

UTILITY NOTES: O

1. See 1/8" Plumbing Plan for continuation.
2. Approximate location of existing sanitary line.
3. Approximate location of existing water line.
4. Approximate location of existing natural gas line.
5. Point of connection, new to existing.
6. New 1-1/2" water meter and service stops, on both sides of meter. Coordinate all requirements with the City of Albuquerque (7.5 gpm).
7. New service stop. See Detail.
8. Two way cleanout to grade. See Detail.
9. Gas meter/regulator sized for a total connected load of 3000 CFH. Regulator shall reduce incoming pressure to 5 psi. Provide main shutoff valve. Installation per Public Service Company of New Mexico (Gas Division).
10. C.O. to grade. See Detail.

GENERAL UTILITY NOTES:

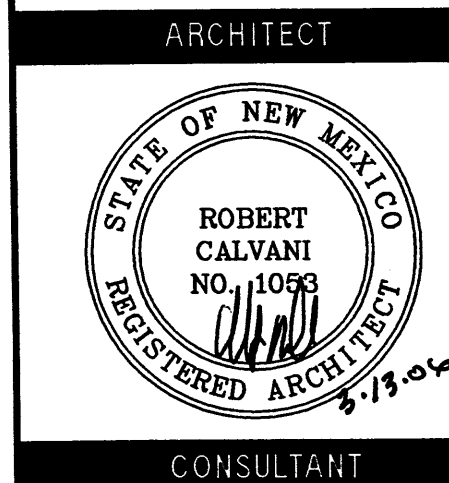
These drawings reflect information on utilities gathered by site inspections, discussions with the City of Albuquerque, PNM Gas Services and previous construction drawings. It is possible that the exact location of lines in the immediate vicinity of the proposed building may be slightly different from the locations shown on this drawing. If additional lines are encountered they shall be exposed and identified. Where additional lines and/or differing locations are encountered, the Mechanical Contractor shall request that the Architect make a ruling as to any necessary change of materials, re-routing, abandoning or relocating such lines. PNM Gas Services shall be the sole authority in ruling on the disposition of natural gas piping.

Minimum depth below grade (cover):
 Water --- 36" Sewer --- 24" Gas --- 18"
 Refer to Architectural Plans for finish and existing grades. The Mechanical Contractor shall coordinate cut-off of existing utilities for new connections with City of Albuquerque Engineering Officials and Owner, and shall conform to their requirements. Sewer piping below slab or paving, or within 10 feet of water lines shall be standard weight cast iron.

Utilities connection points are approximate only. Field verify all connection points.



1306 RIO GRANDE BLVD NW
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PROJECT TITLE

**Fellowship Baptist Church
 First Fruits Christian Academy - Classrooms and Gymnasium
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

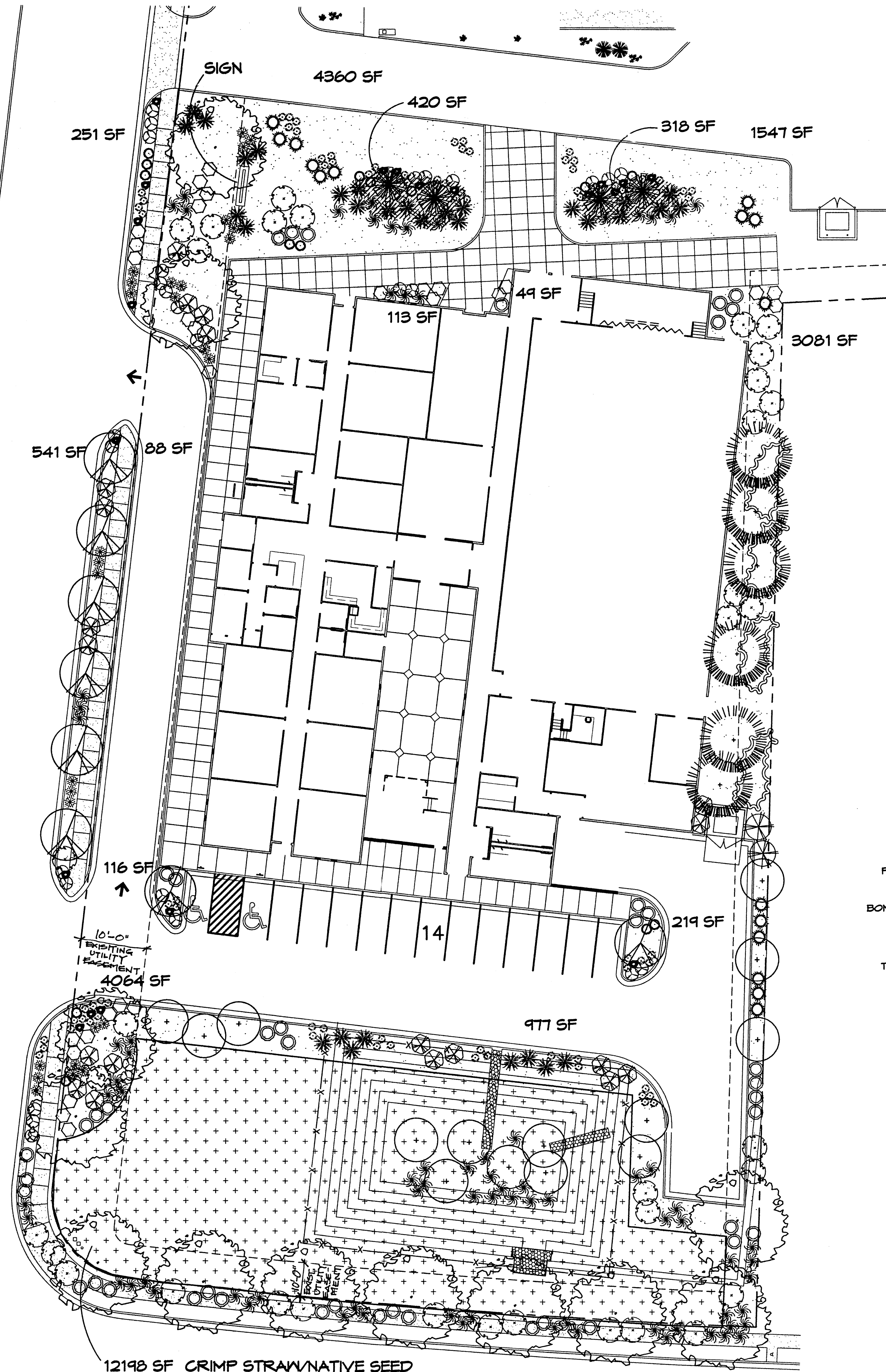
NEW MEXICO
 ALBUQUERQUE
SITE UTILITY PLAN

REVISIONS	
NO.	DESCRIPTION

MK	DATE	DESCRIPTION
WA		

AS1.2

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PLANT LEGEND

- ARIZONA ASH (M) 12
Fraxinus velutina
2" Cal.
- AUSTRIAN PINE (M) 6
Pinus nigra
6'-8'
- PALM YUCCA (L) 4
- ARP ROSEMARY (M) 43
Rosmarinus officinalis
2 Gal. 45¢
- AUTUMN SAGE (M) 28
Salvia greggii
2 Gal. 45¢
- BLUE MIST SPIREA (M) 28
Caryopteris clandonensis
5 Gal. 45¢
- BUTTERFLY BUSH (M) 35
Buddleia davidii
5 Gal. 100¢
- INDIAN HAWTHORN (M) 20
Raphiolepis indica
5 Gal. 95¢
- LANAI/ SCOTCH BROOM (M) 16
Cytisus scoparius/
Genista hispanica
5 Gal. 45¢
- LAVENDER (M) 14
Lavandula angustifolia
1 Gal. 45¢
- MAIDEN GRASS (M) 78
Miscanthus sinensis
5 Gal. 165¢
- FLOWERING PEAR (M+) 8
Pyrus calleryana
2" Cal.
- NEW MEXICO OLIVE (L) 14
Forestiera neomexicana
15 Gal. 225 SF
- RED YUCCA (L) 31
Hesperaloe parviflora
5 Gal. 45¢
- SILVERBERRY (M) 2
Elaeagnus pungens
5 Gal. 100¢
- THREADGRASS (L+) 83
Stipa tenuissima
1 Gal. 45¢
- WILDFLOWER 30
1 Gal. 45¢
- GRAYLEAF COTONEASTER (M) 12
Cotoneaster buxifolius 5 Gal. 81
sf Symbol indicates 3 plants
- OVERSIZE GRAVEL AND
20 BOULDERS
- 3/4" GRAY GRAVEL
WITH FILTER FABRIC
AT 3" DEPTH
- COBBLESTONE
- CRIMP STRAW/NATIVE SEED
- STEEL EDGE

NOTE: ATRIUM TREE WELLS TO BE PLANTED BY CHURCH MEMBERS

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric at 3" depth shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

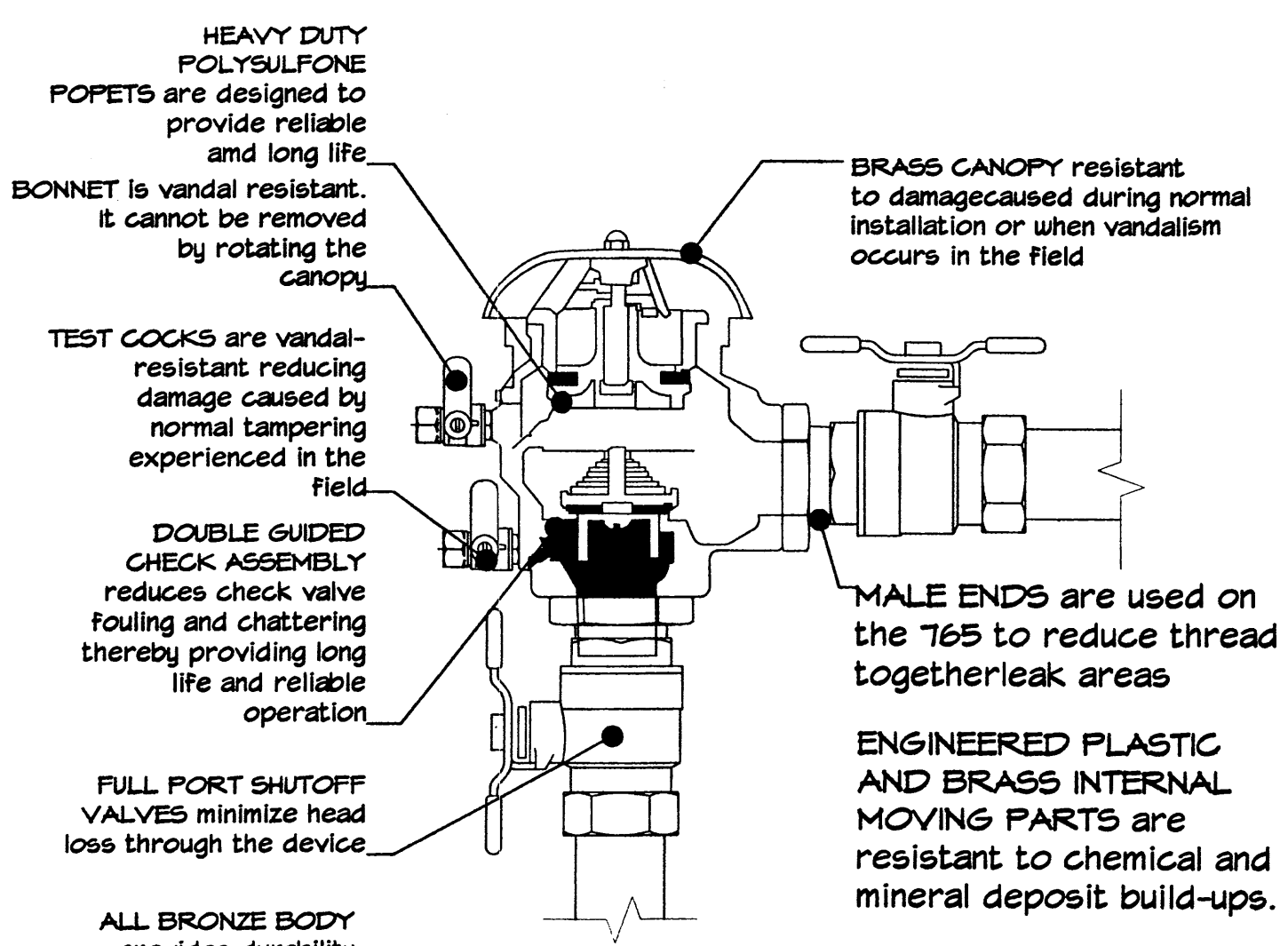
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

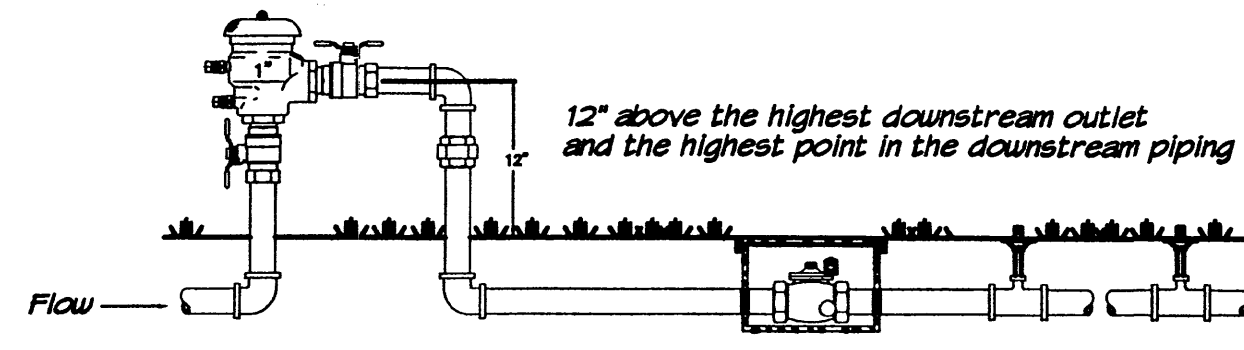
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



FEBCO MODEL 765 Pressure Vacuum Breaker Features

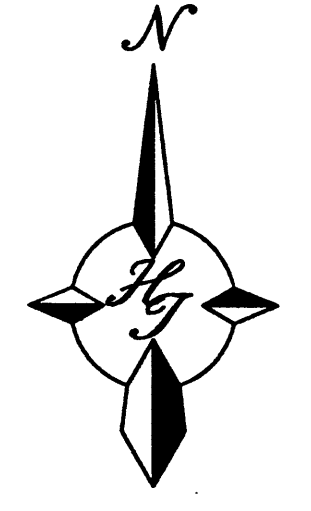


FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation

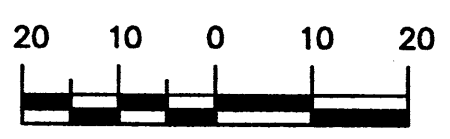
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	76318	square feet
TOTAL BUILDINGS AREA	25488	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	50830	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	7624	square feet

TOTAL BED PROVIDED	15586	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	11689	square feet
TOTAL GROUND COVER PROVIDED	11682	square feet
TOTAL CS/NS AREA	12936	square feet
TOTAL LANDSCAPE PROVIDED	25028	square feet



GRAPHIC SCALE



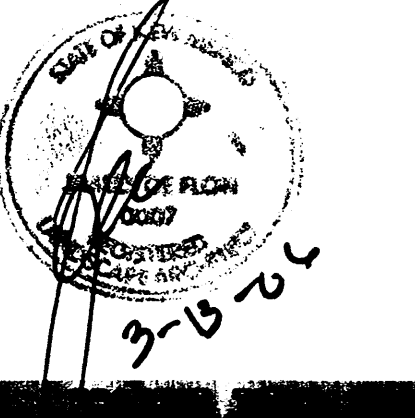
SCALE: 1"=20'

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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
ALBUQUERQUE
NEW MEXICO

ADF 3/13/06 SITE PLAN REVISION

MK	DATE	DESCRIPTION
RMM		CJ

A05.23

03/15/06

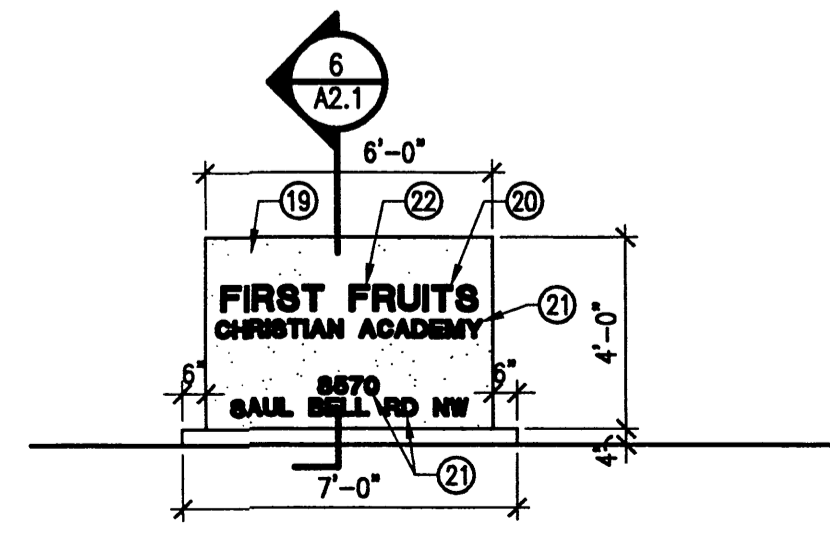
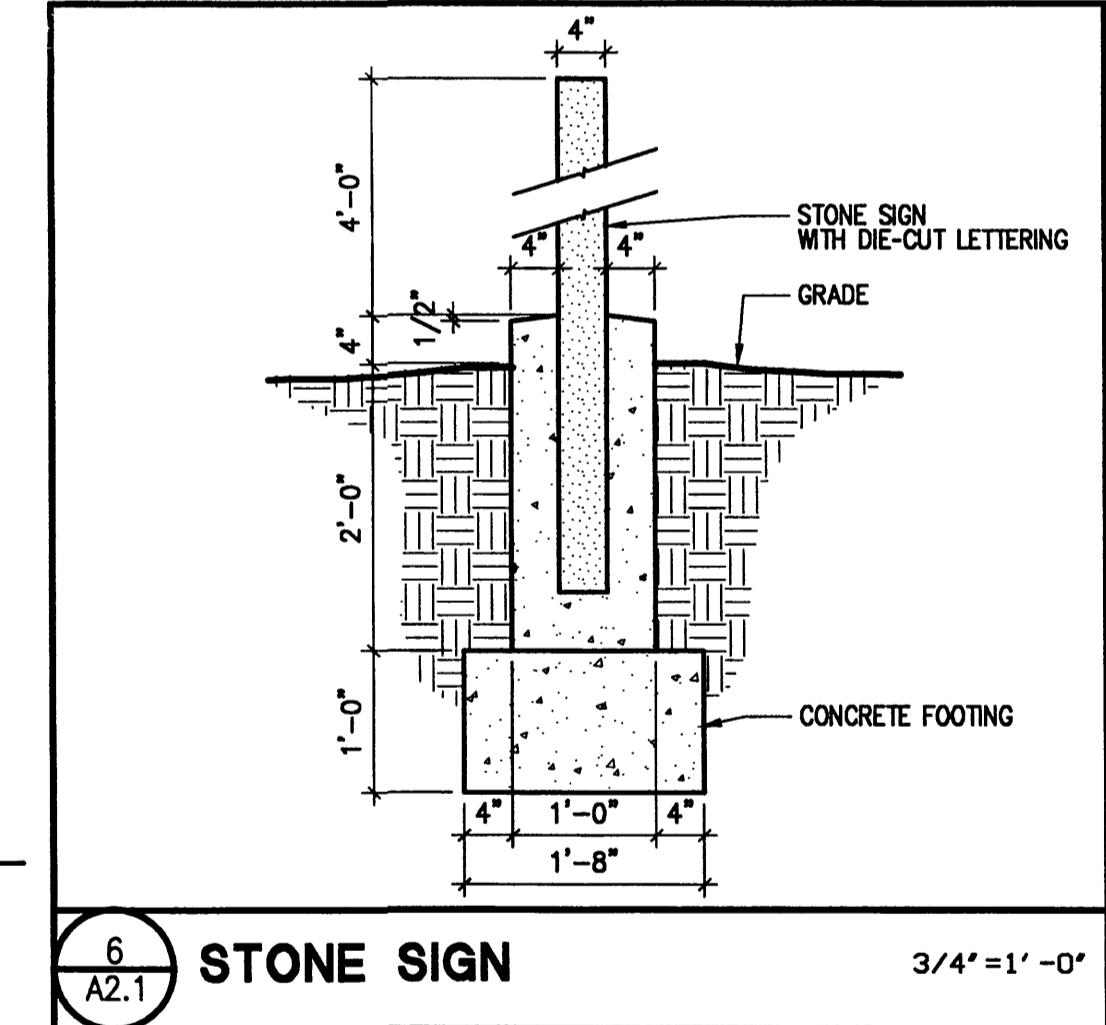
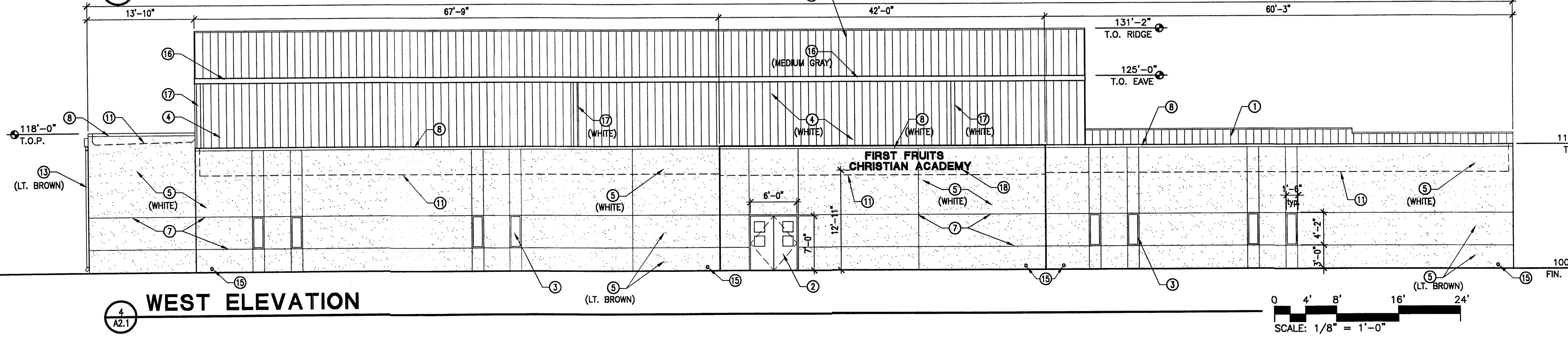
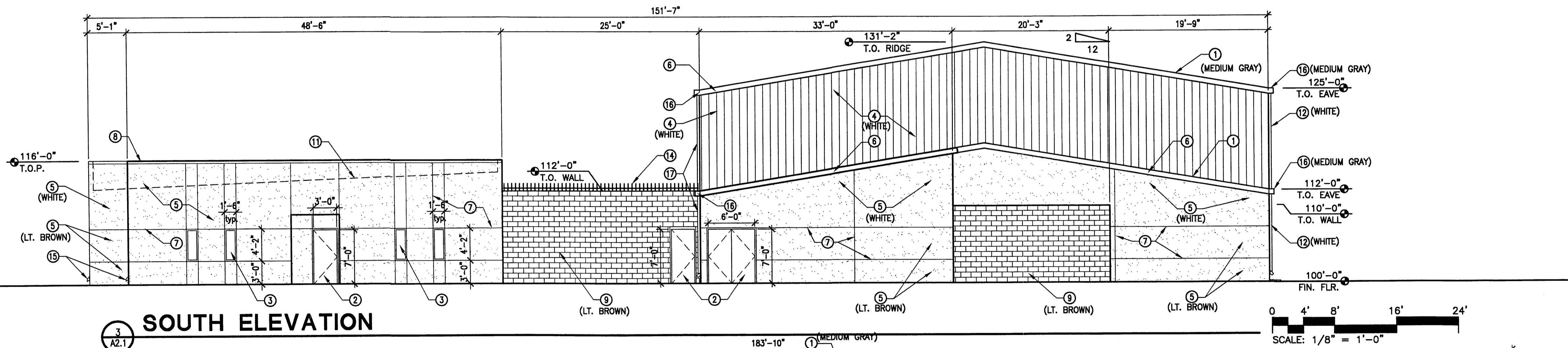
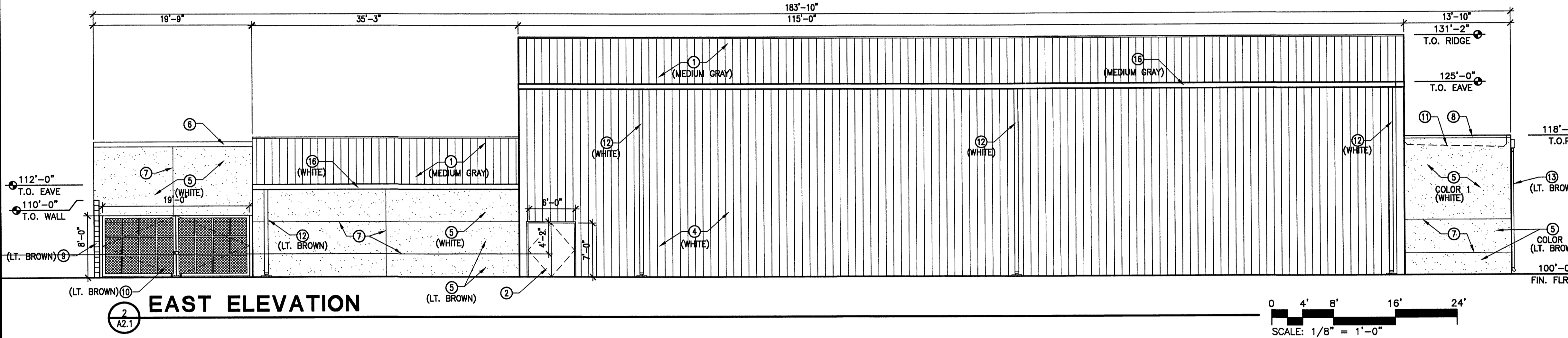
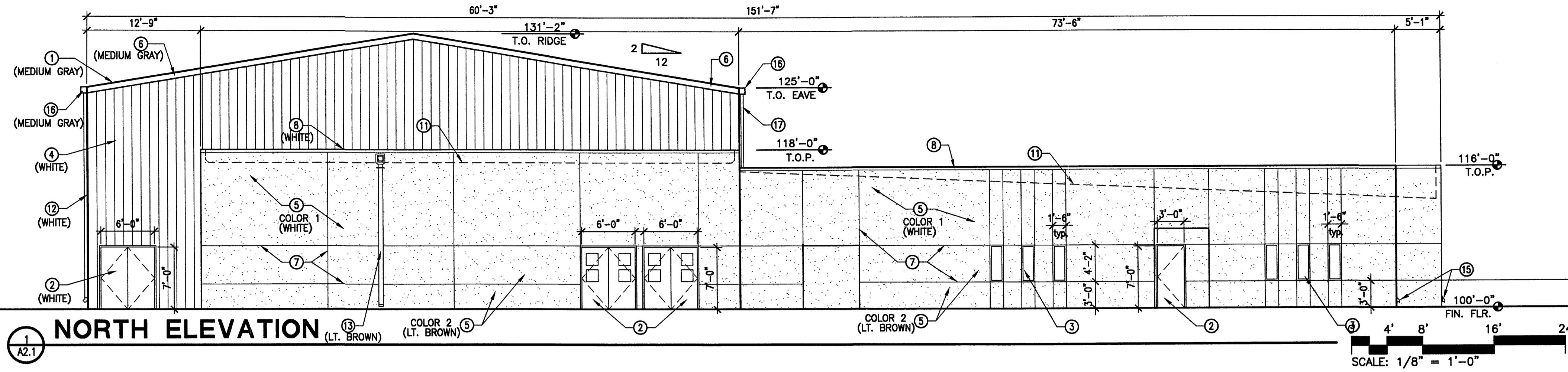
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SHEET NO		

KEYED NOTES:

- METAL ROOF SYSTEM - MEDIUM GRAY TO MATCH EXISTING CHURCH ROOF COLOR.
- HOLLOW METAL DOOR AND FRAME - PAINT DOOR WHITE, PAINT FRAME TO MATCH ANODIZED ALUMINUM.
- ALUMINUM INSULATING GLAZING SYSTEM - ANODIZED FINISH.
- METAL PANEL SIDING - WHITE.
- STUCCO SYSTEM. SEE LEGEND BELOW.
- METAL ROOF TRIM.
- STUCCO CONTROL JOINT.
- METAL COPING, PAINT WHITE.
- 12" C.M.U WALL - PAINT LIGHT BROWN.
- TUBE STEEL GATE, PAINT.
- ROOF LINE BEYOND, AS INDICATED.
- METAL DOWNSPOUT, PAINT. PROVIDE CONCRETE SPLASHBLOCK. SEE DETAIL 7/A51.2.
- LEADER BOX AND METAL DOWNSPOUT, PAINT. SEE DETAIL 18/A5.2.
- SECURITY STEEL BARS, PAINT LIGHT BROWN.
- 'CALVES TONGUE' SCUPPER. SEE DETAIL 3/A8.1.
- METAL ROOF CUTTER.
- METAL DOWNSPOUT, PAINT.
- 12" SURFACE MOUNTED LETTERS. TOTAL SIGN AREA = 30 SF. LETTER COLOR: BLACK.
- STONE SIGN WITH DIE-CUT LETTERING LOCATED CLOSE TO THE NORTHWEST CORNER OF THE NEW CLASSROOM BUILDING. SEE NOTE 23 ON SITE PLAN SHEET AS1.1 AND ELEVATION 5/A2.1 AND DETAIL 6/A2.1 THIS SHEET.
- 6" LETTERING.
- 4" LETTERING.
- TOTAL AREA OF SIGNAGE IS 24 SQ. FT.

STUCCO COLOR LEGEND

- ALL STUCCO COLORS BY EL RAY STUCCO.
- COLOR 1: #1632 PALE (OFF WHITE TO MATCH EXISTING CHURCH FIELD COLOR)
- COLOR 2: #1566 POTTERY (LIGHT BROWN TO MATCH CHURCH BASE COLOR)



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