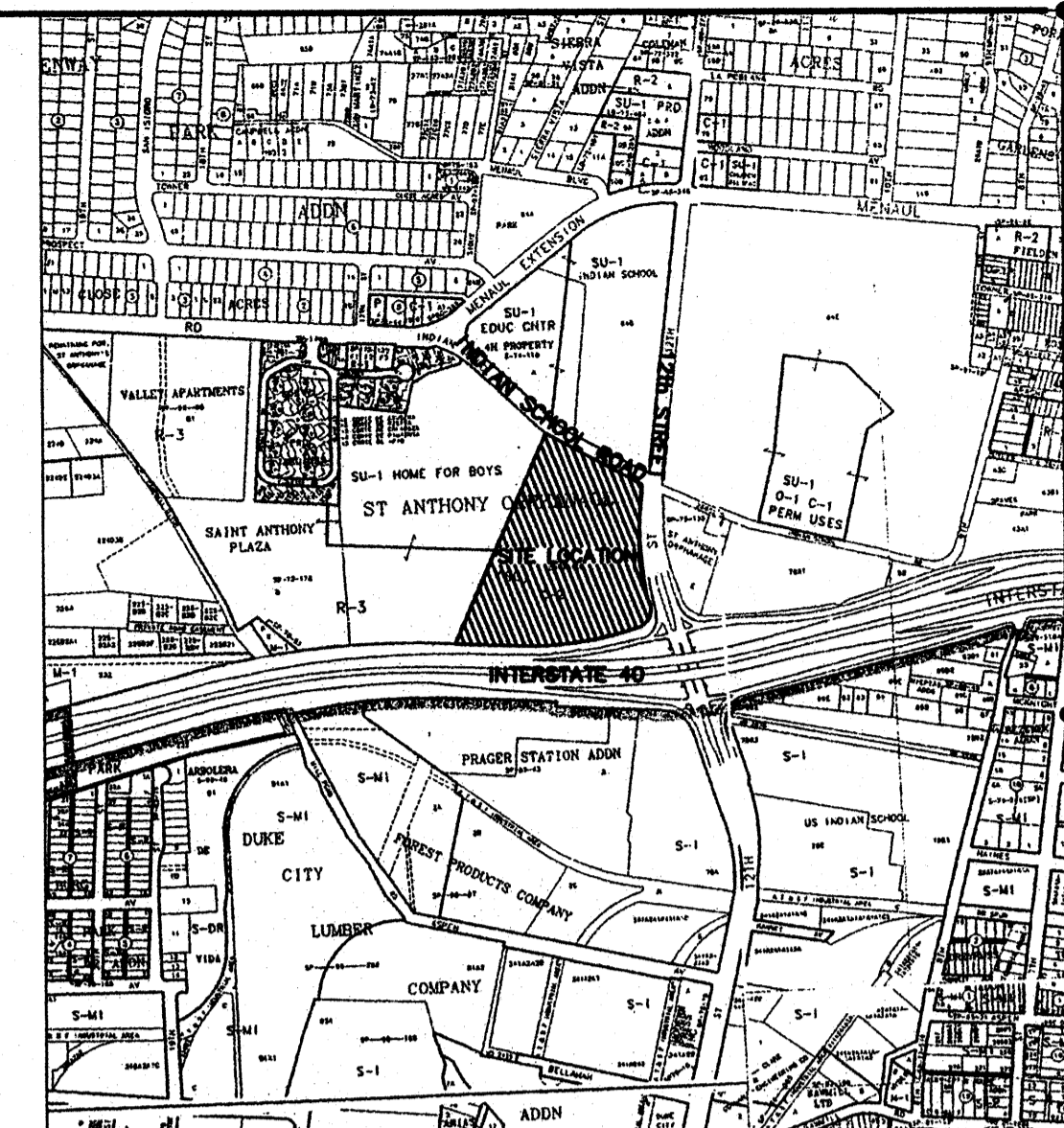
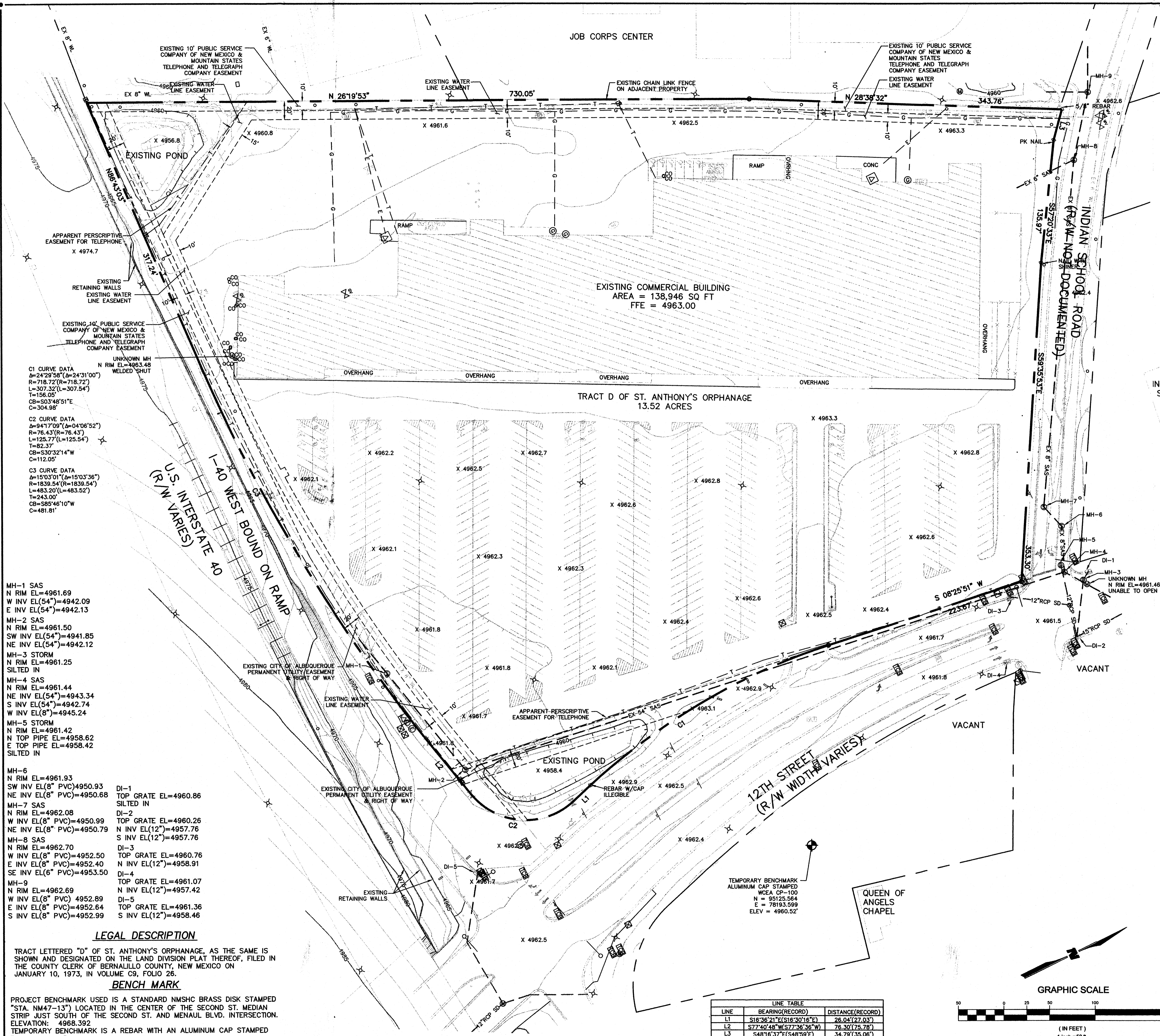


PROJECT # 1002805



VICINITY MAP
ZONE ATLAS MAP NO. H-13-Z

REVISIONS	
DATE	DESCRIPTION

WILSON & COMPANY
2600 THE AMERICAN ROAD SE
SUITE 100
RIO RANCHO, NEW MEXICO
87024
(505) 898-8021

LOWE'S HOME CENTERS, INC.
HWY. 268 EAST, EAST DOCK
N. WILKESBORO, NC 28659
336.658.4000 (V) 336.658.3257 (F)

SURVEYORS NOTE:
Topographic Survey performed by Wilson & Company Engineers and Architects August 2003 by photogrammetric and ground survey techniques.

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all the utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities, except as noted.

This is not a boundary survey, apparent property corners are shown for orientation only. Boundary lines and data shown is from previous surveys referenced here on.

LEGEND			
---	LOWE'S PROPERTY LINE	☒	TRAFFIC SIGNAL PULL BOX
---	ADJACENT PROPERTY LINE	⊙	CURB INLET
---	EASEMENT	⊙	CURB INLET
WL	WATER LINE	⊙	AREA INLET
SD	STORM DRAIN	⊙	STORM MANHOLE
G	UNDERGROUND GAS	⊙	CLEANOUT
T	UNDERGROUND TELEPHONE	⊙	SANITARY SEWER MANHOLE
SAS	SANITARY SEWER	⊙	UNKNOWN MANHOLE
E	UNDERGROUND ELECTRIC	⊙	WATER VALVE
4900	INDEX CONTOUR	⊙	FIRE HYDRANT
---	INTERMEDIATE CONTOUR	⊙	WALL FIRE HOSE CONNECTOR
---	DEPRESSION CONTOUR	⊙	WATER METER
---	CHAIN LINK FENCE	⊙	GAS VALVE
---	RETAINING WALL	⊙	GAS METER
---	TREE & BRUSH LINE	⊙	TELEPHONE PEDESTAL
---	BUILDING	⊙	POWER PEDESTAL
X 4900	SPOT ELEVATION	⊙	ELECTRIC METER
X	LIGHT POLE	⊙	LIGHT PULL BOX
○	UTILITY POLES	⊙	TRANSFORMER
+	POST	⊙	TRAFFIC LIGHT
+	SINGLE POLE SIGN	⊙	TRAFFIC SIGNAL PULL BOX
+	SIGN	⊙	SIGNAL LIGHT JUNCTION BOX
+	HANDICAPPED SIGN	⊙	MAIL BOX
+	MAIL BOX	⊙	TEMPORARY BENCHMARK

C1 CURVE DATA
A=2429'58" (Δ=2431'00")
R=718.72 (R=718.72)
L=307.32 (L=307.54)
T=156.05'
CB=503'48"51"E
C=304.98'

C2 CURVE DATA
A=9417'09" (Δ=04'08"52")
R=76.43 (R=76.43)
L=125.77 (L=125.54)
T=82.37'
CB=530'32"14"W
C=112.05'

C3 CURVE DATA
A=1503'01" (Δ=1503'36")
R=1839.54 (R=1839.54)
L=483.20 (L=483.52)
T=243.00'
CB=585'46"10"W
C=481.81'

MH-1 SAS
N RIM EL=4961.69
W INV EL(54")=4942.09
E INV EL(54")=4942.13
MH-2 SAS
N RIM EL=4961.50
SW INV EL(54")=4941.85
NE INV EL(54")=4942.12
MH-3 STORM
N RIM EL=4961.25
SILTED IN
MH-4 SAS
N RIM EL=4961.44
NE INV EL(54")=4943.34
S INV EL(54")=4942.74
W INV EL(8")=4945.24
MH-5 STORM
N RIM EL=4961.42
N TOP PIPE EL=4958.62
E TOP PIPE EL=4958.42
SILTED IN
MH-6
N RIM EL=4961.93
SW INV EL(8" PVC)=4950.93
NE INV EL(8" PVC)=4950.68
MH-7 SAS
N RIM EL=4962.08
W INV EL(8" PVC)=4950.99
NE INV EL(8" PVC)=4950.79
MH-8 SAS
N RIM EL=4962.70
W INV EL(8" PVC)=4952.50
E INV EL(8" PVC)=4952.40
SE INV EL(6" PVC)=4953.50
MH-9
N RIM EL=4962.69
W INV EL(8" PVC)=4952.89
E INV EL(8" PVC)=4952.64
S INV EL(8" PVC)=4952.99

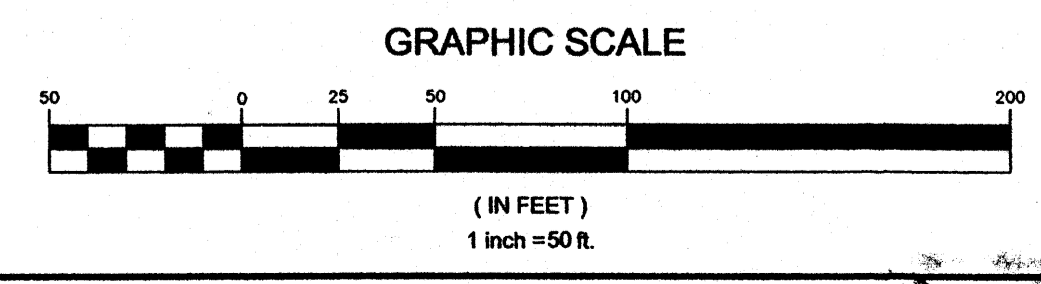
LEGAL DESCRIPTION

TRACT LETTERED "D" OF ST. ANTHONY'S ORPHANAGE, AS THE SAME IS SHOWN AND DESIGNATED ON THE LAND DIVISION PLAT THEREOF, FILED IN THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 10, 1973, IN VOLUME C9, FOLIO 26.

BENCH MARK

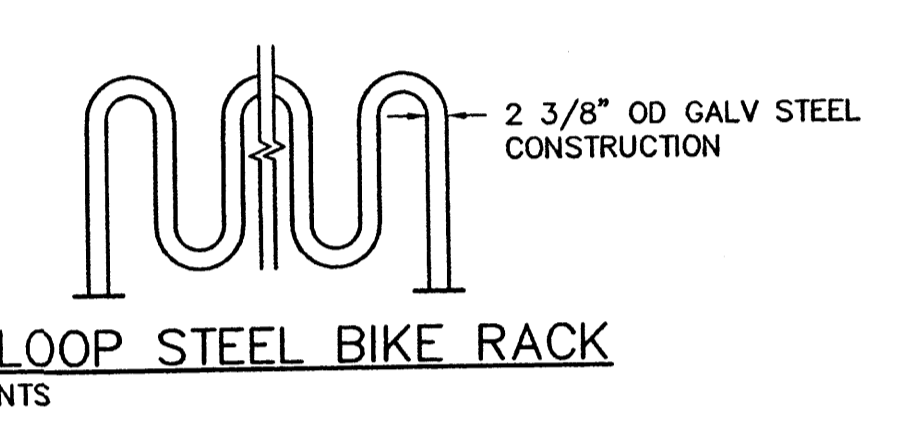
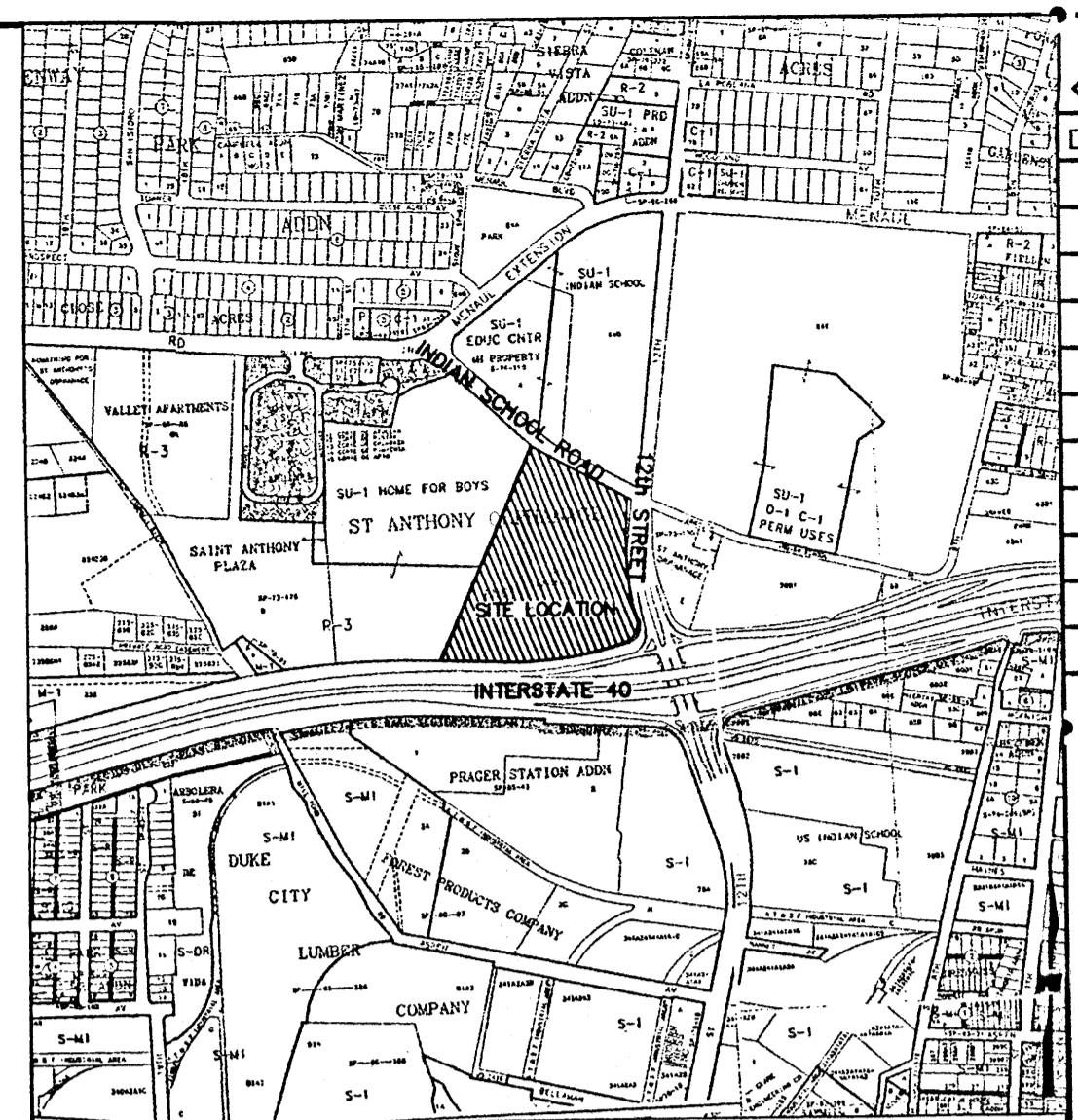
PROJECT BENCHMARK USED IS A STANDARD NMSHC BRASS DISK STAMPED "STA. NM47-13" LOCATED IN THE CENTER OF THE SECOND ST. MEDIUM STRIP JUST SOUTH OF THE SECOND ST. AND MENAUL BLVD. INTERSECTION. ELEVATION: 4968.392
TEMPORARY BENCHMARK IS A REBAR WITH AN ALUMINUM CAP STAMPED "WCEA CP-100" ELEVATION: 4960.52

LINE	BEARING(RECORD)	DISTANCE(RECORD)
L1	S16°36'21"E(S16°30'16"E)	26.04'(27.03')
L2	S77°40'48"W(S77°36'36"W)	76.30'(75.78')
L3	S48°16'37"E(S48°59'E)	34.79'(35.06')

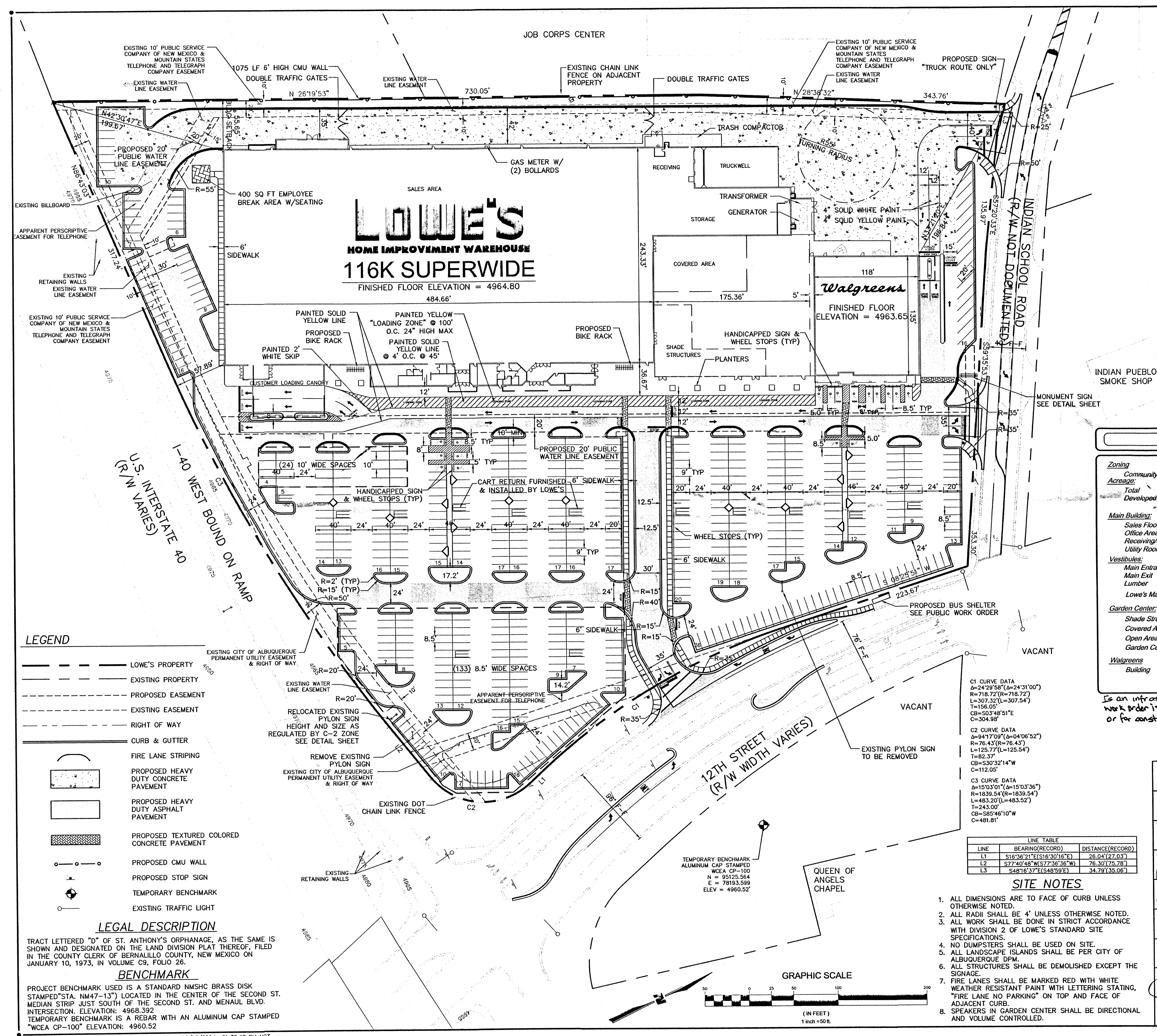


EXISTING CONDITIONS
LOWE'S OF CENTRAL ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
PROJECT NO: X3218004 DRAWN BY: MGG CHECKED BY: BMF
ORIGINAL ISSUE DATE: 12/17/03
PERMIT SET ISSUE DATE:
CONSTRUCTION SET ISSUE DATE:
DRAWING NUMBER:
C1

REVISIONS	
DATE	DESCRIPTION



WILSON & COMPANY
 2600 THE AMERICAN ROAD SE
 RIO RANCHO, NEW MEXICO
 (505) 898-8021



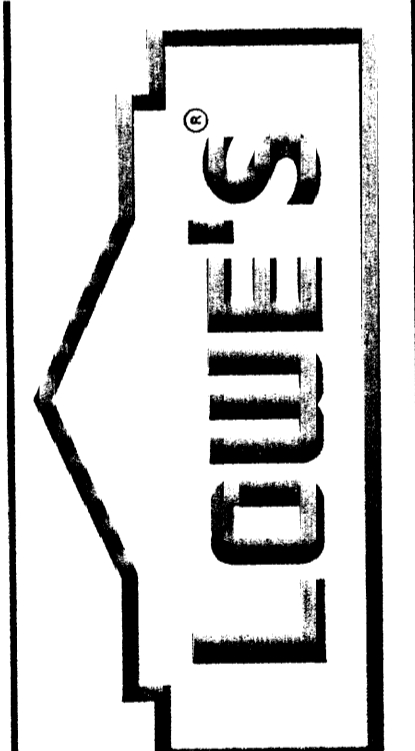
SITE DATA	
Zoning	Community commercial / shopping center
Acres:	Total 13.52 Developed 13.52
Main Building:	Sales Floor 117,936 S.F. Office Area 3,894 S.F. Receiving/Storage 10,082 S.F. Utility Rooms 1,380 S.F.
Vestibules:	Main Entrance 1,049 S.F. Main Exit 331 S.F. Lumber 480 S.F. Lowe's Main Building 135,152 S.F.
Garden Center:	Shade Structures 5,954 S.F. Covered Area 6,552 S.F. Open Area 15,700 S.F. Garden Center Total 28,206 S.F.
Walgreens Building	15,882 S.F.
Parking Requirements:	Lowe's Parking Required: Standard 555 Handicapped 12 Total Parking Required 567 Ratio = 3.77 (spaces/1000 sf)
Local Parking Required:	Standard 530 Handicapped 16 Total Parking Required 546 (Shared with Walgreens)
Parking Provided:	Standard 554 Handicapped 17 Total Parking Provided 571 (Shared with Walgreens)
Ratio w/ GC = 3.18	Ratio = 5.0 (spaces/1000 sf) Main Building Ratio = 2.5 (spaces/1000 sf) Garden Center Less 15% for Bus Shelter and Transit Route
Local Parking Provided:	Standard 571 Handicapped 17 Total Parking Provided 588 (Shared with Walgreens)
Ratio = 4.0 (spaces/1000 sf) for 0 - 15,000 sf	Ratio = 4.0 (spaces/1000 sf) for 15,000 - 45,000 sf Ratio = 3.33 (spaces/1000 sf) for over 45,000 sf
Bicycle Parking Required:	Ratio = 1 per 20 parking spaces Bicycle Parking Provided 28

Is an infrastructure list required? Yes - A set of approved DRB Plans with a work order is required for any construction within Public Right of Way or for construction of public improvements.
PROJECT NO. 1002805

DRB APP. NO. 04DRB-00138

APPROVAL SIGNATURES	
<i>[Signature]</i> TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	2-18-04 DATE
<i>[Signature]</i> UTILITIES DEVELOPMENT	2-18-04 DATE
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	2/18/04 DATE
<i>[Signature]</i> CITY ENGINEER	2/25/06 DATE
N/A ENVIRONMENTAL HEALTH DEPARTMENT	
<i>[Signature]</i> SOLID/WASTE MANAGEMENT	2-18-04 DATE
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	2/18/04 DATE

LOWE'S HOME CENTERS, INC.
 HWY. 268 EAST, EAST DOCK
 N. WILKESBORO, NC 28659
 336.658.4000 (V) 336.658.3257 (F)



LOWE'S OF CENTRAL ALBUQUERQUE
 CENTRAL ALBUQUERQUE, NEW MEXICO
 ALBUQUERQUE, NEW MEXICO
 PROJECT NO. 03218004 DRAWN BY: MDS CHECKED BY: BME

SITE PLAN
 ORIGINAL ISSUE DATE: 12/17/03
 PERMIT SET ISSUE DATE:
 CONSTRUCTION SET ISSUE DATE:
 DRAWING NUMBER:
C2

LEGEND	
	LOWE'S PROPERTY
	EXISTING PROPERTY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	RIGHT OF WAY
	CURBS & GUTTERS
	FIRE LANE STRIPING
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED TEXTURED COLORED CONCRETE PAVEMENT
	PROPOSED CMU WALL
	PROPOSED STOP SIGN
	TEMPORARY BENCHMARK
	EXISTING TRAFFIC LIGHT

LEGAL DESCRIPTION
 TRACT LETTERED "D" OF ST. ANTHONY'S ORPHANAGE, AS THE SAME IS SHOWN AND DESIGNATED ON THE LAND DIVISION PLAT THEREOF, FILED IN THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 10, 1973, IN VOLUME C9, FOLIO 26.

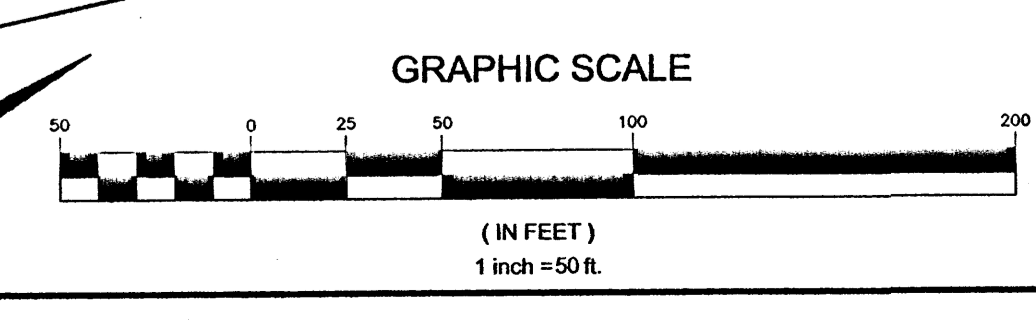
BENCHMARK
 PROJECT BENCHMARK USED IS A STANDARD NM58 BRASS DISK STAMPED "STA. NM47-13" LOCATED IN THE CENTER OF THE SECOND ST. MEDIAN STRIP JUST SOUTH OF THE SECOND ST. AND MENAUL BLVD. INTERSECTION. ELEVATION: 4968.392
 TEMPORARY BENCHMARK IS A REBAR WITH AN ALUMINUM CAP STAMPED "WCEA CP-100" ELEVATION: 4960.52

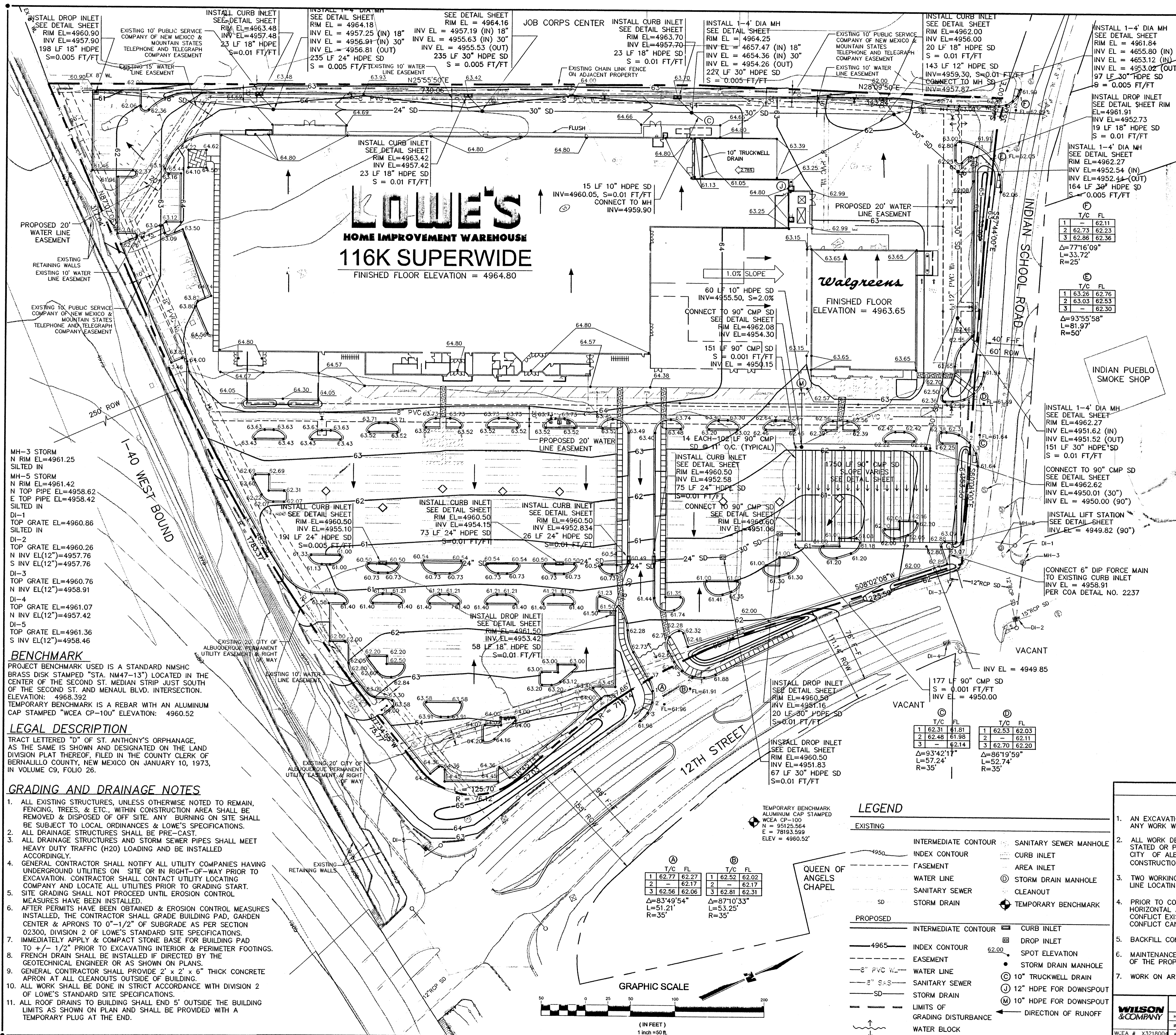
C1 CURVE DATA		
A=24'29.58"	(Δ=24'31"00")	R=718.72'(R=718.72')
L=307.32'(L=307.54')	T=156.05'	CB=533'48.51"E
C=304.98'		

C2 CURVE DATA		
A=94'17.09"	(Δ=04'06"52")	R=76.43'(R=76.43')
L=125.77'(L=125.54')	T=82.37'	CB=530'32.14"W
C=112.05'		

C3 CURVE DATA		
A=15'03.01"	(Δ=15'03'36")	R=1839.54'(R=1839.54')
L=483.20'(L=483.52')	T=243.00'	CB=585'46.10"W
C=481.81'		

- SITE NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
 - ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF LOWE'S STANDARD SITE SPECIFICATIONS.
 - NO DUMPSTERS SHALL BE USED ON SITE.
 - ALL LANDSCAPE ISLANDS SHALL BE PER CITY OF ALBUQUERQUE DPM.
 - ALL STRUCTURES SHALL BE DEMOLISHED EXCEPT THE SIGNAGE.
 - FIRE LANES SHALL BE MARKED RED WITH WHITE WEATHER RESISTANT PAINT WITH LETTERING STATING, "FIRE LANE NO PARKING" ON TOP AND FACE OF ADJACENT CURB.
 - SPEAKERS IN GARDEN CENTER SHALL BE DIRECTIONAL AND VOLUME CONTROLLED.





LOWE'S
HOME IMPROVEMENT WAREHOUSE
116K SUPERWIDE
 FINISHED FLOOR ELEVATION = 4964.80

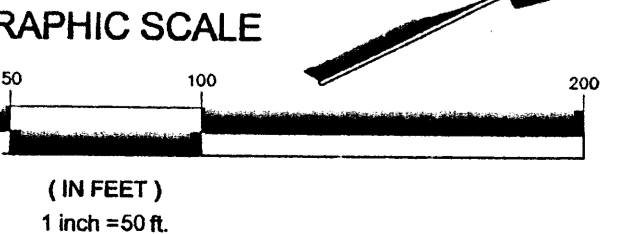
Walgreens
 FINISHED FLOOR ELEVATION = 4963.65

- MH-3 STORM
N RIM EL=4961.25
SILTED IN
- MH-5 STORM
N RIM EL=4961.42
N TOP PIPE EL=4958.62
E TOP PIPE EL=4958.42
SILTED IN
- DI-1
TOP GRATE EL=4960.86
SILTED IN
- DI-2
TOP GRATE EL=4960.26
N INV EL(12")=4957.76
S INV EL(12")=4957.76
- DI-3
TOP GRATE EL=4960.76
N INV EL(12")=4958.91
- DI-4
TOP GRATE EL=4961.07
N INV EL(12")=4957.42
- DI-5
TOP GRATE EL=4961.36
S INV EL(12")=4958.46

BENCHMARK
 PROJECT BENCHMARK USED IS A STANDARD NMSHC BRASS DISK STAMPED "STA. NM47-13" LOCATED IN THE CENTER OF THE SECOND ST. MEDIAN STRIP JUST SOUTH OF THE SECOND ST. AND MENAUL BLVD. INTERSECTION. ELEVATION: 4968.392
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LEGAL DESCRIPTION
 TRACT LETTERED "D" OF ST. ANTHONY'S ORPHANAGE, AS THE SAME IS SHOWN AND DESIGNATED ON THE LAND DIVISION PLAT THEREOF, FILED IN THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 10, 1973, IN VOLUME C9, FOLIO 26.

- GRADING AND DRAINAGE NOTES**
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCINGS, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES & LOWE'S SPECIFICATIONS.
 - ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.
 - ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
 - GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
 - SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
 - AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL GRADE BUILDING PAD, GARDEN CENTER & APRONS TO 0" - 1/2" OF SUBGRADE AS PER SECTION 02300, DIVISION 2 OF LOWE'S STANDARD SITE SPECIFICATIONS.
 - IMMEDIATELY APPLY & COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO EXCAVATING INTERIOR & PERIMETER FOOTINGS.
 - FRENCH DRAIN SHALL BE INSTALLED IF DIRECTED BY THE GEOTECHNICAL ENGINEER OR AS SHOWN ON PLANS.
 - GENERAL CONTRACTOR SHALL PROVIDE 2" x 2" x 6" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING.
 - ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF LOWE'S STANDARD SITE SPECIFICATIONS.
 - ALL ROOF DRAINS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END.

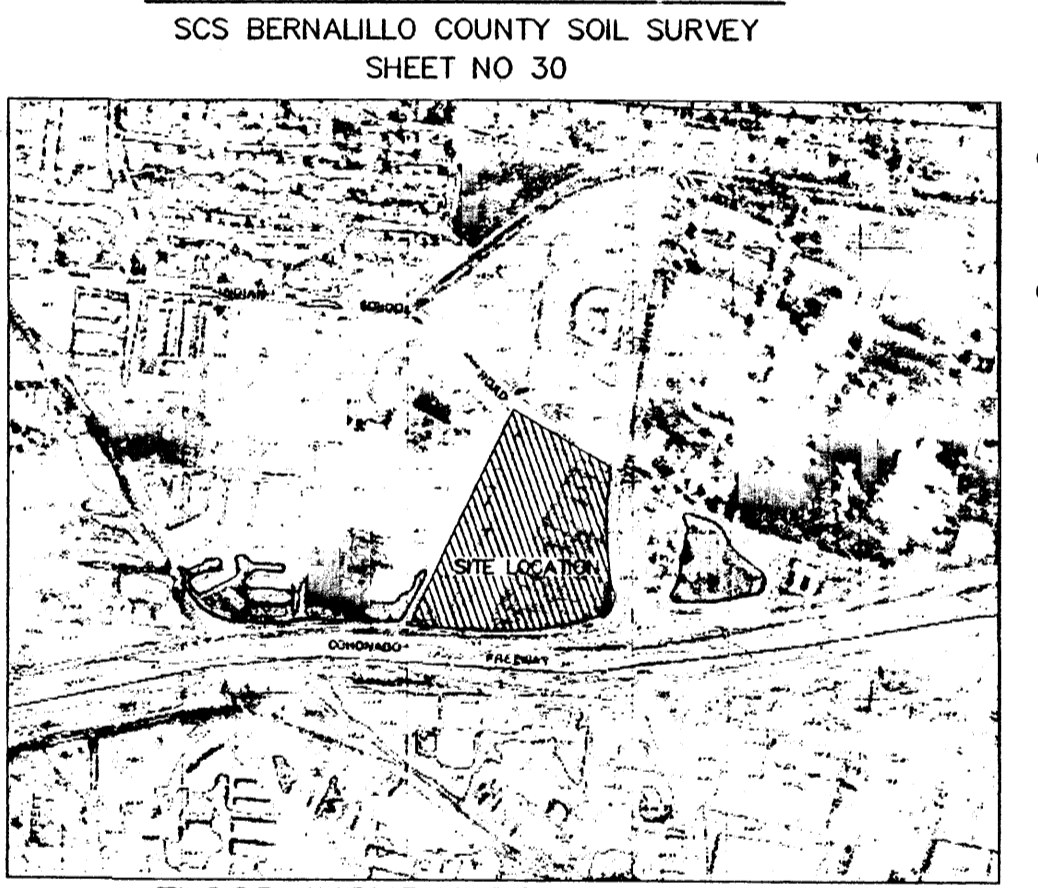
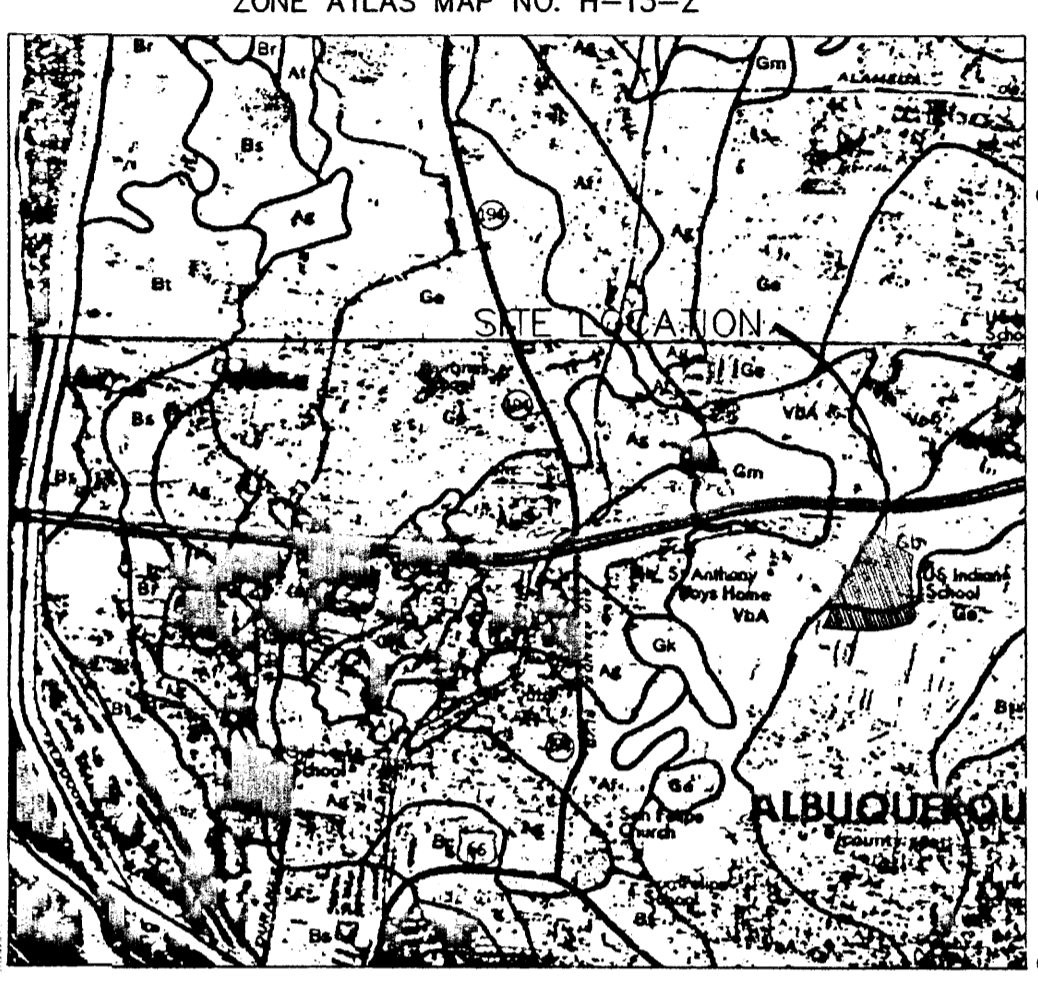
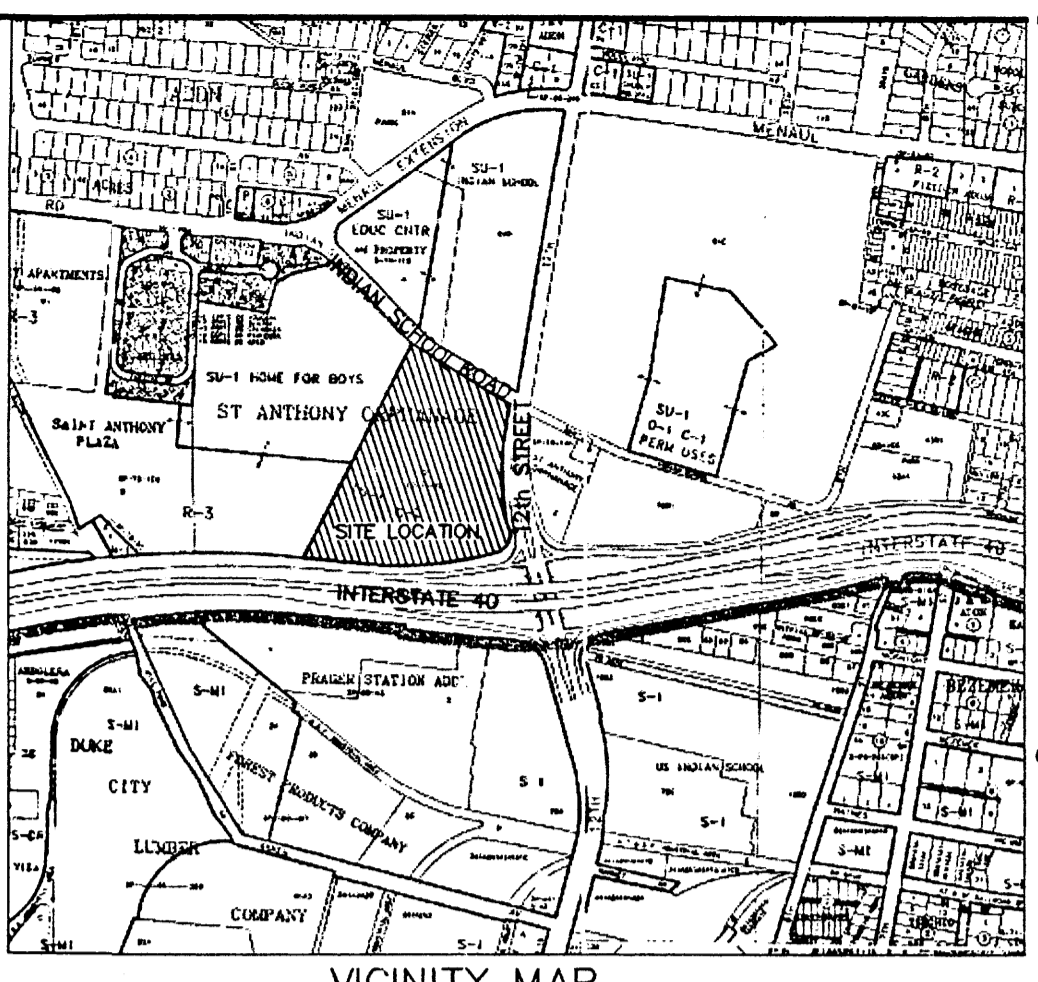


T/C FL		B FL	
1	62.77	62.27	62.02
2	62.73	62.23	62.17
3	62.66	62.06	62.31

Δ=83°49'54"
L=51.21'
R=35'

LEGEND

- EXISTING**
- 4950 --- INTERMEDIATE CONTOUR
 - INDEX CONTOUR
 - EASEMENT
 - WATER LINE
 - SANITARY SEWER
 - SD --- STORM DRAIN
- PROPOSED**
- 4965 --- INTERMEDIATE CONTOUR
 - INDEX CONTOUR
 - EASEMENT
 - WATER LINE
 - SANITARY SEWER
 - SD --- STORM DRAIN
 - LIMITS OF GRADING DISTURBANCE
 - WATER BLOCK
- UTILITIES**
- SANITARY SEWER MANHOLE
 - CURB INLET
 - AREA INLET
 - STORM DRAIN MANHOLE
 - CLEANOUT
 - TEMPORARY BENCHMARK



APPROVED FOR ROUGH GRADING ±1'
 COA _____ DATE _____

NOTICE TO CONTRACTOR

- AN EXCAVATION/ CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT UTILITY LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS	NAME	DATE	LOWE'S
HYDROLOGY			CENTRAL ALBUQUERQUE
INSPECTOR			
WCEA # X3218004	A.C.E./F.E.D.		MAP NO. H-13-Z

REVISIONS

DATE	DESCRIPTION

WILSON & COMPANY
 2600 THE AMERICAN ROAD SE
 SUITE 100 NEW MEXICO
 RIO RANCHO, NM 87124
 (505) 898-8021

LOWE'S HOME CENTERS, INC.
 HWY. 288 EAST, EAST DOCK
 N. WILKESBORO, NC 28659
 336.658.4000 (V) 336.658.3257 (F)

LOWE'S

CENTRAL ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO

PROJECT NO. X3218004 DRAWN BY: JMS CHECKED BY: BME

GRADING AND DRAINAGE PLAN

ORIGINAL ISSUE DATE: 12/17/03
 PERMIT SET ISSUE DATE:
 CONSTRUCTION SET ISSUE DATE:
 DRAWING NUMBER: **C3**

REVISIONS	
DATE	DESCRIPTION

GENERAL:
DESIGN & PROVISION OF LANDSCAPE FEATURES WITHIN THE LOWE'S SITE WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, THE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE IN GENERAL WATER CONSERVATIVE LANDSCAPE PRINCIPALS WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

TREE REQUIREMENTS:
TREES WITHIN THE PARKING AREA ARE REQUIRED AT A RATE OF 1 TREE PER 10 PARKING SPACES.
REQUIRED: 56 PROVIDED: 140

COVERAGE:
AT MATURITY, PLANT MATERIAL SHALL COVER A MINIMUM OF 75% OF PLANTING AREAS.

PLANT PALETTE:
EVERGREEN TREES (6" MIN. HEIGHT)
PINON PINE (PINUS EDULIS)

DECIDUOUS TREES (2" CAL. MIN)
AUTUMN PURPLE ASH (FRAXINUS AMERICANA 'AUTUMN PURPLE'), HONEY LOCUST (GLEDTISIA TRIACANTHOS VAR. INERMIS), CHINESE PISTACHE (PISTACIA CHINENSIS), FLOWERING LOCUST (ROBINA PSEUDOACACIA DECAISMEANA).

ACCENT TREES (2" CAL. MIN)
CHITALPA (CHITALPA X CHILOPSIS), DESEST WILLOW (CHILOPSIS LINEARIS), NEW MEXICO OLIVE (FORESTIERA PUBESCENS NUTT. PUBESCENS), VITEX (VITEX AGNUS-CASTUS), RED BUD (CERCIS CANADENSIS), ORNAMENTAL PEAR (PYRUS CALLERYANA 'ARISTOCRAT')

NOTE:
LANDSCAPING BERMS WITH EVERGREEN SHRUBS SHALL BE PROVIDED WHERE PARKING FRONTS ROADWAY.

SHRUBS, GROUND COVERS, AND ORNAMENTAL GRASSES (1 & 5 GALLON)
POTENTILLA (POTENTILLA FRUTICOSA), ARTEMISIA SPECIES (ARTEMISIA MILIFOLIUM), RED YUCCA (YUCCA ELIOTI), TURPENTINE BUSH (ERICAMERIA LARICIFOLIA), SAND SAGE (ARTEMISIA FILIFOLIUM), LAVENDER (LAVANDULA ANGSTIFOLIA), SPANISH BROOM (SPARTIUM JUNCEUM), APACHE PLUME (FALLUGIA PARADOXA), CREOSOTE (LARREA TRIDENTATA).

MULCH:
2" SANTA FE BROWN GRAVEL TO 3" DEPTH. MULCH SHALL BE INSTALLED IN ALL BED AREAS.

BOULDERS:
MOSS ROCK BOULDERS, (3' MIN. DIAMETER).

RECLAMATION/WILDFLOWER SEEDING:
NATIVE GRASSES AND FLOWERS INCLUDING INDIAN RICE GRASS, BLUE GRAMA, WILD HYSSOP, GLOBE MALLOW, CALIFORNIA POPPY, DESERT MARIGOLD, GALLARDIA, DESERT FOUR O CLOCKS, AND PURPLE ASTER.

IRRIGATION SYSTEM:
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE UTILIZED TO IRRIGATE TREES, SHRUBS, ORNAMENTAL GRASSES AND GROUND COVER PLANTING AREAS.

MAINTENANCE RESPONSIBILITY:
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THAT WITHIN THE ADJACENT PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF THE OWNER.

ZONING CODE LANDSCAPE REQUIREMENTS:

TOTAL SITE AREA	589,367 SF
BUILDING FOOTPRINT/SERVICE AREAS	-179,240 SF = 17,037 SF
PUBLIC R.O.W.	-17,388 SF
TOTAL AREA	375,702 SF
REQUIRED PERCENTAGE	15%
LANDSCAPE AREA REQUIRED	56,355 SF
LANDSCAPE AREA PROVIDED	58,269 SF
HIGH WATER USE TURF ALLOWED (20%)	11,844 SF
HIGH WATER USE TURF PROVIDED	0 SF

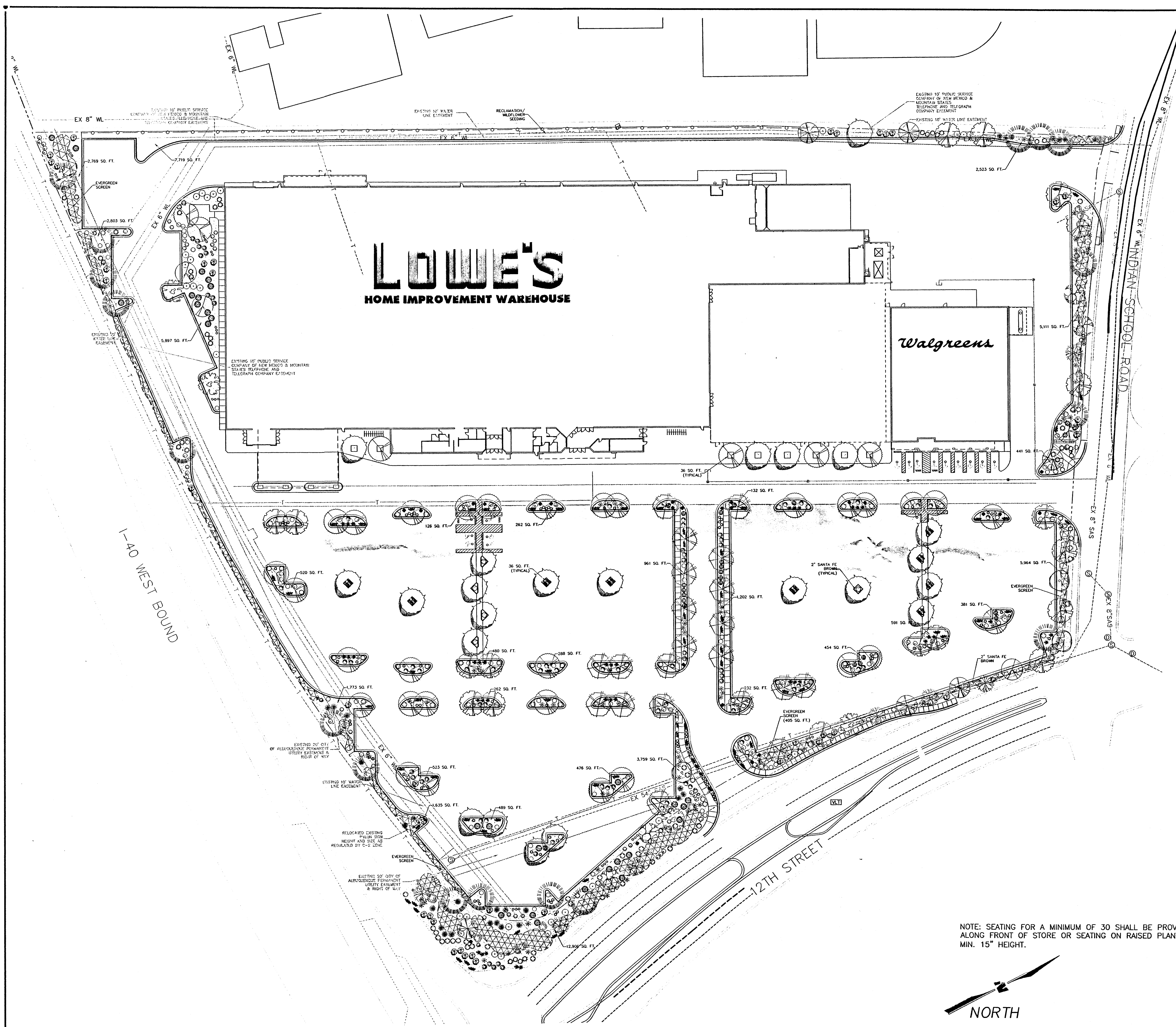
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UPPER MOUNTAIN
DESERT LANDSCAPE ARCHITECTURE
El Paso, TX 79905
3214 E. Xanadu Dr., Suite B
Albuquerque, NM 87106
TEL: (505) 261-1114
FAX: (505) 261-0117

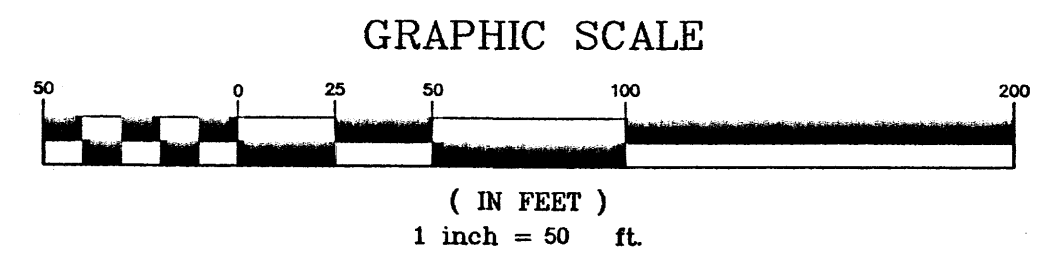
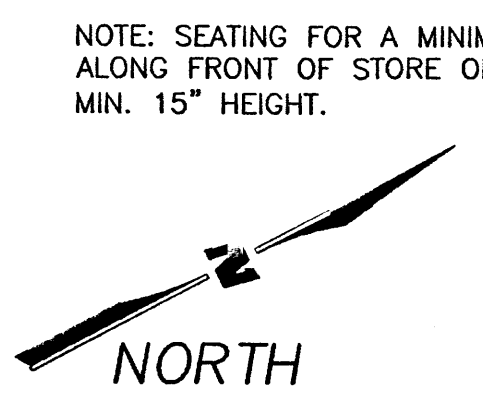
LOWE'S
ENGINEERING AND CONSTRUCTION
HWY 268 EAST, EAST DOCK N. WILKESBORO, NC 28656
336.658.4000 (V) 336.658.3257 (F)

LANDSCAPE PLAN
LOWE'S OF CENTRAL ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
PROJECT No: X371804 DRAWN BY: MRW CHECKED BY: RTJ

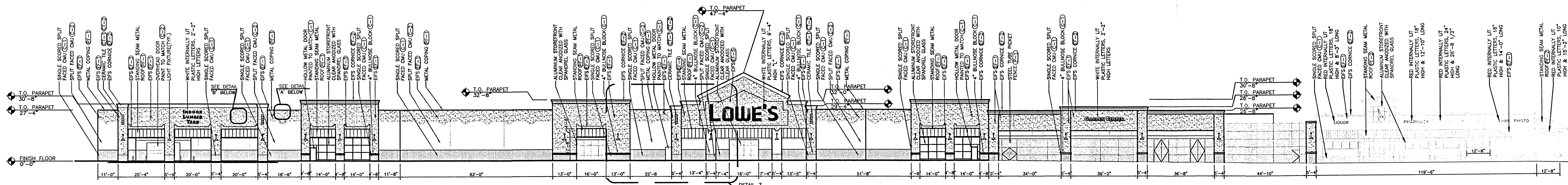
ORIGINAL ISSUE DATE:
PERMIT SET ISSUE DATE:
CONSTRUCTION SET ISSUE DATE:
DRAWING NUMBER:
L-1
OF 1 SHEET 1



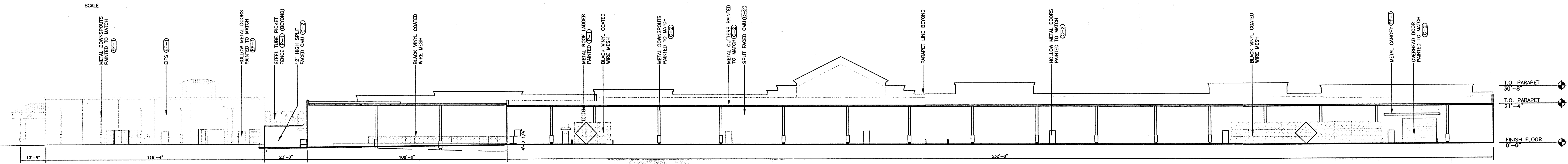
LANDSCAPE PLAN
SCALE 1"=50'



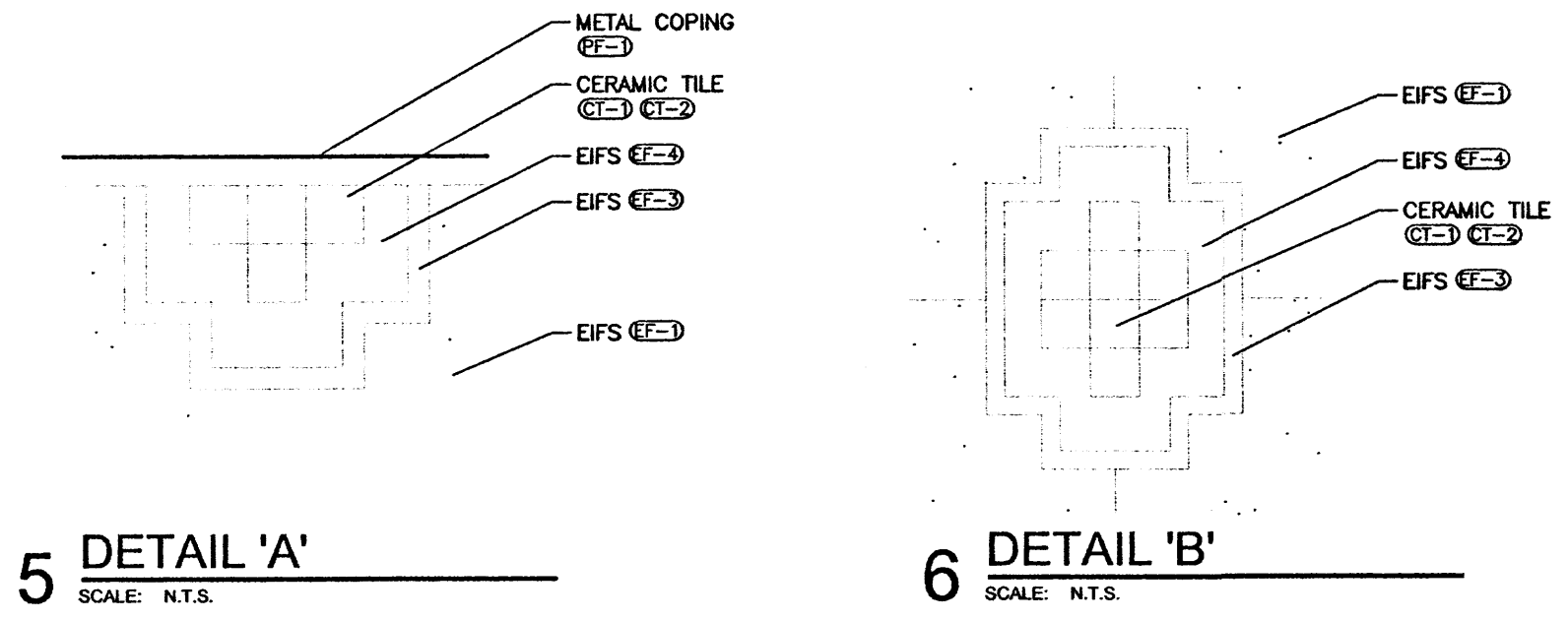
NOTE: SEATING FOR A MINIMUM OF 30 SHALL BE PROVIDED WITH BENCHES ALONG FRONT OF STORE OR SEATING ON RAISED PLANTERS AROUND TREES - MIN. 15" HEIGHT.



4 EAST ELEVATION
SCALE: N.T.S.

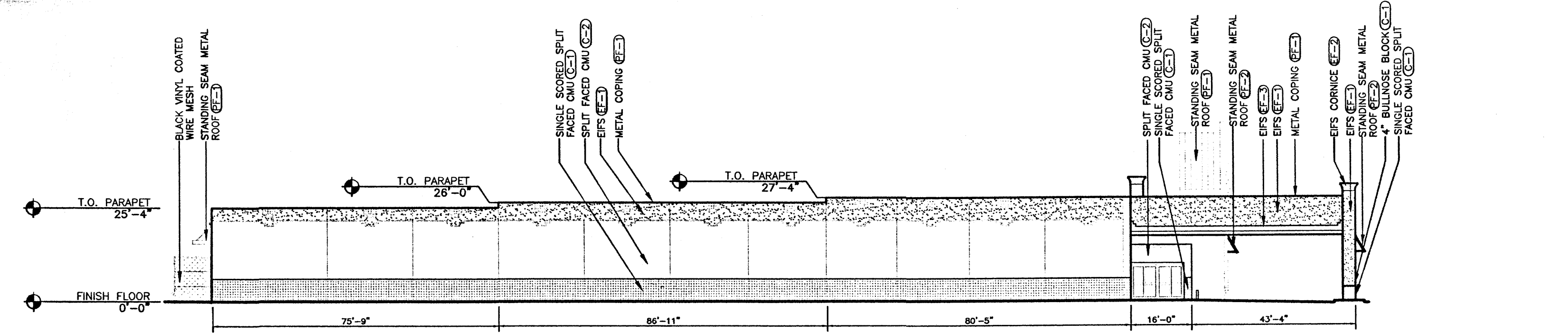


3 WEST ELEVATION
SCALE: N.T.S.

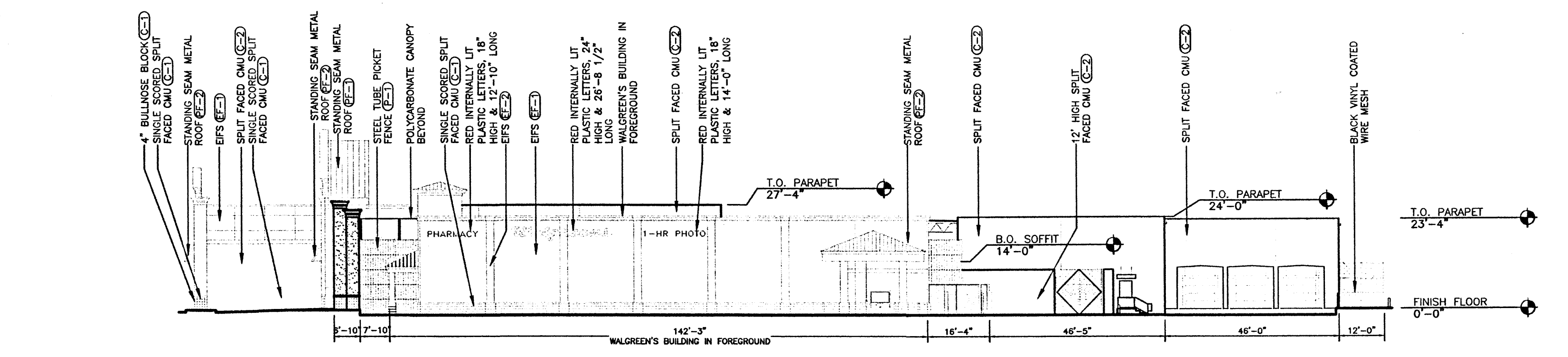


5 DETAIL 'A'
SCALE: N.T.S.

6 DETAIL 'B'
SCALE: N.T.S.



2 SOUTH ELEVATION
SCALE: N.T.S.

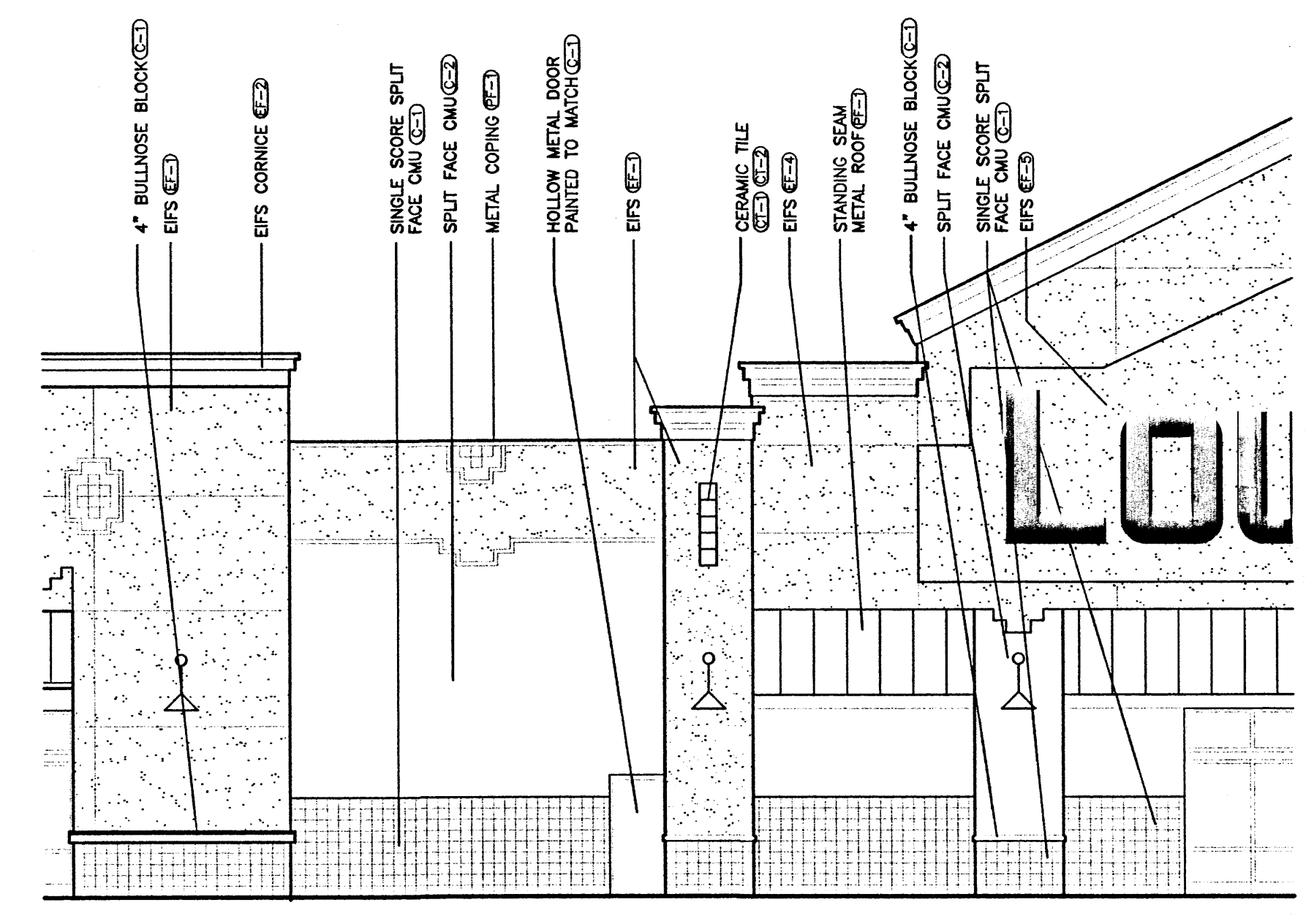


1 NORTH ELEVATION
SCALE: N.T.S.

NOTE: ROOFTOP EQUIPMENT SHALL BE PAINTED TO MATCH THE ROOF.

MATERIAL/COLOR SCHEDULE

SYMBOL	MATERIAL	COLOR
(C-1)	CMU	REDISH BROWN
(C-2)	CMU	DARK TAN
(E-1)	EIFS	TAN
(E-2)	EIFS	TAN
(E-3)	EIFS	WHITE
(E-4)	EIFS	LIGHT TAN
(E-5)	EIFS	LOWE'S BLUE
(PF-1)	PREFINISHED METAL	LOWE'S BLUE
(PF-2)	PREFINISHED METAL	WHITE
(P-1)	PAINT	GREEN
(T-1)	CERAMIC TILE	RED
(T-2)	CERAMIC TILE	BLUE



7 ENLARGED ELEVATION
SCALE: 1/8\"/>

LOWE'S OF CENTRAL ALBUQUERQUE, NM