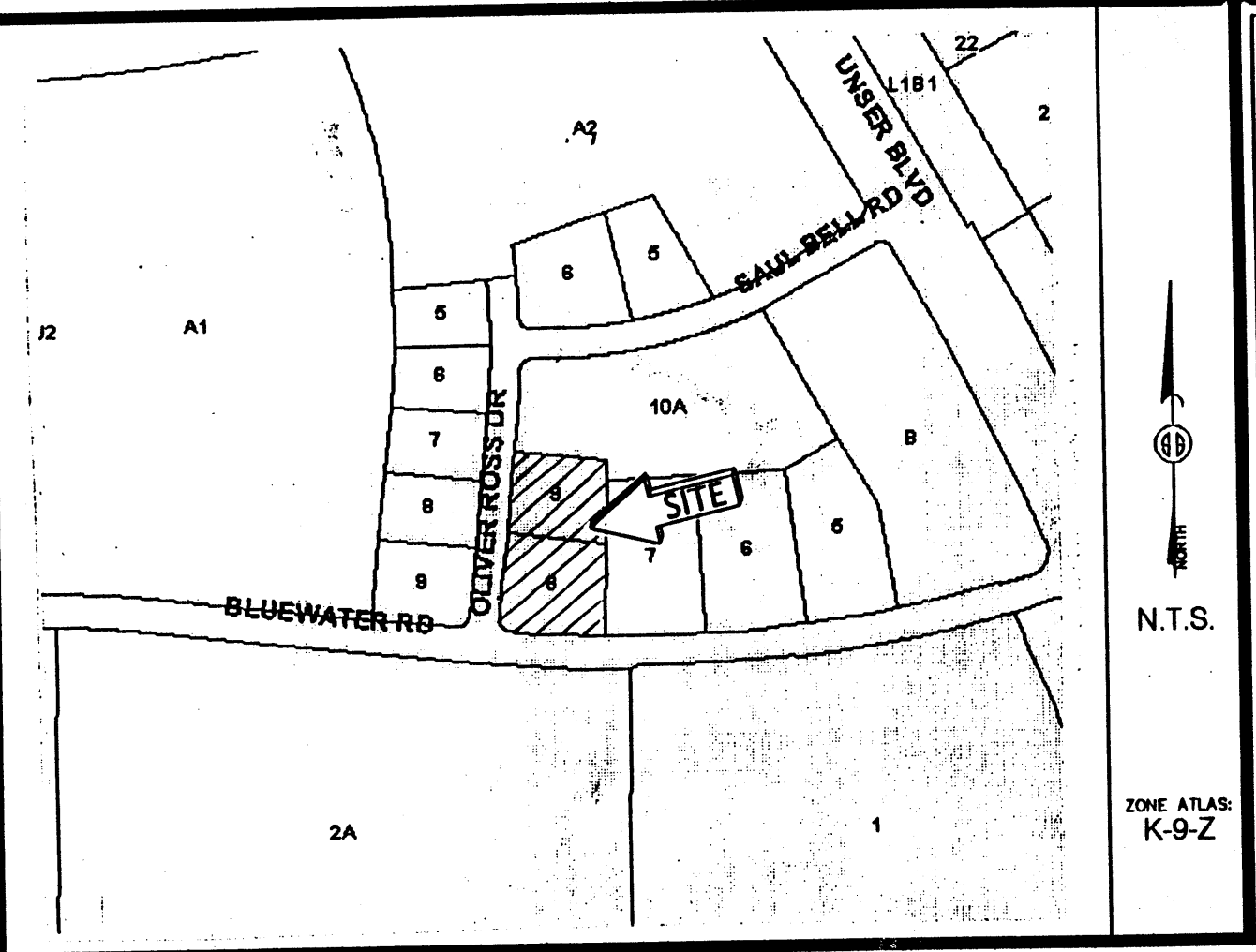


**PLAT OF
LOT 8-A, BLOCK 2
CLIFFORD WEST BUSINESS PARK, UNIT 1
PROJECTED SECTION 21, T. 10 N., R. 2 E., N.M.P.M.
TOWN OF ATRISCO GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2003**



LEGAL DESCRIPTION
LOTS NUMBERED EIGHT (8) AND NINE (9) IN BLOCK NUMBERED TWO (2) OF CLIFFORD WEST BUSINESS PARK, UNIT 1, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 10, 1997 IN MAP BOOK 97C, PAGE 346.

FREE CONSENT
THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT.

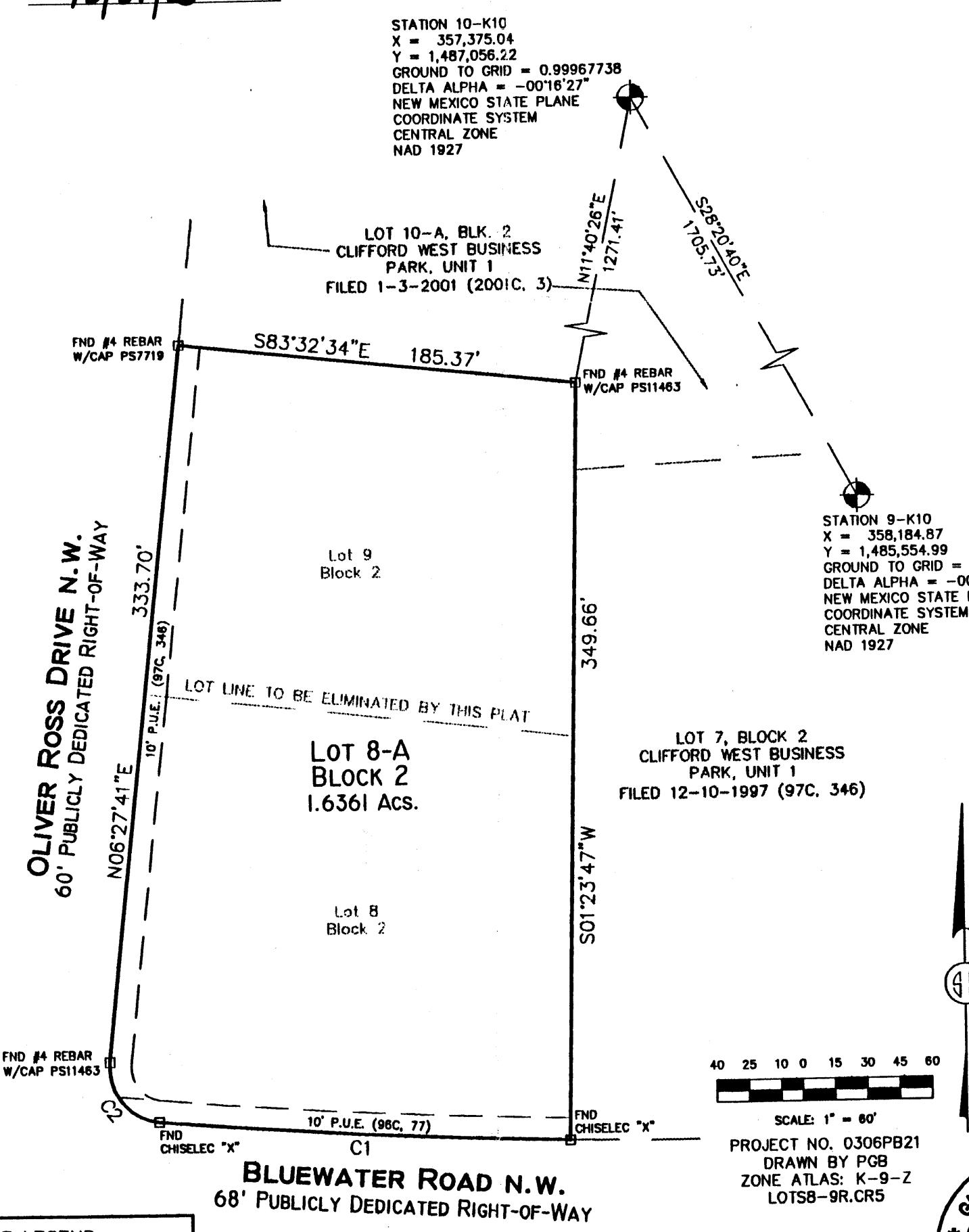
DISCLOSURE STATEMENT
THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE TWO (2) EXISTING LOTS INTO ONE (1) NEW LOT.

OWNER(S) SIGNATURE: Willie Burrell DATE: 7/8/03
OWNER(S) PRINT NAME: Willie Burrell
ADDRESS: 8550 Saul Bell Rd. N.W. 9712 TRACT:
ACKNOWLEDGMENT STATE OF NEW MEXICO)
) SS
COUNTY OF BERNALILLO)
OFFICIAL SEAL
Sarah Amato
NOTARY PUBLIC
STATE OF NEW MEXICO
10/01/05
My Commission Expires: July, 2003.
BY: Willie Burrell Sarah Amato
NOTARY PUBLIC

APPLICATION NO. & PROJECT NO.: _____
CITY APPROVALS:
[Signature] 7-9-03
CITY SURVEYOR DATE
TRAFFIC ENGINEERING DATE
PARKS & RECREATION DEPARTMENT DATE
UTILITY DEVELOPMENT DIVISION DATE
A.M.A.F.C.A. DATE
CITY ENGINEER DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

Vicinity Map

- SUBDIVISION DATA / NOTES**
1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
 2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 9-K10 AND 10-K10, AS SHOWN HEREON.
 3. DISTANCES ARE GROUND DISTANCES.
 4. PLAT SHOWS ALL EASEMENTS OF RECORD.
 5. PROPERTY BOUNDARY DATA SHOWN HEREON IS IDENTICAL TO THE PLAT OF CLIFFORD WEST BUSINESS PARK, UNIT 1, FILED IN BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 10, 1997 IN MAP BOOK 97C, PAGE 346.
 6. GROSS AREA: 1.6361 ACRES
 7. NUMBER OF EXISTING LOTS: 2
 8. NUMBER OF LOTS CREATED: 1
 9. PROPERTY IS ZONED IP.



UTILITY APPROVALS
Leon D. Meltz 7-2-03
PNM GAS SERVICES/ PNM ELECTRIC SERVICES DATE

SURVEYOR'S CERTIFICATION
I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.
Gary E. Gritsko July 2, 2003
Date
Gary E. Gritsko
New Mexico Professional Surveyor, 8686

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
UPC#: _____
PROPERTY OWNER OF RECORD: _____
BERNALILLO COUNTY TREASURER'S OFFICE: _____

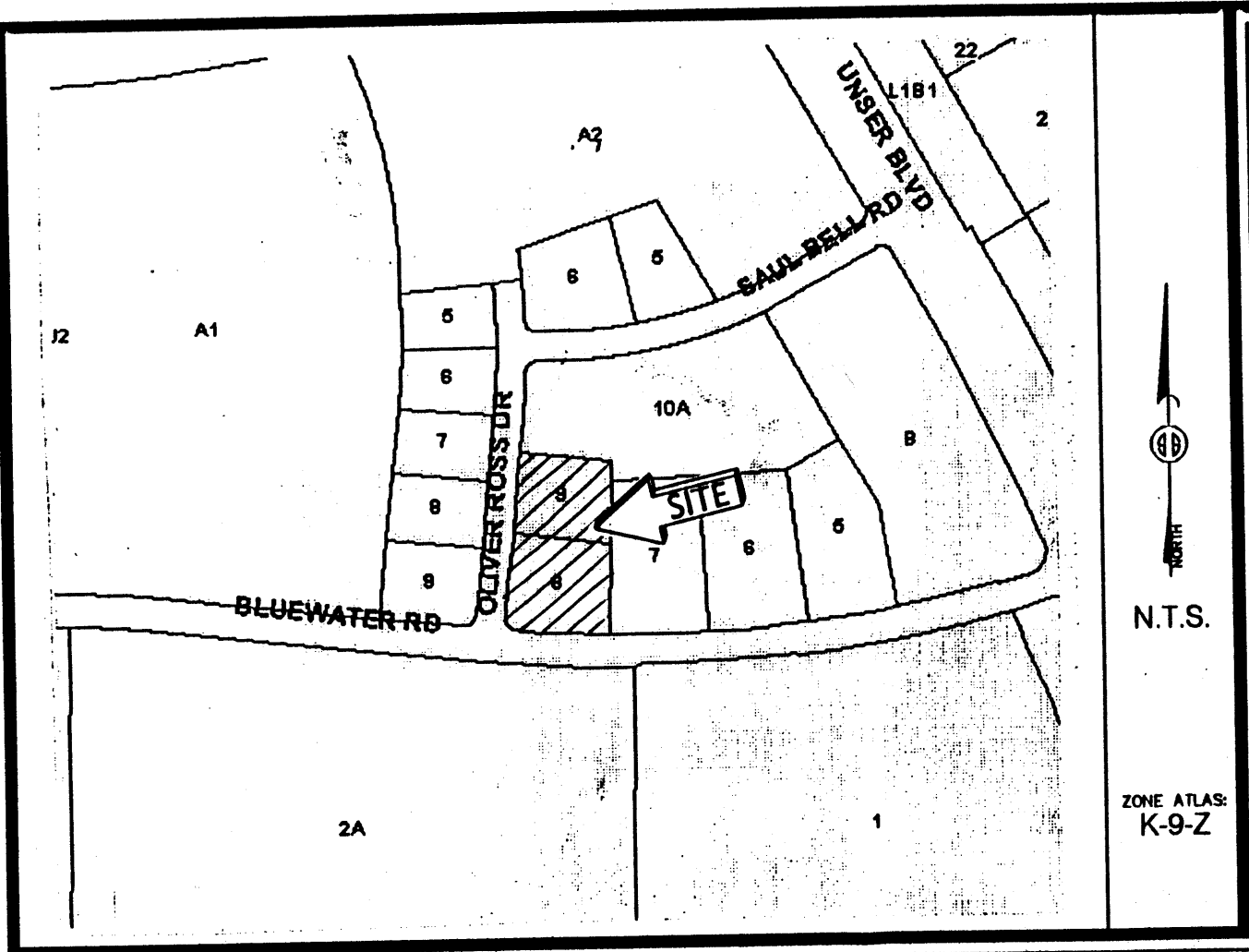
MONUMENT LEGEND
⊕ - FOUND CONTROL STATION AS NOTED
⊠ - FOUND MONUMENT AS NOTED
⊙ - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRITSKO LS8686" UNLESS OTHERWISE NOTED

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	2830.79'	191.04'	3°52'00"	S86°39'48"E	191.00'
C2	25.00'	39.79'	91°11'29"	S39°08'04"E	35.72'



SURVEYS SOUTHWEST LTD.
333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 998-0303
FAX: (505) 998-0306
T10N R2E SEC. 21



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 9-K10 AND 10-K10, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
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6. GROSS AREA: 1.6361 ACRES
7. NUMBER OF EXISTING LOTS: 2
8. NUMBER OF LOTS CREATED: 1
9. PROPERTY IS ZONED IP.

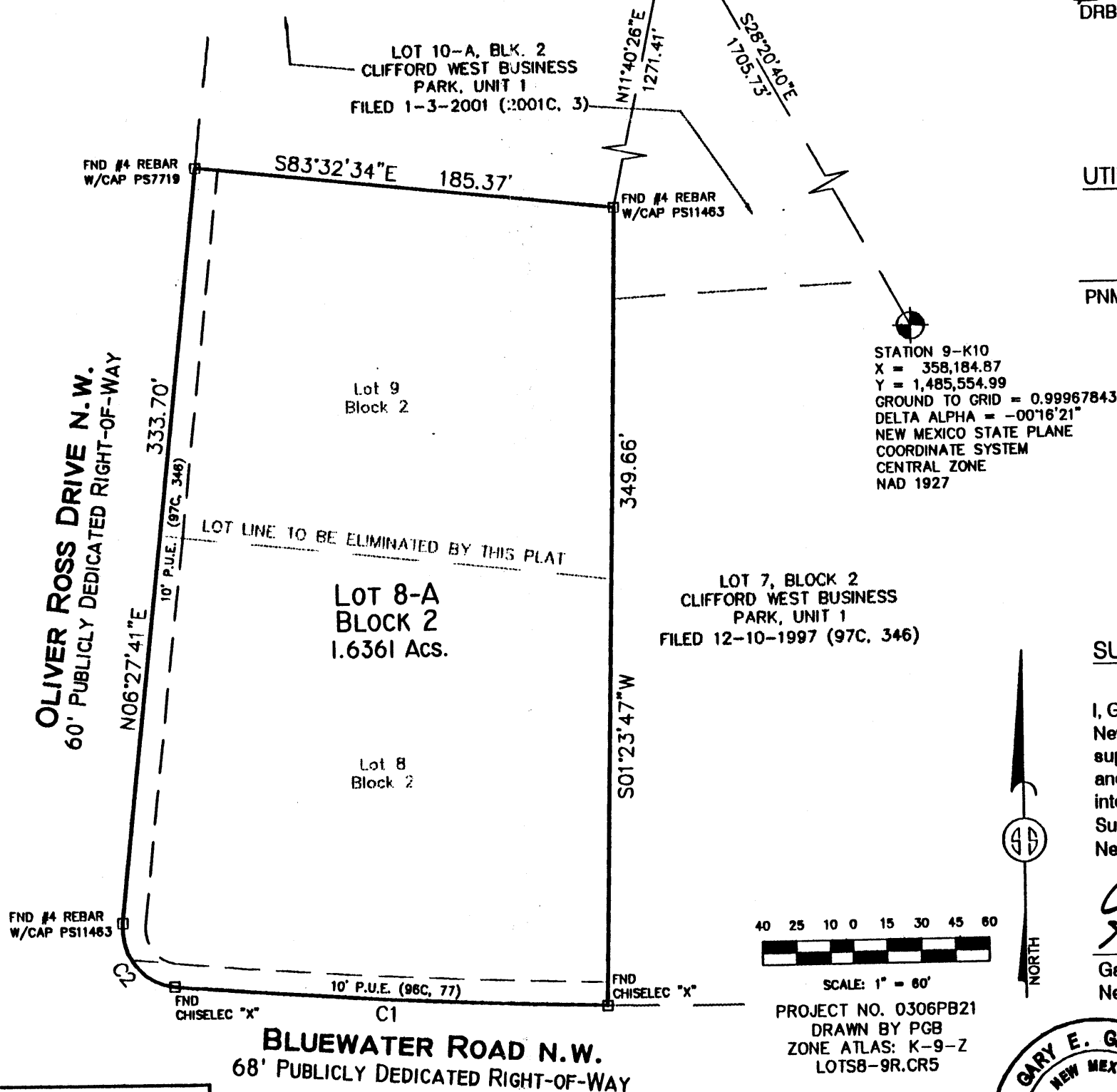
LEGAL DESCRIPTION
 LOTS NUMBERED EIGHT (8) AND NINE (9) IN BLOCK NUMBERED TWO (2) OF CLIFFORD WEST BUSINESS PARK, UNIT 1, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 10, 1997 IN MAP BOOK 97C, PAGE 346.

FREE CONSENT

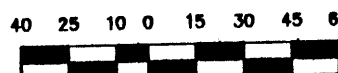
THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT.

OWNER(S) SIGNATURE: Willie Burrell DATE: 7/8/03
 OWNER(S) PRINT NAME: Willie Burrell
 ADDRESS: 8550 Saul Bell Rd. NW 9712 TRACT: _____
 ACKNOWLEDGMENT STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)
 OFFICIAL SEAL
 Sarah Amato
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires: 10/01/05
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF July, 2003.
 BY: Willie Burrell Sarah Amato
 MY COMMISSION EXPIRES: 10/01/05 NOTARY PUBLIC

STATION 10-K10
 X = 357,375.04
 Y = 1,487,056.22
 GROUND TO GRID = 0.99967738
 DELTA ALPHA = -00°16'27"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927



STATION 9-K10
 X = 358,184.87
 Y = 1,485,554.99
 GROUND TO GRID = 0.99967843
 DELTA ALPHA = -00°16'21"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927



SCALE: 1" = 60'
 PROJECT NO. 0306PB21
 DRAWN BY PGB
 ZONE ATLAS: K-9-Z
 LOTS 8-9R.CR5

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	2830.79'	191.04'	3°52'00"	S86°39'48"E	191.00'
C2	25.00'	39.79'	91°11'29"	S39°08'04"E	35.72'

PLAT OF
 LOT 8-A, BLOCK 2
 CLIFFORD WEST BUSINESS PARK, UNIT 1
 PROJECTED SECTION 21, T. 10 N., R. 2 E., N.M.P.M.
 TOWN OF ATRISCO GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 2003

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE TWO (2) EXISTING LOTS INTO ONE (1) NEW LOT.

APPLICATION NO. & PROJECT NO.: 1002808 / 03 DRB-01151

CITY APPROVALS:
[Signature] 7-9-03
 CITY SURVEYOR DATE
[Signature] 7-23-03
 TRAFFIC ENGINEERING DATE
[Signature] 7/23/03
 PARKS & RECREATION DEPARTMENT DATE
[Signature] 7/23/03
 UTILITY DEVELOPMENT DEPARTMENT DATE
[Signature] 7-23-03
 A.M.A.F.C.A. DATE
[Signature] 7/23/03
 CITY ENGINEER DATE
[Signature] 7/23/03
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

UTILITY APPROVALS

[Signature] 7-2-03
 PNM GAS SERVICES/ PNM ELECTRIC SERVICES DATE



SURVEYOR'S CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

[Signature] July 2, 2003
 Gary E. Gritsko Date
 New Mexico Professional Surveyor, 8686



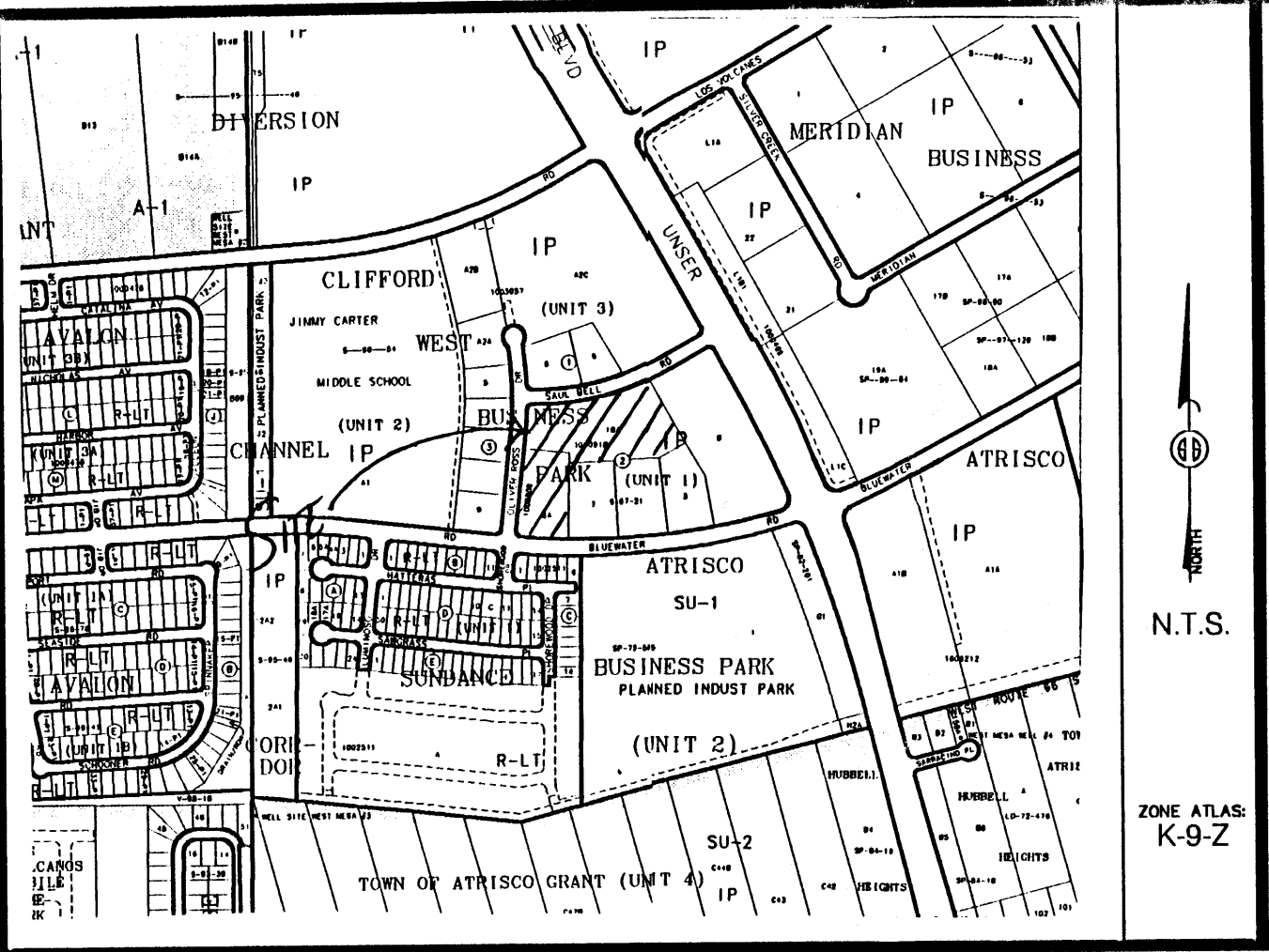
SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO
 87102
 PHONE: (505) 998-0303
 FAX: (505) 998-0306

T10N R2E SEC. 21

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPC#: 10090878132210502 100908781424210503
 PROPERTY OWNER OF RECORD:
CRB PROPERTIES INC LEPPER ARTHUR & BLA M
 BERNALILLO COUNTY TREASURER'S OFFICE:
[Signature] 7/23/03

MONUMENT LEGEND
 * - FOUND CONTROL STATION AS NOTED
 □ - FOUND MONUMENT AS NOTED
 ○ - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRITSKO LS8686" UNLESS OTHERWISE NOTED



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 9-K10 AND 7-K10, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. PROPERTY BOUNDARY DATA SHOWN HEREON IS IDENTICAL TO THAT SHOWN ON THE PLAT OF CLIFFORD WEST BUSINESS PARK, UNIT 1, FILED IN BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 10, 1997 IN MAP BOOK 97C, PAGE 346.
6. GROSS AREA: 5.0292 ACRES
7. NUMBER OF EXISTING LOTS: 2
8. NUMBER OF LOTS CREATED: 1
9. SUBJECT PROPERTY IS ZONED IP.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO COUNTY TREASURERS OFFICE: _____

LEGAL DESCRIPTION

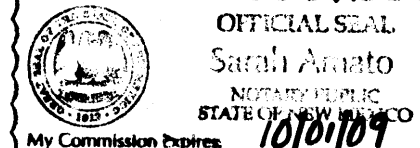
LOT NUMBERED EIGHT-A (8-A) IN BLOCK NUMBERED TWO (2) OF CLIFFORD WEST BUSINESS PARK, UNIT 1 AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 23, 2003 IN MAP BOOK 2003C, PAGE 222; TOGETHER WITH LOT NUMBERED TEN-A (10-A) IN BLOCK NUMBERED TWO (2) OF CLIFFORD WEST BUSINESS PARK, UNIT 1 AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 3, 2001 IN MAP BOOK 2001C, PAGE 3.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER(S) SIGNATURE: Willie Burrell DATE: 2/20/06
 OWNER(S) PRINT NAME: Willie Burrell
 ADDRESS: 6530 Grand South Blvd. NW #7121 TRACT: _____

ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20th DAY OF FEBRUARY, 2006.

BY: Willie Burrell
 MY COMMISSION EXPIRES: 10/18/09
Sarah Amato
 NOTARY PUBLIC

PLAT OF
 LOT 10-A-1, BLOCK 2
 CLIFFORD WEST BUSINESS PARK, UNIT 1
 PROJECTED SECTIONS 21 & 22, T. 10 N., R. 2 E., N.M.P.M.
 TOWN OF ATRISCO GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY 2006
 SHEET 1 OF 2



DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO ELIMINATE THE LOT LINE BETWEEN TWO (2) EXISTING LOTS CREATING ONE (1) COMBINED LOT.

CITY APPROVALS:	PROJECT NO.:	APPLICATION NO.:
<u>W. B. J...</u>		<u>2-21-06</u>
CITY SURVEYOR		DATE
TRAFFIC ENGINEERING		DATE
PARKS & RECREATION DEPARTMENT		DATE
WATER UTILITIES DEVELOPMENT		DATE
A.M.A.F.C.A.		DATE
CITY ENGINEER		DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT		DATE

SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 2-20-06
 Mitchell W. Reynolds Date
 New Mexico Professional Surveyor, 11224



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102

T10N R2E SECS. 21 & 22

PLAT OF
 LOT 10-A-1, BLOCK 2
 CLIFFORD WEST BUSINESS PARK, UNIT 1
 PROJECTED SECTIONS 21 & 22, T. 10 N., R. 2 E., N.M.P.M.
 TOWN OF ATRISCO GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY 2006
 SHEET 2 OF 2

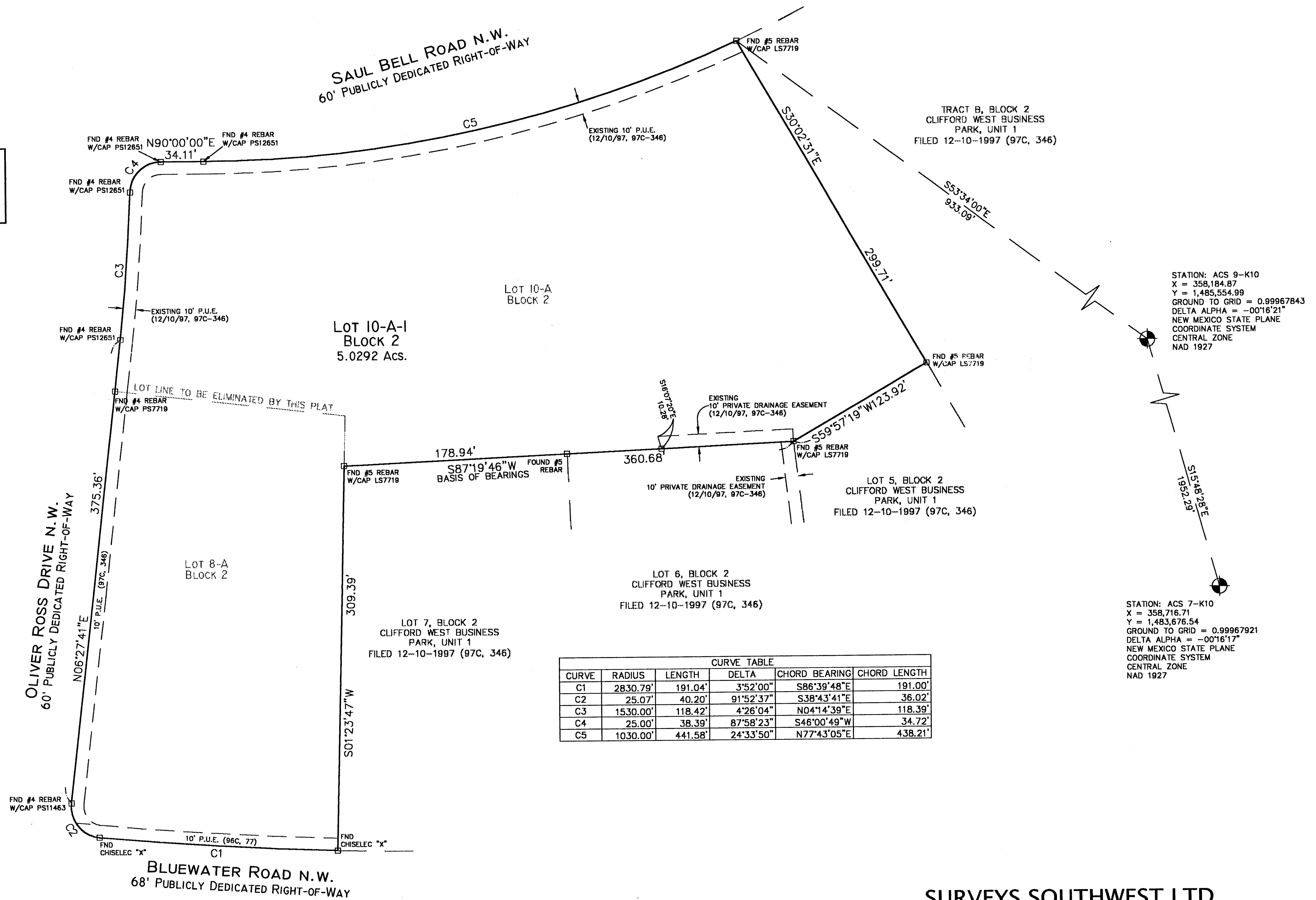
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SCALE: 1" = 60'

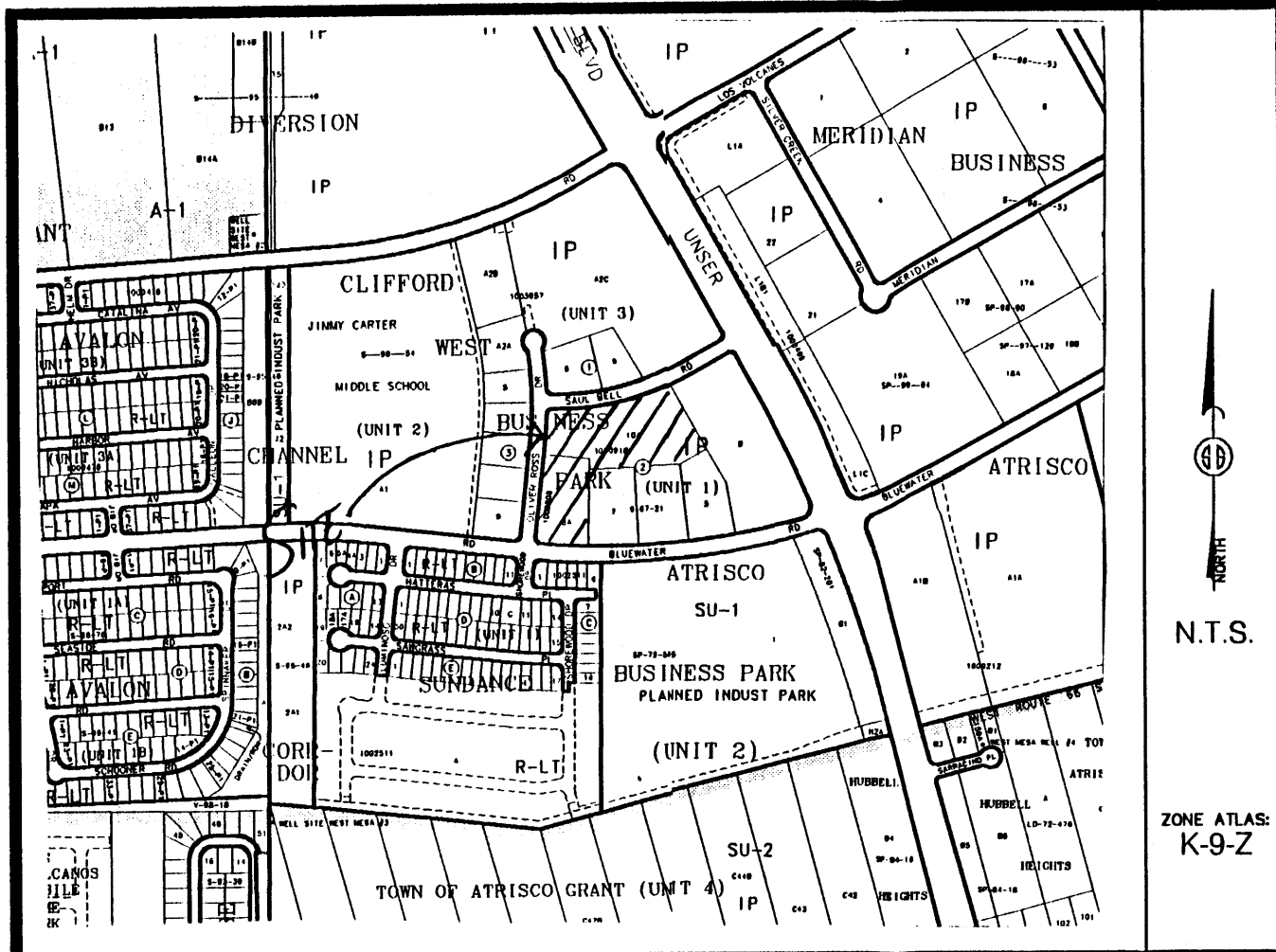
PROJECT NO. 0602PB10
 DRAWN BY PGB
 ZONE ATLAS: K-9-Z
 0602PB10.CR5



MONUMENT LEGEND
 ⊕ - FOUND CONTROL STATION AS NOTED
 ⊠ - FOUND MONUMENT AS NOTED



SURVEYS SOUTHWEST LTD.
 333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102
T10N R2E SECS. 21 & 22



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 9-K10 AND 7-K10, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. PROPERTY BOUNDARY DATA SHOWN HEREON IS IDENTICAL TO THAT SHOWN ON THE PLAT OF CLIFFORD WEST BUSINESS PARK, UNIT 1, FILED IN BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 10, 1997 IN MAP BOOK 97C, PAGE 346.
6. GROSS AREA: 5.0292 ACRES
7. NUMBER OF EXISTING LOTS: 2
8. NUMBER OF LOTS CREATED: 1
9. SUBJECT PROPERTY IS ZONED IP.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON 2 lots with #10
 UPC #: 1-010-057-005-062-20001
 PROPERTY OWNER OF RECORD: Fellowship Baptist Church
 BERNALILLO COUNTY TREASURER'S OFFICE:
P. Salinas 3/20/06

LEGAL DESCRIPTION

LOT NUMBERED EIGHT-A (8-A) IN BLOCK NUMBERED TWO (2) OF CLIFFORD WEST BUSINESS PARK, UNIT 1 AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 23, 2003 IN MAP BOOK 2003C, PAGE 222; TOGETHER WITH LOT NUMBERED TEN-A (10-A) IN BLOCK NUMBERED TWO (2) OF CLIFFORD WEST BUSINESS PARK, UNIT 1 AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 3, 2001 IN MAP BOOK 2001C, PAGE 3.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER(S) SIGNATURE: Willie Burrell DATE: 2/20/06
 OWNER(S) PRINT NAME: WILLIE BURRELL
 ADDRESS: 6530 Good Sam Blvd. NE, NE 87121 TRACT:
 ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)
 OFFICIAL SEAL
 Sarah Amato
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires: 10/01/09
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20th DAY OF FEBRUARY, 2006.
 BY: Willie Burrell
Sarah Amato
 NOTARY PUBLIC

**PLAT OF
 LOT 10-A-1, BLOCK 2
 CLIFFORD WEST BUSINESS PARK, UNIT 1
 PROJECTED SECTIONS 21 & 22, T. 10 N., R. 2 E., N.M.P.M.
 TOWN OF ATRISCO GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY 2006
 SHEET 1 OF 2**

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO ELIMINATE THE LOT LINE BETWEEN TWO (2) EXISTING LOTS CREATING ONE (1) COMBINED LOT.

CITY APPROVALS: PROJECT NO.: 1002808 APPLICATION NO. 06DRB-00242

<u>W. B. J...</u>	<u>2-21-06</u>
CITY SURVEYOR	DATE
<u>...</u>	<u>3-15-06</u>
TRAFFIC ENGINEERING	DATE
<u>Christina Sandora</u>	<u>3/15/06</u>
PARKS & RECREATION DEPARTMENT	DATE
<u>Roger J. Shea</u>	<u>3-15-06</u>
WATER UTILITIES DEVELOPMENT	DATE
<u>Bradley L. Bingham</u>	<u>3/15/06</u>
A.M.A.F.C.A.	DATE
<u>Bradley L. Bingham</u>	<u>3/15/06</u>
CITY ENGINEER	DATE
<u>Sharon Matson</u>	<u>3/15/06</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 2-20-06
 Mitchell W. Reynolds Date
 New Mexico Professional Surveyor, 11224



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102

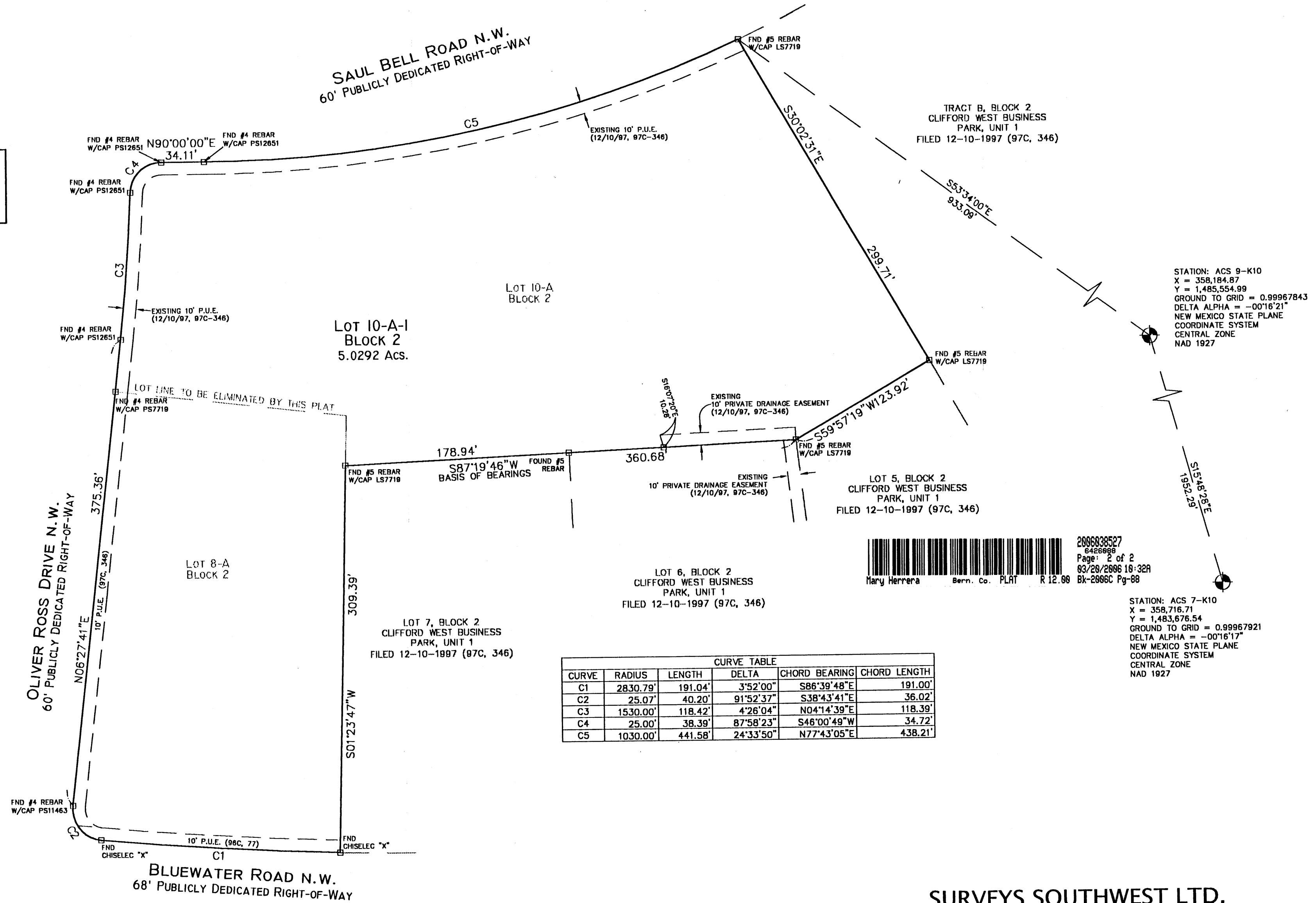
T10N R2E SECS. 21 & 22

PLAT OF
 LOT 10-A-1, BLOCK 2
 CLIFFORD WEST BUSINESS PARK, UNIT 1
 PROJECTED SECTIONS 21 & 22, T. 10 N., R. 2 E., N.M.P.M.
 TOWN OF ATRISCO GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY 2006
 SHEET 2 OF 2

40 25 10 0 15 30 45 60
 SCALE: 1" = 60'
 PROJECT NO. 0602PB10
 DRAWN BY PGB
 ZONE ATLAS: K-9-Z
 0602PB10.CR5



MONUMENT LEGEND
 ⊕ - FOUND CONTROL STATION AS NOTED
 □ - FOUND MONUMENT AS NOTED



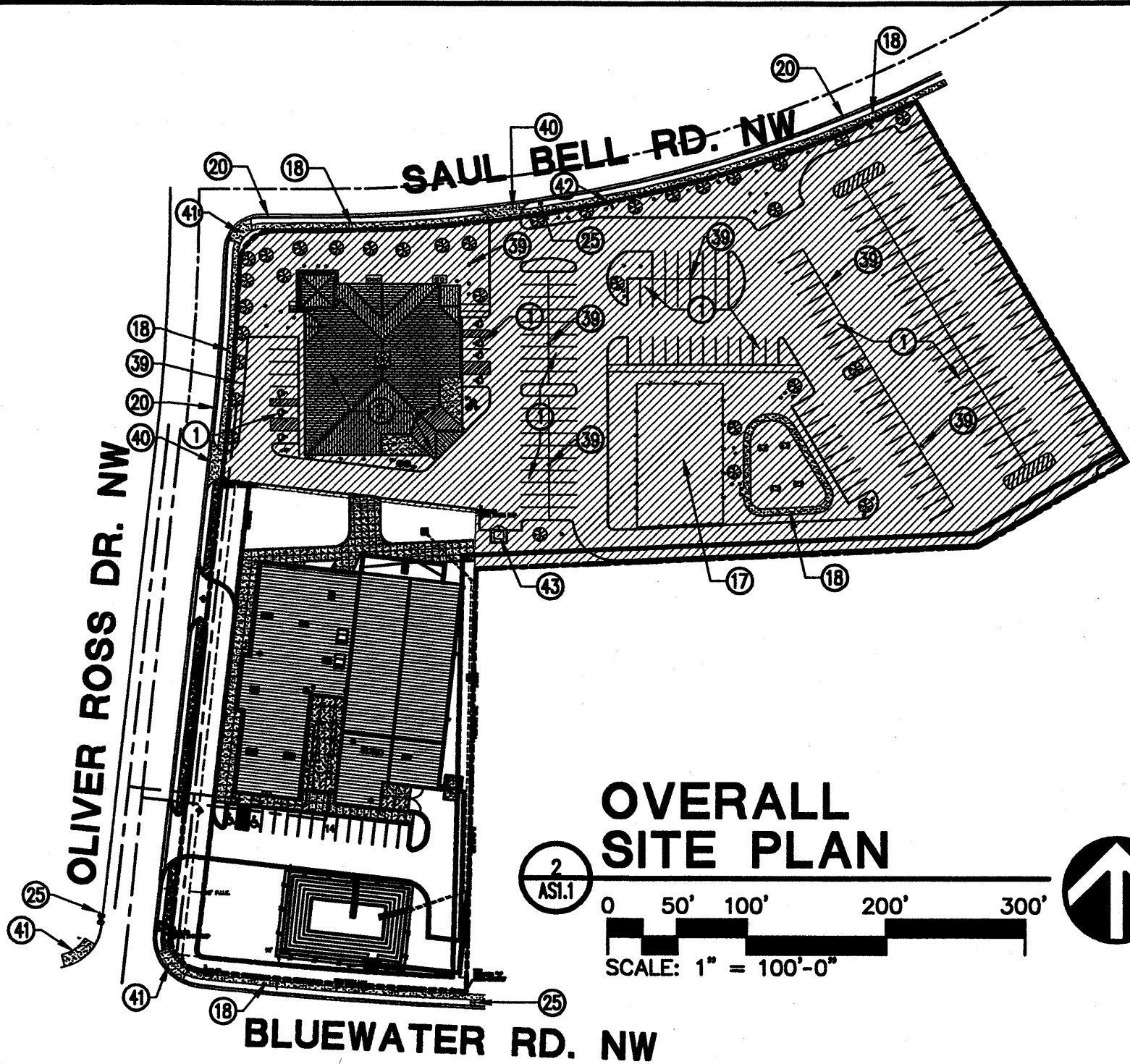
STATION: ACS 9-K10
 X = 358,184.87
 Y = 1,485,554.99
 GROUND TO GRID = 0.99967843
 DELTA ALPHA = -00°16'21"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927

STATION: ACS 7-K10
 X = 358,716.71
 Y = 1,483,676.54
 GROUND TO GRID = 0.99967921
 DELTA ALPHA = -00°16'17"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927

2006030527
 6428888
 Page: 2 of 2
 83/26/2006 18:32R
 Bk-2006C Pg-88
 Mary Herrera Bern. Co. PLAT R 12.00

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	2830.79'	191.04'	3°52'00"	S86°39'48"E	191.00'
C2	25.07'	40.20'	91°52'37"	S38°43'41"E	36.02'
C3	1530.00'	118.42'	4°26'04"	N04°14'39"E	118.39'
C4	25.00'	38.39'	87°58'23"	S46°00'49"W	34.72'
C5	1030.00'	441.58'	24°33'50"	N77°43'05"E	438.21'

SURVEYS SOUTHWEST LTD.
 333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102
 PHONE: (505) 998-0303
 FAX: (505) 998-0306
T10N R2E SECS. 21 & 22

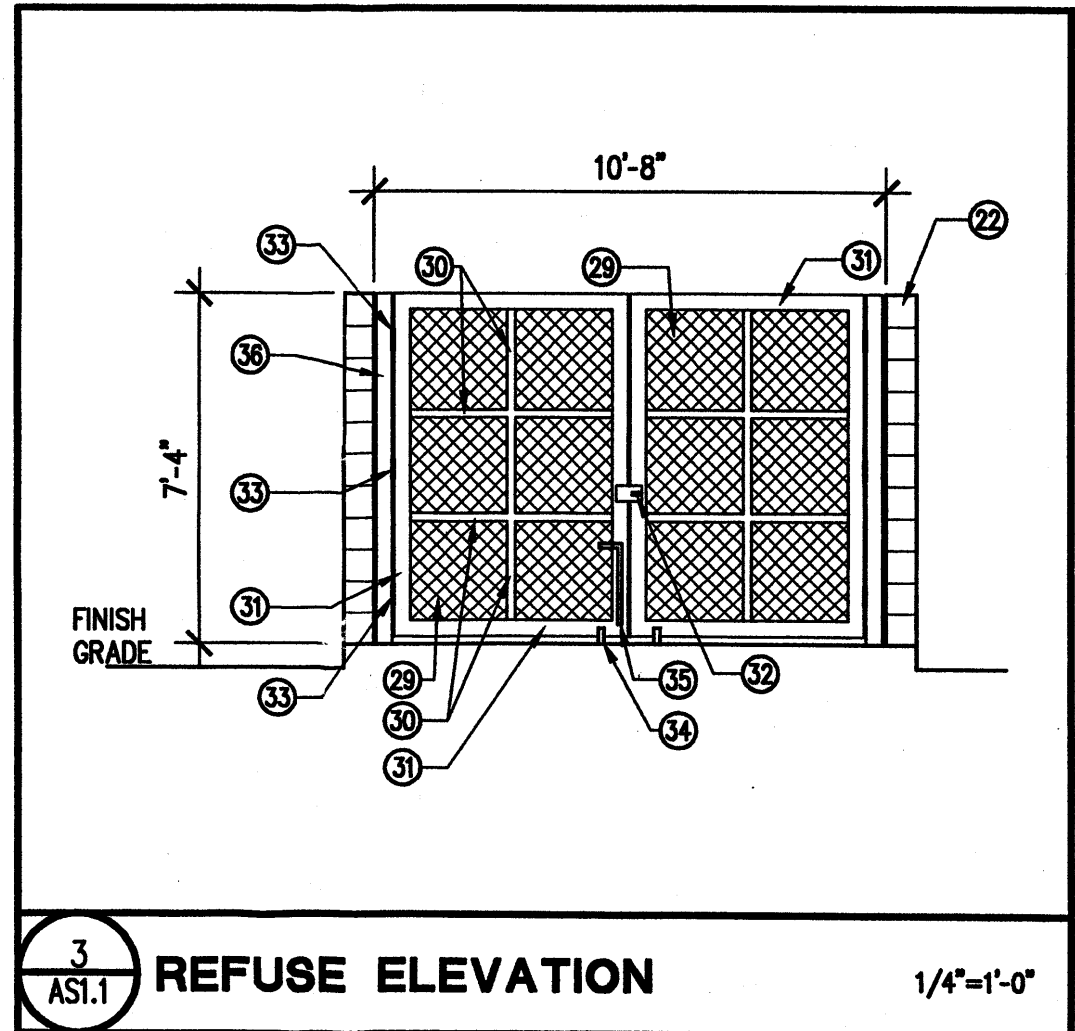


GENERAL NOTES:

- A. ALL ROOF TOP EQUIPMENT WILL BE SCREENED FROM VIEW OR PAINTED TO MATCH THE BUILDING.
- B. SEE CIVIL DRAWINGS FOR FURTHER INFORMATION.

KEYED NOTES:

1. EXISTING PARKING TO REMAIN.
2. EXISTING CHURCH BUILDING TO REMAIN.
3. CONCRETE SIDEWALK PER COA DWG. 2430.
4. NEW ASPHALT PAVING.
5. 6" CONCRETE CURB AND GUTTER. SEE CIVIL DRAWINGS.
6. NEW GYMNASIUM BUILDING.
7. NEW CLASSROOM BUILDING.
8. HANDICAP PARKING. SEE DETAILS 5 & 6/AS1.2.
9. OUTDOOR COURTYARD. SEE FLOOR PLAN, SHEET A1.1.
10. RETENTION POND. SEE CIVIL DRAWINGS.
11. DRAIN BASIN. SEE CIVIL DRAWINGS.
12. HANDICAP RAMP PER SEE COA DWG. 2426.
13. NEW PARKING STRIPING AS SHOWN.
14. REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER. REPLACE WITH NEW 24" CONCRETE VALLEY GUTTER PER COA DWG. 2420.
15. METAL DOWNSPOUT LOCATION.
16. NEW 6" HIGH CHAMBLINK PERIMETER FENCE.
17. EXISTING PLAY AREA TO REMAIN.
18. EXISTING CONCRETE SIDEWALK TO REMAIN.
19. METAL DOWNSPOUT LOCATION. PROVIDE CONCRETE SPLASHBLOCK. SEE DETAIL 7/AS1.2.
20. EXISTING CURB TO REMAIN.
21. "CALVES TONGUE" SCUPPER.
22. DUMPSTER ENCLOSURE WALLS TO BE 8" SMOOTH FACE CMU WALL 7'-4" HIGH, PAINT TO MATCH NEW BUILDING STUCCO COLOR. SEE ELEVATION 3/AS1.1 THIS SHEET.
23. STONE SIGN WITH ONE-CUT LETTERING. SEE ELEVATION 5/AS1.1, SHEET 4.
24. WALL MOUNTED EXTERIOR LIGHT FIXTURE. MOUNTED AT 10'-0" A.F.F.
25. EXISTING FIRE HYDRANT.
26. 12" SMOOTH FACE CMU WALL 12'-0" HIGH, PAINT TO MATCH NEW BUILDING STUCCO COLOR.
27. 12" SMOOTH FACE CMU WALL 10'-0" HIGH, PAINT TO MATCH NEW BUILDING STUCCO COLOR.
28. REQUIRED SETBACK LINE.
29. 1 1/2" NO.13 WOVEN WIRE MESH WELD TO STEEL FRAME, PAINT.
30. 2"x2" TUBE STEEL, PAINT.
31. 4"x2" TUBE STEEL, FRAME, PAINT.
32. STEEL LOCKING DEVICE.
33. HEAVY DUTY HINGES.
34. HEAVY DUTY WHEEL, WELD TO STEEL FRAME.
35. CANE BOLT.
36. 4" STEEL CHANNEL, PAINT.
37. BIKE RACK TO ACCOMMODATE 12 BICYCLE SPACES.
38. EXTERIOR RECESSED DOWN LIGHTS.
39. EXISTING LIGHT POLE.
40. EXISTING CONCRETE CURB CUT AND APRON TO REMAIN.
41. EXISTING CONCRETE RAMP TO REMAIN.
42. EXISTING SIGN TO REMAIN.
43. EXISTING DUMPSTER ENCLOSURE TO REMAIN.
44. ATTENTION SOLID WASTE MANAGEMENT: ONE NEW DUMPSTER ENCLOSURE IS BEING PROVIDED IN ADDITION TO ONE EXISTING DUMPSTER ENCLOSURE. EXISTING DUMPSTER TO BE USED IN CASE OF WASTE OVERFLOW. AN ADDITIONAL DUMPSTER WILL BE PROVIDED IN THE FUTURE IF NECESSARY.
45. PAINT ARROW AS SHOWN.
46. TRAFFIC SIGN TO READ "DO NOT ENTER".
47. 4" CONCRETE PAVING. SCORE PATTERN AS SHOWN. SEE DETAIL 4/AS1.2.

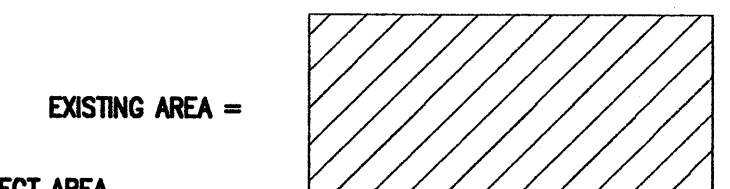


AFD Plans Checking Office
924-3611
HYDRANTS ONLY
Hydrants shall be installed
prior to construction
Site Plan approval access also
APPROVED/DISAPPROVED
R.E. Jones 3-17-06
Signature & Date

BICYCLE SPACES

OCCUPANCY TYPE (CHAPTER 3) E EDUCATIONAL
OCCUPANT LOAD (TABLE 1004.1.2) CLASSROOMS: 240
BICYCLE SPACE REQUIREMENT FOR ELEMENTARY SCHOOL:
1 BICYCLE SPACE PER 20 STUDENTS
240/20 = 12 BICYCLE SPACES
BICYCLE SPACES REQUIRED: 12
BICYCLE SPACES TO BE PROVIDED: 12
(SEE KEYED NOTE 37 THIS SHEET)

LEGEND



PARKING CALCULATIONS

NEW CLASSROOM ADDITION:

1 SPACE PER EMPLOYEE
REQUIRED PARKING 12 (BASED ON 12 EMPLOYEES)
PROVIDED PARKING 12

REQUIRED HANDICAPPED PARKING 1
PROVIDED HANDICAPPED PARKING 2

EXISTING CHURCH:

1 SPACE PER 4 SEATS
MAIN ROOM SEATS 650
REQUIRED PARKING 650/4 = 163
PROVIDED PARKING: 215

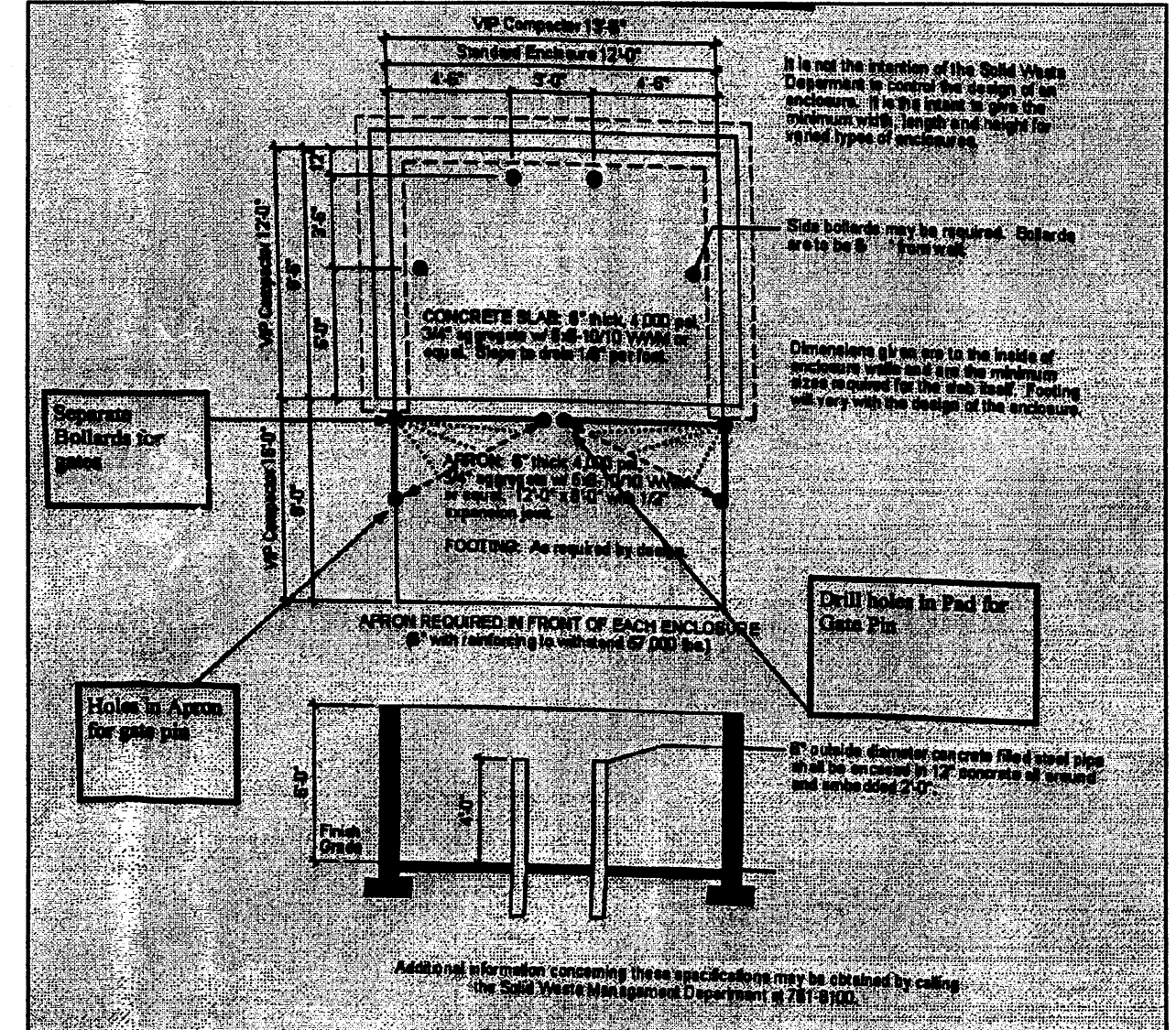
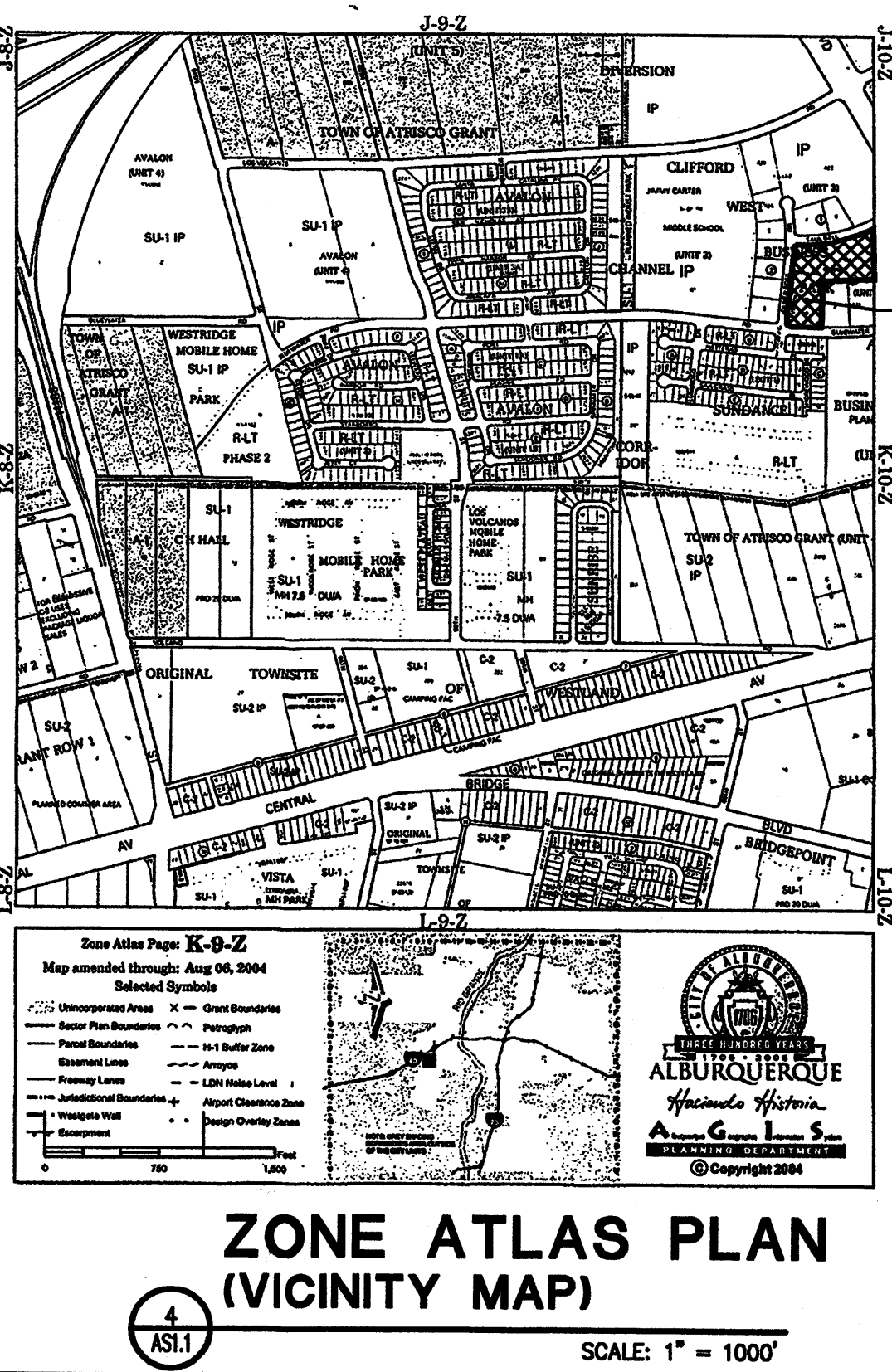
TOTAL PARKING SPACES REQUIRED: 175
TOTAL PARKING SPACES PROVIDED: 227

ZONING

IP
BUILDING AREA & CONSTRUCTION TYPE

EXISTING CHURCH BUILDING	14,278 SF
NEW BUILDING	22,948 SF
NEW CIRCULATION	7,300 SF
NEW PARKING	2,680 SF
TOTAL LANDSCAPE PROVIDED	29,541 SF

CONSTRUCTION TYPE (CHAPTER 6) II B



PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

Department	Date
Traffic Engineering, Transportation Division	_____
Water Utility Department	_____
Parks and Recreation Department	_____
City Engineer	_____
Environmental Health Department (conditional)	_____
Solid Waste Management	_____
DRB Chairperson, Planning Department	_____

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ARCHITECT

CONSULTANT

PROJECT TITLE

**Fellowship Baptist Church
First Fruits Christian Academy - Classrooms and Gymnasium
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

ALBUQUERQUE NEW MEXICO

ARCHITECTURAL SITE PLAN

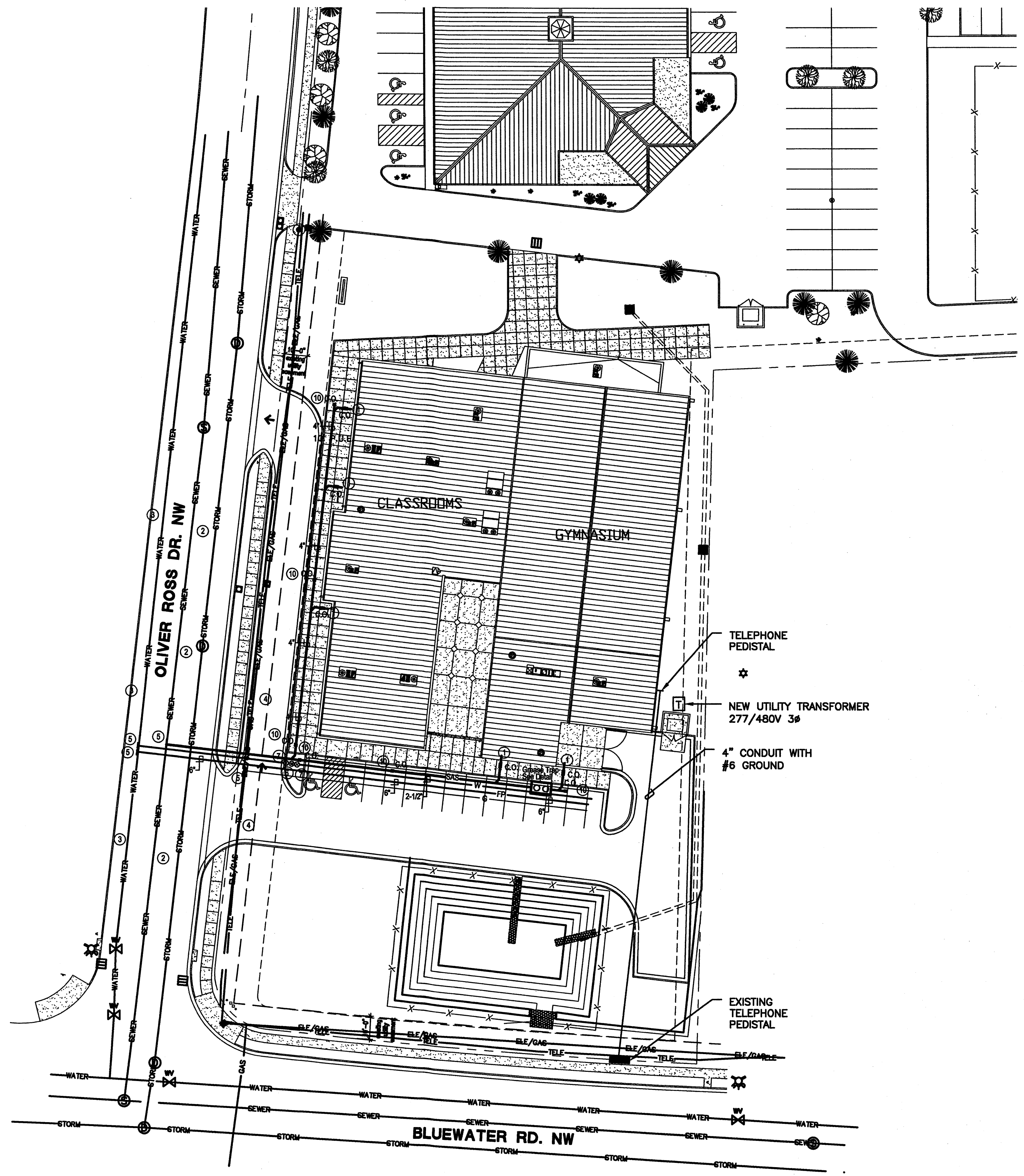
REVISIONS

MK	DATE	DESCRIPTION

JOB NUMBER:
A05.23

DATE:
03/15/06

SHEET NO
AS1.1



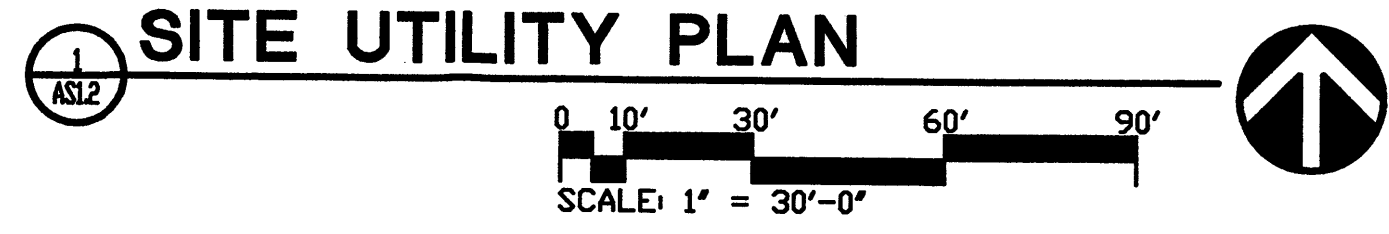
UTILITY NOTES: O

1. See 1/8" Plumbing Plan for continuation.
2. Approximate location of existing sanitary line.
3. Approximate location of existing water line.
4. Approximate location of existing natural gas line.
5. Point of connection, new to existing.
6. New 1-1/2" water meter and service stops, on both sides of meter. Coordinate all requirements with the City of Albuquerque (73 gpm).
7. New service stop. See Detail.
8. Two way cleanout to grade. See Detail.
9. Gas meter/regulator sized for a total connected load of 3000 CFH. Regulator shall reduce incoming pressure to 5 psi. Provide main shutoff valve. Installation per Public Service Company of New Mexico (Gas Division).
10. C.O. to grade. See Detail.

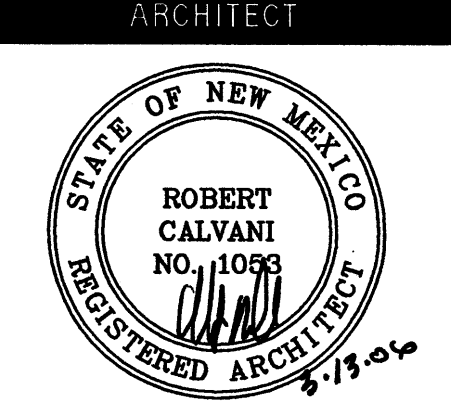
GENERAL UTILITY NOTES:

These drawings reflect information on utilities gathered by site inspections, discussions with the City of Albuquerque, PNM Gas Services and previous construction drawings. It is possible that the exact location of lines in the immediate vicinity of the proposed building may be slightly different from the locations shown on this drawing. If additional lines are encountered they shall be exposed and identified. Where additional lines and/or differing locations are encountered, the Mechanical Contractor shall request that the Architect make a ruling as to any necessary change of materials, re-routing, abandoning or relocating such lines. PNM Gas Services shall be the sole authority in ruling on the disposition of natural gas piping.

Minimum depth below grade (cover):
 Water --- 36" Sewer --- 24" Gas --- 18"
 Refer to Architectural Plans for finish and existing grades.
 The Mechanical Contractor shall coordinate cut-off of existing utilities for new connections with City of Albuquerque Engineering Officials and Owner, and shall conform to their requirements.
 Sewer piping below slab or paving, or within 10 feet of water lines shall be standard weight cast iron.
 Utilities connection points are approximate only. Field verify all connection points.



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**Fellowship Baptist Church
 First Fruits Christian Academy - Classrooms and Gymnasium
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**
 ALBUQUERQUE NEW MEXICO
SITE UTILITY PLAN

REVISIONS

MK	DATE	DESCRIPTION

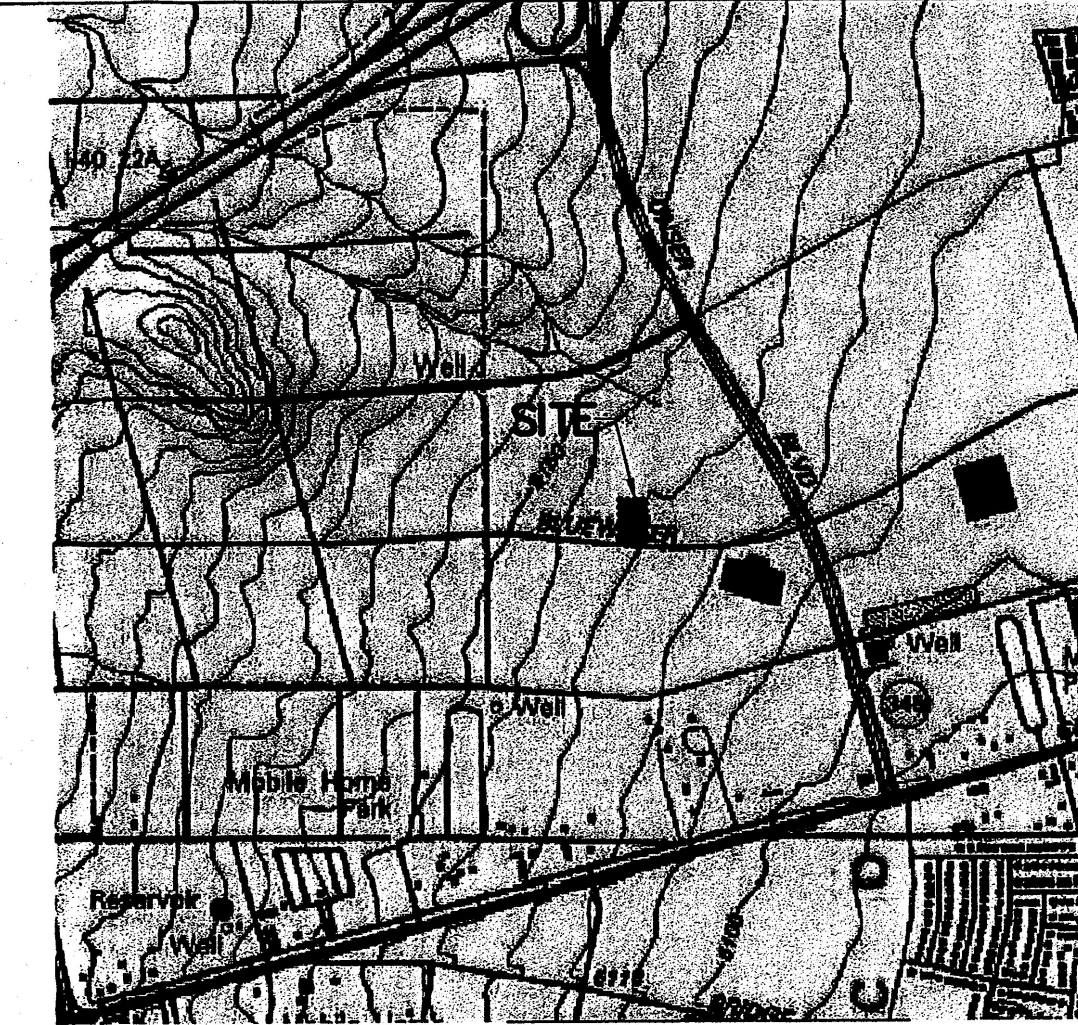
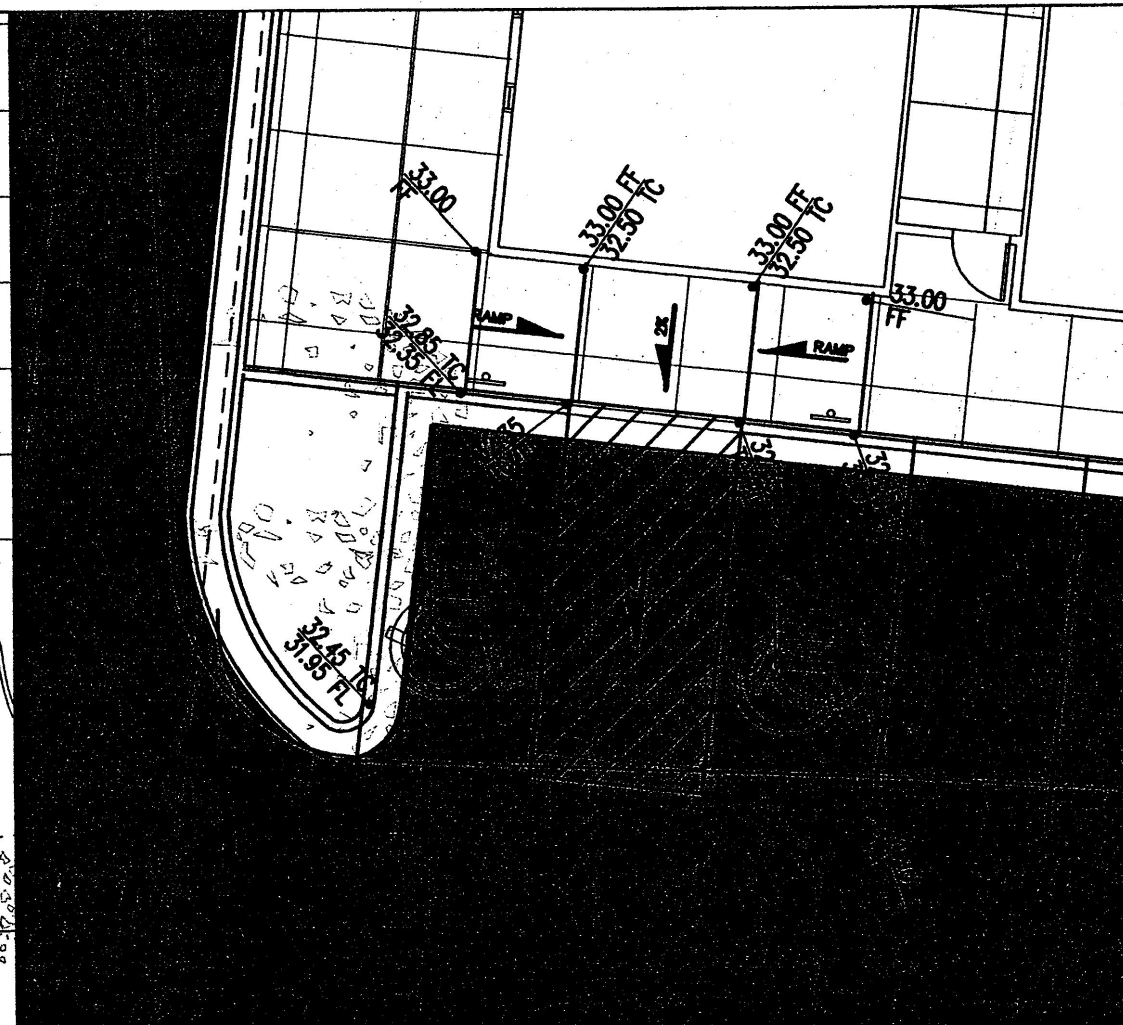
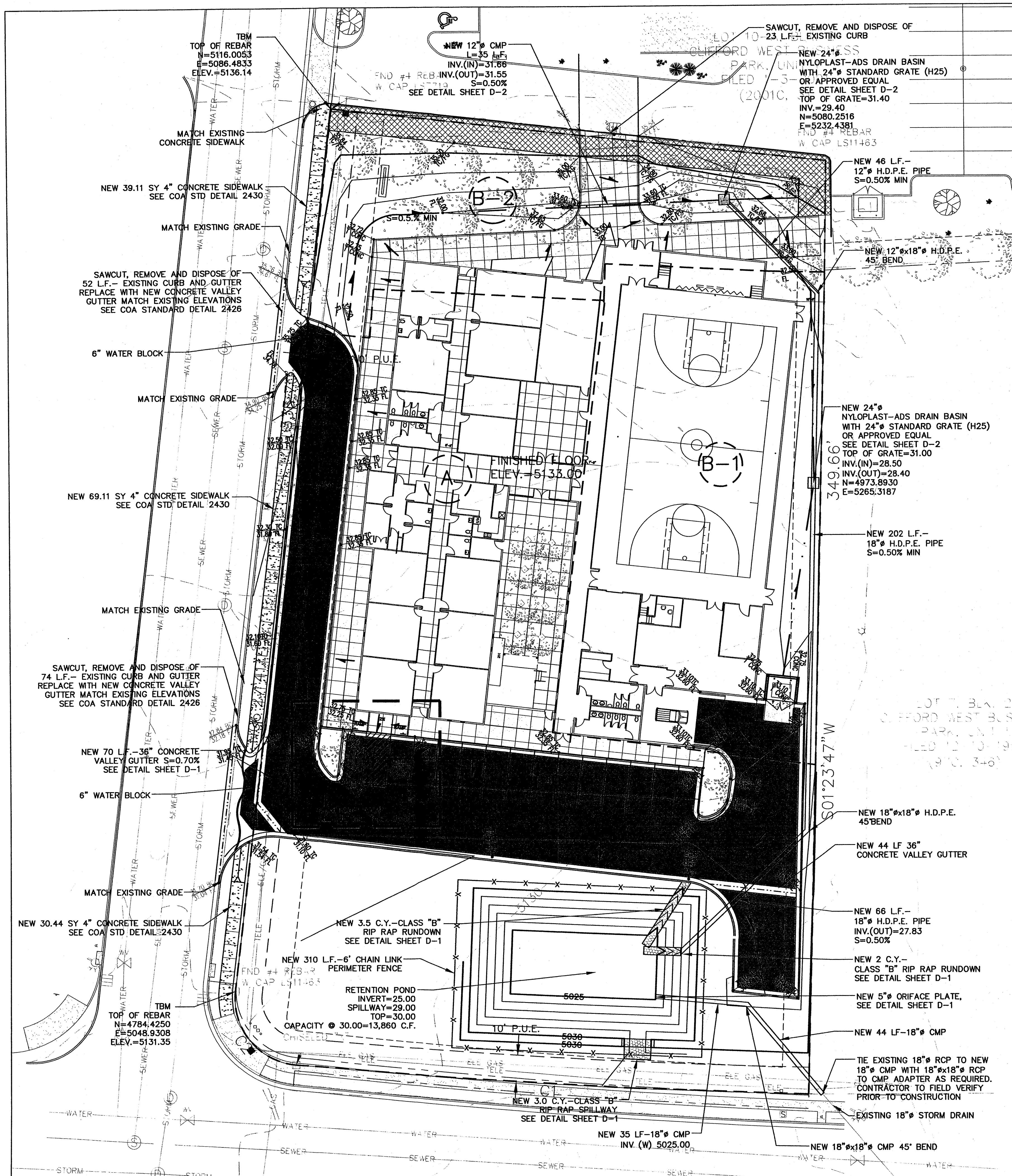
DRAWN BY: WA CHECKED BY: DP

JOB NUMBER:
 A05.23

DATE:
 03/15/06

SHEET NO

AS1.2



EXISTING ON-SITE CONDITIONS

THE PROJECT SITE IS CURRENTLY UNDEVELOPED AND CONSISTS OF NATIVE GRASSES. THE PROJECT SITE SLOPES FROM NORTHWEST TO SOUTHEAST AT APPROXIMATELY 2%. THE TOTAL AREA OF THE SITE IS 1.6361 ACRES. THE LAND TREATMENTS ARE CATEGORIZED AS: 100% A, 0% B, 0% C AND 0% D.

PROPOSED DEVELOPMENT

THE PROPOSED PROJECT WILL BE A NEW BUILDING WITH APPROXIMATELY 25,400 S.F. THE TOTAL AREA OF THE PROPOSED IMPROVEMENTS ARE ESTIMATED AT 1,2323 ACRES. THE PROPOSED PARKING LOT WILL CONSIST OF A CONCRETE CURB AND GUTTER PERIMETER AND A NEW ASPHALT PAVED SURFACE WITH CONCRETE VALLEY GUTTER AS REQUIRED TO PROVIDE POSITIVE DRAINAGE IN PAVED AREAS. THE PARKING LOT AREA AS WELL AS RUNOFF FROM THE NEW BUILDING WILL DRAIN SOUTH AND EAST TO THE NEW 13,800 CUBIC FOOT RETENTION POND LOCATED AT THE SOUTHEAST CORNER OF THE PROPERTY. THE NORTH AND EAST SIDE OF THE PROPERTY WILL DRAIN THROUGH A NEW STORMDRAIN SYSTEM, AND INTO THE NEW RETENTION POND. THE LAND TREATMENTS UNDER PROPOSED CONDITIONS ARE CATEGORIZED AS: 0% A, 32% B, 0% C AND 68% D.

STORMWATER ROUTING

AS PREVIOUSLY MENTIONED, ALL SITE RUNOFF DISCHARGES INTO A PROPOSED RETENTION POND, WHICH HAS BEEN SIZED TO RETAIN THE 100-YEAR, 24-HOUR VOLUME. AN EMERGENCY SPILLWAY HAS BEEN PROVIDED TO SAFELY CONVEY THE 100-YEAR, 6-HOUR PEAK DISCHARGE OF 6.06 CUBIC FEET PER SECOND(CFS).

OFFSITE FLOWS

THIS PROJECT SITE DOES NOT RECEIVE OFFSITE FLOWS. WATER BLOCKS HAVE BEEN PLACED AT THE ENTRANCE AND EXIT OF THE PROJECT TO PREVENT OFFSITE FLOWS ON OLIVER ROSS DRIVE FROM ENTERING THE SITE.

DRAINAGE DATA

HYDROLOGY
Precipitation Zone 1 - 100-year Storm P(360) = 2.20 in P(1440) = 2.66 in

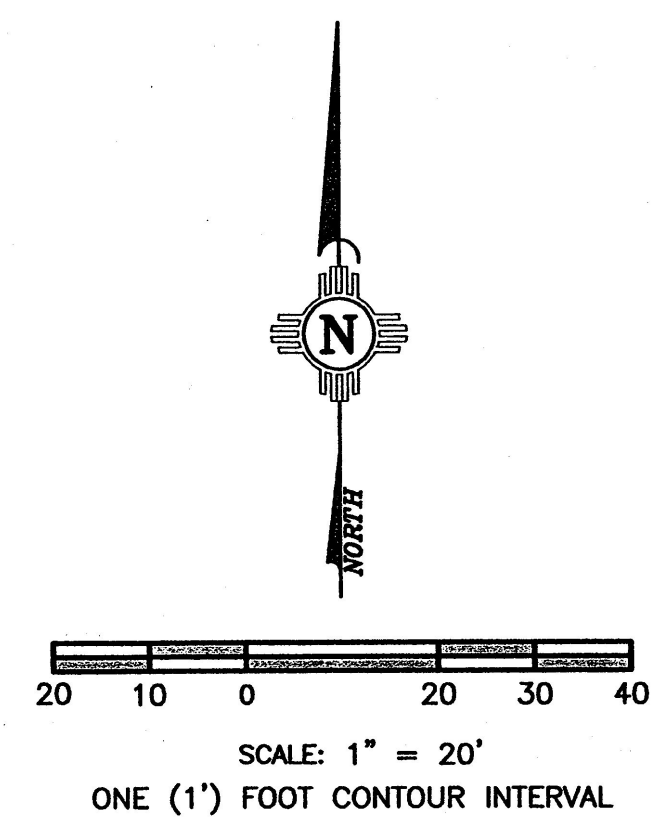
Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
	A	B	C	D				
Site	1.64	1.64	0.00	0.00	0.44	0.060	0.060	2.12
Proposed Conditions								
A	1.03	0.00	0.35	0.00	0.68	1.83	0.157	3.67
B1	0.36	0.00	0.00	0.00	0.36	1.97	0.059	1.56
B2	0.25	0.00	0.00	0.18	0.07	1.27	0.027	0.83
Total	1.64					0.216	0.258	6.06

HYDROLOGY
Precipitation Zone 1 - 10-year Storm P(360) = 1.46 in P(1440) = 1.77 in

Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
	A	B	C	D				
Site	1.64	1.64	0.00	0.00	0.08	0.011	0.011	0.39
Proposed Conditions								
A	1.03	0.00	0.35	0.00	0.68	0.89	0.076	1.02
B1	0.36	0.00	0.00	0.00	0.36	1.24	0.037	0.51
B2	0.25	0.00	0.00	0.18	0.07	0.67	0.014	0.17
Total	1.64					0.127	0.170	3.73

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
2. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR CONSTRUCTION.
3. CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.
4. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OR EXISTING UTILITIES.
5. BACKFILL AND COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
7. ALL CONCRETE SHALL BE A MINIMUM OF 3000 P.S.I.
8. PROJECT BENCHMARK IS A #4 REBAR LOCATED ON THE NORTHWEST PROPERTY CORNER, NORTHING=5116.0053 EASTING=5086.4833 ELEVATION=5136.14 FEET
9. ALL EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS HAS BEEN PROVIDED BY NCA ARCHITECTS. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
10. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.



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ARCHITECT

CONSULTANT

PROJECT TITLE

**Fellowship Baptist Church
First Fruits Christian Academy - Classrooms and Gymnasium
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

ALBUQUERQUE NEW MEXICO

REVISIONS

1	3/7	ADD RUMT SECT
2	3/13	DW ENTRANCES

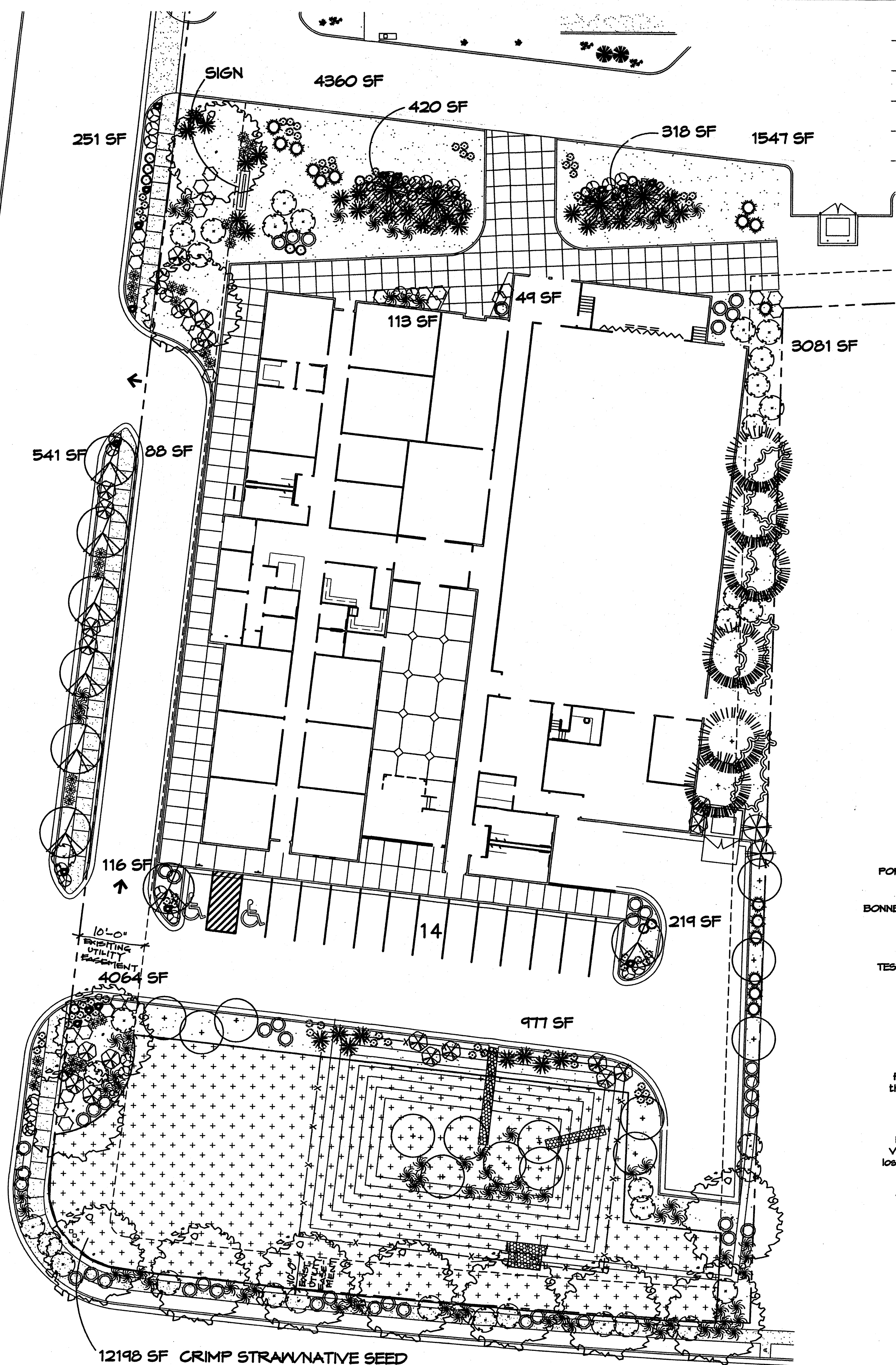
MK DATE DESCRIPTION
DRAWN BY: CHECKED BY:

JOB NUMBER:
A05.23

DATE:
11/22/05

SHEET NO:
C-1

ME MILLER ENGINEERING CONSULTANTS
Engineers • Planners



PLANT LEGEND

- ARIZONA ASH (M) 12
Fraxinus velutina
2" Gal.
- AUSTRIAN PINE (M) 6
Pinus nigra
6'-8'
- PALM YUCCA (L) 4
- ARP ROSEMARY (M) 43
Rosmarinus officinalis
2" Gal. 4sf
- AUTUMN SAGE (M) 25
Salvia greggii
2" Gal. 4sf
- BLUE MIST SPIREA (M) 25
Caryopteris clandonensis
5" Gal. 4sf
- BUTTERFLY BUSH (M) 35
Buddleia davidii
5" Gal. 100sf
- INDIAN HAWTHORN (M) 20
Raphiolepis indica
5" Gal. 36sf
- LANAS/ SCOTCH BROOM (M) 16
Cytisus scoparius/
Genista hispanica
5" Gal. 4sf
- LAVENDER (M) 14
Lavandula angustifolia
1" Gal. 4sf
- MAIDENGRASS (M) 75
Miscanthus sinensis
5" Gal. 16sf
- FLOWERING PEAR (M+) 8
Pyrus calleryana
2" Gal.
- NEW MEXICO OLIVE (L) 14
Forestiera neomexicana
15 Gal. 225 SF
- RED YUCCA (L) 31
Hesperaloe parviflora
5 Gal. 4sf
- SILVERBERRY (M) 2
Elaeagnus pungens
5 Gal. 100sf
- THREADGRASS (L+) 25
Stipa tenuissima
1 Gal. 4sf
- WILDFLOWER 30
1 Gal. 4sf
- GRAYLEAF COTONEASTER (M) 12
Cotoneaster buxifolius 5 Gal. 21
sf Symbol indicates 3 plants
- OVERSIZE GRAVEL AND
20 BOULDERS
- 3/4" GRAY GRAVEL
WITH FILTER FABRIC
AT 3" DEPTH
- COBBLESTONE
- CRIMP STRAW/NATIVE SEED
- STEEL EDGE

NOTE: ATRIUM TREE WELLS TO BE PLANTED BY CHURCH MEMBERS

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric at 3" depth shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

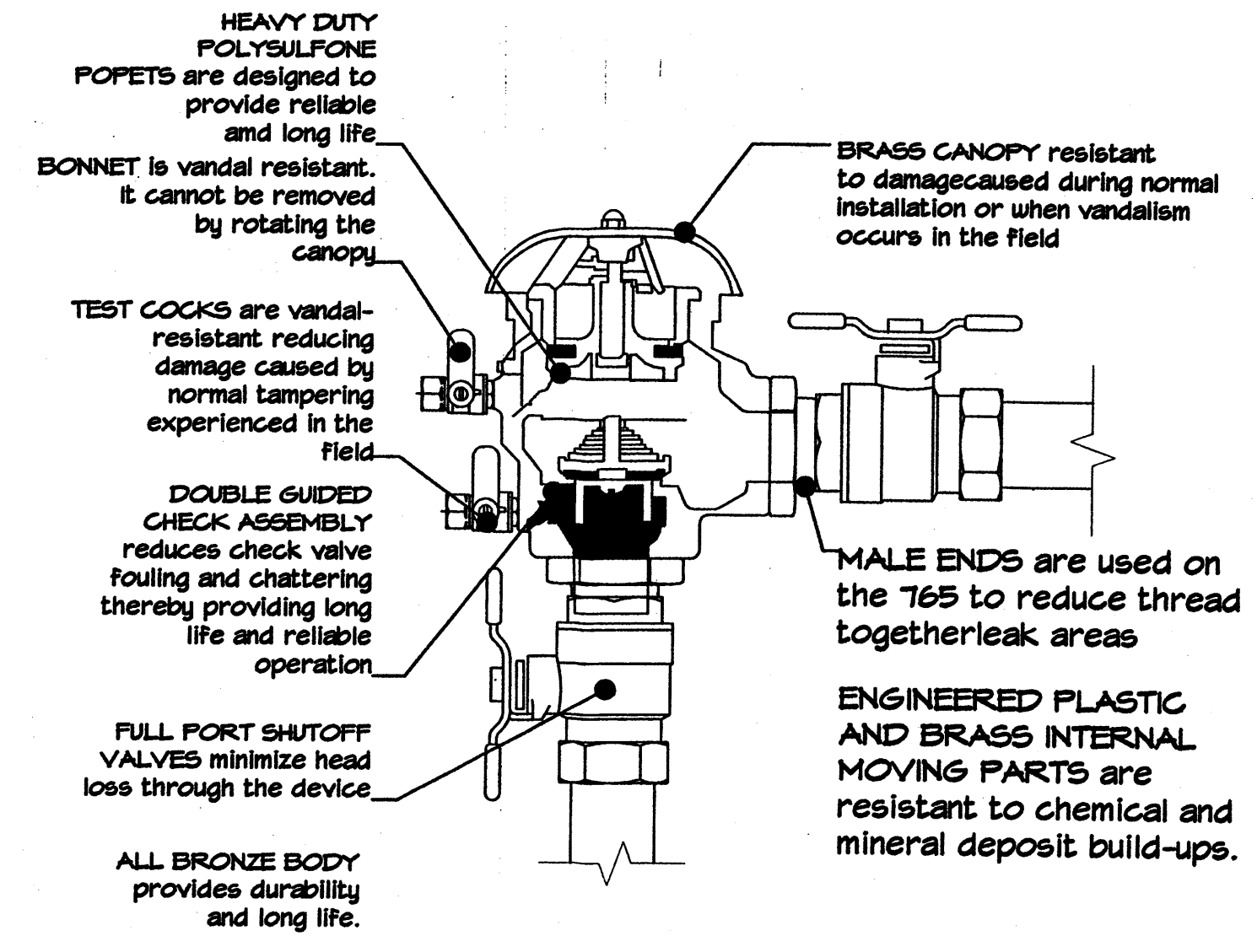
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

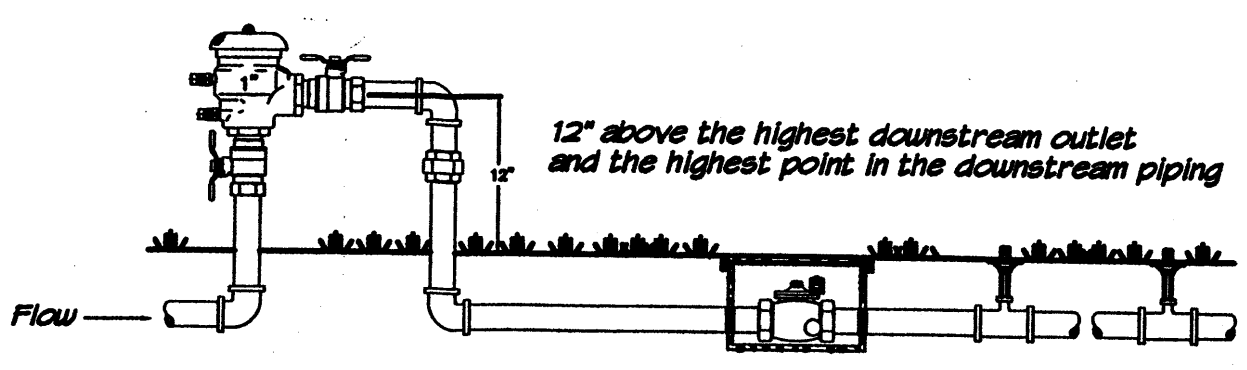
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



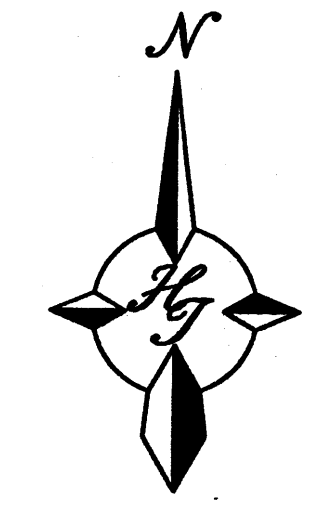
FEBCO MODEL 765 Pressure Vacuum Breaker Features



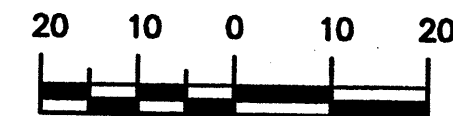
FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	76318	square feet
TOTAL BUILDINGS AREA	25488	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	50830	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	7624	square feet
TOTAL BED PROVIDED	15586	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	11689	square feet
TOTAL GROUNDCOVER PROVIDED	11682	square feet
TOTAL CS/NS AREA	12986	square feet
TOTAL LANDSCAPE PROVIDED	25028	square feet



GRAPHIC SCALE



SCALE: 1"=20'

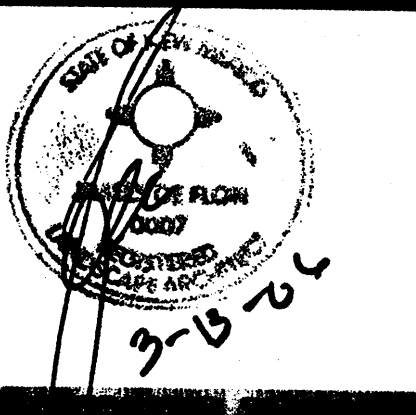
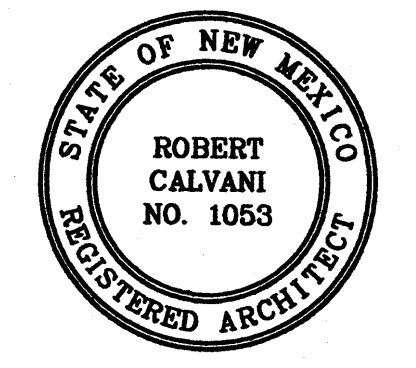


LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com

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Fellowship Baptist Church
First Fruits Christian Academy - Classrooms and Gymnasium
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
ALBUQUERQUE NEW MEXICO

ADF 3/13/06 SITE PLAN REVISION

MK DATE DESCRIPTION

RMM CJ

A05.23

03/15/06

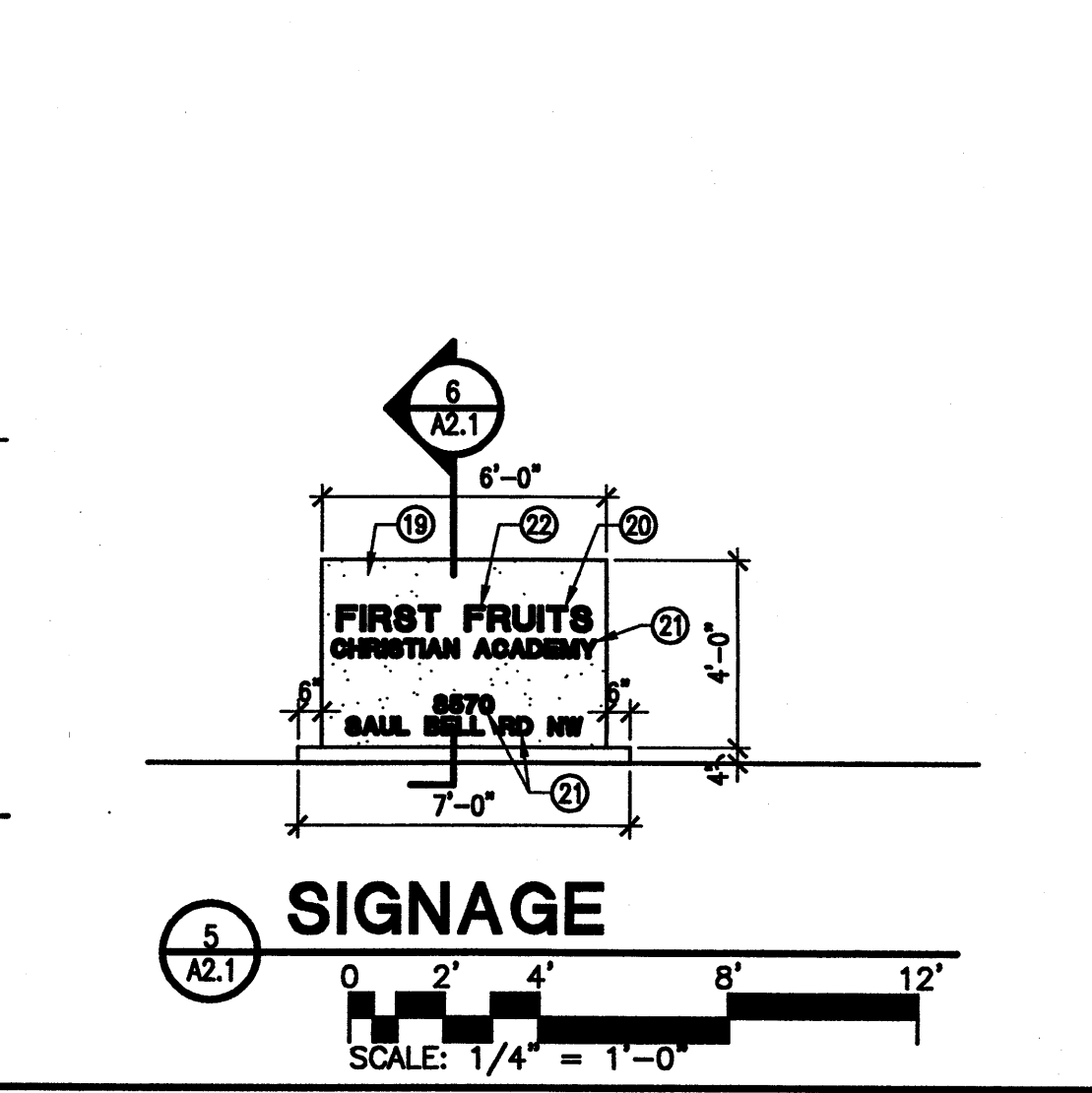
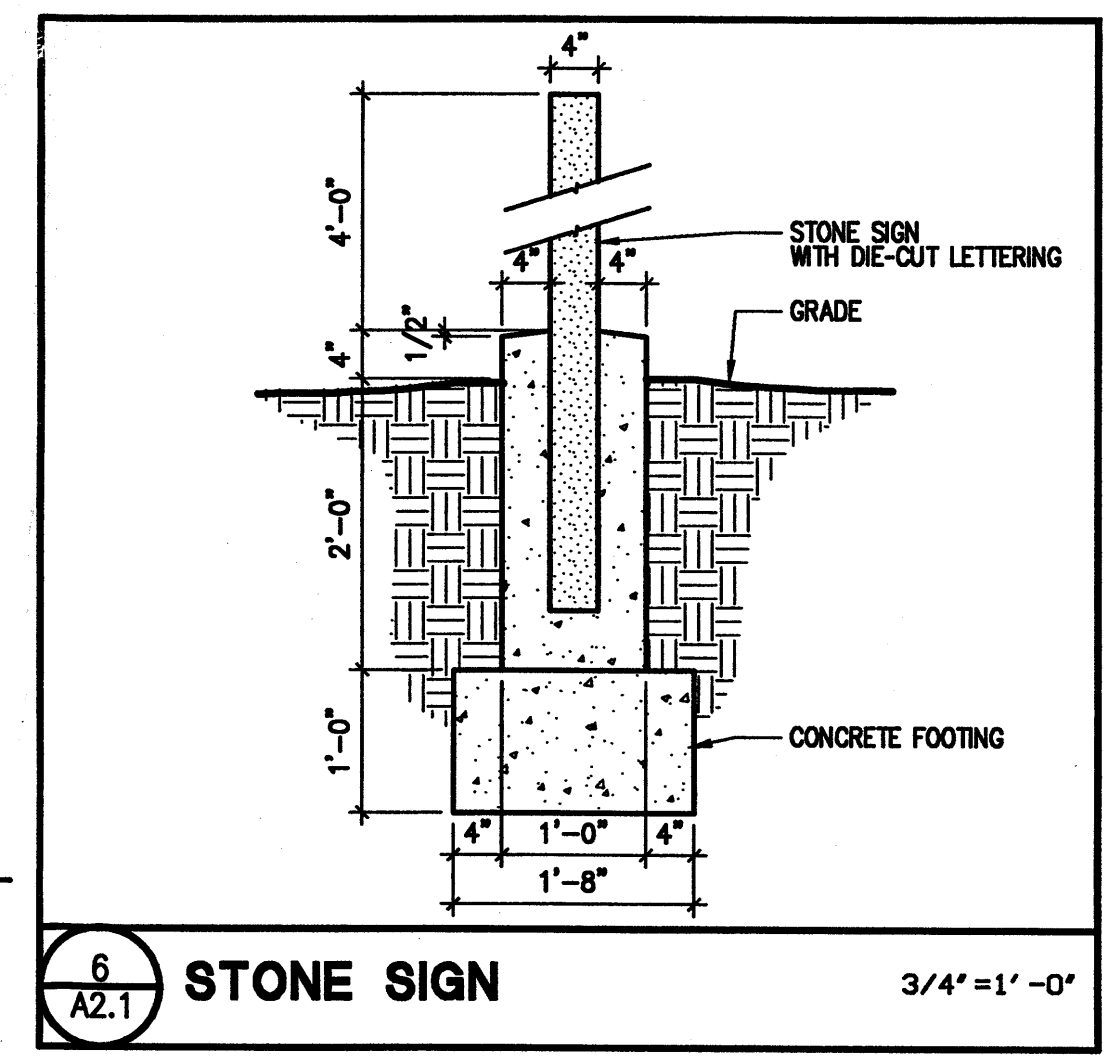
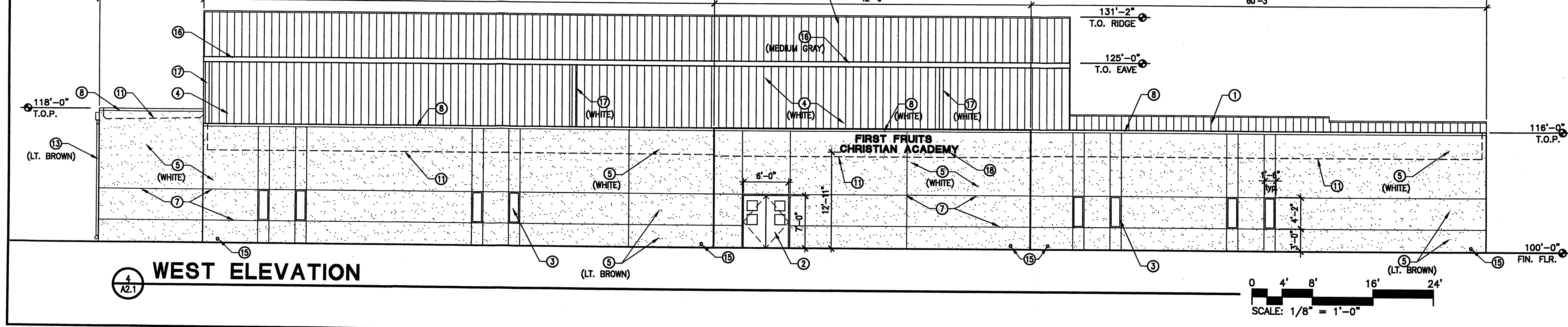
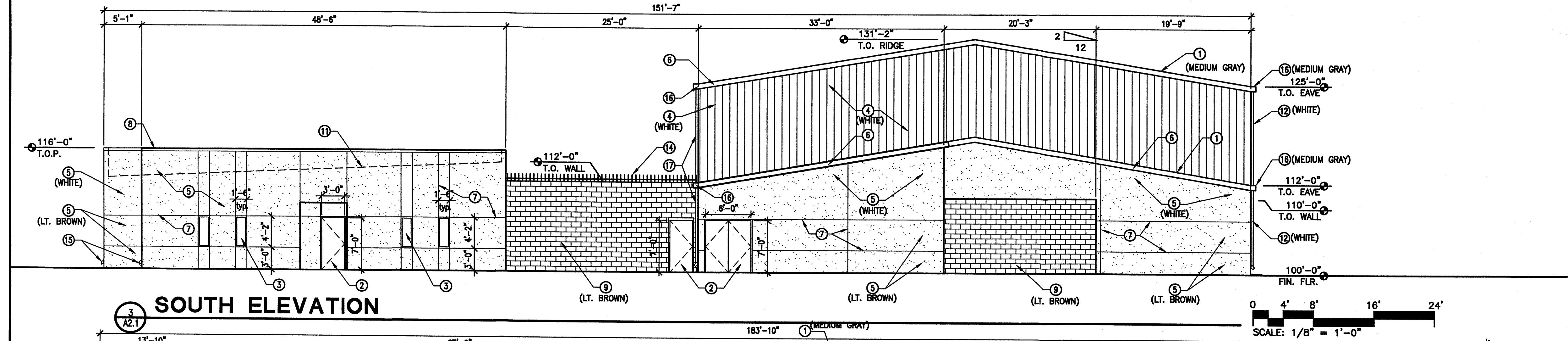
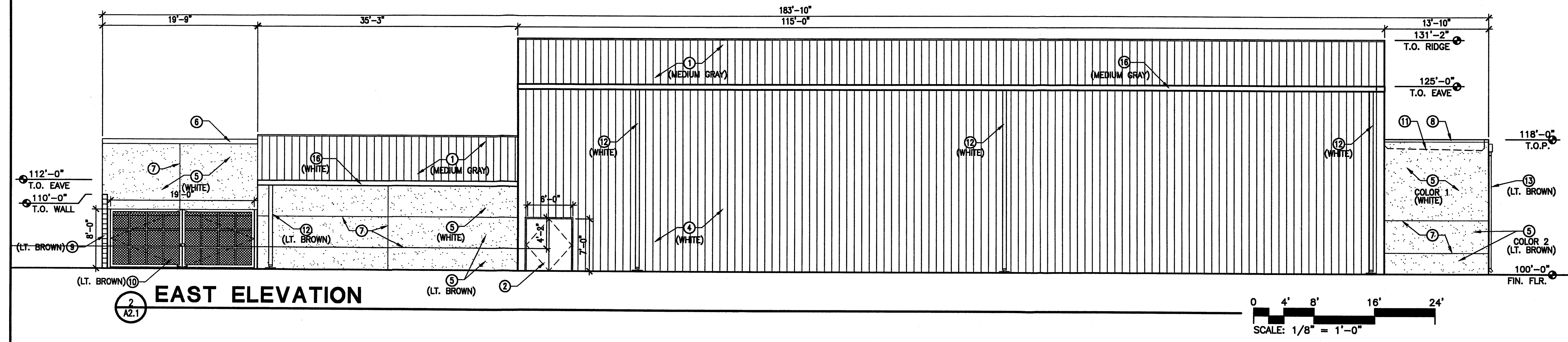
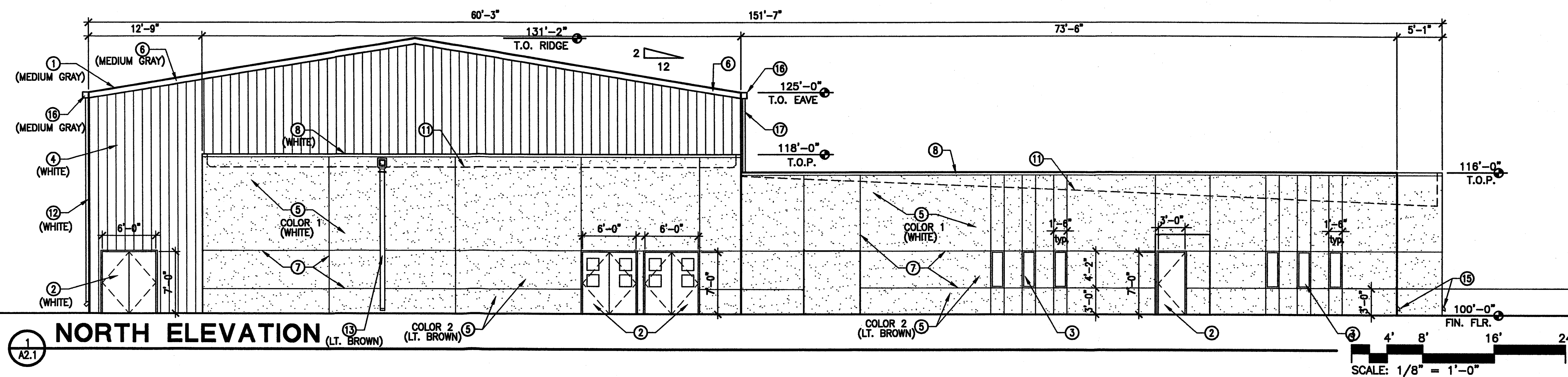
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DRAWN BY:	JN/BEH	CHECKED BY: DP
JOB NUMBER:	A05.23	
DATE:	02/16/06	
SHEET NO	A2.1	

KEYED NOTES:

- METAL ROOF SYSTEM - MEDIUM GRAY TO MATCH EXISTING CHURCH ROOF COLOR.
- HOLLOW METAL DOOR AND FRAME - PAINT DOOR WHITE, PAINT FRAME TO MATCH ANODIZED ALUMINUM.
- ALUMINUM INSULATING GLAZING SYSTEM - ANODIZED FINISH.
- METAL PANEL SIDING - WHITE.
- STUCCO SYSTEM. SEE LEGEND BELOW.
- METAL ROOF TRIM.
- STUCCO CONTROL JOINT.
- METAL COPING, PAINT WHITE.
- 12" C.M.U WALL - PAINT LIGHT BROWN.
- TUBE STEEL GATE, PAINT.
- ROOF LINE BEYOND, AS INDICATED.
- METAL DOWNSPOUT, PAINT. PROVIDE CONCRETE SPLASHBLOCK. SEE DETAIL 7/AS1.2.
- LEADER BOX AND METAL DOWNSPOUT, PAINT. SEE DETAIL 18/AS.2.
- SECURITY STEEL BARS, PAINT LIGHT BROWN.
- 'CALVES TONGUE' SCUPPER. SEE DETAIL 3/AS.1.
- METAL ROOF GUTTER.
- METAL DOWNSPOUT, PAINT.
- 12" SURFACE MOUNTED LETTERS. TOTAL SIGN AREA = 30 SF. LETTER COLOR: BLACK.
- STONE SIGN WITH DIE-CUT LETTERING LOCATED CLOSE TO THE NORTHWEST CORNER OF THE NEW CLASSROOM BUILDING. SEE NOTE 23 ON SITE PLAN SHEET AS1.1 AND ELEVATION 5/A2.1 AND DETAIL 6/A2.1 THIS SHEET.
- 6" LETTERING.
- 4" LETTERING.
- TOTAL AREA OF SIGNAGE IS 24 SQ. FT.

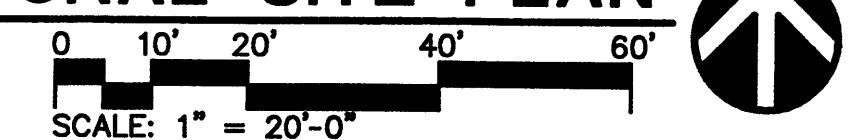
STUCCO COLOR LEGEND

- ALL STUCCO COLORS BY EL RAY STUCCO.
- COLOR 1: #1632 PALE (OFF WHITE TO MATCH EXISTING CHURCH FIELD COLOR)
- COLOR 2: #1566 POTTERY (LIGHT BROWN TO MATCH CHURCH BASE COLOR)

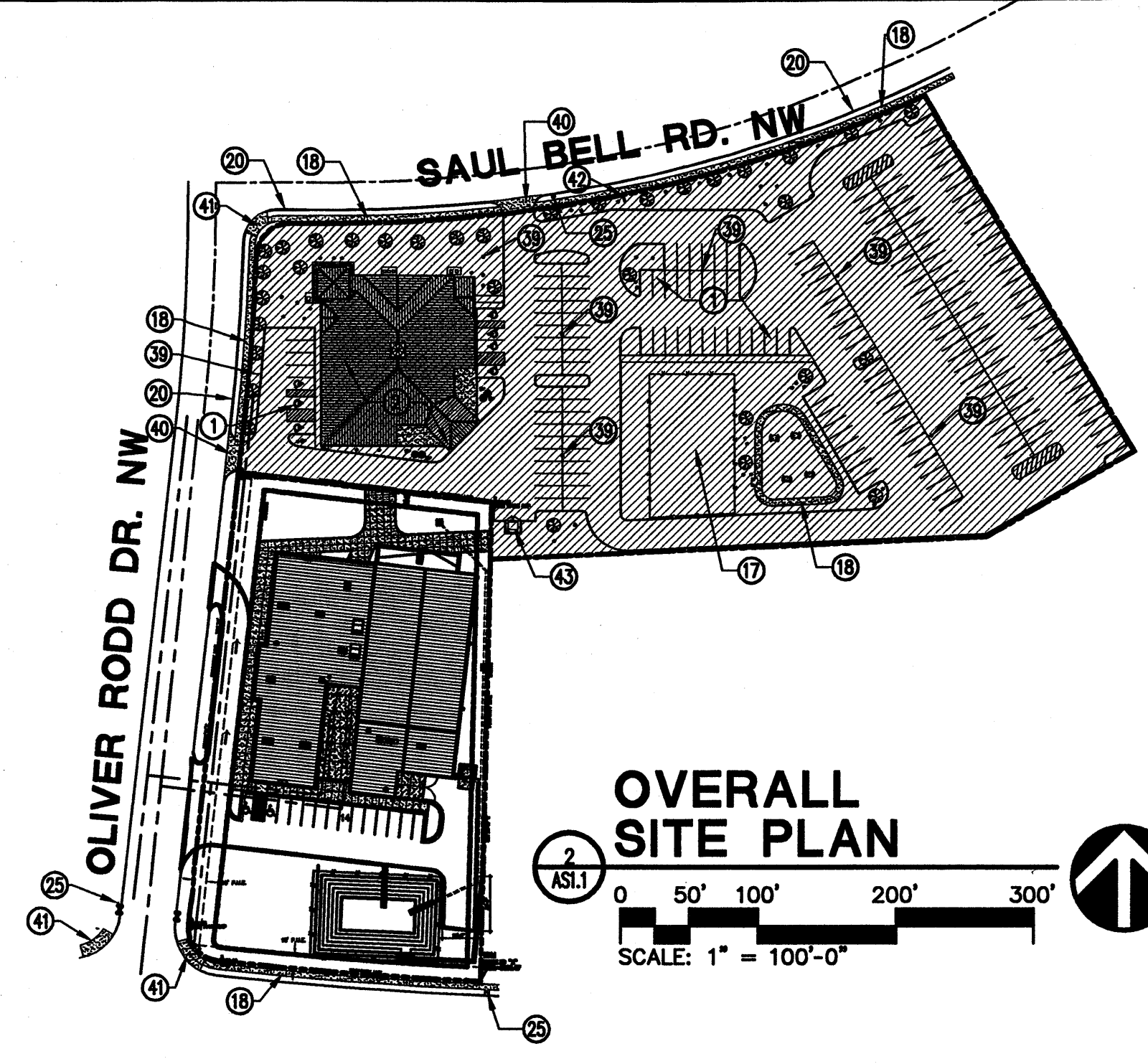




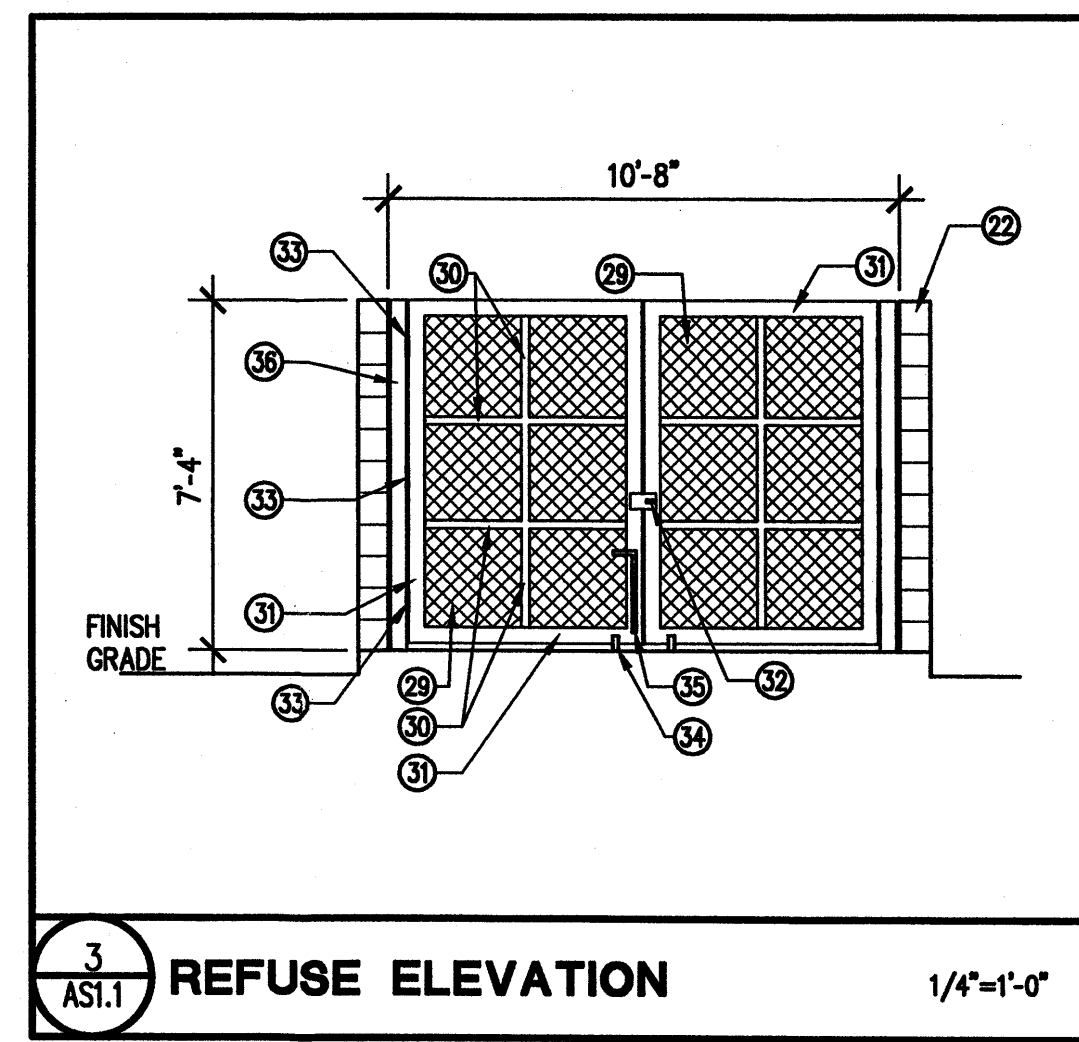
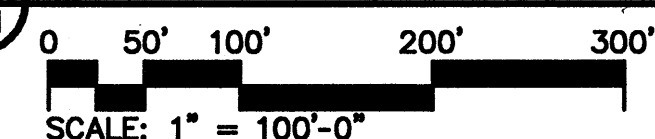
ENLARGED ARCHITECTURAL SITE PLAN



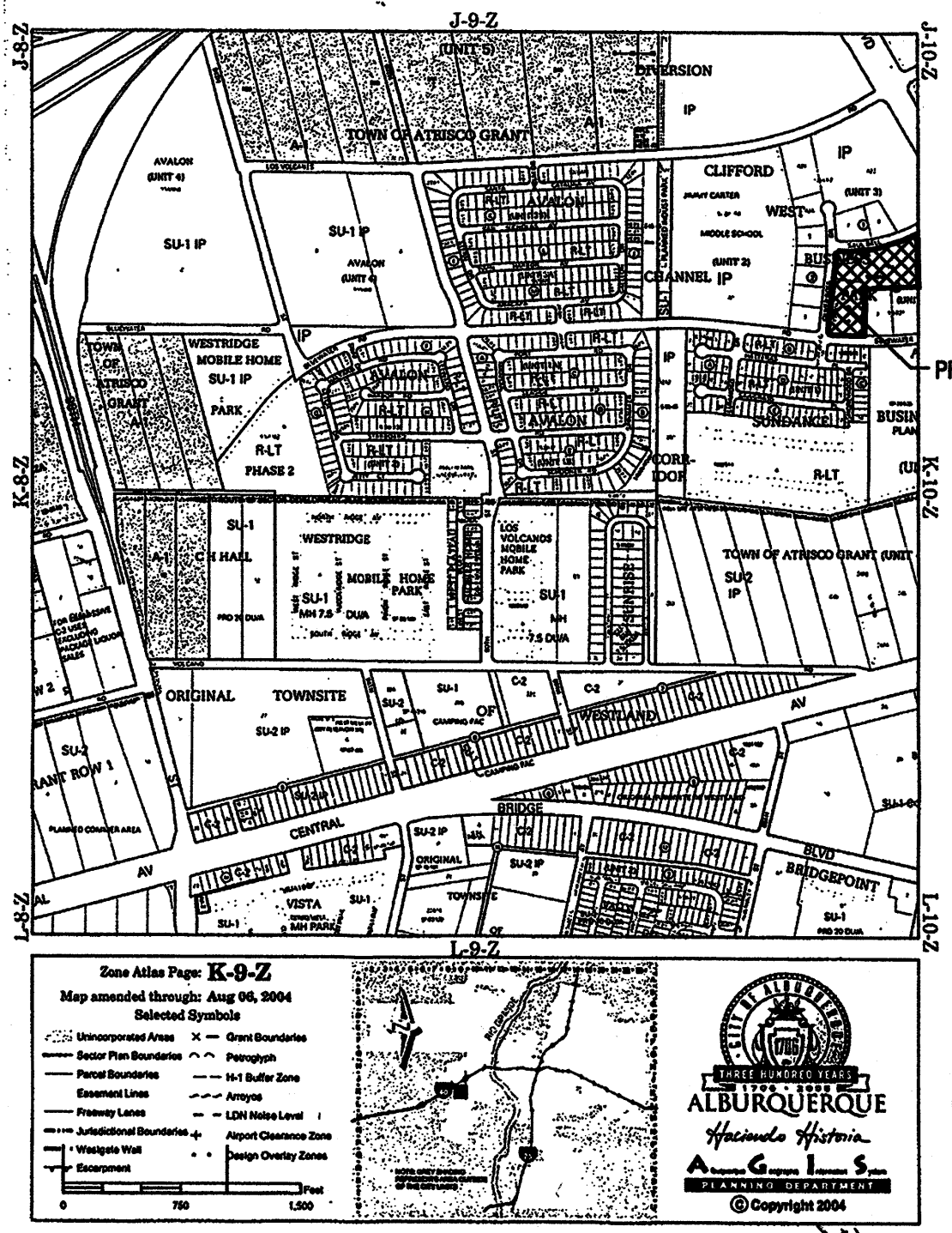
BLUE WATER RD. NW



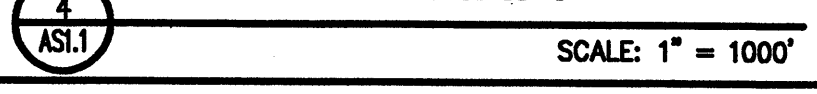
OVERALL SITE PLAN



REFUSE ELEVATION



ZONE ATLAS PLAN (VICINITY MAP)



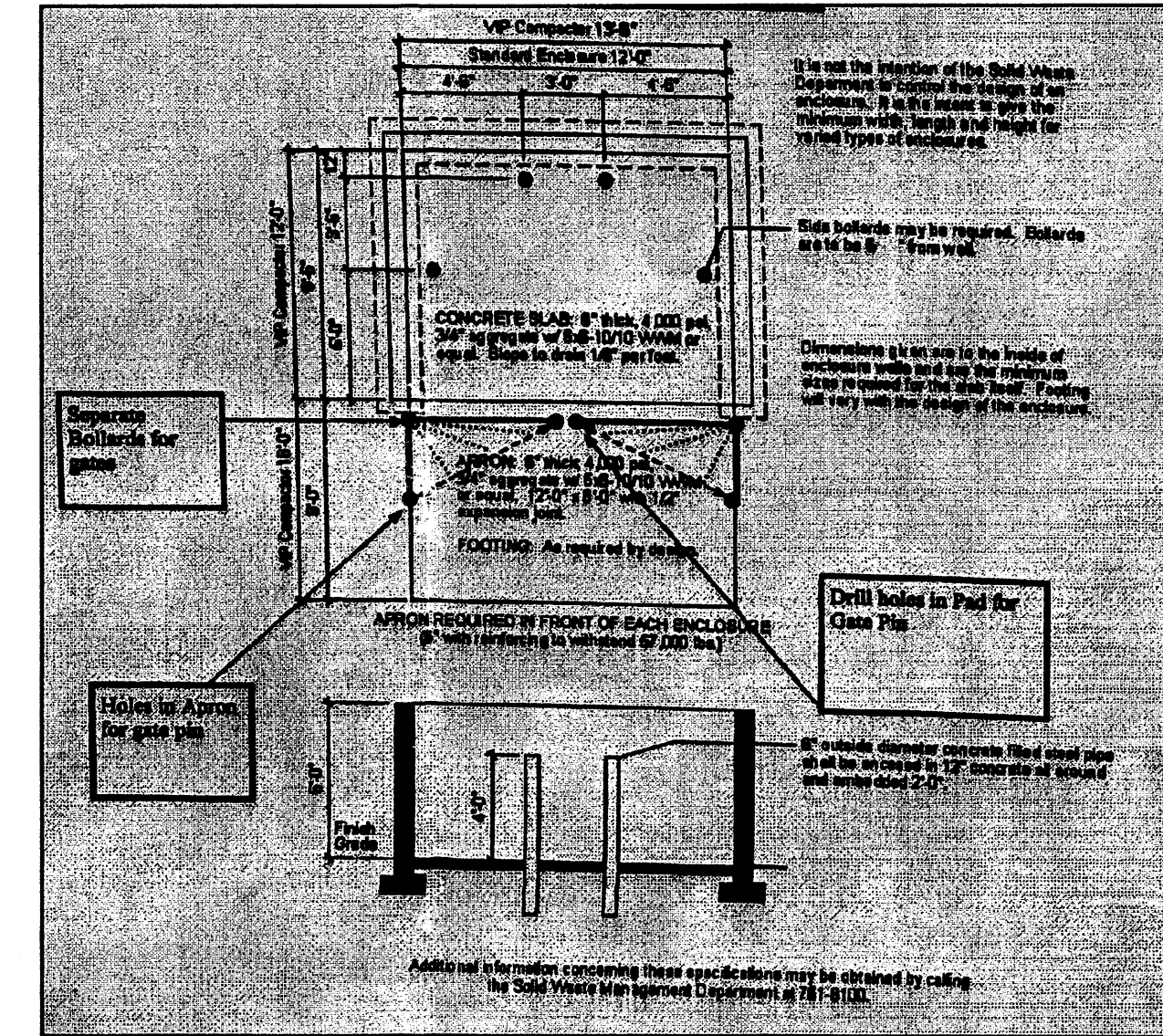
GENERAL NOTES:

A. SEE CIVIL DRAWINGS FOR FURTHER INFORMATION

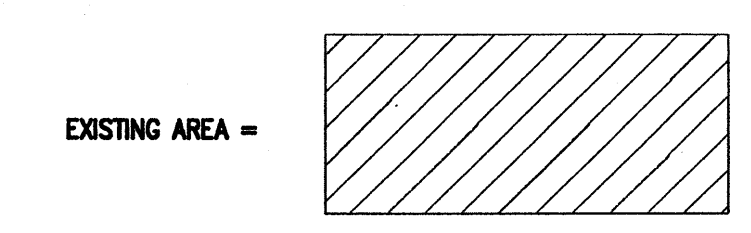
KEYED NOTES:

1. EXISTING PARKING TO REMAIN.
2. EXISTING CHURCH BUILDING TO REMAIN.
3. 4" CONCRETE PAVING. SCORE PATTERN AS SHOWN. SEE DETAIL 4/ASI.2.
4. NEW ASPHALT PAVING.
5. 6" CONCRETE CURB AND GUTTER. SEE CIVIL DRAWINGS.
6. NEW GYMNASIUM BUILDING.
7. NEW CLASSROOM BUILDING.
8. HANDICAP PARKING. SEE DETAILS 5 & 6/ASI.2.
9. OUTDOOR COURTYARD. SEE FLOOR PLAN, SHEET A1.1.
10. RETENTION POND. SEE CIVIL DRAWINGS.
11. DRAIN BASIN. SEE CIVIL DRAWINGS.
12. HANDICAP RAMP. SEE DETAIL SHEET C-1.
13. NEW PARKING STRIPING AS SHOWN.
14. REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER. REPLACE WITH NEW 24" CONCRETE VALLEY GUTTER.
15. METAL DOWNSPOUT LOCATION.
16. NEW 6" HIGH CHAINLINK PERIMETER FENCE.
17. EXISTING PLAY AREA TO REMAIN.
18. EXISTING CONCRETE SIDEWALK TO REMAIN.
19. METAL DOWNSPOUT LOCATION. PROVIDE CONCRETE SPLASHBLOCK. SEE DETAIL 7/ASI.2.
20. EXISTING CURB TO REMAIN.
21. "CALVES TONGUE" SCUPPER.
22. DUMPSTER ENCLOSURE WALLS TO BE 8" SMOOTH FACE CMU WALL 7'-4" HIGH, PAINT TO MATCH NEW BUILDING STUCCO COLOR. SEE ELEVATION 3/ASI.1 THIS SHEET.
23. STONE SIGN WITH DIE-OUT LETTERING. SEE ELEVATION 5/A2.1, SHEET 4.
24. WALL MOUNTED EXTERIOR LIGHT FIXTURE. MOUNTED AT 10'-0" A.F.F.
25. EXISTING FIRE HYDRANT.
26. 12" SMOOTH FACE CMU WALL 12'-0" HIGH, PAINT TO MATCH NEW BUILDING STUCCO COLOR.
27. 12" SMOOTH FACE CMU WALL 10'-0" HIGH, PAINT TO MATCH NEW BUILDING STUCCO COLOR. REQUIRED SETBACK LINE.
28. 1 1/2" NO.13 WOVEN WIRE MESH WELD TO STEEL FRAME, PAINT.
29. 2"x2" TUBE STEEL, PAINT.
30. 4"x3" TUBE STEEL FRAME, PAINT.
31. STEEL LOCKING DEVICE.
32. HEAVY DUTY HINGES.
33. HEAVY DUTY WHEEL, WELD TO STEEL FRAME.
34. CANE BOLT.
35. 4" STEEL CHANNEL, PAINT.
36. BIKE RACK.
37. EXTERIOR RECESSED DOWN LIGHTS.
38. EXISTING LIGHT POLE.
39. EXISTING CONCRETE CURB CUT AND APRON TO REMAIN.
40. EXISTING CONCRETE RAMP TO REMAIN.
41. EXISTING SIGN TO REMAIN.
42. EXISTING DUMPSTER ENCLOSURE TO REMAIN.
43. ATTENTION SOLID WASTE MANAGEMENT: ONE NEW DUMPSTER ENCLOSURE IS BEING PROVIDED IN ADDITION TO ONE EXISTING DUMPSTER ENCLOSURE. EXISTING DUMPSTER TO BE USED IN CASE OF WASTE OVERFLOW. AN ADDITIONAL DUMPSTER WILL BE PROVIDED IN THE FUTURE IF NECESSARY.

SPBP PRELIMINARY PLAN APPROVED BY DRB ON



LEGEND



PARKING CALCULATIONS

- REQUIRED PARKING: 1 SPACE PER EMPLOYEE
- PROVIDED PARKING: 14 SPACES (BASED ON 12 EMPLOYEES)
- REQUIRED HANDICAPPED PARKING: 1
- PROVIDED HANDICAPPED PARKING: 2

ZONING

IP

BUILDING AREA

EXISTING CHURCH BUILDING	14,278 SF
NEW BUILDING	22,948 SF
NEW CIRCULATION	7,300 SF
NEW PARKING	2,680 SF
TOTAL LANDSCAPE PROVIDED	29,541 SF

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
SIGNATURE & DATE

PROJECT NUMBER: _____

Application Number: _____

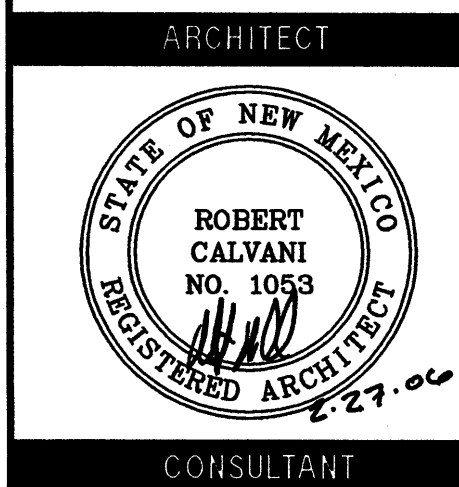
Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



1306 RIO GRANDE BLVD NW
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ARCHITECT
CONSULTANT
PROJECT TITLE

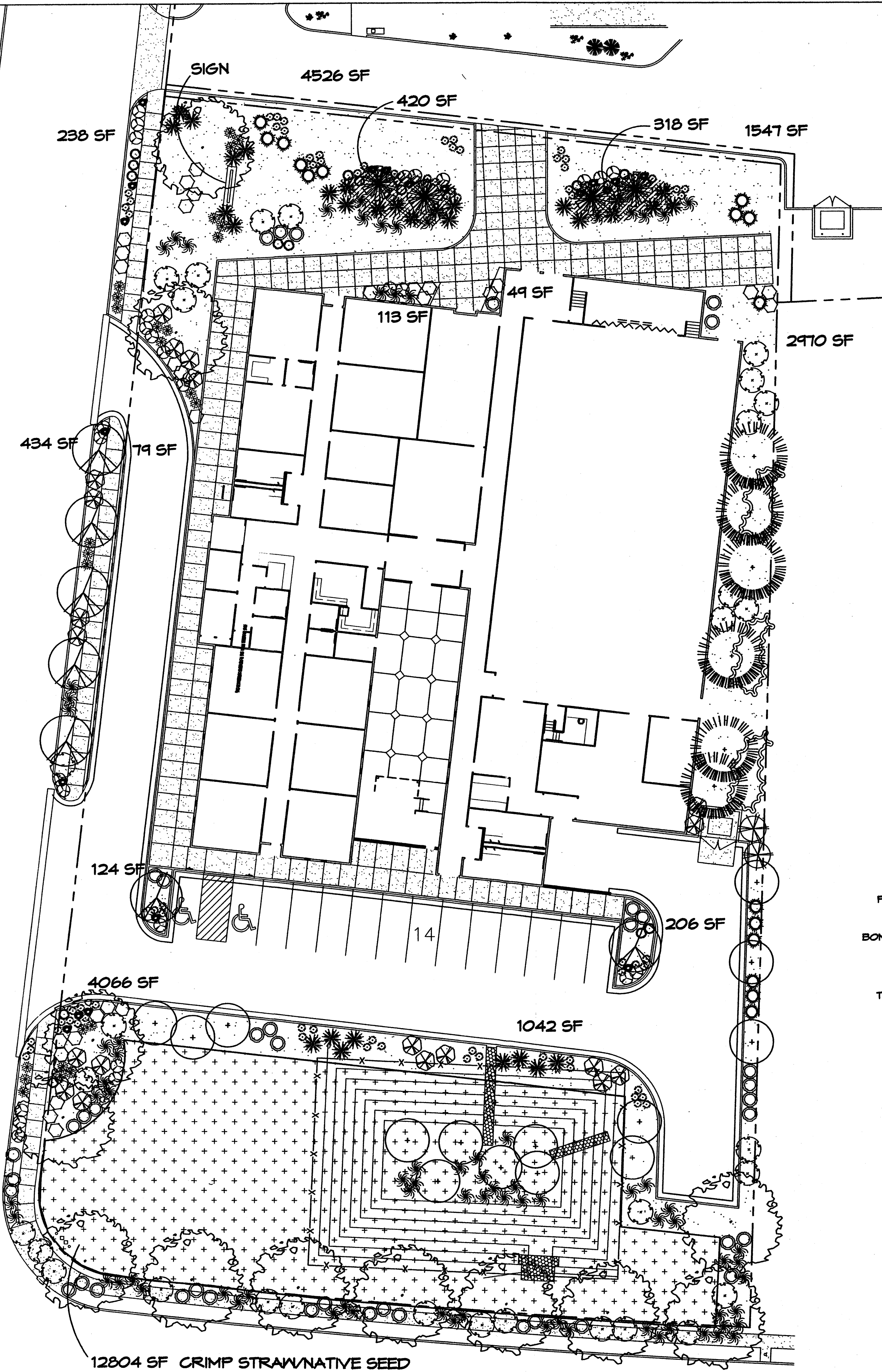
**Fellowship Baptist Church
First Fruits Christian Academy
Classrooms and Gymnasium**

ARCHITECTURAL SITE PLAN

REVISIONS

MK	DATE	DESCRIPTION
JN/BEH	DP	
		JOB NUMBER: A05.23
		DATE: 02/16/06
		SHEET NO

AS1.1



PLANT LEGEND

- ARIZONA ASH (M) 12
Fraxinus velutina
2" Gal.
 - AUSTRIAN PINE (M) 6
Pinus nigra
6'-8'
 - PALM YUCCA (L) 4
 - ARP ROSEMARY (M) 41
Rosmarinus officinalis
2 Gal. 4sf
 - AUTUMN SAGE (M) 28
Salvia greggii
2 Gal. 4sf
 - BLUE MIST SPIREA (M) 25
Caryopteris clandonensis
5 Gal. 4sf
 - BUTTERFLY BUSH (M) 31
Buddleia davidii
5 Gal. 100sf
 - INDIAN HAWTHORN (M) 20
Raphiolepis indica
5 Gal. 96sf
 - LANAC/ SCOTCH BROOM (M) 16
Cytisus scoparius/
Genista hispanica
5 Gal. 4sf
 - LAVENDER (M) 14
Lavandula angustifolia
1 Gal. 4sf
 - MAIDEN GRASS (M) 78
Miscanthus sinensis
5 Gal. 16sf
 - FLOWERING PEAR (M+) 7
Pyrus calleryana
2" Gal.
 - NEW MEXICO OLIVE (L) 14
Forestiera neomexicana
15 Gal. 225 SF
 - RED YUCCA (L) 31
Hesperaloe parviflora
5 Gal. 4sf
 - SILVERBERRY (M) 2
Elaeagnus pungens
5 Gal. 100sf
 - THREADGRASS (L+) 83
Stipa tenuissima
1 Gal. 4sf
 - WILDFLOWER 30
1 Gal. 4sf
 - TAM JUNIFER (L) 3
Juniperus sabinia 5 Gal. 600sf
Symbol indicates 3 plants
- OVERSIZE GRAVEL AND BOULDERS
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- COBBLESTONE
- CRIMP STRAW/NATIVE SEED
- STEEL EDGE
- NOTE: ATRIUM TREE WELLS TO BE PLANTED BY CHURCH MEMBERS

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

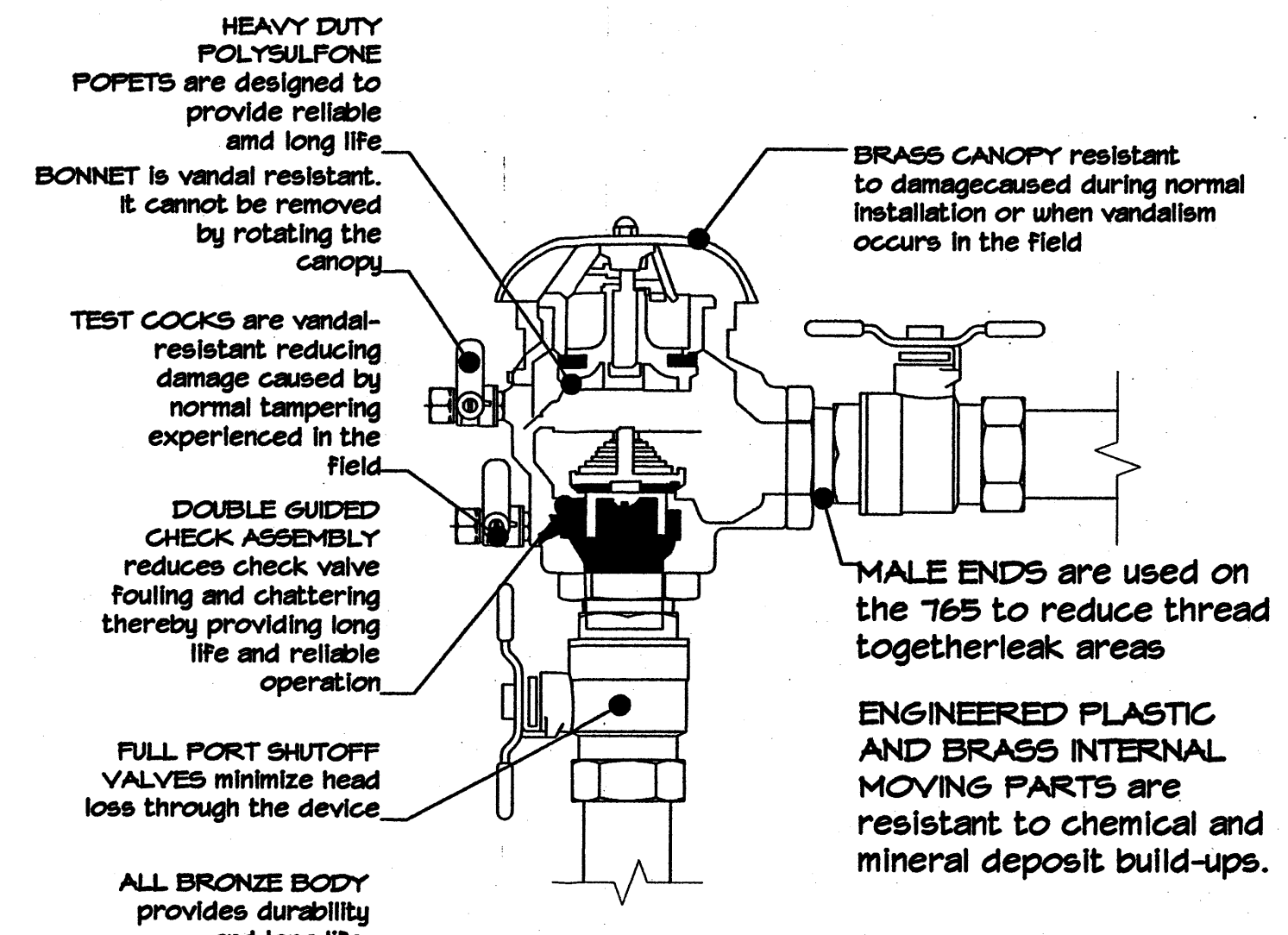
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

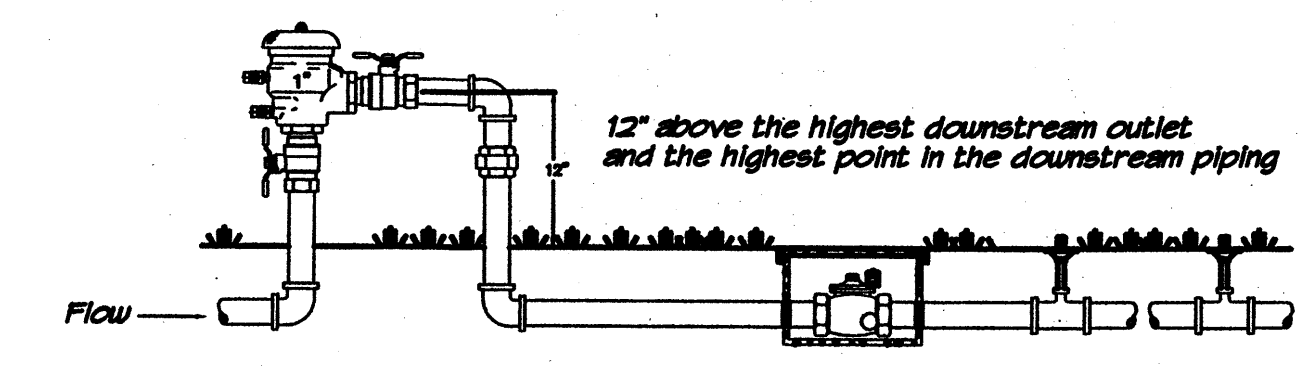
FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

LANDSCAPE CALCULATIONS

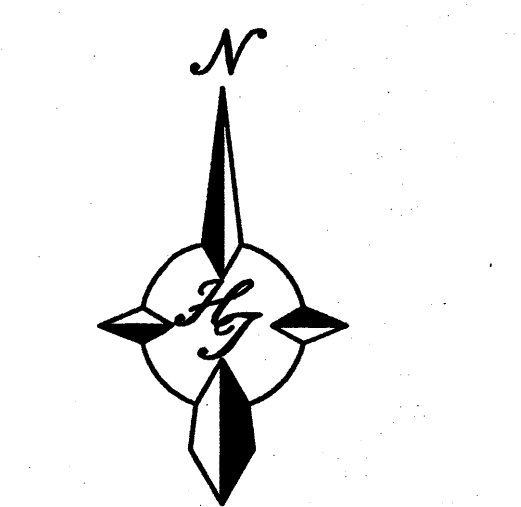
TOTAL LOT AREA	76226	square feet
TOTAL BUILDINGS AREA	25488	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	50738	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	7611	square feet
TOTAL BED PROVIDED	16132	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	12099	square feet
TOTAL GROUND COVER PROVIDED	14075	square feet
TOTAL CS/NS AREA	12804	square feet
TOTAL LANDSCAPE PROVIDED	28936	square feet



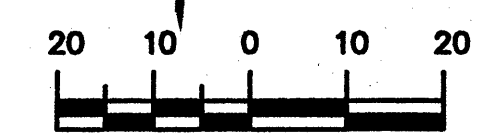
FEBCO MODEL 765 Pressure Vacuum Breaker Features



FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation



GRAPHIC SCALE



SCALE: 1"=20'



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



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NEW MEXICO
Fellowship Baptist Church
First Fruits Christian Academy
Classrooms and Gymnasium

RMM	02/13/06	
RMM	02/27/06	
MK	DATE	DESCRIPTION
RMM		CJ
		A05.23
		11/22/05

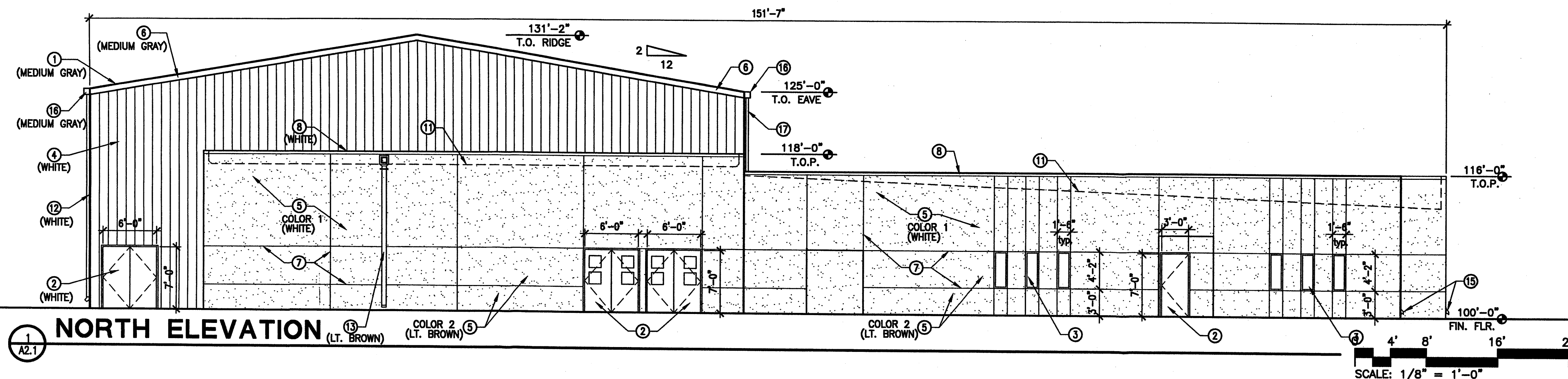
MK	DATE	DESCRIPTION
		DRAWN BY: CHECKED BY:
		JN/BEH DP
		JOB NUMBER:
		A05.23
		DATE:
		02/16/06
		SHEET NO

KEYED NOTES:

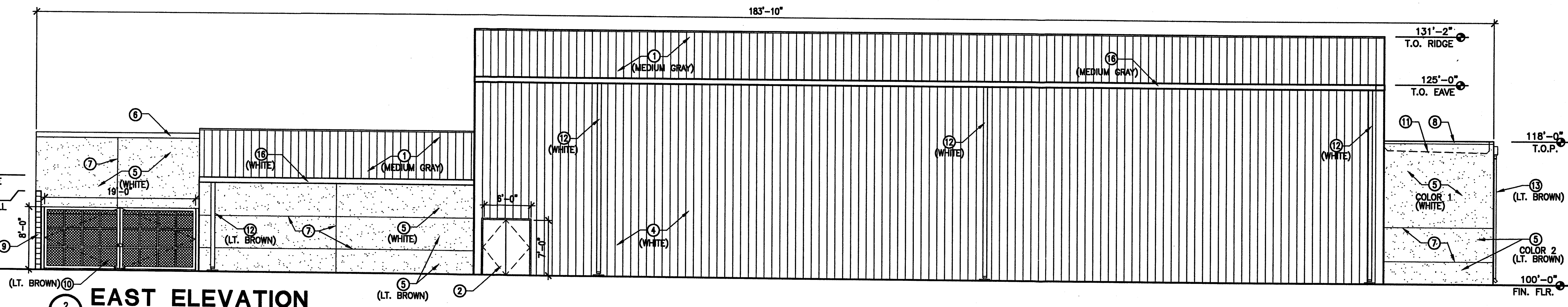
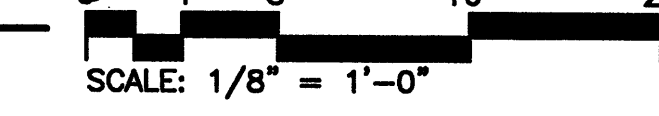
- METAL ROOF SYSTEM - MEDIUM GRAY TO MATCH EXISTING CHURCH ROOF COLOR.
- HOLLOW METAL DOOR AND FRAME - PAINT DOOR WHITE, FRAME TO MATCH ANNODIZED ALUMINUM.
- ALUMINUM INSULATING GLAZING SYSTEM - ANNODIZED FINISH.
- METAL PANEL SIDING - WHITE.
- STUCCO SYSTEM. SEE LEGEND BELOW.
- METAL ROOF TRIM.
- STUCCO CONTROL JOINT.
- METAL COPING, PAINT WHITE.
- 12" C.M.U. WALL - PAINT LIGHT BROWN.
- TUBE STEEL GATE, PAINT.
- ROOF LINE BEYOND, AS INDICATED.
- METAL DOWNSPOUT, PAINT. PROVIDE CONCRETE SPLASHBLOCK. SEE DETAIL 7/A1.2.
- LEADER BOX AND METAL DOWNSPOUT, PAINT. SEE DETAIL 18/A5.2.
- SECURITY STEEL BARS, PAINT LIGHT BROWN.
- 'CALVES TONGUE' SCUPPER. SEE DETAIL 3/A8.1.
- METAL ROOF GUTTER.
- METAL DOWNSPOUT, PAINT.
- 12" SURFACE MOUNTED LETTERS. TOTAL SIGN AREA = 30 SF. LETTER COLOR: BLACK.
- STONE SIGN WITH DIE-CUT LETTERING LOCATED CLOSE TO THE NORTHWEST CORNER OF THE NEW CLASSROOM BUILDING. SEE NOTE 23 ON SITE PLAN SHEET AS1.1 AND ELEVATION 5/A2.1 AND DETAIL 6/A2.1 THIS SHEET.
- 6" LETTERING.
- 4" LETTERING.
- TOTAL AREA OF SIGNAGE IS 10 SQ. FT.

STUCCO COLOR LEGEND

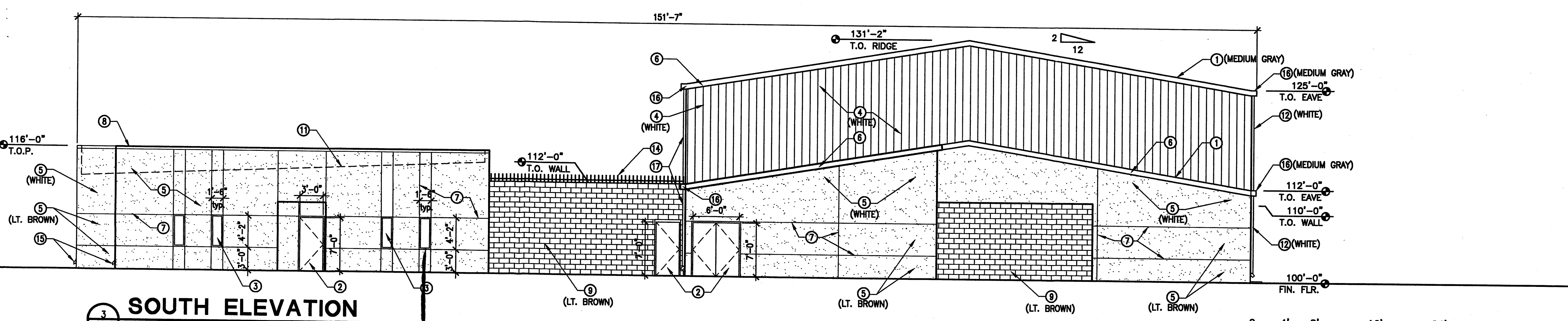
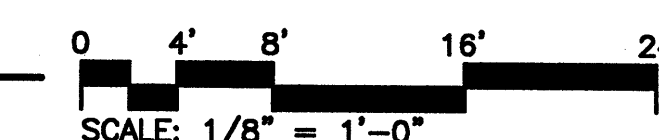
ALL STUCCO COLORS BY EL RAY STUCCO.
 COLOR 1: #1632 PALE (OFF WHITE TO MATCH EXISTING CHURCH FIELD COLOR)
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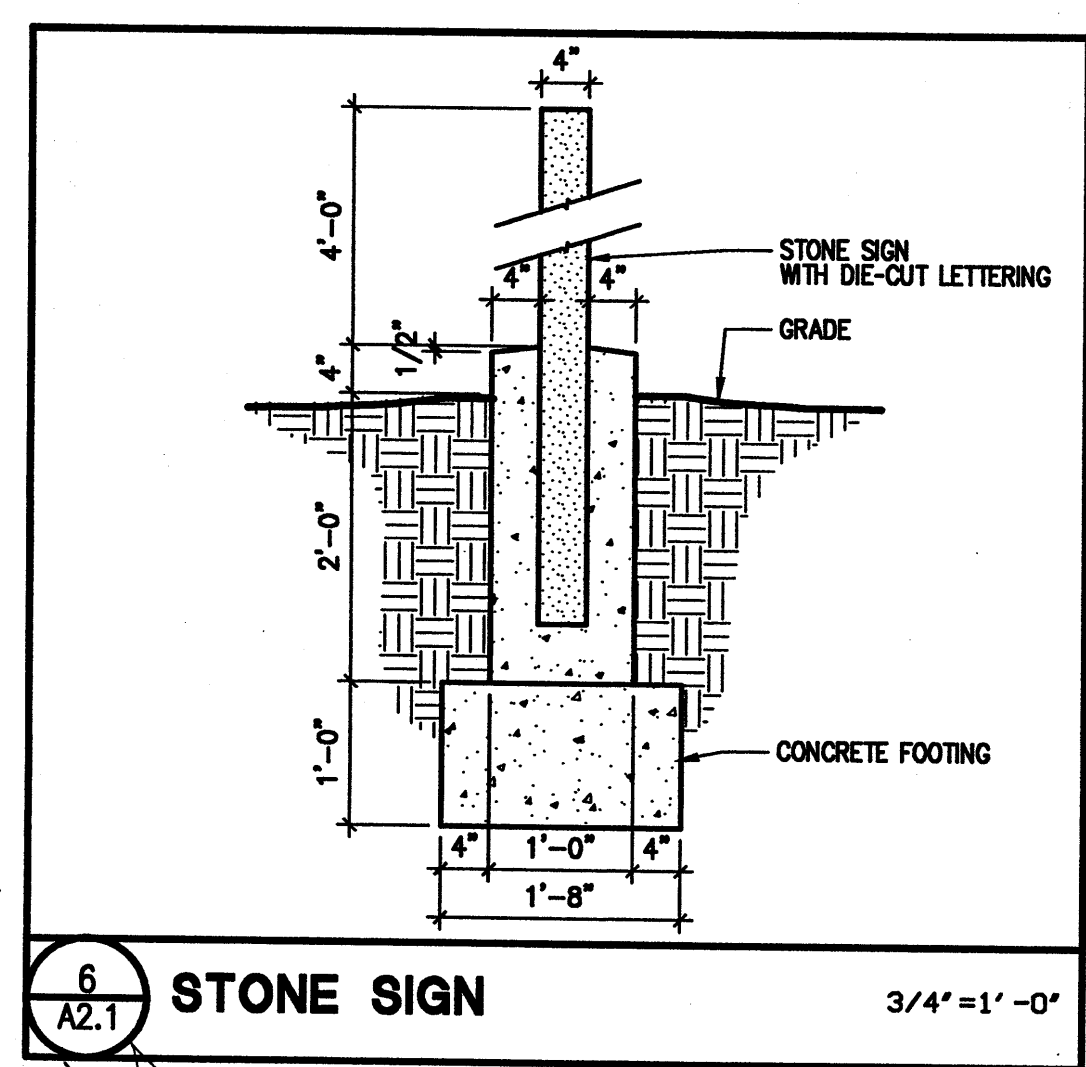
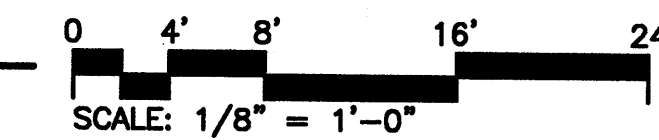
1 NORTH ELEVATION
A2.1



2 EAST ELEVATION
A2.1

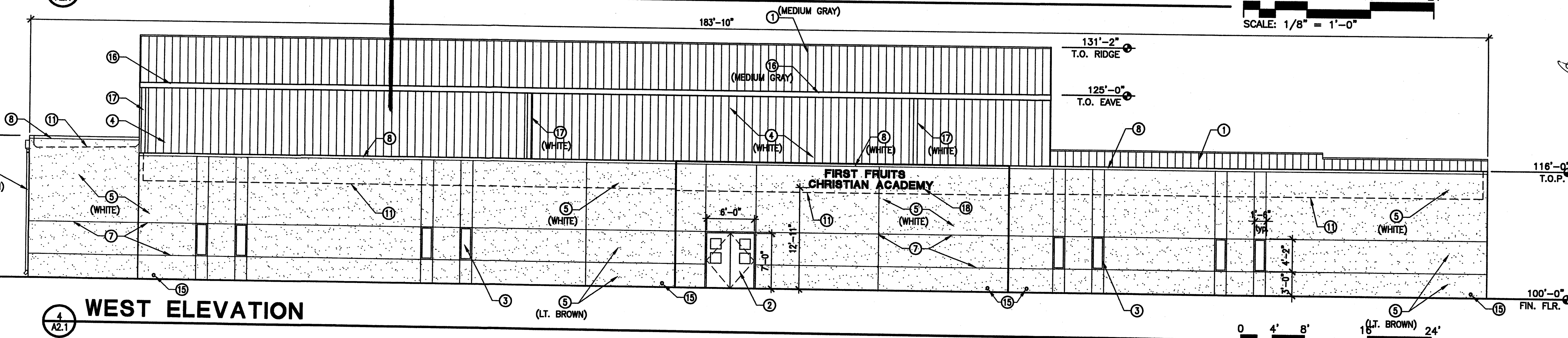


3 SOUTH ELEVATION
A2.1

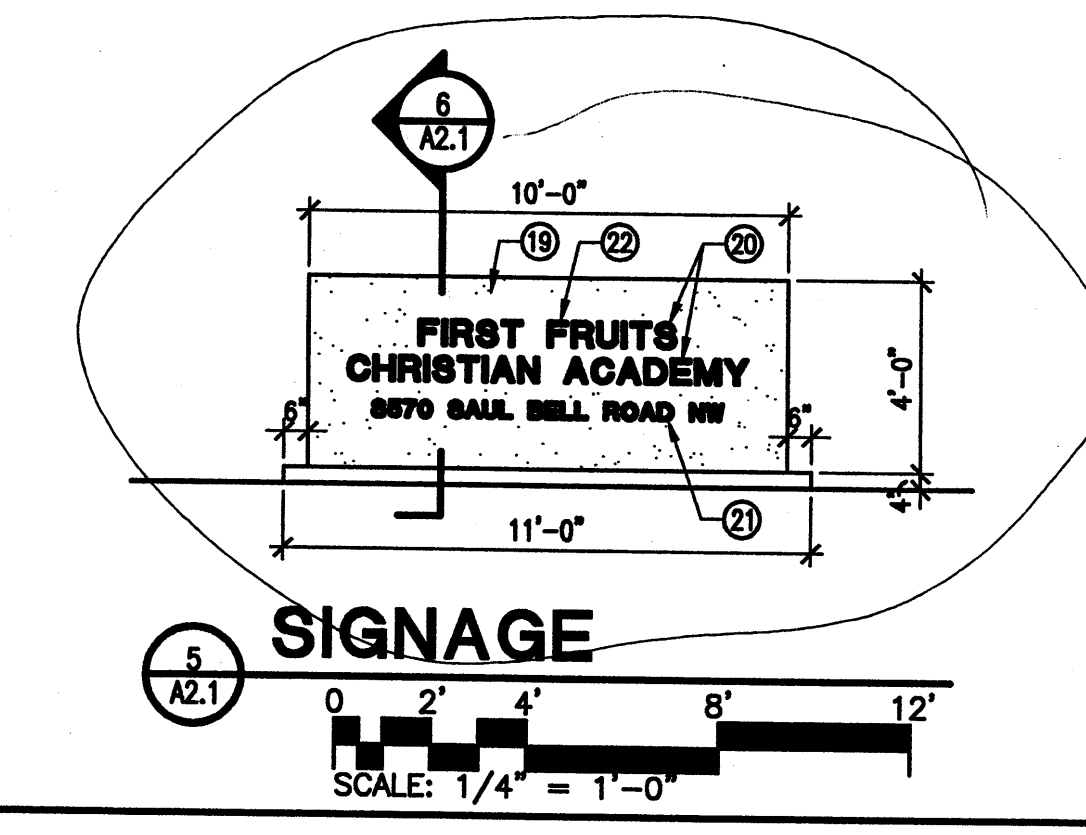
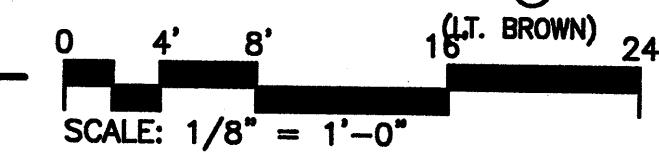


6 STONE SIGN
A2.1

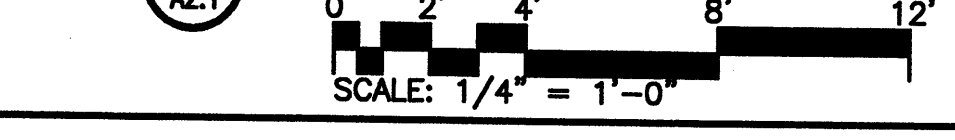
Total length?

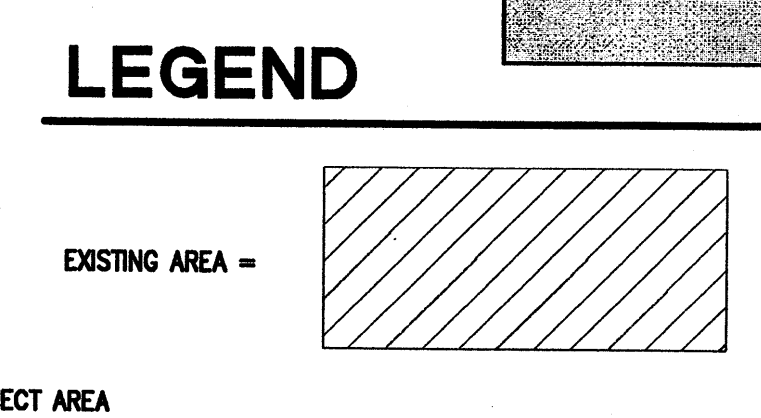
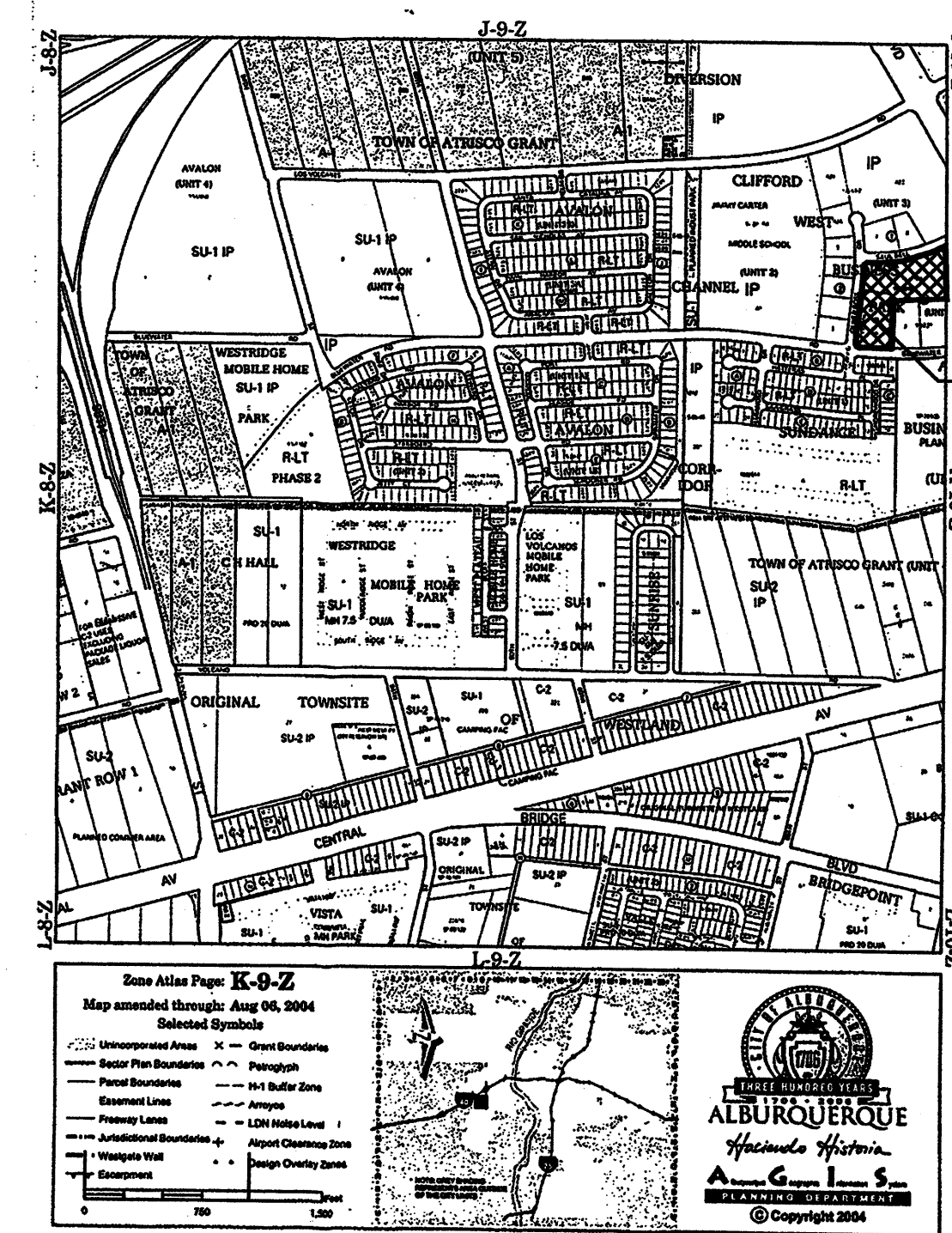
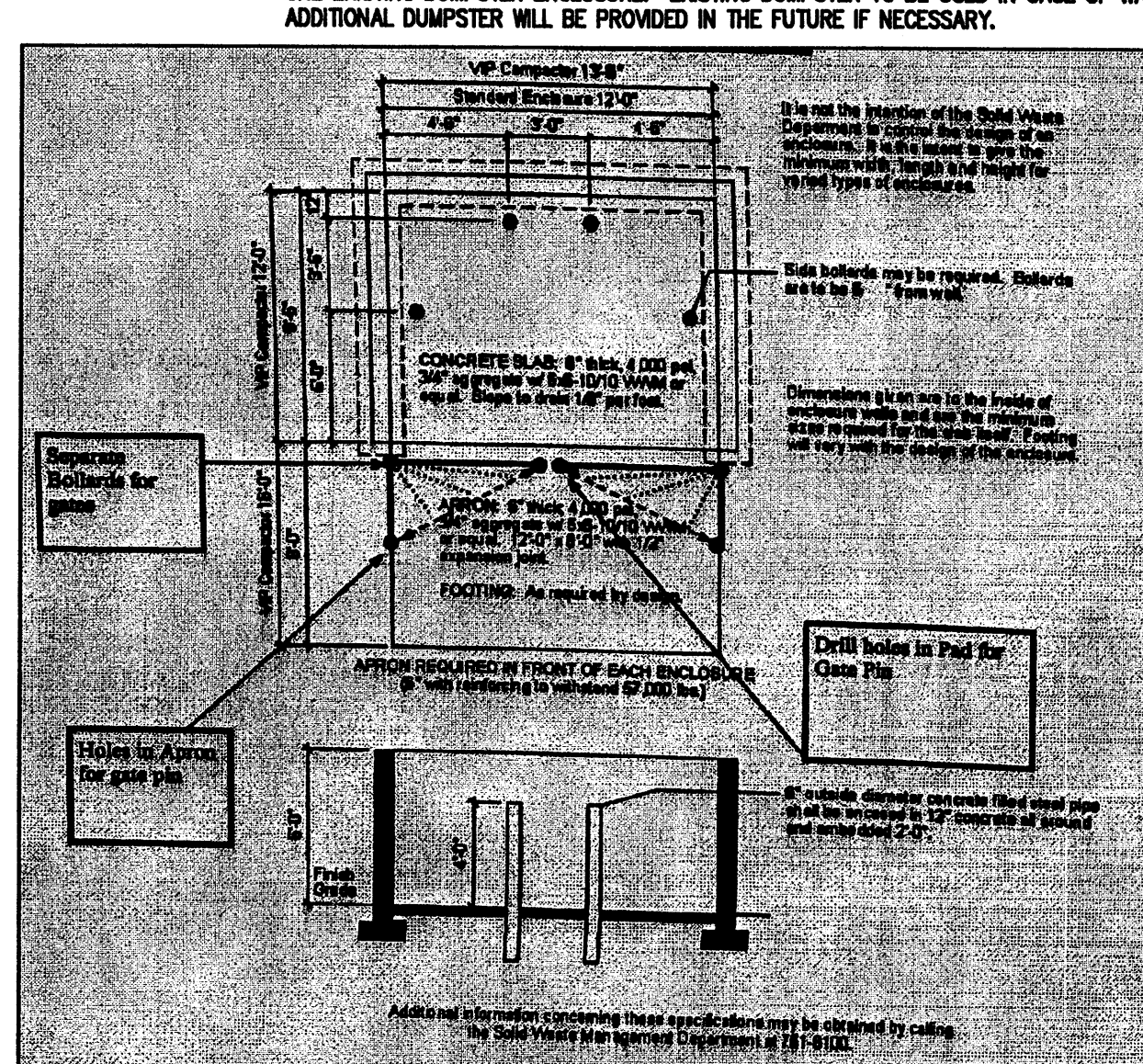
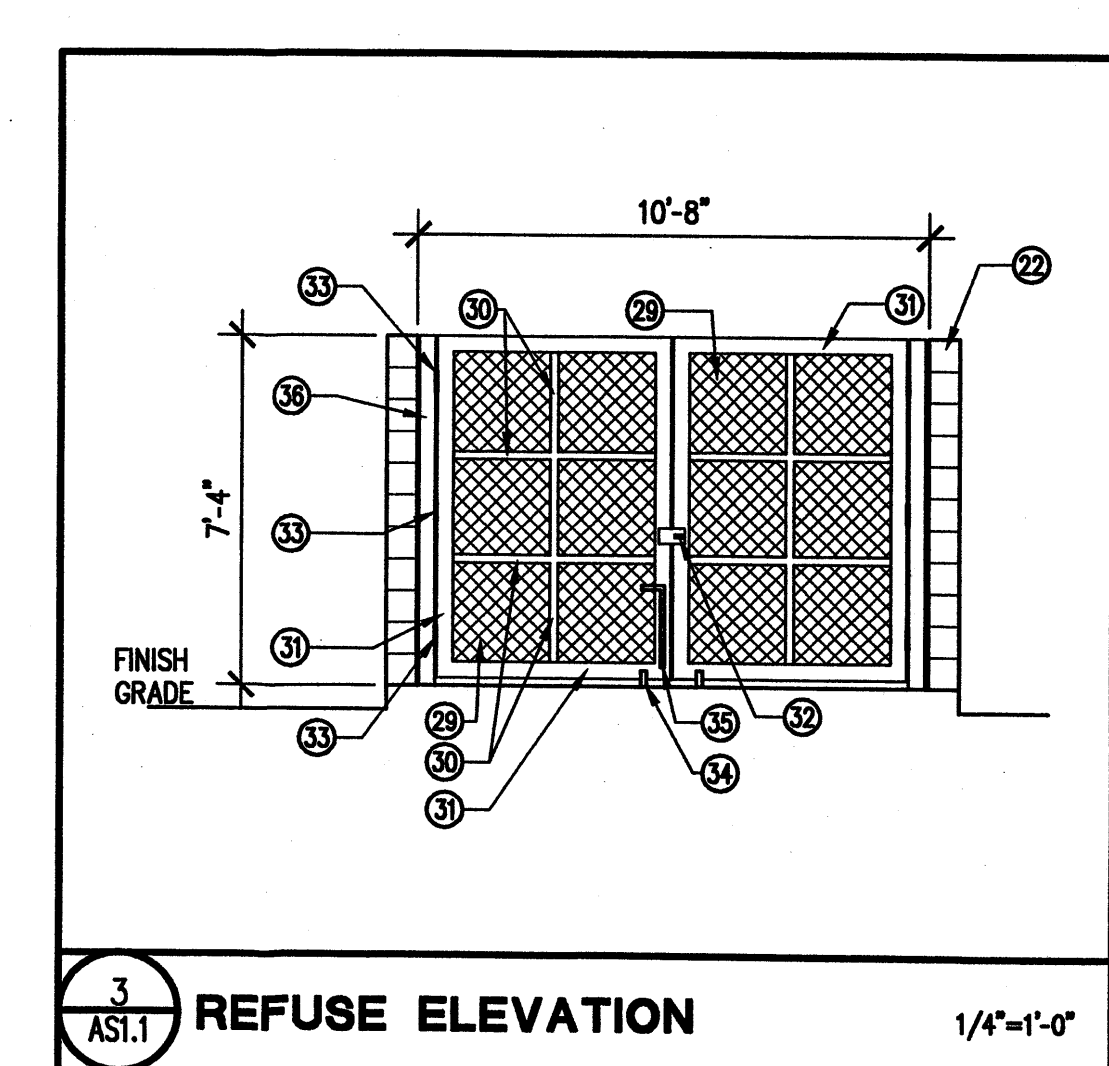
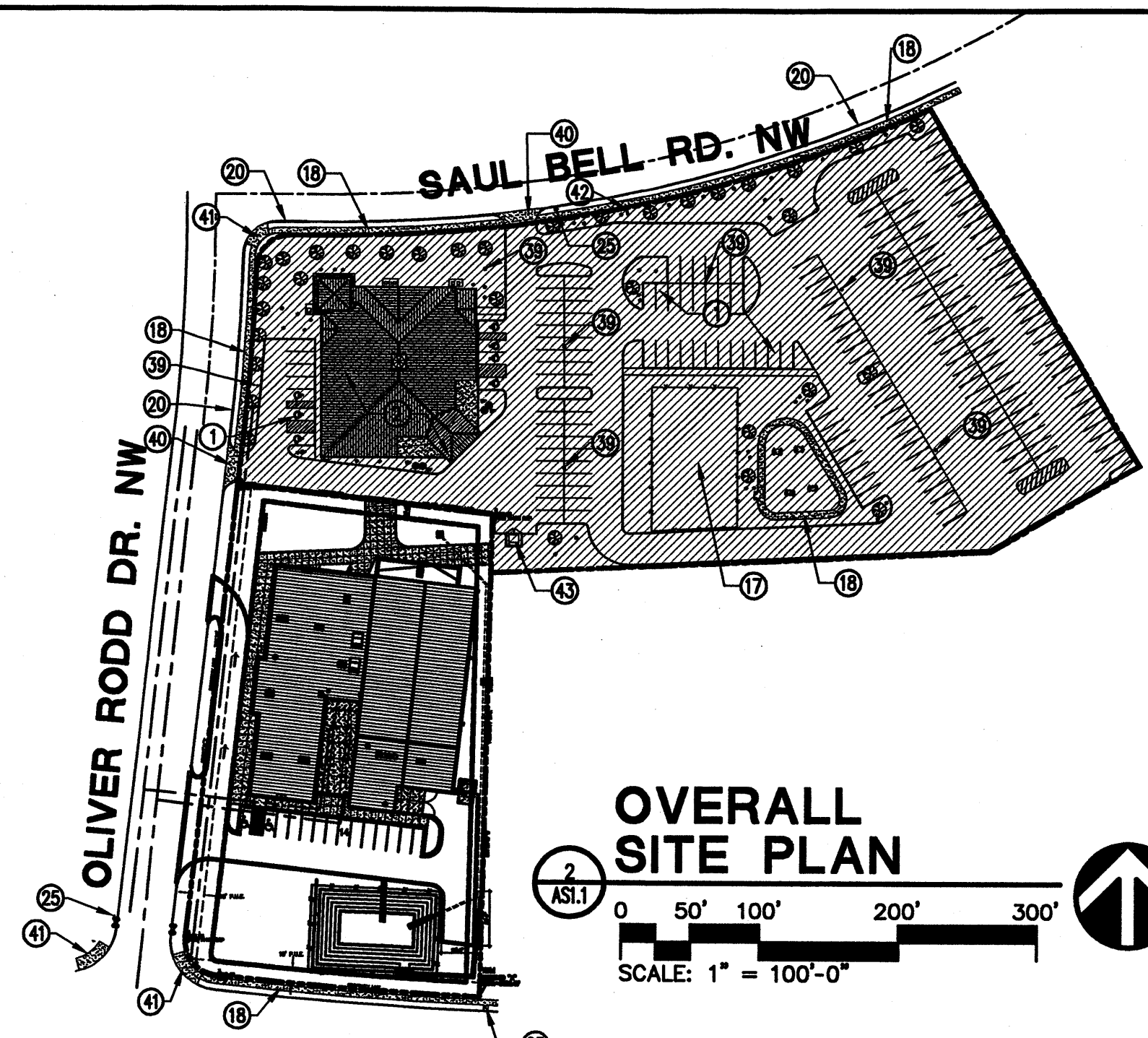


4 WEST ELEVATION
A2.1



5 SIGNAGE
A2.1





PARKING CALCULATIONS

REQUIRED PARKING: 1 SPACE PER EMPLOYEE

PROVIDED PARKING: 14 SPACES (BASED ON 12 EMPLOYEES)

REQUIRED HANDICAPPED PARKING: 1

PROVIDED HANDICAPPED PARKING: 2

ZONING

IP

BUILDING AREA

EXISTING CHURCH BUILDING	14,278 SF
NEW BUILDING	22,948 SF
NEW CIRCULATION	7,300 SF
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TOTAL LANDSCAPE PROVIDED	23,541 SF

APPROVED/DISAPPROVED SIGNATURE & DATE

GENERAL NOTES:

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- EXISTING PARKING TO REMAIN.
- EXISTING CHURCH BUILDING TO REMAIN.
- 4" CONCRETE PAVING. SCORE PATTERN AS SHOWN. SEE DETAIL 4/AS1.2.
- NEW ASPHALT PAVING.
- 6" CONCRETE CURB AND GUTTER. SEE CIVIL DRAWINGS.
- NEW GYMNASIUM BUILDING.
- NEW CLASSROOM BUILDING.
- HANDICAP PARKING. SEE DETAILS 5 & 6/AS1.2.
- OUTDOOR COURTYARD. SEE FLOOR PLAN, SHEET A1.1.
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- DRAIN BASIN. SEE CIVIL DRAWINGS.
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- EXISTING CONCRETE SIDEWALK TO REMAIN.
- METAL DOWNSPOUT LOCATION. PROVIDE CONCRETE SPLASHBLOCK. SEE DETAIL 7/AS1.2.
- EXISTING CURB TO REMAIN.
- "CALVES TONGUE" SCUPPER.
- DUMPSTER ENCLOSURE WALLS TO BE 6" SMOOTH FACE CMU WALL 7'-4" HIGH, PAINT TO MATCH NEW BUILDING STUCCO COLOR. SEE ELEVATION 3/AS1.1 THIS SHEET.
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- WALL MOUNTED EXTERIOR LIGHT FIXTURE. MOUNTED AT 10'-0" A.F.F.
- EXISTING FIRE HYDRANT.
- 12" SMOOTH FACE CMU WALL 12'-0" HIGH, PAINT TO MATCH NEW BUILDING STUCCO COLOR.
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- REQUIRED SETBACK LINE.
- 1 1/2" NO.13 WOVEN WIRE MESH WELD TO STEEL FRAME, PAINT.
- 2X2" TUBE STEEL, PAINT.
- 4"X3" TUBE STEEL FRAME, PAINT.
- STEEL LOCKING DEVICE.
- HEAVY DUTY HINGES.
- HEAVY DUTY WHEEL, WELD TO STEEL FRAME.
- CANE BOLT.
- 4" STEEL CHANNEL, PAINT.
- BIKE RACK.
- EXTERIOR RECESSED DOWN LIGHTS.
- EXISTING LIGHT POLE.
- EXISTING CONCRETE CURB CUT AND APRON TO REMAIN.
- EXISTING CONCRETE RAMP TO REMAIN.
- EXISTING SIGN TO REMAIN.
- EXISTING DUMPSTER ENCLOSURE TO REMAIN.
- ATTENTION SOLID WASTE MANAGEMENT: ONE NEW DUMPSTER ENCLOSURE IS BEING PROVIDED IN ADDITION TO ONE EXISTING DUMPSTER ENCLOSURE. EXISTING DUMPSTER TO BE USED IN CASE OF WASTE OVERFLOW. AN ADDITIONAL DUMPSTER WILL BE PROVIDED IN THE FUTURE IF NECESSARY.

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
DRB Chairperson, Planning Department	Date

Signature: *Michael Holton* (note turning radius)
Solid Waste Management
Date: 2/24/06

NCA
ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

STATE OF NEW MEXICO
REGISTERED ARCHITECT
ROBERT CALVANI
NO. 10683
2-27-06
CONSULTANT

PROJECT TITLE

NEW MEXICO

Fellowship Baptist Church
First Fruits Christian Academy
Classrooms and Gymnasium

ALBUQUERQUE

ARCHITECTURAL SITE PLAN

REVISIONS

MK	DATE	DESCRIPTION
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JOB NUMBER: A05.23

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SHEET NO

AS1.1