

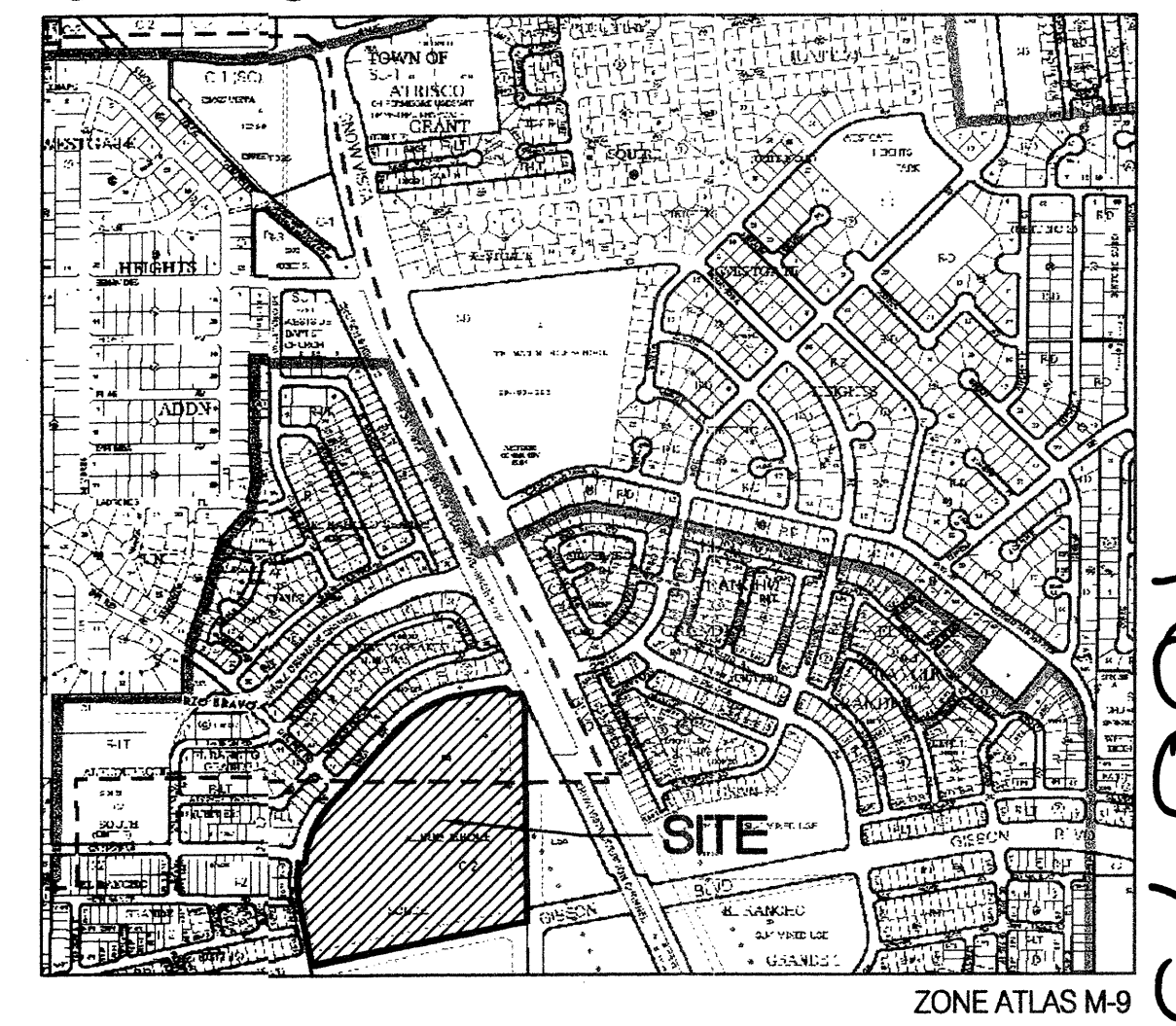
EXISTING AND PROPOSED EASEMENTS

- A Existing 10' Public Utility Easement
- B Existing 10' PNM & Mountain States Easement
- C Existing 30' Public Roadway, Waterline & Sanitary Sewer Easement
- D Existing 124' Public Roadway, Waterline & Sanitary Sewer Easement
- E Existing 78' Public Roadway, Waterline & Sanitary Sewer Easement
- F Proposed 30' Private Access & Drainage Easement
- G Proposed Public Sidewalk Easement (width varies)
- H Proposed 78' Additional R-O-W
- I Proposed 62' Additional R-O-W
- J Proposed 20' Public Sanitary Sewer Easement
- K Proposed 10' Public Utility Easement
- L Proposed 10' Private Drainage Easement
- M Proposed 30' Private Access Easement
- N Proposed 15' Waterline Easement

GENERAL NOTES

1. Future development on the sites adjacent to Tract E-4-A shall be designed to provide direct connections, to the pedestrian walkways as shown on Site Development Plan for Building Permit, 08EPC-40116.
2. The total number of drive-up uses shall be limited to four. All drive-up uses shall be designed so traffic and cuing shall cause no deleterious effects on the pedestrian qualities of the center.
3. Semi-truck access (ingress/egress) shall be limited to Gibson Boulevard and 98th Street. Semi-truck access to De Anza Drive is prohibited.
4. A cross lot access easement and a cross lot drainage easement are proposed.

SITE VICINITY



SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION

The Site:
The site consists of one tract, 27.8173 acres in size, located at the northeast corner of Gibson Boulevard and 98th Street SW. The site is located within the 98th and Gibson Community Activity Center. Two tracts are proposed including Tracts E-4-A (1.7696 acres) and E-4-B (22.1458 acres). Legal description is Tract E-4, Albuquerque South, Unit Three.

Land Use Zoning:
Existing zoning is C-2 Community Commercial. Land use proposed for the Silvertree Commons Shopping Center is commercial.

Pedestrian and Vehicular Ingress and Egress:
Trails: There is an existing 10 foot asphalt trail along the north side of Gibson, west of this site. There is also an existing 10 foot asphalt trail along the west side of 98th Street, north of this site. Both trails will be continued along the site frontage.

Vehicular Access and Circulation:
Vehicular access is from 98th Street, Gibson Boulevard, and De Anza Drive. Existing median cuts provide access from 98th Street and Gibson Boulevard.

Pedestrian Access and Circulation:
Pedestrian access is provided from 98th Street and Gibson Boulevard in several locations via 6 foot pedestrian crossings. Sidewalks within the site will be a minimum of 6 feet in width. There are existing 6 foot bike lanes in both 98th Street and Gibson Boulevard.

Transit Access:
There are no existing routes along Gibson Boulevard or 98th Street. The closest transit route is Route 54 along 98th Street, which goes east-west along Benavidez.

Building Heights and Setbacks:
Maximum building height is per the C-2 zone. Buildings shall not exceed 26 feet in height within 85 feet of a lot specifically zoned for houses. Building setbacks are per the C-2 zone, except for Large Retail Facilities.

Maximum FAR:
The maximum floor area ratio is .30.

Landscape Plan:
A Landscape Plan shall be submitted with Site Plans for Building Permit. Landscape plans shall be consistent with the City's Water Conservation Landscaping and Water Waste Ordinance and the Pollen Control Ordinance.

SITE PLAN FOR SUBDIVISION SILVERTREE COMMONS

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Prepared by:
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302 Eighth Street NW
Albuquerque, NM 87102

PROJECT NUMBER: 1007504
Application Number: 08EPC-40116

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), December 18, 2008 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	02-04-09
Traffic Engineering, Transportation Division	Date
	2-4-09
Water Utility Department	Date
	2/4/09
Parks and Recreation Department	Date
	2-4-09
City Engineer	Date
	02-04-09
DRB Chairperson, Planning Department	Date

Scale: 1" = 100'

February 3, 2009

Sheet 1 of 3

DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist developers and designers in understanding the development goals and objectives for Silvertree Commons. These standards address landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. They are designed to be consistent with the West Side Strategic Plan, the Rio Bravo Sector Development Plan, the City of Albuquerque Large Retail Facilities Ordinance, and Zoning Code. The Large Retail Facilities Ordinance only applies when there are structures of 75,000 square feet or greater. Where there is a conflict between City Codes or Ordinances and the Design Standards, the more restrictive requirements shall apply. Future Site Development Plans shall return to the Environmental Planning Commission (EPC) for review unless approval authority is delegated.

Definitions per the Large Retail Facility Ordinance

Large Retail Facility: A single tenant structure with at least 75,000 square feet of net leasable area for the purpose of retailing. A Shopping Center Site with a Main Structure of 75,000 square feet or more is a Large Retail Facility.

Main Structure: A building used for the purpose of retailing that is at least 75,000 square feet of retail uses. A collection of smaller buildings, each less than 75,000 square feet and linked by common walls, is not considered a main structure.

Retail Suite Liner: A retail suite connected to and extending from the front or side of a Main Structure for the purpose of screening.

1. SITE DESIGN

The following standards were created to encourage the use of pedestrian, bicycle, and transit modes and the opportunity for reduced automobile use:

General

- The total number of drive-up uses shall be limited to four. All drive-up uses shall be designed so traffic and queuing shall cause no deleterious effects on the pedestrian qualities of the center.

- If applicable, the developer shall comply with Policy 19 of The Amole Arroyo Corridor Plan and Design Overlay Zone in order to preserve topsoil and existing vegetation within the existing rights-of-way, easements and other portions of the arroyo.

- Building access and entries shall be visible from the street.

- Entry ways shall be clearly defined, by either a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

- Parking located adjacent to 98th Street and Gibson Boulevard shall be screened by buildings or a combination of landscaping, walls, and earthen berming to a minimum height of 2.5 feet. Screen walls shall be compatible with the building architecture relative to materials and color.

- All loading docks shall be screened and architecturally integrated with the building architecture.

- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

- Plazas, courtyards, and other outdoor activity will be incorporated into each site and building design.

- A sidewalk with a minimum width of 8 feet shall be provided along the entire length of major facades containing primary entrances for buildings that are less than or equal to 10,000 square feet; 10 feet in width for buildings that are 10,000 to 30,000 square feet; and for buildings greater than 30,000 square feet, the width of the sidewalk shall increase at the rate of 1 foot in width per 10,000 square feet of building size to a maximum required width of 15 feet. A 6 foot wide clear path shall be maintained along the sidewalk.

- For the purpose of general site planning for Large Retail Facilities, site design shall create walkable block sizes in compliance with Section 14-16-3-2(D)(3) Site Division of the City Comprehensive Zoning Code.

Public Space

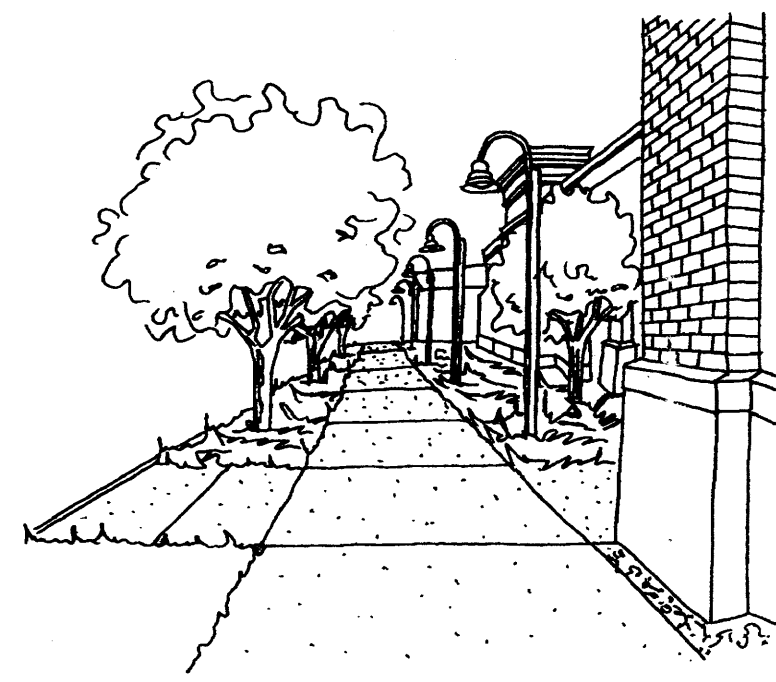
- Sites that include a building less than 60,000 square feet shall provide one outdoor plaza, patio, or courtyard, a minimum of 250 square feet per 20,000 square feet pro rata with seating and shade covering a minimum of 25% of the area.

- Sites that include a building 60,000 square feet or greater (including a collection of smaller buildings linked by common walls shall be considered one building) shall provide one public space area, a minimum of 400 square feet, shall be provided for every 30,000 square feet of building space. The public space area shall include an outdoor plaza, patio, or courtyard with seating and shade covering a minimum of 25% of the area and at least one of the following:

- pocket park with seating and shade covering a minimum of 25% of the area
- sculpture or other artwork
- fountain or some other water feature
- playground or other recreation amenity
- any other amenity that meets the intent of this section and that meets the approval of the Planning Director or his designee.

- Sites that include an aggregate of buildings 125,000 square feet or greater shall provide a pedestrian plaza space in the amount of 400 square feet for every 20,000 square feet of building space. A minimum of 50% of the required public space shall be provided in the form of aggregate space that encourages its use and serves as the focal point for the development. The aggregate space required shall:

- be linked to the main entrance of the principal structure and the public sidewalk (minimum width of 8 feet and constructed of materials other than asphalt) or internal driveway
- include adequate seating areas. Benches, steps, and planter ledges can be counted for seating space



Sidewalk along the front of buildings

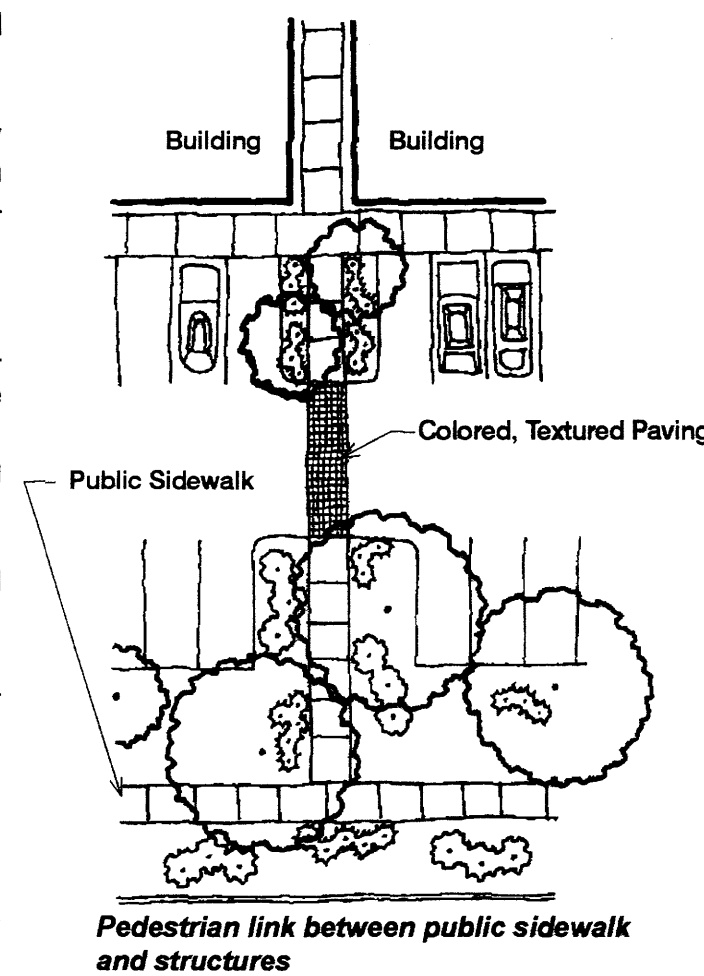
- have a portion (generally at least 40%) of the square footage of the plaza area landscaped with plant materials, including trees
- be designed for security and be visible from the public right-of-way as much as possible
- have pedestrian scale lighting and pedestrian amenities such as trash receptacles, kiosks, etc.

Accessibility & Safety

- Sites shall be designed for accessibility at all facilities and outdoor public areas.
- Sites shall be designed in accordance with the Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use.
- Close attention shall be paid to ramps and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.
- Entrances and exits to buildings shall be flush.
- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

Circulation

- Pedestrian access shall be separated from vehicular access.
- The interior of the center shall be very accommodating to the pedestrian, even within the predominantly off-street parking areas.
- Pedestrian walkways within a site shall be a minimum of 6 feet in width, unobstructed, and clearly demarcated by use of techniques such as special paving, grade separation, or pavement marking of a permanent nature.
- Pedestrian connections shall be provided to future transit stops.
- Pedestrian crosswalks shall be a minimum of 6 feet in width and constructed of colored textured paving.
- Semi-truck access (ingress/egress) shall be limited to Gibson Boulevard and 98th Street. Semi-truck access to DeAnza Drive is prohibited.
- For Large Retail Facilities:
 - Pedestrian walkways within a site shall be a minimum of 8-foot wide clear path from each building to the internal circulation system and to adjacent roadways. Shade trees shall be provided along the pedestrian connection at an interval of 25 feet in planters that have a minimum interior dimension of 6-foot by 6-foot.
 - Pedestrian walkways along internal driveways or streets shall be lined with shade trees (planted 25 feet on center) and pedestrian scale lighting.
 - Sidewalks adjacent to buildings may be shaded by shade trees, awnings, portals or other shade structures.



Pedestrian link between public sidewalk and structures

Parking

- The maximum number of vehicular parking spaces shall be per Section 14-16-3-1 Off-street Parking Regulations contained in the City Comprehensive Zoning Code, plus 10 percent.
- Bicycle parking shall be provided at a rate of one bicycle rack space per 20 parking spaces. Bicycle racks shall be conveniently located near building entrances, but not within pedestrian pathways or landscape areas.
- Motorcycle, mopeds, and motor scooter parking spaces shall be provided per Section 14-16-3-1 (C)(1) Off-street Parking Regulations contained in the City Comprehensive Zoning Code.
- Parking areas shall be visually segmented into smaller subareas separated by landscaping and/or pedestrian walkways. No single subarea shall exceed 150 parking spaces.
- Parking shall be placed on at least two sides of a building.
- Every third double row of parking shall have a minimum 10-foot wide continuous walkway dividing that row. The walkway shall be either patterned or color material other than asphalt and may be at-grade. The walkway shall be shaded by means of trees, a trellis or similar structure, or a combination thereof. Tree wells, planters or supports for shading devices may encroach on the walkway up to 3-feet. In no case shall the walkway be diminished to less than 5-foot width at any point.
- Parking areas shall be designed to include a pedestrian link to the public sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

Setbacks

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, or walls, or a combination.

- Buildings shall have minimum setbacks as follow:
 - 5 feet from the front or corner side.
 - 11 feet from the junction of a driveway or alley and public R.O.W.
- Main Structures shall have the following additional setbacks:
 - Main Structures shall be screened from the adjacent street with smaller buildings or 20 foot wide landscape buffers with a double row of trees.
 - Main Structures abutting residentially zoned land shall be setback from the property at least 60 feet.

- when the front facade of a Retail Suite Liner is adjacent to a street, the maximum front setback shall be 10 feet for private drives and 25 feet for public roadways.
- Parking areas shall have a minimum setback of 10 feet from adjacent public rights-of-way.

2. SUSTAINABILITY

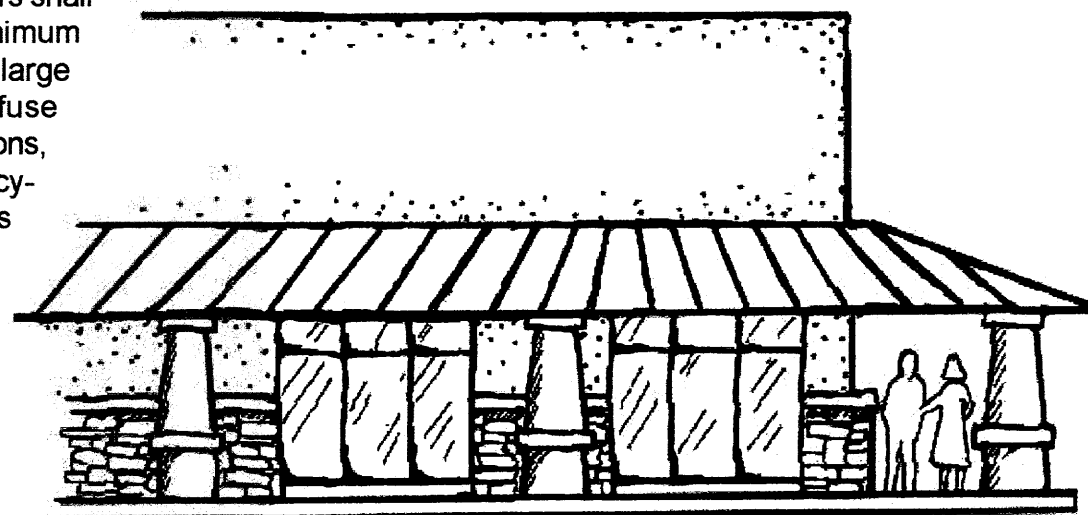
- Energy efficient techniques shall be utilized to reduce energy and water consumption, where possible.
- Water harvesting techniques such as curb cuts for drainage to landscaped areas, permeable paving, bioswales to slow and treat storm water runoff, or cisterns for the collection and reuse of storm water and gray water shall be provided.
- Buildings shall be oriented to take advantage of heat gain in the winter where possible while coordinating with shading strategies to inhibit solar gain in the summer.
- Grasses and other ground vegetation should be near edges to help filter and slow runoff as it enters the site.
- Where possible, transport runoff to basins by using channels with landscaped pervious surfaces. Landscaped strips may be converted into vegetative storm-water canals but must be shallow to avoid defensive fencing.
- Convenient recyclable collection facilities shall be provided by all tenants of Silvertree Commons.
- Businesses that have more than 50 employees shall provide lockers, showers, and bike racks.
- Businesses with more than 50 employees shall provide bulletin board space in their employee break-room as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.
- Safe and convenient pedestrian connections to future transit routes along 98th Street and Gibson shall be provided to facilitate multi-modal transportation.
- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees is reached, and once City Transit provides new bus routes along 98th Street and/or Gibson Boulevard.

3. SCREENING WALLS & FENCES

The effective use of screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and drive-up service windows is essential to limit their adverse visual impact on surrounding developments. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

- The Amole Arroyo Corridor Plan/Design Overlay Zone generally discourages wall adjacent to the arroyos right-of-way; however, where walls or fencing are required for privacy or security reasons, the regulations found in the Amole Arroyo Corridor Plan/Design Overlay Zone, Policy 20 would apply.
- Loading areas which face a public street or residentially-zoned property and which are not separated from the public street or a residentially-zoned property by intervening buildings, landscaping or by a distance of at least 100 feet, shall be screened with solid walls which are a minimum of six feet in height when measured from the finished grade exterior to the loading area. The distance of the screening wall from the loading area shall not exceed 100 feet.
- For Large Retail Facilities:
 - Truck bays adjacent to residential lots must be separated from the adjacent lot by a minimum of 40-feet. A minimum 15-foot wide landscape buffer and a 6-foot high solid masonry wall shall be provided along the property line. The landscape buffer shall contain evergreen trees or trellises with climbing vines to provide year round screening and buffering from noise. Dock and truck well facilities shall be screened with a masonry wall that extends vertically 8-feet above the finished floor level and horizontally 100 feet from the face of the dock. Screen walls shall be designed to blend with the architecture of the building. Trucks may not be moved or left idling between the hours of 10 p.m. and 6:30 a.m. if the truck bays are located within 300 feet of a residential structure unless negotiated with adjacent property owners and approved by the EPC.
 - Truck bays not adjacent to residential lots must be screened with a masonry wall extending 8-feet above the finish floor level and horizontally 100 feet from the face of the docks to screen the truck. Screen walls shall be designed to blend with the architecture of the building.
- Drive-up service windows shall be oriented away from pedestrian areas, residentially-zoned areas, and public streets, where possible. In cases where drive-up service windows face these areas, screening shall be provided. Screening shall be a minimum of 3 feet in height and may consist of walls, berms, or evergreen landscaping, or a combination thereof. Where walls are provided, a minimum 3-foot wide planting strip with landscaping shall also be provided on the pedestrian, residential, or public street side.
- Roof-mounted mechanical equipment shall be screened from the public right-of-way by parapet walls or structural features. Screening shall be compatible with materials and design of the building. The minimum height of the parapet walls or structural features shall be 42" if the roof top equipment is within 10 feet of the building wall; 30" if the roof top equipment is within 20 feet of the building wall; or 18" if the roof top equipment is beyond 20 feet of the building wall.

- All outdoor refuse containers shall be screened within a minimum 6-foot tall enclosure and large enough to contain all refuse generated between collections, and provide an area for recycling. Design and materials of enclosures shall be compatible with the building architecture.
- No engineered wood panels; or cyclone, chain-link, razor-wire, and vinyl plastic fencing shall be permitted.



Architecturally integrated canopies

4. ARCHITECTURAL DESIGN

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high quality aesthetic character throughout the property. Architectural design should respond to climate, views, solar access, and aesthetic considerations, with the architectural design being in harmony with adjoining projects.

- Building heights may be greater than 26 feet provided that the height falls within the 45 degree building height angle plane at the northern boundary and within 60 degree angle in any other direction drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline as permitted by the O-1 zone. Buildings shall not exceed 26 feet in height within 85 feet of a lot zoned specifically for houses.

- Buildings shall employ a variety of structural forms to create visual character and interest. Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, vertical fins, wall recesses, soffits, and deciduous tree canopies should be carefully dimensioned and detailed to provide a human-scale, visual interest, and a means of shading building facades while lending color and formal articulation to the buildings.

Roofs

- If metal roofs are proposed, the color of the metal shall be patina green.
- Roofs shall drain water to areas which are landscaped appropriately for such run-off.

Building Facades

- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.
- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.
- No plastic or vinyl building panels or awnings shall be permitted.
- Buildings shall have windows on the front elevations. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.
- Drive-up windows shall be located on or adjacent to the side or rear walls of service or retail structures and the window shall not face a public right-of-way.
- Facades SHALL:
 - vary in height, depth and articulation to create a pedestrian-scaled environment
 - be articulated with a variety of architectural elements, colors and materials
 - have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures
 - be treated with a consistent level of detail at all sides of all buildings and structures

- For major facades greater than 100 feet in length, the building shall incorporate outdoor seating adjacent to at least one of the facades, a minimum of one seat per 25 linear feet of building facade. Each seat shall be a minimum of 24 inches in width and 15 inches in height. Benches, raised planters, ledges or similar seating features may be counted as seating space. If the outdoor seating is located on the south or west side of the building, at least 25% of the seating area shall be shaded.

- For Main Structures, the following additional articulation is required:

- Facades that contain a primary customer entrance and facades adjacent to a public street or plaza or an internal driveway shall contain Retail Suite Liners, display windows, or a recessed patio at a minimum depth of 20 feet, or a combination of all three, along 50% of the length of the facade. Where patios are provided, at least one of the recessed walls shall contain a window for ease of surveillance and the patio shall contain shading and seating. Where Retail Suite Liners are provided, they shall be accessible to the public from the outside.
- Every 30,000 gross square feet of structure shall be designed to appear as a minimum of one distinct building mass with different expressions. The varied building masses shall have a change in visible roof plane or parapet height. Massing and articulation are required to be developed so that no more than 100 feet of a wall may occur without an offset vertically of at least 24 inches.
- For Retail Suite Liners, the vertical offset shall be a visible change (min. 6 inches), a change in material may be used for articulation at the same interval and the visible change in roof plane or parapet height shall be a minimum of 18 inches.
- Facades adjacent to a public right-of-way or internal driveway and facades that contain a primary customer entrance shall contain features that provide shade along at least 40% of the length of the facade for the benefit of pedestrians.

Building Materials & Colors

- Materials prohibited as the main architectural feature include the following:
 - exposed, untreated precision block or wood walls within public view
 - highly reflective surfaces
 - chain link fence or barbed wire
 - metal paneling
 - materials with high maintenance requirements
- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.
- Colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

SITE PLAN FOR SUBDIVISION SILVERTREE COMMONS

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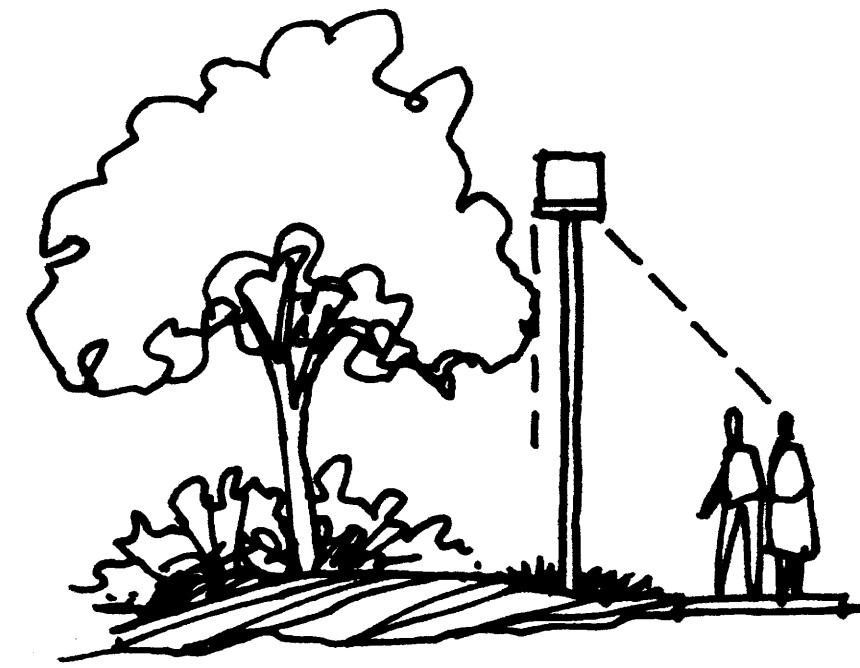
Prepared By:
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January 16, 2009

- For Main Structures, a minimum of three of the following options shall be included in the design of external walls and the principal entrance:
 - multiple finishes
 - projecting cornices and brackets
 - projecting and exposed lintels
 - pitched roof forms
 - planters or wing-walls that incorporate landscaped areas and can be used for sitting
 - slate or tile work and molding integrated into the building
 - transoms
 - trellises
 - wall accenting (shading, engraved patterns, etc.)
 - any other treatment that meets the approval of EPC.

5. LIGHTING

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.



Lighting for pedestrian walkways

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.
- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights, including stand alone fixtures and building mounted, shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "Dark Sky".
- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.
- Individual platted lots that are less than 5 acres in size shall have a maximum lighting fixture height of 20 feet to the top of the fixture. Individual platted lots that are larger than 5 acres in size shall have a maximum lighting fixture height of 25 feet to the top of the fixture, except for Large Retail Facilities where the maximum height for lighting fixtures shall be 20 feet. Any lights within 100 feet of residential shall be restricted to a maximum of 16 feet.
- Lighting for pedestrian walkways and entry plazas shall have a maximum height of 16 feet.
- Sodium lighting is prohibited.

6. LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards shall be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, and other landscape regulations included in the City Comprehensive Zoning Code.

- Street trees shall be provided along the perimeter of the site at a rate of one tree per 30 linear feet. They may be placed in clusters or evenly spaced.
- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.
- One shade tree is required per 10 parking spaces with no parking space being more than 100 feet from a tree, except for Large Retail Facilities, one shade tree per 8 spaces is required. Shaded trees may be located at the center of a group of 4-8 parking spaces, clustered in parking row end caps, or located along internal pedestrian ways. Shade trees lining a pedestrian way internal to a parking area may count as parking space trees.
- Low water use turf may be provided at a maximum of 40% of the landscaped area. High water use of turf is not allowed.
- All required landscape areas 36 square feet in size or larger shall be covered with living, vegetative materials over a minimum of 75 percent of the required landscape area. Coverage is calculated based on the mature spread of the plants.
- Seventy-five percent of the required parking lot trees shall be deciduous and shall have a mature height and canopy of at least 25 feet.
- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way within all zones.
- An automatic underground irrigation system shall be provided to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Backflow preventers shall be provided in accordance with City of Albuquerque Codes.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.
- Landscaped areas, including tree planters, shall be a minimum of 36 square feet and a minimum width of 6 feet.
- Minimum plant sizes at time of installation shall be as follows:
 - Canopy Trees 2 inch caliper, or 10 to 12 feet in height
 - Evergreen Trees 10-12 foot minimum height
 - Shrubs & Groundcovers 1 gallon
 - Turf Grasses provide complete ground coverage within 1 growing season after installation
- The following street trees shall be used: Honeylocust, Goldenrain Tree, and Chinese Pistache.
- Main Structures shall have the following additional requirements:

- The buffer for the main structure across the street from residentially-zoned land shall be at least 23 feet wide and include two rows of street trees. The trees shall be located pursuant to the guidelines set forth in Crime Prevention Through Environmental Design Recommendations. The landscaping of the berm shall provide year-round screening.
- The public sidewalk adjacent to the main structure may be located within the berm and between the rows of trees. The sidewalk must be a minimum of 7 feet behind the curb.
- Landscaped traffic circles are encouraged at the intersection of interior driveways or platted streets.
- Where possible, transport runoff to basins by using channels with landscaped pervious surfaces. Landscaped strips may be converted into vegetative storm-water canals but must be shallow to avoid defensive fencing.

7. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

- Specific free-standing sign programming (locations, heights, design and dimensions) shall be noted as an amendment to this Site Development Plan for Subdivision, as part of any future Site Development Plan for Building Permit.
- The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.
- All freestanding signs shall be monument signs only.
- Silvertree Commons project sign shall be limited to 150 square feet of sign area per sign face and shall not exceed 26 feet in height. One sign per 300 feet of street frontage on 98th Street and Gibson Boulevard is allowed. In the case of Large Retail Facilities, the Silvertree Commons project sign shall be limited to 100 square feet of sign area per sign face and shall not exceed 15 feet in height.
- Individual businesses are allowed one monument sign. The monument sign height shall not exceed 10 feet in height and shall have a maximum sign area of 75 square feet.
- Building-mounted signs shall not exceed 6 percent of the facade area. Building-mounted signs that face residential development shall not be illuminated. Illuminated plastic panel signs are prohibited.
- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than 8 square feet. These signs may not project past the overhang.
- Off-premise signs are prohibited.

Freestanding monument signs SHALL:

- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location;
- be illuminated in accordance with the General Sign Regulations as provided in Section 14-16-3-5 of the City Comprehensive Zoning Code;
- identify only the name and business of the occupant or of those offering the premises for sale or lease; and
- have a minimum contrast of 70% between the background and the text.

Freestanding monument signs SHALL NOT:

- use moving parts, makes audible sounds, or have blinking or flashing lights, except reader boards are permitted;
- overhang into the public right-of-way, property line, or extend above the building roof line;
- require any external bracing, angle-iron supports, guy wires or similar devices;
- intrude upon any architectural features, including windows, columns, moldings or any decorative features; and
- include illuminated plastic panels or backlit plastic/vinyl signs, except logo designs are permitted.

8. UTILITIES

- All electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.
- Any wireless communication facilities shall be concealed and architecturally integrated.

9. MAINTENANCE - LARGE RETAIL FACILITIES

- To maintain a quality built environment, Large Retail Facilities shall be maintained during periods of abandonment or vacancies at the same standard as when occupied. The property owner shall sign a maintenance agreement with the City of Albuquerque that the site will be maintained when vacant to the following minimal standards, among others as deemed appropriate by the Planning Director.
 - The landscaping shall be watered, pruned, and weeded.
 - The parking areas shall be cleaned of dirt and litter.
 - The building facades shall be kept in good repair, cracked windows shall be replaced and graffiti removed.

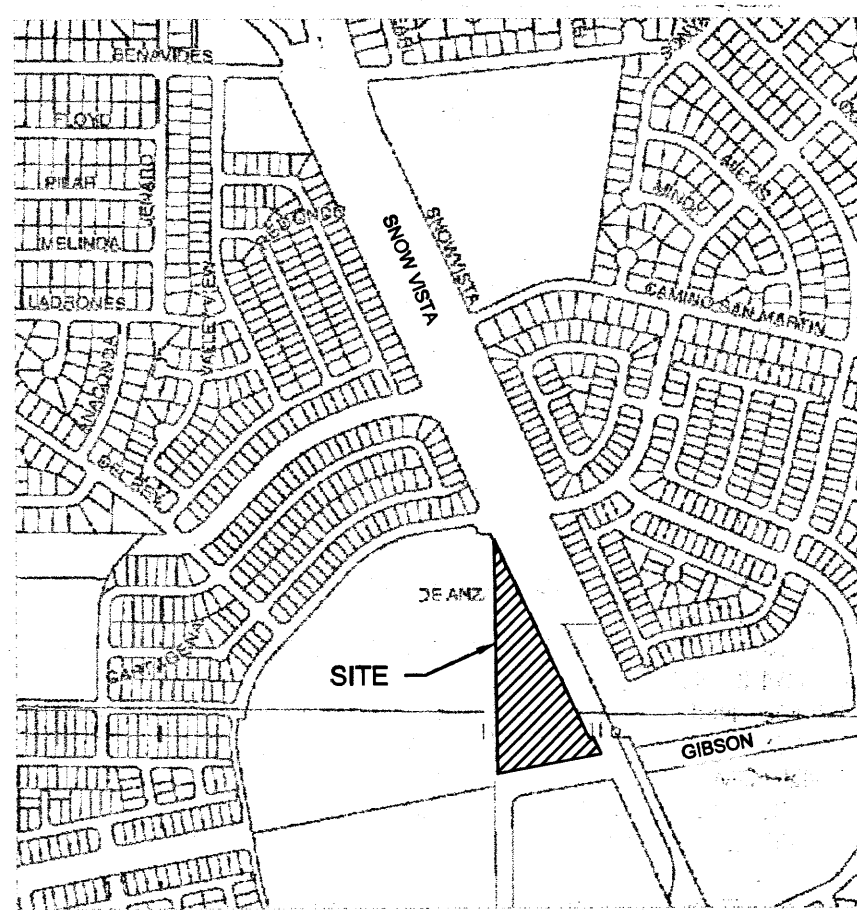
- Outdoor security lighting shall be maintained and operated.
- Hydrology systems shall be kept in good working order.

SITE PLAN FOR SUBDIVISION SILVERTREE COMMONS

Prepared For:
Rupinder S. Bindra
550 South Hill St., Suite 1649
Los Angeles, CA 90013

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

January 16, 2009



ZONE ATLAS
M-9-Z

VICINITY MAP (NOT TO SCALE)

LEGAL DESCRIPTION:

A TRACT OF LAND E-5-A SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4 T.9N., R.2E., N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 15, 2003 IN BOOK 2003C, PAGE 248.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER(S) SIGNATURE _____ DATE _____

OWNER(S) PRINT NAME _____

ADDRESS _____

ACKNOWLEDGEMENT
STATE OF NEW MEXICO)
)SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2009.

BY: _____

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC _____

**PLAT OF
TRACTS E-5-A-1 & E-5-A-2
ALBUQUERQUE SOUTH, UNIT 3
PROJECTED SECTION 4, T9N, R2E, N.M.P.M.
TOWN OF ATRISCO GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY 2009**

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACT INTO TWO (2) NEW TRACTS, VACATE A DRAINAGE AND PNM & MST&T EASEMENT AND TO GRANT ADDITIONAL EASEMENTS AS SHOWN.

CITY APPROVALS: PROJECT NO.: APPLICATION NO.:

CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEER _____ DATE _____

PARKS & RECREATION DEPARTMENT _____ DATE _____

A.B.C.W.U.A. _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

UTILITY APPROVALS

PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) _____ DATE _____

NEW MEXICO GAS COMPANY (NMGC) _____ DATE _____

QWEST COMMUNICATIONS _____ DATE _____

COMCAST CABLE _____ DATE _____

SURVEYOR'S CERTIFICATION

I, WILLIAM GOSS, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

WILLIAM GOSS, N.M.L.S. NO. 16006

DATE _____

SUBDIVISION NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 83, AND ARE BASED ON GPS OBSERVATIONS REFERENCED TO ARTGN CONTROL STATION "TRANS".

2. NGS MONUMENT "TRANS" DIFFERS FROM THE NOAA PUBLISHED COORDINATES BY +0.08 NORTHING, +0.14 EASTING.

3. DISTANCES ARE GROUND.

4. UNLESS OTHERWISE SHOWN, SET A 5/8" REBAR WITH PLASTIC CAP STAMPED LS 16006.

5. PLAT SHOWS ALL EASEMENTS OF RECORD.

6. GROSS AREA 3.9385 ACRES, MORE OR LESS.

7. NUMBER OF EXISTING TRACTS: 1

8. NUMBER OF TRACTS CREATED: 2

9. THE PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT IS FOR THE BENEFIT AND USE, BY AND FOR THE OWNERS OF TRACTS E-5-A-1 AND E-5-A-2 AND IS TO BE MAINTAINED BY THE OWNERS.

10. NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THE PLAT.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED TO THE COMMON AND JOINT USE OF:

A. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.

B. NMGC FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.

C. QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO GROUND PEDESTALS AND CLOSURES.

D. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINE, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED ON CONSTRUCTED ON SAID EASEMENT, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF THE NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENT SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND THE (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

PNM DISCLOSURE STATEMENT

IN APPROVING THIS PLAT, PNM ELECTRICAL SERVICES, DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE OR RELEASE ANY EASEMENT(S) OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SPECIFICALLY DESCRIBED AND SHOWN ON THIS PLAT.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

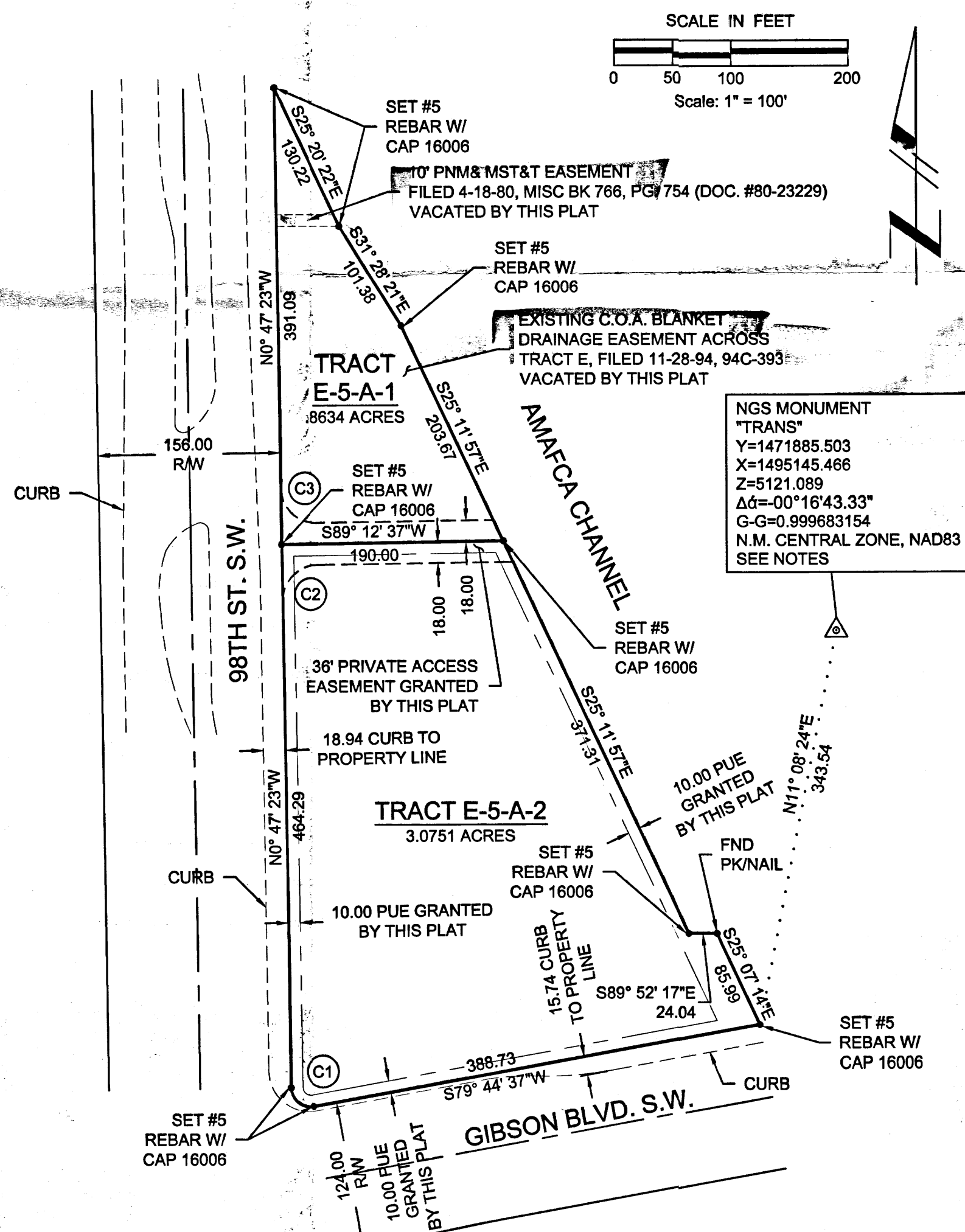
UPC # _____

PROPERTY OWNER OF RECORD: _____

BERNALILLO COUNTY TREASURER'S OFFICE: _____

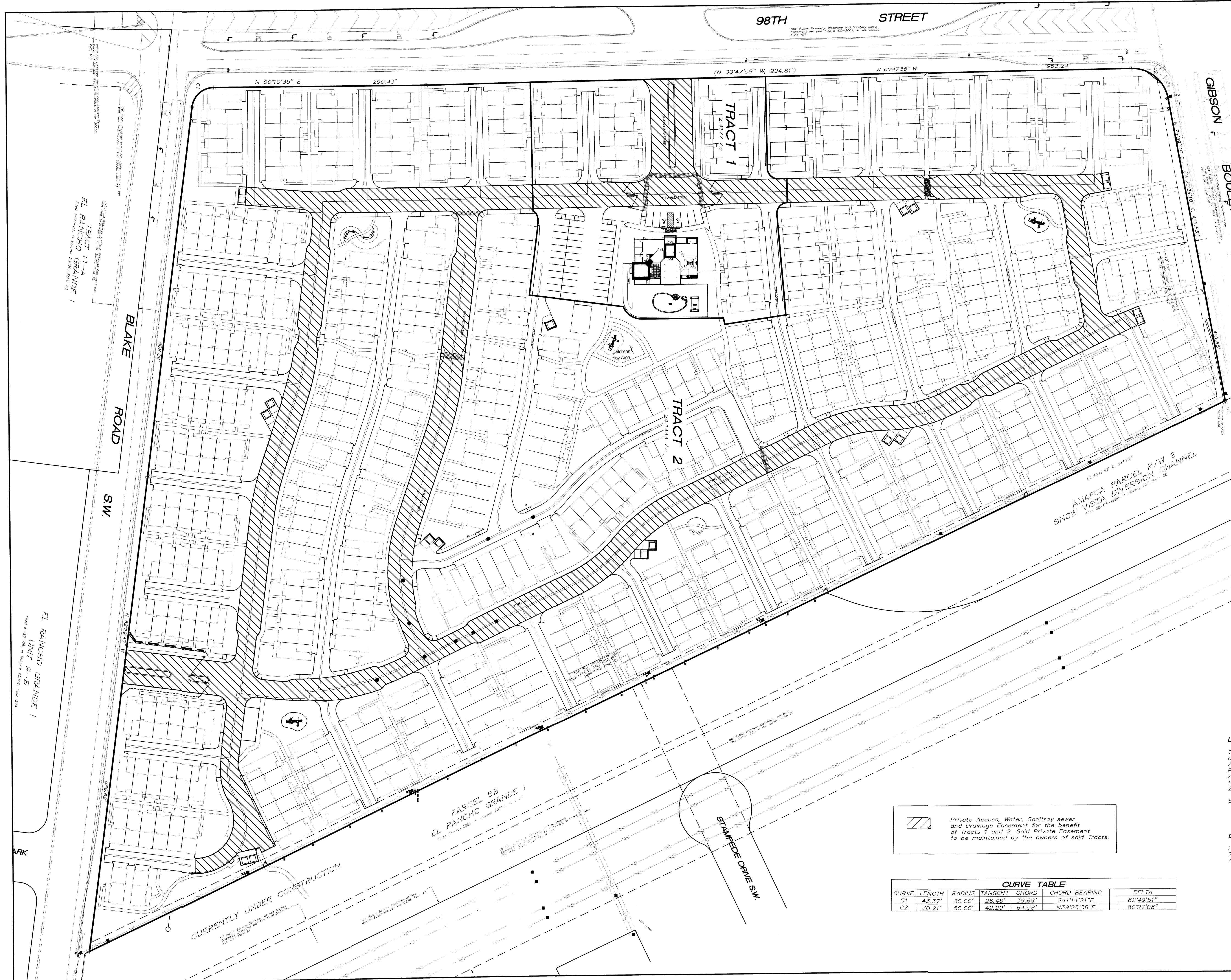
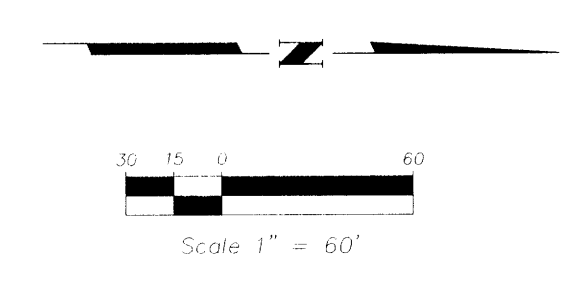
CURVE TABLE

C1 - R=16.70, L=29.05, CH=N50° 30' 57"W, CH DIST=25.52
C2 - R=30.00, L=47.12, CH=N44° 12' 37"E, CH DIST=42.43
C3 - R=30.00, L=47.12, CH=N44° 12' 37"W, CH DIST=42.43



SKETCH PLAT OF
TRACTS 1 AND 2
DIAMOND MESA
 (BEING A REPLAT OF TRACT E-6-A-1,
 ALBUQUERQUE SOUTH UNIT THREE)
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2008

TRACT E-5-A
 ALBUQUERQUE SOUTH
 UNIT THREE



AMAFCA PARCEL R/W 2
 SNOW VISTA DIVERSION CHANNEL
 (S 29°12'42" E, 289.15')
 FILED 08-03-1988, IN VOLUME 157, PAGE 26

PARCEL 5B
 EL RANCHO GRANDE I
 FILED 11-16-2001, IN VOLUME 2001, PAGE 22

CURRENTLY UNDER CONSTRUCTION

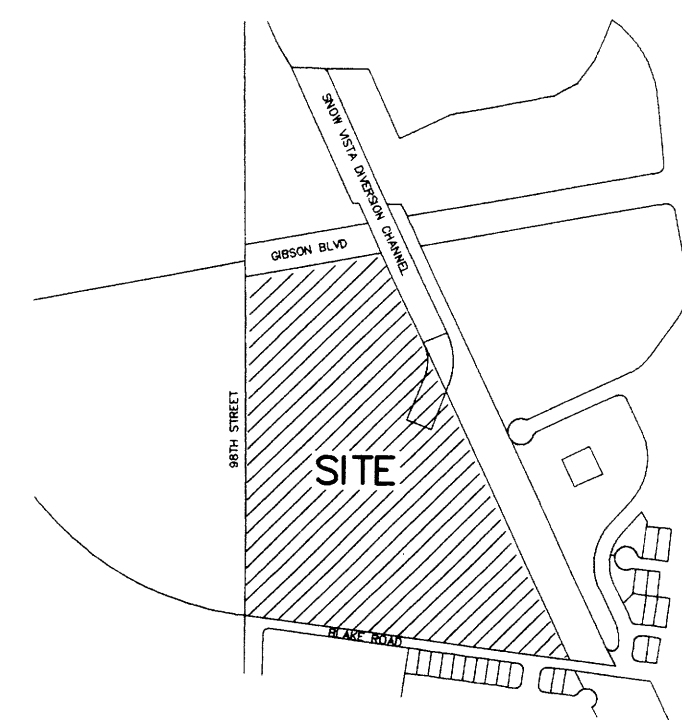
Private Access, Water, Sanitary sewer and Drainage Easement for the benefit of Tracts 1 and 2. Said Private Easement to be maintained by the owners of said Tracts.

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	43.37'	30.00'	26.46'	39.69'	S41°14'21"E	82°49'51"
C2	70.21'	50.00'	42.29'	64.58'	N39°25'36"E	80°27'08"

LEGAL DESCRIPTION
 Tract E-6-A-1, ALBUQUERQUE SOUTH, UNIT THREE, as the same is shown and designated on the plat entitled, "CORRECTION PLAT FOR ALBUQUERQUE SOUTH, UNIT THREE, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on February 1, 2008, in Volume 2008C, Folio 18.
 Said Tract contains 26.5621 acres, more or less.

Owner
 Longford Homes of New Mexico
 7007 Jefferson Street NE, Ste A
 Albuquerque, New Mexico 87109

PLAT FOR
ALBUQUERQUE SOUTH, UNIT THREE
TRACT E-6-A-1
 WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2005



LOCATION MAP 1" = 750' N-9-Z

PURPOSE OF PLAT

- To create tract E-6-A-1 as shown hereon.
- To dedicate street right-of-way to the City of Albuquerque in Fee simple with warranty covenants.

SUBDIVISION DATA

- Project No.: Application No.:
- Zone Atlas Index No.: N-9-Z
- Total Number of Lots created: 0
- Total Number of existing Tracts: 1
- Total Number of Tracts created: 1
- Gross Subdivision Acreage: 30.6706 Acres

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 PLAT OF "ALBUQUERQUE SOUTH, UNIT 3, TRACTS E-1 THRU E-6," (06-05-02, 02C-197)
 PLAT OF "ALBUQUERQUE SOUTH, UNIT 3, TRACTS E-5-A AND E-6-A," (08-15-03, 03C-248)
 PLAT OF "EL RANCHO GRANDE I, TRACTS 8-A, 9-B-1, 9-B-2, 11-A, 12-A, 12-A-2 AND 13-D," (03-21-03, 03C-73)
 PLAT OF "SUNGATE ESTATES SUBDIVISION, UNIT 2," (07-11-05, 05C-245)
 PLAT OF "EL RANCHO GRANDE I, UNIT 9B," (06-27-05, 05C-224)
 PLAT OF "EL RANCHO GRANDE I, PARCEL 5B," (01-16-01, 01C-20)
 PLAT OF "EL RANCHO GRANDE I, UNIT 5-A," (10-22-02, 02C-340)
 "SNOW VISTA DIVERSION CHANNEL DRAINAGE RIGHTS-OF-WAY," (08-03-88, C37-26)
 all being records of Bernalillo County, New Mexico.
- Field Survey performed on November, 2004.
- UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2005393693
- Title Report: None provided.
- City Zoning: RL1
- Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719".

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East and projected Section 33, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT E-6-A, ALBUQUERQUE SOUTH, UNIT THREE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 15, 2003 in Book 2003C, Page 248 and a portion of R/W 2, SNOW VISTA DIVERSION CHANNEL DRAINAGE RIGHTS-OF-WAY as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 3, 1988 in Book C37, Page 26 and being more particularly described as follows:

BEGINNING at the northeast corner of the herein described tract from whence the Albuquerque Control Survey Monument "TRANS" bears N 01°27'50" E 453.38 feet;
 THENCE S 25°12'42" E, 1770.25 feet the southeast corner;
 THENCE N 82°29'47" W, 676.26 feet to a point;
 THENCE N 82°39'16" W, 608.05 feet the southwest corner;
 THENCE N 00°10'35" E, 336.27 feet to a point;
 THENCE N 00°47'58" W, 1002.18 feet the northwest corner;
 THENCE N 79°39'10" E, 541.22 feet to the point of beginning and containing 30.6706 acres more or less.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby consent to the creating of TRACT E-6-A-1 as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate Additional street right-of-way to the City of Albuquerque in Fee simple with warranty covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that the subdivision is their free act and deed. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.
 Owner(s): Tract E-6-A-1

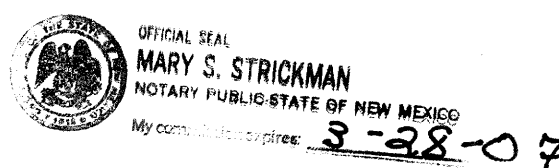
Charles A. Haegelin
 CURB, INC., PRESIDENT, CHARLES HAEGELIN

9-23-05

STATE OF NEW MEXICO)
 BERNALILLO COUNTY) SS

On this 23rd day of September, 2005, this instrument was acknowledged before me by Charles Haegelin, President of Curb, Inc., a New Mexico Corporation.

Mary S. Strickman
 Notary Public



PROJECT NUMBER:

Application Number:

PLAT APPROVAL

Utility Approvals:

**PRELIMINARY PLAT
 APPROVED BY DRB**

PNM Electric Services Division _____ Date

PNM Gas Services Division _____ Date

Qwest _____ Date

Comcast _____ Date

City Approvals: *[Signature]* _____ 9-27-05
 City Surveyor _____ Date

Real Property Division _____ Date

Environmental Health Department _____ Date

Traffic Engineering, Transportation Division _____ Date

Utilities Development _____ Date

Parks and Recreation Department _____ Date

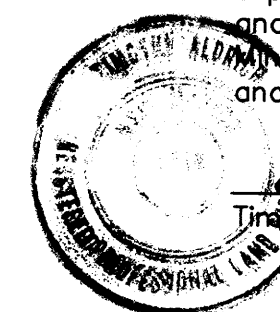
AMAFC A _____ Date

City Engineer _____ Date

DRB Chairperson, Planning Department _____ Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."



[Signature] _____ 09-26-05
 Timothy Aldrich, P.S. No. 7719 _____ Date

Drawn By:	EM	Date:	09-23-05
Checked By:	TA	Drawing Name:	01037E6A.DWG
Job No.:	01-037	Sheet:	1 of 2

**ALDRICH LAND
 SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT FOR
 ALBUQUERQUE SOUTH, UNIT THREE
 TRACT E-6-A-1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2005

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP
 "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP
 "ALS LS 7719" (TYP)

EASEMENTS

- ① EXISTING C.O.A. BLANKET DRAINAGE EASEMENT
 ACROSS TRACT E (11-28-94, 94C-393)
- ② EXISTING 124' PUBLIC ROADWAY, WATERLINE
 AND SANITARY SEWER EASEMENT
 (06-05-02, 02C-197)
- ③ EXISTING 156' PUBLIC ROADWAY, WATERLINE
 AND SANITARY SEWER EASEMENT
 (06-05-02, 02C-197)
- ④ EXISTING 34' PUBLIC ROADWAY, UTILITY
 & DRAINAGE EASEMENT
 (01-16-01, 2001C-20)
- ⑤ 34' PUBLIC ROADWAY, WATERLINE AND
 SANITARY SEWER EASEMENT
 (08-15-03, 03C-248)
- ⑥ 10' PNM EASEMENT
 (GRANTED BY THIS PLAT)

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance, and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

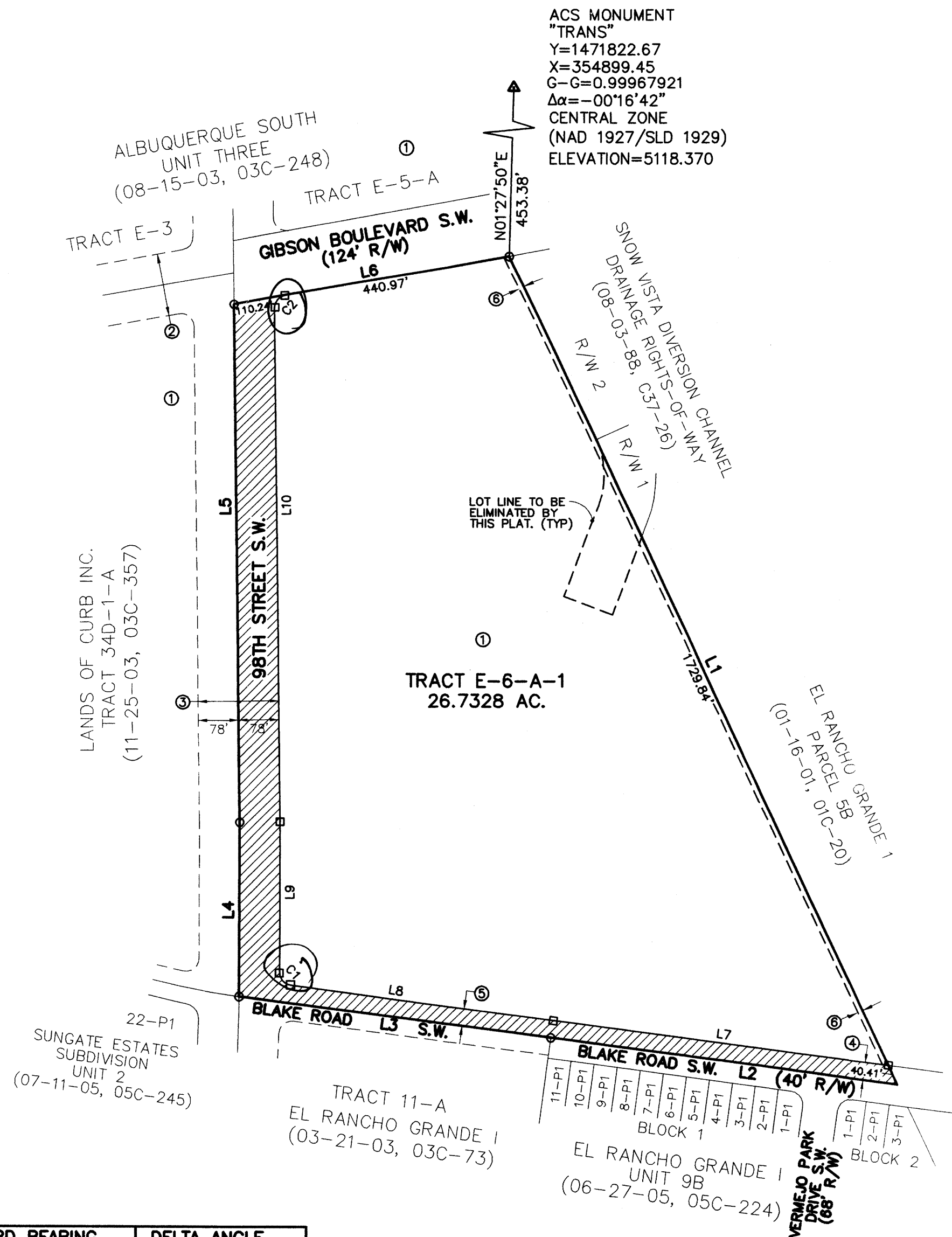
Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs of bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

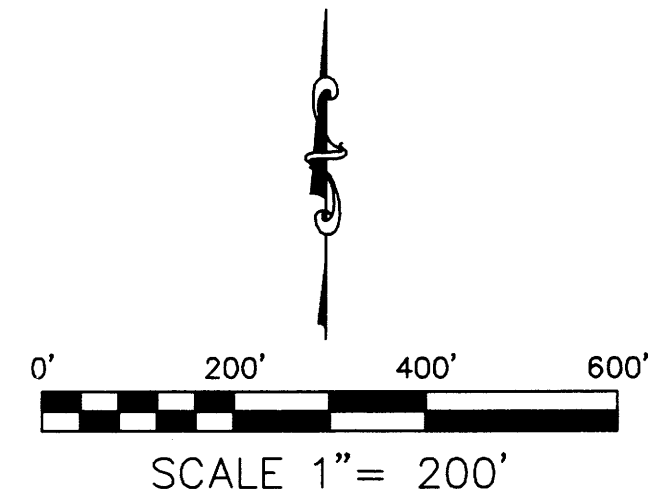
Easements for electric transformers/switchgear, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

LINE	BEARING	DISTANCE
L1	S 25°12'42" E	1770.25'
L2	N 82°29'47" W	676.26'
L3	N 82°39'16" W	608.05'
L4	N 00°10'35" E	336.27'
L5	N 00°47'58" W	1002.18'
L6	N 79°39'10" E	541.22'
L7	N 82°29'47" W	654.42'
L8	N 82°39'16" W	511.66'
L9	N 00°10'35" E	290.43'
L10	N 00°47'58" W	994.81'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	36.14'	33.08'	N 41°14'20" W	82°49'51"
C2	25.00'	35.10'	32.29'	N 39°25'36" E	80°27'08"



(HATCHED AREA)
 STREET RIGHT-OF-WAY
 DEDICATED TO THE CITY
 OF ALBUQUERQUE IN FEE
 SIMPLE WITH WARRANTY
 COVENANTS. (3.9378 ACRES)



Drawn By:	ECM	Date:	09-23-05
Checked By:	TA	Drawing Name:	01037E6A.DWG
Job No.:	01-037	Sheet:	2 of 2



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

BULK LAND PLAT FOR
 ALBUQUERQUE SOUTH, UNIT THREE
 TRACT E-6-A-1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2005

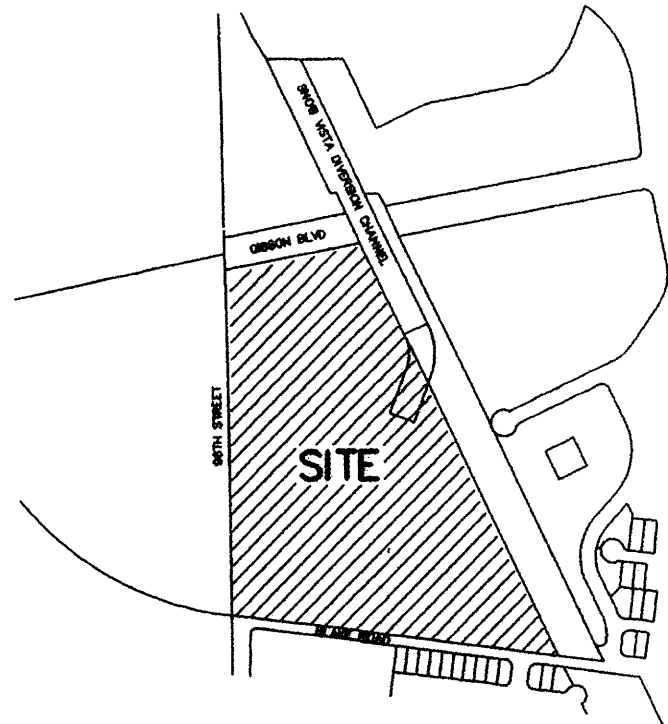


PROJECT NUMBER: 1002819
 Application Number: 05 DRB-01730

PLAT APPROVAL

Utility Approvals:

<u>Paul D. Marks</u>	<u>10-27-05</u>
PNM Electric Services Division	Date
<u>Paul D. Marks</u>	<u>10-27-05</u>
PNM Gas Services Division	Date
<u>Scott Crabb</u>	<u>10-27-05</u>
Quest	Date
<u>Scott Bullock</u>	<u>10-27-05</u>
Comcast	Date
City Approvals: <u>Mark B. Ford</u>	<u>9-27-05</u>
City Surveyor	Date
Real Property Division	Date
Environmental Health Department	Date
<u>Bill Boy</u>	<u>12-7-05</u>
Traffic Engineering, Transportation Division	Date
<u>William J. Walsh</u>	<u>12-7-05</u>
Utilities Development	Date
<u>Christina Sandoval</u>	<u>12/7/05</u>
Parks and Recreation Department	Date
<u>Martin W. Zeller Jr.</u>	<u>10-27-05</u>
AMAFCA	Date
<u>Bradley D. Bingham</u>	<u>12/7/05</u>
City Engineer	Date
<u>Andrew Garcia</u>	<u>12-21-05</u>
DRB Chairperson, Planning Department	Date



LOCATION MAP 1" = 750' N-9-Z

PURPOSE OF PLAT

- To create tract E-6-A-1 as shown hereon.
- To dedicate street right-of-way to the City of Albuquerque in Fee simple with warranty covenants.

SUBDIVISION DATA

- Project No.: Application No.:
- Zone Atlas Index No.: N-9-Z
- Total Number of Lots created: 0
- Total Number of existing Tracts: 1
- Total Number of Tracts created: 1
- Gross Subdivision Acreage: 30.6706 Acres

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 - PLAT OF "ALBUQUERQUE SOUTH, UNIT 3, TRACTS E-1 THRU E-6," (06-05-02, 02C-197)
 - PLAT OF "ALBUQUERQUE SOUTH, UNIT 3, TRACTS E-5-A AND E-6-A," (08-15-03, 03C-248)
 - PLAT OF "EL RANCHO GRANDE I, TRACTS 8-A, 9-B-1, 9-B-2, 11-A, 12-A, 12-A-2 AND 13-D," (03-21-03, 03C-73)
 - PLAT OF "SUNGATE ESTATES SUBDIVISION, UNIT 2," (07-11-05, 05C-245)
 - PLAT OF "EL RANCHO GRANDE I, UNIT 9B," (06-27-05, 05C-224)
 - PLAT OF "EL RANCHO GRANDE I, PARCEL 5B," (01-16-01, 01C-20)
 - PLAT OF "EL RANCHO GRANDE I, UNIT 5-A," (10-22-02, 02C-340)
 - "SNOW VISTA DIVERSION CHANNEL DRAINAGE RIGHTS-OF-WAY," (08-03-88, C37-26)
- all being records of Bernalillo County, New Mexico.
- Field Survey performed on November, 2004.
- UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2005393693
- Title Report: None provided.
- City Zoning: RL1
- Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719".

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East and projected Section 33, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT E-6-A, ALBUQUERQUE SOUTH, UNIT THREE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 15, 2003 in Book 2003C, Page 248 and a portion of R/W SNOW VISTA DIVERSION CHANNEL DRAINAGE RIGHTS-OF-WAY as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 3, 1988 in Book C37, Page 26 and being more particularly described as follows:

BEGINNING at the northeast corner of the herein described tract from whence the Albuquerque Control Survey Monument "TRANS" bears N 01°27'50" E 453.38 feet;

THENCE S 25°12'42" E, 1770.25 feet the southeast corner;

THENCE N 82°29'47" W, 676.26 feet to a point;

THENCE N 82°39'16" W, 608.05 feet the southwest corner;

THENCE N 00°10'35" E, 336.27 feet to a point;

THENCE N 00°47'58" W, 1002.18 feet the northwest corner;

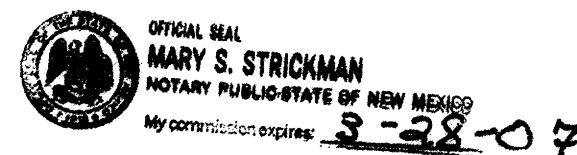
THENCE N 79°39'10" E, 541.22 feet to the point of beginning and containing 30.6706 acres more or less.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby consent to the creating of TRACT E-6-A-1 as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate Additional street right-of-way to the City of Albuquerque in Fee simple with warranty covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that the subdivision is their free act and deed. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided. Owner(s): Tract E-6-A-1

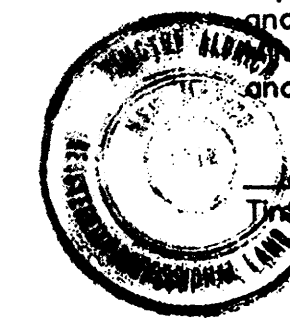
Charles A. Haegelin 9-23-05
 CURB, INC., PRESIDENT, CHARLES HAEGELIN

STATE OF NEW MEXICO }
 BERNALILLO COUNTY } SS
 On this 23rd day of September, 2005, this instrument was acknowledged before me by Charles Haegelin, President of Curb, Inc., a New Mexico Corporation.
Mary S. Strickman
 Notary Public



SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."



Timothy Aldrich 09-26-05
 Timothy Aldrich, P.S. No. 7719 Date

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
 PLAT NO. 1009054815485108+H
 PROPERTY OWNER OF RECORD
CURB, INC.
 TO COUNTY TREASURER'S OFFICE:
James Mares 12-21-05

Drawn By:	EM	Date:	09-23-05
Checked By:	TA	Drawing Name:	01037E6A.DWG
Job No.:	01-037	Sheet:	1 of 2



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

BULK LAND PLAT FOR
 ALBUQUERQUE SOUTH, UNIT THREE
 TRACT E-6-A-1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2005



"NOTICE OF SUBDIVISION PLAT CONDITIONS"
 ALBUQUERQUE SOUTH, UNIT THREE
 TRACTS E-6-A-1

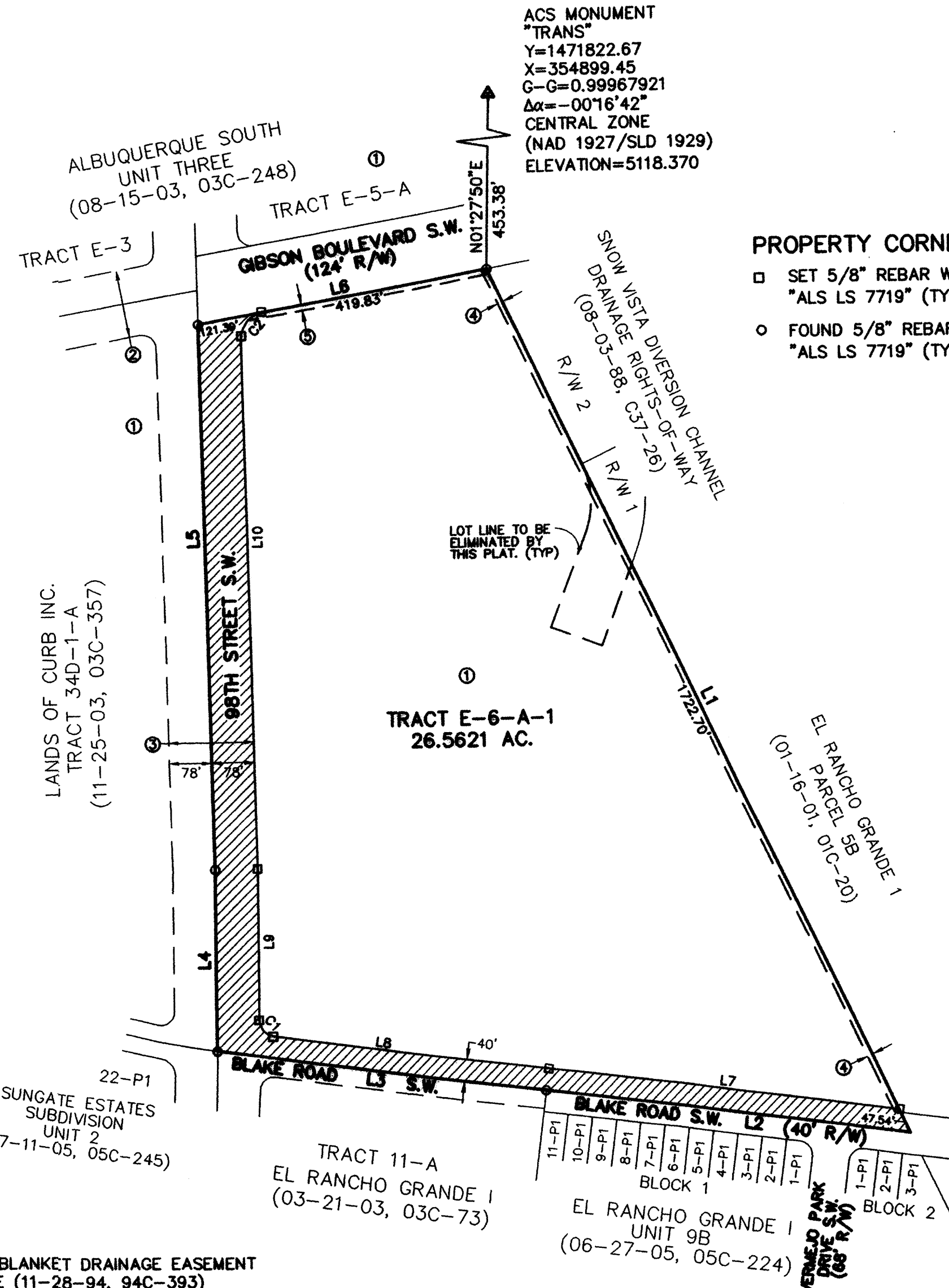
THE PLAT OF ALBUQUERQUE SOUTH, UNIT THREE, TRACTS E-6-A-1 HAS BEEN GRANTED A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-6-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY AND AMAFCA (WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND, EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.



PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance, and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgear, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

EASEMENTS

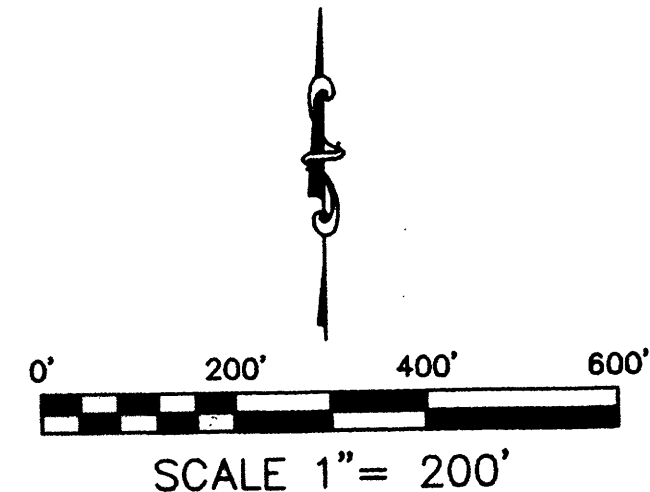
- ① EXISTING C.O.A. BLANKET DRAINAGE EASEMENT ACROSS TRACT E (11-28-94, 94C-393)
- ② EXISTING 124' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- ③ EXISTING 156' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- ④ 10' PNM EASEMENT (GRANTED BY THIS PLAT)
- ⑤ 10' PUE EASEMENT (GRANTED BY THIS PLAT)

(HATCHED AREA)
 STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. (4.1085 ACRES)

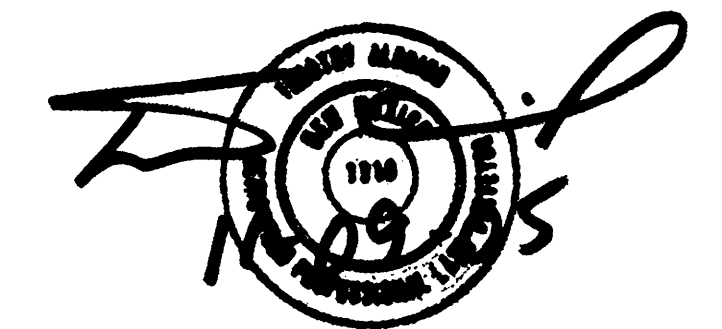
QUITCLAIM DEED
 AMAFCA TO CURB, INC.,
 (10-07-05, A104-3134)

LINE	BEARING	DISTANCE
L1	S 25°12'42" E	1770.25'
L2	N 82°29'47" W	676.26'
L3	N 82°39'16" W	608.05'
L4	N 00°10'35" E	336.27'
L5	N 00°47'58" W	1002.18'
L6	N 79°39'10" E	541.22'
L7	N 82°29'47" W	650.82'
L8	N 82°39'16" W	508.06'
L9	N 00°10'35" E	290.43'
L10	N 00°47'58" W	994.81'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	30.00'	43.37'	36.69'	N 41°14'20" W	82°49'51"
C2	50.00'	70.21'	64.58'	N 39°25'36" E	80°27'08"



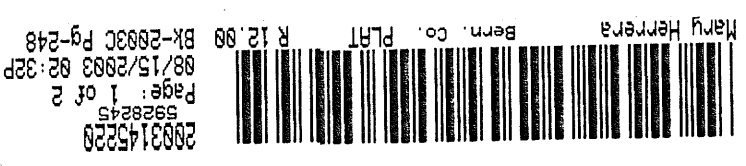
Drawn By:	ECM	Date:	09-23-05
Checked By:	TA	Drawing Name:	01037E6A.DWG
Job No.:	01-037	Sheet:	2 of 2



ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBUQUERQUE, N.M. 87190
 505-884-1990

BULK LAND PLAT FOR ALBUQUERQUE SOUTH, UNIT THREE TRACT E-5-A AND E-6-A WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 4 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMFM AND PROJECTED SECTION 33 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMFM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

MAY, 2003



PROJECT NUMBER: **1002819**
Application Number: **03 DRB-0183 P.F.**
03 DRB-0180 BLY

PLAT APPROVAL

Utility Approvals:

PNM Electric Services Division	Date	7-31-03
PNM Gas Services Division	Date	7-31-03
Quest	Date	8-1-03
Comcast	Date	7-31-03

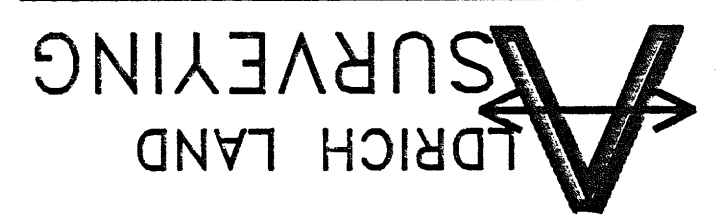
City Approvals:

City Surveyor	Date	6-11-03
Environmental Health Department	Date	N/A
Engineering, Transportation Division	Date	8-13-03
Utilities Development	Date	8-13-03
Parks and Recreation Department	Date	8/13/03
AMAFCA	Date	8-15-03
City Engineer	Date	8/13/03
DRB Chairperson, Planning Department	Date	8/16/03

SURVEYOR'S CERTIFICATION

I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Timothy Aldrich, P.S. No. 7719



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Job No.: 01-037	Sheet: 1 of 2
Checked By: TA	Drawing Name: 01037EBP.DWG
Drawn By: RJA	Date: 05-16-03

DESCRIPTION

A tract of land situated within the Town of Arisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being the remaining portion of TRACT 1, SALAZAR - DAVIS TRACTS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 6, 1986 in Volume C30, Folio 91 together with all of TRACT E-5 AND E-6, ALBUQUERQUE SOUTH, UNIT THREE as the same is shown and designated on said plat filed for record in Book 2002C, Page 197 and containing 36.7322 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Quest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs of bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

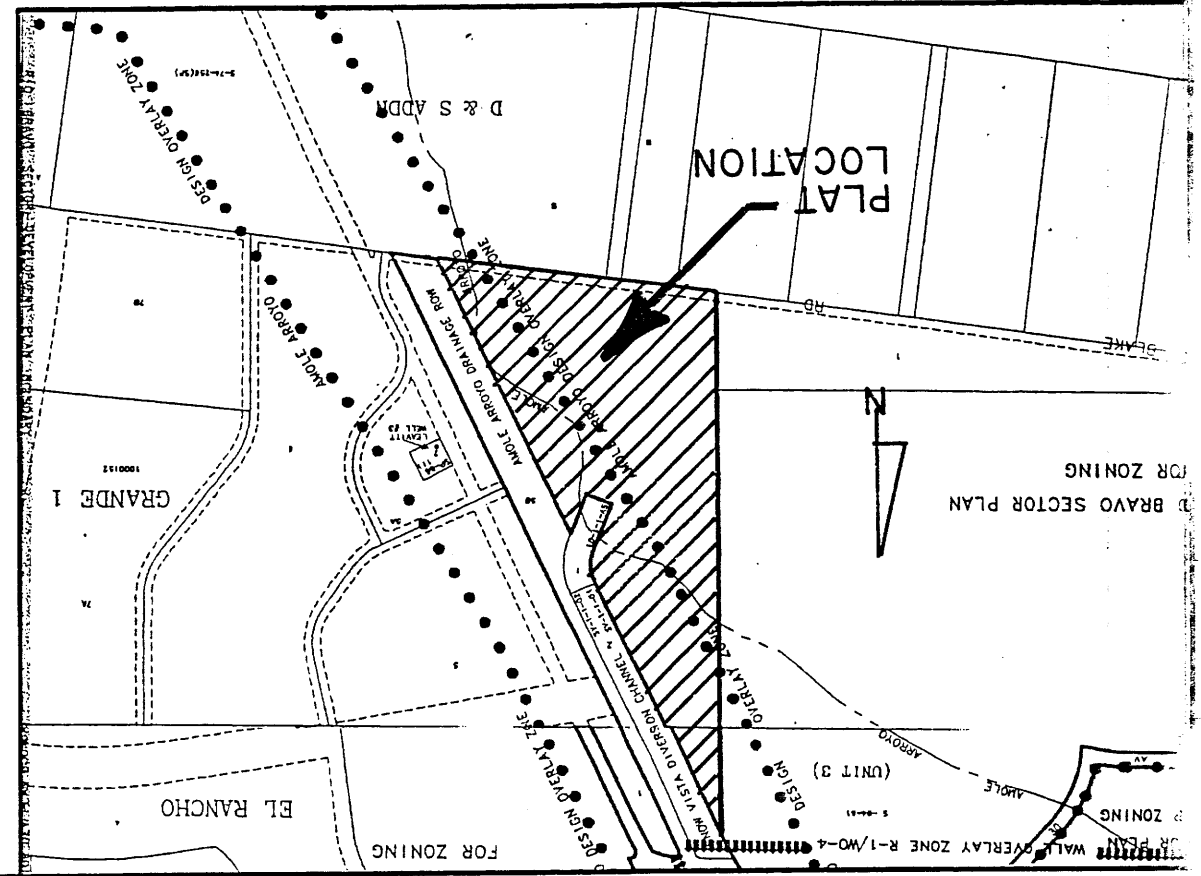
"NOTICE OF SUBDIVISION PLAT CONDITIONS"

THE PLAT OF ALBUQUERQUE SOUTH, UNIT THREE, TRACTS E-5-A AND E-6-A HAS BEEN GRANTED A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-6-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, GRADING POSAL.

THE CITY AND AMAFCA (WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED. BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND, EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.



LOCATION MAP. 1" = 750'

PURPOSE OF PLAT

1. To create tracts E-5-A and E-6-A as shown hereon.
2. To grant easement as shown hereon.
3. To dedicate street right-of-way to the C.O.A. as shown hereon.

SUBDIVISION DATA

Project No.: 1002819
Application No.: 03 DRB-0183 P.F.
Zone Atlas Index No.: M-9-Z & N-9-Z
2. Total Number of Lots created: 0
3. Total Number of existing Tracts: 2
4. Total Number of Tracts created: 2
5. Gross Subdivision Acreage: 36.7322 Acres
6. Total Number of Tracts created: 2

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:

1. PLAT OF "ALBUQUERQUE SOUTH, UNIT 3, TRACTS E-1 THRU E-6," (06-05-02, 02C-197)
2. PLAT OF "EL RANCHO GRANDE I," (03-21-03, 03C-73)
3. PLAT OF "EL RANCHO GRANDE I," (01-16-01, 01C-20)
4. "SNOW VISTA DIVERSION CHANNEL DRAINAGE RIGHTS-OF-WAY" (08-03-88, C37-26)
5. PLAT OF "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT, prepared by Community Sciences Corporation dated October, 2002 ()
6. All being records of Bernalillo County, New Mexico.
7. Field Survey performed on March, 2002.
8. UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2003172995
9. Title Report: None provided.
10. City Zoning: RL1

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easement as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the creating of Tracts E-5-A and E-6-A as shown hereon. Said Owner(s) and/or proprietor(s) do hereby dedicate street right-of-way to the City of Albuquerque in fee simple with warranty covenants. Said Owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that the subdivision is their free act and deed.

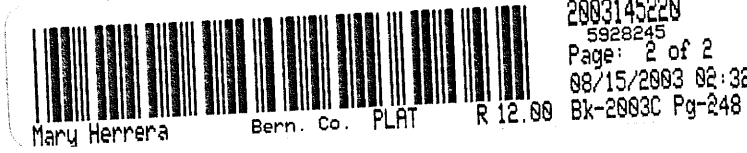
Owner: Tracts E-5-A and E-6-A
Charles A. Haegelin
CURB, INC., PRESIDENT, CHARLES HAEGELIN

STATE OF NEW MEXICO)
BERNALILLO COUNTY)
On this 2nd day of JUNE, 2003, this instrument was acknowledged before me by Charles Haegelin, President of CURB, Inc., a New Mexico Corporation.
Mary S. Strickman
MARY S. STRICKMAN
Notary Public, State of New Mexico
My commission expires: 3-28-07

EASEMENTS

- ① EXISTING 10' PNM & MST&T EASEMENT (DOCUMENT NO. 80-23229) (4-18-80, Bk. Misc. 766, Pg. 745)
- ② EXISTING C.O.A. BLANKET DRAINAGE EASEMENT ACROSS TRACT E (11-28-94, 94C-393)
- ③ EXISTING 124' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- ④ EXISTING 156' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- ⑤ EXISTING 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 02C-184)
- ⑥ EXISTING 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)

- ⑦ EXISTING 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 02C-184)
- ⑧ 60' BLAKE ROAD S.W., NO DEDICATION DOCUMENT AVAILABLE
- ⑨ 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (GRANTED BY THIS PLAT)



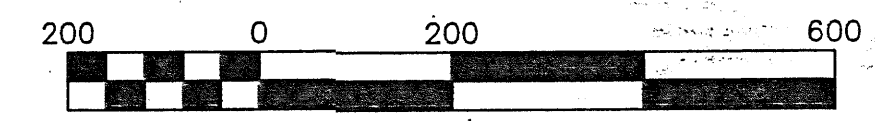
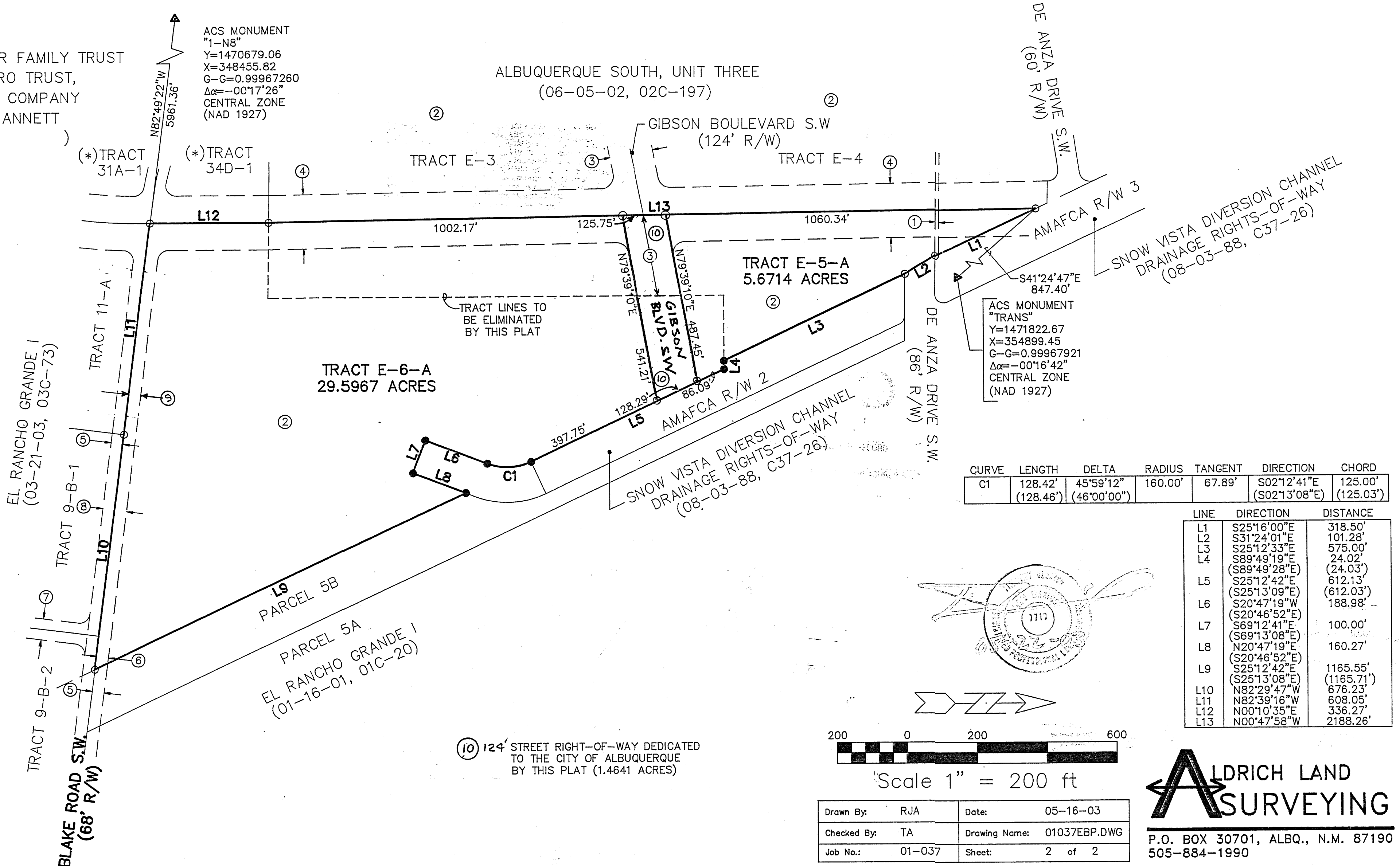
**BULK LAND PLAT FOR
ALBUQUERQUE SOUTH, UNIT THREE
TRACT E-5-A AND E-6-A
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
AND
PROJECTED SECTION 33
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2003**

SITE BENCHMARK
ACS MONUMENT "1-M9"
ELEVATION = 5147.87 (SLD 1929)

NOTE:
DEVELOPMENT OF TRACTS E-5-A & E-6-A
WILL REQUIRE AN ALL-WEATHER CROSSING
AT 98TH STREET AND THE SNOW VISTA
CHANNEL.

- SET 5/8" REBAR W/CAP "ALS LS 7719"
- FOUND AMAFCA BRASS CAP "LS 4078"

(*)LANDS OF SALAZAR FAMILY TRUST
SALAZAR QUATRO TRUST,
JSJ INVESTMENT COMPANY
AND FALBA HANNETT



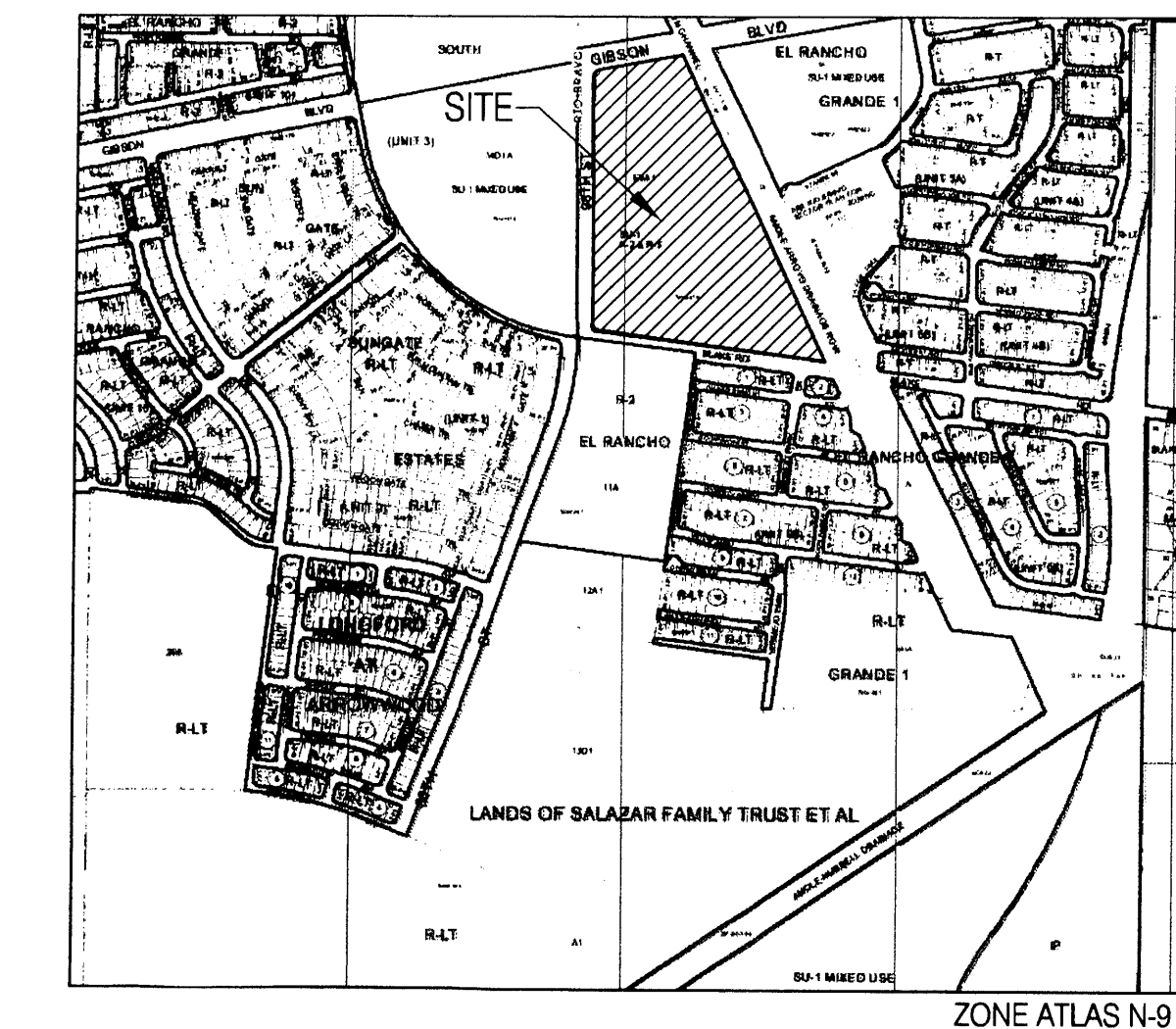
Scale 1" = 200 ft

Drawn By:	RJA	Date:	05-16-03
Checked By:	TA	Drawing Name:	01037EBP.DWG
Job No.:	01-037	Sheet:	2 of 2

ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

TRACT 34D-1
SU-1 MIXED USE

SITE VICINITY



SITE INFORMATION:
The site consists of approximately 28.5 acres. The legal description for the site is Tract E-6-A-1, Albuquerque South, Unit Three. The zoning is SU-1 R-2 & R-1.

Proposed Use:
The Site Plan for Building Permit allows a residential condominium project that includes three building types as follows:

1. a six-plex with 4 two-story units and 2 one-story units - 35 Buildings.
2. a six-plex with 6 two-story units - 37 Buildings
3. a single family detached, two-story unit - 25 Buildings.

There are a total of 482 dwelling units proposed. The community, named Diamond Mesa will be gated. It will contain a pool, a club house, and playground equipment, and 9.68 acres of open space.

Pedestrian and Vehicular Ingress and Egress:
Vehicular Access - Primary access into the development will be off of 98th Street SW. A secondary access is provided along Blake Road SW, on the south side of the site. Both accesses are gated. The 98th Street entrance will include a key pad and will be utilized by visitors and residents. The Blake Road access can be opened by a remote control provided to residents. Both access points will accommodate emergency vehicles.
Pedestrian Access - Pedestrians will be provided direct access through the subdivision from entry ways off of Gibson Boulevard, 98th Street SW and Blake Road SW. There will also be three pedestrian access points to the trail located along the Amole Channel.

Bicycle Access - A primary trail is planned along Gibson Boulevard SW that will connect to the Amole Channel Trail. The Gibson trail will be accessed from the Diamond Mesa community via the Amole Trail and a direct connection at the north end of the project. These trails serve as part of the regional trail network.

Alleys - The Diamond Mesa community contains alleys that serve each building. The garages for each dwelling unit will be accessed from the alleys.

Transit Access - The site is currently not on a direct Transit route, however, it is feasible that in the future Gibson Boulevard and 98th Street could become Transit Routes.

Internal Circulation:
Internal roads will be private but will be designed and built in compliance with the DPM. Local roads (of varying lengths) internal to the development will be provided to provide access to buildings and common parking areas. Pedestrian circulation within the community will be facilitated through a network of concrete walking paths that provide connectivity throughout the community. ADA compliant sidewalks will also be provided throughout the community.

Building Heights and Setbacks:
Maximum building height and setbacks comply with the City Comprehensive Zoning Ordinance for the R-2 zone.

Parking:
Parking will be provided in compliance with 14-16-3-1 of the City Zoning Code (one space per full bath - two spaces per dwelling unit).

- Required:**
487 units @ 1 full bath per unit = 487 parking spaces required.
- Provided:**
794 garage parking spaces
50 guest parking
158 on-street parking spaces
1002 parking spaces provided

Condominium Association:
A Condominium Association will be established to maintain building exterior, internal streets, the pool/clubhouse area, pedestrian walkways, and landscaping/open space.

Lighting:
Lighting will be provided in compliance with the City Of Albuquerque Zoning Code.

Gate:
Gates shall remain open from 7am - 6pm.

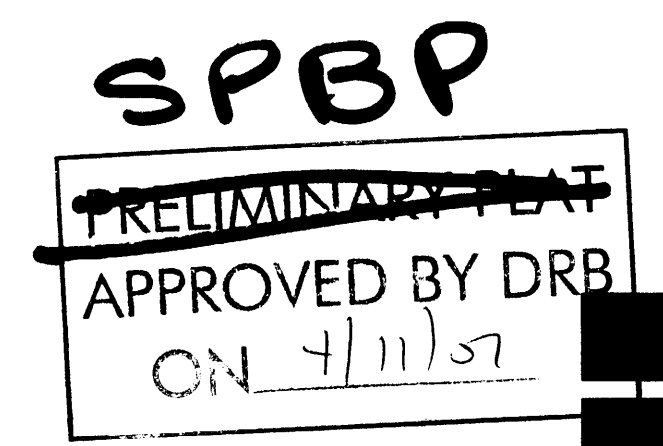
Solid Waste:
The walls surrounding the refuse containers shall be a maximum of 8' in height and constructed of colored stucco or split face block. The gate will be opaque and of a durable material.

SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT
DIAMOND MESA

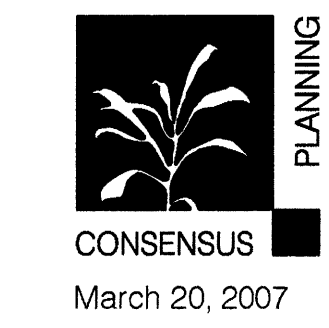
Prepared for:
Diamond Mesa, LLC
7007 Jefferson St. NE
Suite A
Albuquerque, NM 87109

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Bohannon Huston
7500 Jefferson NE
Albuquerque, NM 87109



Scale 1" = 60'



DETACHED AND USEABLE OPEN SPACE REQUIREMENTS*

OPEN SPACE REQUIREMENTS					
	SF Required Per D/U	# of DUS	Total Required	Total AC. Provided	Additional AC. Required*
Open Space	2400	457	25.18 AC.	7.99 AC.	15.77 AC.

MINIMUM USEABLE OPEN SPACE REQUIRED & PROVIDED				
	SF Required Per D/U	# of DUS	SF Required By Unit Type	Total SF Provided
2 Bedroom	250	70	17,500	
3 Bedroom	300	387	116,100	
Total		457	133,600 (3.1 AC.)	347,896 (7.99 AC.)

*Additional Open Space requirement shall be met pursuant to Section 14-16-3-8: Detached Open Space Regulations.

PROJECT NUMBER: 1002819

Application Number:

Is an Infrastructure List required? (X) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department-(conditional)	Date
Michael Huston (angle adjustments required)	3/20/07
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

AJD PLAND CHECKING OFFICE
924-5511
APPROVED
REPLANT(C) ONLY
R.C. Sanchez 3/20/07
DATE & DATE

TRACT 34D-1
SU-1 MIXED USE

98TH STREET (156' R-O-W)

TRACT 11-A
R-12

TRACT 9-B-1
R-LT

PLANT LEGEND

Symbol	Scientific Name Common Name	Size	Mature Size	Water Use
TREES				
	<i>Cercis reniformis</i> Redbud	2' B&B	25' ht. x 25' spr.	Medium
	<i>Chitalpa tashkentensis</i> Chitalpa	24" Box	30' ht. x 30' spr.	Medium
	<i>Fraxinus oxycarpa</i> Raywood Raywood Ash	2' B&B	35' ht. x 30' spr.	Medium +
	<i>Fraxinus velutina</i> 'Modesto' Modesto Ash	2' B&B	40' ht. x 35' spr.	Medium +
	<i>Zelkova 'Musashino'</i> Musashino Columnar Zelkova	2' B&B	40' ht. x 15' spr.	Medium +
	<i>Platanus acerifolia</i> London Plane Tree	2' B&B	60' ht. x 40' spr.	High
	<i>Pinus nigra</i> Austrian Pine	6' B&B	35' ht. x 25' spr.	Medium
	<i>Pyrus calleryana</i> Cleveland Flowering Pear	2' B&B	30' ht. x 25' spr.	Medium +
	<i>Tilia cordata</i> Little-leaf Linden	2' B&B	40' ht. x 30' spr.	Medium +
	<i>Gleditsia triacanthos</i> 'Sunburst' Sunburst Honey Locust	2' B&B	40' ht. x 30' spr.	Medium +
	<i>Aesculus hippocastanum</i> Horsechestnut	2' B&B	40' ht. x 30' spr.	Medium +
SHRUBS, GROUNDCOVERS, & ORNAMENTAL GRASSES				
	<i>Artemisia 'Powis Castle'</i> Powis Castle Sage	1 Gallon	4' o.c. 3' ht. x 3' spr.	Low +
	<i>Caryopteris clandonensis</i> Blue Mist	5 Gallon	4' o.c. 3' ht. x 3' spr.	Medium
	<i>Chysothamnus nauseosus</i> Chamisa	1 Gallon	6' o.c. 5' ht. x 5' spr.	Low
	<i>Cotoneaster apiculatus</i> Cranberry Cotoneaster	5 Gallon	5' o.c. 3' ht. x 4' spr.	Medium
	<i>Cytisus scoparius</i> x 'Lena' Lena's Broom	1 Gallon	3' o.c. 4' ht. x 4' spr.	Medium
	<i>Fallugia paradoxa</i> Apache Plume	1 Gallon	6' o.c. 5' ht. x 6' spr.	Low
	<i>Hesperaloe parviflora</i> Red Yucca	5 Gallon	4' o.c. 3' ht. x 3' spr.	Medium
	<i>Juniperus sabinna</i> 'Buffalo' Buffalo Juniper	5 Gallon	6' o.c. 2' ht. x 6' spr.	Low +
	<i>Muhlenbergia capillaris</i> Regal Mist Muhly Grass	5 Gallon	4' o.c. 3' ht. x 3' spr.	Medium
	<i>Nasella tenuissima</i> Threadgrass	1 Gallon	3' o.c. 3' ht. x 3' spr.	Low +
	<i>Nolina texana</i> Beargrass	1 Gallon	5' o.c. 3' ht. x 3' spr.	Low +
	<i>Perovskia atriplicifolia</i> Russian Sage	1 Gallon	6' o.c. 4' ht. x 4' spr.	Medium
	<i>Potentilla fruticosa</i> Yellow Shrubby Cinquefoil	1 Gallon	4' o.c. 3' ht. x 3' spr.	Low +
	<i>Rhus trilobata</i> Three-leaf Sumac	5 Gallon	5' o.c. 4' ht. x 4' spr.	Low +
	<i>Rosmarinus officinalis</i> Rosemary	5 Gallon	4' o.c. 3' ht. x 3' spr.	Low +
	<i>Salvia greggii</i> Cherry Sage	5 Gallon	4' o.c. 3' ht. x 3' spr.	Medium
	Turfgrass Seed - Kentucky Bluegrass/Fescue/Pye Mix			
	Moss Rock Boulders, 3' X 3' (min.)			

LANDSCAPE CALCULATIONS

Site Area: (26.5 Ac.)	1,154,340 S.F.
Building Area:	-462,056 S.F.
Total	692,284 S.F.
Require Landscape: (15%)	103,843 S.F.
Provided Landscape: (33%)	229,705 S.F.
Turf Area Allowed: (20%)	45,941 S.F.
Turf Area Provided: (19%)	43,844 S.F.

LANDSCAPE DESIGN
Due to the scale of this plan, specific shrub species are not identified by symbol. Please see the enlarged typical area plans on the following sheet. These enlargements illustrate the design intent and intensity of plant materials. The actual provided quantity will be sufficient to meet the design intent and landscape coverage requirements of the City Zoning Code.

MULCHES
All shrub planting areas shall be top dressed with 7/8" Santa Fe Brown Rock Mulch 2" - 4" Santa Ana Tan Cobble will be used as an accent mulch in certain areas.

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate turf areas and tree, shrub and groundcover planting areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Homeowner's Association.

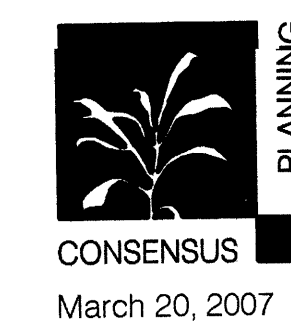
STATEMENT OF WATER WASTE
The Landscape Plan for Diamond Mesa shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

LANDSCAPE PLAN
DIAMOND MESA

Prepared for:
Diamond Mesa, LLC
7007 Jefferson St. NE
Suite A
Albuquerque, NM 87109

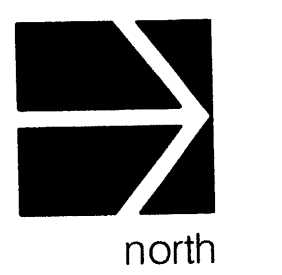
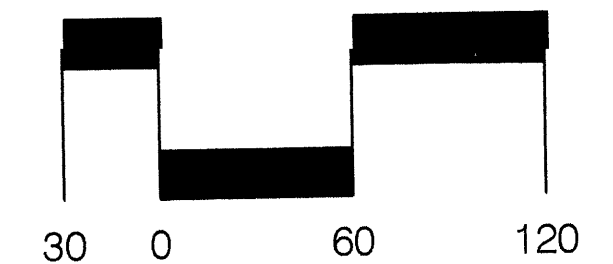
Prepared by:
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Albuquerque, NM 87102

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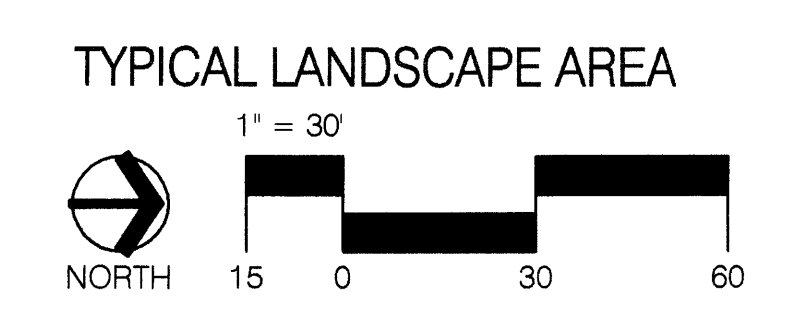
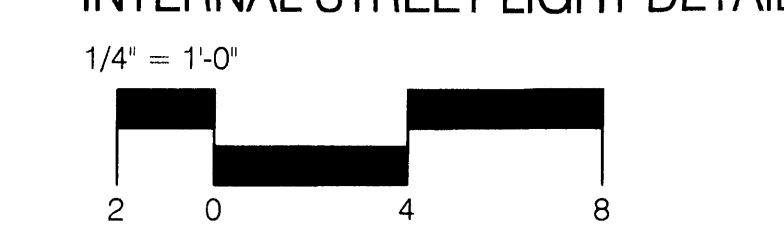
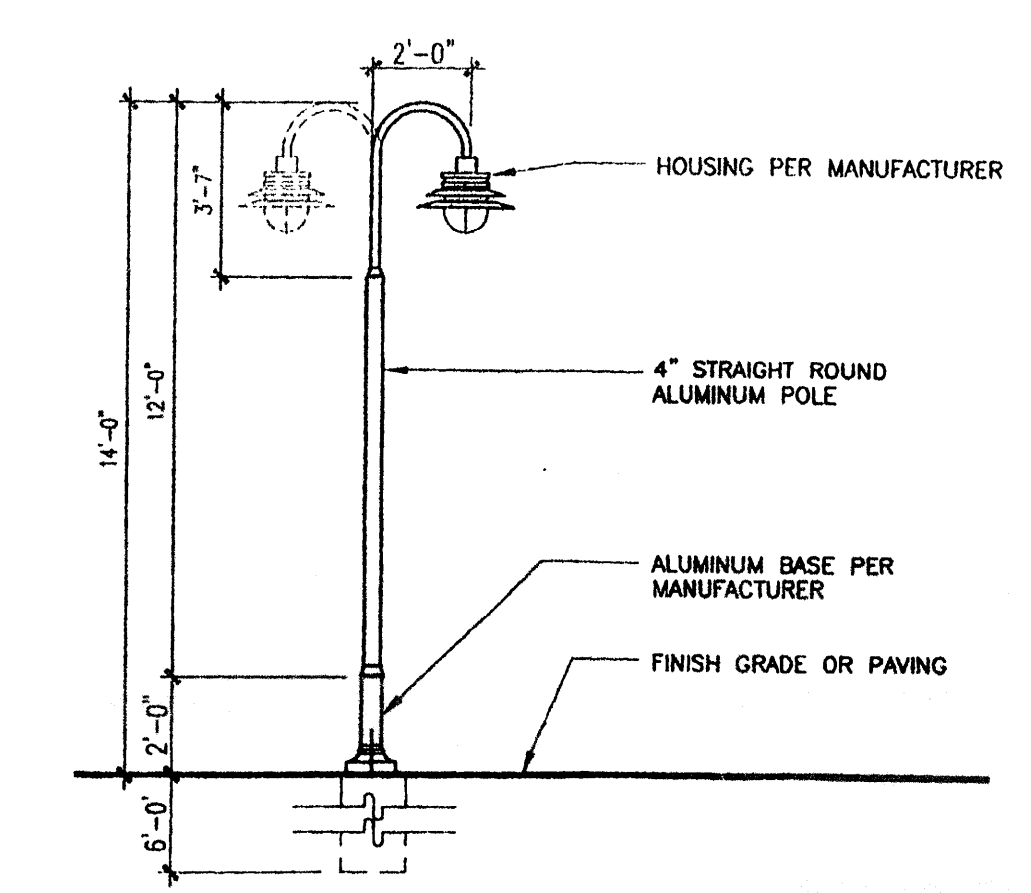
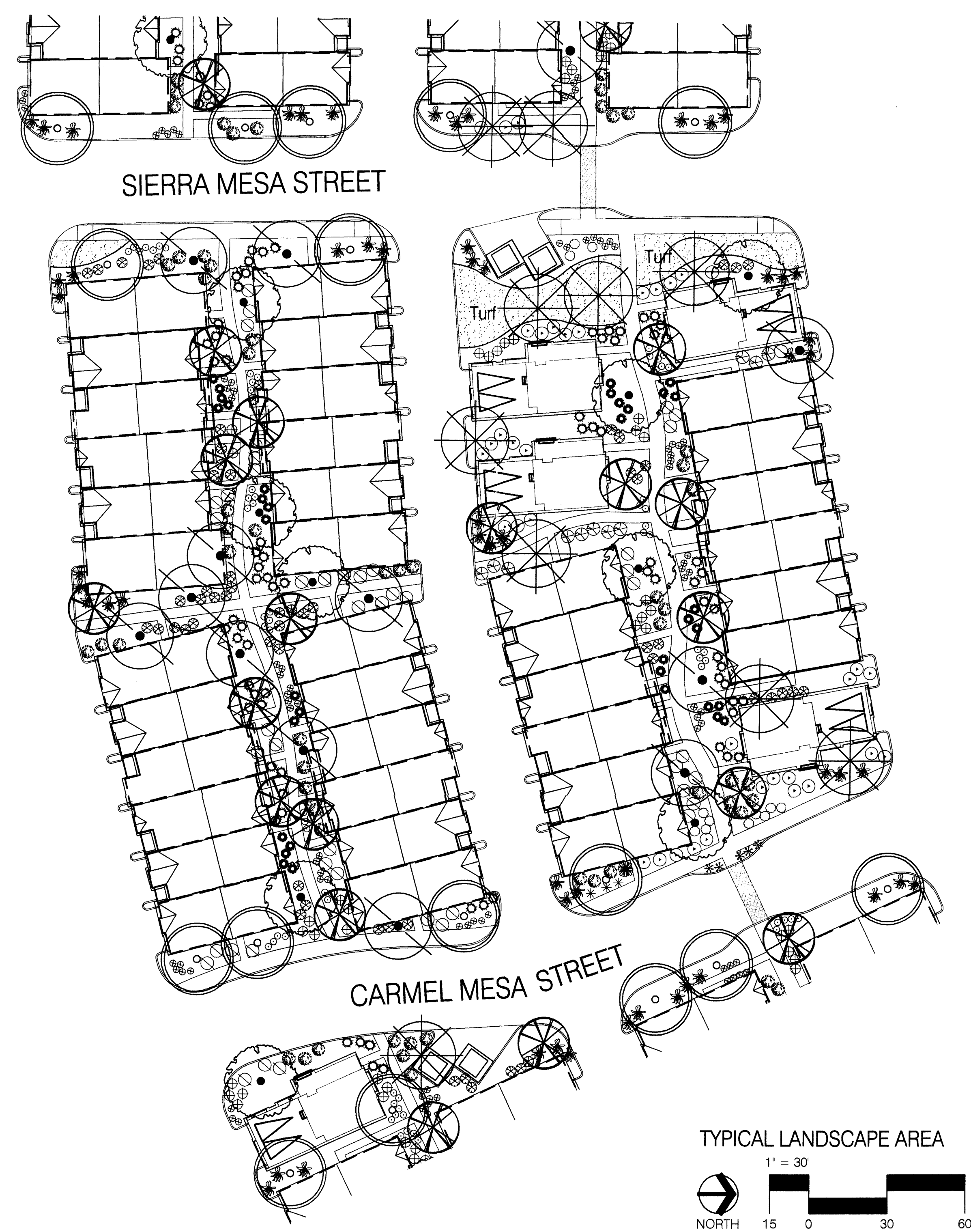
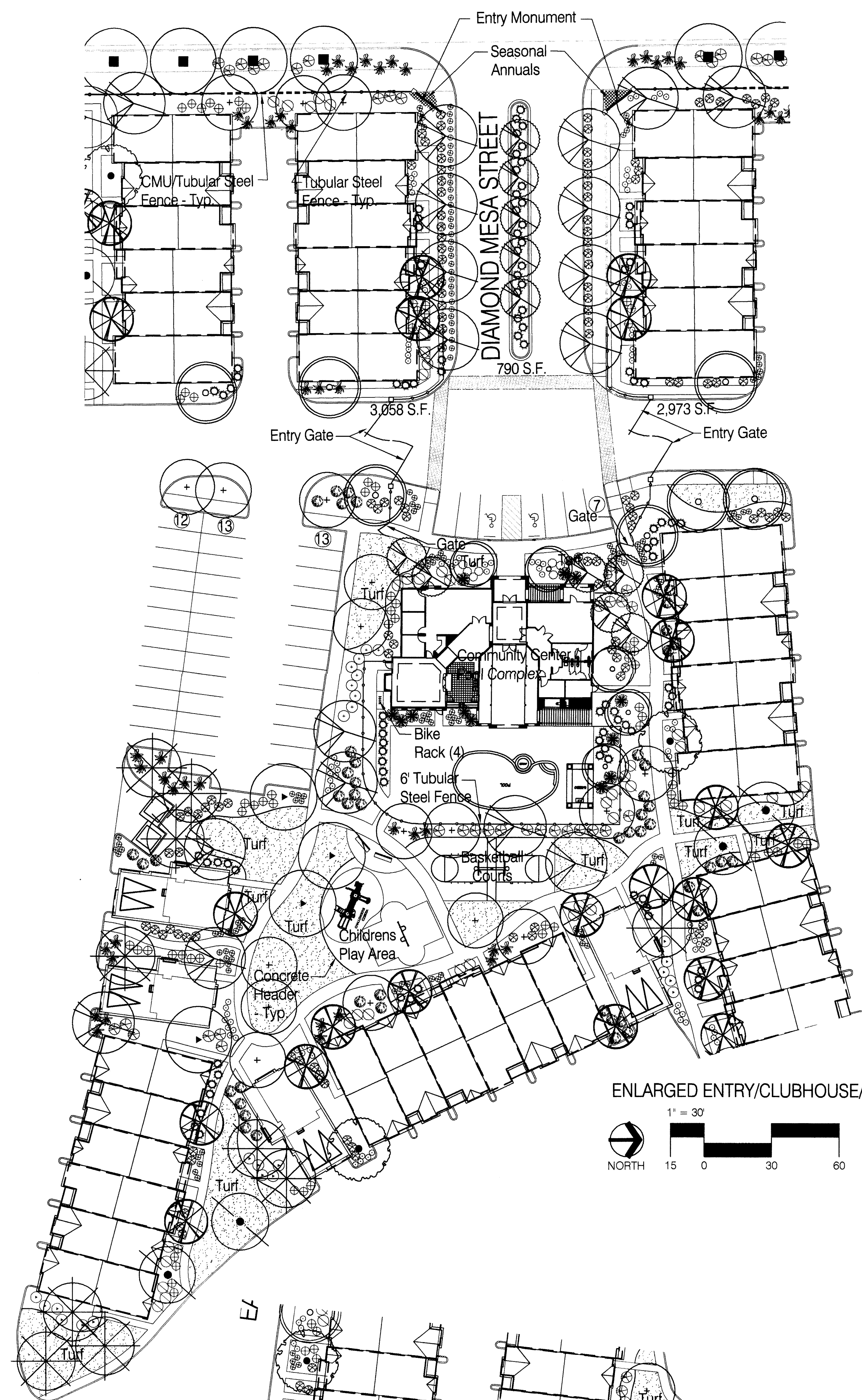


CONSENSUS
PLANNING
March 20, 2007

Scale 1" = 60'

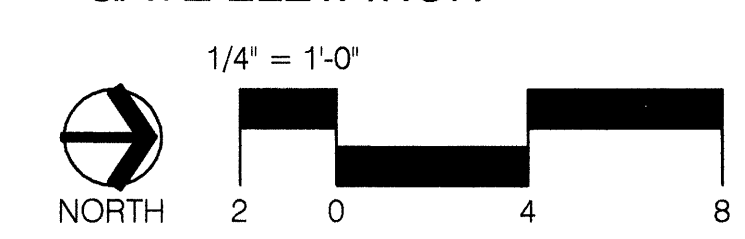
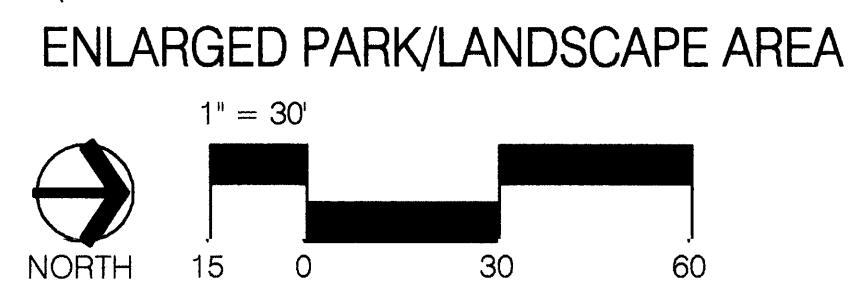
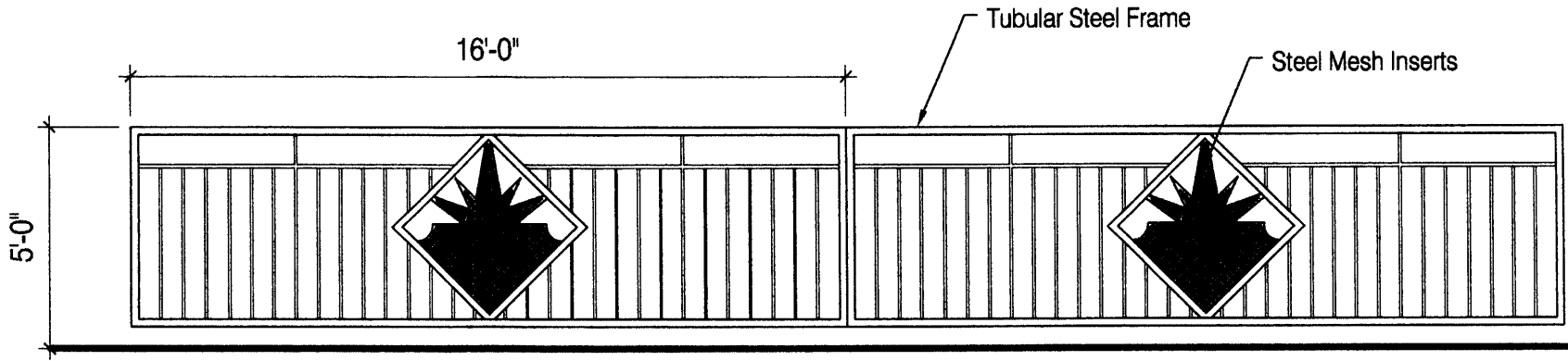
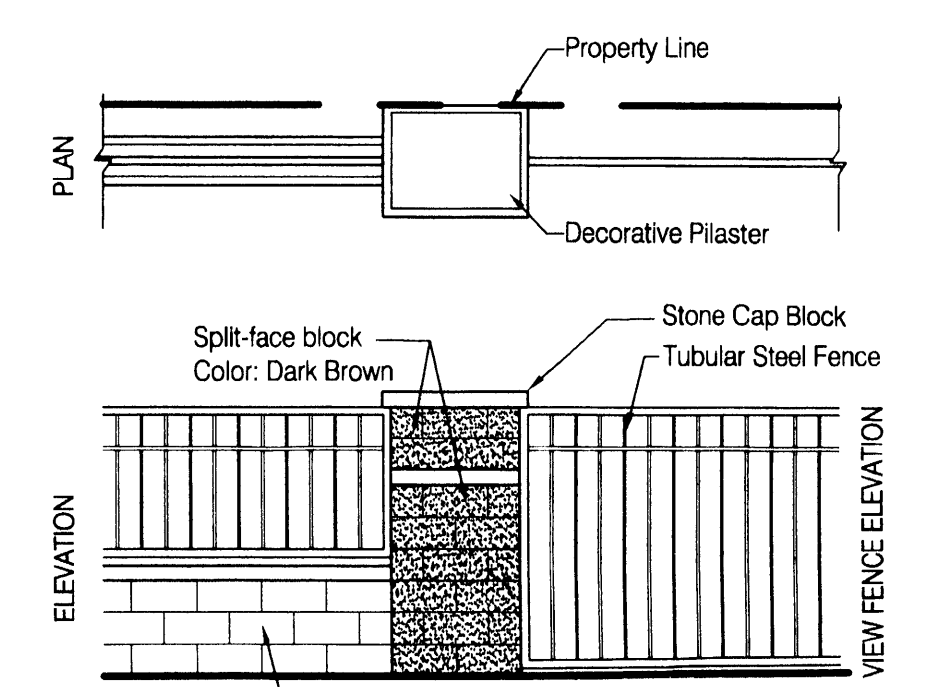
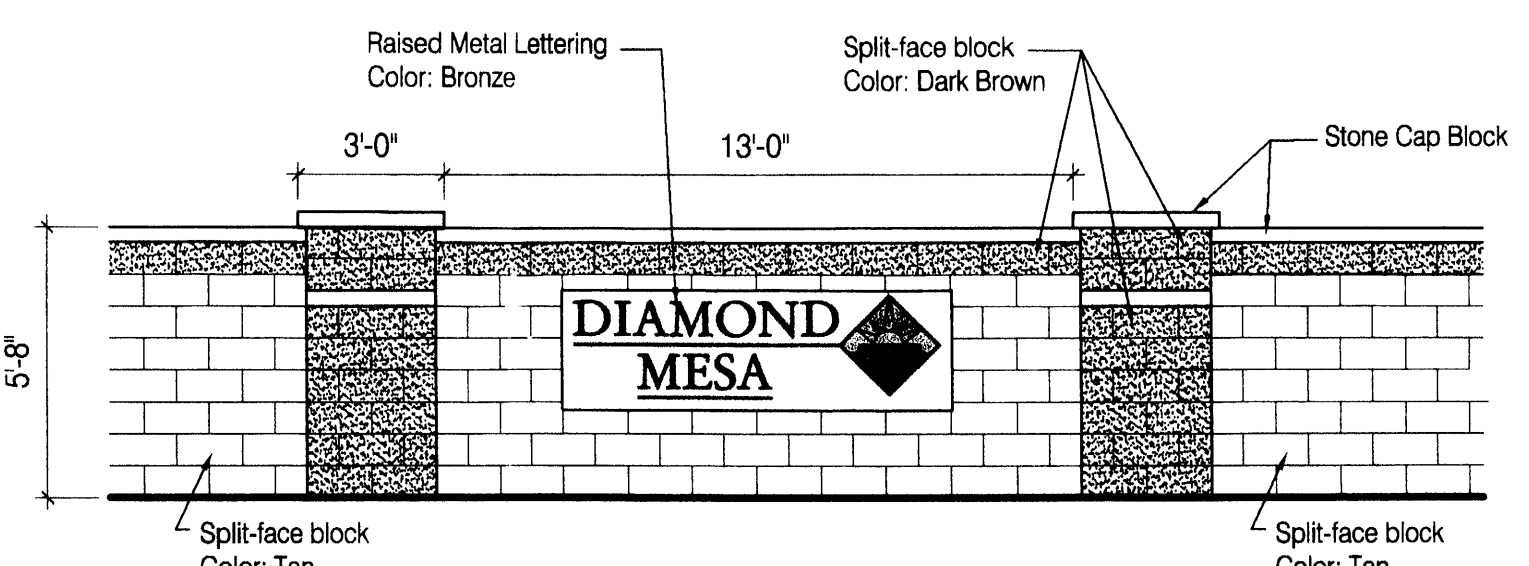


north



PLANT LEGEND

Symbol	Scientific Name Common Name	Size	Mature Size	Water Use
TREES				
⊗	<i>Cercis reniformis</i> Redbud	2' B&B	25' ht. x 25' spr.	Medium
⊗	<i>Chitalpa tashkentensis</i> Chitalpa	24" Box	30' ht. x 30' spr.	Medium
⊗	<i>Fraxinus oycarpa</i> Raywood Raywood Ash	2' B&B	35' ht. x 30' spr.	Medium +
⊗	<i>Fraxinus velutina</i> 'Modesto' Modesto Ash	2' B&B	40' ht. x 35' spr.	Medium +
⊗	<i>Zelkova 'Musashino'</i> Musashino Columnar Zelkova	2' B&B	40' ht. x 15' spr.	Medium +
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⊗	<i>Pyrus calleryana</i> 'Cleveland' Flowering Pear	2' B&B	30' ht. x 25' spr.	Medium +
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⊗	<i>Caryopteris clandonensis</i> Blue Mist	5 Gallon	4' o.c. 3' ht. x 3' spr.	Medium
⊗	<i>Chrysothamnus nauseosus</i> Chamisa	1 Gallon	6' o.c. 5' ht. x 5' spr.	Low
⊗	<i>Cotoneaster apiculatus</i> Cranberry Cotoneaster	5 Gallon	5' o.c. 3' ht. x 4' spr.	Medium
⊗	<i>Ericameria laricifolia</i> Dwarf Turpentine Bush	1 Gallon	3' o.c. 3' ht. x 4' spr.	Medium +
⊗	<i>Fallugia paradoxa</i> Apache Plume	1 Gallon	6' o.c. 5' ht. x 6' spr.	Low
⊗	<i>Hesperaloe parviflora</i> Red Yucca	5 Gallon	4' o.c. 3' ht. x 3' spr.	Medium
⊗	<i>Juniperus sabina</i> 'Buffalo' Buffalo Juniper	5 Gallon	6' o.c. 2' ht. x 6' spr.	Low +
⊗	<i>Muhlenbergia capillaris</i> 'Regal Mist' Muhly Grass	5 Gallon	4' o.c. 3' ht. x 3' spr.	Medium
⊗	<i>Nasella tenuissima</i> Threadgrass	1 Gallon	3' o.c. 3' ht. x 3' spr.	Low +
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⊗	<i>Potentilla fruticosa</i> Yellow Shrubby Cinquefoil	1 Gallon	4' o.c. 3' ht. x 3' spr.	Low +
⊗	<i>Rhus trilobata</i> Three-leaf Sumac	5 Gallon	5' o.c. 4' ht. x 4' spr.	Low +
⊗	<i>Rosmarinus officinalis</i> Rosemary	5 Gallon	4' o.c. 3' ht. x 3' spr.	Low +
⊗	<i>Salvia greggii</i> Cherry Sage	5 Gallon	4' o.c. 3' ht. x 3' spr.	Medium
⊗	Turfgrass Seed - Park Blend			
⊗	Moss Rock Boulders, 3' X 3' (min)			



**TYPICAL LANDSCAPE ENLARGEMENTS
DIAMOND MESA**

Prepared for:
Diamond Mesa, LLC
7007 Jefferson St. NE
Suite A
Albuquerque, NM 87109

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Bohannon Huston
7500 Jefferson NE
Albuquerque, NM 87109



March 20, 2007



DRAINAGE CONCEPT:

The proposed Diamond Mesa development is located on Albuquerque's Southwest Mesa and is bounded by Blake Road on the south, 98th Street on the west, Gibson Boulevard on the North, and the Amole Arroyo on the east. The project site generally slopes from northwest to southeast. The slopes on the site vary between 3% and 5%. The area soils have an SCS soils classification of BCC (Bluepoint Loamy Fine Sand). There is an existing arroyo crossing the site, which is no longer active due to the channelization and realignment of the Amole Arroyo into the Snow Vista channel north of Gibson Boulevard. The arroyo will be filled during grading of the site.

The site grading and drainage plan includes paved, inverted crown street and alley sections for use in conveying storm water runoff. The private, interior streets and alleys will drain generally from north to south and from west to east. The grading plan provides proposed spot elevations at select street and alley centerline locations. Required retaining walls are shown on the plan. Since the site is bounded by existing roads on three sides and the Amole Arroyo on the fourth, there will not be any retaining walls abutting other private properties. The detailed site grading plan will identify the final location and height of the retaining walls.

Based on a review of the existing Drainage Master Plan and discussions with COA Hydrology, the site has free discharge of developed flows to the Amole Arroyo. The total flow developed from the site is 103 cfs. Approximately 10 cfs will discharge into Blake Road from the neighboring alleys through sidewalk culverts. This flow will be intercepted by existing inlets along Blake Road. A flow of approximately 93 cfs will discharge into the AMAFCA water quality pond located at the southeast corner of the site. The pond was designed to receive fully developed flows from the Diamond Mesa site, as well as having an existing discharge into the Amole Arroyo of 96 cfs. Developed runoff from Diamond Mesa will be conveyed by the internal private street system where intermediate inlets will be placed at locations where the flow exceeds the street capacity. The remaining flow in the streets will concentrate to a low point located in the southeast corner of the site. A sump inlet will collect this flow and discharge it into the water quality pond. The flow will exit the pond and will discharge into the Amole Arroyo by means of an existing 48" storm drain pipe.

LEGEND

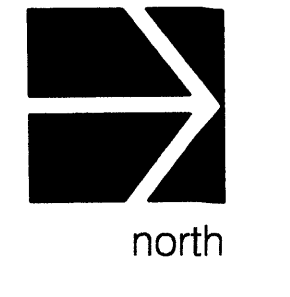
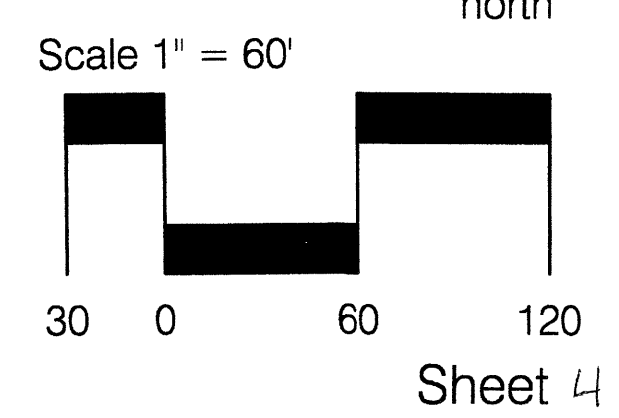
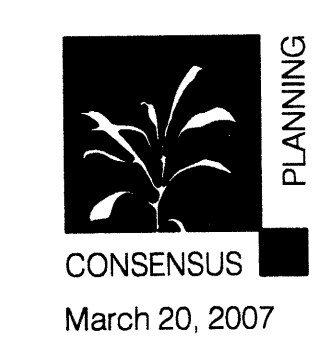
• 91.62	PROPOSED SPOT ELEVATION
× 92.46	EXISTING SPOT ELEVATION (GRND & TC)
---	EXISTING CURB & GUTTER
---	EXISTING CONTOUR W/ INDEX ELEVATION
→	FLOW ARROW
—	PROPOSED RETAINING WALL
—	PROPOSED STORM DRAIN
○	PROPOSED STORM DRAIN MANHOLE
⊖	PROPOSED STORM DRAIN INLET
F.F. = 5154.1	FINISHED FLOOR ELEVATION

SITE GRADING AND DRAINAGE PLAN
FOR BUILDING PERMIT
DIAMOND MESA

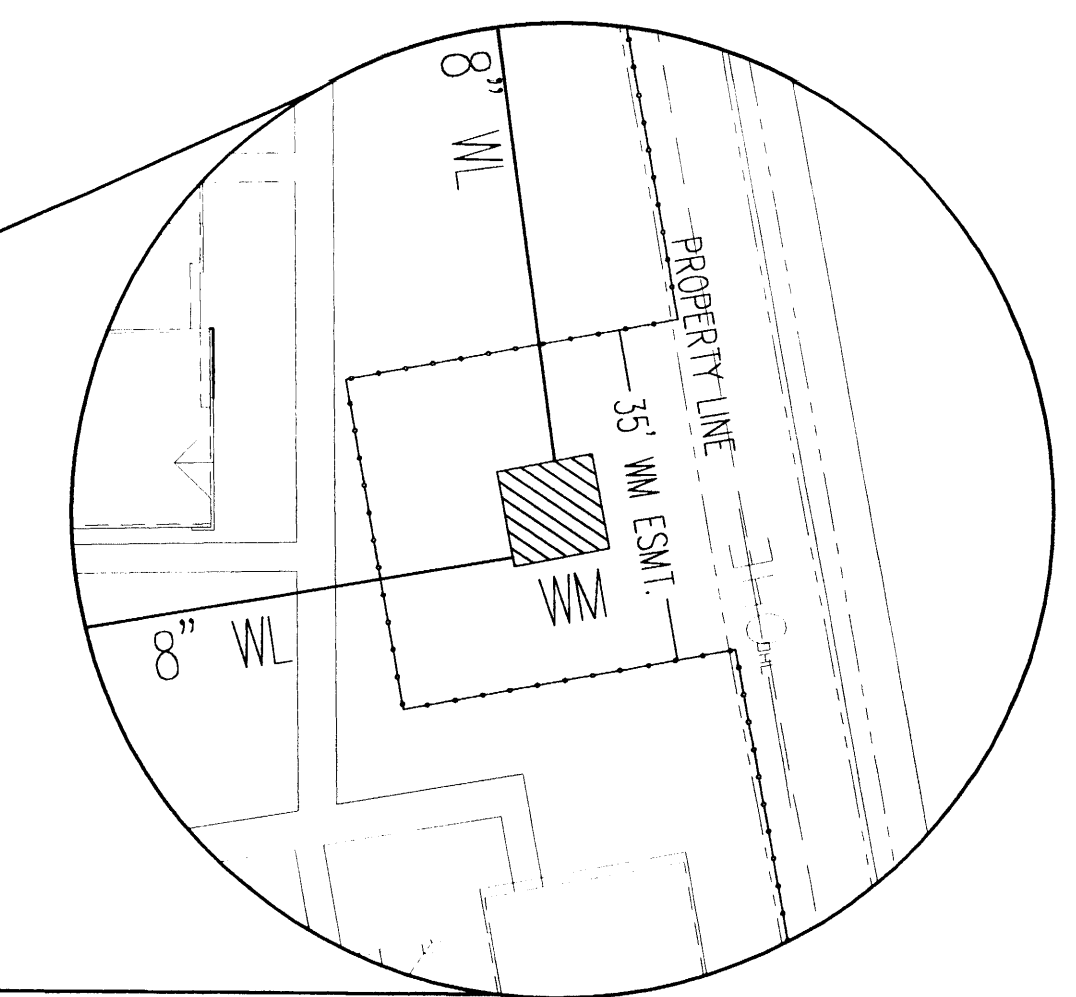
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Albuquerque, NM 87109



SU-1 MIXED USE



ENLARGED WATER METER VAULT
EASEMENT DETAIL
1" = 20'

UTILITY CONCEPT:

The proposed development of the site are condominiums and single-family detached homes. The intent of the project is to provide private water and sanitary sewer systems within the site.

Sanitary Sewer System:

The sanitary sewer system is proposed to be an 8" diameter pvc pipe for the main located in the major internal roads as shown. There is adequate slope on the site to provide for capacities in the 8" system to serve the site. Buildings on the site will consist of multiple units to be serviced by the main line. The system will outfall at the southeast corner of the site to an existing 8" sas stubout that was installed with the recently constructed 24" SW Mesa Interceptor.

Water System:

The water system is proposed to be an 8" internal private system. The connection for service will be at the northwest corner of the site at 98th Street and Gibson Blvd. There is an existing 12" water line in 98th Street. The connection for the proposed development will be an 8" line that will connect to a proposed water meter vault located at the northwest corner of the site. A 35' x 35' easement will be provided at the location of the vault for maintenance by the City of Albuquerque. The development will be master metered by the vault. An 8" looped water system will connect from the vault to serve the development. It is anticipated that the service lines to individual units will be 3/4" lines.

Fire Department Access:

Developer agrees to provide a "Knox" entry system on all electronic gates for fire department access into the development.

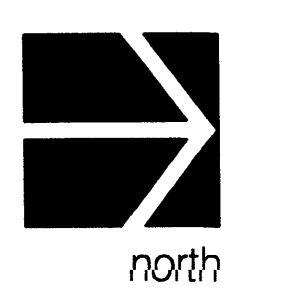
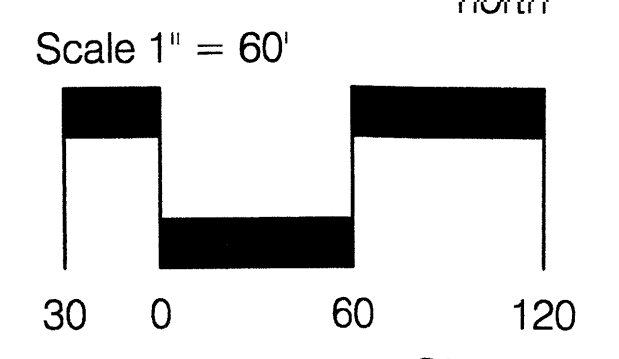
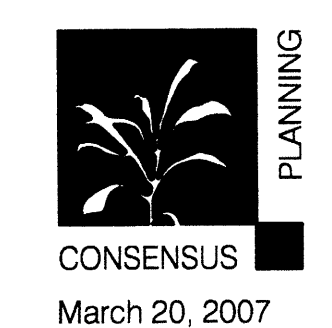
LEGEND	
—	PROPERTY LINE
—	NEW EASEMENT
—	EXISTING SANITARY SEWER
—	EXISTING WATER LINE
—	EXISTING STORM DRAIN
⊞	EXISTING WATER METER
⊞	EXISTING CAP
⊞	EXISTING VALVE
⊞	EXISTING FIRE HYDRANT
⊞	EXISTING SANITARY SEWER MANHOLE
⊞	EXISTING STORM DRAIN
—	PROPOSED SANITARY SEWER
—	PROPOSED WATER LINE
⊞	PROPOSED VALVE
⊞	PROPOSED HYDRANT
⊞	PROPOSED CAP
⊞	PROPOSED WATER METER
⊞	PROPOSED SANITARY SEWER MANHOLE
⊞	PROPOSED STORM DRAIN
⊞	PROPOSED STREET LIGHT

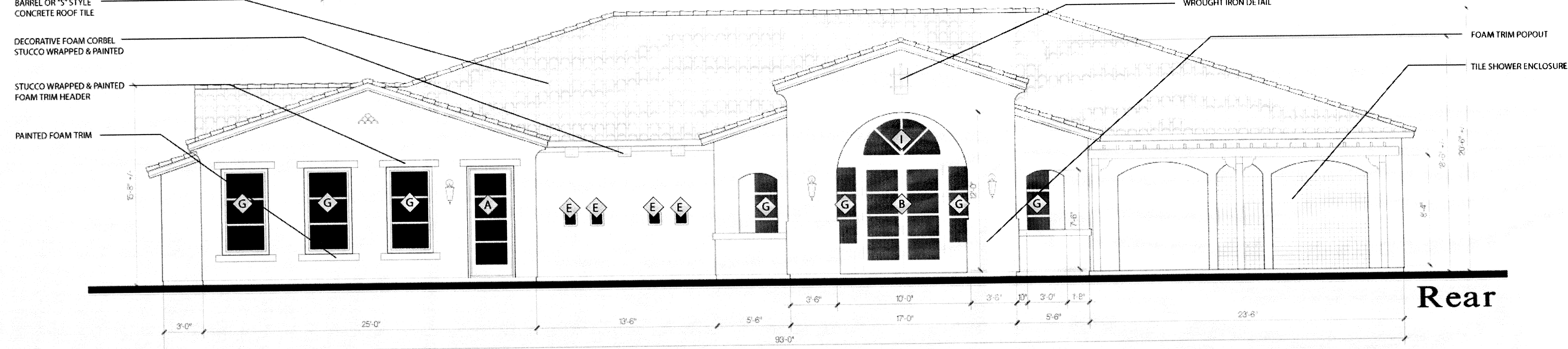
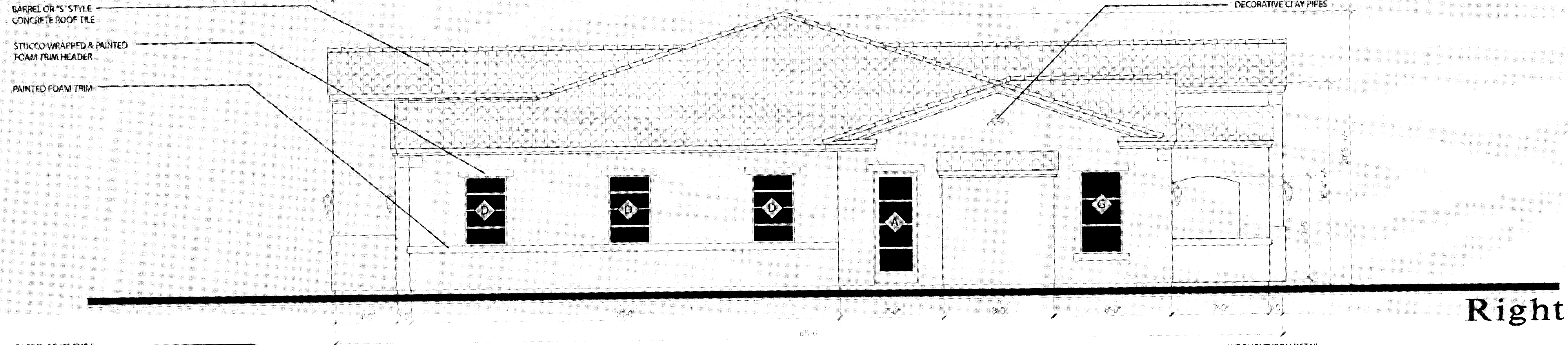
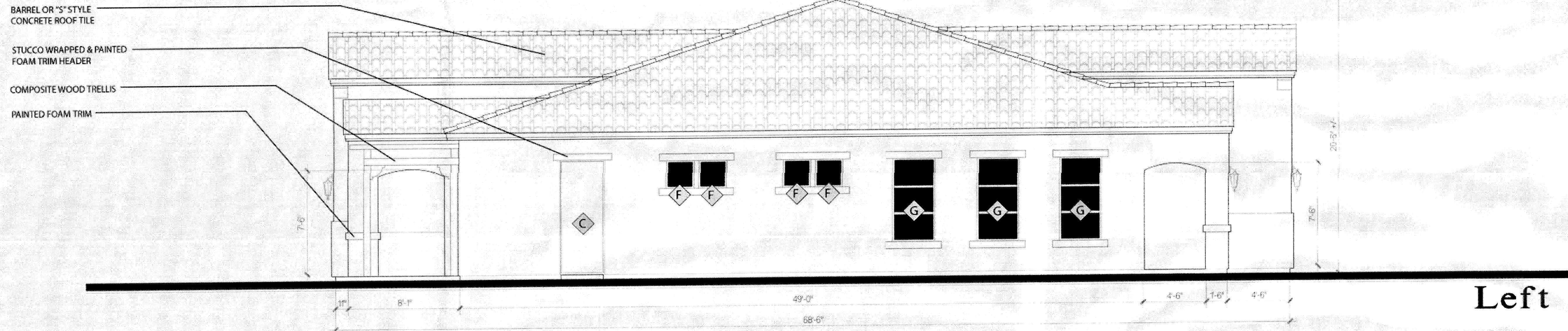
SITE UTILITY PLAN FOR BUILDING PERMIT DIAMOND MESA

Prepared for:
Diamond Mesa, LLC
7007 Jefferson St. NE
Suite A
Albuquerque, NM 87109

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
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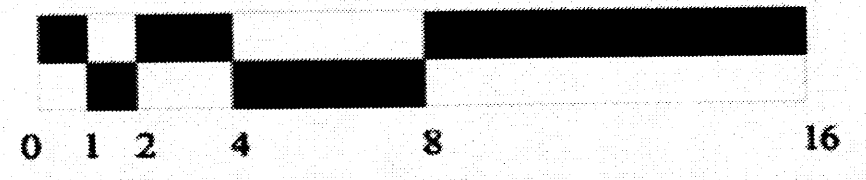




CLUBHOUSE	
SCHEME #A	
BODY:	DESERT SUEDE DE6206
TRIM:	CALICO ROCK DE6229
FASCIA:	COBBLESTONE PATH DE6068
FRONT DOOR/SHUTTERS:	PINE CONE DE6048
GARAGE DOOR:	COBBLESTONE PATH DE6068
ROOF:	SANTA PAULA 3549

DOOR & WINDOW SCHEDULE	
A	3080 FRENCH DOOR
B	PAIR 3080 FRENCH DOOR
C	3080 VENTED STEEL DOOR
D	3050 SINGLE HUNG WINDOW
E	1010 FIXED GLASS WINDOW
F	2020 FIXED GLASS WINDOW
G	3060 FIXED GLASS WINDOW
H	4060 FIXED GLASS WINDOW
I	ARCH TRANSOM

Scale: 1/4"=1'-0"



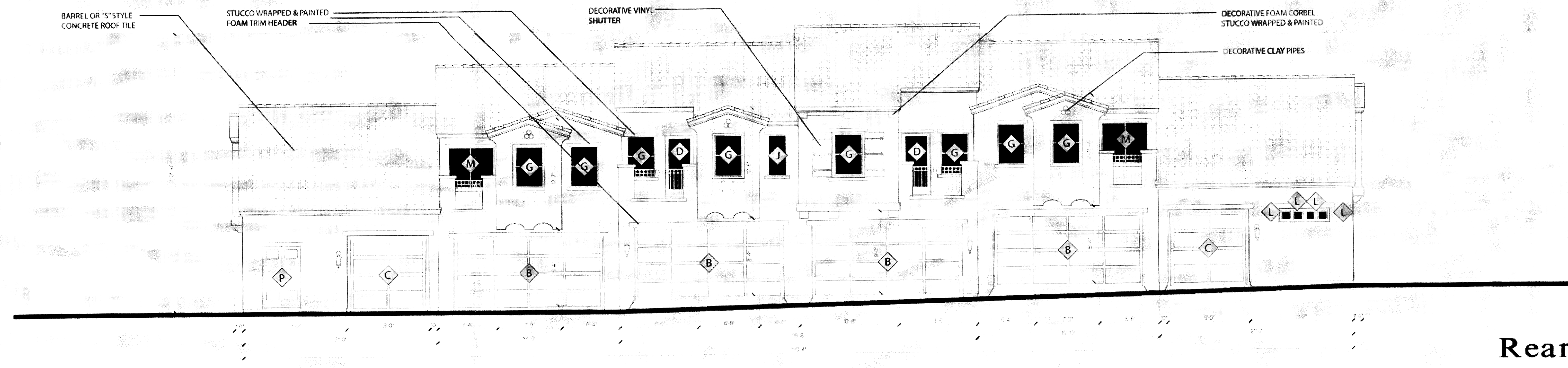
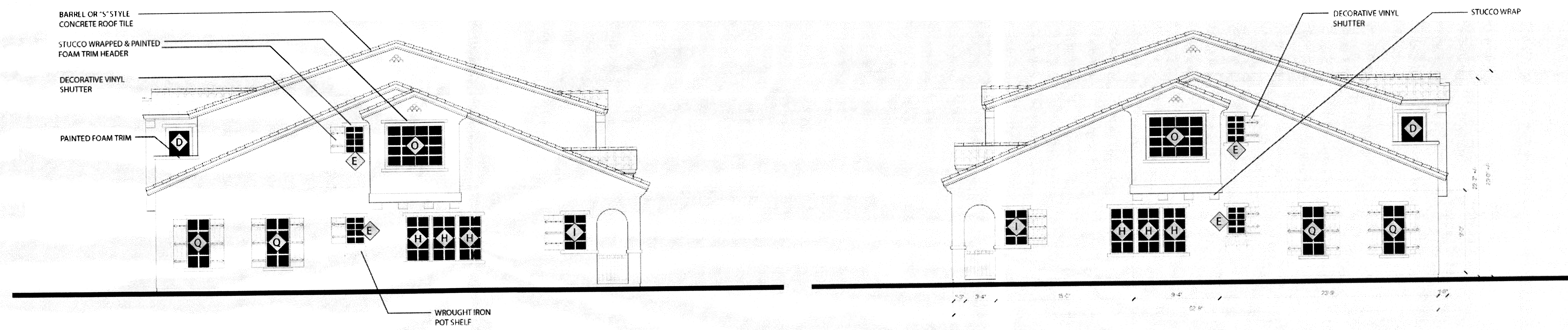
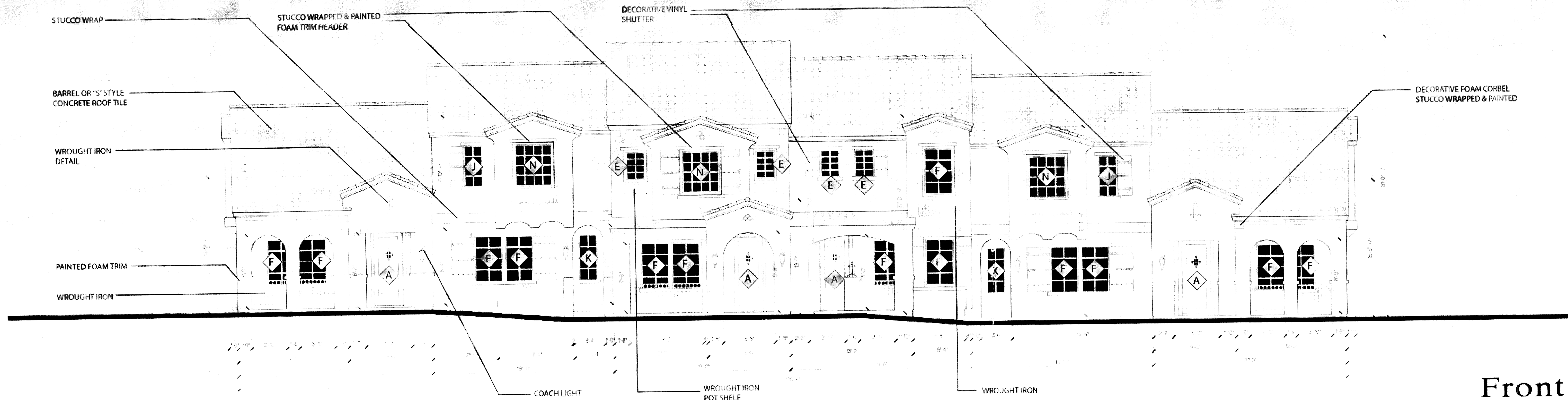
Clubhouse Elevations
 Diamond Mesa
 Albuquerque, NM

Longford Homes

KTGY Job No: 2006-1122

KTGY GROUP, INC.
 ARCHITECTURE PLANNING
 17992 MITCHELL SOUTH
 IRVINE, CALIFORNIA 92614
 (949) 851-2155 FAX (949) 851-0156
 © 1999 ALL RIGHTS RESERVED

03/16/2007
 Sheet 6 of 10



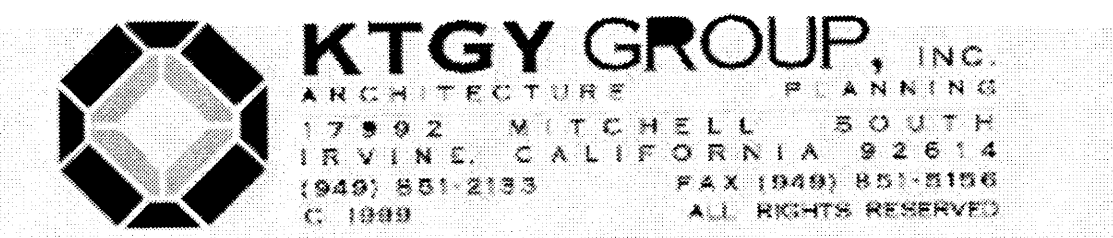
BUILDING A	
UNIT #1	
BODY:	ENGLISH SCONE DE6108
TRIM/FASCIA:	DESERT SUEDE DE6206
DOORS/SHUTTERS:	RED HOOK DE6091
GARAGE DOOR:	DESERT SUEDE DE6206
UNIT #2	
BODY:	FINEST SILK DE6127
TRIM/FASCIA:	HICKORY DE6127
DOORS/SHUTTERS:	CHOCOLATE CHUNK DE6070
GARAGE DOOR:	HICKORY DE6127
UNIT #3	
BODY:	BISON BEIGE DEC750
TRIM/FASCIA:	DRY DUNE DE6114
DOORS/SHUTTERS:	DARK RUBY DE6028
GARAGE DOOR:	DRY DUNE DE6114
UNIT #4	
BODY:	HOMESTEAD DE6096
TRIM/FASCIA:	DOVER PLAINS DE6116
DOORS/SHUTTERS:	WOODEN PEG DE6125
GARAGE DOOR:	DOVER PLAINS DE6116
UNIT #5	
BODY:	WANDERING ROAD DE6076
TRIM/FASCIA:	RIVERVED DEC767
DOORS/SHUTTERS:	SIAMESE KITTEN DE6121
GARAGE DOOR:	RIVERBED DEC767
UNIT #6	
BODY:	WAX WING DEW329
TRIM/FASCIA:	CHOCOLATE CHUNK DE6070
DOORS/SHUTTERS:	ITALIAN BASIL DE6287
GARAGE DOOR:	CHOCOLATE CHUNK DE6070
ROOF OPT. #1:	SANTA PAULA 3549
ROOF OPT. #2:	SANDSTONE FLASHED 3553

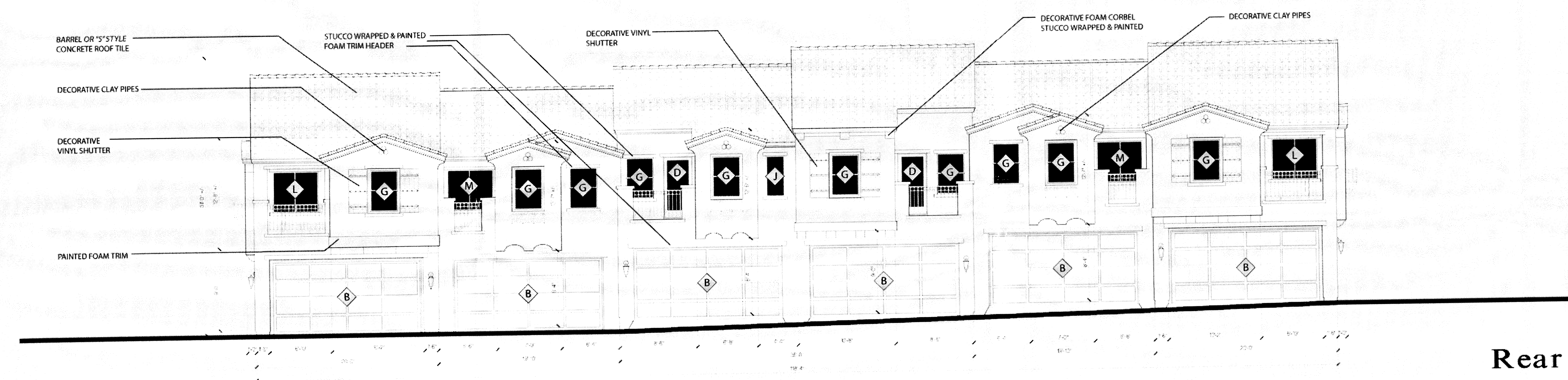
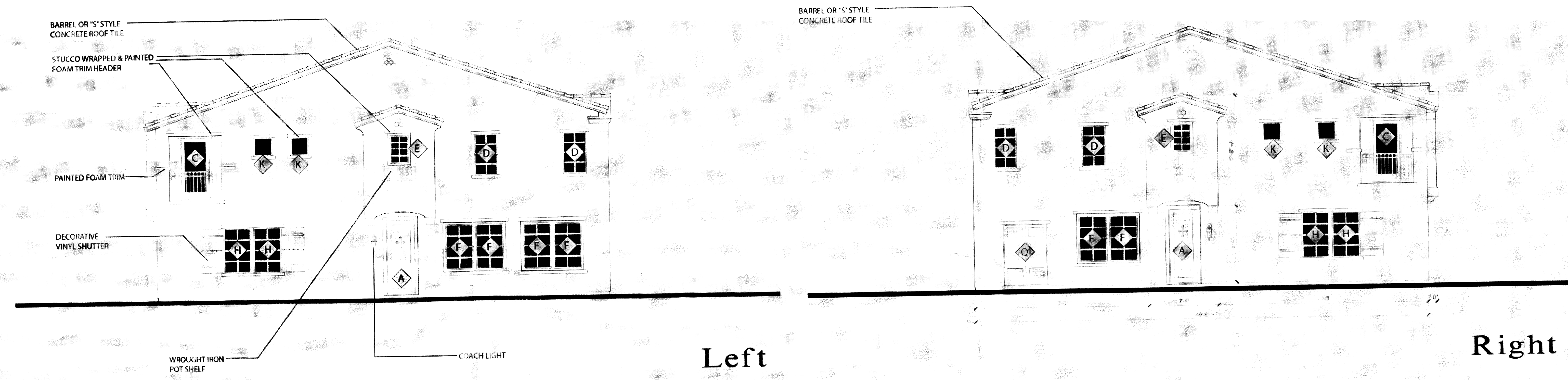
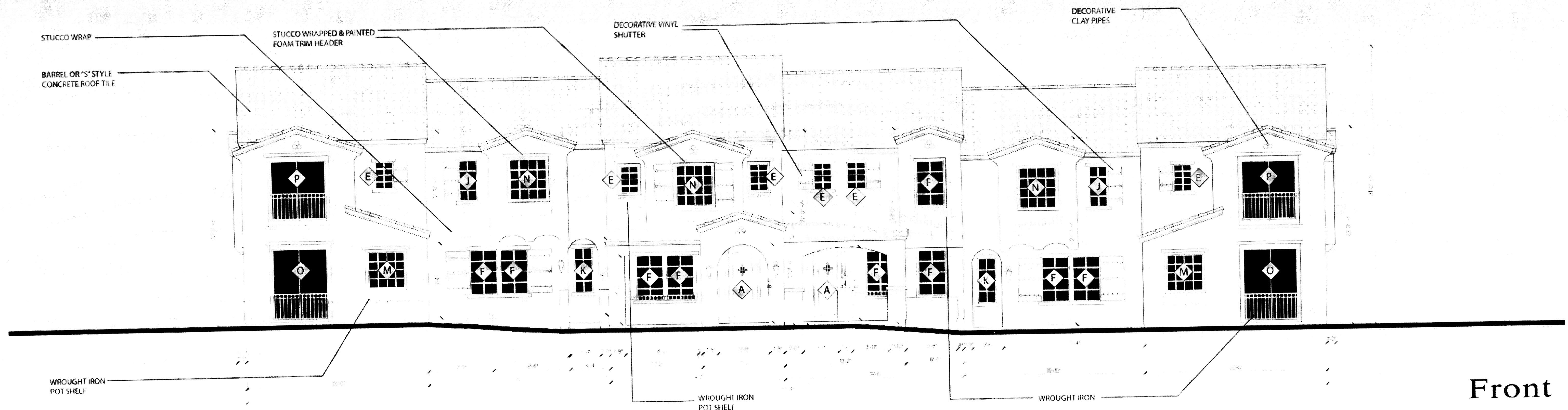
DOOR & WINDOW SCHEDULE	
A	3080 SOLID WOOD DOOR
B	16080 GARAGE DOOR
C	8080 GARAGE DOOR
D	3068 FRENCH DOOR
E	2030 SINGLE HUNG WINDOW
F	3050 SINGLE HUNG WINDOW
G	3046 SINGLE HUNG WINDOW
H	2650 SINGLE HUNG WINDOW
I	2640 SINGLE HUNG WINDOW
J	2046 FIXED GLASS WINDOW
K	2050 FIXED GLASS WINDOW
L	1010 FIXED GLASS WINDOW
M	5046 SLIDER WINDOW
N	4046 SLIDER WINDOW
O	6046 SLIDER WINDOW
P	2X2468 VENTED DOORS
Q	2656 SINGLE HUNG WINDOW

Scale: 3/16"=1'-0"

Longford Homes

Six-Plex Building A Elevations
Diamond Mesa
Albuquerque, NM

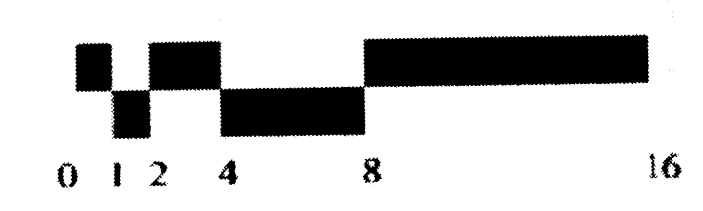




BUILDING B	
UNIT #1	
BODY:	ENGLISH SCONE DE6108
TRIM/FASCIA:	DESERT SUEDE DE6206
DOORS/SHUTTERS:	RED HOOK DE6091
GARAGE DOOR:	DESERT SUEDE DE6206
UNIT #2	
BODY:	FINEST SILK DE6127
TRIM/FASCIA:	HICKORY DE6127
DOORS/SHUTTERS:	CHOCOLATE CHUNK DE6070
GARAGE DOOR:	HICKORY DE6127
UNIT #3	
BODY:	BISON BEIGE DEC750
TRIM/FASCIA:	DRY DUNE DE6114
DOORS/SHUTTERS:	DARK RUBY DE6028
GARAGE DOOR:	DRY DUNE DE6114
UNIT #4	
BODY:	HOMESTEAD DE6096
TRIM/FASCIA:	DOVER PLAINS DE6116
DOORS/SHUTTERS:	WOODEN PEG DE6125
GARAGE DOOR:	DOVER PLAINS DE6116
UNIT #5	
BODY:	WANDERING ROAD DE6076
TRIM/FASCIA:	RIVERBED DEC767
DOORS/SHUTTERS:	SIAMESE KITTEN DE6121
GARAGE DOOR:	RIVERBED DEC767
UNIT #6	
BODY:	WAX WING DEW329
TRIM/FASCIA:	CHOCOLATE CHUNK DE6070
DOORS/SHUTTERS:	ITALIAN BASIL DE6287
GARAGE DOOR:	CHOCOLATE CHUNK DE6070
ROOF OPT. #1:	SANTA PAULA 3549
ROOF OPT. #2:	SANDSTONE FLASHED 3553

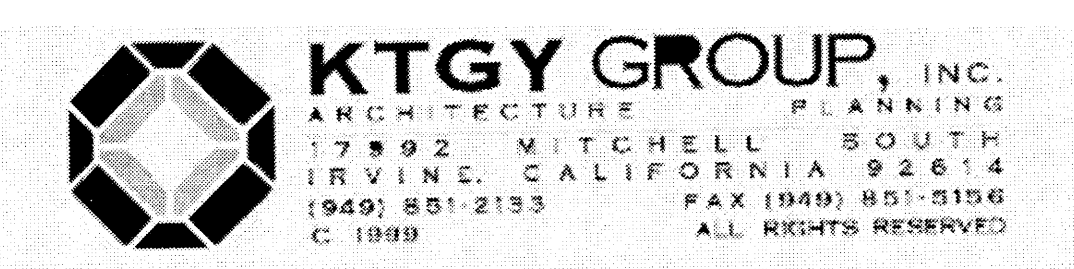
DOOR & WINDOW SCHEDULE	
A	3080 SOLID WOOD DOOR
B	16080 GARAGE DOOR
C	3068 FRENCH DOOR
D	2046 SINGLE HUNG WINDOW
E	2030 SINGLE HUNG WINDOW
F	3050 SINGLE HUNG WINDOW
G	3046 SINGLE HUNG WINDOW
H	3050 FIXED GLASS WINDOW
I	2050 FIXED GLASS WINDOW
J	2046 FIXED GLASS WINDOW
K	2020 FIXED GLASS WINDOW
L	5046 SLIDER WINDOW
M	4040 SLIDER WINDOW
N	4046 SLIDER WINDOW
O	6080 SLIDING GLASS DOOR
P	6068 SLIDING GLASS DOOR
Q	2X2468 VENTED DOORS

Scale: 3/16"=1'-0"



Longford Homes

Six-Plex Building B Elevations
Diamond Mesa
Albuquerque, NM

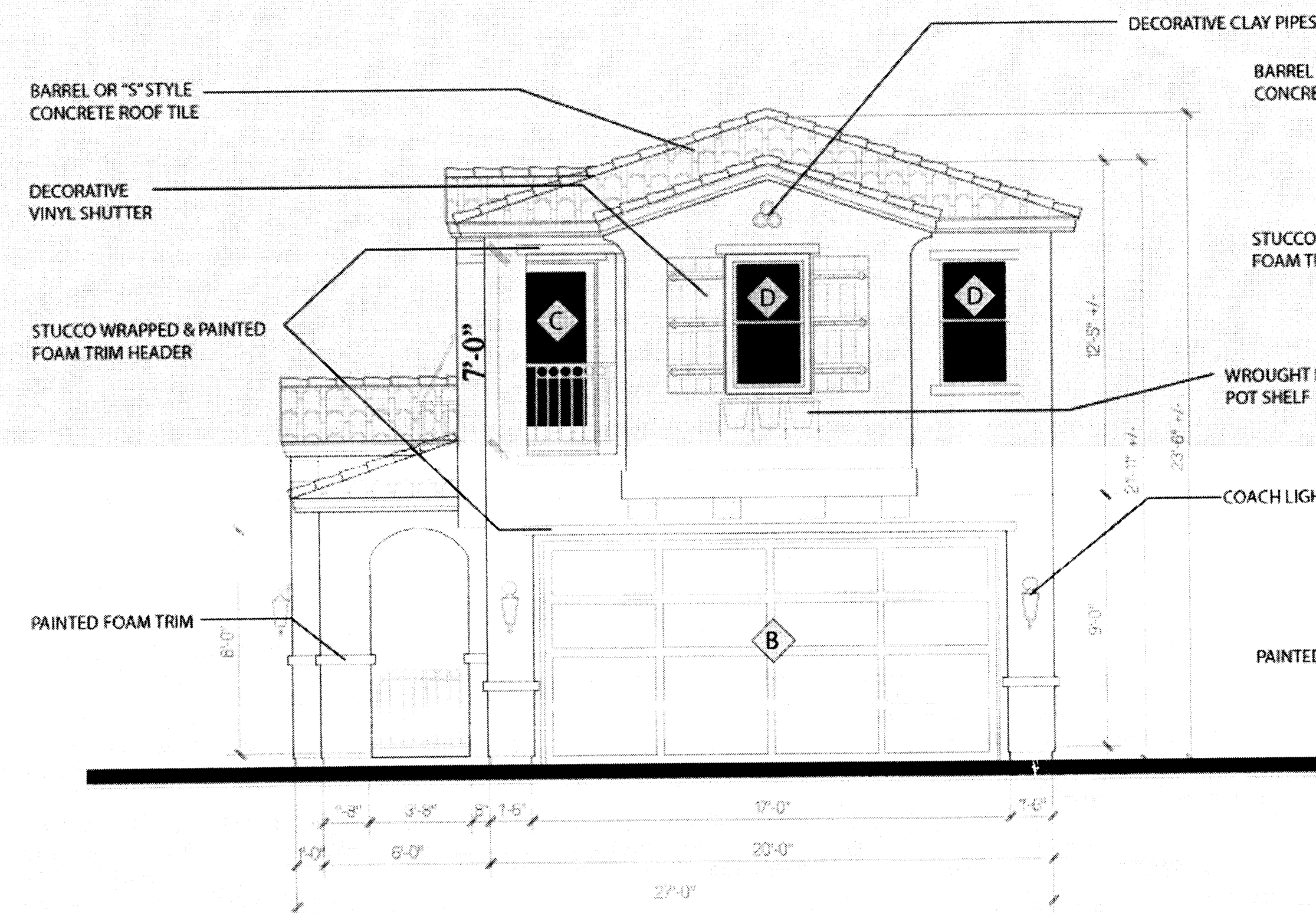




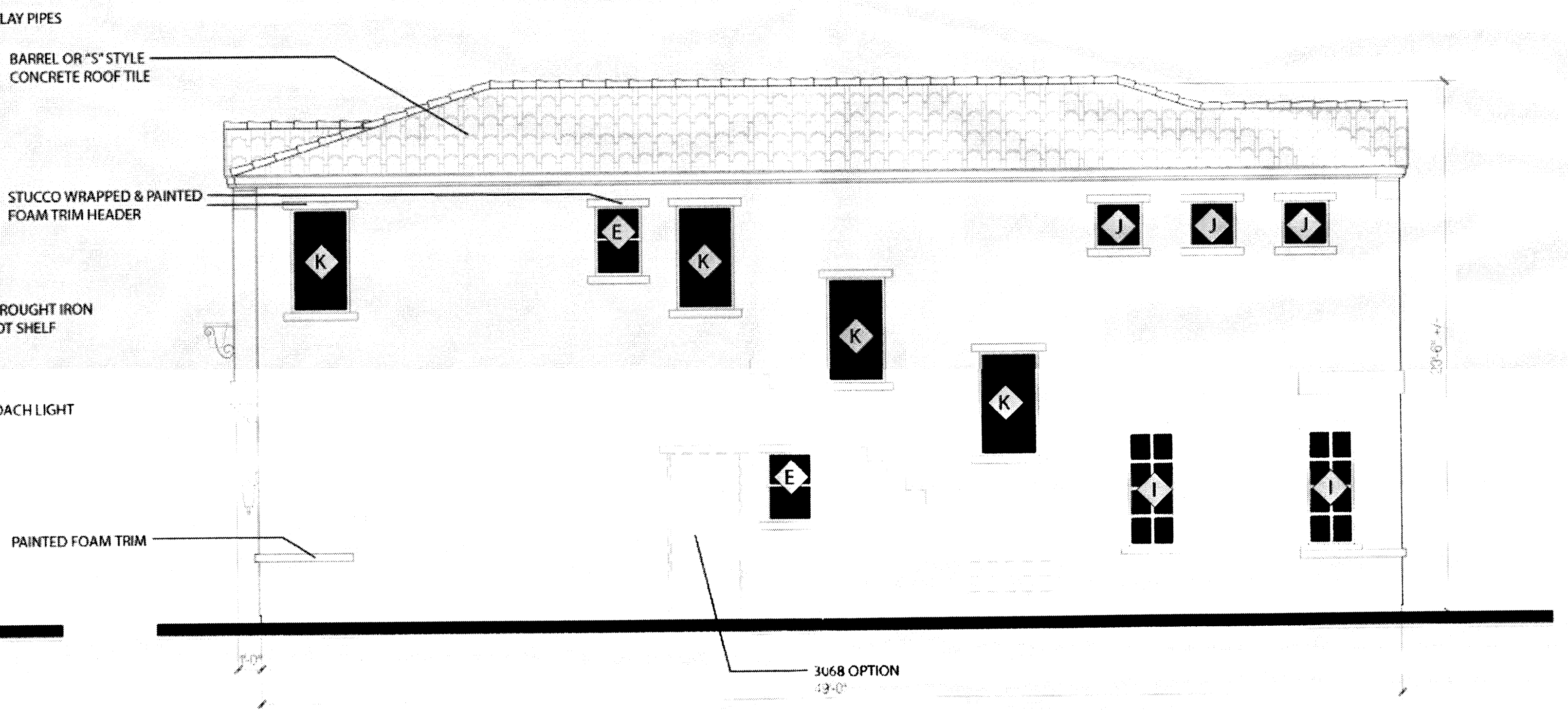
Front Elevation



Right Elevation

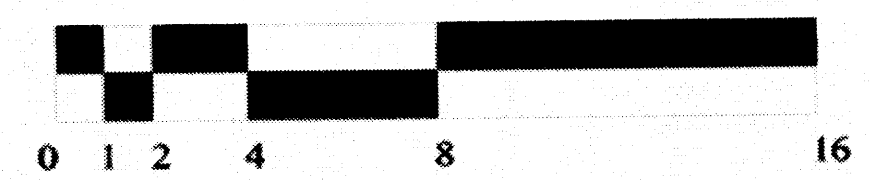


Rear Elevation



Left Elevation
(This side facing six-plex typical)

Scale: 1/4"=1'-0"



Longford Homes

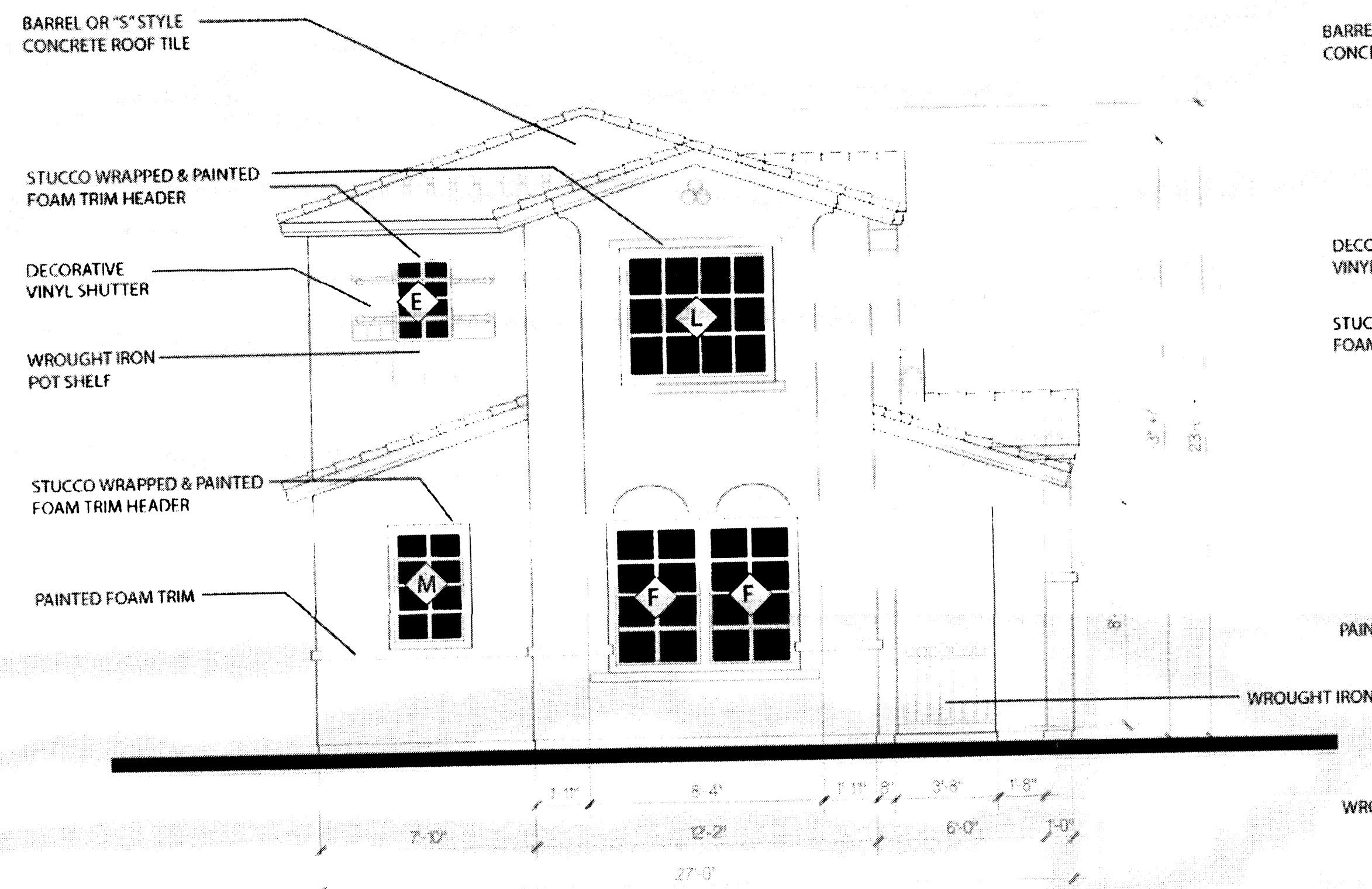
KTGY Job No: 2007-0029

Single Family Plan 1 Elevations
Diamond Mesa
Albuquerque, NM

PLAN 1	
SCHEME #A	
BODY:	DESERT SUEDE DE6206
TRIM:	CALICO ROCK DE6229
FASCIA:	COBBLESTONE PATH DE6068
FRONT DOOR/SHUTTERS:	PINE CONE DE6048
GARAGE DOOR:	COBBLESTONE PATH DE6068
ROOF:	SANTA PAULA 3549
SCHEME #B	
BODY:	DESERT GRAY DEC760
TRIM:	DESERT SUEDE DE6206
FASCIA:	STEVEARENO BEIGE DEC766
FRONT DOOR/SHUTTERS:	WESTERN RED DE6090
GARAGE DOOR:	STEVEARENO BEIGE DEC766
ROOF:	SANTA PAULA 3549
SCHEME #C	
BODY:	BAKED POTATOE DEC717
TRIM:	COBBLESTONE PATH DE6068
FASCIA:	VERONA BEACH DE6135
FRONT DOOR/SHUTTERS:	CENTER RIDGE DE6230
GARAGE DOOR:	VERONA BEACH DE6135
ROOF:	SANDSTONE FLASHED 3553
SCHEME #D	
BODY:	STEVEARENO BEIGE DEC766
TRIM:	BAKED POTATOE DEC717
FASCIA:	VERONA BEACH DE6135
FRONT DOOR/SHUTTERS:	WESTERN RED DE6090
GARAGE DOOR:	VERONA BEACH DE6135
ROOF:	SANDSTONE FLASHED 3553

DOOR & WINDOW SCHEDULE	
A	3080 SOLID WOOD DOOR
B	16080 GARAGE DOOR
C	3068 FRENCH DOOR
D	2646 SINGLE HUNG WINDOW
E	2030 SINGLE HUNG WINDOW
F	2650 SINGLE HUNG WINDOW
G	1010 FIXED GLASS WINDOW
H	3050 FIXED GLASS WINDOW
I	2050 FIXED GLASS WINDOW
J	2020 FIXED GLASS WINDOW
K	2646 FIXED GLASS WINDOW
L	5046 SLIDER WINDOW
M	8050 XO

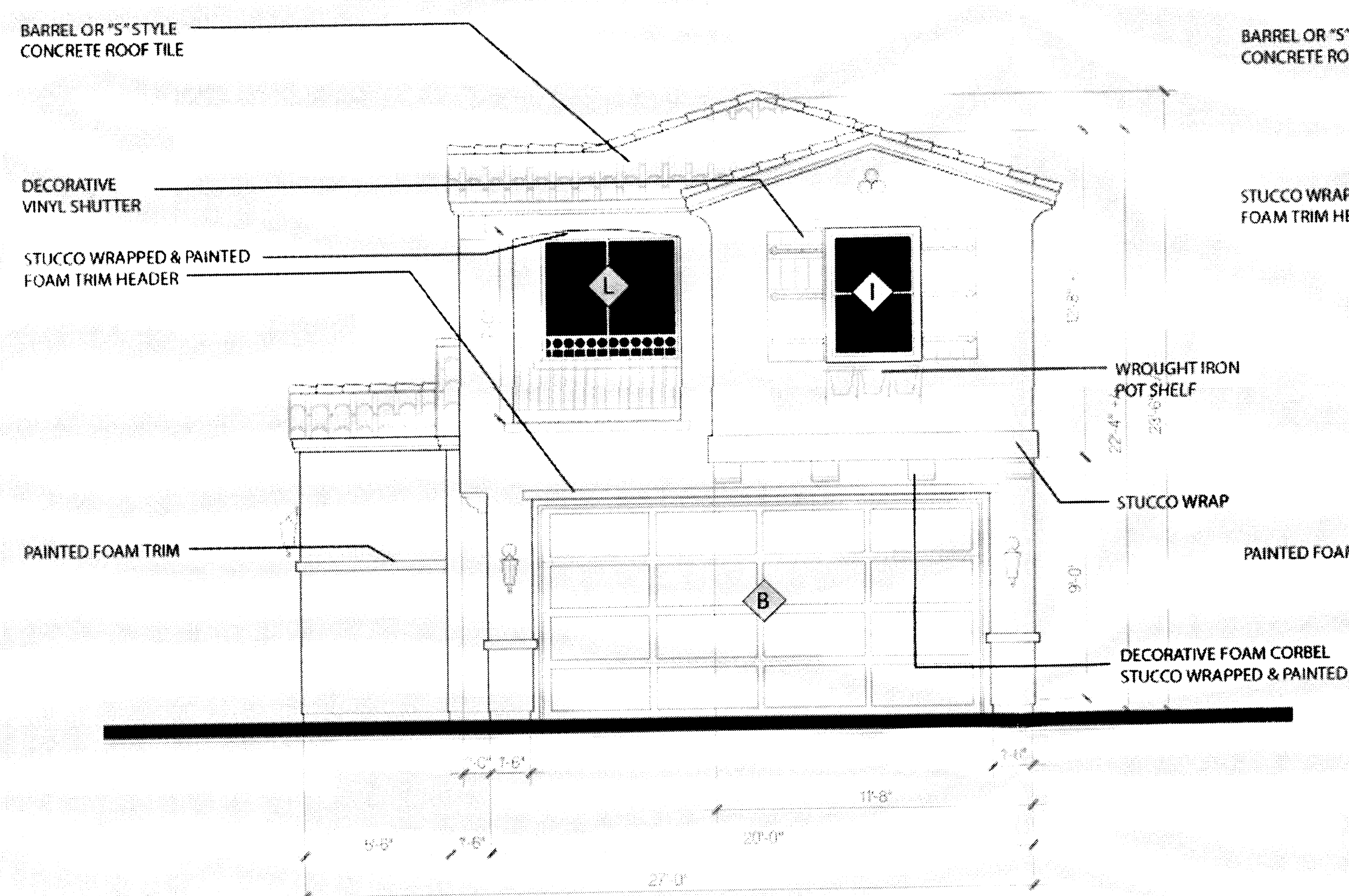




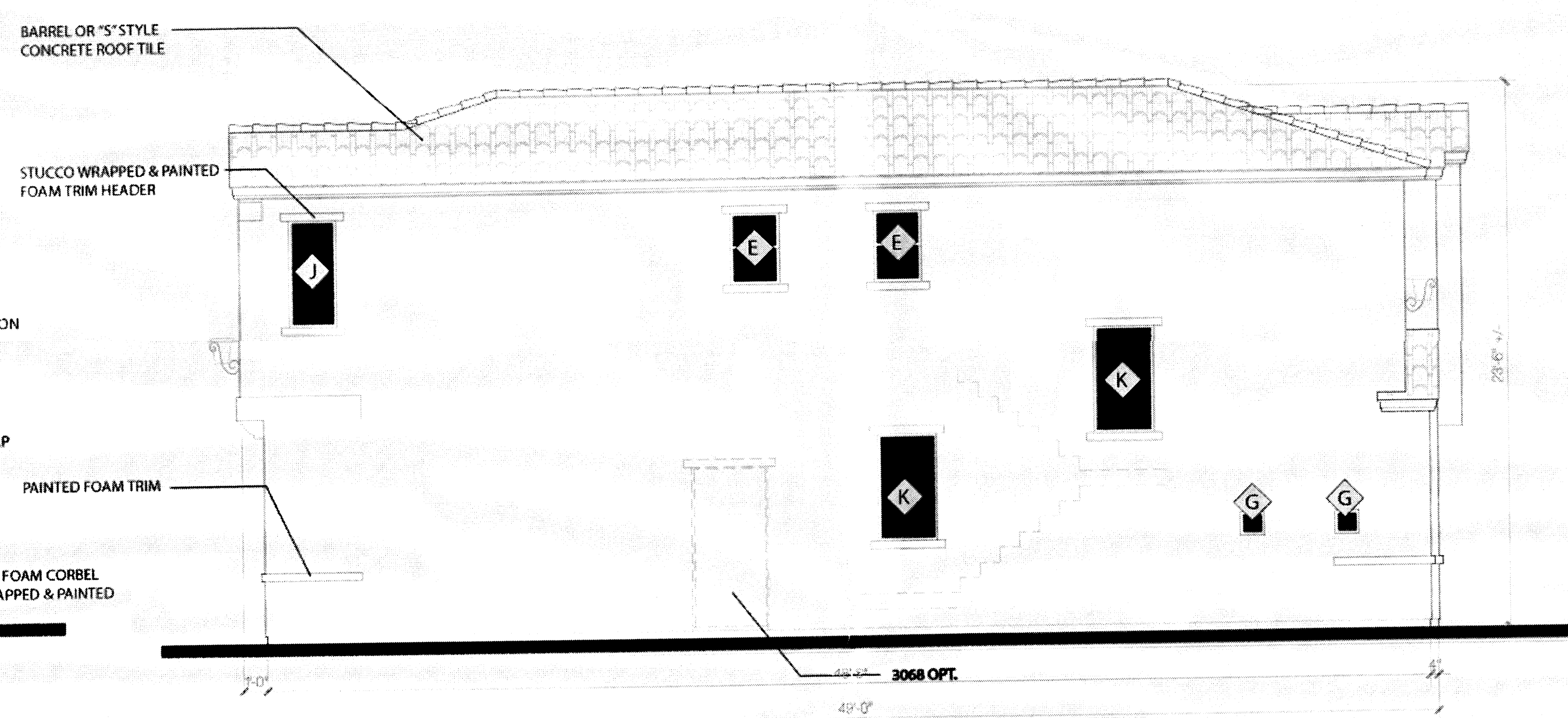
Front Elevation



Right Elevation

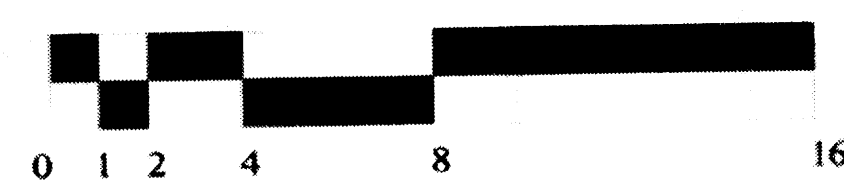


Rear Elevation



Left Elevation
(This side facing six-plex typical)

Scale: 1/4"=1'-0"



Longford Homes

Single Family Plan 2 Elevations
Diamond Mesa
Albuquerque, NM

PLAN 1	
SCHEME #A	
BODY:	DESERT SUEDE DE6206
TRIM:	CALICO ROCK DE6229
FASCIA:	COBBLESTONE PATH DE6068
FRONT DOOR/SHUTTERS:	PINE CONE DE6048
GARAGE DOOR:	COBBLESTONE PATH DE6068
ROOF:	SANTA PAULA 3549
SCHEME #B	
BODY:	DESERT GRAY DEC760
TRIM:	DESERT SUEDE DE6206
FASCIA:	STEVEARENO BEIGE DEC766
FRONT DOOR/SHUTTERS:	WESTERN RED DE6090
GARAGE DOOR:	STEVEARENO BEIGE DEC766
ROOF:	SANTA PAULA 3549
SCHEME #C	
BODY:	BAKED POTATOE DEC717
TRIM:	COBBLESTONE PATH DE6068
FASCIA:	VERONA BEACH DE6135
FRONT DOOR/SHUTTERS:	CENTER RIDGE DE6230
GARAGE DOOR:	VERONA BEACH DE6135
ROOF:	SANDSTONE FLASHED 3553
SCHEME #D	
BODY:	STEVEARENO BEIGE DEC766
TRIM:	BAKED POTATOE DEC717
FASCIA:	VERONA BEACH DE6135
FRONT DOOR/SHUTTERS:	WESTERN RED DE6090
GARAGE DOOR:	VERONA BEACH DE6135
ROOF:	SANDSTONE FLASHED 3553

DOOR & WINDOW SCHEDULE	
A	3080 SOLID WOOD DOOR
B	16080 GARAGE DOOR
C	3068 FRENCH DOOR
D	2646 SINGLE HUNG WINDOW
E	2030 SINGLE HUNG WINDOW
F	3050 SINGLE HUNG WINDOW
G	1010 FIXED GLASS WINDOW
H	3050 FIXED GLASS WINDOW
I	3046 SINGLE HUNG WINDOW
J	2046 FIXED GLASS WINDOW
K	2646 FIXED GLASS WINDOW
L	5046 SLIDER WINDOW
M	2640 SINGLE HUNG WINDOW

**BULK LAND PLAT FOR
ALBUQUERQUE SOUTH, UNIT THREE
TRACT E-5-A AND E-6-A
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
AND
PROJECTED SECTION 33
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2003**

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services Division _____ Date _____

PNM Gas Services Division _____ Date _____

Qwest Telecommunications _____ Date _____

Comcast _____ Date _____

City Approvals: *RB [Signature]* _____ Date **6-11-03**

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Utilities Development _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SURVEYOR'S CERTIFICATION

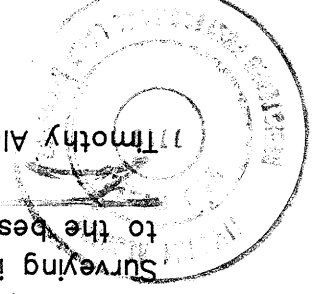
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."

Timothy Aldrich, P.S. No. 7719



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Job No.: 01-037	Sheet: 1 of 2
Checked By: TA	Drawing Name: 01037EBP.DWG
Drawn By: RJA	Date: 05-16-03



DESCRIPTION
A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being the remaining portion of TRACT 1, SALAZAR - DAVIS TRACTS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 6, 1986 in Volume C30, Folio 91 together with all of TRACT E-5 AND E-6, ALBUQUERQUE SOUTH, UNIT THREE as the same is shown and designated on said plat filed for record in Book 2002C, Page 197 and containing 36.7322 acres more or less.

PUBLIC UTILITY EASEMENTS
PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
1. PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.
Included, is the right to build, rebuild, construct, reconstruct, relocate, change, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat. In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.
Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

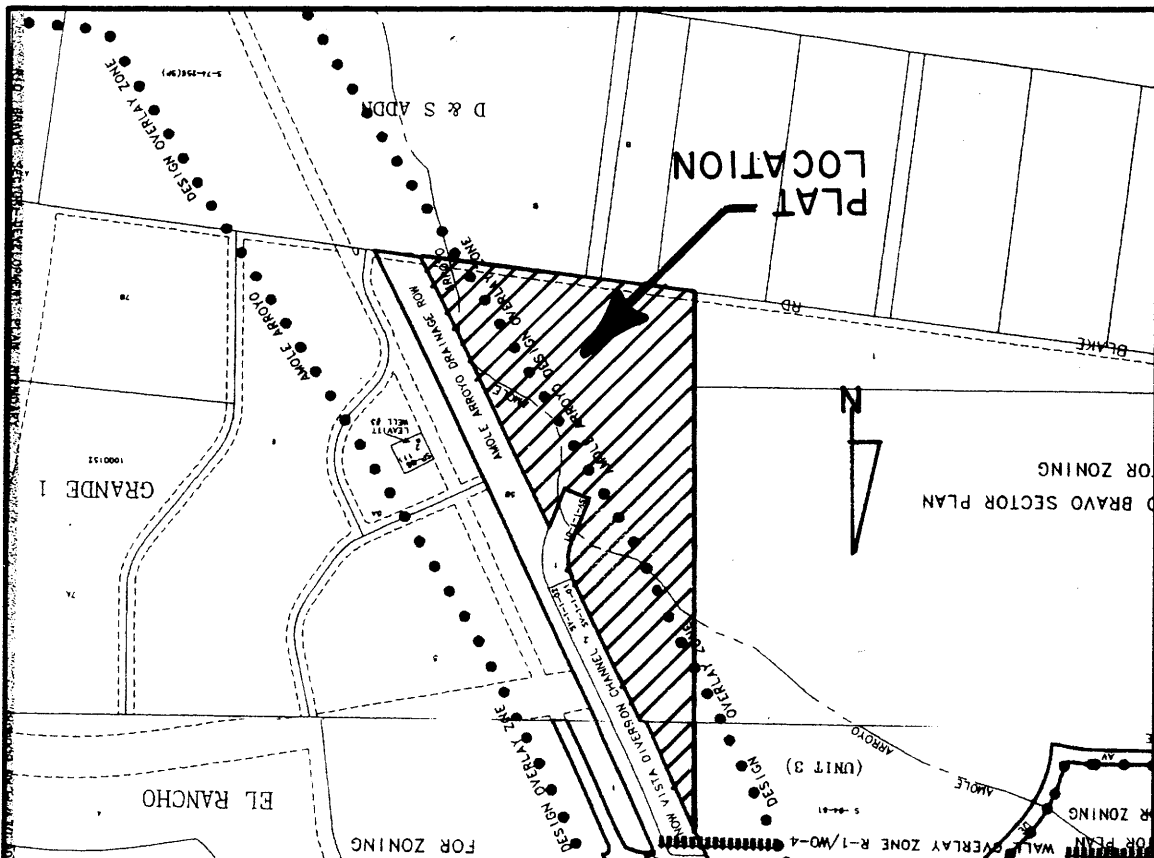
PRELIMINARY PLAT
APPROVED BY DRB
ON 5/13/03

**"NOTICE OF SUBDIVISION PLAT CONDITIONS"
ALBUQUERQUE SOUTH, UNIT THREE
TRACT E-5-A AND E-6-A**

THE PLAT OF ALBUQUERQUE SOUTH, UNIT THREE, TRACTS E-5-A AND E-6-A HAS BEEN GRANTED A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-6-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

7. Title Report: None provided.
8. City Zoning: RLT

FREE CONSENT AND DEDICATION
The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easement as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the creating of Tracts E-5-A and E-6-A as shown hereon. Said Owner(s) and/or proprietor(s) do hereby dedicate street right-of-way to the City of Albuquerque in fee simple with warranty covenants. Said Owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that the subdivision is their free act and deed.
Owner: Tracts E-5-A and E-6-A
CURB, INC., PRESIDENT, CHARLES HAEGELIN
STATE OF NEW MEXICO)
BERNALILLO COUNTY)
On this 2nd day of JUNE, 2003, this instrument was acknowledged before me by Charles Haegelin, President of CURB, Inc., a New Mexico Corporation.
MARY S. STRICKMAN
NOTARY PUBLIC STATE OF NEW MEXICO
3-28-07



PURPOSE OF PLAT
1. To create tracts E-5-A and E-6-A as shown hereon.
2. To grant easement as shown hereon.
3. To dedicate street right-of-way to the C.O.A. as shown hereon.

SUBDIVISION DATA
1. Project No.: _____
Application No.: _____
2. Zone Atlas Index No.: M-9-Z & N-9-Z
3. Total Number of Lots created: 0
4. Total Number of existing Tracts: 2
5. Total Number of Tracts created: 2
6. Gross Subdivision Acreage: 36.7322 Acres

NOTES
1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:
PLAT OF "SALAZAR-DAVIS TRACTS, TRACT 1,"
(05-06-86, C30-91)
PLAT OF "ALBUQUERQUE SOUTH, UNIT 3, TRACTS E-1 THRU E-6,"
(06-05-02, 02C-197)
PLAT OF "EL RANCHO GRANDE 1,"
(03-21-03, 03C-73)
PLAT OF "EL RANCHO GRANDE 1,"
(01-16-01, 01C-20)
"SNOW VISTA DIVERSION CHANNEL DRAINAGE RIGHTS-OF-WAY"
(08-03-88, C37-26)

all being records of Bernalillo County, New Mexico.
5. Field Survey performed on March, 2002.
6. UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2003172995
7. Title Report: None provided.
8. City Zoning: RLT

FREE CONSENT AND DEDICATION
The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easement as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the creating of Tracts E-5-A and E-6-A as shown hereon. Said Owner(s) and/or proprietor(s) do hereby dedicate street right-of-way to the City of Albuquerque in fee simple with warranty covenants. Said Owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that the subdivision is their free act and deed.
Owner: Tracts E-5-A and E-6-A
CURB, INC., PRESIDENT, CHARLES HAEGELIN
STATE OF NEW MEXICO)
BERNALILLO COUNTY)
On this 2nd day of JUNE, 2003, this instrument was acknowledged before me by Charles Haegelin, President of CURB, Inc., a New Mexico Corporation.
MARY S. STRICKMAN
NOTARY PUBLIC STATE OF NEW MEXICO
3-28-07

EASEMENTS

- ① EXISTING 10' PNM & MST&T EASEMENT (DOCUMENT NO. 80-23229) (4-18-80, Bk. Misc. 766, Pg. 745)
- ② EXISTING C.O.A. BLANKET DRAINAGE EASEMENT ACROSS TRACT E (11-28-94, 94C-393)
- ③ EXISTING 124' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- ④ EXISTING 156' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- ⑤ EXISTING 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 02C-184)
- ⑥ EXISTING 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)

- ⑦ EXISTING 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 02C-184)
- ⑧ 60' BLAKE ROAD S.W., NO DEDICATION DOCUMENT AVAILABLE
- ⑨ 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (GRANTED BY THIS PLAT)

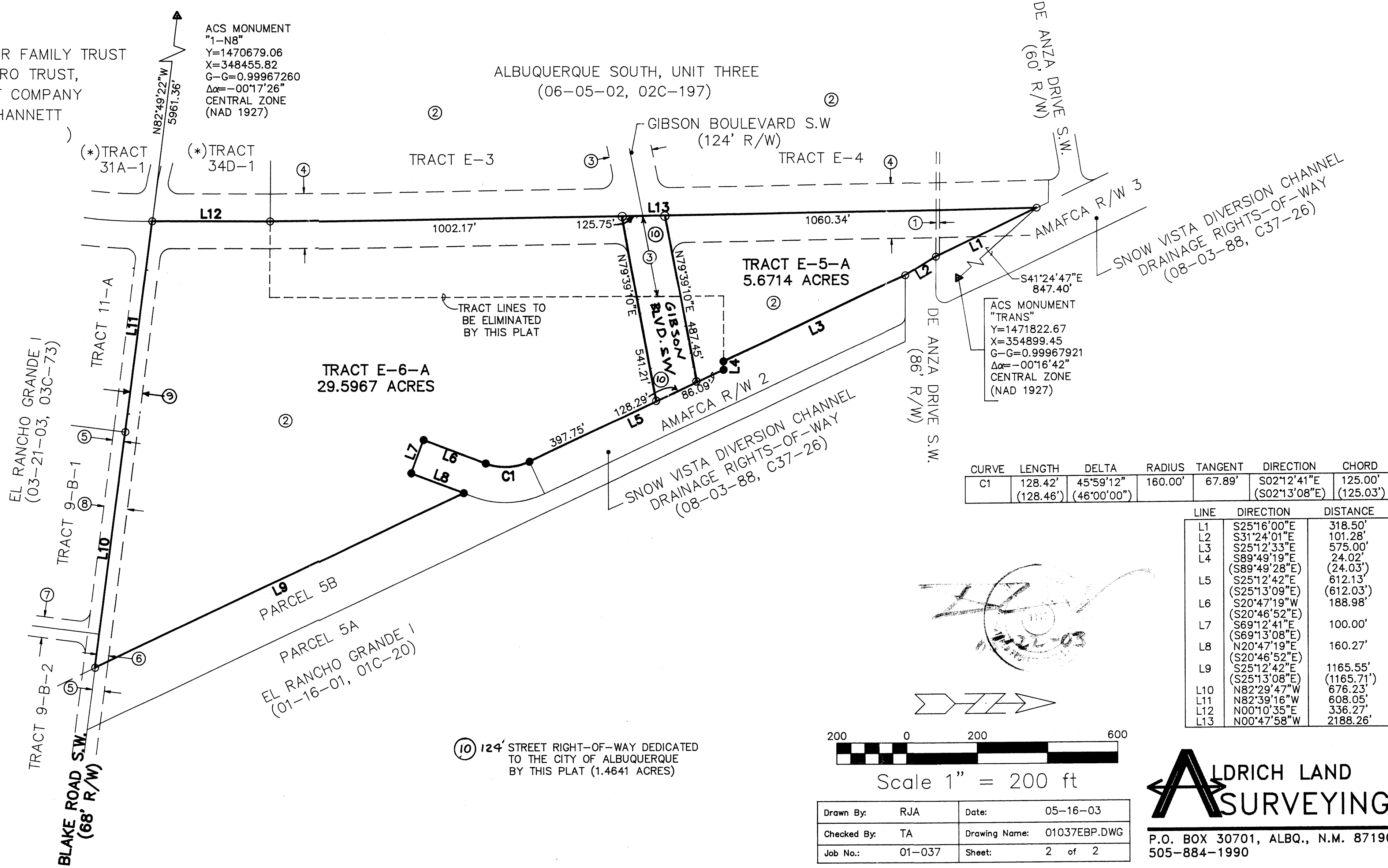
- SET 5/8" REBAR W/CAP "ALS LS 7719"
- FOUND AMAFCA BRASS CAP "LS 4078"

SITE BENCHMARK
 ACS MONUMENT "1-M9"
 ELEVATION = 5147.87 (SLD 1929)

NOTE:
 DEVELOPMENT OF TRACTS E-5-A & E-6-A WILL REQUIRE AN ALL-WEATHER CROSSING AT 98TH STREET AND THE SNOW VISTA CHANNEL.

**BULK LAND PLAT FOR
 ALBUQUERQUE SOUTH, UNIT THREE
 TRACT E-5-A AND E-6-A
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 AND
 PROJECTED SECTION 33
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2003**

(*)LANDS OF SALAZAR FAMILY TRUST
 SALAZAR QUATRO TRUST,
 JSJ INVESTMENT COMPANY
 AND FALBA HANNETT



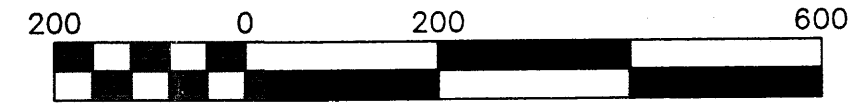
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 X=348455.82
 G-G=0.99967260
 Δα=-00°17'26"
 CENTRAL ZONE
 (NAD 1927)

ACS MONUMENT "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927)

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	128.42' (128.46')	45°59'12" (46°00'00")	160.00'	67.89'	S02°12'41"E (S02°13'08"E)	125.00' (125.03')

LINE	DIRECTION	DISTANCE
L1	S25°16'00"E	318.50'
L2	S31°24'01"E	101.28'
L3	S25°12'33"E	575.00'
L4	S89°49'19"E (S89°49'28"E)	24.02' (24.03')
L5	S25°12'42"E (S25°13'09"E)	612.13' (612.03')
L6	S20°47'19"W (S20°46'52"E)	188.98'
L7	S69°12'41"E (S69°13'08"E)	100.00'
L8	N20°47'19"E (S20°46'52"E)	160.27'
L9	S25°12'42"E (S25°13'08"E)	1165.55' (1165.71')
L10	N82°29'47"W	676.23'
L11	N82°39'16"W	608.05'
L12	N00°10'35"E	336.27'
L13	N00°47'58"W	2188.26'

⑩ 124' STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT (1.4641 ACRES)



Scale 1" = 200 ft

Drawn By:	RJA	Date:	05-16-03
Checked By:	TA	Drawing Name:	01037EBP.DWG
Job No.:	01-037	Sheet:	2 of 2



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