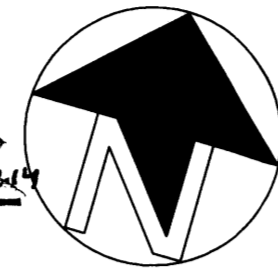


PROJECT #: 1002798
 DATE: 4-30-14
 APP#: 14-70116(SBP)

Minimum 10' Between Buildings

Legal Description	
Lot 6	
Block	
Subdivision Rancho De Candelaria	
County Bernalillo	

AFD PLANS CHECKING OFFICE
 924-3611
APPROVED/DISAPPROVED
 APPROVED 4/22/14
 SIGNATURE & DATE



Hydrant within
 the 950' Required
 by
 4/22/14



Project Number: _____
 Application Number _____

This plan is consistent with the specific Site Development Plan Approved by the Environmental Planning Commission (EPC), Date _____ and the Findings and conditions in the Official Notification of Decision are satisfied.

Is An Infrastructure List required? () Yes () No if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

_____	_____
Traffic Engineering, Transportation Division	Date
_____	_____
ABCWUA	Date
_____	_____
Parks and Recreation Department	Date
_____	_____
City Engineer	Date
_____	_____
*Environmental Health Department (conditional)	Date
_____	_____
<i>Ramon A. J.</i>	04-22-14
Solid Waste Management	Date
_____	_____
DRB Chairperson, Planning Department	Date

3605 Conrado Ct. NW
 No Curb Cut Required Rolled Curb

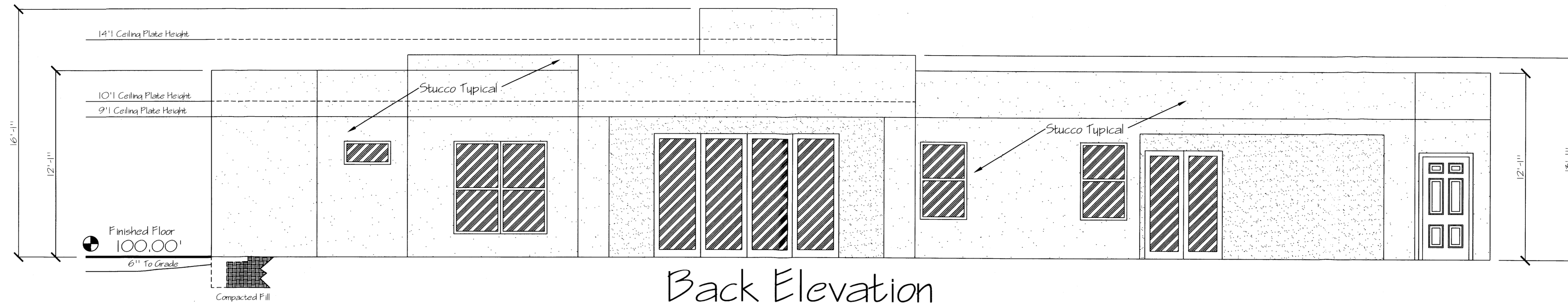
Site Plan

Scale 1/8" = 1'

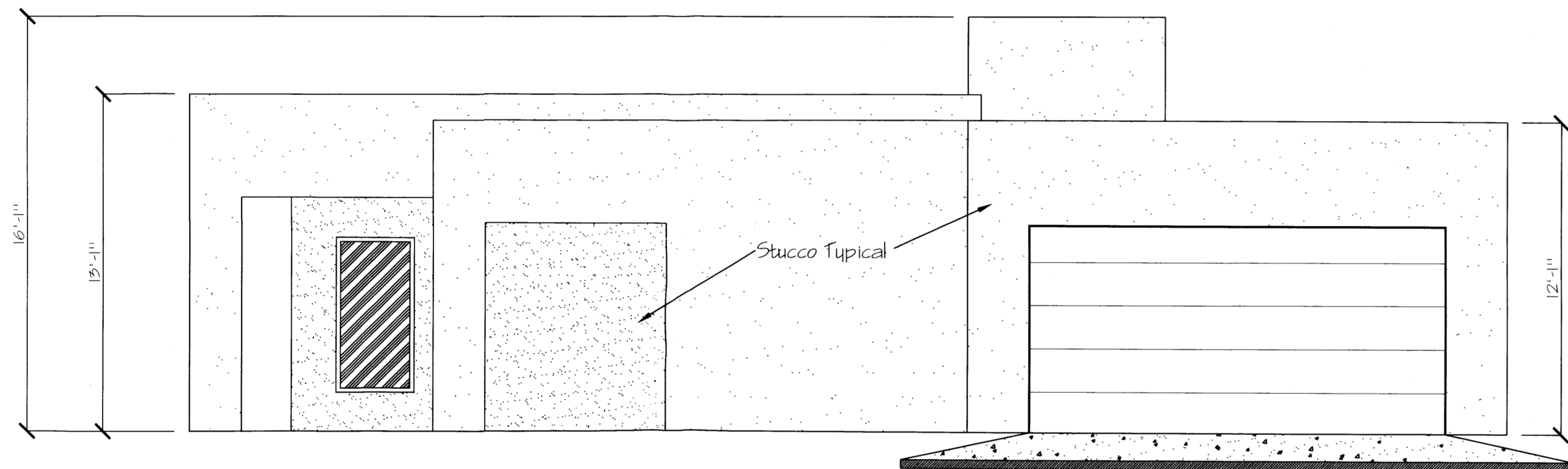
Final Drawing Checked By:	Sheet
1. R. Montoya	1
2. B. Corralva	
3.	Of 10 Sheets

Ron Montoya Custom Designs
 Residential Design and Drafting Services Fax 823-6487
 8724 Alameda Park Drive N.E., Suite G Albuquerque
 (505) 823-6474 Cell: (505) 823-6777

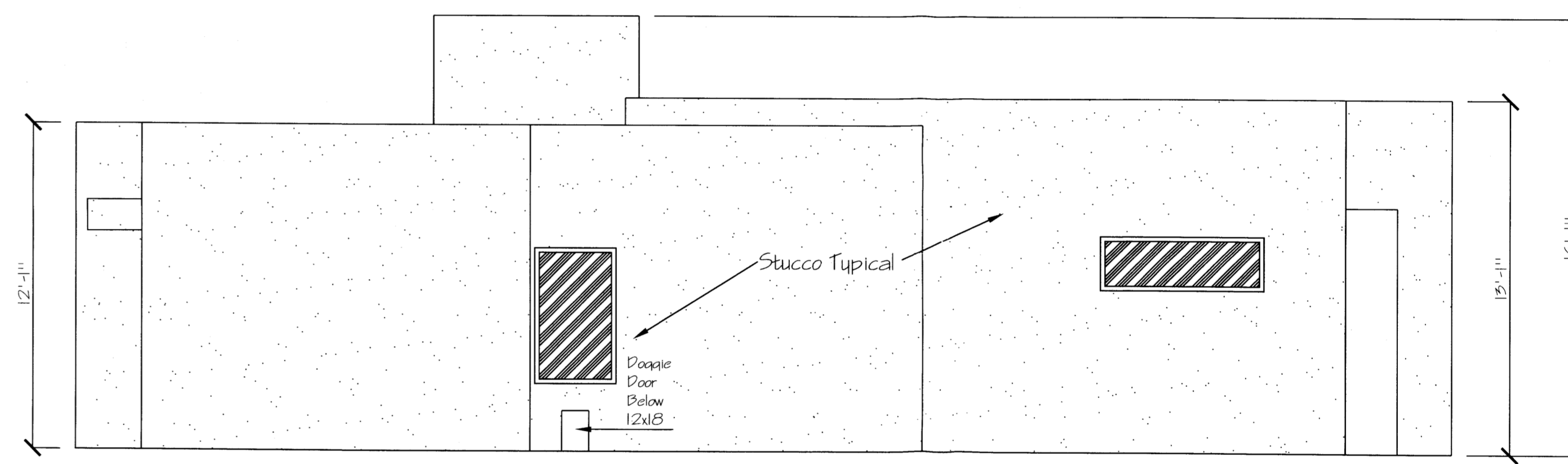
Rancho De Candelaria Lot 6 April 22, 2014
 Albuquerque New Mexico Site Plan



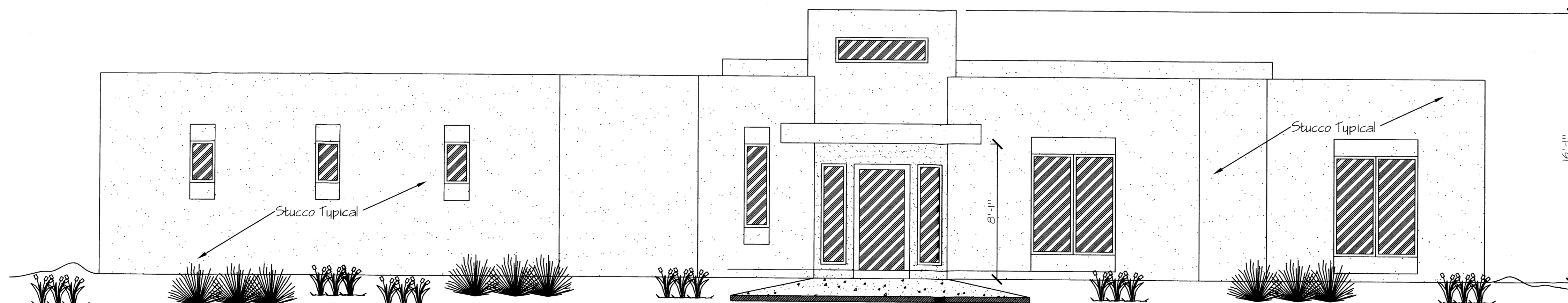
Back Elevation



Left Elevation



Right Elevation



Front Elevation

Elevations

Scale 1/4" = 1'

Ron Montoya Custom Designs
Residential Design and Drafting Services Fax 823-6487
8724 Alameda Park Drive NE, Suite G Albuquerque
(505) 823-6474 Cell: (505) 823-6777

Jan 31, 2014
Elevations

Las Ventanas Lot 6
Albuquerque New Mexico

Final Drawing Checked By:	Sheet
1. R. Montoya	6
2. B. Grisham	
3.	Of 10 Sheets

DESIGN GUIDELINES:

1. PROPOSED ZONING IS 'SU-1' FOR PRD.
2. PERMISSIVE USES:
USES PERMISSIVE IN THE R-1 ZONE.
3. LOT SIZE:
TOTAL NUMBER OF PROPOSED LOTS = 8 LOTS.
NUMBER OF PROPOSED TRACTS = 2 TRACTS. (THESE ARE COMMON AREA ONLY).
MINIMUM LOT AREA FOR CONSTRUCTION SHALL BE 10,000.00 SF.
4. SETBACKS:
A. THERE SHALL BE A FRONT YARD SETBACK OF NOT LESS THAN 20.00 FEET, OTHERWISE NOTED.
B. THERE SHALL BE A REAR YARD SETBACK OF NOT LESS THAN 10.00 FEET, OTHERWISE NOTED.
C. THERE SHALL BE A SIDE YARD SETBACK OF NOT LESS THAN 5.00 FEET, OTHERWISE NOTED.
5. OFF-STREET PARKING IS PROVIDED ON EACH SITE FOR A MINIMUM OF 2 CARS, IN ADDITION TO 2 PARKING SPACES WITHIN EACH GARAGE FOR A TOTAL OF 4 MINIMUM SPACES PER LOT.
6. WATER AND SEWER:
PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT, VIA AN AVAILABILITY STATEMENT.
7. ACCESS:
THE ONLY ACCESS ALLOWED TO THE PROJECT SHALL BE FROM THE ENTRANCE SHOWN ON THE CANDELARIA ROAD NW.
8. CURBS AND GUTTERS:
MOUNTABLE CURB AND GUTTER SHALL BE USED THROUGHOUT EXCEPT FOR THOSE AREAS WHERE STANDARD CURB AND GUTTER IS NECESSARY FOR DRAINAGE CONVEYANCE.
9. BUILDINGS:
BUILDING HEIGHT:
BUILDING STRUCTURE SHALL NOT EXCEED 26 FEET IN HEIGHT.
BUILDING TYPES:
BUILDINGS SHALL BE TRADITIONAL OR SOUTHWEST STYLE WITH EITHER FLAT OR PITCH ROOF. PITCHED ROOFS SHALL BE EITHER TILED OR METAL. BUILDINGS SHALL BE EITHER STUCCO, BRICK, OR ANY COMBINATION.
BUILDING COLORS:
BUILDING COLORS SHALL BE TAN TO LIGHT BROWN, ACCENTS AND EARTHTONE. THE USE OF DARK COLORS FOR THE ROOF IS PROHIBITED.
OPEN SPACE:
A MINIMUM OF 1200 SF. OF OPEN SPACE FOR EACH DWELLING SHALL BE FURNISHED EITHER ONSITE OR IN ACCORDANCE WITH SECTION 14-13-3-BA OF THE ZONING CODE IF THERE IS AN ON-LOT DEFICIT.
10. THIS SITE SHALL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
11. THE LANDSCAPING PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
12. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
13. ALL FIXTURES SHALL BE OF A FULL CUT OFF TYPE, TO PREVENT FUGITIVE LIGHT, MOUNTED NO MORE THAN 16" HIGH.
14. PROPOSED TRACTS A & B ARE COMMON AREA FOR USE OF ALL THE LOTS AND NO HOUSES SHALL BE CONSTRUCTED ON THESE TWO TRACTS. THE MAINTENANCE OF THESE TRACTS ARE THE RESPONSIBILITY OF ALL THE LOT OWNERS OR HOMEOWNERS ASSOCIATION.
15. EACH LOT SHALL SUBMIT A SITE PLAN FOR BUILDING PERMIT TO CITY OF ALBUQUERQUE (DRB) DESIGN REVIEW BOARD FOR BUILDING PERMIT APPROVAL.
16. THE MAINTENANCE OF PRIVATE ACCESS EASEMENT IS THE RESPONSIBILITY OF ALL THE OWNERS OR HOMEOWNERS ASSOCIATION.
17. THE MAINTENANCE OF THE IRRIGATION DITCH IS THE RESPONSIBILITY OF ALL THE OWNERS OR HOMEOWNERS ASSOCIATION.

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	NEW CURB & GUTTER
	NEW SIDEWALK
	NEW BLOCK WALL
	SETBACK LINE
	EXIST. CURB & GUTTER
	EXISTING LOT LINE
	FIXTURE SITTING WITH PLANTER FOR DECIDUOUS TREE

LOT DATA TABLE

LOT NO.	GROSS AREA	BUILDABLE LOT AREA
1	11,966.13 SF	6,883.12 SF
2	11,966.85 SF	7,771.20 SF
3	15,777.83 SF	6,933.87 SF
4	9,619.55 SF	6,016.85 SF
5	12,176.16 SF	7,968.19 SF
6	12,631.00 SF	6,387.32 SF
7	10,890.00 SF	7,158.52 SF
8	10,890.00 SF	6,256.49 SF
TOTAL	95,917.52 SF	55,375.56 SF

TRACT NO.	GROSS AREA	LANDSCAPING AREA
A	9,872.66 SF	5,757.38 SF
B	5,251.27 SF	2,277.05 SF
TOTAL	15,123.93 SF	8,034.43 SF

NOTES:

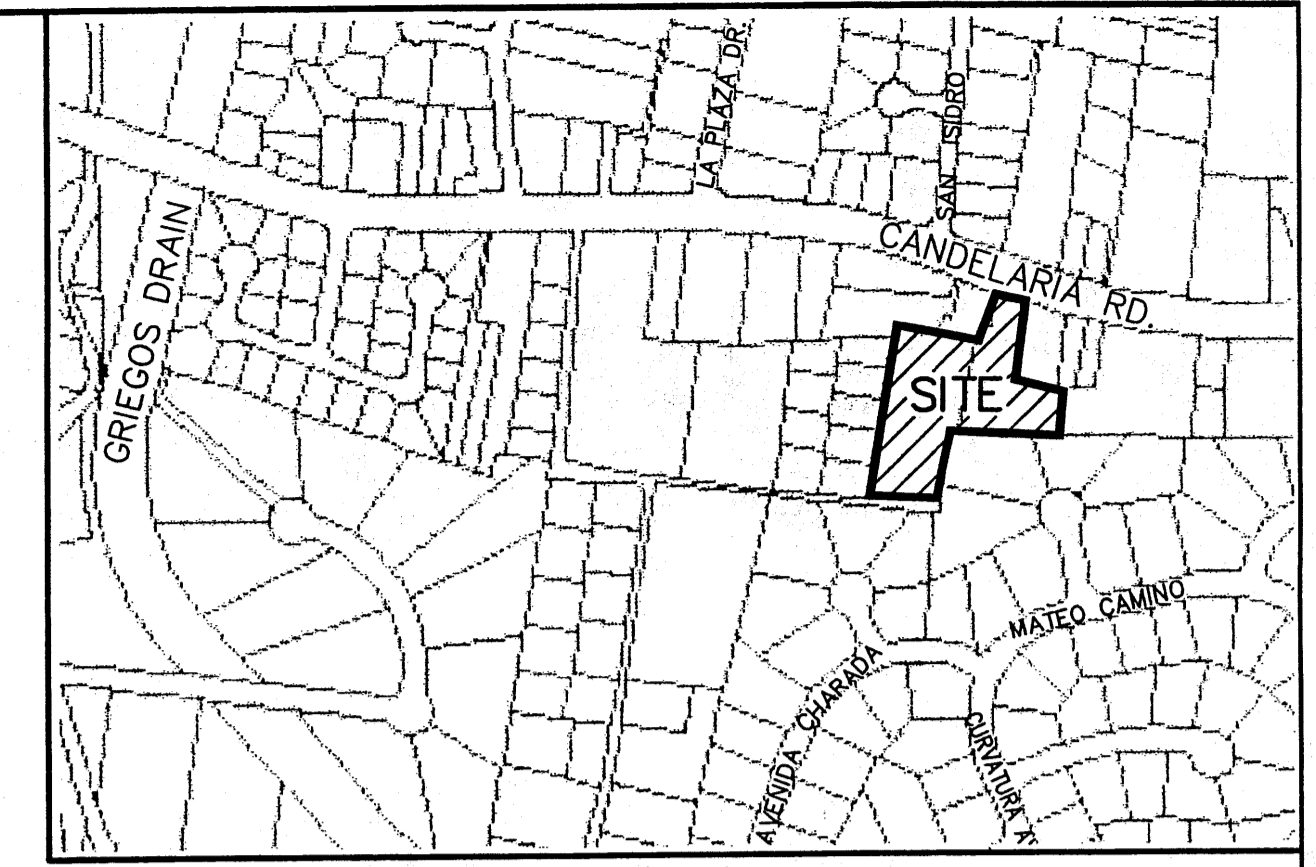
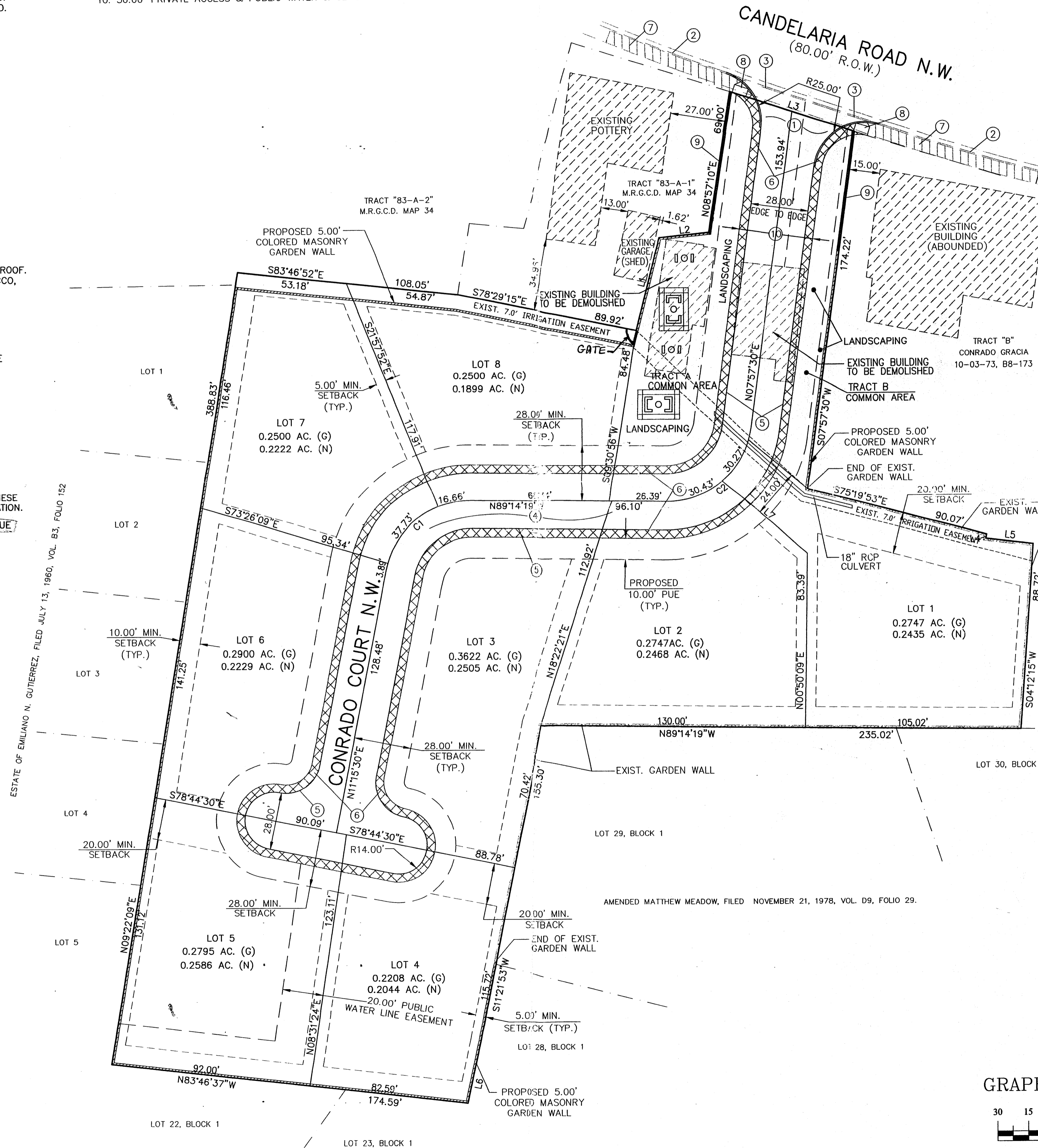
1. NEW DRIVE WAY ENTRANCE PER COA STANDARD DRAWING #2426.
2. EXISTING CURB AND GUTTER.
3. REMOVE EXISTING CURB.
4. NEW ASPHALT PAVING AREA.
5. NEW MOUNTABLE CURB ESTATE TYPE PER COA STANDARD DRAWING #2415.
6. NEW 4' SIDEWALK PER COA STANDARD DRAWING #2430.
7. EXISTING 6.00' SIDEWALK.
8. NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
9. PROPOSED 5.00' ADOBE WALL WITH STUCCO.
10. 36.00' PRIVATE ACCESS & PUBLIC WATER & SEWER LINE EASEMENT.

LINE TABLE

LINE	LENGTH	BEARING
L1	15.44	N90°00'00"E
L1	45.95	N14°41'28"E
L2	15.44	S90°00'00"E
L2	24.65	N84°27'00"E
L3	63.91	S71°40'55"E
L4	1.97	S11°13'21"W
L5	23.26	S83°10'30"E
L6	30.85	S12°08'30"W
L7	54.32	N49°25'01"W

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	58.28	42.00	79°30'11"	34.93	53.71	N51°00'36"E
C2	60.70	42.00	82°48'11"	37.03	55.55	N49°21'36"E



VICINITY MAP: G-13-Z

LEGAL DESCRIPTION:
TRACT A, RIMA ADDITION AND TRACT A-1, LANDS OF CANRADO GARCIA, CONTAINING 2.5492 ACRES MORE OR LESS.

- SHEET INDEX**
1. SITE PLAN
 2. LANDSCAPING PLAN
 3. GRADING AND DRAINAGE PLAN
 4. MASTER UTILITY PLAN

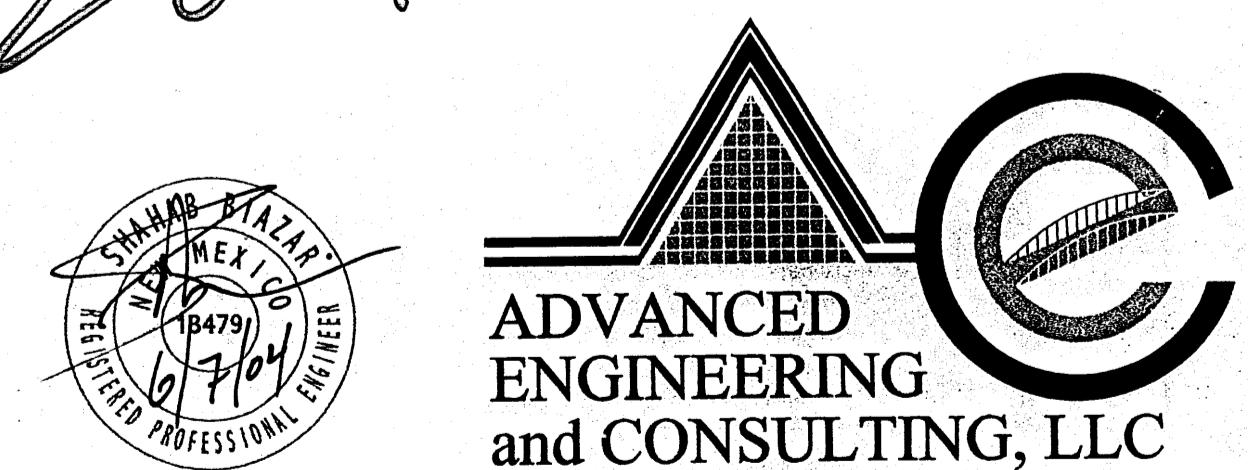
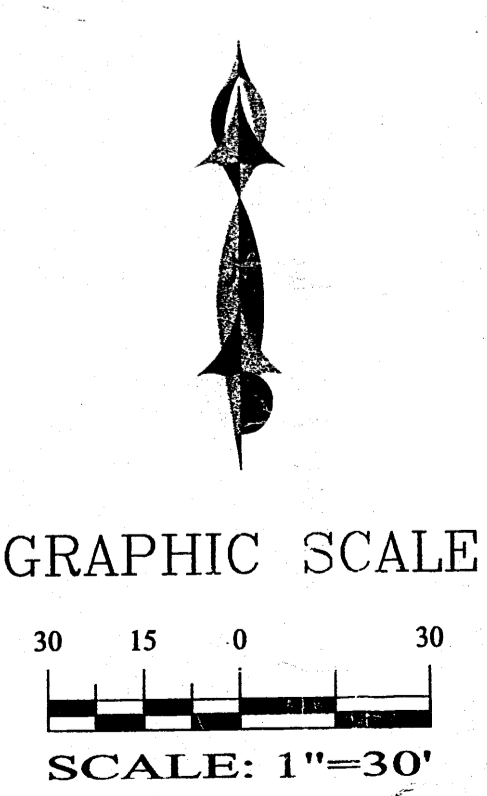
PROJECT NUMBER: 1002198
APPLICATION NUMBER: 04-01009

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 7-14-04, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. IS AN INFRASTRUCTURE LIST REQUIRED? (YES () NO (X)) IF YES, THEN A SET OF APPROVED DFC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	7-14-04
<i>Roger A. Sheen</i>	DATE
UTILITIES DEVELOPMENT	7-14-04
<i>David Flores</i>	DATE
PARKS AND RECREATION DEPARTMENT	7-14-04
<i>Brady L. Blyden</i>	DATE
CITY ENGINEER	7-14-04
<i>Michael Helton</i>	6-4-04
SOLID WASTE MANAGEMENT	DATE
<i>Sherran Matson</i>	7-14-04
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

2011/06



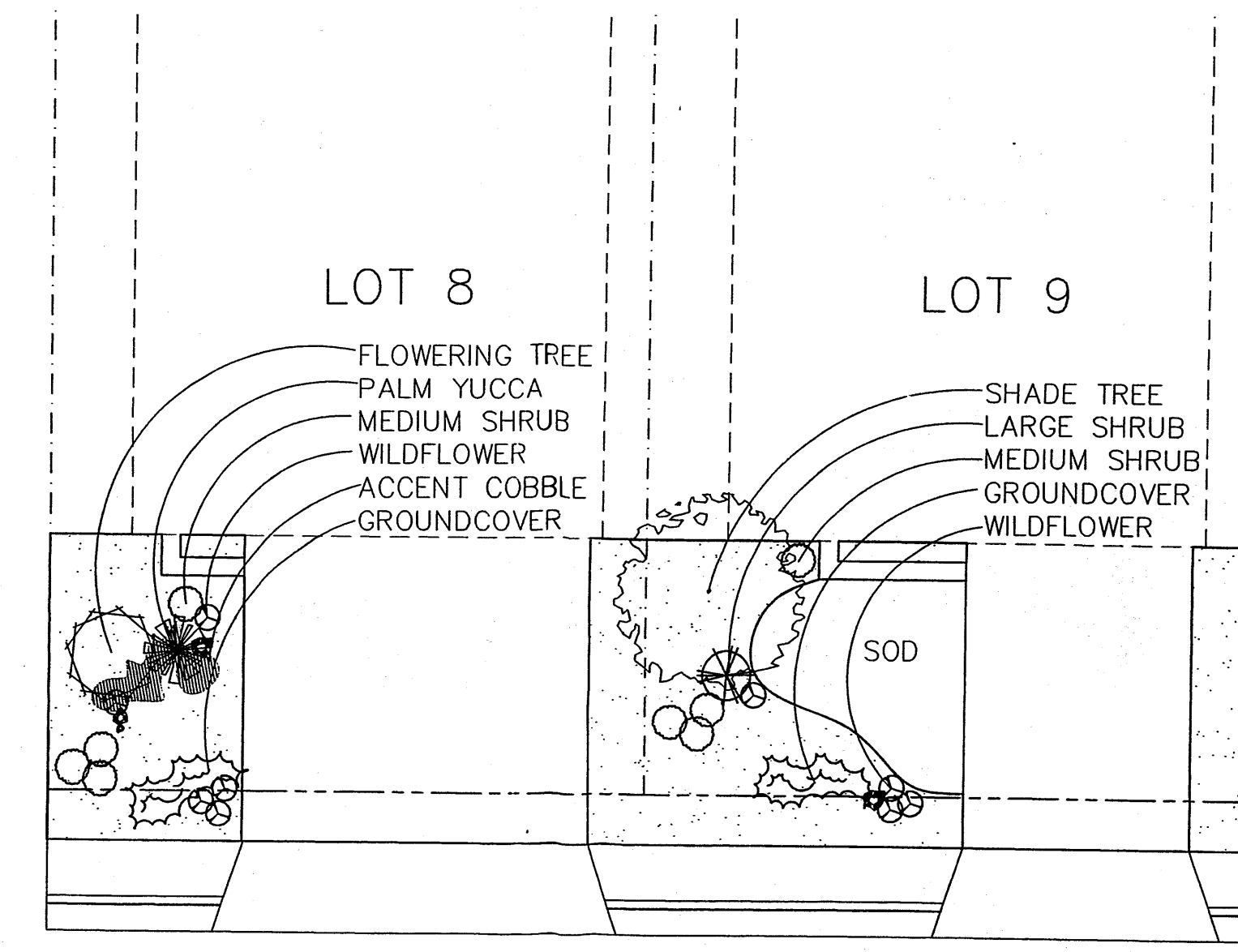
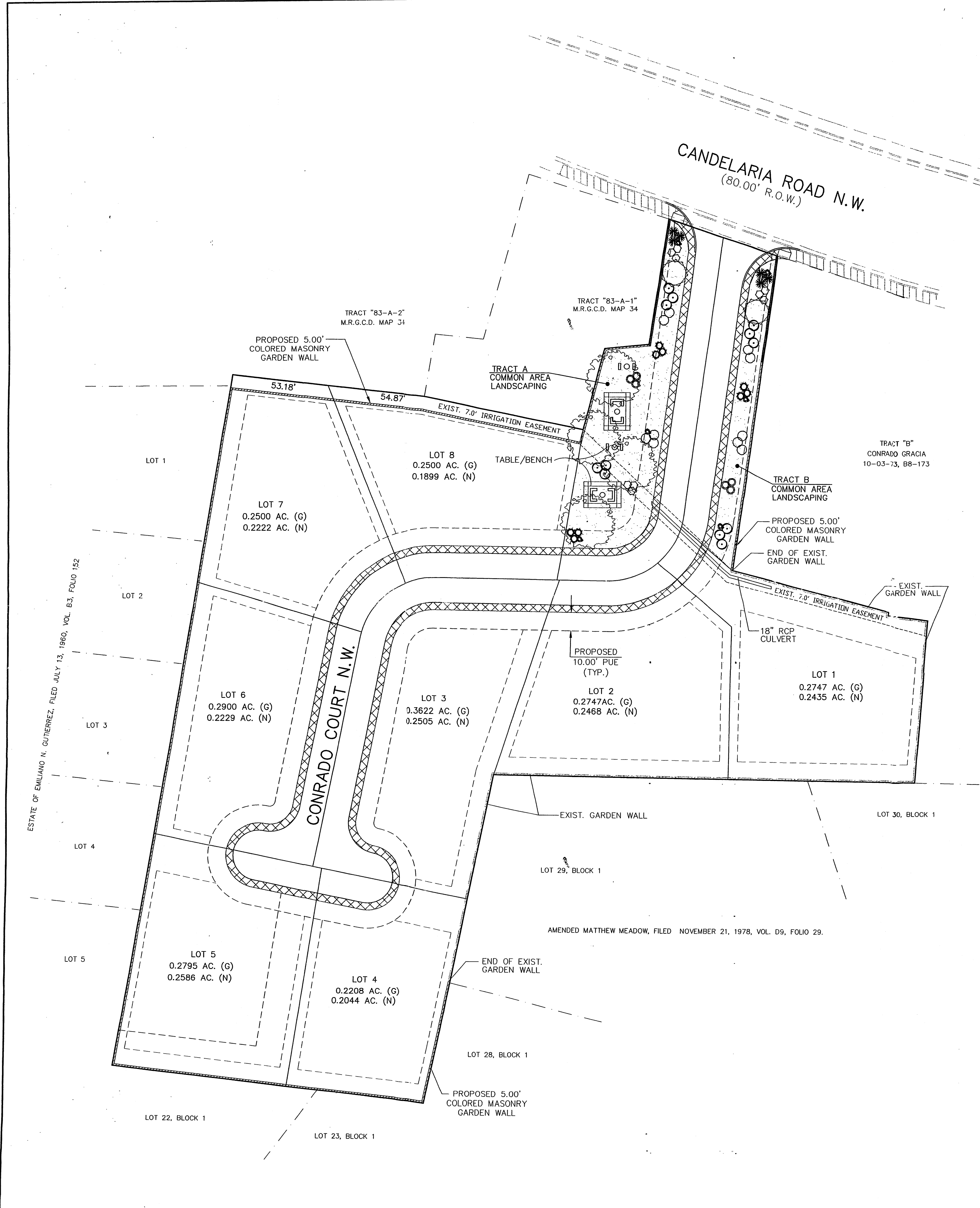
SHAHAB BIAZAR
P.E. #13479

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

RANCHO DE CANDELARIA SITE PLAN FOR SUBDIVISION

DRAWING:	DRAWN BY:	DATE:	SHEET #
200315-ST.DWG	SHH	05-24-04	1 OF 4

LAST REVISION: 11-02-03



TYPICAL LOT LAYOUT

PLANT LEGEND

- ASH (H) OR HONEY LOCUST (H)
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Gal.
- DESERT WILLOW (L)
Chilopsis linearis
15 Gal.
- RED YUCCA (L)
Hesperaloe parviflora
5 Gal.
- RUSSIAN SAGE (M)
Perovskia atriplicifolia
5 Gal.
- APACHE PLUME (L)
Fallugia paradoxa
5 Gal. 25sf
- LANIAS/ SCOTCH BROOM (M)
Cytisus scoparius/
Genista hispanica
5 Gal.
- ROSEMARY (M)
Rosmarinus officinalis
2 Gal. 36sf
- AUTUMN SAGE (M)
Salvia greggii
2 Gal. 9sf
- BOULDERS 6
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

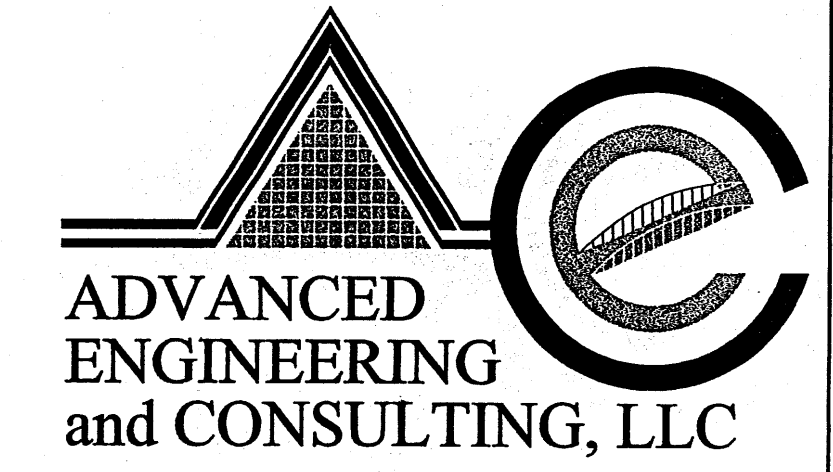
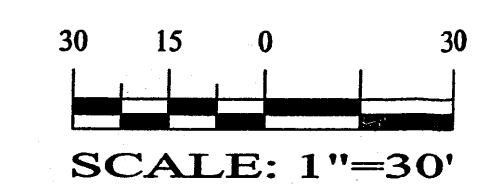
Irrigation maintenance shall be the responsibility of the Property Owner.

The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cmd@hilltoplandscaping.com
 All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



GRAPHIC SCALE



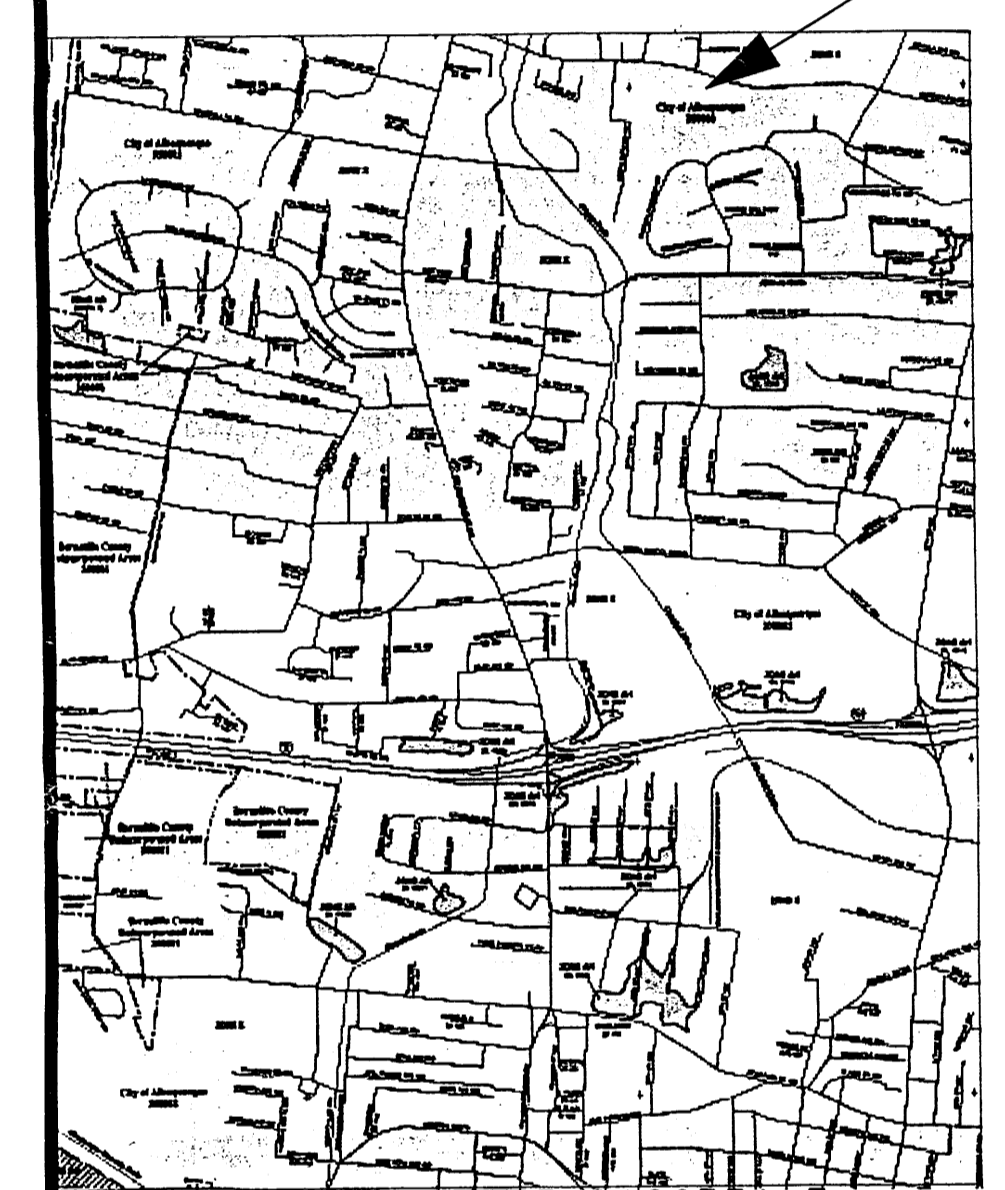
ADVANCED ENGINEERING and CONSULTING, LLC
 4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505) 899-5570

RANCHO DE CANDELARIA LANDSCAPING PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200315-LS.DWG	SHH	05-24-04	2 OF 4

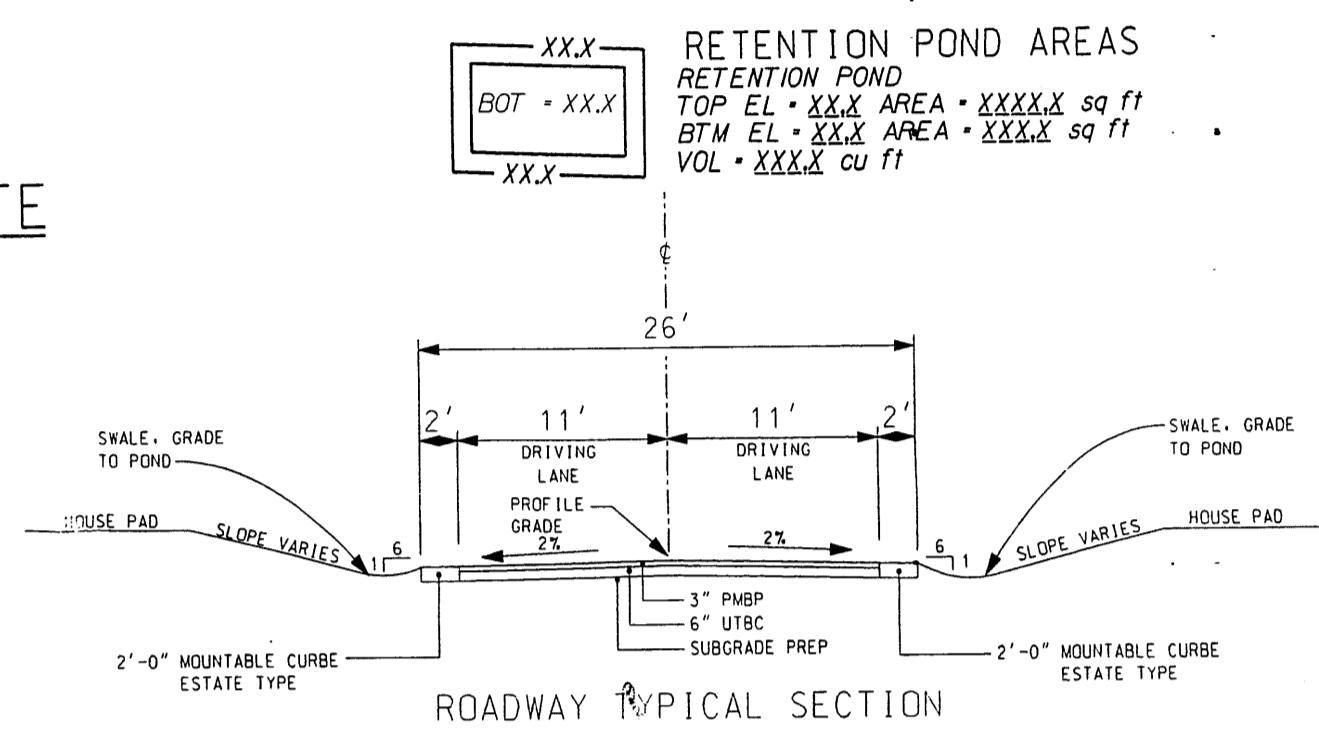
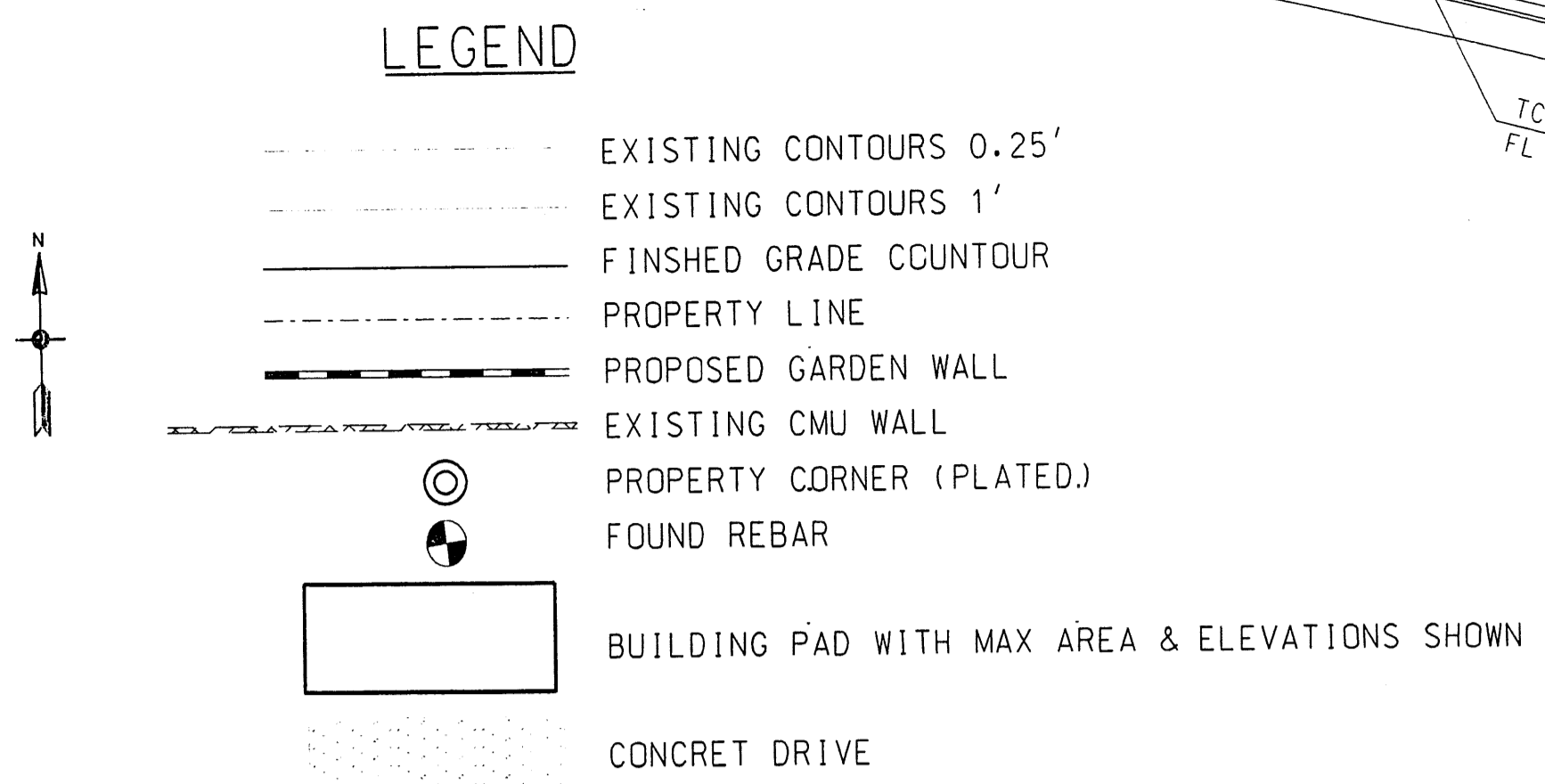
LAST REVISION: 05-25-04



VICINITY MAP
ZONE ATLAS PAGE
G-13-Z
NTS



FLOOD MAP 35001C0331 E
NOVEMBER 19, 2003
NTS

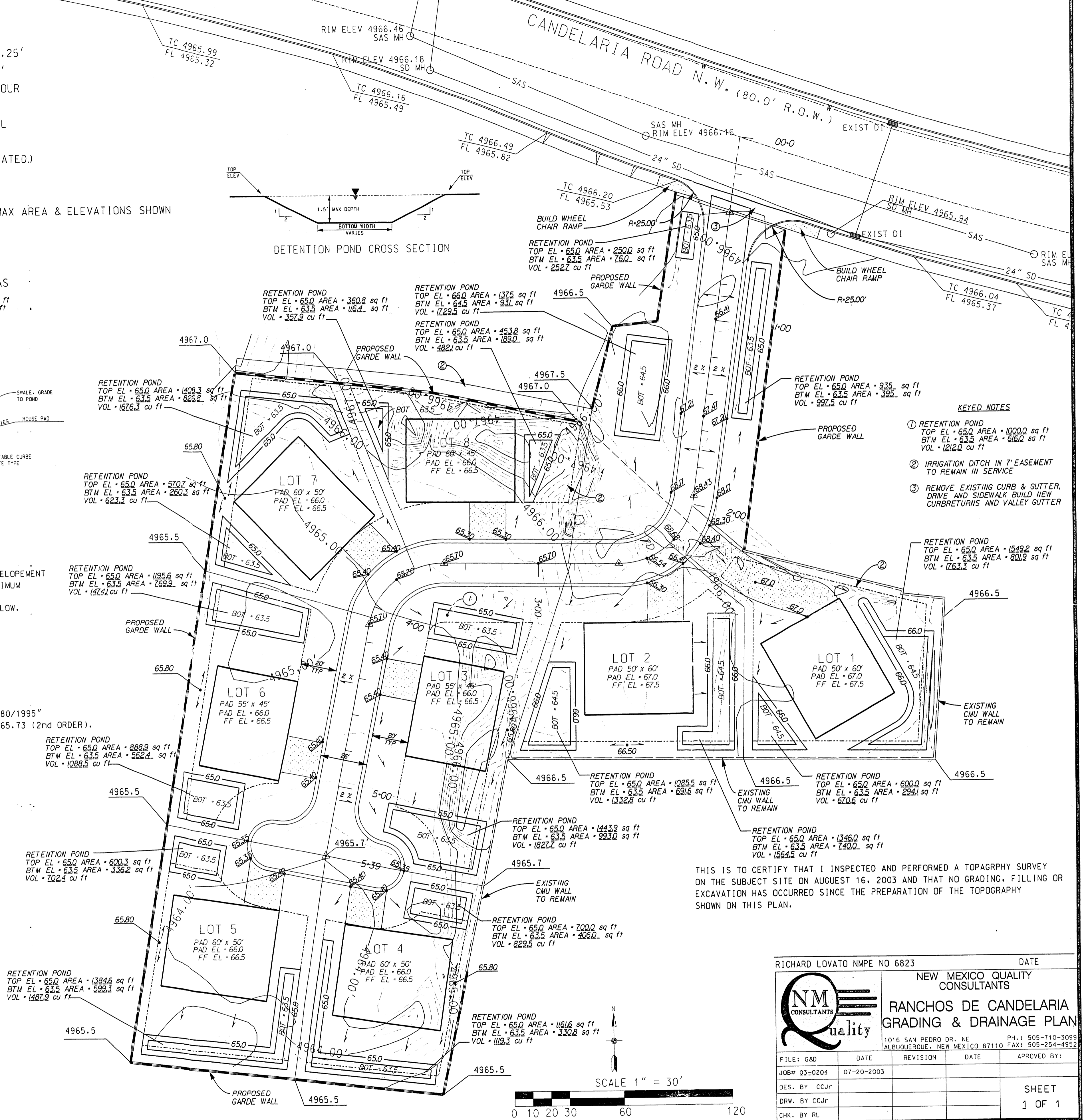


DRAINAGE NOTES

1. RUNOFF GENERATED ON SITE WILL BE RETAINED ON SITE IN INDIVIDUAL LOT RETENTION PONDS.
2. PONDING VOLUMES WERE CALCULATED USING COA DPM CHAPTER 22 METHODS FOR ZONE 2.
3. THE FLAT GRADING SCHEME AS DEFINED IN THE DPM IS BEING USED FOR THIS DEVELOPMENT
4. SEE ATTACHED CALCULATIONS FOR MAXIMUM ALLOWABLE IMPERVIOUS AREAS AND MAXIMUM ALLOWABLE HOUSE PAD AREAS.
5. INDIVIDUAL LOTS TO BE GRADED TO PROVIDE PONDING VOLUMS SHOWN IN TABLE BELOW.
6. REQUIRED PONDING VOLUMS ARE 100 YR 10 DAY STORM VOLUMES.
7. HOUSE PADS SHOWN ARE ONLY APPROXIMATE. GRADES SHOWN ESTABLISH STREET GRADES, BUILDING PAD ELEVATIONS AND GRADING AROUND PADS.
8. NO CROSS LOT DRAINAGE OR PONDING WILL BE ALLOWED.
9. THERE IS NO OFF-SITE DRAINAGE AFFECTING THIS SITE.
10. THIS SITE IS IN ZONE X ACCORDING TO FEMA MAP.
11. TOPD SURVEY WAS PERFORMED BY NMOC ON AUGUST 16, 2003.
12. ELEVATIONS AND CONTOURS SHOWN ARE BASED ON CONTROL STATION 6-G13A RESET THE STATION MARK IS A STANDARD ACS ALUMINUM CAP STAMPED "6-G13A RESET 1980/1995" SET FLUSH WITH THE TOP OF CURB SPIRIT LEVEL ELEVATION (SLD 1929) FEET 4965.73 (2nd ORDER).

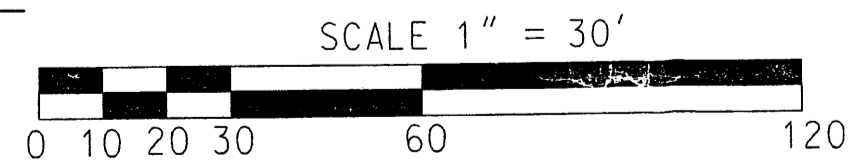
DESCRIPTION	LAND USE				TOTAL	RUNOFF VOLUME 6HR-100YR	RUNOFF VOLUME 24HR-100YR	PONDING VOLUME TODAY-100YR	MAX IMPERVIOUS AREA @ 45%	MAX BUILDING AREA	REMARKS
	A	B	C	D							
EXCESS PRECIPITATION (INCHES) ZONE 2	0.80	1.08	1.46	2.64							
LOT											
1			0.1586 AC	0.1161 AC	0.2747 AC	1,544 ff ³	1,713 ff ³	2,218 ff ³	5,384.76ff ²	3,000 ff ²	
2			0.1672 AC	0.1076 AC	0.2747 AC	1,514 ff ³	1,670 ff ³	2,139 ff ³	5,385.09ff ²	3,000 ff ²	
3			0.1998 AC	0.1624 AC	0.3622 AC	2,063 ff ³	2,299 ff ³	3,006 ff ³	7,100.02ff ²	2,475 ff ²	
4			0.1339 AC	0.1010 AC	0.2350 AC	1,326 ff ³	1,473 ff ³	1,913 ff ³	4,605.75ff ²	3,000 ff ²	
5			0.1641 AC	0.1013 AC	0.2654 AC	1,543 ff ³	1,600 ff ³	2,041 ff ³	5,202.77ff ²	3,000 ff ²	
6			0.1625 AC	0.1275 AC	0.2900 AC	1,641 ff ³	1,826 ff ³	2,381 ff ³	5,683.95ff ²	2,475 ff ²	
7			0.1490 AC	0.1010 AC	0.2500 AC	1,388 ff ³	1,535 ff ³	1,975 ff ³	4,898.78ff ²	3,000 ff ²	
8			0.1419 AC	0.1081 AC	0.2500 AC	1,395 ff ³	1,545 ff ³	1,993 ff ³	4,900.50ff ²	2,700 ff ²	
TRACT A			0.1531 AC	0.0735 AC	0.2266 AC	1,194 ff ³	1,300 ff ³	1,621 ff ³	4,442.70ff ²	0 ff ²	
TRACT B			0.0685 AC	0.0520 AC	0.1205 AC	681 ff ³	757 ff ³	983 ff ³	2,363.07ff ²	0 ff ²	
TOTAL AREAS			1.4986 AC	1.0505 AC	2.5491 AC						

NOTE:
LAND USE C COMPACTED SOIL AREA
LAND USE D BUILDING AREA/PAVEMENT
* REQUIRED PONDING VOLUME



- KEYED NOTES**
1. RETENTION POND TOP EL. 65.0 AREA = 1000.0 sq ft BTM EL. 63.5 AREA = 860.0 sq ft VOL = 120.0 cu ft
 2. IRRIGATION DITCH IN 7' EASEMENT TO REMAIN IN SERVICE
 3. REMOVE EXISTING CURB & GUTTER, DRIVE AND SIDEWALK BUILD NEW CURB RETURNS AND VALLEY GUTTER

THIS IS TO CERTIFY THAT I INSPECTED AND PERFORMED A TOPOGRAPHY SURVEY ON THE SUBJECT SITE ON AUGUST 16, 2003 AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.



RICHARD LOVATO NMPE NO 6823 DATE

NEW MEXICO QUALITY CONSULTANTS

RANCHOS DE CANDELARIA GRADING & DRAINAGE PLAN

1016 SAN PEDRO DR. NE ALBUQUERQUE, NEW MEXICO 87110 FAX: 505-254-4952 PH: 505-710-3099

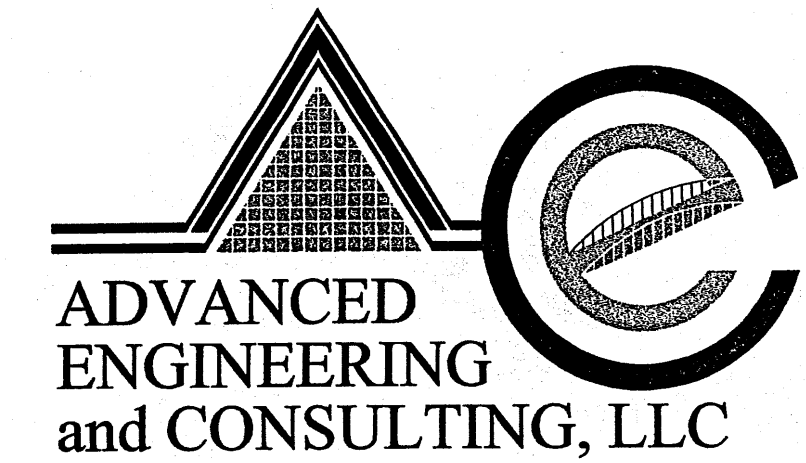
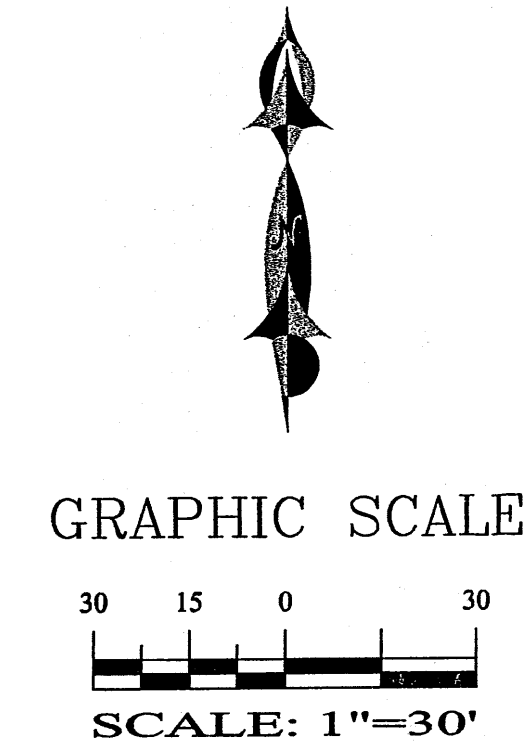
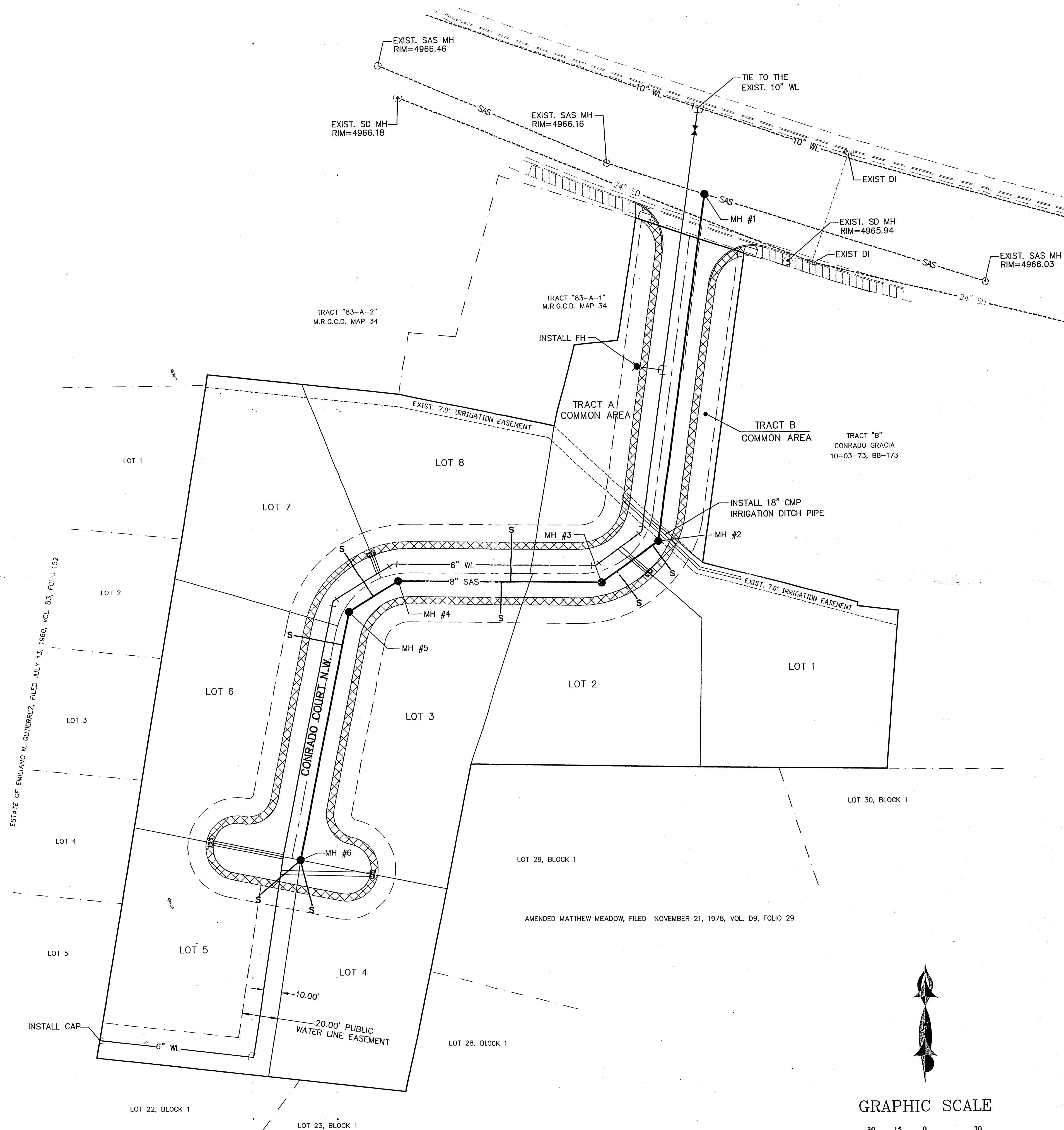
FILE: G&D	DATE	REVISION	DATE	APPROVED BY:
JOB# 03-0204	07-20-2003			
DES. BY: CCJR				SHEET
DRW. BY: CCJR				1 OF 1
CHK. BY: RL				

LEGEND

- EXISTING SAS MANHOLE
- EXISTING SD MANHOLE
- EX. 54" SD--- EXISTING STORM SEWER
- EX. 8" SAS--- EXISTING SANITARY SEWER LINE
- EX. 12" WL--- EXISTING WATER LINE
- 8" SAS— NEW SANITARY SEWER LINE
- 6" WL— NEW WATER LINE
- 24" SD— NEW STORM SEWER
- S NEW SAS SERVICE
- NEW WATER SERVICE
- NEW SAS MANHOLE
- STORM SEWER MANHOLE
- BENT
- SINGLE SERVICE METER
- DOUBLE SERVICE METER
- NEW GATE VALVE
- NEW FIRE HYDRANT
- TEE
- CAP (WL)
- NEW CATCH BASIN

NOTE:

NO PARKING SIGNS SHALL BE INSTALLED ON ONE SIDE OF STREET AND HAMMERHEAD.



SHAHAB BIAZAR
P.E. #13479

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

**RANCHO DE CANDELARIA
MASTER UTILITY PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200315-MU.DWG	SBB	05-28-2004	4 OF 4

LAST REVISION: 05-28-2004

DRAINAGE SUMMARY

EXISTING CONDITIONS:
 AS INDICATED ON THE GRADING & DRAINAGE PLAN PREPARED BY RICHARD LOVATO DATED / SEALED 3/9/2004, THE RANCHO DE CANDELARIA SUBDIVISION WAS ROUGH GRADED AND CERTIFIED RECORD DRAWINGS WERE PROVIDED ON 11/27/2005. THE SUBDIVISION WAS DESIGNED UTILIZING THE "FLAT GRADING SCHEME" AS ALLOWED IN THE PROXIMITY OF THE AREA AS REFERENCED IN SECTION 22.2 OF THE DPM. THROUGHOUT THE 5 LOT SUBDIVISION, RETENTION PONDS HAVE BEEN PLACED TO RECEIVE DEVELOPED FLOWS FROM EACH LOT AND 1/2 OF THE DEVELOPED STREET FRONTAGE. THE REQUIRED PONDING VOLUME FOR EACH LOT WAS PROVIDED IN THE TABLE FROM THE ORIGINAL GRADING AND DRAINAGE PLAN UTILIZING THE 10-DAY, 100YR EVENT. LOT 6 WAS CONSTRUCTED AND CERTIFIED WITH 2 RETENTION PONDS THAT ACCEPT 1/2 OF THE DEVELOPED FLOWS FROM 1/2 OF THE ADJACENT STREET (CONRADO COURT NW) AND FROM THE DEVELOPED FLOWS FROM LOT 6 ITSELF.
 ACCORDING TO FIRM MAP 9500100391, THE SITE IS IN FLOOD HAZARD ZONE X.

PROPOSED CONDITIONS:
 THE GRADING AND DRAINAGE PLAN SHOWS TWO BASINS (A & B) SHOWING THE PROPOSED BUILDING FOOTPRINT FOR LOT 6 AND THE PROPOSED MODIFICATIONS TO THE RETENTION PONDS AS SHOWN ON THE PLAN. 1/2 OF THE ADJACENT STREET FRONTAGE AND THE DEVELOPED FLOWS FROM BASIN A DRAIN NORTH/NORTHWEST INTO THE ADJACENT POND A, WHICH HAS A COMBINED CAPACITY WITH POND B OF 2574CF, WHICH IS GREATER THAN THE REQUIRED 10-DAY, 100YR EVENT OF 2265CF FOR BOTH BASINS. THE DEVELOPED FLOWS FROM BASIN A IS 0.38CFS. BASIN B COLLECTS 1/2 OF THE ELEVATED STREET FRONTAGE THAT ENTERS THE SITE FROM THE EAST VIA THE EXISTING MOUNTAIN ESTATE TYPE CURB AND DEVELOPED FLOWS FROM SOUTHERN PORTION OF THE SITE. BOTH AREAS ARE TO DRAIN INTO THE ADJACENT COLLECTION POND NEAR THE SOUTHWEST CORNER OF THE SITE. HERE, FLOWS ENTER AN 8" DIAMETER STORM DRAIN PIPE THAT CONNECTS TO POND A. THE DEVELOPED FLOWS FROM BASIN B IS 0.74CFS.

RETENTION PONDS (TOTAL A & B)
 V10DAY-100YR REQUIRED = 2265CF
 POND A VOL PROVIDED = 606CF
 POND B VOL PROVIDED = 1968CF
 TOTAL VOL PROVIDED = 2574CF
 V10DAY-100YR WSEL=66.83

CIVIL CONSTRUCTION NOTES

- A. GENERAL**
- The contractor shall be responsible for verifying the existence and location of all underground utilities.
 - Contractor shall repair any and all infrastructure damaged during the course of construction in accordance with City of Albuquerque specifications.
 - The contractor shall notify all applicable utility companies two (2) working days prior to any digging or excavation.
 - The jobsite, at the completion of construction, shall be cleaned of any debris or spoils resulting from the construction.
 - It is the contractor's responsibility to inspect the job site to familiarize himself/herself with all the existing conditions that could affect the installation of any work set forth in these plans.
 - Contractor is responsible for obtaining all required construction permits including a topsoil disturbance permit, prior to start of construction.
 - All work on this project shall be performed in accordance with applicable Federal, State and Local laws, rules and regulations concerning construction safety and health.
 - The contractor shall not install items as shown on the plans when it is obvious that field conditions are different than shown in the design. Such conditions should be brought to the attention of the Engineer. In the event the contractor does not notify the Engineer, the contractor assumes full responsibility and expense for any revisions necessary.
 - Existing site improvements which are damaged or displaced by the contractor shall be removed and replaced by the contractor.
 - Existing fencing that is not designated for removal shall not be disturbed. Any fencing that is disturbed or altered by the contractor shall be restored to its original condition at the contractor's expense. If the contractor would like to remove fencing to facilitate construction operations, this may be done with the owner's permission, and the contractor shall restore the fence to its original condition prior to the close of the project. Contractor is responsible for security of the site until the fence is replaced.
 - The contractor shall refer to the project specifications for site specifications. Any variances to the City easements or RDW shall follow CDA Specifications for Public Infrastructure.
 - All existing mainline utilities are to remain in place and are to be protected during demolition and construction.
 - Neither the owner, nor the Architect or Engineer of record will enforce any safety measure or regulation. The contractor shall design, construct and maintain all safety devices, including traffic control, shoring, and shall be solely responsible for conforming to all local, state and federal safety and health standards, laws and regulations.
 - The contractor shall be responsible for any notification and/or benchmarks which will be disturbed or destroyed by construction. Such points shall be referenced and replaced with appropriate nomenclature by a licensed land surveyor.
 - Any work done without inspection or testing is subject to removal or correction.
 - The engineer of record shall not be responsible for the contractor's failure to carry out the construction work in accordance with the contract documents, nor shall he be required to supervise the conduct of the work or the construction procedures and safety procedures followed by the contractor or the subcontractor or their respective employees or by any other person at the job site other than that of the Engineer's employees.
 - Contractor agrees that he shall assume sole and complete responsibility for the job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall indemnify and hold the owner and engineer harmless of any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of the owner or the Engineer.
 - The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
 - Contractor is responsible for obtaining all permits to construct facilities within City easements or RDW.
 - All existing topo, existing boundary, existing easement information, & existing utilities shown on the design drawings were obtained from Harris Surveying Co. and Cartleson Surveyors. GJA, LLC is not responsible for any discrepancies or redesign of any and all infrastructure due to the inaccuracy of the surveys. The contractor shall reference the boundary and topographic survey prepared by Harris Surveying for all easements, existing infrastructure and elevations. The contractor shall contact Harris Surveying and Cartleson Surveyors for surveying control and construction staking.
- B. GRADING & DRAINAGE NOTES**
- The contractor shall excavate the existing soils in the pond areas to a depth recommended by the geotechnical report and supplemental letters provided by Earthworks Engineering Group, LLC. Free draining material with gradation and classification provided by Earthworks Engineering Group shall then be placed to a maximum pond depth of 1.5 ft.
 - The contractor shall install 3' to 8' diameter cobbles in the retention ponds per the recommendations of Earthworks Engineering Group, LLC.
 - The location of the retention ponds shown on this plan were placed a minimum distance of 5' from the proposed structure(s) similar to those shown on the certified record drawings prepared by Richard Lovato, PE dated 11/27/05. This grading plan does not address existing soil types nor treatment of soils for the potential saturation of soils adjacent to structures. The contractor shall obtain supplemental recommendations from Earthworks Engineering Group, LLC for treatment of the pond soils to prevent saturation of structure foundations.
 - Once grading is constructed and approved, the owner shall maintain all drainage paths, retention ponds, drain pipe and areas not to receive impervious treatment.
 - The contractor shall follow earthwork recommendations per the geotechnical report and supplemental letters provided by Earthworks Engineering Group, LLC.
- C. EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER, POLLUTION PREVENTION PLAN**
- The contractor shall conform to all City, County, State, and Federal dust and erosion control regulations. The contractor shall prepare and obtain any necessary dust or erosion control permits from regulatory agencies.
 - The contractor shall secure an excavation and dirt moving permit from the appropriate County Environmental Health Division prior to beginning construction if required.
 - The contractor shall promptly remove any material excavated within the public Right-of-Way to keep it from washing off the project site.
 - The contractor shall ensure that no soil erodes from the site onto other property by constructing temporary erosion control berms or installing silt fences at the property lines and wetting the soil to keep it from blowing.
 - Vegetation, as required for construction and dust control, shall be considered incidental to construction and no measurement or payment shall be made there of. Construction areas shall be watered for dust control in compliance with government ordinances. The contractor shall be responsible for locating and supplying water as required.
 - Any areas disturbed by construction and not covered by landscaping or an impervious surface shall be revegetated with reclamation seeding.
 - The contractor shall properly handle and dispose of all asphalt removed on the project by hauling to an approved landfill in accordance with the requirements of the State of New Mexico.
 - All waste products from the construction site, including items designed for removal, construction waste, construction equipment waste products (oil, gas, tires, etc.), garbage, grubbing, excess cut material, vegetative debris, etc. shall be appropriately disposed of off-site at no additional cost to the owner. It shall be the contractor's responsibility to obtain any permits required for haul or disposal of waste products. It shall be the contractor's responsibility to ensure that the waste disposal site complies with government regulations regarding the environment, endangered species, and archaeological resources.
 - The contractor shall be responsible for the clean-up and reporting of spills of hazardous materials associated with the construction site. Hazardous materials include gasoline, diesel fuel, motor oil, solvents, chemicals, paint, etc. which may be a threat to the environment. The contractor shall report the discovery of past or present spills to the appropriate County Environmental Department.
 - The contractor shall comply with all applicable regulations concerning surface and underground water. Contact with surface water by construction and personnel shall be minimized. Equipment maintenance and refueling operations shall be performed in an environmentally safe manner in compliance with government regulations.
 - The air pollution control regulations of the appropriate county environmental services dept., county air quality control board limit the emission of particulates and the use of cutback asphalt. The contractor shall apprise himself of these regulations prior to bidding and performing the work.
 - The contractor shall comply with all applicable regulations concerning construction noise and hours of operations.
 - The contractor shall conform to all City, County, State & Federal storm water pollution prevention requirements established under the National Pollutant Discharge Elimination System (NPDES); the contractor shall prepare & obtain all NPDES permits for storm water point source discharges. A Storm Water Pollution Prevention Plan shall be provided by the contractor. The contractor shall maintain the site and keep all applicable records to maintain to the SWPPP.

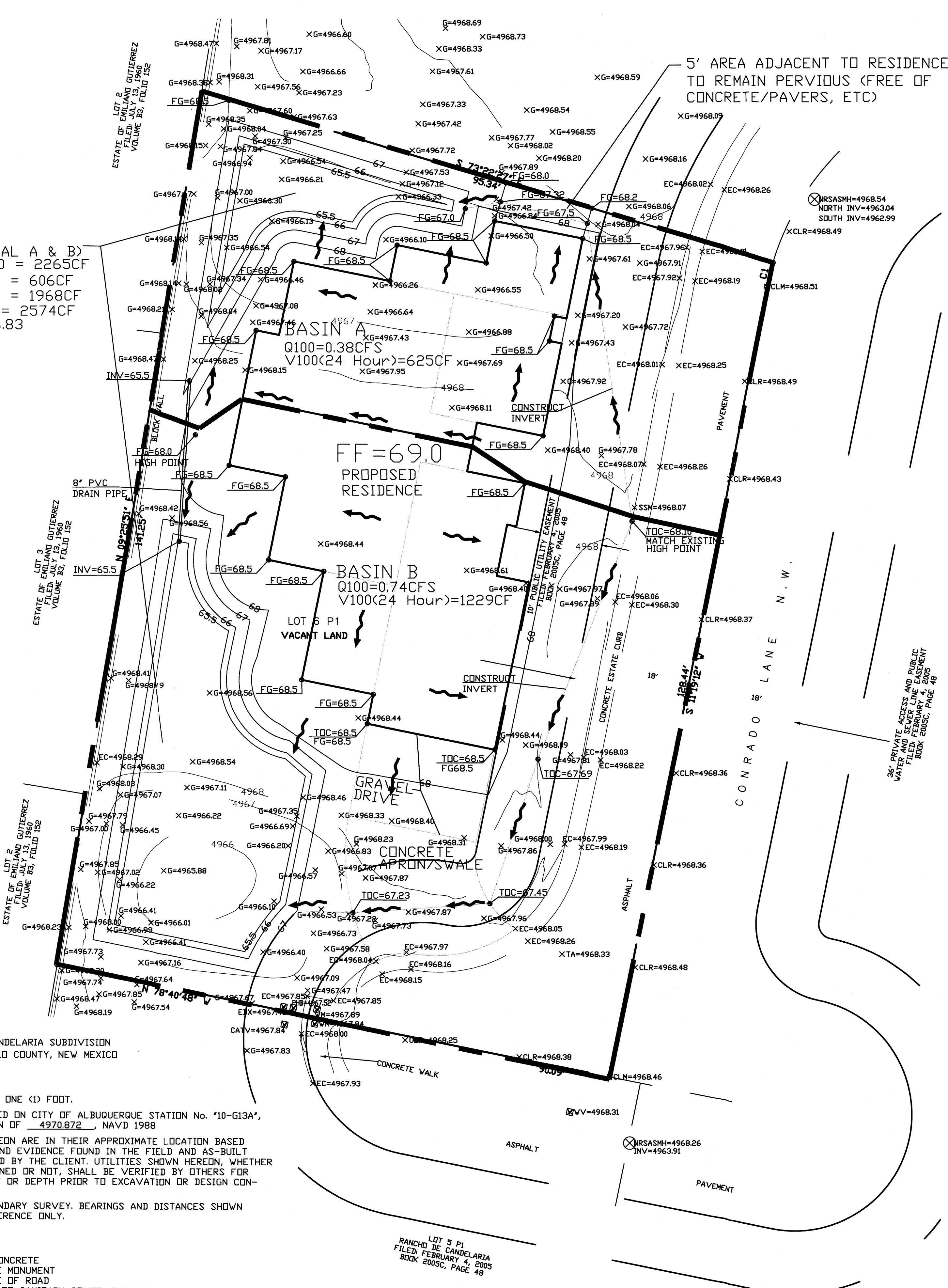
LEGAL DESCRIPTION:
 LOT 6 P1, RANCHO DE CANDELARIA SUBDIVISION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

SURVEY NOTES:

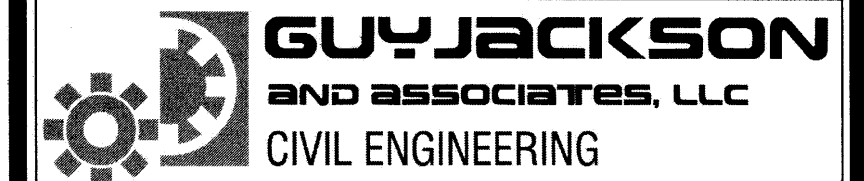
- CONTOUR INTERVAL IS ONE (1) FOOT.
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "10-G13A", HAVING AN ELEVATION OF 4970.872 NAVD 1988
- UTILITIES SHOWN HEREIN ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREIN, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

SURVEY LEGEND:

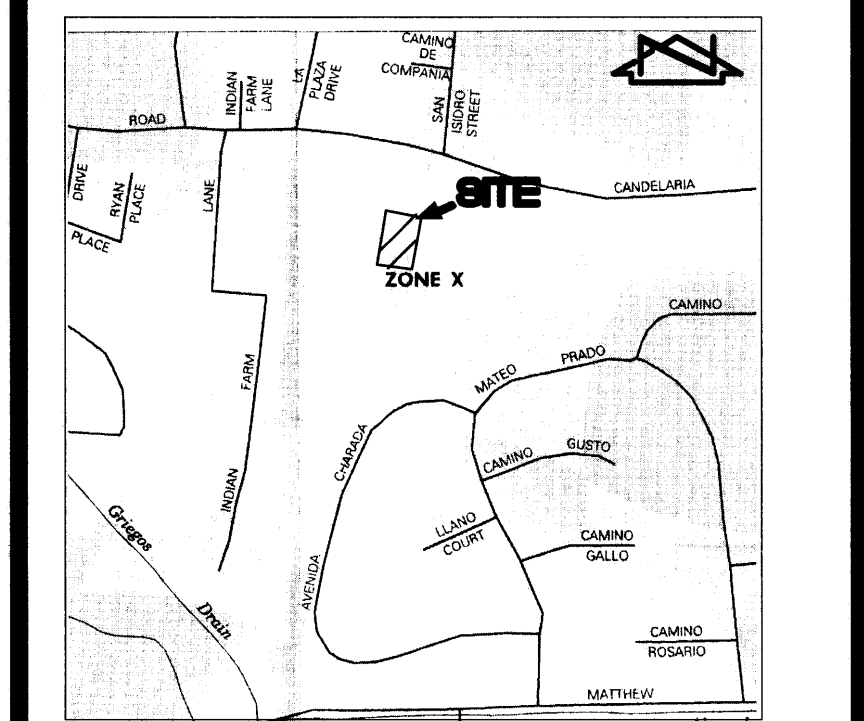
- EC = EDGE OF CONCRETE
- CLM = CENTERLINE MONUMENT
- CLR = CENTERLINE OF ROAD
- NRSASMH = NORTH RIM OF SANITARY SEWER MANHOLE
- WM = WATER METER
- PHB = PHONE BOX
- EBX = ELECTRIC BOX
- CATV = CABLE BOX
- SSM = SEWER STUB MARK
- INV = INVERT
- G = GROUND



5' AREA ADJACENT TO RESIDENCE TO REMAIN PERVIOUS (FREE OF CONCRETE/PAVERS, ETC)



VICINITY MAP G-13



F.I.R.M. PANEL 331 of 825

SCALE: 1" = 10' DATED 08-28-2006
 FEDERAL EMERGENCY MANAGEMENT AGENCY

LEGEND

- DIRECTION OF FLOW
- PROPOSED BASIN BOUNDARY
- PROPOSED SPOT ELEVATION
- 6424 EXISTING CONTOUR
- 6424 PROPOSED CONTOUR

REV.	DESCRIPTION	DATE

Professional Engineer and Architect stamps for GUY JACKSON AND ASSOCIATES, LLC. The Engineer stamp is for GUY JACKSON and the Architect stamp is for GUY JACKSON.

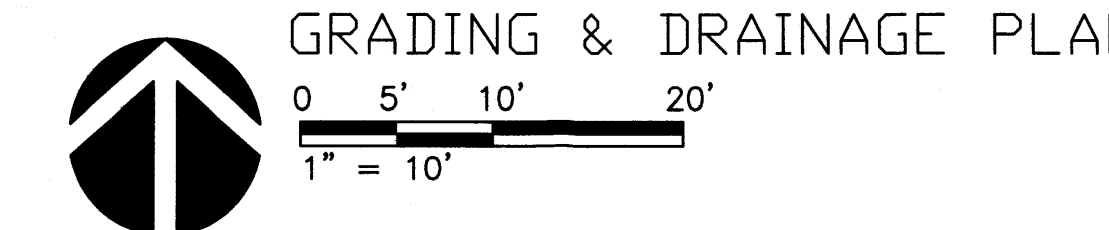
Lot 6, Conrado Ct. NW
 Albuquerque, NM

PROJECT NO. DATE
 MARCH 2014

GRADING & DRAINAGE PLAN

DRAWING NO.

C-2.1



GRADING & DRAINAGE PLAN