

2011 12th St. NW

Walgreens

FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD DEERFIELD, IL 60015
708-940-2500

PROJECT TYPE
DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

PROJECT INFORMATION

NO. DATE BY DESCRIPTION CONST.

NO.	DATE	BY	DESCRIPTION	CONST.
1	1/13/05	AOB	WALGREEN UPDATES	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.



PROJECT NAME

WALGREENS STORE (SWC) 12TH ST. AND INDIAN SCHOOL RD. ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877
www.gra-arch.com

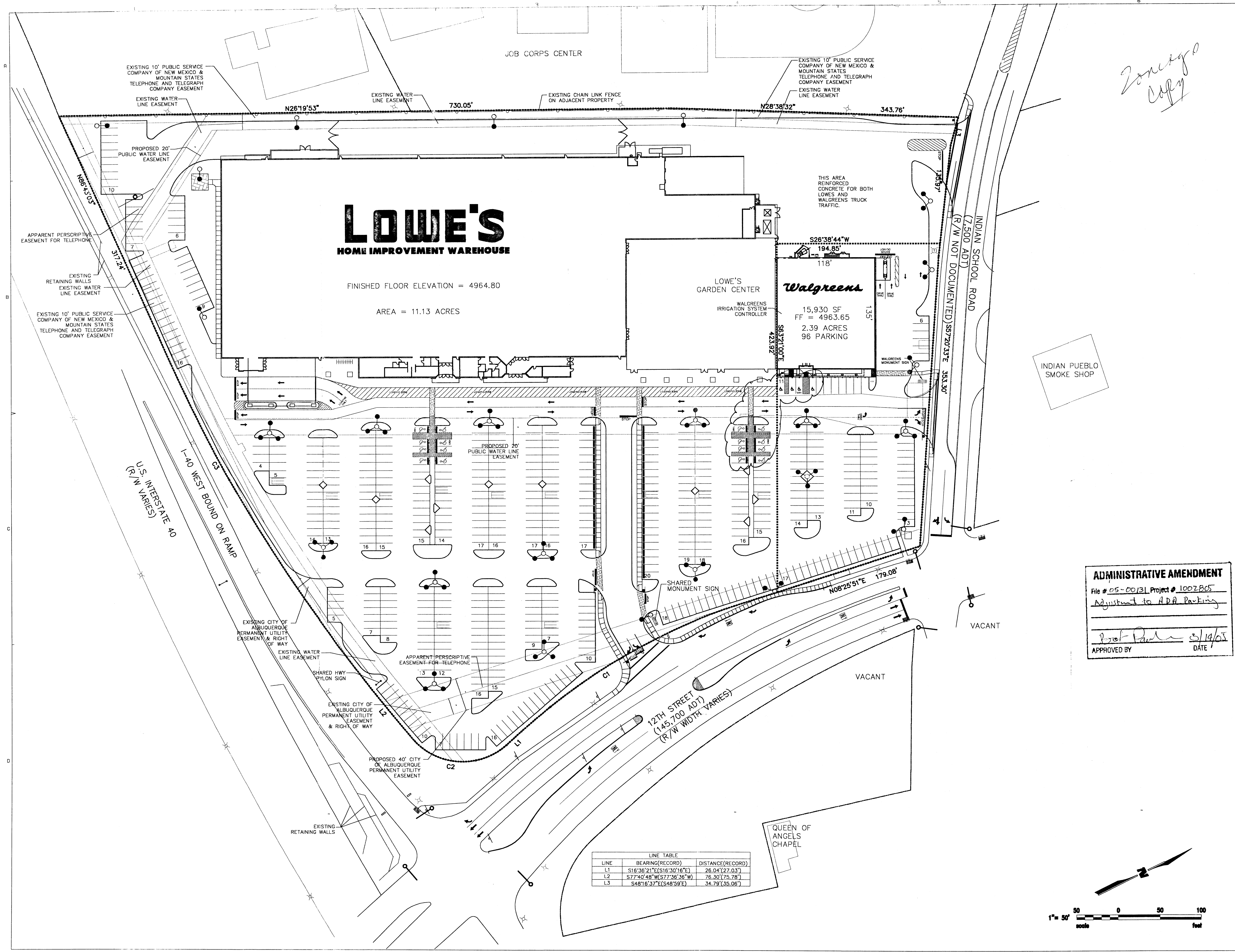
DRAWING TITLE

CENTER SITE PLAN

DATE 8/10/04 STORE NO. 9336 DRAWING NO.

BY: AOB SCALE: 1:50 RELEASED TO CONSTRUCTION: A1.0A

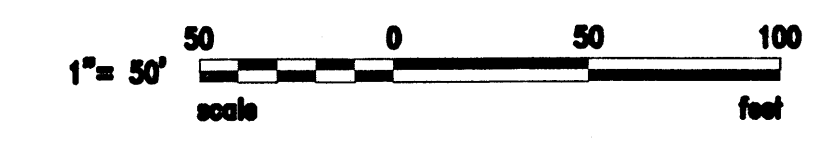
REVIEWED BY: OF DWGS.



Zone 1000

ADMINISTRATIVE AMENDMENT
File # 05-0031 Project # 1002805
Adjustment to ADA Parking
APPROVED BY: *Bob Parker* DATE: *3/19/05*

LINE	BEARING(RECORD)	DISTANCE(RECORD)
L1	S16°36'21"E(S16°30'16"E)	26.04'(27.03')
L2	S77°40'48"W(S77°38'38"W)	76.30'(75.78')
L3	S48°16'37"E(S48°59'E)	34.79'(35.06')



10/20/04 10:00 AM 10/20/04 10:00 AM 10/20/04 10:00 AM 10/20/04 10:00 AM 10/20/04 10:00 AM

"SURVEY FOR LOWE'S HOME CENTERS, INC."
 ALTA /ACSM LAND TITLE SURVEY
TRACT D OF ST. ANTHONY'S ORPHANAGE
 WITHIN SECTION 7, T.10N., R3E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER 2003

LINE	BEARING(RECORD)	DISTANCE(RECORD)
L1	S16°36'21"E(S16°30'16"E)	26.04'(27.03')
L2	S77°40'48"W(S77°36'36"W)	76.30'(75.78')
L3	S48°16'37"E(S48°59'E)	34.79'(35.06')

10' PUBLIC SERVICE COMPANY
 OF NEW MEXICO AND MOUNTAIN STATES
 TELEPHONE AND TELEGRAPH COMPANY EASEMENT
 FILED: JULY 24, 1974
 BOOK MISC. 378, PAGE 282
 DOCUMENT #20945
 (SEE EXCEPTION NO. 12,
 SHEET 1 OF 3)

UNABLE TO SET-GALVANIZED
 FENCE POST IN PLACE
 ST. ANTHONY'S ORPHANAGE
 (RECORD OWNER: US DEPT OF
 LABOR C/O JOB CORPS)

WATER LINE EASEMENT
 TRACT D OF
 ST. ANTHONY'S ORPHANAGE
 FILED: MAY 8, 1975
 VOLUME C10, FOLIO 114
 (SEE EXCEPTION NO. 14,
 SHEET 1 OF 3)

EXISTING COMMERCIAL BUILDING
 (SINGLE STORY)

TRACT D
589,132 SQ. FT.
13.52 ACRES

MATCH LINE

SEE SHEET 3 OF 3

SURVEYOR'S CERTIFICATE

I hereby certify to Lowe's Home Centers, Inc. and Fidelity National Title Insurance Company of New Mexico and to its successors and assigns, that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes Items 1-10, (Item #11 is not included at this time) and Item 13 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect on the date of this certification, undersigned further certifies that the Positional Uncertainties resulting from the survey measurements made on the survey do not exceed the allowable Positional Tolerance.

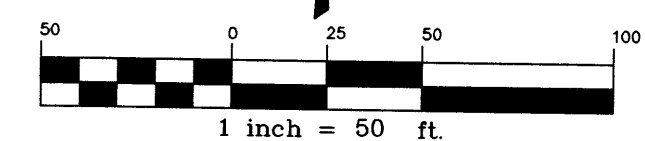
The undersigned hereby certifies to Fidelity National Title Insurance Company and Lowe's Home Centers, Inc., that this survey was actually made upon the ground; that it and the information, courses, angles and distances shown thereon are correct; that this survey correctly shows the location of all buildings, structures and other improvements on the Premises, including, without limitation, all streets, easements, rights-of-way and utility lines; and that, except as shown, there are no (a) easements or rights-of-way across the Premises; (b) party walls, (c) encroachments on adjoining premises, streets or alleys of any of said buildings, structures or improvements, or (d) encroachments upon the Premises by any building, structure or other improvements situated on any adjoining premises; physical evidence of boundary lines on all sides of the Premises is as stated on the survey; and that the improvements do not violate any setback other building lines.

I hereby certify that this survey has been made using the latest recorded plat or deed, that there are no encroachments other than those shown, and that the survey is correct to the best of my knowledge and belief

CHRISTOPHER S. CROSHAW, R.P.S. No. 14733

Date

Adopted by the American Land Title Association on October 6, 1999.
 Adopted by the Board of Direction, American Congress on Surveying and Mapping on October 20, 1999.
 Adopted by the Board of Directors, National Society of Professional Surveyors on October 19, 1999.
 American Land Title Association, 1828 L St., N.W., Suite 705, Washington, D.C. 20036
 American Congress on Surveying and Mapping, 5410 Grosvenor Lane, Bethesda, MD 20814
 National Society of Professional Surveyors, 5410 Grosvenor Lane, Bethesda, MD 20814



REVISION BLOCK

NO.	DATE	DESCRIPTION	BY

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
SHEET 2 OF 3
 WCEA PROJ. NO. X3-218-004

LAYOUT NAME: ALTA_SH02
 DRAWING NAME: SX3218004XT.dwg
 NETWORK ADDRESS: t:\projects\X3218004\s\...

Plot By: RRL

"SURVEY FOR LOWE'S HOME CENTERS, INC."
 ALTA /ACSM LAND TITLE SURVEY
 TRACT D OF ST. ANTHONY'S ORPHANAGE
 WITHIN SECTION 7, T.10N., R.3E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER 2003

TRACT D
589,132 SQ. FT.
13.52 ACRES

SEE SHEET 2 OF 3

10' PUBLIC SERVICE COMPANY
 OF NEW MEXICO AND MOUNTAIN STATES
 TELEPHONE AND TELEGRAPH COMPANY EASEMENT
 FILED: JULY 24, 1974
 BOOK MISC. 378, PAGE 282
 DOCUMENT #20945
 (SEE EXCEPTION NO. 12,
 SHEET 1 OF 3)

TRACT G
 ST. ANTHONY'S ORPHANAGE
 [RECORD OWNER: US DEPT OF
 LABOR C/O JOB CORPS]

WATER LINE EASEMENT
 TRACT D OF
 ST. ANTHONY'S ORPHANAGE
 FILED: MAY 8, 1975
 VOLUME C10, FOLIO 114
 (SEE EXCEPTION NO. 14,
 SHEET 1 OF 3)

WATER LINE EASEMENT
 TRACT D OF
 ST. ANTHONY'S ORPHANAGE
 FILED: MAY 8, 1975
 VOLUME C10, FOLIO 114
 (SEE EXCEPTION NO. 14,
 SHEET 1 OF 3)

WATER LINE EASEMENT
 TRACT D OF
 ST. ANTHONY'S ORPHANAGE
 FILED: MAY 8, 1975
 VOLUME C10, FOLIO 114
 (SEE EXCEPTION NO. 14,
 SHEET 1 OF 3)

CITY OF ALBUQUERQUE
 PERMANENT UTILITY EASEMENT AND
 RIGHT OF WAY
 FILED: NOVEMBER 30, 1967
 BOOK MISC. 87, PAGE 532
 DOCUMENT #73734
 (SEE EXCEPTION NO. 11,
 SHEET 1 OF 3)

CITY OF ALBUQUERQUE
 PERMANENT UTILITY EASEMENT AND
 RIGHT OF WAY
 FILED: NOVEMBER 30, 1967
 BOOK MISC. 87, PAGE 532
 DOCUMENT #73734
 (SEE EXCEPTION NO. 11,
 SHEET 1 OF 3)

$\Delta=94^{\circ}17'09''$ ($\Delta=04^{\circ}06'52''$)
 $R=76.43$ ($R=76.43$)
 $L=125.77$ ($L=125.54$)
 $T=82.37$
 $CB=S30^{\circ}32'14''W$
 $C=112.05'$

SANITARY MH
 N RIM EL=4961.50
 SW INV EL(60°)=4941.85
 NE INV EL(60°)=4942.12

SANITARY MH
 N RIM EL=4961.69
 W INV EL(60°)=4942.09
 E INV EL(60°)=4942.13

LINE	BEARING(RECORD)	DISTANCE(RECORD)
L1	S16°36'21"E(S16°30'16"E)	26.04'(27.03')
L2	S77°40'48"W(S77°36'36"W)	76.30'(75.78')
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SURVEYOR'S CERTIFICATE

I hereby certify to Lowe's Home Centers, Inc. and Fidelity National Title Insurance Company of New Mexico and to its successors and assigns, that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes Items 1-10, (Item #11 is not included at this time) and Item 13 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect on the date of this certification, undersigned further certifies that the Positional Uncertainties resulting from the survey measurements made on the survey do not exceed the allowable Positional Tolerance.

The undersigned hereby certifies to Fidelity National Title Insurance Company and Lowe's Home Centers, Inc., that this survey was actually made upon the ground; that it and the information, courses, angles and distances shown thereon are correct; that this survey correctly shows the location of all buildings, structures and other improvements on the Premises, including, without limitation, all streets, easements, rights-of-way and utility lines; and that, except as shown, there are no (a) easements or rights-of-way across the Premises; (b) party walls, (c) encroachments on adjoining premises, streets or alleys of any said buildings, structures or improvements, or (d) encroachments upon the Premises by any building, structure or other improvements situated on any adjoining premises; physical evidence of boundary lines on all sides of the Premises is as stated on the survey; and that the improvements do not violate any setback other building lines.

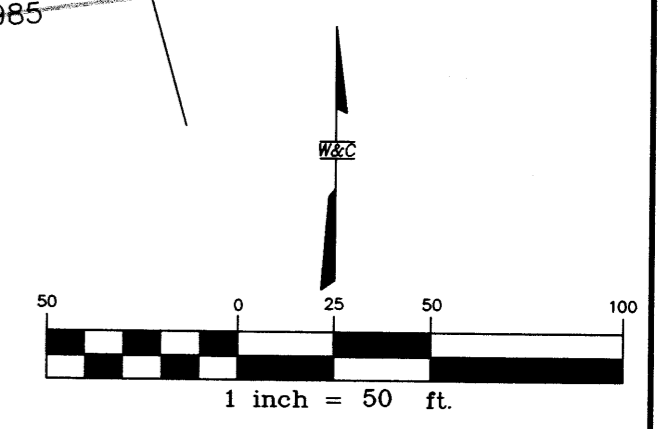
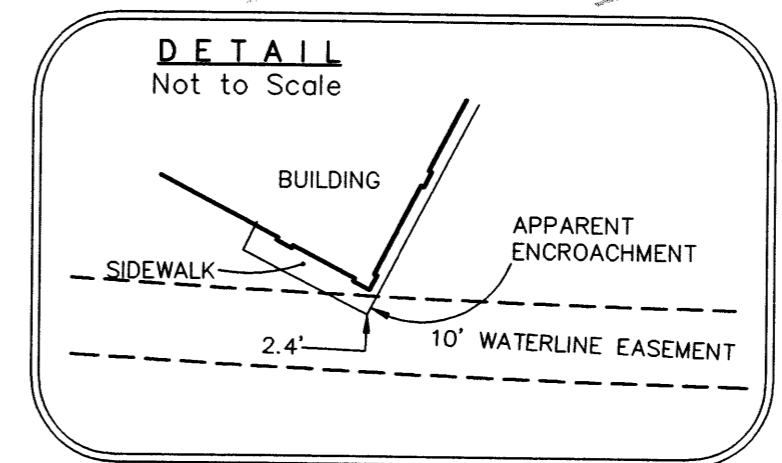
I hereby certify that this survey has been made using the latest recorded plat or deed, that there are no encroachments other than those shown, and that the survey is correct to the best of my knowledge and belief



CHRISTOPHER S. CROSHAW, R.P.S. No. 14733

Date

Adopted by the American Land Title Association on October 6, 1999.
 Adopted by the Board of Direction, American Congress on Surveying and Mapping on October 20, 1999.
 Adopted by the Board of Directors, National Society of Professional Surveyors on October 19, 1999.
 American Land Title Association, 1828 L St., N.W., Suite 705, Washington, D.C. 20036
 American Congress on Surveying and Mapping, 5410 Grosvenor Lane, Bethesda, MD 20814
 National Society of Professional Surveyors, 5410 Grosvenor Lane, Bethesda, MD 20814



NO.	DATE	DESCRIPTION	BY

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000

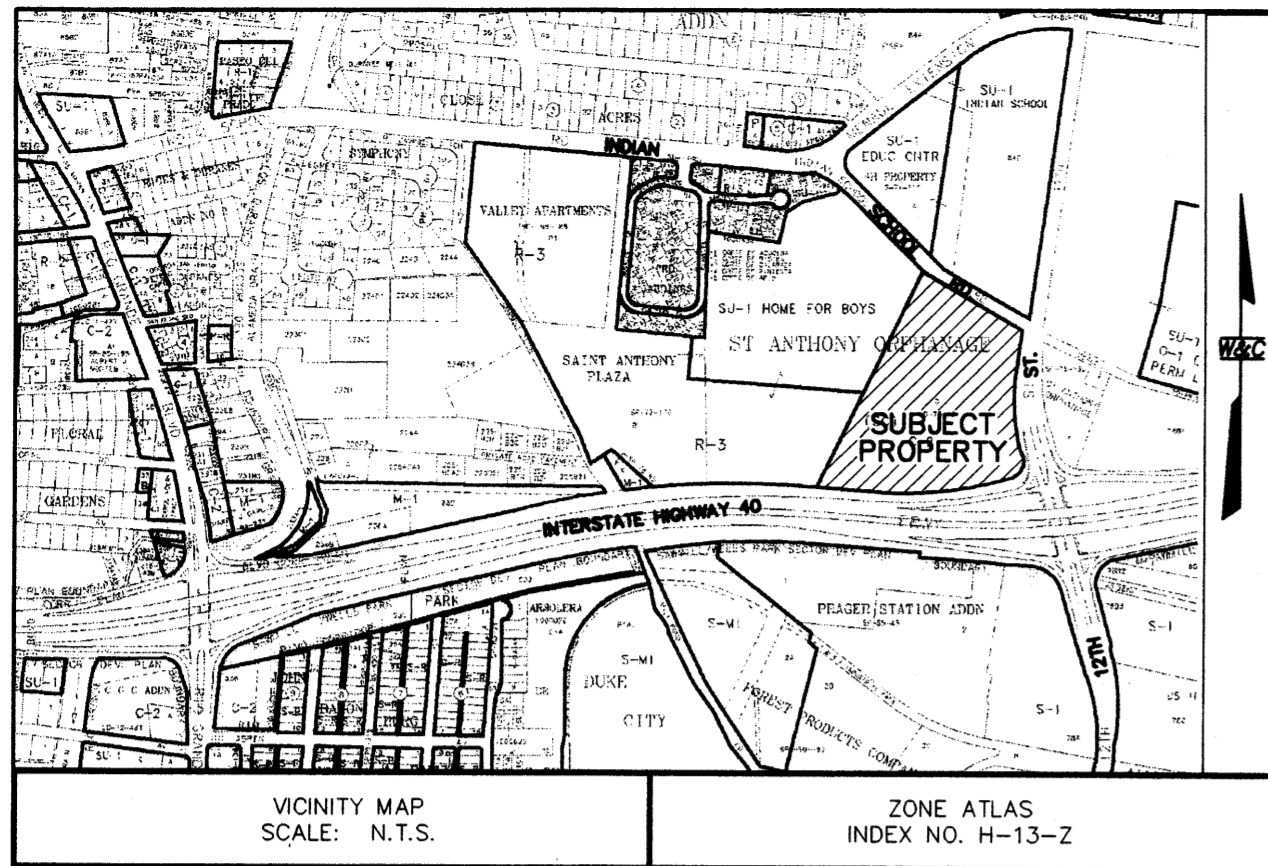
SHEET 3 OF 3

WCEA PROJ. NO. X3-218-004

LAYOUT NAME: ALTA_SH03
 DRAWING NAME: SX3218004XT.dwg
 NETWORK ADDRESS: t:\projects\X3218004\s\...

Plot By: RRL

PLAT OF
TRACT D-1 AND D-2
ST. ANTHONY'S ORPHANAGE
BEING A REPLAT OF TRACT D
 WITHIN SECTION 7
 TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL 2004



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:

TRACT D, ST. ANTHONY'S ORPHANAGE
 UNIFORM PROPERTY CODE: 101305943521340530
 OWNER OF RECORD: MOUNTAIN RUN PARTNERS, LTD.

BERNALILLO COUNTY TREASURES OFFICE: _____

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO CREATE TWO NEW LOTS AND GRANT ADDITIONAL EASEMENTS.

FREE CONSENT AND DEDICATION:

THE REPLAT AS SHOWN HEREON AND NOW COMPRISING TRACT D, ST. ANTHONY'S ORPHANAGE, AS SHOWN AND DESIGNATED ON SAID PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 10, 1973 IN VOLUME C9, FOLIO 26, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S). EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS AND ELECTRIC POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR ACT AND DEED. EASEMENTS GRANTED AS SHOWN HEREON WITH SAME STIPULATIONS AS LISTED ABOVE FOR EXISTING UTILITIES.

M+B language added

OWNER(S) AND/OR PROPRIETOR(S)
 TRACT D
 ST. ANTHONY'S ORPHANAGE

[Signature]
 PAUL BLANCHARD, MANAGING GENERAL PARTNER
 MOUNTAIN RUN PARTNERS, LTD.
 5850 EUBANK BLVD, NE
 SUITE B-62
 ALBUQUERQUE, NM 87111

ACKNOWLEDGMENT

STATE OF New Mexico)
 COUNTY OF Bernalillo) SS.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4th DAY OF May, 2004 BY Paul E. Blanchard PARTNER(S) ON BEHALF OF Mountain Run Partners, Ltd. A PARTNERSHIP.

NOTARY PUBLIC: *[Signature]*
 MY COMMISSION EXPIRES: 02/22/05

RECORDING INFORMATION FOR COUNTY CLERK

OWNER: MOUNTAIN RUN PARTNERS, LTD.
 SECTION: 7
 SUBDIVISION NAME: ST. ANTHONY'S ORPHANAGE

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 PLAT APPROVAL: _____
 UTILITY APPROVALS: _____

PRELIMINARY PLAT
APPROVED BY DRB
 ON 5/19/04

PNM ELECTRIC SERVICES _____ DATE _____
 PNM GAS SERVICES _____ DATE _____
 QWEST TELECOMMUNICATIONS _____ DATE _____
 COMCAST _____ DATE _____
 N/A _____ DATE _____
 NEW MEXICO UTILITIES _____ DATE _____

CITY APPROVALS:

[Signature] _____ 5-6-04 DATE
 CITY SURVEYOR
 N/A _____ DATE _____
 REAL PROPERTY DIVISION
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 UTILITIES DEVELOPMENT _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 AMAFCA _____ DATE _____
 CITY ENGINEER _____ DATE _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER S. CROSHAW, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST; IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE OCTOBER 1, 2000.

[Signature]
 CHRISTOPHER S. CROSHAW, NMPLS NO. 14733
28 APRIL 2004
 DATE



WILSON & COMPANY
 4900 LANG AVENUE NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 348-4000

SUBDIVISION DATA:
 ZONE ATLAS INDEX NO.: H-13-Z
 D.R.B. CASE NO.: _____
 COUNTY CASE NO.: N/A
 TOTAL NUMBER OF LOTS EXISTING: 1
 GROSS SUBDIVISION AREA: 13.5246 ACRES
 TALOS LOG NO. 2004162578
 D.R.B. APPLICATION NO.: _____
 DATE OF SURVEY: AUGUST 2003
 TOTAL NUMBER OF LOTS CREATED: 2
 TOTAL MILES OF STREETS CREATED: N/A

- SURVEY NOTES:**
- ACS CONTROL STATION "8-H13", DATA: STANDARD ACS 3-1/4" ALUMINUM CAP STAMPED "8-H-13, 1985". FLUSH WITH CURB. NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE), X= 374,102.61, Y=1,494,995.82, ELEV.=4960.533 (SLD 1929), GROUND TO GRID FACTOR = 0.9996809, DELTA ALPHA = -00'14'31", NAD 1927
 - ACS CONTROL STATION "7-H13", DATA: STANDARD ACS BRASS TABLET STAMPED "7-H13". SET FLUSH WITH ASPHALT PAVING. NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE), X= 373,707.44, Y= 1,495,715.39, ELEV.=4961.715 (SLD 1929), GROUND TO GRID FACTOR = 0.9996810, DELTA ALPHA = -00'14'34", NAD 1927
 - FIELD SURVEY PERFORMED ON AUGUST 19-22, 2003.
 - BEARINGS ARE NEW MEXICO STATE PLANE GRID BASED ON A LINE FROM "ACS 8-H13" TO "ACS 7-H13". BEARING = N28°46'28"W.
 - ALL DISTANCES ARE GROUND DISTANCES.
 - CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 14733".
 - GEOGRAPHIC COORDINATES FOR CENTER OF SUBJECT PROPERTY IS AS FOLLOWS: LATITUDE=N35°06'26" (NAD27), LONGITUDE=W106°39'31"
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED USING EXISTING DRAWINGS AND ALL INFORMATION AVAILABLE FROM THE RESPECTIVE UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. ALTHOUGH HE DOES CERTIFY THAT ALL UTILITIES DISCLOSED BY ALL AVAILABLE INFORMATION ARE SHOWN. THE SURVEYOR FURTHER DOES NOT WARRANT THAT UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
 - SUBJECT PROPERTY IS ZONED C-2. FRONT AND SIDE SET BACK LINES ARE NOT SPECIFICALLY DETERMINED, BUT ARE SUBJECT TO CONDITIONS AND RESTRICTIONS REFERENCED PER CITY OF ALBUQUERQUE "COMPREHENSIVE CITY ZONING CODE, SECTION 14-16-2-24".
 - BEARINGS AND DISTANCES IN PARENTHESIS () ARE OF RECORD.

Layout Name: SUB PLAT_SHT 01
 Drawing Name: SX3218004_SUB PLAT.DWG
 NETWORK ADDRESS: X:\PUBLIC\PROJECTS\X3218004\S\...

Plot By: RRL

PLAT OF
TRACT D-1 AND D-2
ST. ANTHONY'S ORPHANAGE
BEING A REPLAT OF TRACT D

WITHIN SECTION 7
TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL 2004

LEGAL DESCRIPTION (TRACT D)

A certain parcel of land being identified as Tract D, ST. ANTHONY'S ORPHANAGE, as shown and designated on said plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on January 10, 1973 in Volume: C9, folio: 26; said parcel lying situate within Section 7, Township 10 North, Range 3 East of the New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico and being more particularly described as follows:

Beginning at the most Northerly corner of said parcel herein described, being a point on the existing Southwesterly right of way line of a public road identified as Indian School Road NW, and also being the same point as the most Northerly corner of said Tract D; whence, the A.C.S. Control Station identified as "ACS 8-H13", with New Mexico State Plane Coordinate values being X=374,102.61 and Y=1,494,995.82, a 3-1/4" aluminum cap, in place, bears, S.85°24'25"W. , a distance of 3,382.44 feet; thence, from said point of beginning, along said Southwesterly right of way line (for the next Three (3) courses),

S.48°16'37"E. , a distance of 34.79 feet to an angle point (a found PK nail); thence,

S.57°20'33"E. , a distance of 135.97 feet to an angle point (a found nail/shiner); thence,

S.59°35'53"E. , a distance of 353.30 feet to the Northeast corner of said parcel herein described (a PK nail/shiner stamped "PS14733", set for this survey), being a point on the existing Westerly right of way line of a public road identified as 12th Street NW; thence, along said Westerly right of way line (for the next Four (4) courses),

S.08°25'51"W. , a distance of 223.67 feet to a point of curvature (a found chiseled "X"); thence,

Southeasterly, 307.32 feet along a curve to the left through a central angle of 24°29'58" (said curve having a radius of 718.72 feet and a chord which bears S.03°48'51"E., 304.98 feet) to a point of tangency (a found Rebar/cap—Illegible); thence,

S.16°36'21"E. , a distance of 26.04 feet to a point of curvature (a found T-Rail); thence,

Southwesterly, 125.77 feet along a curve to the right through a central angle of 94°17'09" (said curve having a radius of 76.43 feet and a chord which bears S.30°32'14"W., 112.05 feet) to a point of tangency (a found T-Rail), being a point on the Northerly right of way line of U.S. Interstate 40 onramp; thence, along said Northerly right of way line (for the next Three (3) courses),

S.77°40'48"W. , a distance of 76.30 feet to a point of curvature (a found T-Rail); thence,

Southwesterly, 483.20 feet along a curve to the right through a central angle of 15°03'01" (said curve having a radius of 1,839.54 feet and a chord which bears S.85°46'10"W., 481.81 feet) to a point of tangency (a found T-Rail); thence,

N.86°43'03"W. , a distance of 317.24 feet to the Southwest corner of said parcel herein described (a found T-Rail), being the same point as the Southwest corner of said Tract D; thence, leaving said Northerly right of way line,

N.26°19'53"E. , a distance of 730.05 feet to an angle point (a found galvanized fence post in place—unable to set monument for this survey); thence,

N.28°38'32"E. , a distance of 343.76 feet to the most Northerly corner of said parcel herein described (a found 5/8" rebar), the POINT OF BEGINNING and containing an area of 13.5246 acres, more or less (589,131.97 square feet, more or less).

Legal description prepared by Christopher S. Croshaw, N.M.P.S. No. 14733.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S16°36'21"E(S16°30'16"E)	26.04'(27.03')
L2	S77°40'48"W(S77°36'36"W)	76.30'(75.78')
L3	S48°16'37"E(S48°59'E)	34.79'(35.06')
L4	S26°39'00"W	16.93
L5	S63°21'00"E	10.00
L6	N26°39'00"E	16.28
L7	S59°35'53"E	10.02
L8	S63°21'16"E	3.05
L9	N26°39'00"E	10.00
L10	N63°21'00"W	3.04
L11	S63°21'00"E	4.03
L12	N26°39'00"E	10.00
L13	S63°21'00"E	4.03
L14	S63°21'00"E	41.31
L15	S26°39'00"W	18.33
L16	S63°21'00"E	41.31
L17	S26°38'44"W	6.52
L18	S59°35'53"E	20.04
L19	N03°16'57"E	32.65
L20	S86°43'03"E	10.00
L21	S03°16'57"W	32.65
L22	S86°43'03"E	10.00
L23	S86°43'03"E	10.42
L24	N63°40'07"W	20.00

UTILITY COMPANY APPROVAL(S):

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE NOT EXCLUSIVE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF THE UTILITIES DESIGNATED ON THIS PLAT, THEIR SUCCESSORS AND ASSIGNS, AND FOR THE USE OF ANY OTHER PUBLIC UTILITIES WHOSE USE OF SAID EASEMENT IS DEEMED TO BE IN THE PUBLIC INTEREST.

P.N.M. GAS & ELECTRIC SERVICES DISCLAIMER: IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.

EASEMENTS:

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED. PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

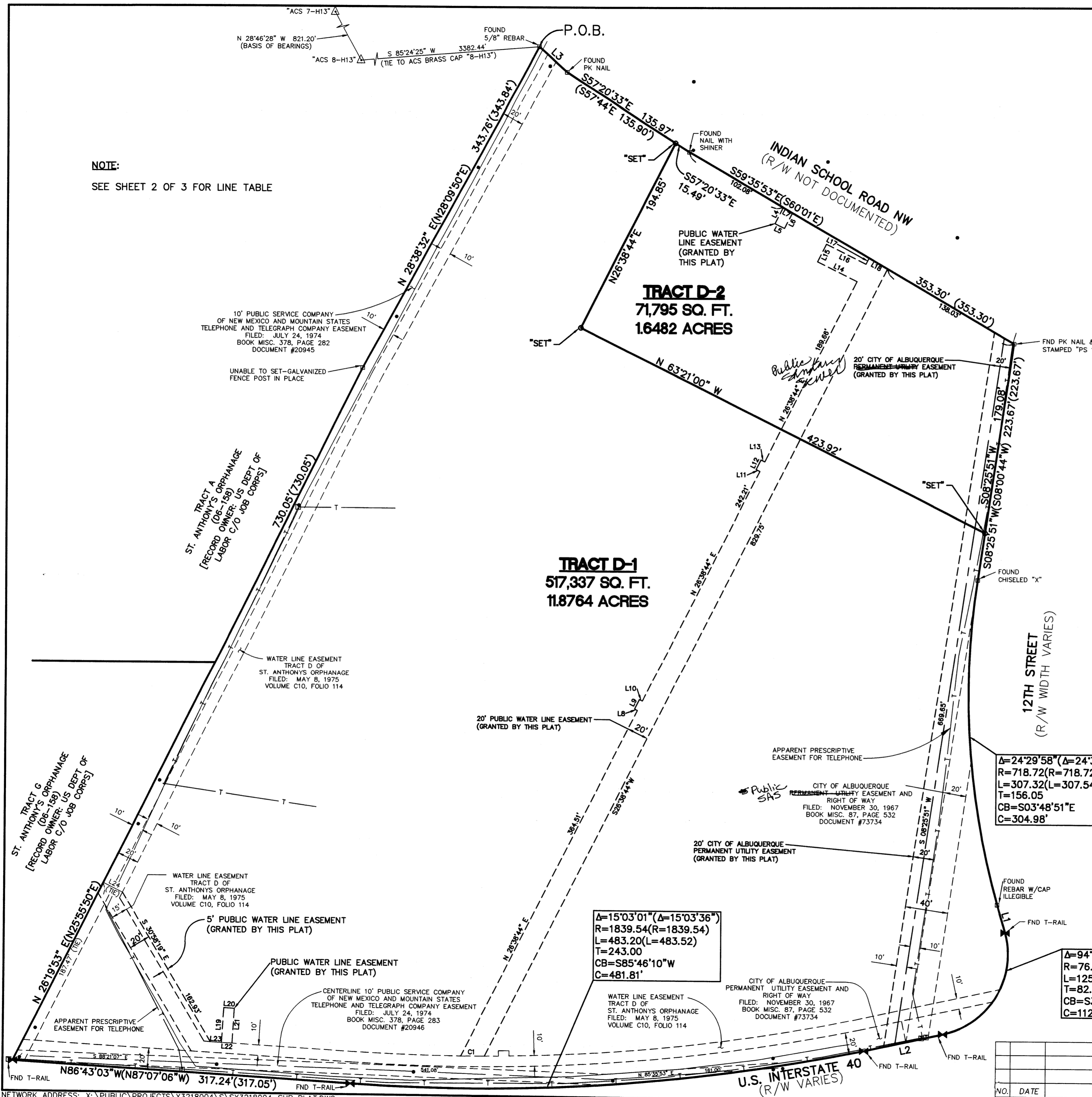
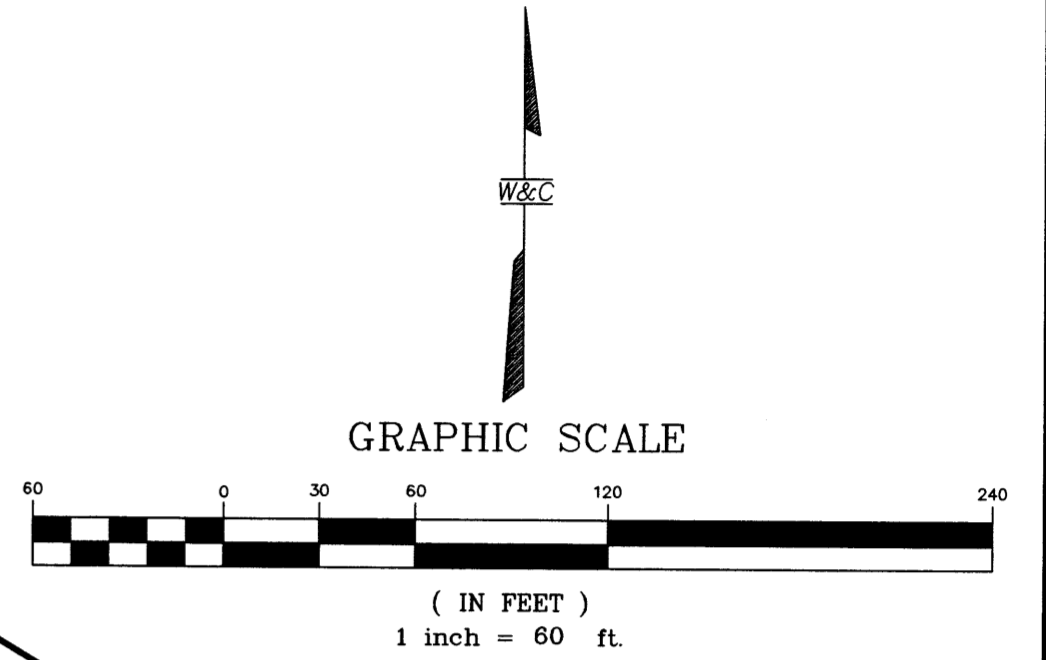
1. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. U.S. WEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST DIGITAL CABLE FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH UNDERGROUND LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER TO FREE ACCESS TO, FROM AND ABOVE SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR OR ANY WELL SHALL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT. EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE OF THE TRANSFORMER/SWITCHGEAR.

WILSON
& COMPANY
4900 LANG AVENUE NE
ALBUQUERQUE, NEW MEXICO
87109
(505) 348-4000

PLAT OF
TRACT D-1 AND D-2
ST. ANTHONY'S ORPHANAGE
BEING A REPLAT OF TRACT D
 WITHIN SECTION 7
 TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL 2004

NOTE:
 SEE SHEET 2 OF 3 FOR LINE TABLE



$\Delta=24^{\circ}29'58''$ ($\Delta=24^{\circ}31'00''$)
 $R=718.72$ ($R=718.72$)
 $L=307.32$ ($L=307.54'$)
 $T=156.05$
 $CB=S03^{\circ}48'51''E$
 $C=304.98'$

$\Delta=15^{\circ}03'01''$ ($\Delta=15^{\circ}03'36''$)
 $R=1839.54$ ($R=1839.54$)
 $L=483.20$ ($L=483.52$)
 $T=243.00$
 $CB=S85^{\circ}46'10''W$
 $C=481.81'$

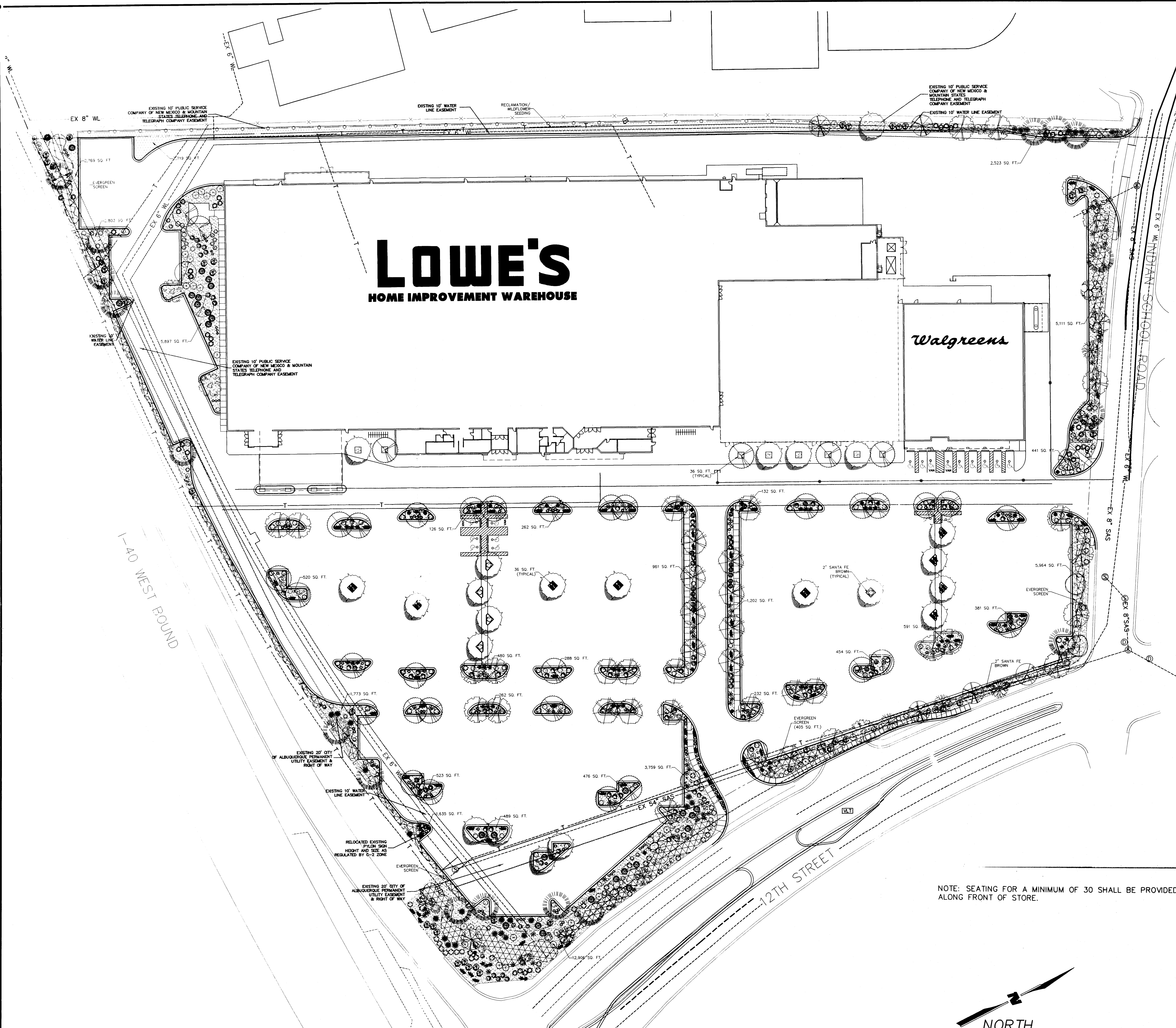
$\Delta=94^{\circ}17'09''$ ($\Delta=94^{\circ}06'52''$)
 $R=76.43$ ($R=76.43$)
 $L=125.77$ ($L=125.54$)
 $T=82.37$
 $CB=S30^{\circ}32'14''W$
 $C=112.05'$

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000

REVISION BLOCK

NO.	DATE	DESCRIPTION	BY

NETWORK ADDRESS: X:\PUBLIC\PROJECTS\X3218004\X3218004_SUB PLAT.DWG



LOWE'S
HOME IMPROVEMENT WAREHOUSE

Walgreens

I-40 WEST BOUND

12TH STREET

INDIAN SCHOOL ROAD

NOTE: SEATING FOR A MINIMUM OF 30 SHALL BE PROVIDED WITH BENCHES ALONG FRONT OF STORE.

GENERAL:

DESIGN & PROVISION OF LANDSCAPE FEATURES WITHIN THE LOWE'S SITE WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, THE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE IN GENERAL WATER CONSERVATIVE LANDSCAPE PRINCIPALS WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

TREE REQUIREMENTS:

TREES WITHIN THE PARKING AREA ARE REQUIRED AT A RATE OF 1 TREE PER 10 PARKING SPACES. REQUIRED: 56 PROVIDED: 140

COVERAGE:

AT MATURITY, PLANT MATERIAL SHALL COVER A MINIMUM OF 75% OF PLANTING AREAS.

PLANT PALETTE:

- EVERGREEN TREES (6' MIN. HEIGHT)
- PINON PINE (PINUS EDULIS)
- DECIDUOUS TREES (2" CAL. MIN)
- AUTUMN PURPLE ASH (FRAXINUS AMERICANA 'AUTUMN PURPLE'), HONEY LOCUST (GLEDTISIA TRIACANTHOS VAR. INERMIS), CHINESE PISTACHE (PISTACIA CHINENSIS), FLOWERING LOCUST (ROBINIA PSEUDOACACIA DECAISNEANA).
- ACCENT TREES (2" CAL. MIN)
- CHITALPA (CHITALPA X CHILOPSIS), DESERT WILLOW (CHILOPSIS LINEARIS), NEW MEXICO OLIVE (FORESTIERA PUBESCENS NUTT. PUBESCENS), VITEX (VITEX AGNUS-CASTUS), RED BUD (CERCIS CANADENSIS), ORNAMENTAL PEAR (PYRUS CALLERYANA 'ARISTOCRAT')

BERMED EVERGREEN SCREEN (1 1/2" GRAVEL/MULCH AT 4" DEPTH)

TURPENTINE BUSH (ERICAMERIA LARICIFOLIA), SAND SAGE (ARTEMISIA FILIFOLIUM), LAVENDER (LAVANDULA ANGUSTIFOLIA), SPANISH BROOM (SPARTIUM JUNCEUM), APACHE PLUME (FALLUGIA PARADOXA), CREOSOTE (LARREA TRIDENTATA). BERMS TO BE MIN. 30" AND MAX. 36" HEIGHT.

NOTE:

LANDSCAPING BERMS WITH EVERGREEN SHRUBS SHALL BE PROVIDED WHERE PARKING FRONTS ROADWAY.

SHRUBS, GROUND COVERS, AND ORNAMENTAL GRASSES (1 & 5 GALLON)

POTENTILLA (POTENTILLA FRUTICOSA), ARTEMISIA SPECIES (ARTEMISIA MILIFOLIUM), RED YUCCA (HESPERALOE PARVIFLORA), COTONEASTER SPECIES (COTONEASTER DIVARICATUS & GLAUCOPHYLLUS), CHERRY SAGE (SALVIA GREGGII), RUSSIAN SAGE (PEROVSKIA ATRIPLICIFOLIA), THREE LEAF SUMAC (RHUS TRILOBATA), BLUE MIST (CARYOPTERIS X GLADONENSIS), SCOTCH BROOM (CYTISUS SCOPARIUS), ROSEMARY (ROSMARINUS OFFICINALIS), SANTOLINA (SANTOLINA VIRENS), BIRD OF PARADISE (CAESALPINIA GILLESII), BOWLES MAUVE WALLFLOWER (ERYSIMUM 'BOWLES MAUVE'), SANTA FE PHLOX (PHLOX NANA), DESERT MARIGOLD (BAILEYA MULTIRADIATA), MAIDENGRASS (MISCANTHUS SINENSIS 'GRACILLIMUS'), LITTLE BLUESTEM (ANDROPOGON GERARDI), THREADGRASS (STIPA TENNUISIMM).

MULCH:

2" SANTA FE BROWN GRAVEL TO 3" DEPTH. MULCH SHALL BE INSTALLED IN ALL BED AREAS.

BOULDERS:

MOSS ROCK BOULDERS, (3' MIN. DIAMETER).

RECLAMATION/WILDFLOWER SEEDING:

NATIVE GRASSES AND FLOWERS INCLUDING INDIAN RICE GRASS, BLUE GRAMA, WILD HYSSOP, GLOBE MALLOW, CALIFORNIA POPPY, DESERT MARIGOLD, GAILLARDIA, DESERT FOUR' O CLOCKS, AND PURPLE ASTER.

IRRIGATION SYSTEM:

IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE UTILIZED TO IRRIGATE TREES, SHRUBS, ORNAMENTAL GRASSES AND GROUND COVER PLANTING AREAS.

MAINTENANCE RESPONSIBILITY:

MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THAT WITHIN THE ADJACENT PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF THE OWNER.

ZONING CODE LANDSCAPE REQUIREMENTS:

TOTAL SITE AREA	589,367 SF
BUILDING FOOTPRINT/SERVICE AREAS	-179,240 SF = 17,037 SF
PUBLIC R.O.W.	-17,388 SF
TOTAL AREA	375,702 SF
REQUIRED PERCENTAGE	15%
LANDSCAPE AREA REQUIRED	56,355 SF
LANDSCAPE AREA PROVIDED	58,269 SF
HIGH WATER USE TURF ALLOWED (20%)	11,844 SF
HIGH WATER USE TURF PROVIDED	0 SF

LOWE'S HOME CENTERS, INC.
P.O. BOX 1111 N. WILKESBORO, NC 28656

REVISIONS

DATE	DESCRIPTION

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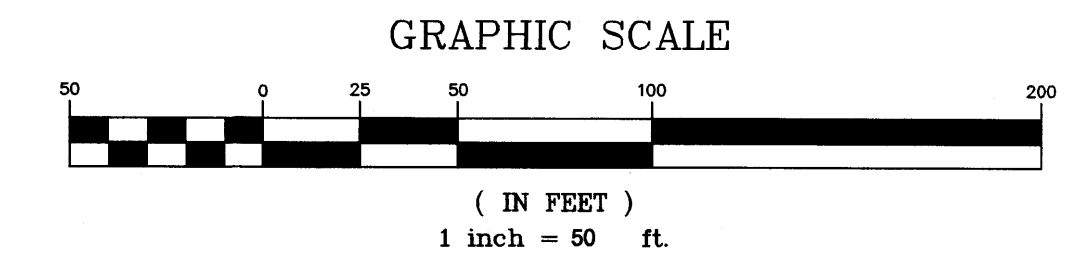
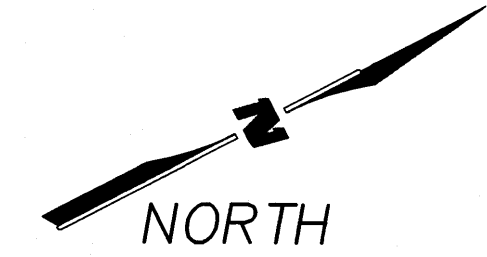
IPRAN OASIS
CHIHUAHUA DESERT LANDSCAPE ARCHITECTURE
3214 E. Yandell Dr., Suite B
El Paso, TX 79903
(915) 565-6114

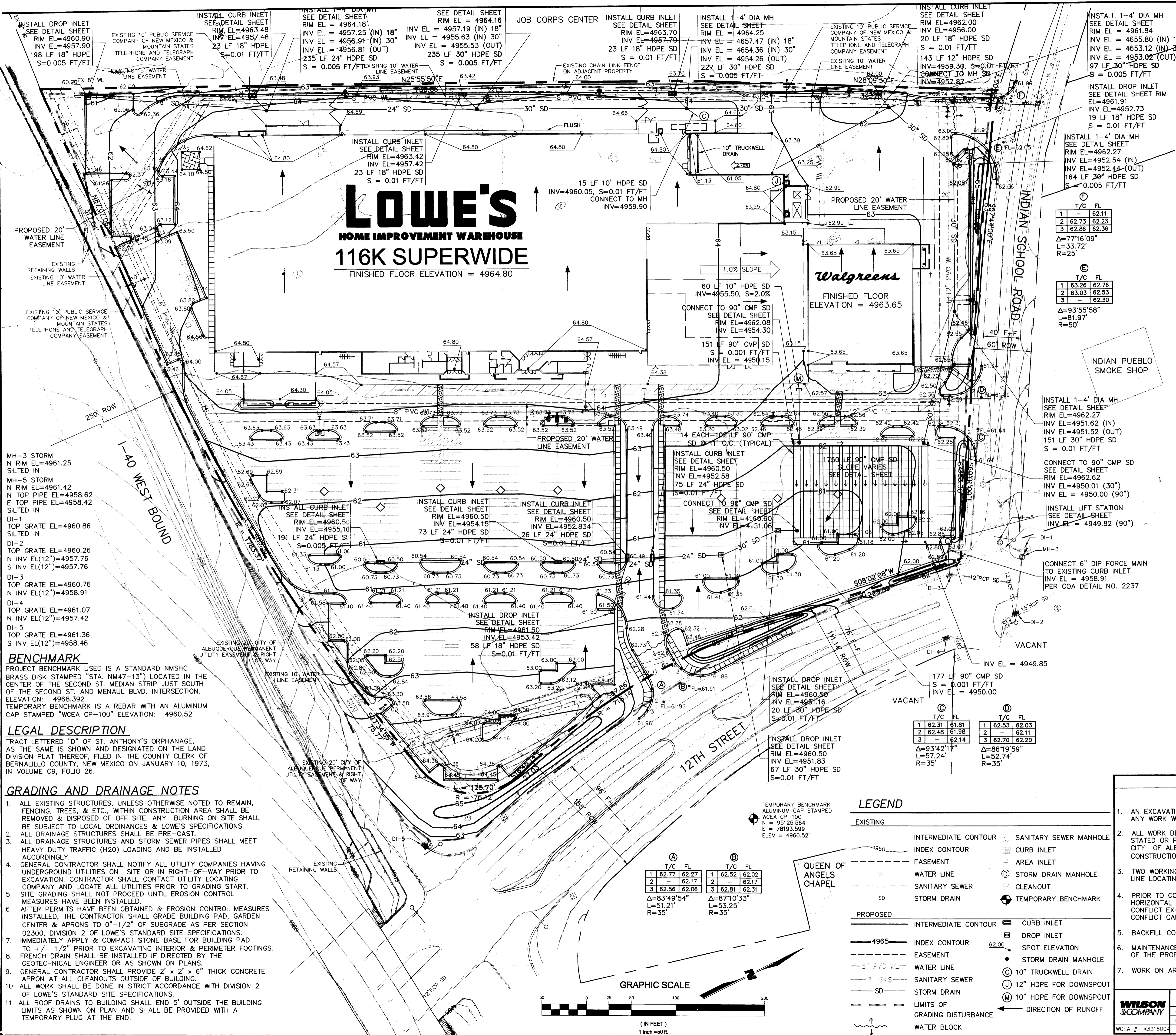
LOWE'S ENGINEERING AND CONSTRUCTION
PROJECT No. X3218004 | DRAWN BY: MRK | CHECKED BY: RTJ
336.658.4000 (V) 336.658.3257 (F)

LANDSCAPE PLAN
LOWE'S OF CENTRAL ALBUQUERQUE
CENTRAL ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
PROJECT No. X3218004 | DRAWN BY: MRK | CHECKED BY: RTJ

ORIGINAL ISSUE DATE:
PERMIT SET ISSUE DATE:
CONSTRUCTION SET ISSUE DATE:
DRAWING NUMBER:
L-1
OF 1 SHEET 1

LANDSCAPE PLAN
SCALE 1"=50'





LOWE'S

HOME IMPROVEMENT WAREHOUSE

116K SUPERWIDE

FINISHED FLOOR ELEVATION = 4964.80

BENCHMARK
PROJECT BENCHMARK USED IS A STANDARD NMSHC BRASS DISK STAMPED "STA. NM47-13" LOCATED IN THE CENTER OF THE SECOND ST. MEDIAN STRIP JUST SOUTH OF THE SECOND ST. AND MENAUL BLVD. INTERSECTION. ELEVATION: 4958.32
TEMPORARY BENCHMARK IS A REBAR WITH AN ALUMINUM CAP STAMPED "WCEA CP-10" ELEVATION: 4960.52

LEGAL DESCRIPTION
TRACT LETTERED "D" OF ST. ANTHONY'S ORPHANAGE, AS THE SAME IS SHOWN AND DESIGNATED ON THE LAND DIVISION PLAT THEREOF, FILED IN THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 10, 1973, IN VOLUME C9, FOLIO 26.

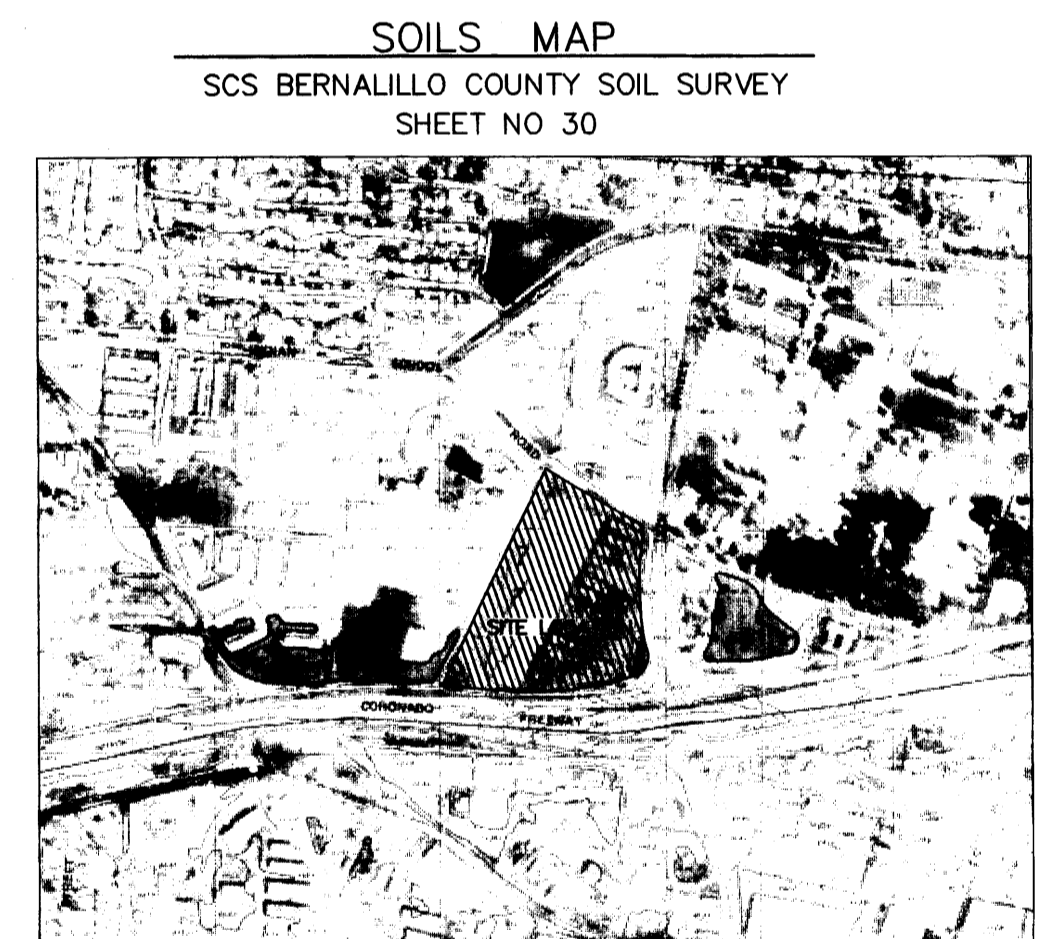
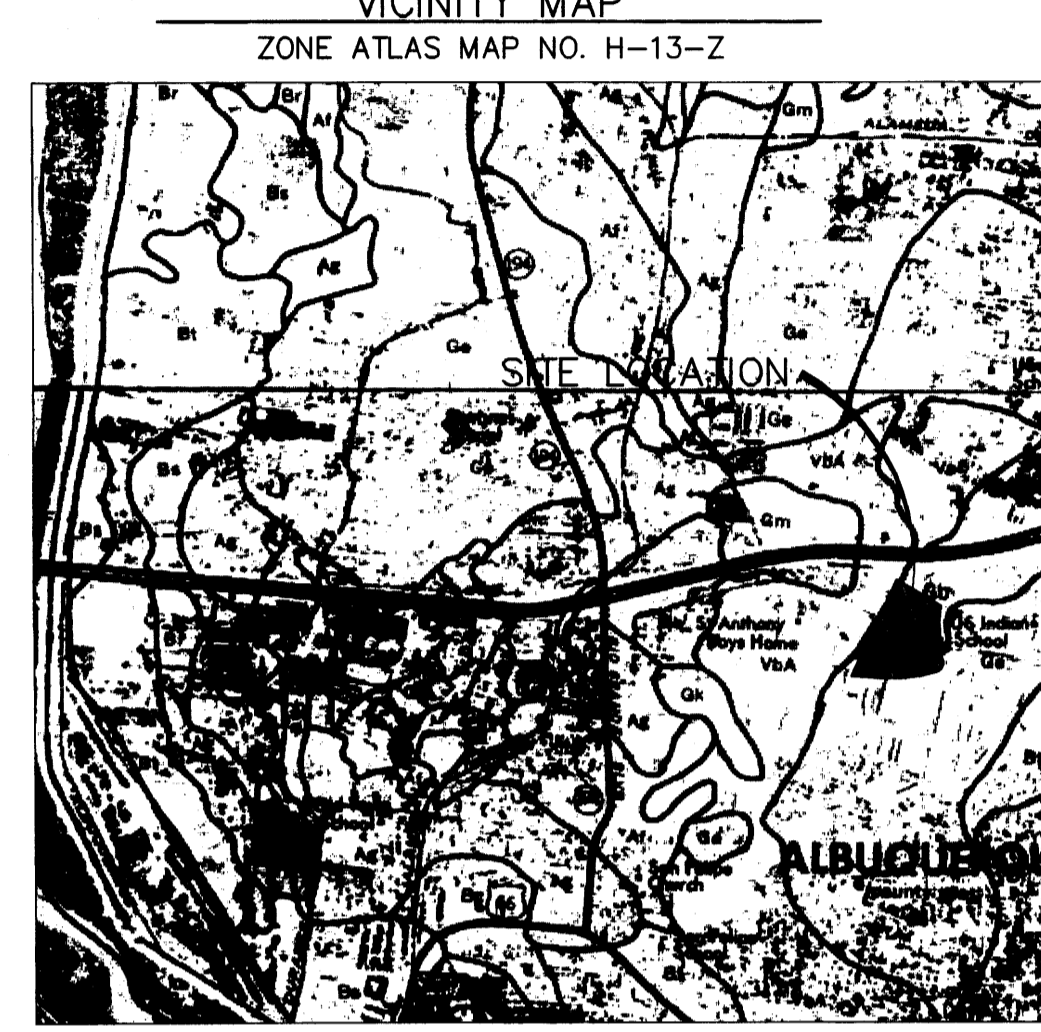
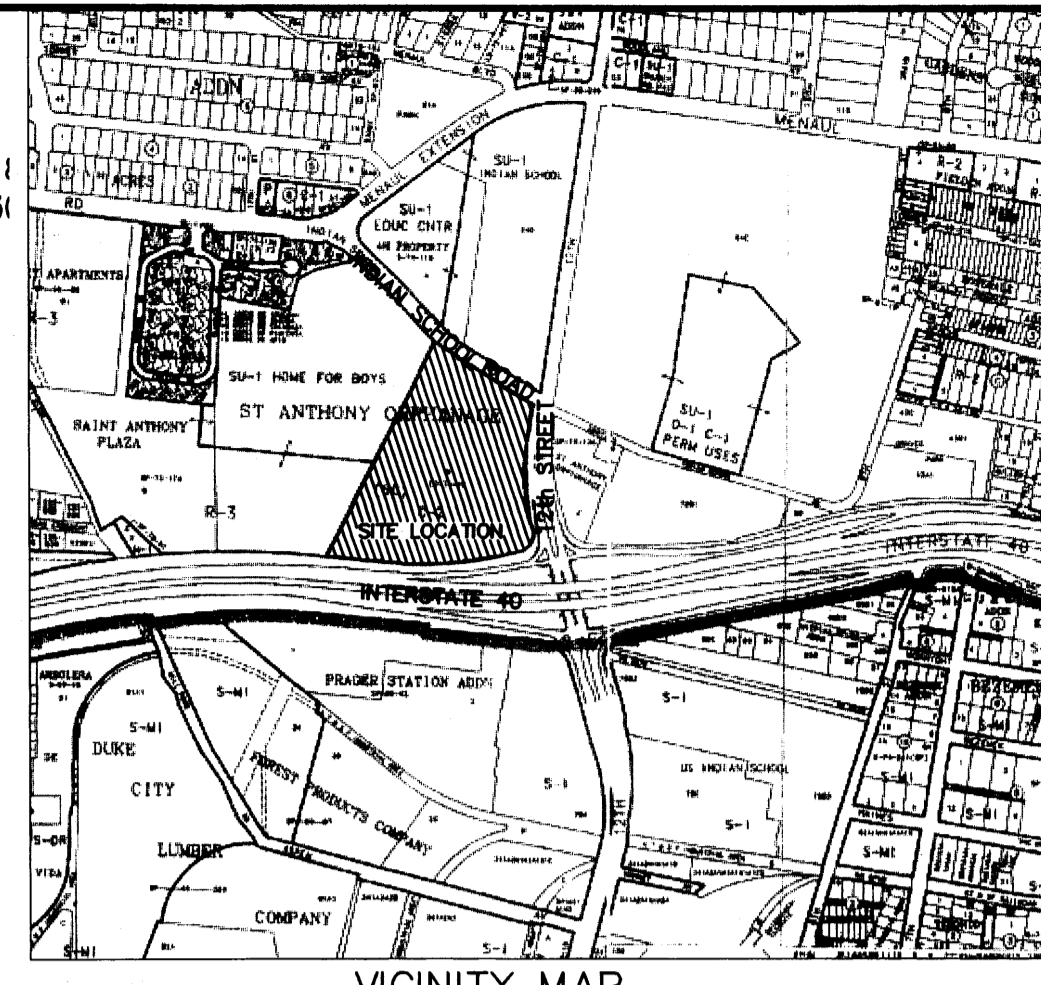
GRADING AND DRAINAGE NOTES

- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES & LOWE'S SPECIFICATIONS.
- ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL GRADE BUILDING PAD, GARDEN CENTER & APRONS TO 0" - 1/2" OF SUBGRADE AS PER SECTION 02300, DIVISION 2 OF LOWE'S STANDARD SITE SPECIFICATIONS. IMMEDIATELY APPLY & COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO EXCAVATING INTERIOR & PERIMETER FOOTINGS.
- FRENCH DRAIN SHALL BE INSTALLED IF DIRECTED BY THE GEOTECHNICAL ENGINEER OR AS SHOWN ON PLANS.
- GENERAL CONTRACTOR SHALL PROVIDE 2" x 2" x 6" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF LOWE'S STANDARD SITE SPECIFICATIONS.
- ALL ROOF DRAINS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END.

LEGEND

EXISTING		PROPOSED	
—	INTERMEDIATE CONTOUR	—	INTERMEDIATE CONTOUR
---	INDEX CONTOUR	—	INDEX CONTOUR
---	EASEMENT	—	EASEMENT
---	WATER LINE	—	WATER LINE
---	SANITARY SEWER	—	SANITARY SEWER
---	STORM DRAIN	—	STORM DRAIN
---	LIMITS OF GRADING DISTURBANCE	—	LIMITS OF GRADING DISTURBANCE
---	WATER BLOCK	—	WATER BLOCK
—	SANITARY SEWER MANHOLE	—	SANITARY SEWER MANHOLE
—	CURB INLET	—	CURB INLET
—	AREA INLET	—	AREA INLET
—	STORM DRAIN MANHOLE	—	STORM DRAIN MANHOLE
—	CLEANOUT	—	CLEANOUT
—	TEMPORARY BENCHMARK	—	TEMPORARY BENCHMARK
—	DROP INLET	—	DROP INLET
—	SPOT ELEVATION	—	SPOT ELEVATION
—	STORM DRAIN MANHOLE	—	STORM DRAIN MANHOLE
—	10" TRUCKWELL DRAIN	—	10" TRUCKWELL DRAIN
—	12" HDPE FOR DOWNSPOUT	—	12" HDPE FOR DOWNSPOUT
—	10" HDPE FOR DOWNSPOUT	—	10" HDPE FOR DOWNSPOUT
—	DIRECTION OF RUNOFF	—	DIRECTION OF RUNOFF

GRAPHIC SCALE
1 inch = 50 ft



APPROVED FOR ROUGH GRADING ±1'

COA _____ DATE _____

NOTICE TO CONTRACTOR

- AN EXCAVATION/ CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

REVISIONS	
DATE	DESCRIPTION

BRIGITTE FULLER
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
15102
12304

WILSON & COMPANY
2600 THE AMERICAN ROAD SE
SUITE 100
RIO RANCHO, NEW MEXICO
87124
(505) 898-8021

LOWE'S HOME CENTERS, INC.
HWY. 268 EAST, EAST DOCK
N. WILKESBORO, NC 28659
336.658.4000 (V) 336.658.3257 (F)

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LOWE'S

CENTRAL ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
PROJECT NO. X3218004 DRAWN BY: MDG CHECKED BY: BME

GRADING AND DRAINAGE PLAN

APPROVALS

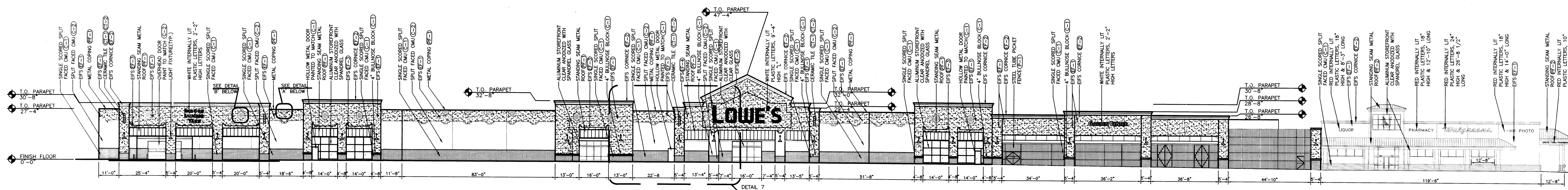
NAME	DATE

WILSON & COMPANY
HYDROLOGIST
INSPECTOR
WCEA # X3218004 A.C.E./FIELD

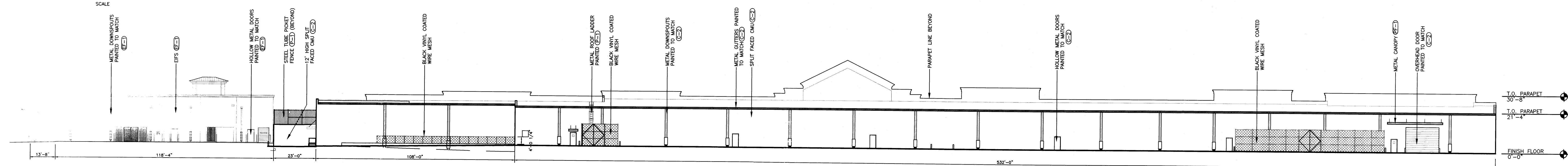
LOWE'S
CENTRAL ALBUQUERQUE
MAP NO. H-13-Z

C3

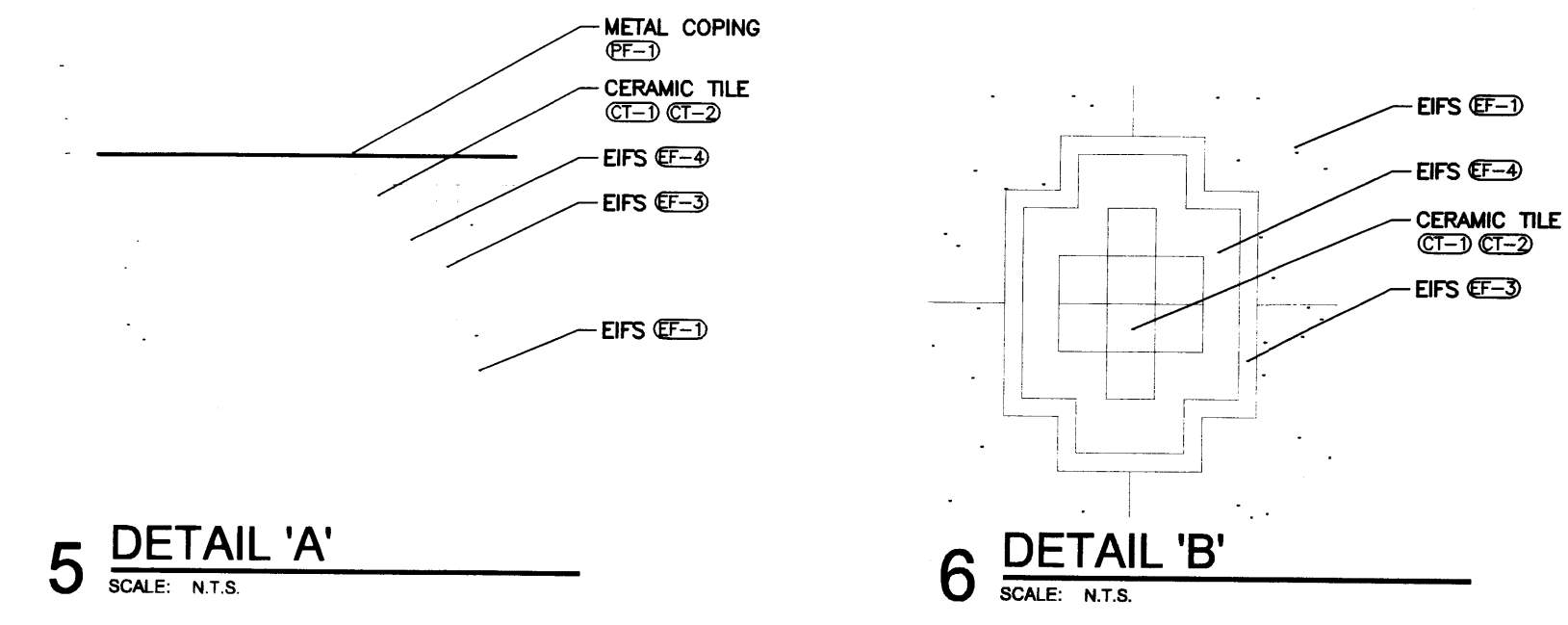
ORIGINAL ISSUE DATE: 12/17/03
PERMIT SET ISSUE DATE: _____
CONSTRUCTION SET ISSUE DATE: _____
DRAWING NUMBER: _____



4 EAST ELEVATION
SCALE: N.T.S.



3 WEST ELEVATION
SCALE: N.T.S.



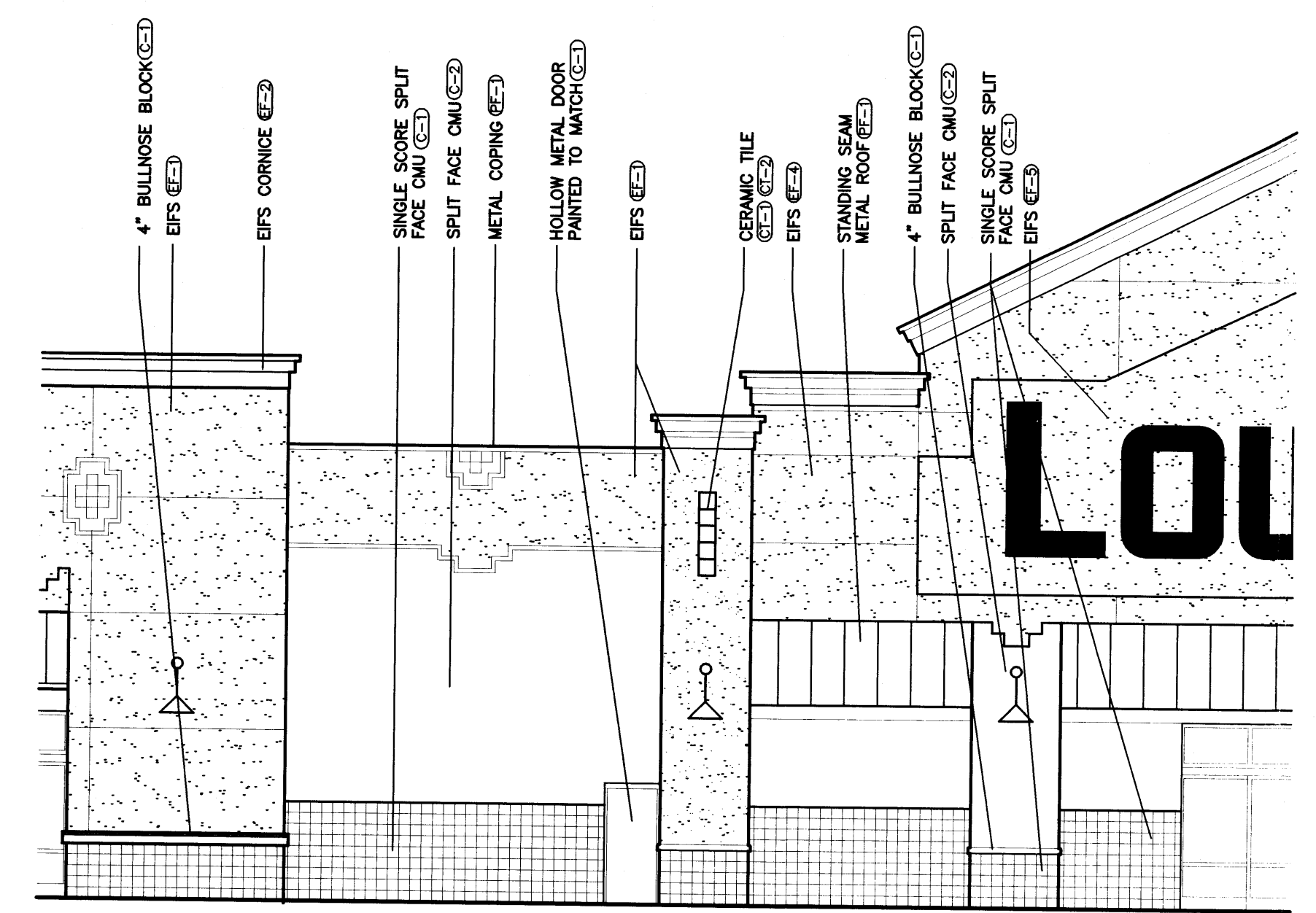
5 DETAIL 'A'
SCALE: N.T.S.

6 DETAIL 'B'
SCALE: N.T.S.

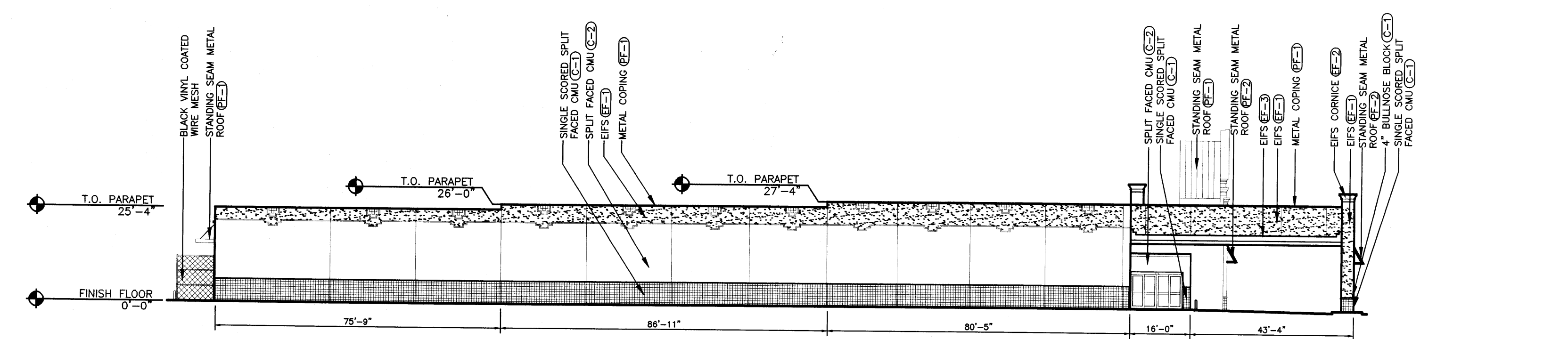
NOTE: ROOFTOP EQUIPMENTS SHALL BE PAINTED TO MATCH THE ROOF.

MATERIAL/COLOR SCHEDULE

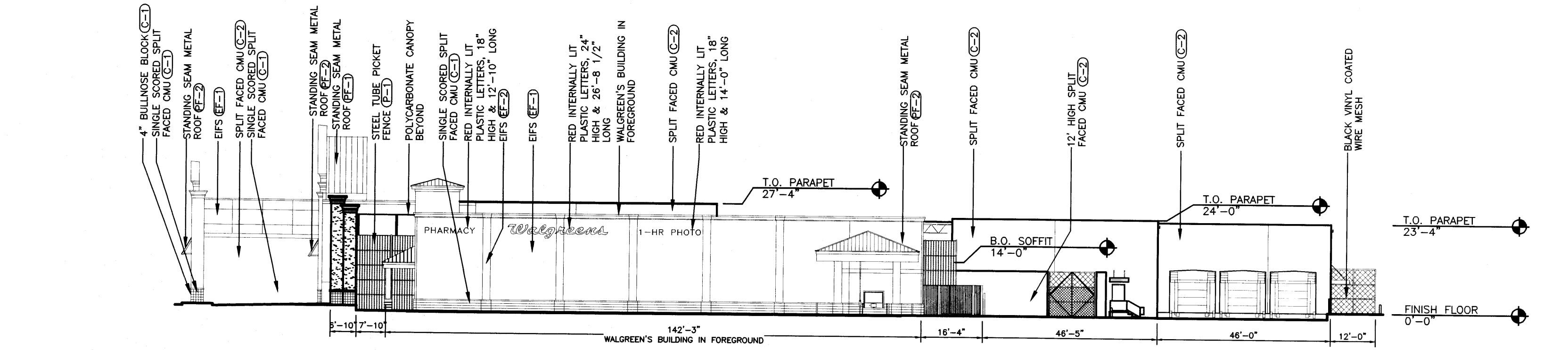
SYMBOL	MATERIAL	COLOR
C-1	CMU	REDISH BROWN
C-2	CMU	DARK TAN
EF-1	EIFS	TAN
EF-2	EIFS	TAN
EF-3	EIFS	WHITE
EF-4	EIFS	LIGHT TAN
EF-5	EIFS	LOWE'S BLUE
PF-1	PREFINISHED METAL	LOWE'S BLUE
PF-2	PREFINISHED METAL	WHITE
P-1	PAINT	GREEN
CT-1	CERAMIC TILE	RED
CT-2	CERAMIC TILE	BLUE



7 ENLARGED ELEVATION
SCALE: 1/8"=1'-0"

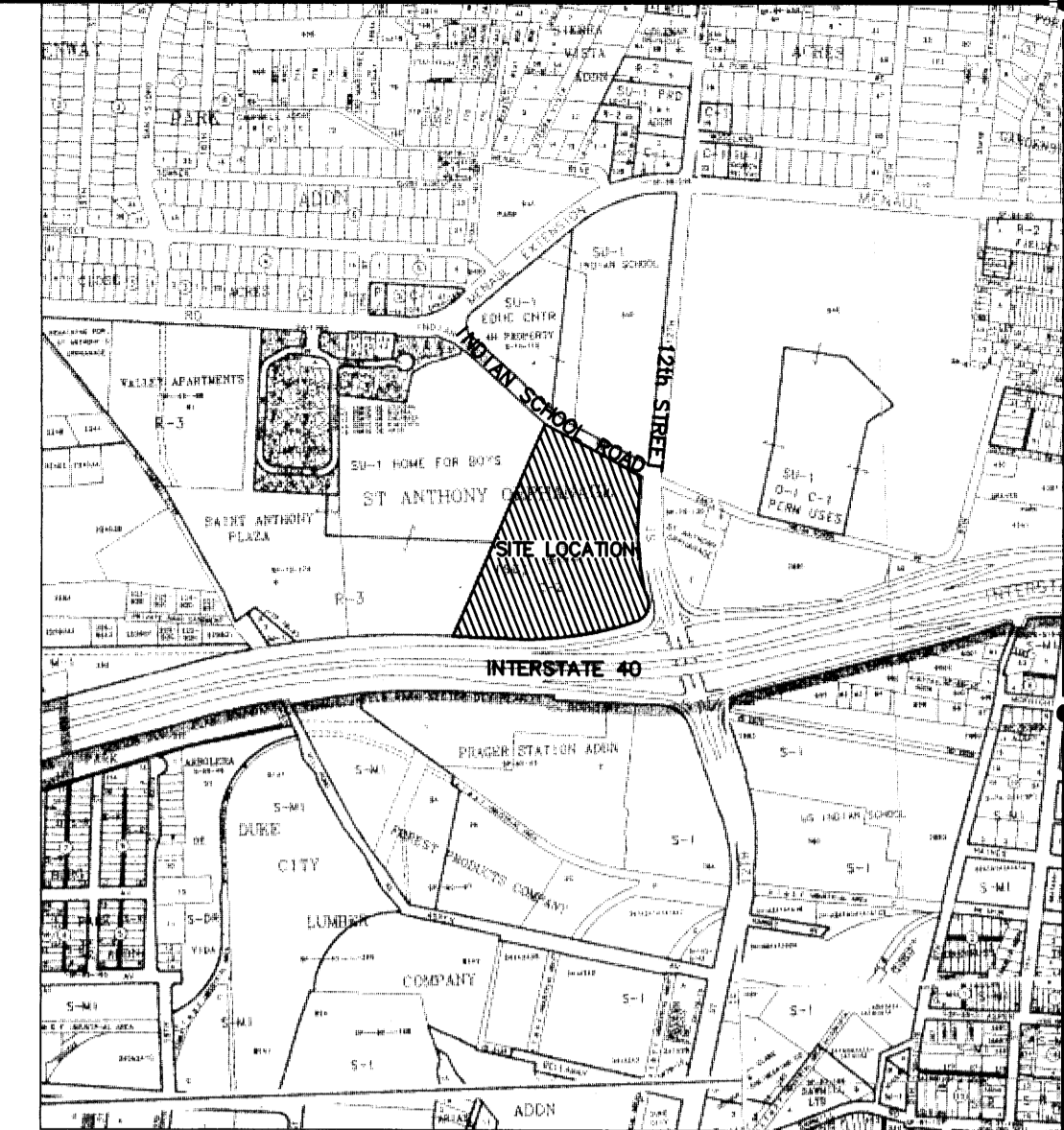


2 SOUTH ELEVATION
SCALE: N.T.S.



1 NORTH ELEVATION
SCALE: N.T.S.

LOWE'S OF CENTRAL ALBUQUERQUE, NM

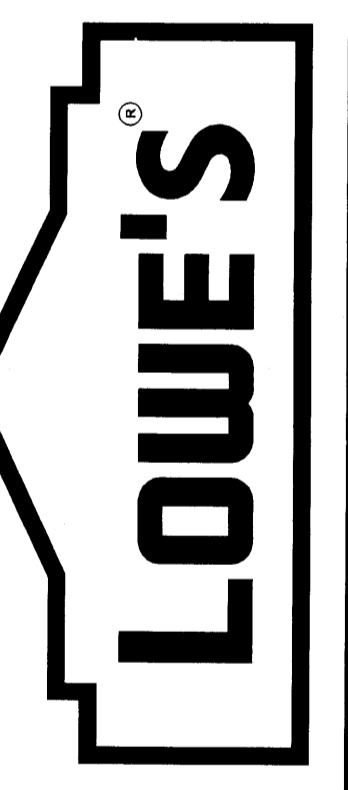


VICINITY MAP
 ZONE ATLAS MAP NO. H-13-Z

WILSON & COMPANY
 THE AMERICAN ROAD SE
 2600 THE SUITE 100
 RIO RANCHO, NEW MEXICO
 87124 87124
 (505) 898-8021

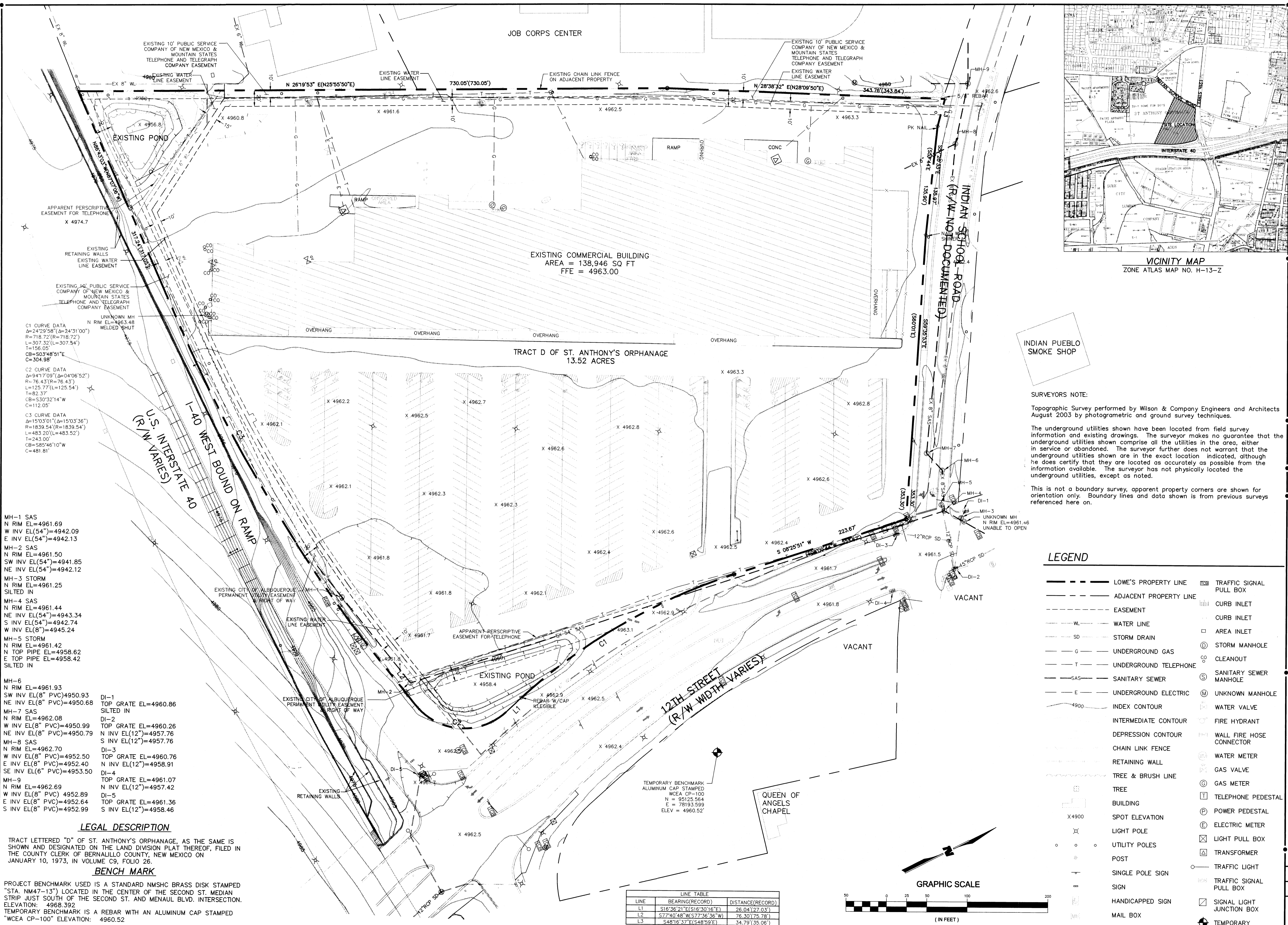
LOWE'S HOME CENTERS, INC.
 HWY. 268 EAST, EAST DOCK
 N. WILKESBORO, NC 28659
 336.658.4000 (V) 336.658.3257 (F)

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EXISTING CONDITIONS
 LOWE'S OF
 CENTRAL ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 PROJECT NO. X3218004 DRAWN BY: MOG CHECKED BY: BMF

ORIGINAL ISSUE DATE: 12/17/03
 PERMIT SET ISSUE DATE:
 CONSTRUCTION SET ISSUE DATE:
 DRAWING NUMBER:
C1



C1 CURVE DATA
 Δ=24°29'58" (Δ=24°31'00")
 R=718.72 (R=718.72)
 L=307.32 (L=307.54)
 T=156.05
 CB=503°48'51"E
 C=304.98

C2 CURVE DATA
 Δ=94°17'09" (Δ=04°06'52")
 R=76.43 (R=76.43)
 L=125.77 (L=125.54)
 T=82.37
 CB=53°32'14"W
 C=112.05

C3 CURVE DATA
 Δ=15°03'01" (Δ=15°03'36")
 R=1839.54 (R=1839.54)
 L=483.20 (L=483.52)
 T=243.00
 CB=58°46'10"W
 C=481.81

MH-1 SAS
 N RIM EL=4961.69
 W INV EL(54")=4942.09
 E INV EL(54")=4942.13

MH-2 SAS
 N RIM EL=4961.50
 SW INV EL(54")=4941.85
 NE INV EL(54")=4942.12

MH-3 STORM
 N RIM EL=4961.25
 SILTED IN

MH-4 SAS
 N RIM EL=4961.44
 NE INV EL(54")=4943.34
 S INV EL(54")=4942.74
 W INV EL(8")=4945.24

MH-5 STORM
 N RIM EL=4961.42
 N TOP PIPE EL=4958.62
 E TOP PIPE EL=4958.42
 SILTED IN

MH-6
 N RIM EL=4961.93
 SW INV EL(8" PVC)=4950.93
 NE INV EL(8" PVC)=4950.68

MH-7 SAS
 N RIM EL=4962.08
 W INV EL(8" PVC)=4950.99
 NE INV EL(8" PVC)=4950.79

MH-8 SAS
 N RIM EL=4962.70
 W INV EL(8" PVC)=4952.50
 E INV EL(8" PVC)=4952.40
 SE INV EL(6" PVC)=4953.50

MH-9
 N RIM EL=4962.69
 W INV EL(8" PVC)=4952.89
 E INV EL(8" PVC)=4952.64
 S INV EL(8" PVC)=4952.99

DI-1
 TOP GRATE EL=4960.86
 SILTED IN

DI-2
 TOP GRATE EL=4960.26
 N INV EL(12")=4957.76
 S INV EL(12")=4957.76

DI-3
 TOP GRATE EL=4960.76
 N INV EL(12")=4958.91

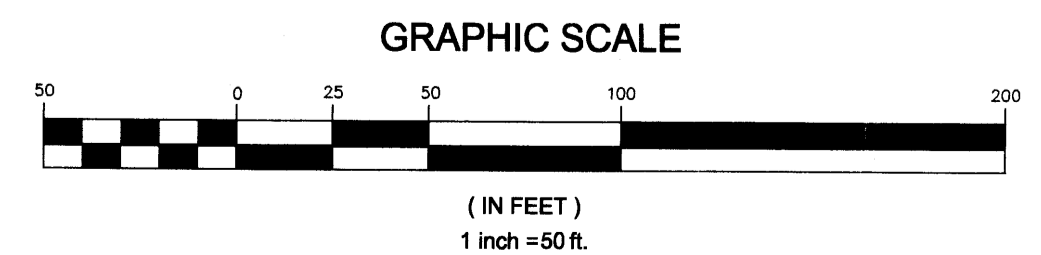
DI-4
 TOP GRATE EL=4961.07
 N INV EL(12")=4957.42

DI-5
 TOP GRATE EL=4961.36
 S INV EL(12")=4958.46

LEGAL DESCRIPTION
 TRACT LETTERED "D" OF ST. ANTHONY'S ORPHANAGE, AS THE SAME IS SHOWN AND DESIGNATED ON THE LAND DIVISION PLAT THEREOF, FILED IN THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 10, 1973, IN VOLUME C9, FOLIO 26.

BENCH MARK
 PROJECT BENCHMARK USED IS A STANDARD NMSHC BRASS DISK STAMPED "STA. NM47-13" LOCATED IN THE CENTER OF THE SECOND ST. MEDIAN STRIP JUST SOUTH OF THE SECOND ST. AND MENAUL BLVD. INTERSECTION. ELEVATION: 4968.392
 TEMPORARY BENCHMARK IS A REBAR WITH AN ALUMINUM CAP STAMPED "WCEA CP-100" ELEVATION: 4960.52

LINE	BEARING(RECORD)	DISTANCE(RECORD)
L1	S16°36'21"E(S16°30'16"E)	26.04(27.03)
L2	S77°40'48"W(S77°36'36"W)	76.30(75.78)
L3	S48°16'37"E(S48°59'E)	34.79(35.06)



SURVEYORS NOTE:
 Topographic Survey performed by Wilson & Company Engineers and Architects August 2003 by photogrammetric and ground survey techniques.

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all the utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities, except as noted.

This is not a boundary survey, apparent property corners are shown for orientation only. Boundary lines and data shown is from previous surveys referenced here on.

LEGEND

---	LOWE'S PROPERTY LINE	☐	TRAFFIC SIGNAL PULL BOX
---	ADJACENT PROPERTY LINE	☐	CURB INLET
---	EASEMENT	☐	CURB INLET
WL	WATER LINE	☐	AREA INLET
SD	STORM DRAIN	⊙	STORM MANHOLE
G	UNDERGROUND GAS	⊙	CLEANOUT
SAS	UNDERGROUND TELEPHONE	⊙	SANITARY SEWER MANHOLE
E	UNDERGROUND ELECTRIC	⊙	UNKNOWN MANHOLE
4900	INDEX CONTOUR	⊙	WATER VALVE
---	INTERMEDIATE CONTOUR	⊙	FIRE HYDRANT
---	DEPRESSION CONTOUR	⊙	WALL FIRE HOSE CONNECTOR
---	CHAIN LINK FENCE	⊙	WATER METER
---	RETAINING WALL	⊙	GAS VALVE
---	TREE & BRUSH LINE	⊙	GAS METER
---	TREE	⊙	TELEPHONE PEDESTAL
X 4900	BUILDING	⊙	POWER PEDESTAL
⊙	SPOT ELEVATION	⊙	ELECTRIC METER
⊙	LIGHT POLE	⊙	LIGHT PULL BOX
⊙	UTILITY POLES	⊙	TRANSFORMER
⊙	POST	⊙	TRAFFIC LIGHT
⊙	SINGLE POLE SIGN	⊙	TRAFFIC SIGNAL PULL BOX
⊙	SIGN	⊙	SIGNAL LIGHT JUNCTION BOX
⊙	HANDICAPPED SIGN	⊙	MAIL BOX
⊙	MAIL BOX	⊙	TEMPORARY BENCHMARK