


7. **Project# 1002739**
14DRB-70253 – FINAL PLAT
APPROVAL 

MARK GOODWIN & ASSOCIATES, PA agents for KB HOME, INC request the referenced/ above actions for all or a portion of Parcels 4 and 6A Unit 1, plus Blocks 1-6 Unit 9, **ANDERSON HEIGHTS SUBDIVISON** zoned R-D & R-LT, located on the north side of COLOBEL AVE SW between 118th St SW and MORRISSEY ST SW containing approximately 89.01 acres. (N-8) [*deferred from 11/19/14, 12/3/14, 12/10/14*] **DEFERRED TO 12/31/14.**

8. **Project# 1002848**
14DRB-70399 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL  

RIO GRANDE ENGINEERING agent(s) for MILLER FAMILY request(s) the above action(s) for all or a portion of Lot(s) 15,16,17,18, Block(s) 10, Tract A, Unit B, **NORTH ALBUQUERQUE ACRES** and TRACT A-1 & B-1, **AMERICAN TOYOTA**, zoned SU-2 FOR IP, located on ALAMEDA NE BETWEEN I-25 AND SAN PEDRO containing approximately 10.33 acre(s). (C-18) [*Deferred from 12/10/14*] **INDEFINITELY DEFERRED.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

9. **Project# 1000870**
14DRB-70402 SKETCH PLAT REVIEW
AND COMMENT 

DSA ARCHITECTS agent(s) for APPLE INVESTORS GROUP request(s) the above action(s) for all or a portion of Tract(s) 1 AND 2, **WEST OF WETLAND, ATRISCO GRANT Unit(s) A**, zoned C-2, located on 98TH ST AND AVALON containing approximately 4 acre(s). (K-9)**THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED.**

10. Other Matters:
ADJOURNED:



DEVELOPMENT REVIEW BOARD

Agenda

Plaza del Sol Building
Basement Hearing Room


December 10, 2014

MEMBERS:

Jack Cloud..... DRB Chair
Kristal Metro..... Transportation Development
Allan Porter..... ABCWUA
Curtis Cherne.....City Engineer
Carol Dumont..... Parks & Recreation

Angela Gomez ~ Administrative Assistant

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

- Project# 1002848**
 14DRB-70395 EPC APPROVED SDP
 FOR BUILD PERMIT
 14DRB-70399 MINOR - PRELIMINARY/
 FINAL PLAT APPROVAL 

RIO GRANDE ENGINEERING & CONSENSUS
 PLANNING agent(s) for MILLER FAMILY request(s) the
 above action(s) for all or a portion of Lot(s) 15,16,17,18,
 Block(s) 10, Tract A, Unit B, **NORTH ALBUQUERQUE
 ACRES** and TRACT A-1 & B-1, **AMERICAN TOYOTA**,
 zoned SU-2 FOR IP, located on ALAMEDA NE
 BETWEEN I-25 AND SAN PEDRO containing
 approximately 10.33 acre(s). (C-18) **THE SITE
 DEVELOPMENT PLAN FOR BUILDING INDEFINITELY
 DEFERRED. THE PRELIMINARY/FINAL PLAT WAS
 DEFERRED TO 12/17/14.**

December 8, 2014

To: Jack Cloud, Chair Development Review Board

From: Vicente M. Quevedo, Planner 

RE: Project 1002848, 14EPC-40043, 14EPC-40046

The applicant met with staff on December 1st to review the conditions imposed by EPC per the Official Notification of Decision issued on August 14, 2014.

A zone map amendment (14EPC-40046) was requested along with the site development plan for building permit and a condition of approval was included stating that the zone map amendment does not become effective until the accompanying site development plan is approved by the DRB. This requirement must be met within six months after the date of EPC approval.

Following the meeting with the applicant, staff agreed to conduct a more thorough review of the updated site development plan for building permit to ensure that all conditions have been met. See section A below for conditions of approval that still need to be addressed on the updated site development plan for building permit followed by section B that outlines the conditions of approval that have been met:

Section A. – Outstanding Conditions of Approval:

7. DMD Transportation Planning Conditions:

- a. Per the Long Range Roadway System map Alameda Blvd. is listed as a Principal Arterial and San Pedro a Collector. Along San Pedro the existing and proposed right-of-way lines are not well identified on the site development plan. The 17' public roadway easement called-out along San Pedro needs to instead be dedicated as public right-of-way. Per the Long Range Bikeway Systems map both Alameda and San Pedro are to contain striped on-street bike lanes with dimensions per the DPM, if they don't already exist along the site frontage.

Staff Comments: The applicant has updated the site development plan to reflect the dedication of the 17' public roadway easement as public right-of-way. However, no on-street bike lanes with dimensions per the DPM are outlined on the updated site development plan as required by the condition of approval.

14. Note 3 on the site plan and sheet 7 of 7 A101 Keynotes section shall be revised to read "6' High CMU Wall...", as they now incorrectly reads "6 inch High CMU Wall".

Staff Comments: The applicant has updated keynote 3 on the site development plan on sheet A100. However, keynote 3 on site details sheet A101 still reads 6" HIGH CMU WALL.

All remaining conditions of approval for the Site Development Plan for Subdivision Amendment and the Site Development Plan for Building Permit have been satisfied.

Section B. – Conditions of Approval Satisfied:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall submit a request to vacate the 30' Public Water & Sewer Easement to the DRB prior to final DRB sign-off.
4. ABC Water Utility Authority Condition:
 - a. The ABCWUA shall verify fire flow capacity in the portion of the public water line that would remain leading up to an approval of a vacation and re-alignment request.
5. The new public waterline shall be installed at the applicant's expense.
6. City Engineer/Transportation Development Condition:
 - a. ADA Accessible parking spaces and aisles shall be dimensioned per ADA regulations.
7. See Section A. on page 1 of this memorandum.
8. Solid Waste Department Condition:
 - a. The refuse container shall comply with SWMD Ordinance, be converted to a top loading refuse container and include a note on the Site Details (Sheet 7 of 7) that the updated refuse container conforms to these requirements.
9. The Developer shall be responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).

10. PNM Conditions for Approval for Project #1002848 Site Development Plan for Building Permit:

- a. Existing overhead electric distribution facilities are located on the subject property along San Pedro NE and within the central portion of the site. The applicant is responsible to abide by any conditions or terms of those easements.
 - b. Coordination with PNM will be necessary for this project regarding proposed tree species, the height at maturity and tree placement and lighting height in order to ensure sufficient safety clearances to avoid interference with the existing electric facilities along San Pedro NE. Street trees indicated on the Landscape Plan, Sheet L100, are not a compatible height with the existing overhead electric distribution utilities on the eastern portion of the property. A shorter tree selection at mature height is recommended at this location. PNM's landscaping preference is for trees and shrubs to be planted outside the PNM easement; however, if within the easement, trees and shrubs should be located to minimize effects on electric facility maintenance and repair. New trees planted near PNM facilities should be no taller than 25 feet in height at maturity to avoid conflicts with existing electric infrastructure.
11. Detailed dimensions shall be added to the Site Details (Sheet 7 of 7) for the proposed 8 foot high steel painted gates shall be dimensioned on the elevations portion of the site plan.
12. The parking calculations section of the site plan shall be revised to include the following corrections:
- Staff Comments: The building square footage has been reduced from 111,620 square feet to 90,096 square feet. The required off-street parking calculations have been updated to reflect this change. The required number of off-street parking spaces is 169. The applicant has exceeded this minimum requirement and will provide 321 parking spaces.*
13. The proposed pilaster interval lengths shall be revised to show the maximum 20 foot interval requirement and the current vertical projection above each proposed pilaster shall be revised to meet the minimum 2 feet projection requirement from the public side of the wall surface per the Zoning Code.
14. See Section A. on page 1 of this memorandum.
15. Building mounted lighting shall be added to the site plan as required by the North I-25 SDP.
16. A note shall be added that references the exception that tree canopy shall count towards the 75% vegetative ground cover requirement per the North I-25 Sector Development Plan.
17. Building mounted signage shall be revised to reflect the North I-25 Sector Development Plan requirements prior to final sign off if a variance has not been approved at that time.

18. General note 1 on the Exterior Elevations (Sheet 6 of 7) shall be removed. General note 5 on the Exterior Elevations (Sheet 6 of 7) shall be revised to: A variance application shall be submitted for building mounted signage. If the variance is not approved, signage shall be revised to reflect the North I-25 Sector Development Plan prior to final sign off.
19. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
20. A re-plat is required through the DRB to consolidate the existing 6 lots into one lot.

FIGURE 12

INFRASTRUCTURE LIST

**EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: _____
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Application No.: 1009881

**TRACT 1A AMERICAN TOYOTA
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**TRACTS A&B AMERICAN TOYOTA AND Lots 15-18, Block 10, North Albuquerque Acres, Tract A, Unit B
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	8"	WATERLINE INCL	NEW 20' WATER EASEMENT	san pedro	EXISTING LINE	/	/	/
<input type="text"/>	<input type="text"/>	\$50,000	FEMA Letter of Map Resion	existing floodplain	affected lots	affected lots	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
							/	/	/

NOTES

- 1 Engineers Certification of Grading required prior to release of SIA and Financial Guarantee
- 2 Internal sidewalks to be temporarily deferred per approved exhibit
- 3 This site is impacted by flood zone AO-1'. The financial guarantee will not be released until the LOMR is approved by FEMA

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
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David Sode
NAME (print)

Rip Grande Engineers
FIRM

DM
SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION DEPARTMENT - date

AMAFCA - date

- date

- date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS
--

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE: 505.321.9099
 ADDRESS: PO BOX 93924 FAX: _____
 CITY: ALB STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com

APPLICANT: Miller Family PHONE: _____
 ADDRESS: 5995 Alameda blvd FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87122 E-MAIL: _____

Proprietary interest in site _____ List all owners: _____

DESCRIPTION OF REQUEST: LOT LINE CONSOLIDATION -PRELIMINARY PLAT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A & B AMERICAN TOYOT+ LOT 15-18 Block: _____ Unit: B, TR A
 Subdiv/Addn/TBKA: AMERICAN TOYOTA
 Existing Zoning: ~~SU-2~~ SU-2 IP Proposed zoning: SU1 MRGCD Map No _____
 Zone Atlas page(s): C18 UPC Code: 101806421939920605

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____
1002848

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 6 No. of proposed lots: 1 Total site area (acres): 10

LOCATION OF PROPERTY BY STREETS: On or Near: ALAMEDA NE
 Between: INTERSTATE 25 and SAN PEDRO

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE _____
 (Print Name) DAVID SOULE Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>14DRB - 70399</u>	<u>PBF</u>		\$ <u>215.00</u>
<input checked="" type="checkbox"/> All checklists are complete		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
				Total
				\$ <u>235.00</u>

Hearing date December 10, 2014

[Signature] 12-1-14
 Staff signature & Date

Project # 1002848

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- na 5 Acres or more: Certificate of No Effect or Approval lot consolidation of exiting site
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- na Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- na Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies** accompanying site plan
- na Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies** accompanying site plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- na Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

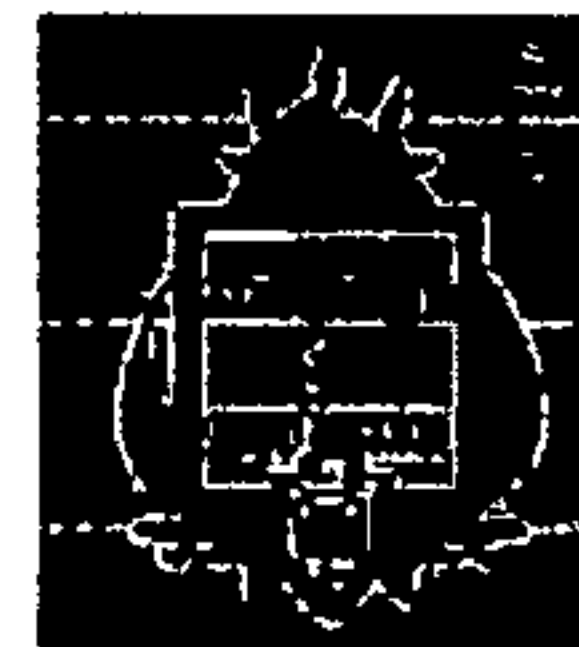
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

[Handwritten Signature]

Applicant name (print)

Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 14DRB - 70399

[Handwritten Signature] 12-1-14
 Planner signature / date
 Project # 10082848

December 2, 2014

Mr. Jack Cloud
Chair- Development Review Board
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: LOT CONSOLIDATION
AMERICAN TOYOTA
Project #1002848
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests -preliminary plat approval of the attached grading plan. The purpose of the plat is to create one tract from 6 and incorporate previously approved vacations. This plat is for project submitted by Consensus planning for same hearing

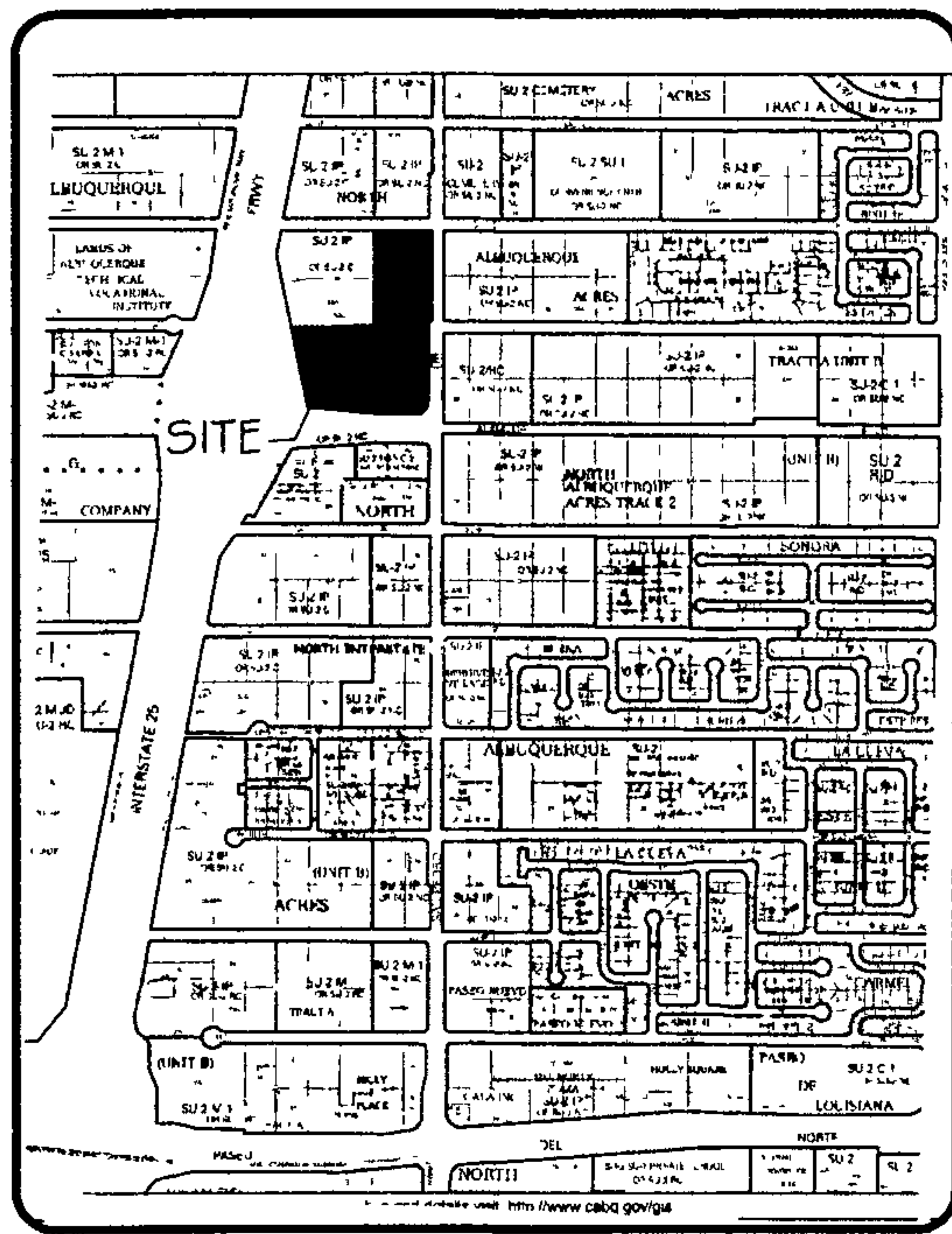
Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures



ZONE ATLAS C-18-Z NOT TO SCALE

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO CREATE (1) TRACT FROM (4) LOTS & (2) TRACTS, DEDICATE ADDITIONAL RIGHT OF WAY TO THE CITY OF ALBUQUERQUE, GRANT AND VACATE EASEMENTS AS SHOWN HEREON

NOTES

- 1 BEARINGS ARE GRID BASED---NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
- 2 ALL DISTANCES SHOWN ARE GROUND DISTANCES
- 3 ALL BOUNDARY CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 21082", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED
- 4 BEARINGS AND DISTANCES IN () ARE RECORD

SUBDIVISION DATA

DR#
 ZONE ATLAS INDEX NO C-18-Z
 DATE OF FIELD SURVEY NOVEMBER, 2014
 TOTAL NO OF TRACTS EXISTING 2
 TOTAL NO OF TRACTS CREATED 1
 TOTAL NO OF LOTS EXISTING 4
 TOTAL NO OF LOTS CREATED 0
 GROSS SUBDIVISION ACREAGE 10 13915

DOCUMENTS USED

TRACTS A-1 AND B-1, AMERICAN TOYOTA, BOOK 2004C, FOLIO 300 (9/24/04)
 NORTH ALBUQUERQUE ACRES, BOOK D, FOLIO 130A (4/24/36)

LEGAL DESCRIPTION

TRACTS A-1 AND B-1, AMERICAN TOYOTA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 24, 2004, IN PLAT BOOK 2004C, FOLIO 300

AND

LOTS NUMBERED FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17) AND EIGHTEEN (18) IN BLOCK NUMBERED TEN (10) OF TRACT LETTERED "A", UNIT LETTERED "B" OF NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, FOLIO 130A AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT HEREIN DESCRIBED, BEING A POINT ON THE WESTERLY RIGHT-OF-WAY OF SAN PEDRO DRIVE NE WHENCE, N6°41'47"E A DISTANCE OF 514.29' TO AC5 MONUMENT 10_C18, THENCE, FROM SAID POINT OF BEGINNING 50°09'20"W A DISTANCE OF 471.73' TO AN ANGLE POINT, THENCE, S89°29'00"W A DISTANCE OF 17.65' TO AN ANGLE POINT, THENCE, 50°10'07"W A DISTANCE OF 411.93' TO A POINT OF CURVATURE, THENCE, 81.46' ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 76.08' AND A CHORD BEARING OF 530°18'22"W, 77.62' TO AN ANGLE POINT BEING ON THE NORTH RIGHT-OF-WAY OF ALAMEDA BLVD NE, THENCE, N89°26'52"W A DISTANCE OF 244.65' TO AN ANGLE POINT THENCE, N84°26'19"W A DISTANCE OF 340.70' TO AN ANGLE POINT BEING A POINT ON THE EASTERLY RIGHT-OF-WAY OF THE PAN AMERICAN FREEWAY, INTERSTATE-25 FRONTAGE ROAD, THENCE, N11°37'30"W A DISTANCE OF 426.45' TO AN ANGLE POINT, THENCE, S89°42'00"E A DISTANCE OF 427.50' TO AN ANGLE POINT, THENCE, 50°13'23"W A DISTANCE OF 29.79' TO AN ANGLE POINT, THENCE, N0°13'23"E A DISTANCE OF 235.32' TO AN ANGLE POINT, THENCE, N0°11'12"E A DISTANCE OF 235.37' TO AN ANGLE POINT BEING A POINT ON THE SOUTHERLY RIGHT OF WAY OF EAGLE ROCK AVE NE, THENCE, S89°54'25"E A DISTANCE OF 299.77' TO THE POINT OF BEGINNING AND CONTAINING 10 13363 ACRES MORE OR LESS

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACTS LETTERED A-1 AND B-1, AMERICAN TOYOTA & LOTS 15 THRU 18, BLOCK 10, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND DEDICATE RIGHT OF WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND GRANT ANY EASEMENTS AS SHOWN, SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT

BY: _____
 MILLER FAMILY REAL ESTATE / DATE

ACKNOWLEDGMENT

STATE OF _____)
) SS
 COUNTY OF _____)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2014, BY _____

NOTARY PUBLIC _____
 MY COMMISSION EXPIRES _____

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE # _____

BERNALILLO COUNTY TREASURER'S OFFICE _____

SHEET INDEX

PAGE 1 COVER
 PAGE 2 SUBDIVISION PLAT

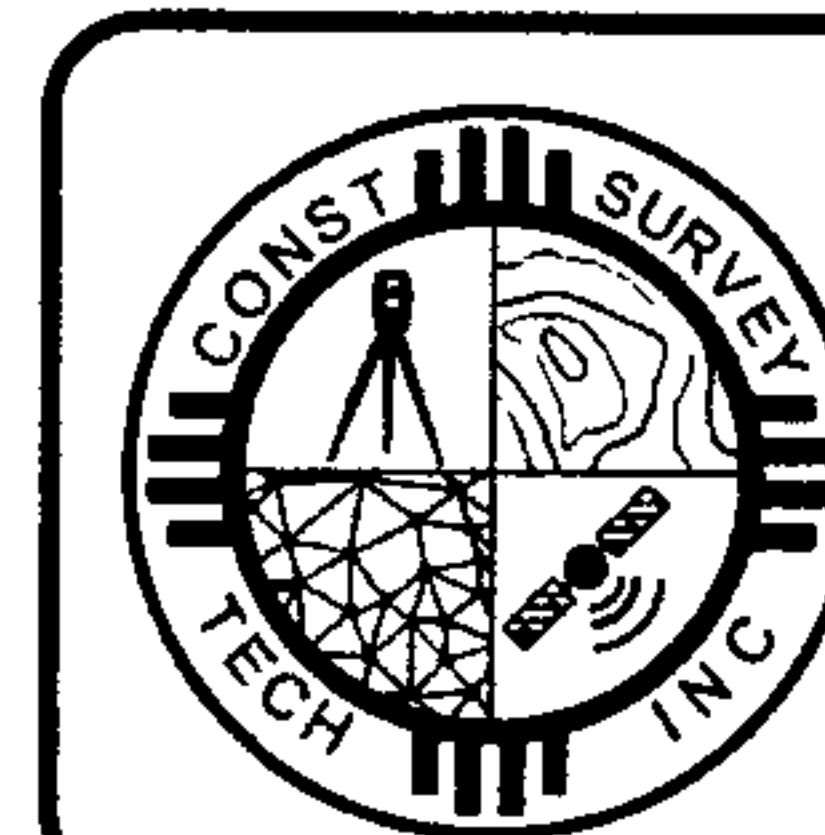
SUBDIVISION PLAT OF
 TRACTS A-1-A
 AMERICAN TOYOTA
 BEING A RE-PLAT OF
 TRACTS A-1 AND B-1, AMERICAN TOYOTA &
 LOTS 15 THRU 18, BLOCK 10, TRACT A, UNIT B
 NORTH ALBUQUERQUE ACRES
 PROJECTED SECTION 13, T 11 N, R 3 E, N.M.P.M.
 ELENA GALLEGOS LAND GRANT
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER 2014

PROJECT NUMBER _____	
CITY APPROVALS	
CITY SURVEYOR _____	DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____	DATE _____
UTILITIES DEVELOPMENT _____	DATE _____
PARKS AND RECREATION DEPARTMENT _____	DATE _____
A M A F C A _____	DATE _____
ABCWUA _____	DATE _____
CITY ENGINEER _____	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT _____	DATE _____
REAL PROPERTY DIVISION _____	DATE _____
UTILITY APPROVALS	
PNM ELECTRIC SERVICES _____	DATE _____
NEW MEXICO GAS _____	DATE _____
CENTURY LINK _____	DATE _____
COMCAST _____	DATE _____

SURVEYOR'S CERTIFICATE

I, DAVID P ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO 21052, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST, MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF

DAVID P ACOSTA, NMPLS NO 21082 DATE _____



CONSTRUCTION SURVEY TECHNOLOGIES, INC
 MAILING: PO BOX 65395, ALBUQUERQUE, NM 87193 505 917-8821
 OFFICE 1606 CENTRAL AVE SE SUITE 101, ALBUQUERQUE, NM 87106
 NMSURVEYOR@GMAIL.COM

SUBDIVISION PLAT OF
TRACTS A-1-A
AMERICAN TOYOTA

BEING A RE-PLAT OF

TRACTS A-1 AND B-1, AMERICAN TOYOTA &
LOTS 15 THRU 18, BLOCK 10, TRACT A, UNIT B

NORTH ALBUQUERQUE ACRES

PROJECTED SECTION 13, T 11 N, R 3 E, N.M.P.M.

ELENA GALLEGOS LAND GRANT

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

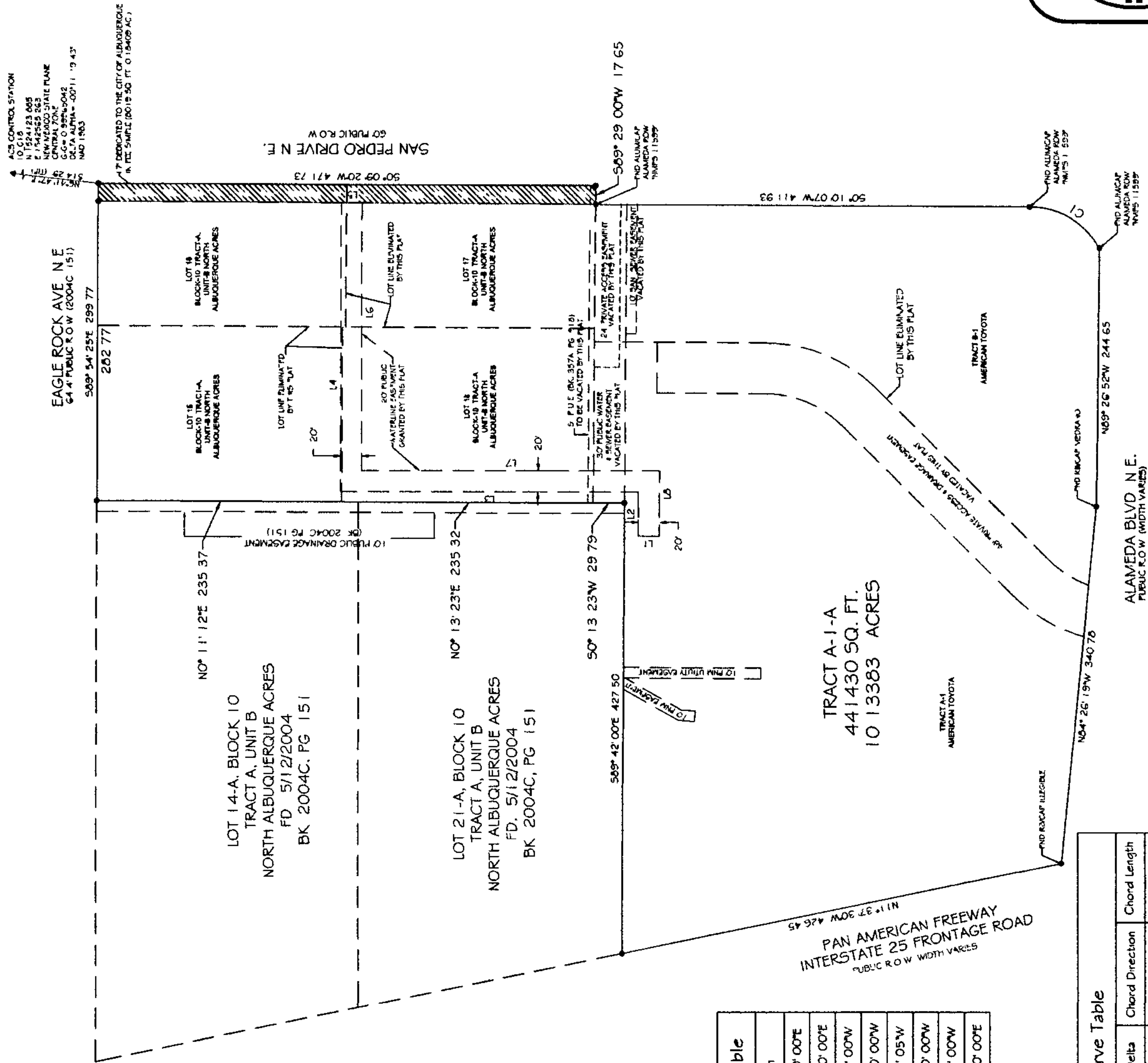
NOVEMBER 2014

LEGEND OF SYMBOLS

● FOUND MONUMENT AS NOTED

○ SET 5/8" REBAR WITH 1" MORASSE CAP 1/5 21082 OR
PK NAIL WITH SHINER 21082"

▲ CITY OF ALBUQUERQUE CENTERLINE MONUMENT



Line #	Length	Direction
L1	20.00	N0° 00' 00"E
L2	41.89	N90° 00' 00"E
L3	282.71	N0° 00' 00"W
L4	273.04	N90° 00' 00"W
L5	20.00	S0° 14' 05"W
L6	252.96	N90° 00' 00"W
L7	282.71	N0° 00' 00"W
L8	61.89	N90° 00' 00"E

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	81.46	76.08	61.35	S30° 18' 22"W	77.62

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF PUBLIC SERVICE COMPANY OF NEW MEXICO ("PSNM"), A NEW MEXICO CORPORATION (FNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES

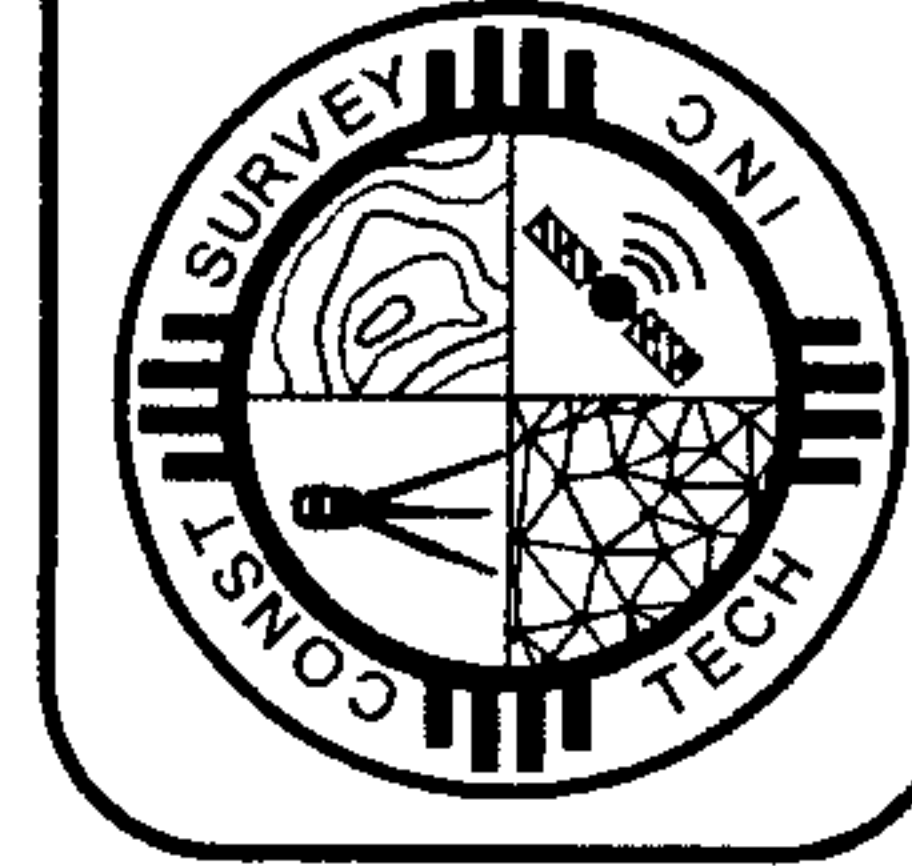
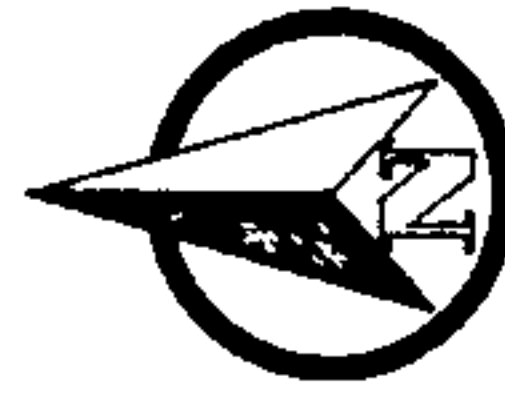
GUEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE COMMUNICATION SERVICES

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE CABLE SERVICES

INCLUDED, IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEE", INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PSNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON CONSEQUENTLY PUBLIC SERVICE COMPANY (PSNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT



CONSTRUCTION SURVEY TECHNOLOGIES, INC

MAILING PO BOX 65395, ALBUQUERQUE, NM 87193 505-917-8921

OFFICE 1606 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106

INMSURVEYOR@GMAIL.COM

Copy

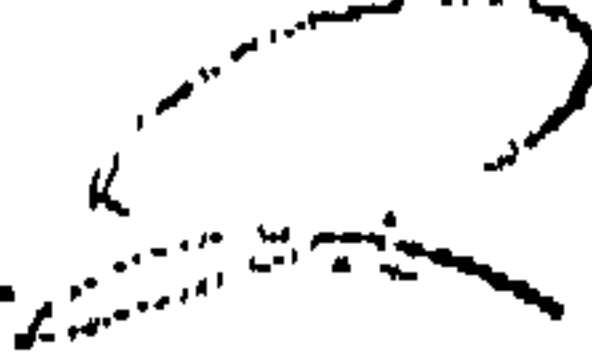
INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: October 15, 2007

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Suzanne Busch, Environmental Health Department
Kevin Curran, Legal Department
Tierra West, LLC

FROM: Jim Joseph, P.E., INTERA Inc. 

SUBJECT: Project # 1002848, 07DRB-70267 MAJOR – 2YR SUBD IMP AGMT (2YR SIA), American Toyota, Tracts A1 & B1, Located on Alameda Blvd. NE Between Pan American Freeway NE and San Pedro Dr. NE

There is the potential for above-named project to be impacted by the presence of landfill gas generated by a former privately owned/operated landfill (Oakland Avenue Landfill). The Albuquerque Environmental Health Department (AEHD) realizes this agenda item reflects only administrative filings for subdivision improvement agreements; however, if development/redevelopment does occur, the developers of this site are required to follow the most current version of the "Interim Guidelines for Development within City Designated Landfill Buffer Zones." A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit Amendment DRB Final Sign-Off
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd Regulations

D Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus Planning, Inc. PHONE: 505-764-9801
 ADDRESS: 302 Eighth Street NW FAX: 505-842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

APPLICANT: JR Malouff PHONE: 505-998-0165
 ADDRESS: 5995 Alameda NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: jrmalouff@lhm.com
 Proprietary interest in site: Toyota List all owners: Miller Family Real Estate, LLC

DESCRIPTION OF REQUEST: Zone Map Amendment and a Site Plan for Building Permit Amendment

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 15, 16, 17, and 18, Tract A; Tract A-1, Tract B-1 Block: 10 Unit: B
 Subdiv/Addn/TBKA: North Albuquerque Acres; American Toyota
 Existing Zoning: SU-2 for IP Proposed zoning SU-1 for Automotive Sales, Service, and Repair, MRGCD Map No
or SU-2 for Regional Commercial
 Zone Atlas page(s): C-18 UPC Code: 101806423845820809; 101806423843620806; 101806425243620807; 101806425245820808 101806421939920605; 101806425138720610

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____
Project # 1002848 14EPC 40043, 40046

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 6 No. of proposed lots: 1 Total site area (acres): ZMA (3.2) Total (10)
 LOCATION OF PROPERTY BY STREETS: On or Near: Eagle Rock Avenue NE
 Between: I-25 and San Pedro Drive NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 12.2.14
 (Print Name) James K Strozian, AICP Applicant: Agent:

FOR OFFICIAL USE ONLY

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

14 DRB - 70395

Action

SBP
CMF

S.F.

Fees

\$ 0
\$ 20.00

\$ _____

\$ _____

\$ _____

Total
\$ 20.00

Hearing date Dec. 10, 2014

12-2-14

Project # 1002848

Staff signature & Date

Revised: 4/2012

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
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 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
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 - ___ Infrastructure List, if relevant to the site plan
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 - ___ Copy of Site Plan with Fire Marshal's stamp
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- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
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- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
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 - Infrastructure List, if relevant to the site plan *Attached to the plat*
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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Storz, AICP
 Applicant name (print)
[Signature] 12-2-14
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
14-DRB-70395

[Signature] 12-2-14
 Planner signature / date
 Project # 1002848



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<input type="checkbox"/> for Subdivision			<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3
<input checked="" type="checkbox"/> for Building Permit Amendment DRB Final Sign-Off			<input type="checkbox"/> Plan(s), Zoning Code, or Subd Regulations
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert of Appropriateness (LUCC)	L A		APPEAL / PROTEST of...
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 ADDRESS: 5995 Alameda NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: jrmalouff@lhm.com
 Proprietary interest in site. General Manager of American Toyota List all owners. Miller Family Real Estate, LLC

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Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

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 (Print Name) James K Strozian, AICP Applicant. Agent.

FOR OFFICIAL USE ONLY

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S F	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14 DRB - 70395</u>	<u>SBP</u>		\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F H D P. density bonus				Total
<input type="checkbox"/> F H D P. fee rebate				\$ <u>20.00</u>

Hearing date Dec. 10, 2014
12-2-14 Project # 1002848
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[Signature]

Revised: 4/2012

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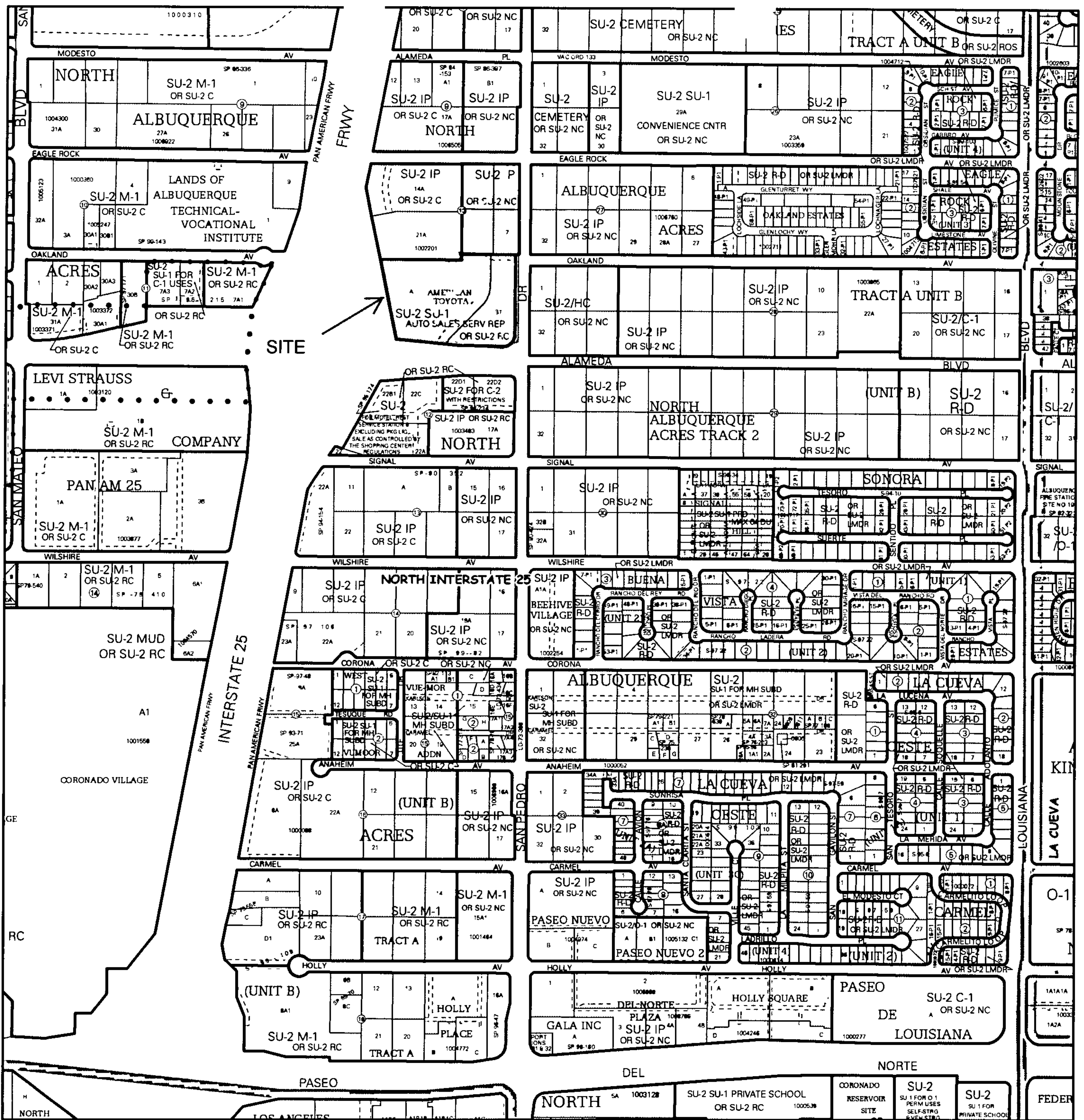
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James K. Stricker AICP
Applicant name (print)
[Signature] 12-2-14
Applicant signature / date



Form revised October 2007

<input checked="" type="checkbox"/> Checklists complete	Application case numbers	<u>14-DRB-70395</u>	<u>[Signature]</u> 12-2-14
<input checked="" type="checkbox"/> Fees collected			Planner signature / date
<input checked="" type="checkbox"/> Case #s assigned			Project # <u>1002848</u>
<input checked="" type="checkbox"/> Related #s listed			



For more current information and details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 6/7/2013

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-18-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon	

0 750 1,500 Feet

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

August 15, 2014

JR Malouff,
5995 Alameda Blvd. NE
Albuquerque, NM 87102

Project # 1002848
14EPC-40043 Zone Map Amendment
(Zone Change)
14EPC-40046 Site Development
Plan for Building Permit
Amendment

LEGAL DESCRIPTION:

For all or a portion of lots 15-18, block 10, North Albuquerque Acres, Tract A, Unit B, zoned SU-2 IP, and Tract A-1 and B-1, American Toyota, zoned SU-2/SU-1 for Automotive Sales, Service, and Repair, located on Alameda Blvd. NE, between I-25, San Pedro Dr., and Eagle Rock Rd containing approximately 10 acres.
Staff Planner: Vicente Quevedo

PO Box 1293

Albuquerque

NM 87103

On August 14, 2014, the Environmental Planning Commission (EPC), voted to **APPROVE** Project 1002848, 14EPC-40043, a request for a Zone Map Amendment, & 14EPC-40046, a request for Site Development Plan for Building Permit Amendment based on the following Findings and Conditions:

FINDINGS - 14EPC-40043 Zone Map Amendment

1. This is a request for a zone map amendment for Lots 15-18, block 10, N. ABQ Acres, Tract A, Unit B located on San Pedro Dr. NE between Eagle Rock Rd. NE and Oakland Ave. NE and containing approximately 3.2 acres.
2. Lots 15 – 18 are located within the North I-25 Sector Development Plan boundary and are currently zoned SU-2 IP. The applicant proposes a zone change to SU-2/SU-1 for Auto Sales, Service, & Repair which is a more restrictive use and is site plan controlled.

3. Prior to the owner purchasing the property the site was used as a junk yard. The applicant responded to a letter from City Code Enforcement dated March 12, 2014 regarding the storage of vehicles by requesting a conditional use for these lots. The conditional use request was presented and approved at the Zoning Hearing Examiner's Hearing on June 17, 2014.
4. The Albuquerque/Bernalillo County Comprehensive Plan, (Sector Plan/Master Plan, etc.) and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The subject site is within the Developing Urban Area of the Comprehensive Plan and is also located within an Express Transit Corridor. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:

Policy II.B.5.d: The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

The proposed zoning and building on the site will allow development that is compatible in use, scale and design with surrounding development. It will add to the area by providing new service opportunities and cater to the cultural importance of vehicular uses for transportation and recreation. However, other than respecting natural environmental conditions in terms of compliance with drainage and landscaping requirements, the car dealership expansion will not specifically address scenic resources. Policy II.B.5d is partially furthered by this request.

Policy II.B.5.e: New growth shall be accommodated through development in areas where vacant land is contiguous to programmed urban facilities and services and where the integrity of existing neighborhood services can be ensured.

The 10 acre site is contiguous to vacant land to the east, has access to transit, utilities, and a full range of other urban services. The proposed zoning and development will not compromise the integrity of the existing neighborhood services, but will allow development that is compatible with the existing development in scale design and use. Policy II.B.5e is furthered by this request.

Policy II.B.5.i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The proposed request will allow the development of new employment and service opportunities that will be accessible by residents and others. The site is not directly adjacent to any single family residential areas, so the impacts of the new development will

be minimized. There is no neighborhood opposition to this request. Policy II.B 5i is furthered by this request.

Policy II.B 5.j: Where new commercial development occurs, it should generally be located in existing commercially zoned areas as follows:

- In small neighborhood-oriented centers provided with pedestrian and bicycle access within reasonable distance of residential areas for walking or bicycling.
- In larger area-wide shopping centers located at intersections of arterial streets and provided with access via mass transit; more than one shopping center should be allowed at an intersection only when transportation problems do not result.
- In freestanding retailing and contiguous storefronts along streets in older neighborhoods.

The site is located within an existing commercially zoned area. The proposed development will be accessible by local residents. While the site is not located within any of the types of centers or areas in the bulleted list above, the site is appropriate for this type of development. Policy II.B.5.j is partially furthered by this request.

Policy II.B.5.k: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operation.

The nearest established residential neighborhood is a quarter mile east of the subject site. The applicant has designed the site to minimize the harmful effects of traffic by limiting cut through traffic options on the site for motorists. Policy II.B.5.k is furthered by this request.

Policy II.B.5.l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the Plan area.

The proposed development will utilize quality materials such as finished aluminum composite paneling, Concrete Masonry Unit (CMU) material, with an exterior insulation finish system. In addition, an innovative roof top parking feature over the service bay will be utilized thereby reducing the need for additional ground level surface parking on the site. However, due to the fact that the roof top parking component is the only innovative feature, Policy II.B.5.l is partially furthered by this request.

Economic Development

Policy II.D.6.a: New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.

The request will allow the development of an expanded car dealership building. The dealership currently employs 132 people, and the applicant states that approximately 37 additional jobs will be generated by the new car dealership building. The jobs range from vehicle repair technicians to finance and insurance managers. Policy II.D.6.a is generally furthered by this request.

Policy II.D.6b: Development of local business enterprises as well as the recruitment of outside firms shall be emphasized.

The existing car dealership is locally owned and the request will efficiently expand the existing employment base within the area by utilizing vacant land for the expansion efforts that are already owned by the dealership. Policy II.D.6.b is furthered by this request.

6. The request is in general compliance with the following applicable goals and policies of the North I-25 Sector Development Plan:

Land Use Goal: Integrate existing and future land uses to support and promote economic and employment opportunities within the Plan area.

The request to expand the existing car dealership supports and promotes economic and employment opportunities within the Plan area. The overall land use goal of the North I-25 SDP is furthered by this request.

Land Use Policy LUZ1: Define development patterns for guiding future development by establishing a land use plan.

According to Figure 10 in the Plan, the land use area where the existing car dealership is located is outlined as Regional Commercial (RC). Incorporation of Lots 15-18 within this land use district is in line with the proposed land use plan within the North I-25 SDP.

Land Use Policy LUZ1 is furthered by this request.

Land Use Policy LUZ2: Promote land uses that contribute to the vitality of the Plan area and strengthen the economic and functional relationships to surrounding areas.

The request to change the land use designation for Lots 15-18 from industrial/manufacturing to commercial retail strengthens the economic and functional relationship to the surrounding area as most of the surrounding parcels are currently experiencing a transition toward commercial retail. The increased number of employees and customers that will frequent the dealership and surrounding businesses will also benefit the existing surrounding community. Land Use Policy LUZ2 is furthered by this request.

Community Design Goal / Community Design Plan: Provide quality development and a quality, cohesive visual environment throughout the Plan area for residents, businesses and visitors.

The general intent of the Community Design Plan is to provide design regulations for the effective and efficient design of new commercial and employment developments and for the redevelopment of existing areas within the Plan area. The proposal meets this intent

by expanding an existing commercial business on existing vacant parcels within the Plan area. The Community Design Goal and Community Design Plan are furthered by this request.

7. The applicant has justified the zone change request pursuant to R-270-1980 as follows:
 - A. Staff agrees that the request is not contrary to the health, safety, morals and general welfare of the city. The proposed zone change request will not endanger residents a quarter mile east of the site or allow uses that are considered incompatible with existing development and is therefore consistent with the health, safety, morals, and general welfare of the city.
 - B. Staff agrees that the proposed zoning will not destabilize the area. The change from SU-2 IP to SU-2/SU-1 for Automotive Sales, Service and Repair is also more restrictive and thus more stable, due to the fact that the SU-2 IP zone allows for a broader range of industrial uses that are not consistent with the current transition of the area to commercial retail.
 - C. The request is consistent with and furthers several goals and policies of applicable plans (see Findings 5 and 6).
 - D. The majority of existing land uses adjacent to and in close proximity to the subject site are designated Commercial/Retail/Service. The requested zone change request is congruent with this pattern of land uses. Also, the expansion of the car dealership will further the Economic Development policies within the Comprehensive Plan regarding the goal of creating new employment opportunities that will accommodate a range of occupational skills and salary levels both during and after construction. Therefore staff believes that the response to section D meets the minimum qualifications to be considered sufficient.
 - E. Staff agrees that the proposed uses are compatible and will not be harmful to the surrounding area.
 - F. Staff agrees that the changes will not cause the need for major capital expenditures on the part of the City.
 - G. Staff agrees that the cost of land or other economic considerations are not the determining factor for the change in zoning, and that the proposed zone change request is appropriate in terms of its proximity to other freeway oriented retail uses.
 - H. Staff agrees that the street location is not the primary justification for the commercial zoning request.
 - I. Staff agrees that the zone change request is not a spot zone and that the request is congruent with adjacent and surrounding land uses.
 - J. Staff agrees that the zone change request does not constitute strip zoning because the request is consistent with existing adjacent and surrounding zoning and land uses.
8. No known neighborhood opposition exists for the request. No facilitated meeting was requested, recommended, or held regarding this request.

CONDITIONS OF APPROVAL – 1002848 ZONE MAP AMENDMENT

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB, pursuant to §14-16-4-1(C)(16) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

FINDINGS - 14EPC-40046 Site Development Plan for Building Permit Amendment

1. This is a request for an amendment to an existing Site Development Plan for Building Permit for Lots 15-18, block 10, N. ABQ Acres, Tract A, Unit B, & tract A-1 & B-1 American Toyota located on Alameda Blvd. between Pan American Freeway and San Pedro Dr. and containing approximately 10 acres.
2. The amendment will allow for the demolition of the existing car dealership building and the reconstruction of an approximately 111,620 square foot, one story car dealership building on a single approximately 10.1 acre lot. The new building will include a showroom, offices, service reception area, parts warehouse, service repair bays, and roof deck parking. The site plan also includes an on-site non-public car wash directly north of the new building. The use is allowed per the current zoning for the subject site.
3. The original Site Plan for Building Permit was approved by the EPC in 1986 for new construction of a 44,555 square foot car dealership development.
On September 25, 2002 the Development Review Board approved a request for a Major-Vacation of Public Right-of-Way (Project #1002201, 02DRB-01367) to vacate a portion of Oakland Ave. running west from San Pedro Dr. and terminating in a cul-de-sac at Pan American Freeway along the northern edge of the subject site. On February 19, 2004 the EPC approved an amendment to the site plan for an expansion of the existing car dealership building square footage by 22,035 square feet and construction of a new inspection area, wash bay, and service bay.
4. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The request is consistent with Comprehensive Plan and further many goals and policies including:

Policy II.B.5.d: The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

The proposed zoning and building on the site will allow development that is compatible in use, scale and design with surrounding development. It will add to the area by providing new service opportunities and cater to the cultural importance of vehicular uses for transportation and recreation. However, other than respecting natural environmental conditions in terms of compliance with drainage and landscaping requirements, the car dealership expansion will not specifically address scenic resources. Policy II.B.5d is partially furthered by this request.

Policy II.B.5.e: New growth shall be accommodated through development in areas where vacant land is contiguous to programmed urban facilities and services and where the integrity of existing neighborhood services can be ensured.

The 10 acre site is contiguous to vacant land to the east, has access to transit, utilities, and a full range of other urban services. The proposed zoning and development will not compromise the integrity of the existing neighborhood services, but will allow development that is compatible with the existing development in scale design and use. Policy II.B.5e is furthered by this request.

Policy II.B.5.i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The proposed request will allow the development of new employment and service opportunities that will be accessible by residents and others. The site is not directly adjacent to any single family residential areas, so the impacts of the new development will be minimized. There is no neighborhood opposition to this request. Policy II.B.5i is furthered by this request.

Policy II.B.5.j: Where new commercial development occurs, it should generally be located in existing commercially zoned areas as follows:

- In small neighborhood-oriented centers provided with pedestrian and bicycle access within reasonable distance of residential areas for walking or bicycling.
- In larger area-wide shopping centers located at intersections of arterial streets and provided with access via mass transit; more than one shopping center should be allowed at an intersection only when transportation problems do not result.
- In freestanding retailing and contiguous storefronts along streets in older neighborhoods.

The site is an existing commercially zoned area. The proposed development will be accessible by local residents. While the site is not located within any of the types of centers or areas in the bulleted list above, the site is appropriate for this type of development. Policy II.B.5.j is partially furthered by this request.

Policy II.B.5.k: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operation.

The nearest established residential neighborhood is a quarter mile east of the subject site. The applicant has designed the site to minimize the harmful effects of traffic by limiting cut through traffic options on the site for motorists. Policy II.B.5.k. is furthered by this request.

Policy II.B.5.l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the Plan area.

The proposed development will utilize quality materials such as finished aluminum composite paneling, Concrete Masonry Unit (CMU) material, with an exterior insulation finish system. In addition, an innovative roof top parking feature over the service bay will be utilized thereby reducing the need for additional ground level surface parking on the site. However, due to the fact that the roof top parking component is the only innovative feature, Policy II.B.5.l is partially furthered by this request.

Economic Development

Policy II.D.6.a: New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.

The request will allow the development of an expanded car dealership building. The dealership currently employs 132 people, and the applicant states that approximately 37 additional jobs will be generated by the new car dealership building. The jobs range from vehicle repair technicians to finance and insurance managers. Policy II.D.6.a is generally furthered by this request.

Policy II.D.6b: Development of local business enterprises as well as the recruitment of outside firms shall be emphasized.

The existing car dealership is locally owned and the request will efficiently expand the existing employment base within the area by utilizing vacant land for the expansion efforts that are already owned by the dealership. Policy II.D.6.b. is furthered by this request.

6. The request is in general compliance with the following applicable goals and policies of the North I-25 Sector Development Plan:

Land Use Goal: Integrate existing and future land uses to support and promote economic and employment opportunities within the Plan area.

The request to expand the existing car dealership supports and promotes economic and employment opportunities within the Plan area. The overall land use goal of the North I-25 SDP is furthered by this request.

Land Use Policy LUZ1: Define development patterns for guiding future development by establishing a land use plan.

According to Figure 10 in the Plan, the land use area where the existing car dealership is located is outlined as Regional Commercial (RC). Incorporation of Lots 15-18 within this land use district is in line with the proposed land use plan within the North I-25 SDP. Land Use Policy LUZ1 is furthered by this request.

Land Use Policy LUZ2: Promote land uses that contribute to the vitality of the Plan area and strengthen the economic and functional relationships to surrounding areas.

The request to change the land use designation for Lots 15-18 from industrial/manufacturing to commercial retail strengthens the economic and functional relationship to the surrounding area as most of the surrounding parcels are currently experiencing a transition toward commercial retail. The increased number of employees and customers that will frequent the dealership and surrounding businesses will also benefit the existing surrounding community. Land Use Policy LUZ2 is furthered by this request.

Community Design Goal / Community Design Plan: Provide quality development and a quality, cohesive visual environment throughout the Plan area for residents, businesses and visitors.

The general intent of the Community Design Plan is to provide design regulations for the effective and efficient design of new commercial and employment developments and for the redevelopment of existing areas within the Plan area. The proposal meets this intent by expanding an existing commercial business on existing vacant parcels within the Plan area. The Community Design Goal and Community Design Plan are furthered by this request.

7. No known neighborhood opposition exists for the request. No facilitated meeting was requested, recommended, or held regarding this request.

CONDITIONS OF APPROVAL – 1002848 Site Development Plan for Building Permit Amendment

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall

accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall submit a request to vacate the 30' Public Water & Sewer Easement to the DRB prior to final DRB sign off.
4. ABC Water Utility Authority Condition:
 - a. The ABCWUA shall verify fire flow capacity in the portion of the public water line that would remain leading up to an approval of a vacation and re-alignment request.
5. The new public waterline shall be installed at the applicant's expense.
6. City Engineer/Transportation Development Condition:
 - a. ADA Accessible parking spaces and aisles shall be dimensioned per ADA regulations.
7. DMD Transportation Planning Conditions:
 - a. Per the Long Range Roadway System map Alameda Blvd. is listed as a Principal Arterial and San Pedro a Collector. Along San Pedro the existing and proposed right-of-way lines are not well identified on the site development plan. The 17' public roadway easement called-out along San Pedro needs to instead be dedicated as public right-of-way. Per the Long Range Bikeway Systems map both Alameda and San Pedro are to contain striped on-street bike lanes with dimensions per the DPM, if they don't already exist along the site frontage.
8. Solid Waste Department Condition:
 - a. The refuse container shall comply with SWMD Ordinance, be converted to a top loading refuse container and include a note on the Site Details (Sheet 7 of 7) that the updated refuse container conforms to these requirements.
9. The Developer shall be responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).
10. PNM Conditions for Approval for Project #1002848 Site Development Plan for Building Permit:

- a. Existing overhead electric distribution facilities are located on the subject property along San Pedro NE and within the central portion of the site. The applicant is responsible to abide by any conditions or terms of those easements.
 - b. Coordination with PNM will be necessary for this project regarding proposed tree species, the height at maturity and tree placement and lighting height in order to ensure sufficient safety clearances to avoid interference with the existing electric facilities along San Pedro NE. Street trees indicated on the Landscape Plan, Sheet L100, are not a compatible height with the existing overhead electric distribution utilities on the eastern portion of the property. A shorter tree selection at mature height is recommended at this location. PNM's landscaping preference is for trees and shrubs to be planted outside the PNM easement; however, if within the easement, trees and shrubs should be located to minimize effects on electric facility maintenance and repair. New trees planted near PNM facilities should be no taller than 25 feet in height at maturity to avoid conflicts with existing electric infrastructure.
11. Detailed dimensions shall be added to the Site Details (Sheet 7 of 7) for the proposed 8 foot high steel painted gates shall be dimensioned on the elevations portion of the site plan.
12. The parking calculations section of the site plan shall be revised to include the following corrections:
- a. The Showroom/Office sub-totaled line listed at 151 must be updated to 152 spaces ($37,793 / 250 = 151.17$);
 - b. The Parts Warehouse sub-totaled line must be updated to 8 spaces ($14,167 / 2000 = 7.08$)
 - c. The sub-total for all required parking spaces must be changed to 280 ($227 + 8 + 45 = 280$)
 - d. The 10% Reduction sub-total must be changed to 28 ($280 / .10 = 28$);
 - e. The 10% Reduction Comprehensive Zoning Code Citation must be updated to read § 14-16-3-1 (E)(6)(a);
 - f. The Total Parking Required sub-total must be changed to 252 ($280 - 28 = 252$);
 - g. The total required Accessible Parking Required citation must be changed from 301-500 Spaces to 151-300 Spaces.
13. The proposed pilaster interval lengths shall be revised to show the maximum 20 foot interval requirement and the current vertical projection above each proposed pilaster shall be revised to meet the minimum 2 feet projection requirement from the public side of the wall surface per the Zoning Code.
14. Note 3 on the site plan and sheet 7 of 7 A101 Keynotes section shall be revised to read "6' High CMU Wall...", as they now incorrectly reads "6 inch High CMU Wall".

15. Building mounted lighting shall be added to the site plan as required by the North I-25 SDP.
16. A note shall be added that references the exception that tree canopy shall count towards the 75% vegetative ground cover requirement per the North I-25 Sector Development Plan.
17. Building mounted signage shall be revised to reflect the North I-25 Sector Development Plan requirements prior to final sign off if a variance has not been approved at that time.
18. General note 1 on the Exterior Elevations (Sheet 6 of 7) shall be removed. General note 5 on the Exterior Elevations (Sheet 6 of 7) shall be revised to: A variance application shall be submitted for building mounted signage. If the variance is not approved, signage shall be revised to reflect the North I-25 Sector Development Plan prior to final sign off.
19. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
20. A re-plat is required through the DRB to consolidate the existing 6 lots into one lot.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **August 29, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.



December 2, 2014

Jack Cloud, Chairman
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Project 1002848, 14EPC-40043

Landscape Architecture
Urban Design
Planning Services

Dear Mr. Chairman:

302 Eighth St. NW
Albuquerque, NM 87102

The purpose of this letter is to explain how we have addressed the Environmental Planning Commission's (EPC) conditions of approval for Project 1002848, Case number 14EPC-40043, a Zone Map Amendment and Site Development Plan for Building Permit Amendment which were approved on August 15, 2014.

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The applicant, Miller Family Real Estate, has decided to reduce the building square footage to 90,096 square feet from the original 111,620 square feet. This decision was made for two reasons. The reduction of the building square footage moves the building away from the flood plain on the property that was discovered after EPC approval of the Site Plan for Building Permit. Furthermore, Miller Family Real Estate made the decision to reduce the building footprint to reflect their updated design for the service portion of the business. The reduction in square footage occurs on the rear/service portion of the property and does not impact the circulation, access, or customer/public portion of the building. The design of the building has remained relatively the same with the exception of the rooftop parking that has been eliminated. Due to the reduction of the building's footprint, rooftop parking is no longer required.

The agent has met with City Planning staff to go over the building reduction on October 27, 2014. At this meeting, it was determined that the proposed building footprint reduction is consistent with the EPC approved Site Plan for Building Permit. The agent met with Staff Planner Vicente Quevedo on December 1, 2014 to go over the following conditions of approval.

ZONE MAP AMENDMENT CONDITIONS OF APPROVAL

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB, pursuant to §14-16-4-1(C)(16) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

PRINCIPALS

James K. Strozier, AICP
Christopher J. Green, PLA, ASLA, LEED AP
Jacqueline Fishman, AICP
Laurie Firor, PLA, ASLA

We agree.



SITE PLAN FOR BUILDING PERMIT AMENDMENT CONDITIONS OF APPROVAL

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

We agree. This letter satisfies that request.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

We agree. We met with City Planning staff to go over the building reduction on October 27, 2014. At this meeting, it was determined that the proposed building footprint reduction is consistent with the EPC approved Site Plan for Building Permit. We also met with Staff Planner Vicente Quevedo on December 1, 2014 to go over the EPC conditions of approval.

3. The applicant shall submit a request to vacate the 30' Public Water & Sewer Easement to the DRB prior to the final DRB sign off.

This request has been made and approved.

4. ABC Water Utility Authority Condition:
 - a. The ABCWUA shall verify fire flow capacity in the portion of the public water line that would remain leading up to an approval of a vacation and re-alignment request.

This request has been made.

5. The new public waterline shall be installed at the applicant's expense.

We agree.

6. City Engineer/Transportation Development Condition:
 - a. ADA Accessible parking spaces and aisles shall be dimensioned per ADA regulations.

ADA Accessible parking spaces are dimensioned per ADA regulations on the Site Plan for Building Permit.

7. DMD Transportation Planning Conditions:
 - a. Per the Long Range Roadway System map Alameda Blvd. is listed as a Principal Arterial and San Pedro a Collector. Along San Pedro the existing and proposed right-of-way lines are not well identified on the site



development plan. The 17' public roadway easement called-out along San Pedro needs to instead be dedicated as public right-of-way. Per the Long Range Bikeway Systems map both Alameda and San Pedro are to contain striped on-street bike lanes with dimensions per the DPM, if they don't already exist along the site frontage.

We agree and this has been reflected on the Site Plan for Building Permit.

8. Solid Waste Department Condition:
 - a. The refuse container shall comply with SWMD Ordinance, be converted to a top loading refuse container and include a note on the Site Details (Sheet 7 of 7) that the updated refuse container conforms to these requirements.

We agree. This has been reflected on the Site Details Sheet.

9. The Developer shall be responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).

We agree.

10. PNM Conditions for Approval for Project #1002848 Site Development Plan for Building Permit:

- a. Existing overhead electric distribution facilities are located on the subject property along San Pedro NE and within the central portion of the site. The applicant is responsible to abide by any conditions or terms of those easements.

We agree. The property owner is coordinating with PNM.

- b. Coordination with PNM will be necessary for this project regarding proposed tree species, the height at maturity and tree placement and lighting height in order to ensure sufficient safety clearances to avoid interference with the existing electric facilities along San Pedro NE. Street trees indicated on the Landscape Plan, Sheet L 100, are not a compatible height with the existing overhead electric distribution utilities on the eastern portion of the property. A shorter tree selection at mature height is recommended at this location. PNM's landscaping preference is for trees and shrubs to be planted outside the PNM easement; however, if within the easement, trees and shrubs should be located to minimize effects on electric facility maintenance and repair. New trees planted near PNM facilities should be no taller than 25 feet in height at maturity to avoid conflicts with existing electric infrastructure.

We agree. The Landscape Plan has been modified to reflect a selection of trees shorter than 25 feet in areas that could potentially create conflicts with existing electric infrastructure.



11. Detailed dimensions shall be added to the Site Details (Sheet 7 of 7) for the proposed 8 foot high steel painted gates shall be dimensioned on the elevations portion of the site plan.

This change has been made. See Site Details Sheet.

12. The parking calculations section of the site plan shall be revised to include the following corrections:
 - a. The Showroom/Office sub-totaled line listed at 151 must be updated to 152 spaces ($37,793 / 250 = 151.17$);
 - b. The Parts Warehouse sub-totaled line must be updated to 8 spaces ($14,167 / 2000 = 7.08$)
 - c. The sub-total for all required parking spaces must be changed to 280 ($227 + 8 + 45 = 280$)
 - d. The 10% Reduction sub-total must be changed to 28 ($280 / .10 = 28$);
 - e. The 10% Reduction Comprehensive Zoning Code Citation must be updated to read § 14-16-3-1 (E)(6)(a);
 - f. The Total Parking Required sub-total must be changed to 252 ($280 - 28 = 252$);
 - g. The total required Accessible Parking Required citation must be changed from 301-500 Spaces to 151-300 Spaces.

This condition is no longer relevant as the building footprint has reduced. The calculations reflect new square footage.

13. The proposed pilaster interval lengths shall be revised to show the maximum 20 foot interval requirement and the current vertical projection above each proposed pilaster shall be revised to meet the minimum 2 feet projection requirement from the public side of the wall surface per the Zoning Code.

This change has been addressed. Please see details sheet A101.

14. Note 3 on the site plan and sheet 7 of 7 A101 Keynotes section shall be revised to read "6' High CMU Wall ... ", as they now incorrectly reads "6 inch High CMU Wall".

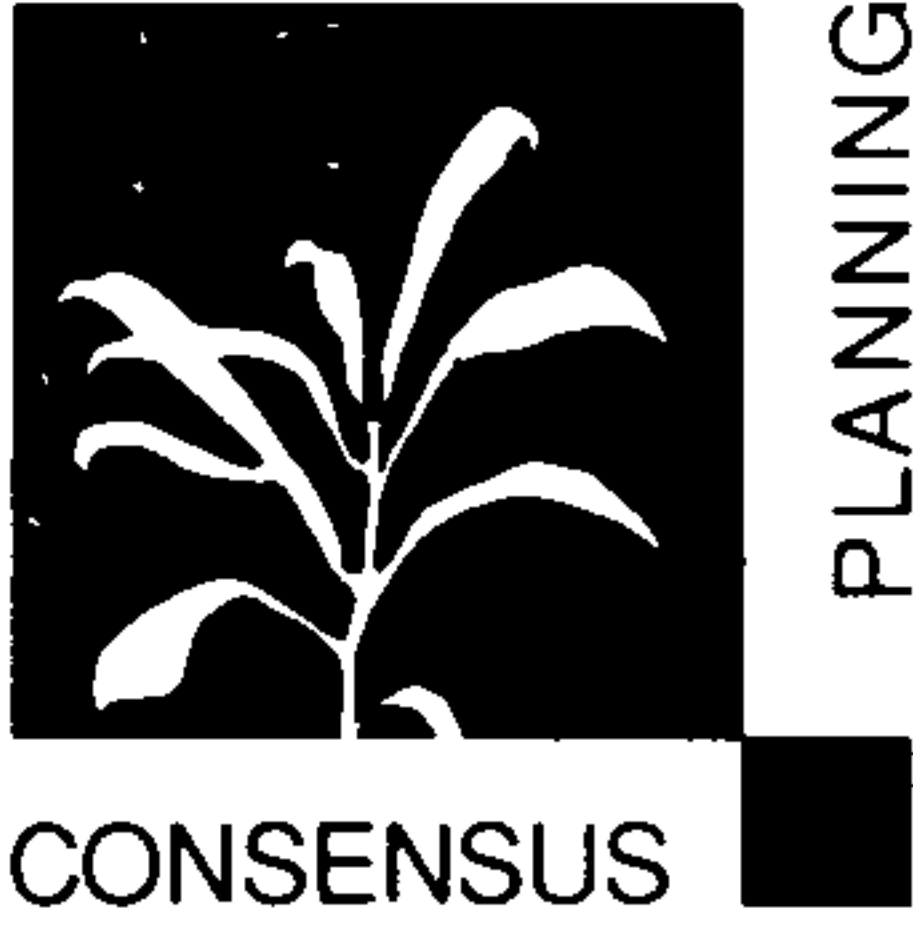
The note has been corrected to reflect the appropriate dimensioning.

15. Building mounted lighting shall be added to the site plan as required by the North 1-25 SDP.

Building mounted lighting is indicated on Photometrics Plan E200.

16. A note shall be added that references the exception that tree canopy shall count towards the 75% vegetative ground cover requirement per the North I-25 Sector Development Plan.

This note has been added. Please see Landscape Plan.



17. Building mounted signage shall be revised to reflect the North I-25 Sector Development Plan requirements prior to final sign off if a variance has not been approved at that time.

A variance application was made for the additional building mounted signage. This variance request was heard on November 18, 2014. The Zoning Hearing Examiner will issue the official Notice of Decision 15 days after the hearing. We anticipate the Notice of Decision for Approval prior to DRB.

18. General note 1 on the Exterior Elevations (Sheet 6 of 7) shall be removed. General note 5 on the Exterior Elevations (Sheet 6 of 7) shall be revised to: A variance application shall be submitted for building mounted signage. If the variance is not approved, signage shall be revised to reflect the North I-25 Sector Development Plan prior to final sign off.

General note 1 has on the Exterior Elevations Sheet has been removed. A variance application has been submitted for building mounted signage. This request was heard by the Zoning Hearing Examiner on November 18, 2014. The ZHE will issue the official Notice of Decision 15 days after the hearing. We anticipate the Notice of Decision for Approval prior to DRB.

19. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

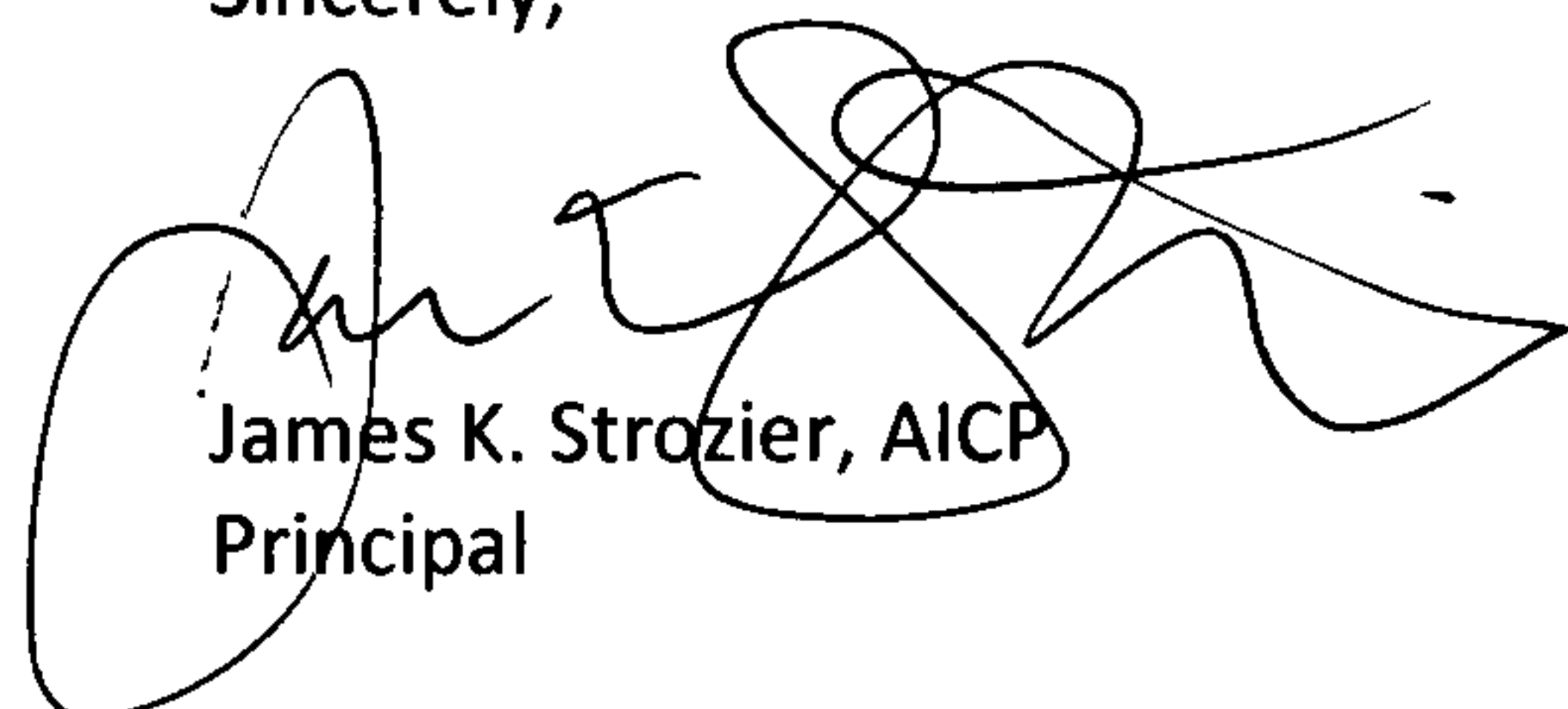
We agree.

20. A re-plat is required through the ORB to consolidate the existing 6 lots into one lot.

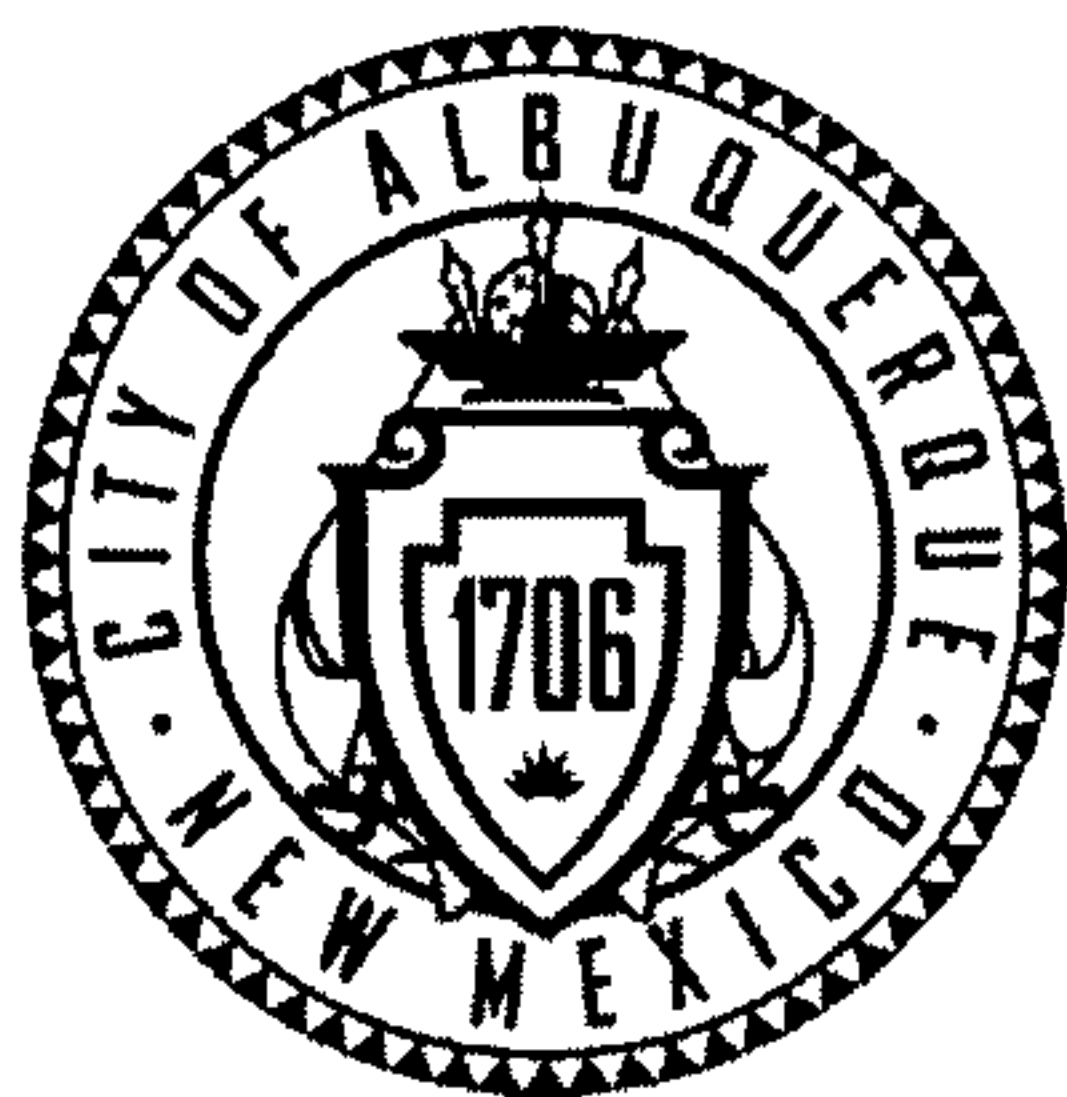
A plat has been submitted and will be heard together with the Site Plan for Building Permit at DRB.

Please do not hesitate to contact me at 764-9801 with any questions or additional information you may need.

Sincerely,



James K. Strozier, AICP
Principal



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
Perry, CAO
December 4, 2014

Robert J.

**SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance
Documentation**

Project Number(s): 1002848

Case Number(s):

Agent: Rio Grande Engineering

Applicant: Fountain Hills, LLC

**Legal Description: Tract A and B, Lands of American Toyota and Lots 15-18,
Block 10, Tract A, Unit B, North Albuquerque Acres**

Zoning : SU-2 for IP

Acreage: 10 acres

Zone Atlas Page: C-18

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

**TREATMENT PLAN REVIEW:
DISCOVERY:**

**SUPPORTING DOCUMENTATION:
SITE VISIT: n/a**

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED ((ref O-07-72 Section 4B(2)—
extensive previous land disturbance) .***

SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist

PROJECT #

10028-18

DECEMBER 10. 2014

(SBF)
(12/1)