3.89	05°18'21"	42.00	3.89	S 13°54'40" W
C13	37.73	51°28'17"	42.00	36.47	S 42°17'59" W
C14	16.66	22°43'34"	42.00	16.55	S 79°23'55" W

PLAT OF
 LOTS 1 THRU 8 AND TRACT "A"
 RANCHO DE CANDELARIA
 SECTION 6, T. 10 N., R. 3 E., N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 APRIL 2004

LEGAL DESCRIPTION
 A CERTAIN PARCEL OF LAND BEING IDENTIFIED AS TRACT LETTERED "A", RIMA ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 7TH, 1972, IN PLAT BOOK 08, FOLIO 181, ALSO TRACT LETTERED "A", LANDS OF CONRADO GARCIA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 3RD, 1973, IN PLAT BOOK 88, FOLIO 173, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF THE PARCEL HEREIN DESCRIBED, FOUND A ONE-INCH (1") IRON PIPE IN PLACE ALONG THE NORTHERLY RIGHT-OF-WAY OF AN EXISTING IRRIGATION DITCH, WHENCE FOR A TIE TO THE A.C.S. MONUMENT MARKED "6-G13A" BEARS N 36°31'14" W, 332.30 FEET DISTANCE; THENCE,
 S 83°46'52" E, 108.05 FEET DISTANCE ALONG SAID DITCH TO A POINT; THENCE,
 S 78°29'15" E, 89.92 FEET DISTANCE ALONG SAID DITCH TO A FOUND ONE AND ONE-HALF INCH (1-1/2") IRON PIPE IN PLACE; THENCE,
 N 14°41'28" E, 45.95 FEET DISTANCE TO A FOUND ONE-HALF INCH (1/2") REBAR IN PLACE; THENCE,
 N 84°27'00" E, 24.65 FEET DISTANCE TO A POINT; THENCE,
 N 08°57'10" E, 69.00 FEET DISTANCE TO A POINT ALONG THE SOUTHERLY RIGHT-OF-WAY OF CANDELARIA ROAD N.W.; THENCE,
 S 71°40'55" E, 63.91 FEET DISTANCE ALONG SAID ROAD TO THE NORTHEASTERLY CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE,
 S 07°57'30" W, 174.22 FEET DISTANCE TO A POINT ALONG SAID DITCH; THENCE,
 S 75°19'53" E, 90.07 FEET DISTANCE ALONG SAID DITCH TO A POINT; THENCE,
 S 11°13'21" W, 1.97 FEET DISTANCE TO A POINT; THENCE,
 S 83°10'30" E, 23.26 FEET DISTANCE TO A POINT; THENCE,
 S 04°12'15" W, 88.72 FEET DISTANCE TO A POINT ALONG THE BOUNDARY COMMON WITH MATTHEW MEADOW; THENCE,
 N 89°14'19" W, 235.02 FEET DISTANCE ALONG SAID BOUNDARY TO A POINT; THENCE,
 S 11°21'53" W, 155.30 FEET DISTANCE ALONG SAID BOUNDARY TO A POINT; THENCE,
 S 42°08'30" W, 30.85 FEET DISTANCE TO A SOUTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE,
 N 83°46'37" W, 174.59 FEET DISTANCE ALONG SAID BOUNDARY TO A POINT; THENCE,
 N 09°22'09" E, 388.83 FEET DISTANCE TO THE POINT OF BEGINNING AND CONTAINING 2.5492 ACRES MORE OR LESS.

THIS PROPERTY IS NOW BEING KNOWN AS "RANCHO DE CANDELARIA", LOTS 1 THRU 8 AND TRACT "A".

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF THE UNDERSIGNED OWNER(S) AND OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) DO HEREBY GRANT ALL ACCESS, UTILITY AND DITCH EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT AND MAINTAIN FACILITIES THEREIN, AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRIC POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINE, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTAIN, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

(OWNER) WILLIAM D. HOLLER / DATE

(OWNER) DARLENE M. HOLLER / DATE

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)
 ON THIS _____ DAY OF _____, 2004 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY
 WILLIAM D. AND DARLENE M. HOLLER
 NOTARY PUBLIC
 MY COMMISSION EXPIRES _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE 10' FEET WIDE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE ELECTRIC COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PUBLIC SERVICE GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICE, INCLUDING BUT NOT LIMITED TO ABOVE-GROUND PEDESTALS AND CLOSURES.
4. COMCAST INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE REMOVE, MODIFY, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENT, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATION OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

PLAT NOTES

1. CASE NUMBERS : _____
2. ZONE PAGE NUMBERS : G-13-Z
3. GROSS ACREAGE : 2.4392 AC.
4. NUMBER OF LOTS CREATED: EIGHT (8) LOTS AND ONE (1) COMMONS TRACT
5. ROAD MILEAGE CREATED : 0.08 MILE
6. ALL EASEMENTS OF RECORD ARE SHOWN ON THIS PLAT.
7. BEARINGS ARE GRID BASED ON THE USE OF THE A.C.S. MONUMENTS MARKED "6-G13A" AND "5-G13B", DISTANCES ARE GROUND.
8. ALL CORNERS SET BY THIS SURVEY ARE 1/2" X 16" REBAR WITH A PLASTIC CAP MARKED "MARQUEZ 10283", UNLESS OTHERWISE NOTED.
9. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
10. THE 35.25 FOOT PRIVATE ACCESS EASEMENT IS FOR THE BENEFIT OF AND TO BE MAINTAINED BY THE OWNERS OF LOTS 1 THRU 8, TRACT "A" AND "B" ARE TO BE COMMONS OPEN SPACE AND OR GUEST PARKING, AND TO BE MAINTAINED BY THE OWNERS OF THE HOMEOWNERS ASSOCIATION. IF THE RESPONSIBLE PARTIES FAIL OR REFUSE TO ACT ON MAINTENANCE OBLIGATIONS AS SET FORTH IN THE COMMONS, THE CITY SHALL HAVE THE AUTHORITY TO PERFORM SUCH MAINTENANCE AS NECESSARY TO PROTECT THE PUBLIC HEALTH AND SAFETY. THE CITY MAY AFTER WRITTEN NOTICE AND FAILURE TO COMPLY WITHIN 30 DAYS ENTER UPON AND MAINTAIN THE COMMONS. THE COST OF SUCH MAINTENANCE PLUS ANY OTHER PENALTIES OR COST ALLOWED BY LAW IN CONNECTION THEREIN, SHALL BE ASSESSED AGAINST THE PROPERTIES WITHIN SAID SUBDIVISION. AND FAILURE TO PAY ASSESSED CHARGES MAY RESULT IN MUNICIPAL LIEN AGAINST EACH INDIVIDUAL LOT THIS SUBDIVISION. THIS PROVISION SHALL NOT BE DEEMED TO CREATE AN OBLIGATION TO ACT ON THE PART OF THE CITY. UNDER NO CIRCUMSTANCES WILL THE CITY MAINTAIN RECREATION USES AND UNDER NO CIRCUMSTANCES SHALL THE CITY MAINTAIN THE COMMONS FOR A PERIOD OF LONGER THAN ONE YEAR.
11. THE PURPOSE OF THIS PLAT IS TO CREATE EIGHT (8) SINGLE FAMILY LOTS AND ONE COMMONS TRACT FROM TWO (2) EXISTING TRACTS.

NOTE :

THE RANCHO DE CANDELARIA HOMEOWNER'S ASSOCIATION ("ASSOCIATION") AND THE INDIVIDUAL LOT OWNERS (LOT OWNERS) SHALL MAINTAIN THE PRIVATE ACCESS EASEMENT AT THE EXPENSE OF THE ASSOCIATION AND LOT OWNER. THE ASSOCIATION AND THE LOT OWNERS SHALL BE JOINTLY AND SEVERALLY LIABLE FOR THE MAINTENANCE OF THE PRIVATE ACCESS EASEMENT.

"PUBLIC ROAD, AKA PARCEL 3"
 DESCRIPTION

UPON THE APPROVAL, EXECUTION AND RECORDING OF THIS PLAT, THE CITY OF ALBUQUERQUE DISCLAIMS ANY INTEREST, RIGHT OR TITLE TO THAT CERTAIN PARCEL OF LAND BEING IDENTIFIED AS "A PUBLIC ROAD", CONTAINING 0.1100 OF AN ACRE WITHIN SECTION 6, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE PORTION OF SAID ROAD BEING DESCRIBED, FOUND A 1" IRON PIPE IN PLACE, WHENCE FOR A TIE TO THE A.C.S. MONUMENT MARKED "6-G13A" BEARS N 12°14'02" W, 648.05 FEET DISTANCE; THENCE,
 S 85°55'02" E, 52.10 FEET DISTANCE ALONG THE NORTHERLY RIGHT-OF-WAY TO A POINT; THENCE,
 N 06°30'03" E, 11.81 FEET TO A FOUND 1-1/2" IRON PIPE IN PLACE; THENCE,
 S 83°28'52" E, 124.68 FEET DISTANCE ALONG SAID RIGHT-OF-WAY TO THE NORTHEASTERLY CORNER OF THE PUBLIC ROAD, ALSO BEING THE WESTERY BOUNDARY OF LOT 28, BLOCK 1, AMENDED MATTHEW MEADOWS, FILED NOVEMBER 21, 1979 IN VOLUME 09, FOLIO 29; THENCE,
 S 12°08'30" W, 30.85 FEET DISTANCE ALONG SAID BOUNDARY TO A POINT COMMON WITH LOTS 23 AND 28, BLOCK 1, AMENDED MATTHEW MEADOWS; THENCE,
 N 83°46'37" W, 174.59 FEET DISTANCE ALONG THE SOUTHERLY RIGHT-OF-WAY TO THE SOUTHWEST CORNER OF THIS PORTION OF PUBLIC ROAD; THENCE,
 N 09°22'09" E, 17.60 FEET TO THE POINT OF BEGINNING.

PROJECT NUMBER : 1002798 . 03EPC-01673 . 03EPC-01674

APPLICATION NUMBER : _____

PLAT APPROVAL : _____

P.N.M. ELECTRIC SERVICE / DATE _____

P.N.M GAS SERVICE / DATE _____

QWEST TELECOMMUNICATION / DATE _____

COMCAST / DATE _____

NEW MEXICO UTILITIES / DATE _____

CITY APPROVALS

CITY SURVEYOR / DATE _____

REAL PROPERTY DIVISION / DATE _____

ENVIRONMENTAL HEALTH DEPT. / DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION / DATE _____

UTILITIES DEVELOPMENT / DATE _____

PARKS AND RECREATION DEPARTMENT / DATE _____

A.M.A.F.C.A. / DATE _____

CITY ENGINEER DATE _____

CITY APPROVAL AND CONDITIONAL ACCEPTANCE: BY SIGNATURE OF THE DEVELOPMENT REVIEW BOARD MEMBER OF THEIR REPRESENTATIVE AND AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF CHAPTER 7 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NM

CITY PLANNER, PLANNING DEPARTMENT / DATE _____

IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICE AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, P.N.M. DOES NOT WAIVER NOR RELEASE ANY EASEMENT OF EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT, OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.

NOTE : UNDER NO CIRCUMSTANCE SHALL FENCES/STRUCTURES OF ANY KIND BE CONSTRUCTED/INSTALLED ON OR WITHIN THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT RIGHT-OF-WAY/EASEMENT OR ON ANY DITCH EMBANKMENT.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____
 PROPERTY OWNER OF RECORD

BERNALILLO COUNTY TREASURER'S OFFICE

SURVEYOR'S CERTIFICATE

I, GEORGE J. MARQUEZ JR., A REGISTERED PROFESSIONAL NEW MEXICO LAND SURVEYOR NO. 10283, CERTIFY THAT THIS SUBDIVISION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND AM RESPONSIBLE FOR THIS SURVEY, WHICH MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND COMPLIES WITH THE MINIMUM STATUTES AND STANDARDS FOR NEW MEXICO SURVEYS AS ESTABLISHED BY THE STATE BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

GEORGE J. MARQUEZ JR. NMPS NO. 10283/ DATE _____

MARQUEZ SURVEYING GROUP
 2713 VIOLA ROAD S.W.
 ALBUQUERQUE, NEW MEXICO, 87105
 (505) 842-6579 FAX (505) 246-9106
 AND
 P.O. BOX 11, BLUEWATER, NEW MEXICO, 87030
 (505) 867-2684 FAX (505) 867-2684

PLAT OF
 LOTS 1 THRU 8 AND TRACT "A"
 RANCHO DE CANDELARIA
 SECTION 6, T. 10 N., R. 3 E., N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 APRIL 2004

A.C.S. MONUMENT
 "6-G13A"
 X= 375,498.02
 Y=1,500,656.54
 ELEV. = 4965.72
 CENTRAL ZONE
 G/G FACTOR=0.9996802
 Δ = -00'14'22"
 NAD 1927, NAVD 1929

LINE	BEARING	DISTANCE
L1	N 14°41'28" E	45.95
L2	N 84°27'00" E	24.65
L3	N 08°57'10" E	69.00
L4	S 71°40'55" E	63.91
L5	S 11°13'21" W	1.97
L6	S 83°10'30" E	23.26
L7	S 12°08'30" W	30.85
L8	S 49°25'01" E	37.78
L9	S 89°14'19" E	26.39

(PLAT, N 13°57'30"E, 46.00')
 (PLAT, N 84°08'30"E, 24.65')
 (PLAT, N 08°38'40"E, 69.00')
 (PLAT, S 71°59'25"E, 63.91')
 (PLAT, S 10°54'50"W, 1.97')
 (PLAT, S 83°29'00"E, 23.26')
 (PLAT, N 11°55'37"E, 30.85')
 (PLAT, N 09°23'10"W, 44.05')

20.0' ROADWAY EASEMENT RECORDED 09-07-72, C8-181
 GRANT OF EASEMENT FOR PUBLIC UTILITIES RECORDED
 03-04-74, MISC. 336, PG. 548-549,
 TO BE VACATED BY THIS PLAT AS PER NOTIFICATION
 OF DECISION DATED 11-21-03, PRO. #1002798
 03EPC-01873 & 03EPC-01674
 APPROVED ON 11-20-03

ALSO
 TERMINATION OF EASEMENT
 HOLLER TO HILL/CHRISTENSEN
 FILED _____ PG. 2004
 BK. _____

TR. 83-A-2-A, MAP #34
 N/F KREG B. HILL
 W.D. #77-59521

TR. 83-A-1, MAP #34
 N/F EVANGELINE G. ARANDA
 S.W.D. #87-126974

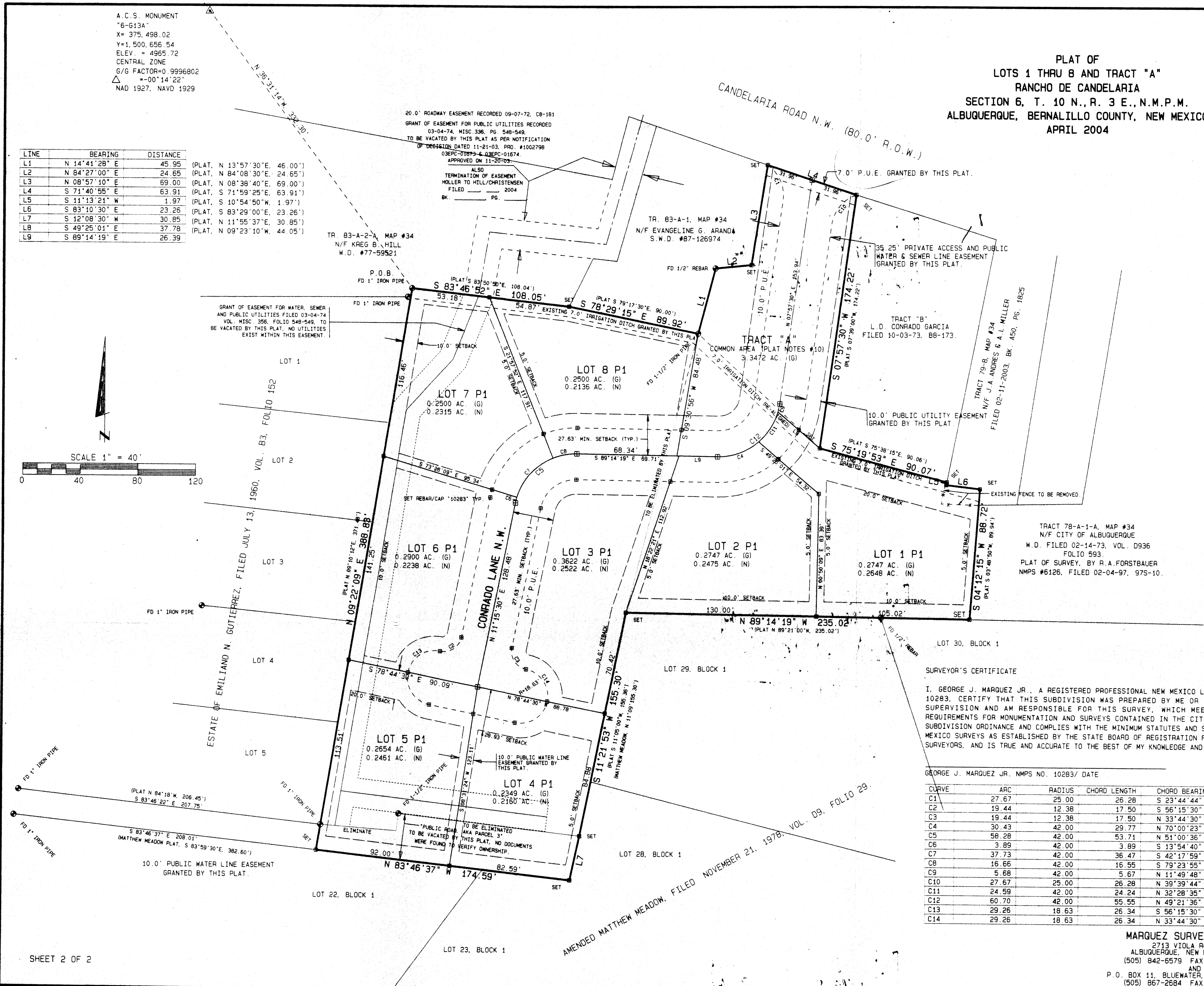
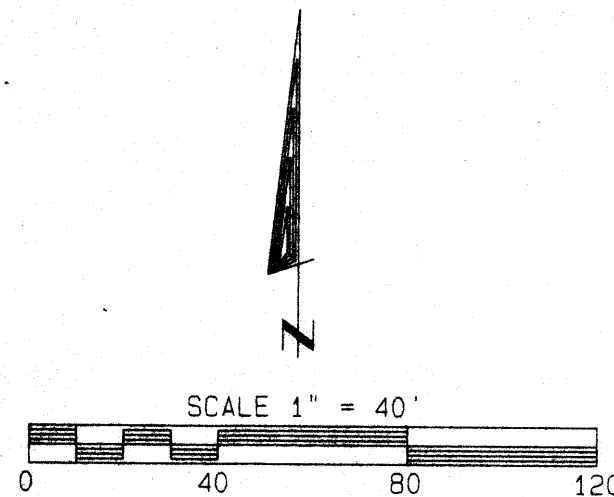
GRANT OF EASEMENT FOR WATER, SEWER
 AND PUBLIC UTILITIES FILED 03-04-74
 VOL. MISC. 356, FOLIO 548-549, TO
 BE VACATED BY THIS PLAT. NO UTILITIES
 EXIST WITHIN THIS EASEMENT.

35.25' PRIVATE ACCESS AND PUBLIC
 WATER & SEWER LINE EASEMENT
 GRANTED BY THIS PLAT.

TRACT "B"
 L.D. CONRADO GARCIA
 FILED 10-03-73, B8-173.

TRACT 79-B, MAP #34
 N/F J.A. ANDRES & A.L. MILLER
 FILED 02-11-2003, BK. 450, PG. 1825

TRACT 78-A-1-A, MAP #34
 N/F CITY OF ALBUQUERQUE
 W.D. FILED 02-14-73, VOL. D936
 FOLIO 593.
 PLAT OF SURVEY, BY R.A. FORSTBAUER
 NMPS #6126, FILED 02-04-97, 97S-10.



SURVEYOR'S CERTIFICATE
 I, GEORGE J. MARQUEZ JR., A REGISTERED PROFESSIONAL NEW MEXICO LAND SURVEYOR NO. 10283, CERTIFY THAT THIS SUBDIVISION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND AM RESPONSIBLE FOR THIS SURVEY, WHICH MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND COMPLIES WITH THE MINIMUM STATUTES AND STANDARDS FOR NEW MEXICO SURVEYS AS ESTABLISHED BY THE STATE BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

GEORGE J. MARQUEZ JR. NMPS NO. 10283/ DATE _____

CURVE	ARC	RADIUS	CHORD LENGTH	CHORD BEARING	TAN LENGTH
C1	27.67	25.00	26.28	S 23°44'44" E	15.44
C2	19.44	12.38	17.50	S 56°15'30" W	12.38
C3	19.44	12.38	17.50	N 33°44'30" W	12.38
C4	30.43	42.00	29.77	N 70°00'23" E	15.92
C5	58.28	42.00	53.71	N 51°00'36" E	34.93
C6	3.89	42.00	3.89	S 13°54'40" W	1.95
C7	37.73	42.00	36.47	S 42°17'59" W	20.25
C8	16.66	42.00	16.55	S 79°23'55" W	8.44
C9	5.68	42.00	5.67	N 11°49'48" E	2.84
C10	27.67	25.00	26.28	N 39°39'44" E	15.44
C11	24.59	42.00	24.24	N 32°28'35" E	12.66
C12	60.70	42.00	55.55	N 49°21'36" E	37.03
C13	29.26	18.63	26.34	S 56°15'30" W	18.63
C14	29.26	18.63	26.34	N 33°44'30" W	18.63

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 AND
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 (505) 867-2684 FAX (505) 867-2684

A.L.T.A./A.C.S.M. SURVEY OF
 LANDS OF CONRADO GARCIA, et al
 TRACT "A"
 AND
 RIMA ADDITION
 TRACT "A"
 SECTION 6, T. 10 N., R. 3 E., N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY 2004

TRACT LETTERED "A" OF THE LANDS OF CONRADO GARCIA, ETAL, A LAND DIVISION OF THAT CERTAIN TRACT OF LAND SITUATE WITHIN THE CITY LIMITS OF THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 3, 1973, IN PLAT BOOK DB, FOLIO 173.

ALSO

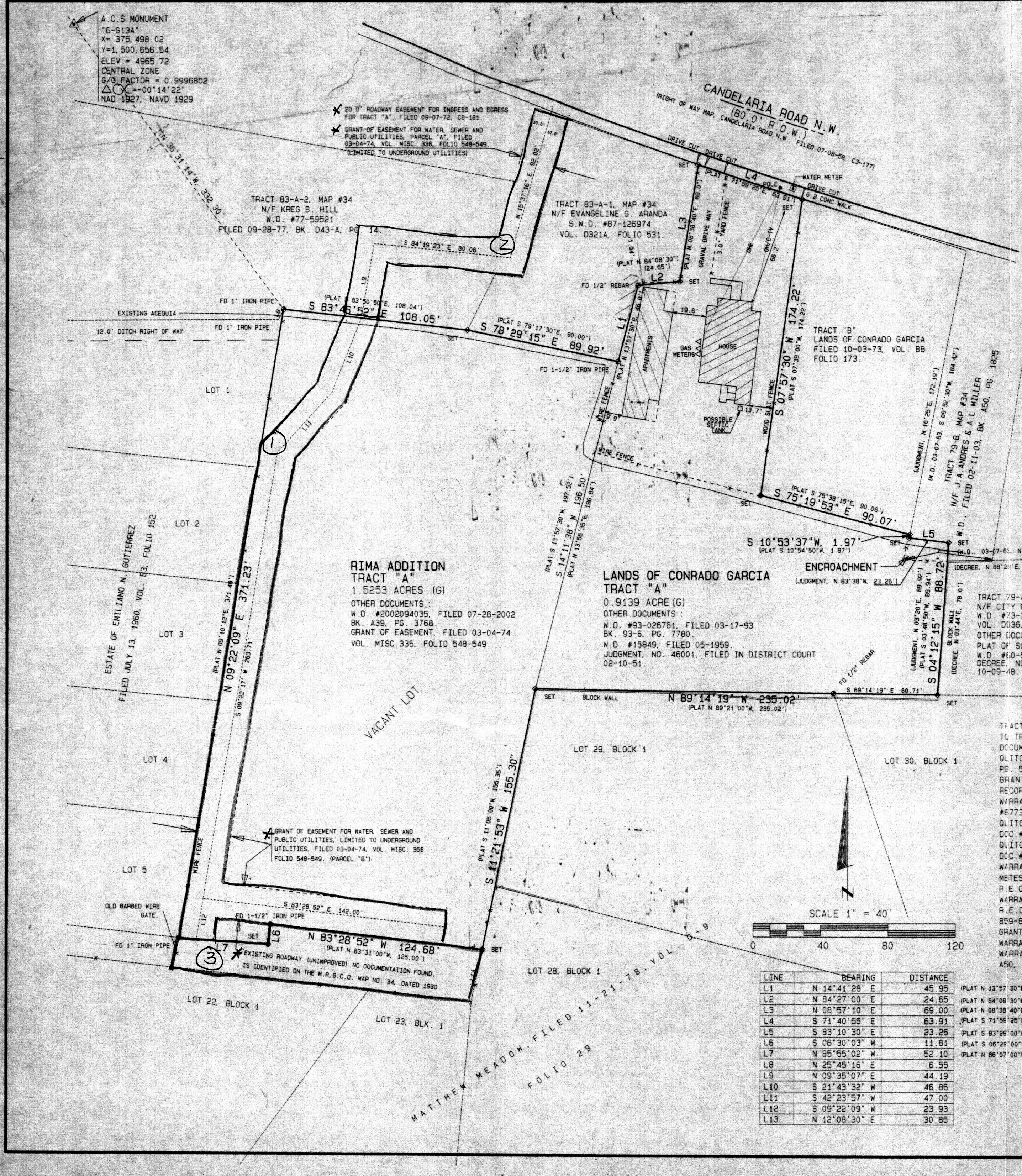
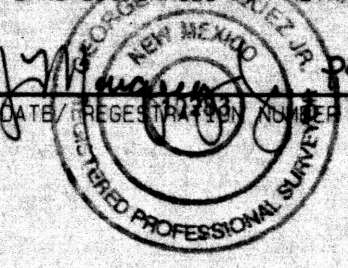
TRACT "A" OF THE PLAT OF RIMA ADDITION, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO, NEW MEXICO, ON SEPTEMBER 7, 1972, IN PLAT BOOK CB, FOLIO 181.

SURVEYORS CERTIFICATE

THIS IS TO CERTIFY TO William D. & Darlene M. Holler
Title Insurance Company of America, Sandia Title
Company, Inc.

THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE CURRENT "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1999, AND INCLUDES ITEMS OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATE. UNDERSIGNED FURTHER CERTIFIES THAT PROPER FIELD PROCEDURES, INSTRUMENTATION, AND ADEQUATE SURVEY PERSONAL WERE EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPARABLE TO THOSE OUTLINED IN THE "MINIMUM ANGLE, DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS."

George J. Marquez PS #10283 / Feb. 22, 2004
 SURVEYOR AND DATE / REGISTRATION NUMBER

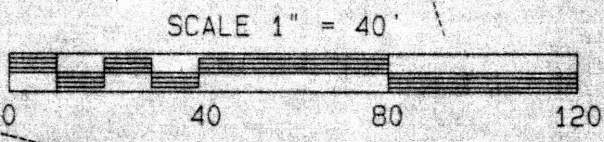


RIMA ADDITION
 TRACT "A"
 1.5253 ACRES (G)
 OTHER DOCUMENTS:
 W.D. #2002094035, FILED 07-26-2002
 BK. A39, PG. 3768.
 GRANT OF EASEMENT, FILED 03-04-74
 VOL. MISC. 336, FOLIO 548-549.

LANDS OF CONRADO GARCIA
 TRACT "A"
 0.9139 ACRE (G)
 OTHER DOCUMENTS:
 W.D. #93-026761, FILED 03-17-93
 BK. 93-6, PG. 7780.
 W.D. #15849, FILED 05-1959
 JUDGMENT, NO. 46001, FILED IN DISTRICT COURT
 02-10-51.

TRACT 79-A-1-A, MAP #34
 N/F CITY OF ALBUQUERQUE
 W.D. #73-35498, FILED 02-14-73
 VOL. D936, FOLIO 593.
 OTHER DOCUMENTS:
 PLAT OF SURVEY, FILED 02-04-97, 97S-10.
 W.D. #10-55138, FILED 01-29-60.
 DECREE, NO. 30945, FILED IN DISTRICT COURT
 10-09-48.

ENCROACHMENT
 TRACT 79-B, MAP #34 EXISTING FENCE AT SOUTHWEST CORNER OF SAID TRACT ENCLOSES ON TO TRACT "A", CONRADO GARCIA.
 DOCUMENTS FOUND FOR TRACT 79-B, MAP #34 ARE AS FOLLOWS:
 QUITCLAIM DEED, MARGO TO JUAN DE DIOS PADILLA, RECORDED ON JAN. 16, 1942, BK. 182, PG. 550.
 GRANT OF RIGHT OF WAY EASEMENT, J. DE DIOS PADILLA AND BERNALILLO COUNTY, NM, RECORDED 11-29-48, VOL. 142, FOLIO 241.
 WARRANTY DEED, JUAN DE DIOS PADILLA TO CITY OF ALBUQUERQUE, RECORDED 10-31-58, DOC. #87734.
 QUITCLAIM DEED, HEIRS OF JUAN DE DIOS PADILLA TO SOFIA PADILLA, RECORDED 08-02-62, DCC #94379.
 QUITCLAIM DEED, HEIRS OF JUAN DE DIOS PADILLA TO SOFIA PADILLA, RECORDED 08-02-62, DCC #94876.
 WARRANTY DEED, S.G. PADILLA TO RODGER A. BACA, RECORDED 03-07-63, DOC. #27638 (FIRST METES AND BOUNDS DESCRIPTION).
 R. E. C., R.A. BACA TO JANE BATTEN, RECORDED 09-11-73, BK. MISC. 331, PG. 637-640.
 WARRANTY DEED, R.A. BACA TO JANE BATTEN, RECORDED 02-26-82, BK. D158A, PG. 572.
 R. E. C., J. BATTEN TO J.A. ANDRES & A.L. MILLER, RECORDED 08-10-95, BK. 95-19, PG. 859-863.
 GRANT OF EASEMENT, RECORDED 08-10-95, BK. 95-19, PG. 864-865.
 WARRANTY DEED, A.L. MILLER TO J.A. ANDRES, RECORDED 02-07-03, BK. A50, PG. 605.
 WARRANTY DEED, J.A. ANDRES TO J.A. ANDRES & A.L. MILLER, RECORDED 02-11-03, BK. A50, PG. 1825.



LINE	BEARING	DISTANCE
L1	N 14°41'28" E	45.95
L2	N 84°27'00" E	24.65
L3	N 08°57'10" E	69.00
L4	S 71°40'55" E	63.91
L5	S 83°10'30" E	23.26
L6	S 06°30'03" W	11.81
L7	N 85°55'02" W	52.10
L8	N 25°45'16" E	6.55
L9	N 09°35'07" E	44.19
L10	S 21°43'32" W	46.86
L11	S 42°23'57" W	47.00
L12	S 09°22'09" W	23.93
L13	N 12°08'30" E	30.85

EXHIBIT B
 Date 5/12/04

MARQUEZ SURVEYING GROUP
 2713 VILLOA ROAD S.W.
 ALBUQUERQUE, NEW MEXICO, 87105
 (505) 842-6579 FAX (505) 246-9106
 AND
 P.O. BOX 11, BLUEWATER, NEW MEXICO, 87030
 (505) 867-2684 FAX (505) 867-2684

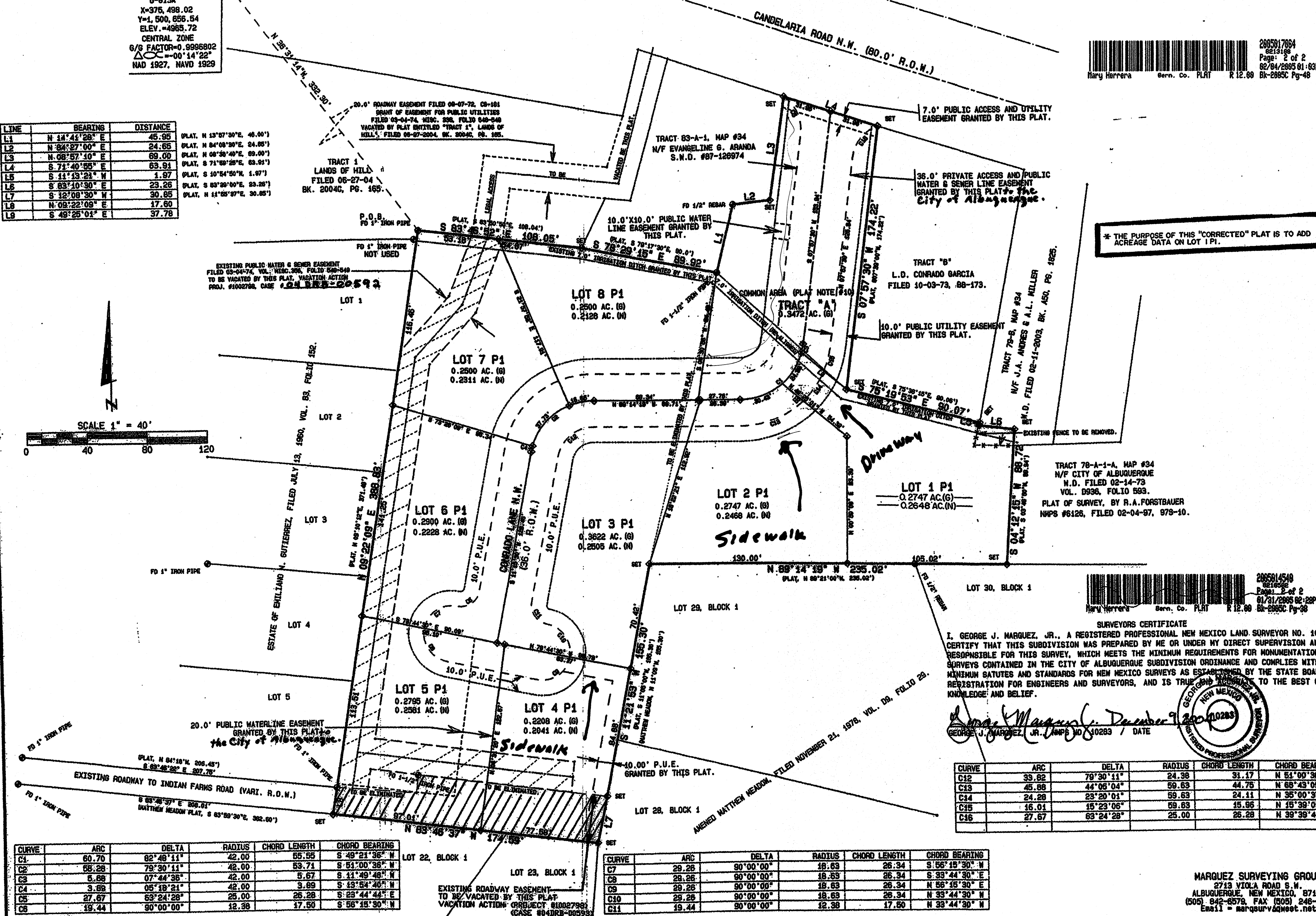
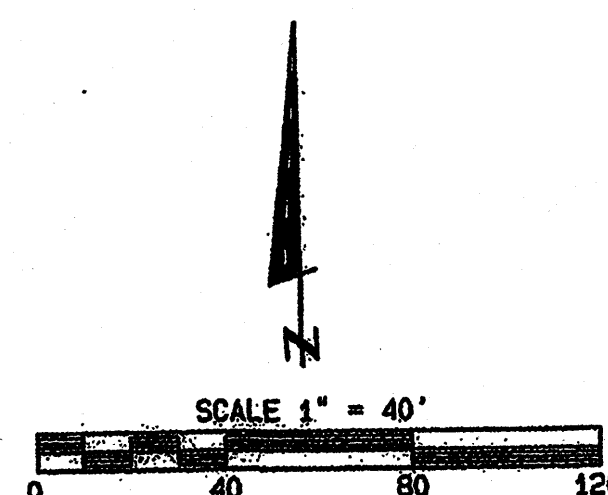
CORRECTED
 PLAT OF
 LOTS 1 THRU 8, AND TRACT "A"
 RANCHO DE CANDELARIA
 SECTION 6, T. 10 N., R. 3 E., N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2004

A.C.S. MONUMENT
 "6-613A"
 X=376,498.02
 Y=1,500,656.64
 ELEV.=4965.72
 CENTRAL ZONE
 G/G FACTOR=0.9998802
 ΔOC=-00°14'22"
 NAD 1927, NAVD 1929

2885817864
 Page: 2 of 2
 02/04/2005 01:03P
 Bk-2885C Pg-48

LINE	BEARING	DISTANCE	PLAT. N 43°07'30"E, 46.00'
L1	N 14°41'28" E	45.95	PLAT. N 84°08'30"E, 24.85'
L2	N 84°27'00" E	24.65	PLAT. N 08°58'40"E, 69.00'
L3	N 08°57'10" E	69.00	PLAT. S 71°09'28"E, 63.91'
L4	S 71°40'55" E	63.91	PLAT. S 10°54'50"N, 1.97'
L5	S 11°13'21" W	1.97	PLAT. S 89°39'00"E, 23.26'
L6	S 89°10'30" E	23.26	PLAT. N 41°05'37"E, 30.85'
L7	S 12°08'30" W	30.85	
L8	N 09°22'09" E	17.60	
L9	S 49°25'01" E	37.78	

* THE PURPOSE OF THIS "CORRECTED" PLAT IS TO ADD
 ACREAGE DATA ON LOT 1 P1.



2885814540
 Page: 2 of 2
 01/31/2005 02:20P
 Bk-2885C Pg-26

SURVEYORS CERTIFICATE
 I, GEORGE J. MARQUEZ, JR., A REGISTERED PROFESSIONAL NEW MEXICO LAND SURVEYOR NO. 10283,
 CERTIFY THAT THIS SUBDIVISION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND AM
 RESPONSIBLE FOR THIS SURVEY, WHICH MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND
 SURVEYS CONTAINED IN THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND COMPLIES WITH THE
 MINIMUM STATUTES AND STANDARDS FOR NEW MEXICO SURVEYS AS ESTABLISHED BY THE STATE BOARD OF
 REGISTRATION FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND ACCURATE TO THE BEST OF MY
 KNOWLEDGE AND BELIEF.

George J. Marquez, Jr.
 GEORGE J. MARQUEZ, JR., LAMP NO. 10283, DATE 12/09/04

CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING
C12	39.82	79°30'11"	24.38	31.17	N 51°00'36" E
C13	45.88	44°06'04"	69.63	44.75	N 68°43'09" E
C14	24.28	23°20'01"	59.63	24.11	N 35°00'37" E
C15	16.01	15°23'06"	69.63	15.96	N 15°39'03" E
C16	27.67	63°24'28"	25.00	26.28	N 39°38'44" E

CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING
C4	60.70	82°48'11"	42.00	55.55	S 49°21'36" W
C5	68.28	79°30'11"	42.00	53.71	S 51°00'36" W
C6	5.89	07°44'35"	42.00	5.67	S 11°49'48" W
C7	3.89	05°18'21"	42.00	3.69	S 13°24'40" W
C8	27.67	63°24'28"	25.00	26.28	S 23°44'44" E
C9	19.44	90°00'00"	12.38	17.50	S 55°15'30" W

CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING
C7	29.25	90°00'00"	18.63	26.34	S 56°15'30" W
C8	28.26	90°00'00"	18.63	26.34	S 33°44'30" E
C9	29.25	90°00'00"	18.63	26.34	N 56°15'30" E
C10	29.25	90°00'00"	18.63	26.34	N 33°44'30" N
C11	19.44	90°00'00"	12.38	17.50	N 39°44'30" W

DESIGN GUIDELINES:

- PROPOSED ZONING IS SU-1 FOR PRD.
- PERMISSIVE USES:
USES PERMISSIVE IN THE R-1 ZONE.
- LOT SIZE:
TOTAL NUMBER OF PROPOSED LOTS = 8 LOTS.
NUMBER OF PROPOSED TRACTS = 2 TRACTS. (THESE ARE COMMON AREA ONLY.)
MINIMUM LOT AREA FOR CONSTRUCTION SHALL BE 10,000.00 SF.
- SETBACKS:
A. THERE SHALL BE A FRONT YARD SETBACK OF NOT LESS THAN 20.00 FEET, OTHERWISE NOTED.
B. THERE SHALL BE A REAR YARD SETBACK OF NOT LESS THAN 10.00 FEET, OTHERWISE NOTED.
C. THERE SHALL BE A SIDE YARD SETBACK OF NOT LESS THAN 5.00 FEET, OTHERWISE NOTED.
- OFF-STREET PARKING IS PROVIDED ON EACH SITE FOR A MINIMUM OF 2 CARS, IN ADDITION TO 2 PARKING SPACES WITHIN EACH GARAGE FOR A TOTAL OF 4 MINIMUM SPACES PER LOT.
- WATER AND SEWER:
PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT, VIA AN AVAILABILITY STATEMENT.
- ACCESS:
THE ONLY ACCESS ALLOWED TO THE PROJECT SHALL BE FROM THE ENTRANCE SHOWN ON THE CANDELARIA ROAD NW.
- CURBS AND GUTTERS:
MOUNTABLE CURB AND GUTTER SHALL BE USED THROUGHOUT EXCEPT FOR THOSE AREAS WHERE STANDARD CURB AND GUTTER IS NECESSARY FOR DRAINAGE CONVEYANCE.
- BUILDINGS:
BUILDING HEIGHT:
BUILDING STRUCTURE SHALL NOT EXCEED 26 FEET IN HEIGHT.
BUILDING TYPES:
BUILDINGS SHALL BE TRADITIONAL OR SOUTHWEST STYLE WITH EITHER FLAT OR PITCH ROOF. PITCHED ROOFS SHALL BE EITHER TILED OR METAL. BUILDINGS SHALL BE EITHER STUCCO, BRICK, OR ANY COMBINATION.
BUILDING COLORS:
BUILDING COLORS SHALL BE TAN TO LIGHT BROWN, ACCENTS AND EARTHTONE. THE USE OF DARK COLORS FOR THE ROOF IS PROHIBITED.
OPEN SPACE:
A MINIMUM OF 1200 SF. OF OPEN SPACE FOR EACH DWELLING SHALL BE FURNISHED EITHER ONSITE OR IN ACCORDANCE WITH SECTION 14-13-3-8A OF THE ZONING CODE IF THERE IS AN ON-LOT DEFICIT.
- THIS SITE SHALL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
- THE LANDSCAPING PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL FIXTURES SHALL BE OF A FULL CUT OFF TYPE, TO PREVENT FUGITIVE LIGHT, MOUNTED NO MORE THAN 16" HIGH.
- PROPOSED TRACTS A & B ARE COMMON AREA FOR USE OF ALL THE LOTS AND NO HOUSES SHALL BE CONSTRUCTED ON THESE TWO TRACTS. THE MAINTENANCE OF THESE TRACTS ARE THE RESPONSIBILITY OF ALL THE LOT OWNERS OR NEIGHBORHOOD ASSOCIATION.
- EACH LOT SHALL SUBMIT A SITE PLAN FOR BUILDING PERMIT TO CITY OF ALBUQUERQUE DESIGN REVIEW BOARD FOR BUILDING PERMIT APPROVAL.
- THE MAINTENANCE OF PRIVATE ACCESS EASEMENT IS THE RESPONSIBILITY OF ALL THE OWNERS OR HOMEOWNERS ASSOCIATION.
- THE MAINTENANCE OF THE IRRIGATION DITCH IS THE RESPONSIBILITY OF ALL THE OWNERS OR HOMEOWNERS ASSOCIATION.

LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- NEW CURB & GUTTER
- NEW SIDEWALK
- NEW BLOCK WALL
- SETBACK LINE
- EXIST. CURB & GUTTER
- EXISTING LOT LINE
- FIXTURE SITTING WITH PLANTER FOR DECIDUOUS TREE

LOT DATA TABLE

LOT NO.	GROSS AREA	BUILDABLE LOT AREA
1	11,966.13 SF	6,883.12 SF
2	11,966.85 SF	7,771.20 SF
3	15,777.83 SF	6,933.87 SF
4	9,619.55 SF	6,016.85 SF
5	12,176.16 SF	7,968.19 SF
6	12,631.00 SF	6,387.32 SF
7	10,890.00 SF	7,158.52 SF
8	10,890.00 SF	6,256.49 SF
TOTAL	95,917.52 SF	55,375.56 SF

TRACT NO.	GROSS AREA	LANDSCAPING AREA
A	9,872.66 SF	5,757.38 SF
B	5,251.27 SF	2,277.05 SF
TOTAL	15,123.93 SF	8,034.43 SF

NOTES:

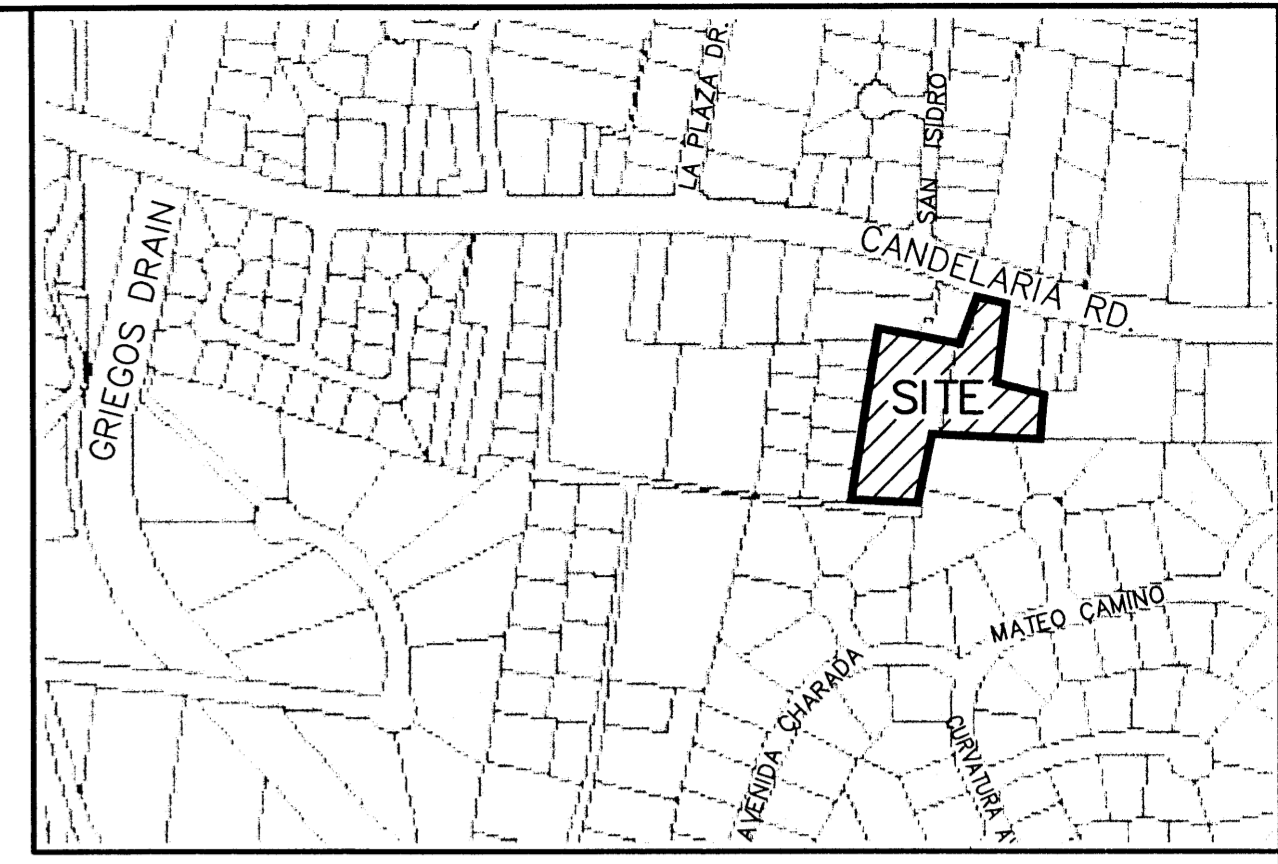
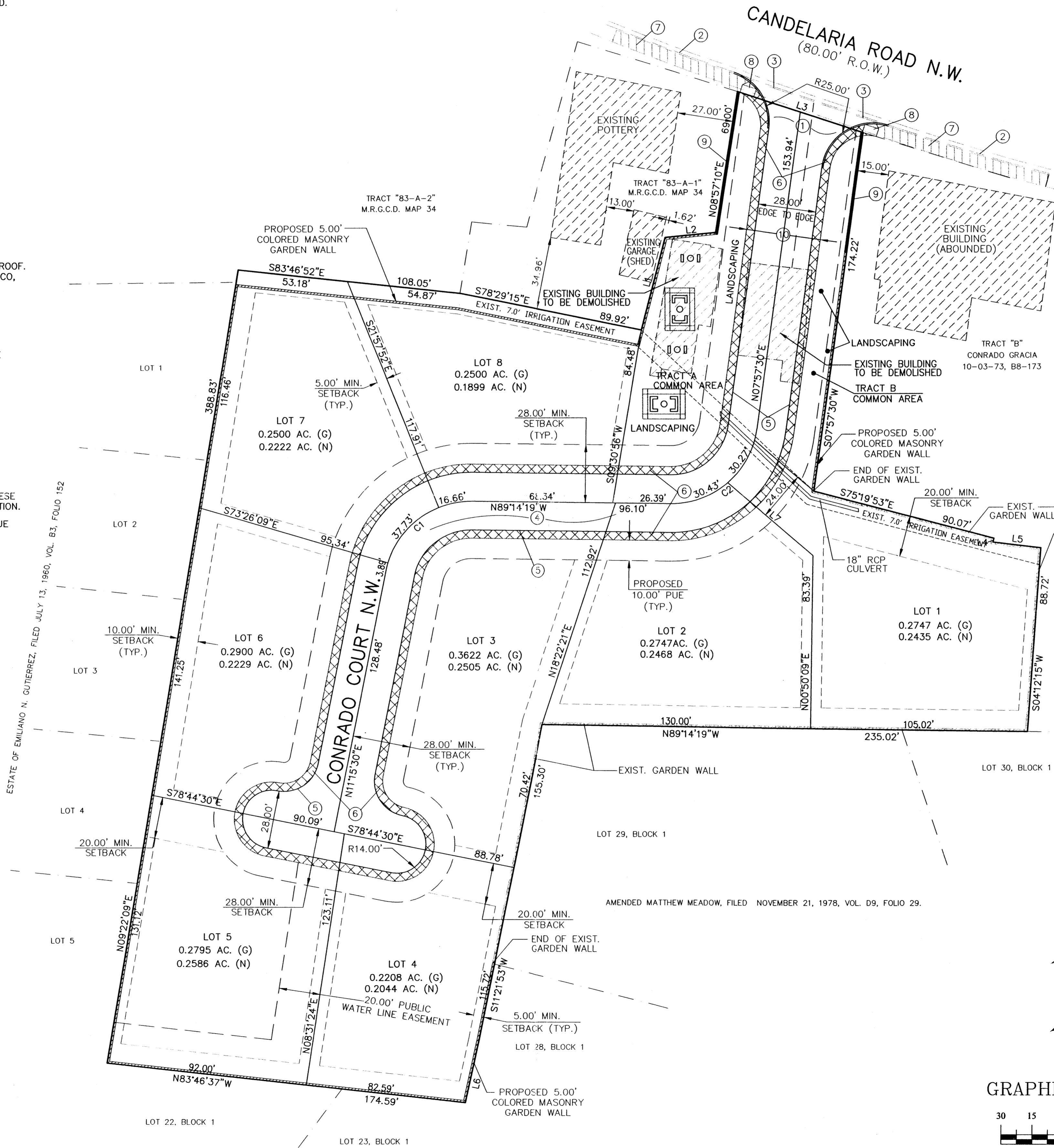
- NEW DRIVE WAY ENTRANCE PER COA STANDARD DRAWING #2426.
- EXISTING CURB AND GUTTER.
- REMOVE EXISTING CURB.
- NEW ASPHALT PAVING AREA.
- NEW MOUNTABLE CURB ESTATE TYPE PER COA STANDARD DRAWING #2415.
- NEW 4' SIDEWALK PER COA STANDARD DRAWING #2430.
- EXISTING 6.00' SIDEWALK.
- NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
- PROPOSED 5.00' ADOBE WALL WITH STUCCO.
- 36.00' PRIVATE ACCESS & PUBLIC WATER & SEWER LINE EASEMENT.

LINE TABLE

LINE	LENGTH	BEARING
L1	15.44	N90°00'00"E
L1	45.95	N14°41'28"E
L2	15.44	S90°00'00"E
L2	24.65	N84°27'00"E
L3	63.91	S71°40'55"E
L4	1.97	S111°32'21"W
L5	23.26	S83°10'30"E
L6	30.85	S12°08'30"W
L7	54.32	N49°25'01"W

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	58.28	42.00	79°30'11"	34.93	53.71	N51°00'36"E
C2	60.70	42.00	82°48'11"	37.03	55.55	N49°21'36"E



VICINITY MAP: G-13-Z

LEGAL DESCRIPTION:

TRACT A, RIMA ADDITION AND TRACT A-1, LANDS OF CANRADO GARCIA CONTAINING 2.5492 ACRES MORE OR LESS.

Added gate per R. B. Bello's comment 5PS

SHEET INDEX

- SITE PLAN
- LANDSCAPING PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN

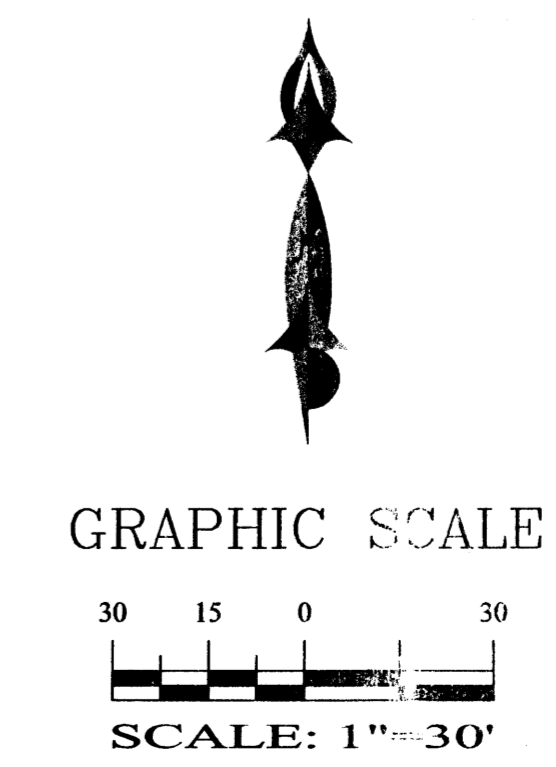
PROJECT NUMBER: _____

APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
<i>Michael Helton</i>	6-4-04
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

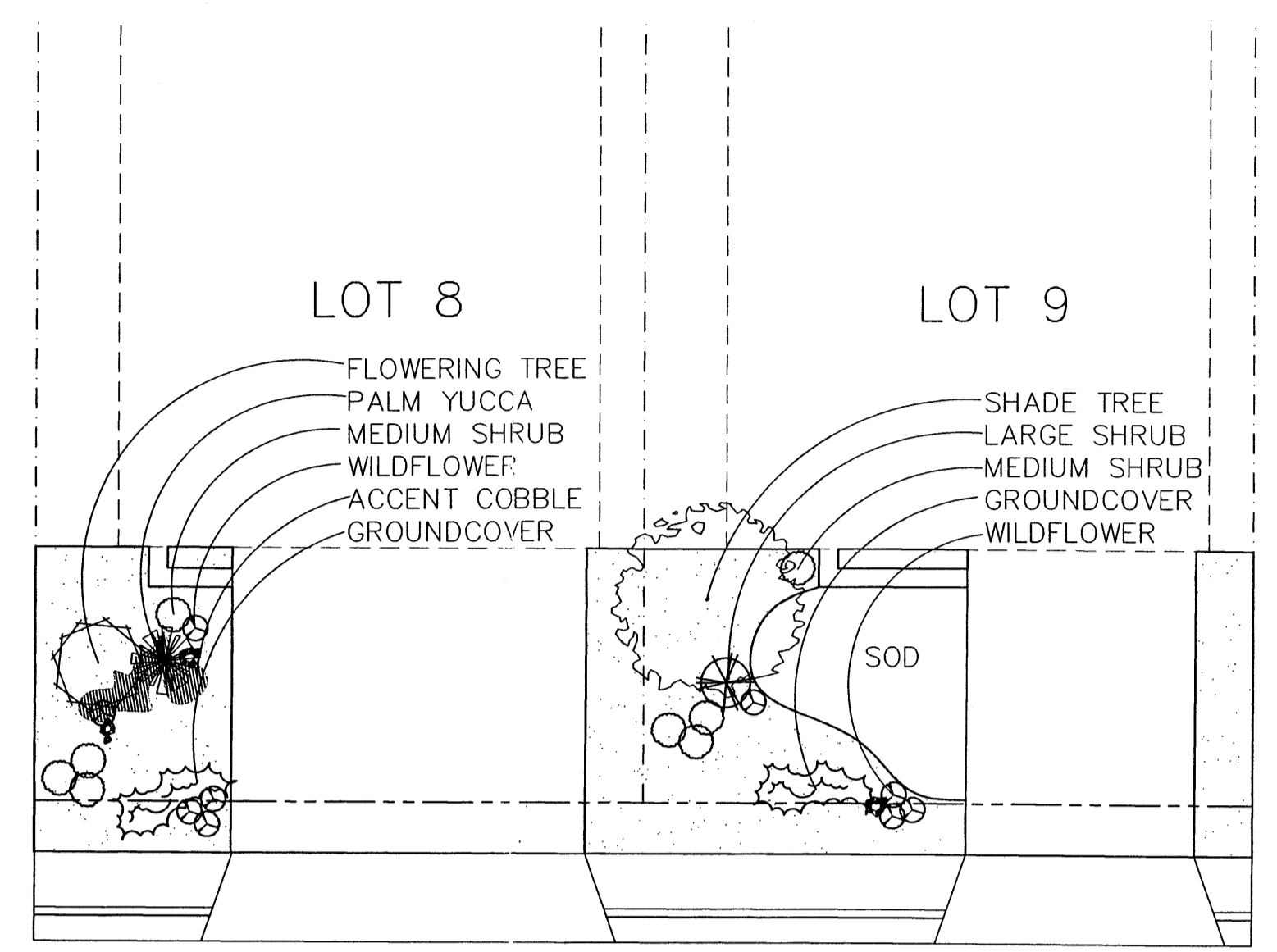
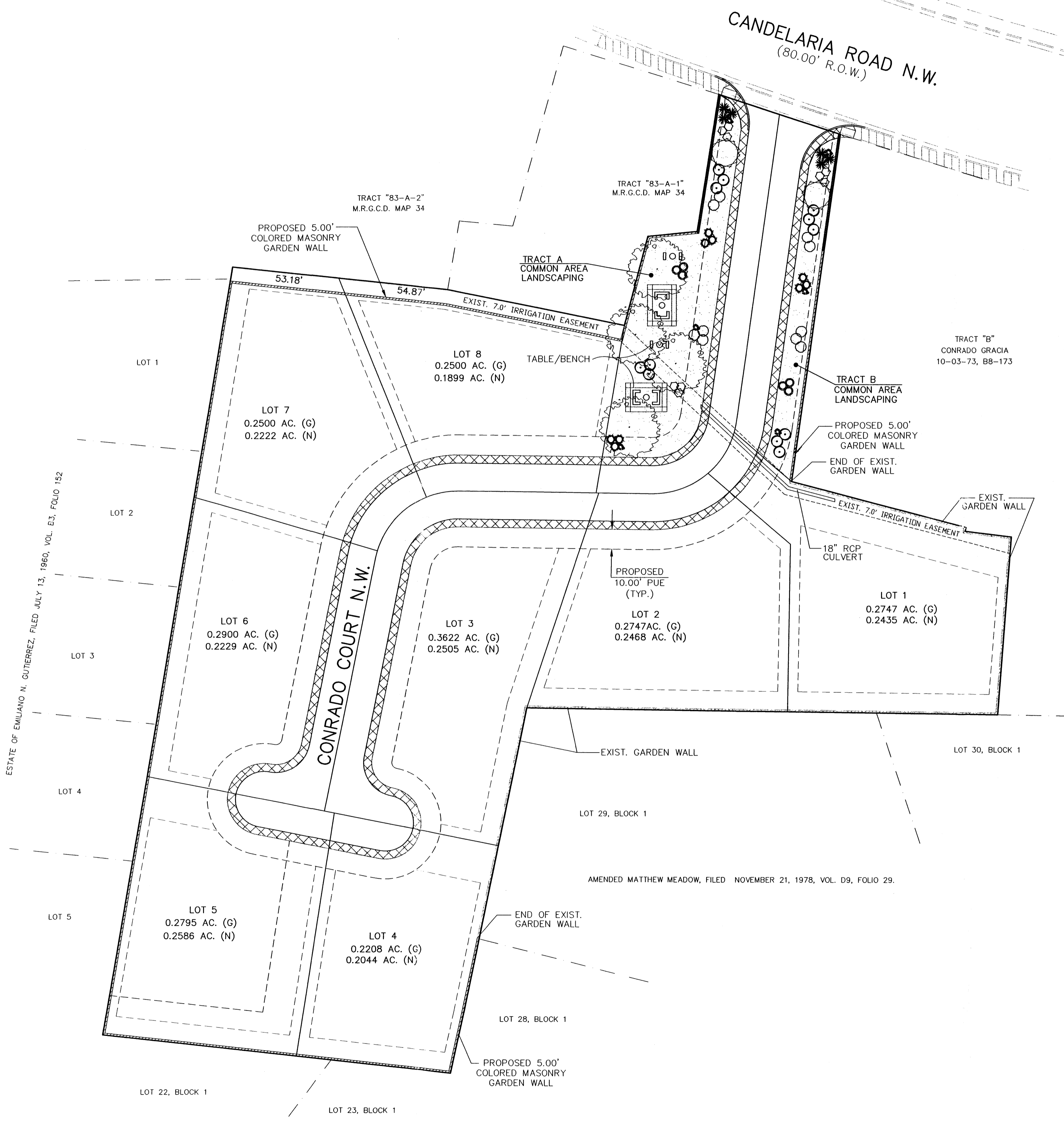


ADVANCED ENGINEERING and CONSULTING, LLC
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

RANCHO DE CANDELARIA SITE PLAN FOR SUBDIVISION

DRAWING:	DRAWN BY:	DATE:	SHEET #
200315-ST.DWG	SHH	05-24-04	1 OF 4

LAST REVISION: 11-05-03



TYPICAL LOT LAYOUT

PLANT LEGEND

- ASH (H) OR HONEY LOCUST (H)
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Gal.
- DESERT WILLOW (L)
Chilopsis linearis
15 Gal.
- RED YUCCA (L)
Hesperaloe parviflora
5 Gal.
- RUSSIAN SAGE (M)
Perovskia atriplicifolia
5 Gal.
- APACHE PLUME (L)
Fallugia paradoxa
5 Gal. 25sf
- LANAS/ SCOTCH BROOM (M)
Cytisus scoparius/
Genista hispanica
5 Gal.
- ROSEMARY (M)
Rosmarinus officinalis
2 Gal. 36sf
- AUTUMN SAGE (M)
Salvia greggii
2 Gal. 9sf
- BOULDERS 6
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

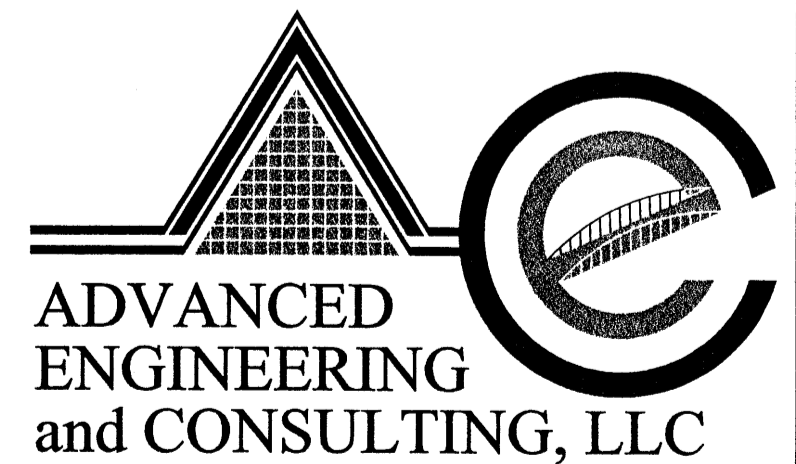
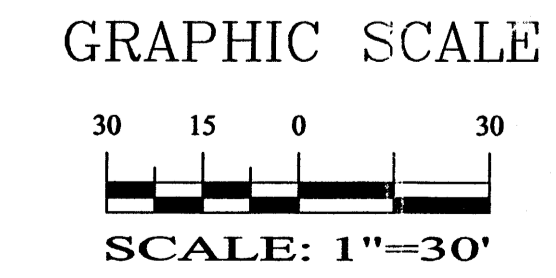
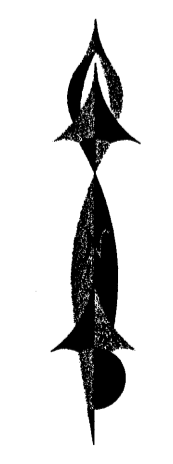
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cm@hilltoplandscaping.com
 All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505) 899-5570

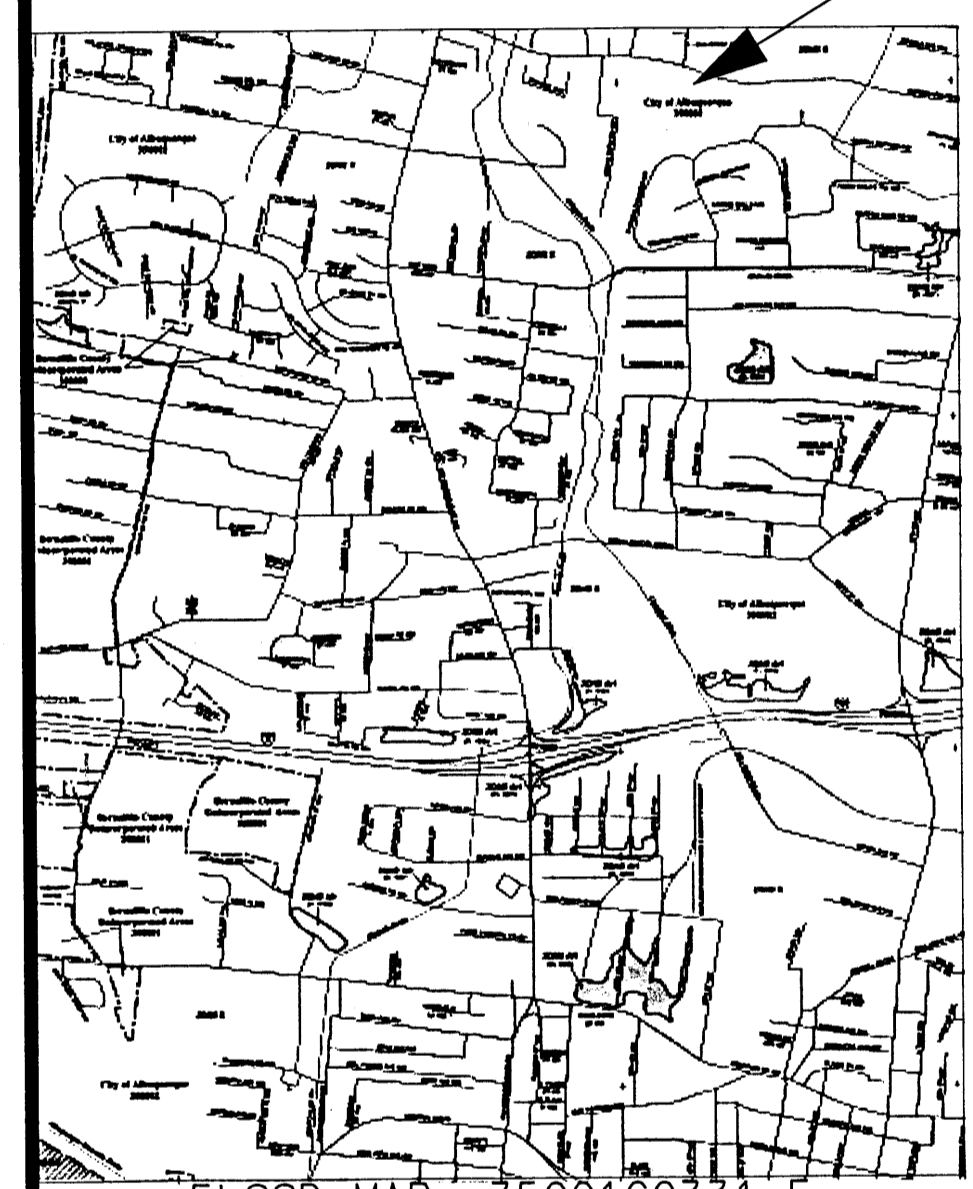
RANCHO DE CANDELARIA LANDSCAPING PLAN

DRAWING: 200315-LS.DWG	DRAWN BY: SHH	DATE: 05-24-04	SHEET # 2 OF 4
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LAST REVISION: 05-28-04

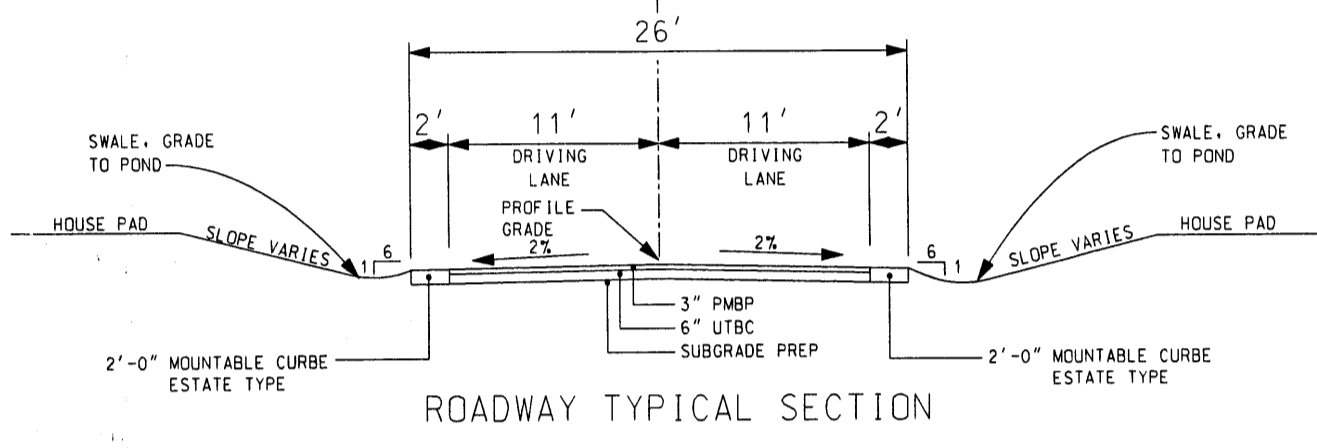


SITE



- ### LEGEND
- EXISTING CONTOURS 0.25'
 - EXISTING CONTOURS 1'
 - FINISHED GRADE COUNTOUR
 - PROPERTY LINE
 - PROPOSED GARDEN WALL
 - EXISTING CMU WALL
 - PROPERTY CORNER (PLATED)
 - FOUND REBAR
 - BUILDING PAD WITH MAX AREA & ELEVATIONS SHOWN
 - CONCRETE DRIVE

RETENTION POND AREAS
 RETENTION POND
 TOP EL. XXX.X AREA XXXXX sq ft
 BTM EL. XXX.X AREA XXXX sq ft
 VOL. XXXX cu ft

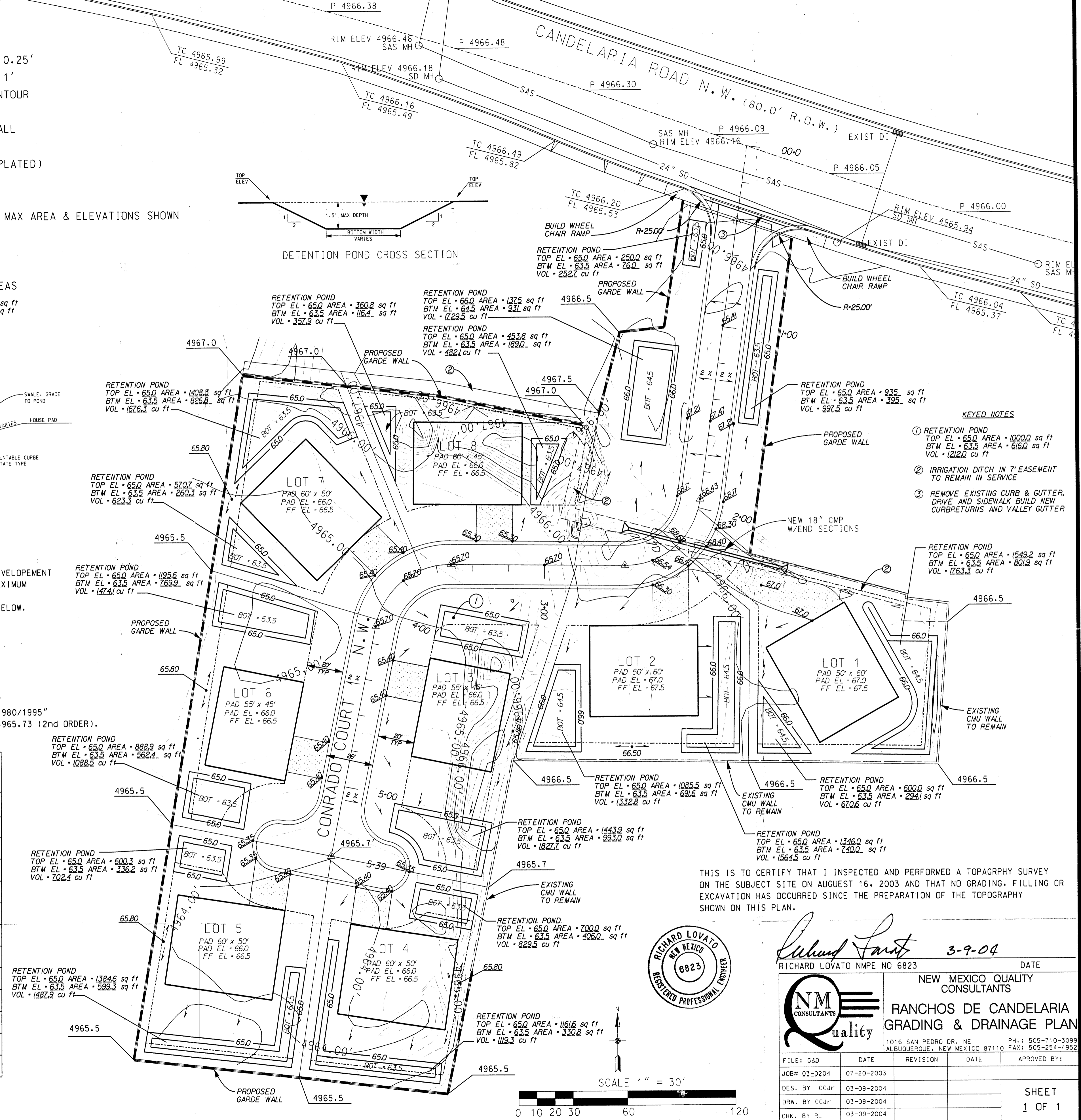


DRAINAGE NOTES

1. RUNOFF GENERATED ON SITE WILL BE RETAINED ON SITE IN INDIVIDUAL LOT RETENTION PONDS.
2. PONDING VOLUMES WERE CALCULATED USING COA DPM CHAPTER 22 METHODS FOR ZONE 2.
3. THE FLAT GRADING SCHEME AS DEFINED IN THE DPM IS BEING USED FOR THIS DEVELOPMENT
4. SEE ATTACHED CALCULATIONS FOR MAXIMUM ALLOWABLE IMPERVIOUS AREAS AND MAXIMUM ALLOWABLE HOUSE PAD AREAS.
5. INDIVIDUAL LOTS TO BE GRADED TO PROVIDE PONDING VOLUMS SHOWN IN TABLE BELOW.
6. REQUIRED PONDING VOLUMS ARE 100 YR 10 DAY STORM VOLUMS.
7. HOUSE PADS SHOWN ARE ONLY APPROXIMATE. GRADES SHOWN ESTABLISH STREET GRADES, BUILDING PAD ELEVATIONS AND GRADING AROUND PADS.
8. NO CROSS LOT DRAINAGE OR PONDING WILL BE ALLOWED.
9. THERE IS NO OFF-SITE DRAINAGE AFFECTING THIS SITE.
10. THIS SITE IS IN ZONE X ACCORDING TO FEMA MAP.
11. TOPO SURVEY WAS PERFORMED BY NMOG ON AUGUST 16, 2003.
12. ELEVATIONS AND CONTOURS SHOWN ARE BASED ON CONTROL STATION 6-G13A RESET THE STATION MARK IS A STANDARD ACS ALUMINUM CAP STAMPED, "6-G13A RESET 1980/1995" SET FLUSH WITH THE TOP OF CURB SPIRIT LEVEL ELEVATION (SLD 1929) FEET 4965.73 (2nd ORDER).

DESCRIPTION	LAND USE				TOTAL	RUNOFF VOLUME 6HR-100YR	RUNOFF VOLUME 24HR-100YR	* PONDING VOLUME 10DAY-100YR	MAX IMPERVIOUS AREA @ 45%	MAX BUILDING AREA	REMARKS
	A	B	C	D							
EXCESS PERCIPITATION (INCHES) ZONE 2	0.80	1.08	1.46	2.64							
LOT											
1			0.1586 AC	0.1161 AC	0.2747 AC	1,544 ff ³	1,713 ff ³	2,218 ff ³	5,384.76ff ²	3,000 ff ²	
2			0.1672 AC	0.1076 AC	0.2747 AC	1,514 ff ³	1,670 ff ³	2,139 ff ³	5,385.09ff ²	3,000 ff ²	
3			0.1998 AC	0.1624 AC	0.3622 AC	2,063 ff ³	2,299 ff ³	3,006 ff ³	7,100.02ff ²	2,475 ff ²	
4			0.1339 AC	0.1010 AC	0.2350 AC	1,326 ff ³	1,473 ff ³	1,913 ff ³	4,605.75ff ²	3,000 ff ²	
5			0.1641 AC	0.1013 AC	0.2654 AC	1,543 ff ³	1,600 ff ³	2,041 ff ³	5,202.77ff ²	3,000 ff ²	
6			0.1625 AC	0.1275 AC	0.2900 AC	1,641 ff ³	1,826 ff ³	2,381 ff ³	5,683.95ff ²	2,475 ff ²	
7			0.1490 AC	0.1010 AC	0.2500 AC	1,388 ff ³	1,535 ff ³	1,975 ff ³	4,898.78ff ²	3,000 ff ²	
8			0.1419 AC	0.1081 AC	0.2500 AC	1,395 ff ³	1,545 ff ³	1,993 ff ³	4,900.50ff ²	2,700 ff ²	
TRACT A			0.1531 AC	0.0735 AC	0.2266 AC	1,194 ff ³	1,300 ff ³	1,621 ff ³	4,442.70ff ²	0 ff ²	
TRACT B			0.0685 AC	0.0520 AC	0.1205 AC	681 ff ³	757 ff ³	983 ff ³	2,363.07ff ²	0 ff ²	
TOTAL AREAS			1.4986 AC	1.0505 AC	2.5491 AC						

NOTE:
 LAND USE C COMPACTED SOIL AREA
 LAND USE D BUILDING AREA/PAVEMENT
 * REQUIRED PONDING VOLUME



- ### KEYED NOTES
- ① RETENTION POND TOP EL. 65.0 AREA 1000.0 sq ft BTM EL. 63.5 AREA 616.0 sq ft VOL. 1212.0 cu ft
 - ② IRRIGATION DITCH IN 7' EASEMENT TO REMAIN IN SERVICE
 - ③ REMOVE EXISTING CURB & GUTTER, DRIVE AND SIDEWALK BUILD NEW CURBRETURNS AND VALLEY GUTTER

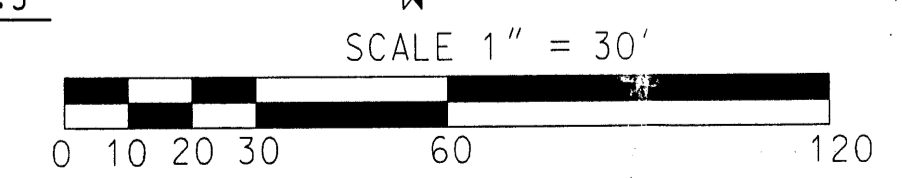
THIS IS TO CERTIFY THAT I INSPECTED AND PERFORMED A TOPOGRAPHY SURVEY ON THE SUBJECT SITE ON AUGUST 16, 2003 AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.





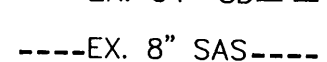
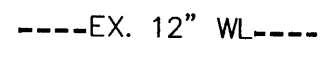
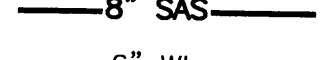
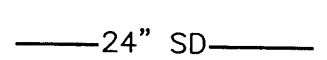
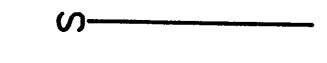


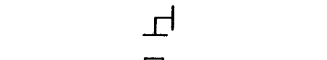










Richard Lovato 3-9-04
 RICHARD LOVATO NMPE NO 6823 DATE

NEW MEXICO QUALITY CONSULTANTS
RANCHOS DE CANDELARIA GRADING & DRAINAGE PLAN
 1016 SAN PEDRO DR. NE ALBUQUERQUE, NEW MEXICO 87110 PH: 505-710-3099 FAX: 505-294-4952

FILE:	DATE:	REVISION:	DATE:	APPROVED BY:
GAD	07-20-2003			
DES. BY:	03-09-2004			
DRW. BY:	03-09-2004			
CHK. BY:	03-09-2004			

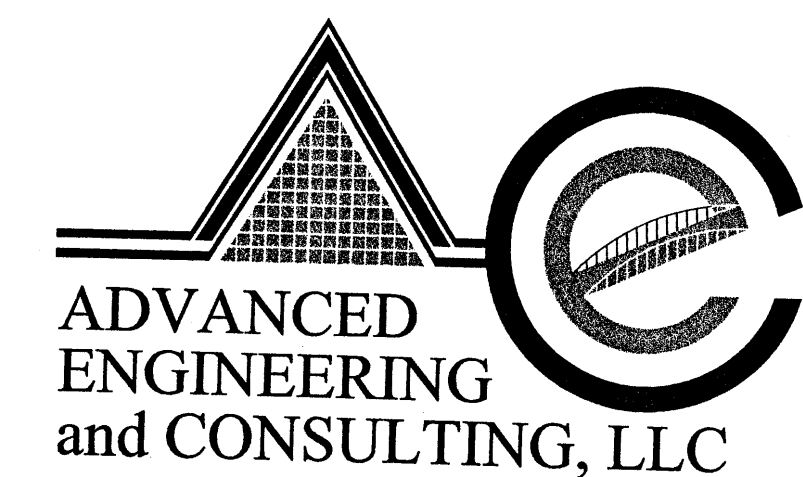
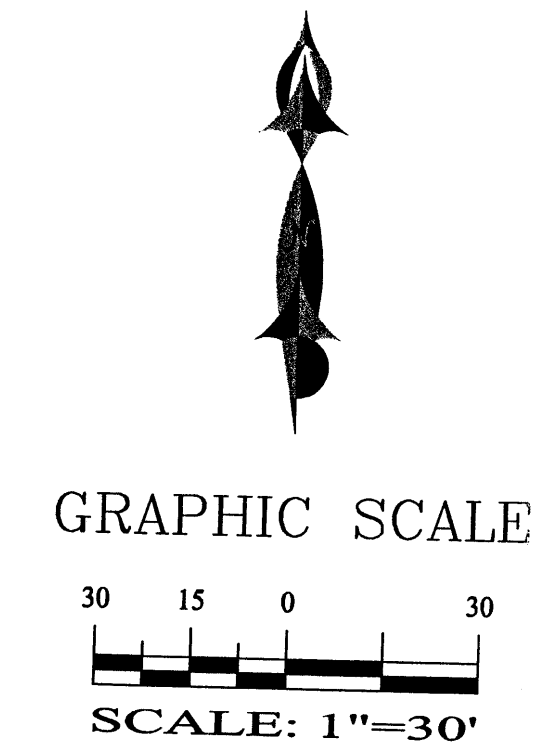
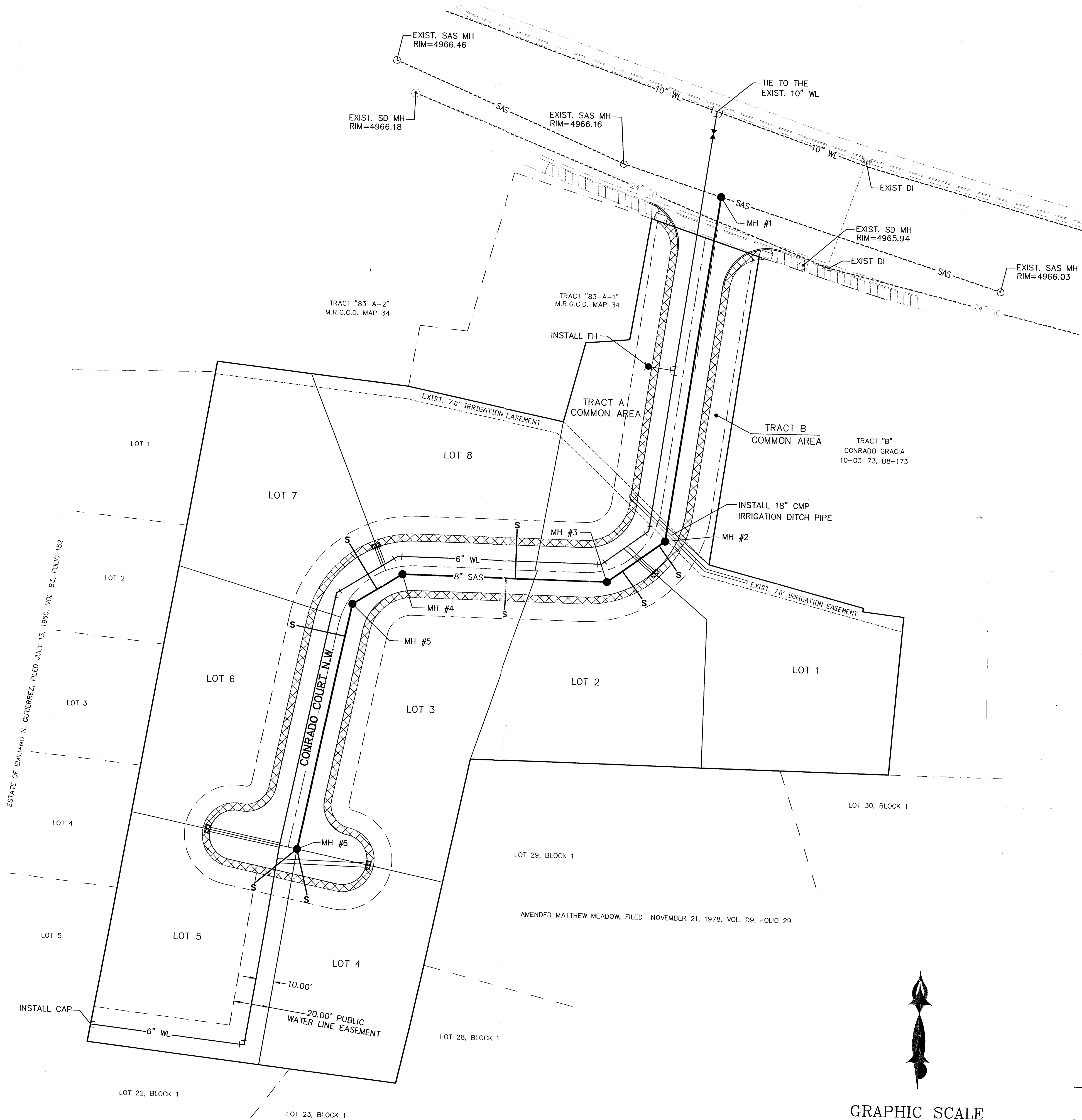


LEGEND

-  EXISTING SAS MANHOLE
-  EXISTING SD MANHOLE
-  EX- 54" SD
-  EX- 8" SAS
-  EX- 12" WL
-  8" SAS
-  6" WL
-  24" SD
-  S
-  W
-  NEW SAS MANHOLE
-  STORM SEWER MANHOLE
-  BENT
-  SINGLE SERVICE METER
-  DOUBLE SERVICE METER
-  NEW GATE VALVE
-  NEW FIRE HYDRANT
-  TEE
-  CAP (WL)
-  NEW CATCH BASIN

NOTE:

NO PARKING SIGNS SHALL BE INSTALLED ON ONE SIDE OF STREET AND HAMMERHEAD.



SHAHAB BIAZAR
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RANCHO DE CANDELARIA MASTER UTILITY PLAN			
DRAWING: 200315-MU.DWG	DRAWN BY: SBB	DATE: 05-28-2004	SHEET # 4 OF 4