

**SITE DATA**

	GROSS AREA	BUILDING AREA	NET SITE	LANDSCAPED AREA	% TO NET LANDSCAPE
EXISTING	289,286 SF	42,430 SF	227,456 SF	46,328 SF	20%
PROPOSED	1283,858 SF	64,465 SF	1229,743 SF	36,801 SF	13%

BICYCLE PARKING  
BICYCLE PARKING REQUIRED: 2 SPACES (1 PER 20 PARKING SPACES, BUT NOT LESS THAN 2 SPACES PER PREMISES)  
BICYCLE PARKING PROVIDED: 7 SPACES

**REQUIRED PARKING DATA CALCULATION**

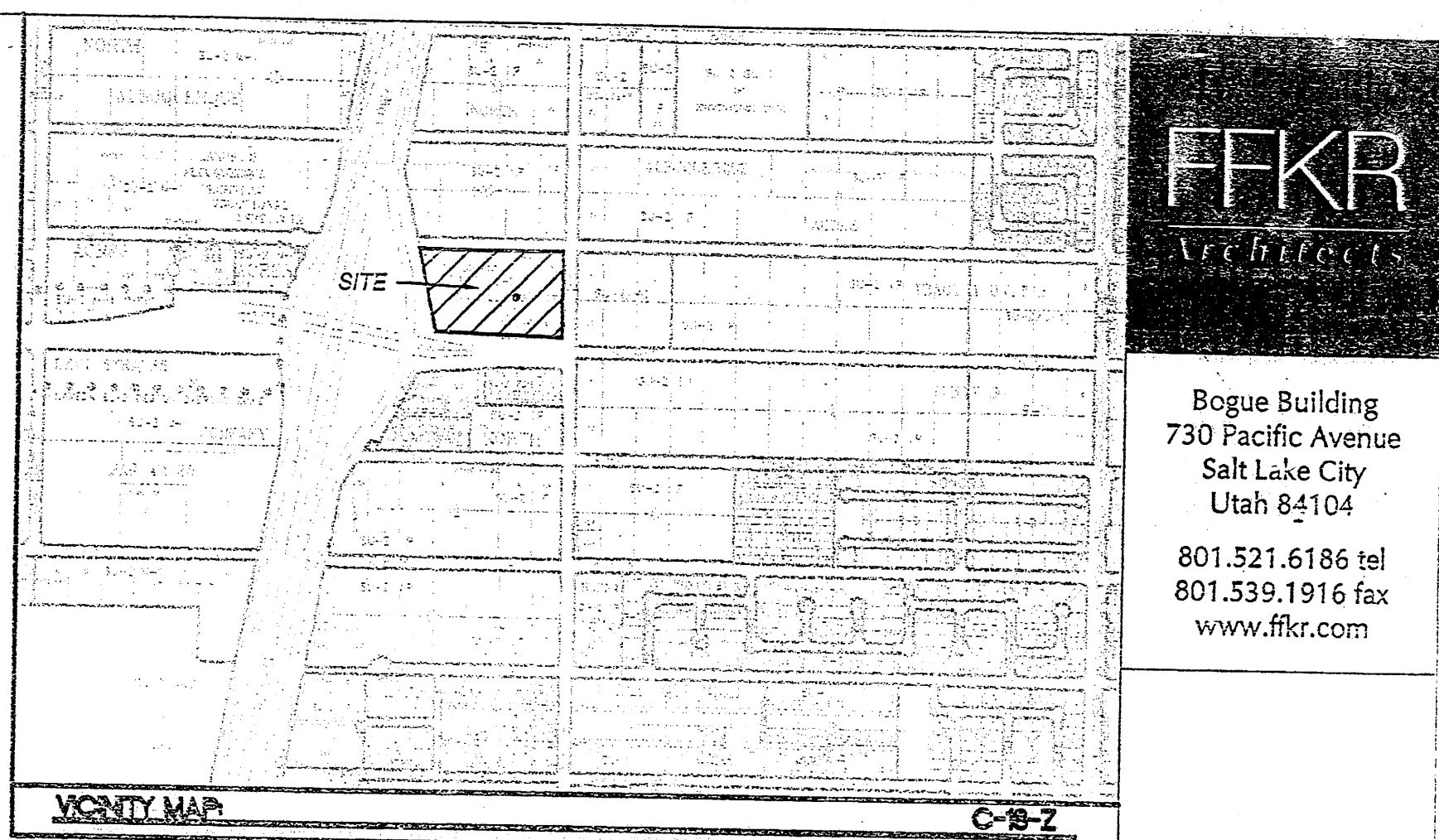
SPACE	SIZE	FACTOR	REQUIRED STALLS
SHOWROOM / OFFICE	15,485 SF	1 SPACE PER 200 SF	78
PARTS WAREHOUSE	12,378 SF	1 SPACE PER 1000 SF	13
SERVICE / INSPECTION	33,938 SF	1 SPACE PER 1000 SF	34
WASH BAYS	2,647 S.F.	1 SPACE PER 1000 SF	3
<b>TOTAL REQUIRED</b>			<b>128</b>
<b>REQUIRED ACCESSIBLE</b>			<b>8</b>

**PROVIDED PARKING**

SPACE	PROVIDED SPACES
CUSTOMER/EMPLOYEE	76
SERVICE BAYS	48
DETAIL BAYS	4
ACCESSIBLE	8
DISPLAY *	355
<b>TOTAL</b>	<b>491</b>

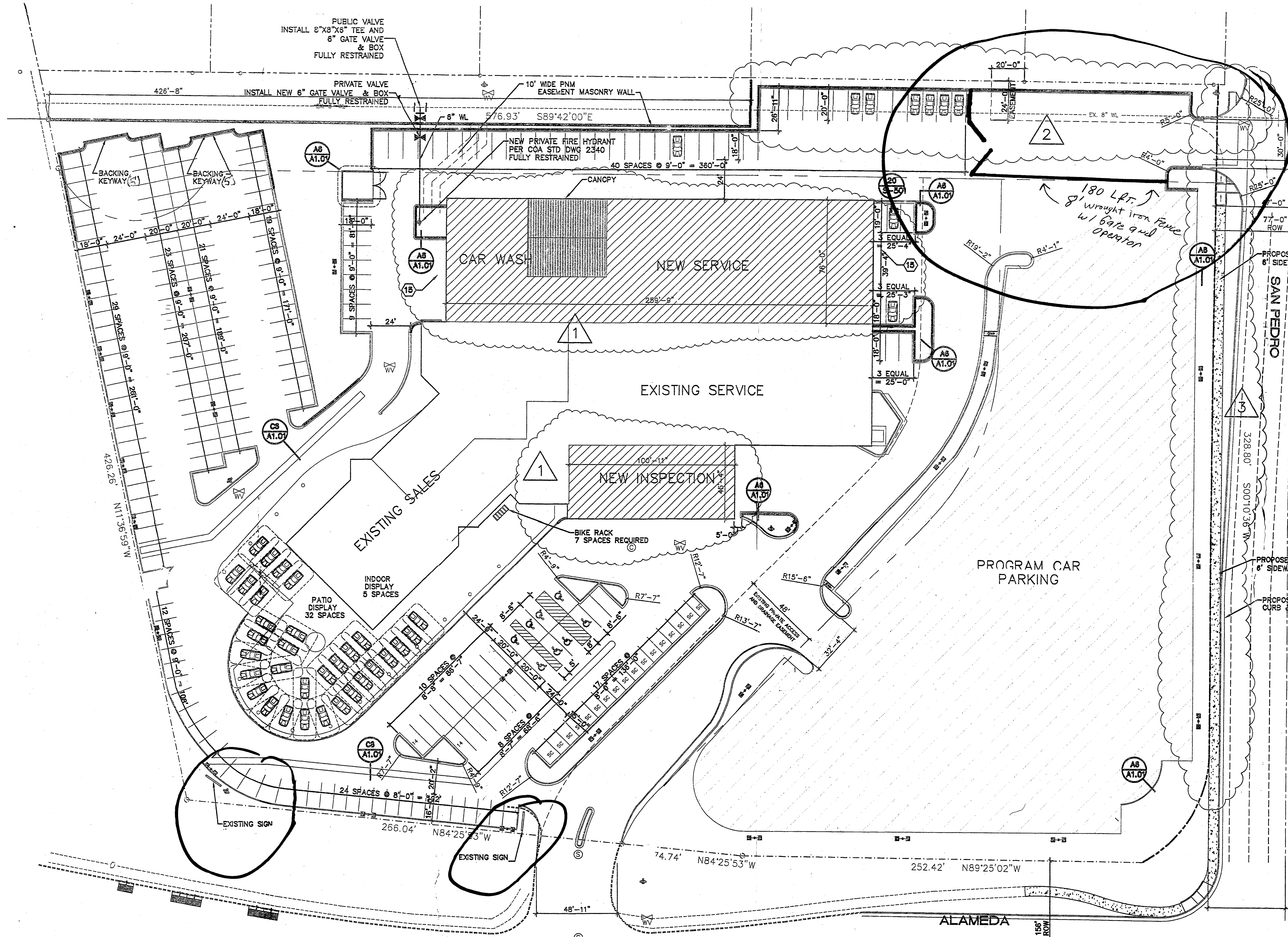
\* 355 DISPLAY PARKING = 439 PARKING SPACES (ON SITE)  
ACCESSIBLE SPACES MINUS 8  
CUSTOMER SPACES MINUS 76  
OTHER SPACES

OTHER SPACES	SPACES
INDOOR DISPLAY	5
PATIO DISPLAY	32



DUMPSTER ENCLOSURE DETAIL

LIGHT POLE DETAIL



- 1 EXISTING CURB AND GUTTER TO BE REMOVED
- 2 NEW CURB AND GUTTER
- 3 EXISTING LIGHT POLE TO REMAIN
- 4 NEW SIDEWALK
- 5 EXISTING RETAINING WALL
- 6 EXISTING LIGHT POLE TO BE RELOCATED
- 7 EXISTING WATER TANK
- 8 EXISTING ELECTRICAL
- 9 EXISTING SIGNAGE
- 10 EXISTING VEGETATION TO BE REMOVED
- 11 PARKING STRIPES TO BE REMOVED
- 12 EXISTING FIRE HYDRANT TO REMAIN
- 13 EXISTING LANDSCAPE TO REMAIN
- 14 NEW LANDSCAPING TO MATCH EXISTING
- 15 NEW CONCRETE APRON

**ADMINISTRATIVE AMENDMENT**  
File # 222A-0201 Project # 1002848  
Free-standing sign locations and wrought iron fence and gate.  
APPROVED BY: [Signature] DATE: [Date]

**PROJECT NUMBER: 1002848 2201**  
**APPLICATION NUMBER: 06EPC-02047 04-2008**

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [Date] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes ( ) No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineer, Transportation Division	Date: 4/20/04
Utilities Development	Date: 4/16/04
Parks & Recreation Department	Date: 4/17/04
City Engineer	Date: 4/17/04
Environmental Health Department (conditional)	Date: [ ]
Solid Waste Management	Date: [ ]
DRB Chairperson, Planning Department	Date: 4/16/04
Environmental Health, if necessary	Date: 12/18/03

- SHEET INDEX**
- A1.00 AMENDED SITE PLAN
  - A2.00 AMENDED LANDSCAPE PLAN
  - A3.00 AMENDED EXTERIOR ELEVATIONS
  - A3.01 AMENDED EXTERIOR ELEVATIONS
  - A4.00 AMENDED GRADING PLAN
  - A5.00 SIGN DETAILS

- A1 APPROVED SITE DATA & LANDSCAPING PLAN
- A2 APPROVED EXTERIOR ELEVATIONS
- A3 APPROVED EXTERIOR ELEVATIONS
- A4 APPROVED SITE DIMENSION PLAN

LIMITS OF WORK ORDER PROJECT NO. 692481

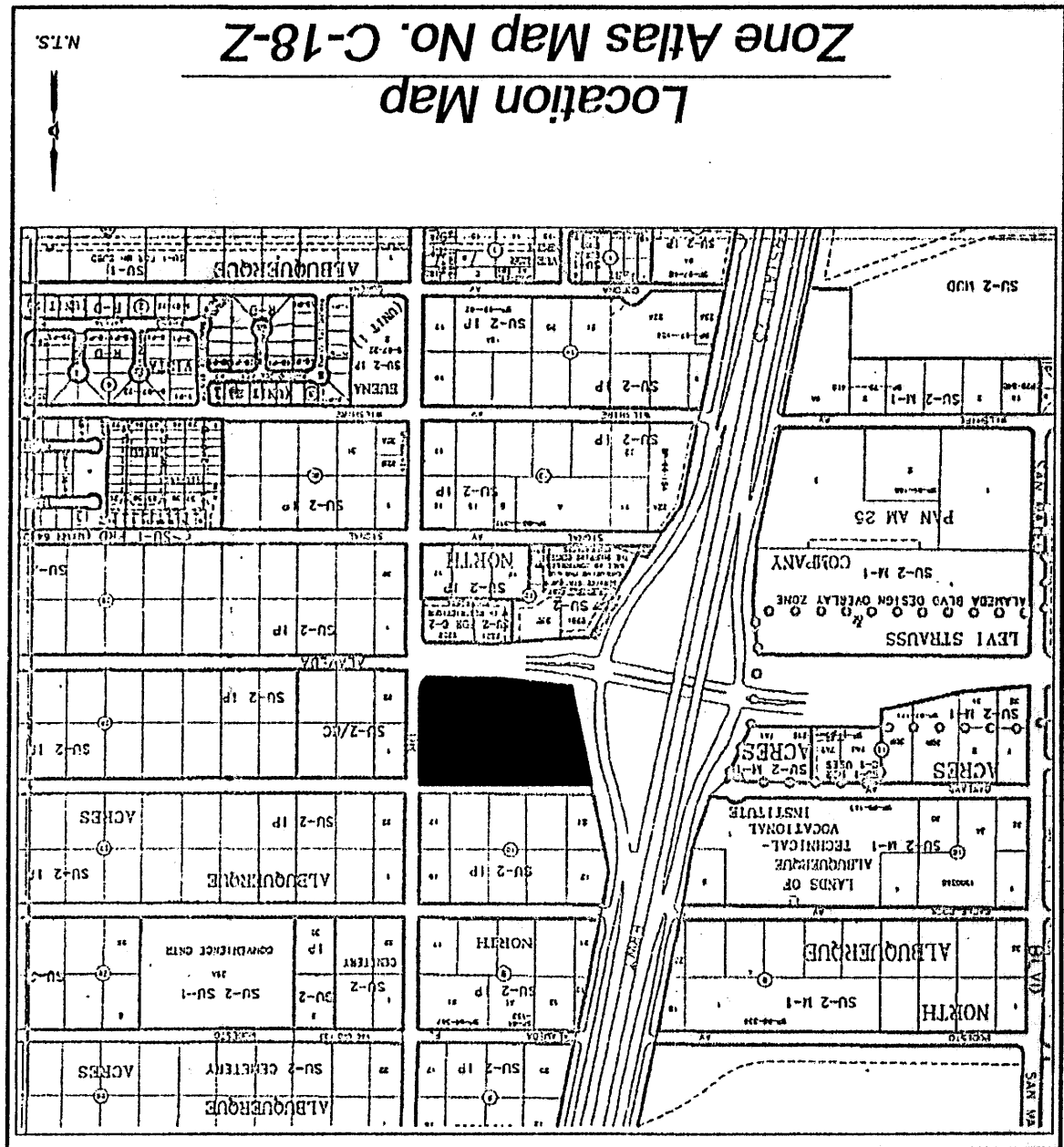
**A5 SITE PLAN**  
SCALE: 1" = 30'-0" 0 15' 30' 60'

NO.	DATE	REVISIONS	BY
4	03/14/04	PROGRAM CAR PARKING, EXISTING/NEW SIGN, BIKE RACK SPACES	BJF
3	11/07/03	4' RIGHT OF WAY DEDICATION	BDC
2	11/07/03	EXPANDED PARKING AREA	BDC
1	11/06/03	ADDED EXPANSION BUILDING, SERVICE AND INSPECTION AREA	BDC

American Toyota  
Alameda @ I-25  
Albuquerque, New Mexico

DATE	STATUS
4/5/04 <td>AS NOTED</td>	AS NOTED

8.3.3 Review  
PROJECT NUMBER: 220082  
CAD DWG FILE: 2282SP-2-AA  
DRAWN BY: BJF  
CHECKED BY: SL  
DATE: 4/5/04  
SCALE: AS NOTED  
**AMENDED SITE PLAN**  
A1.00



**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 6.7434 ACRES  
 ZONE ATLAS INDEX NO: C-18-2  
 NO. OF TRACTS CREATED: 2  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: JANUARY 13, 2003

**Notes:**

1. MISC. DATA: ZONING SU-2-SU-1 AUTOMOBILE SALES, SERVICE AND REPAIR
2. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927)
3. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
4. THIS PROPERTY LIES WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
5. THE PURPOSE OF THIS PLAT IS TO VACATE RIGHT OF WAY AND TO CONSOLIDATE THE VACATED RIGHT OF WAY AND THE EXISTING TWO TRACTS INTO TWO NEW TRACTS.
6. PLAT SHOWS ALL EASEMENTS OF RECORD.
7. SP NO. 2003051240.

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED:

1. PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF: ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES NECESSARY TO PROVIDE NATURAL GAS.
3. GUEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDSTALS AND CLOSURES.
4. RELATED EQUIPMENT AND FACILITIES NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON, PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTY HEREON, CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR, EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS, SAID OWNER AND/OR PROPRIETOR HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED, SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFENSIBLE TITLE TO THE LAND SHOWN.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

**Acknowledgment**

MICHAEL MALOUFF, JR. A UTILITY PARTNERSHIP  
 MICHAEL MALOUFF, JR. AGENT FOR MILLER FAMILY REAL ESTATE, LLC  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22 DAY OF April 2003 BY STATE OF TEXAS (New Mexico) County of Dumas (Bernalillo) New Mexico  
 BY *Michael Malouff, Jr.* MY COMMISSION EXPIRES: 10-16-06  
 NOTARY PUBLIC

**Legal Description**

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS A AND B OF AMERICAN TOYOTA AND DESIGNATED ON THE PLAT ENTITLED "BULK LAND TRANSFER PLAT FOR AMERICAN TOYOTA TRACTS A AND B, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 9, 1986, IN VOLUME C31, FOLIO 114, TOGETHER WITH THE VACATED SOUTHERLY THIRTY (30) FEET OF OAKLAND AVENUE, N.E. AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT, FROM WHENCE A TIE TO THE ALBUQUERQUE CITY MONUMENT "10-C18" BEARS N 04°20'36" E, A DISTANCE OF 985.86 FEET, SAID POINT LYING ON THE WEST RIGHT-OF-WAY LINE OF SAN PEDRO DRIVE, N.E. AND BEING A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993".

THENCE, FROM SAID BEGINNING POINT, S 00°10'38" W, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 412.62 FEET TO A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993".

THENCE, LEAVING SAID WEST RIGHT OF WAY, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 80.00 FEET, A DELTA ANGLE OF 56°32'50", AN ARC LENGTH OF 78.95 FEET AND A CHORD OF S 28°27'01" W, A DISTANCE OF 75.79 FEET TO A NON-TANGENT POINT LYING ON THE NORTH RIGHT OF WAY LINE OF ALAMEDA AVENUE, N.E., MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993".

THENCE, ALONG SAID NORTH RIGHT OF WAY LINE, N 89°25'02" W, A DISTANCE OF 252.42 FEET TO A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993".

THENCE, CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, N 84°25'53" W, A DISTANCE OF 340.78 FEET TO THE SOUTHWEST CORNER MARKED BY A FOUND REBAR WITH CAP (BENT/ALLEGIBLE).

THENCE, LEAVING SAID NORTH RIGHT OF WAY LINE ALONG THE EAST RIGHT OF WAY LINE OF NORTH BOUND INTERSTATE 25 FRONTAGE ROAD N 11°36'59" W, A DISTANCE OF 426.26 FEET TO A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993".

THENCE, LEAVING SAID EAST RIGHT-OF-WAY LINE S 89°42'00" E, A DISTANCE OF 427.55 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 11993".

THENCE, N 00°13'23" E, A DISTANCE OF 29.79 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 11993".

THENCE, S 89°42'25" E, A DISTANCE OF 287.13 FEET TO THE POINT OF BEGINNING, CONTAINING 6.9398 ACRES (302,300 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACTS A-1 AND B-1, AMERICAN TOYOTA.

RECORDING STAMP

**Plat of**

**American Toyota**

Tracts A-1 and B-1

Abuquerque, Bernalillo County, New Mexico

April 2003

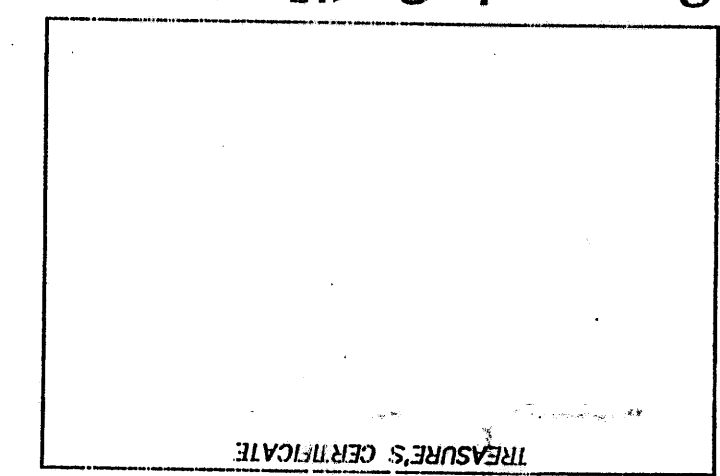
APPROVED BY

**Approvals**

Application No. 1018103

CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAVEL ENGINEER	DATE
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
UTILITY DEVELOPMENT DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
WEST CORPORATION	DATE
COMCAST CABLE	DATE

**Surveyor's Certificate**



I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.



**PRECISION SURVEYS, INC.**  
 8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

**Project No.**

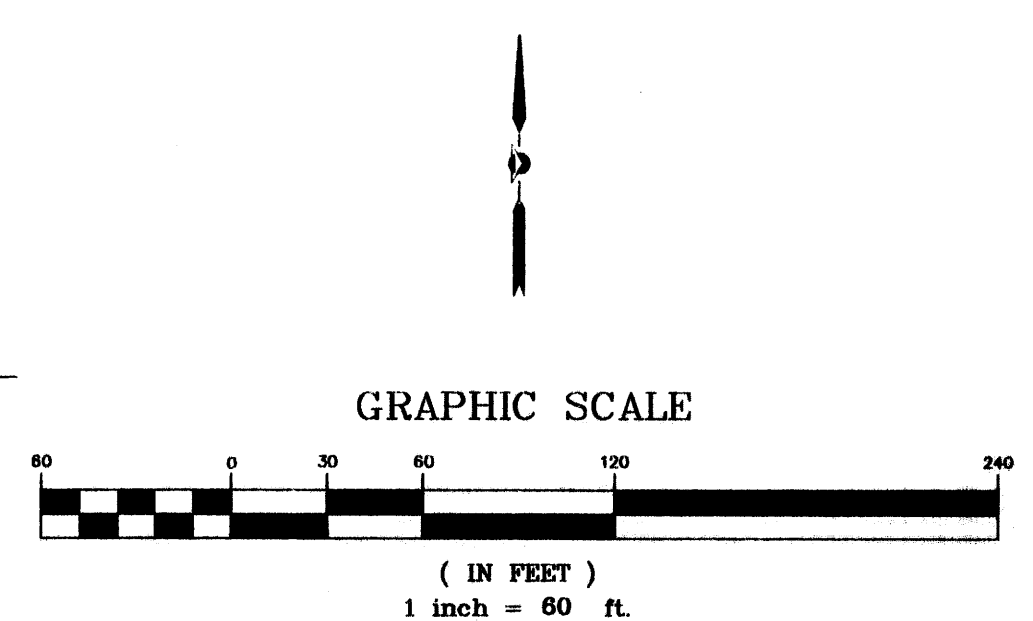
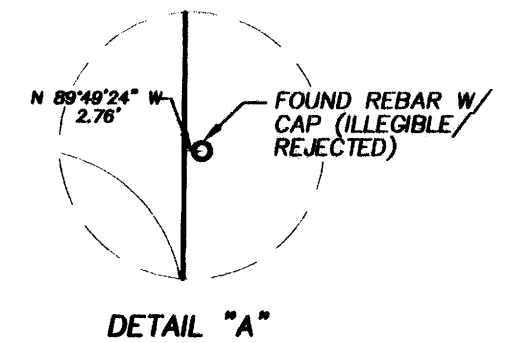
Sheet 1 of 2

02424P

Plat of  
 Tracts A-1 and B-1  
**American Toyota**  
 Albuquerque, Bernalillo County, New Mexico  
 April 2003

**Legend**

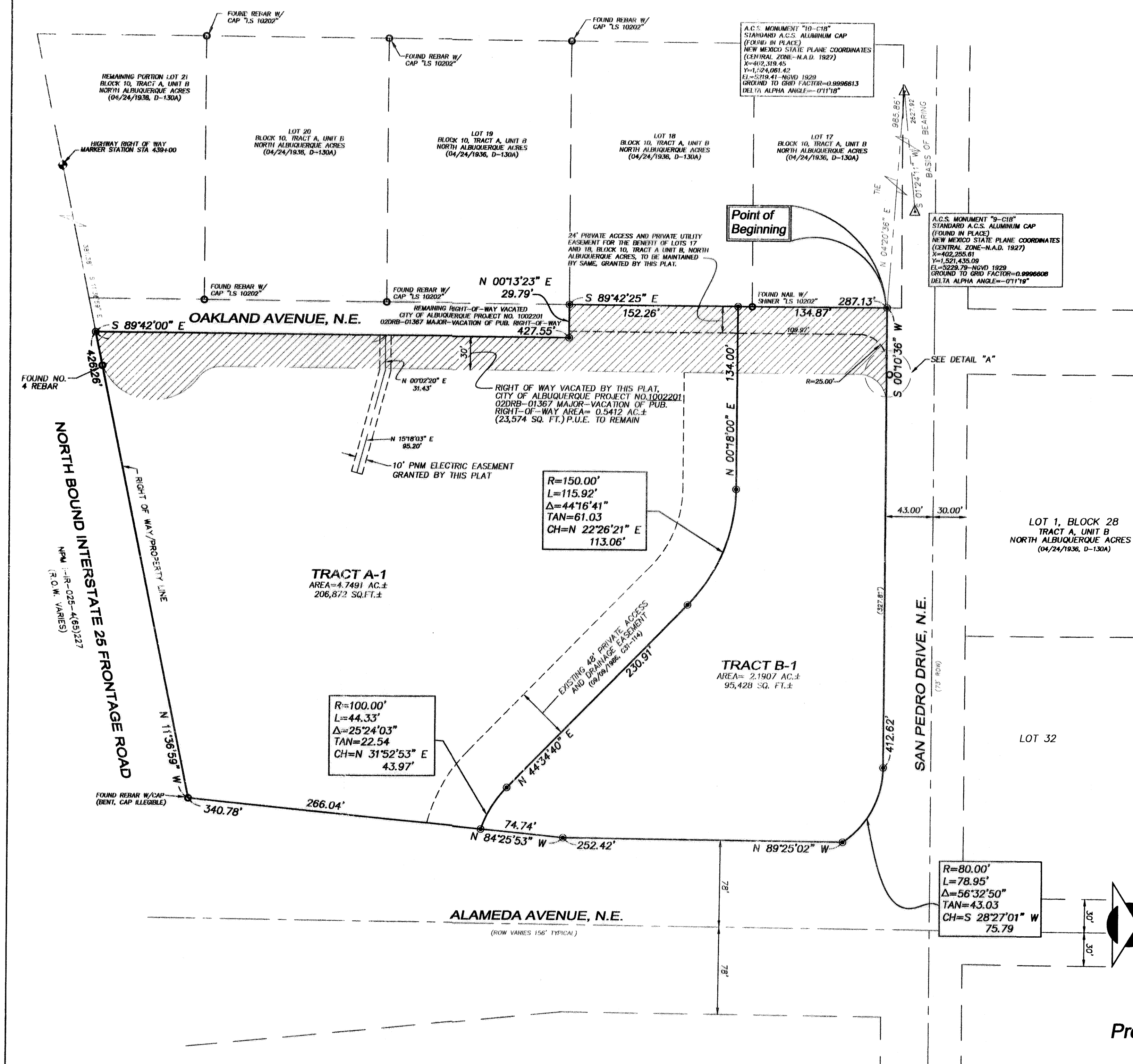
N 90°00'00" E	MEASURED BEARING AND DISTANCES MATCH RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES REBAR W/CAP "PS 11993" SET THIS SURVEY UNLESS OTHERWISE NOTED



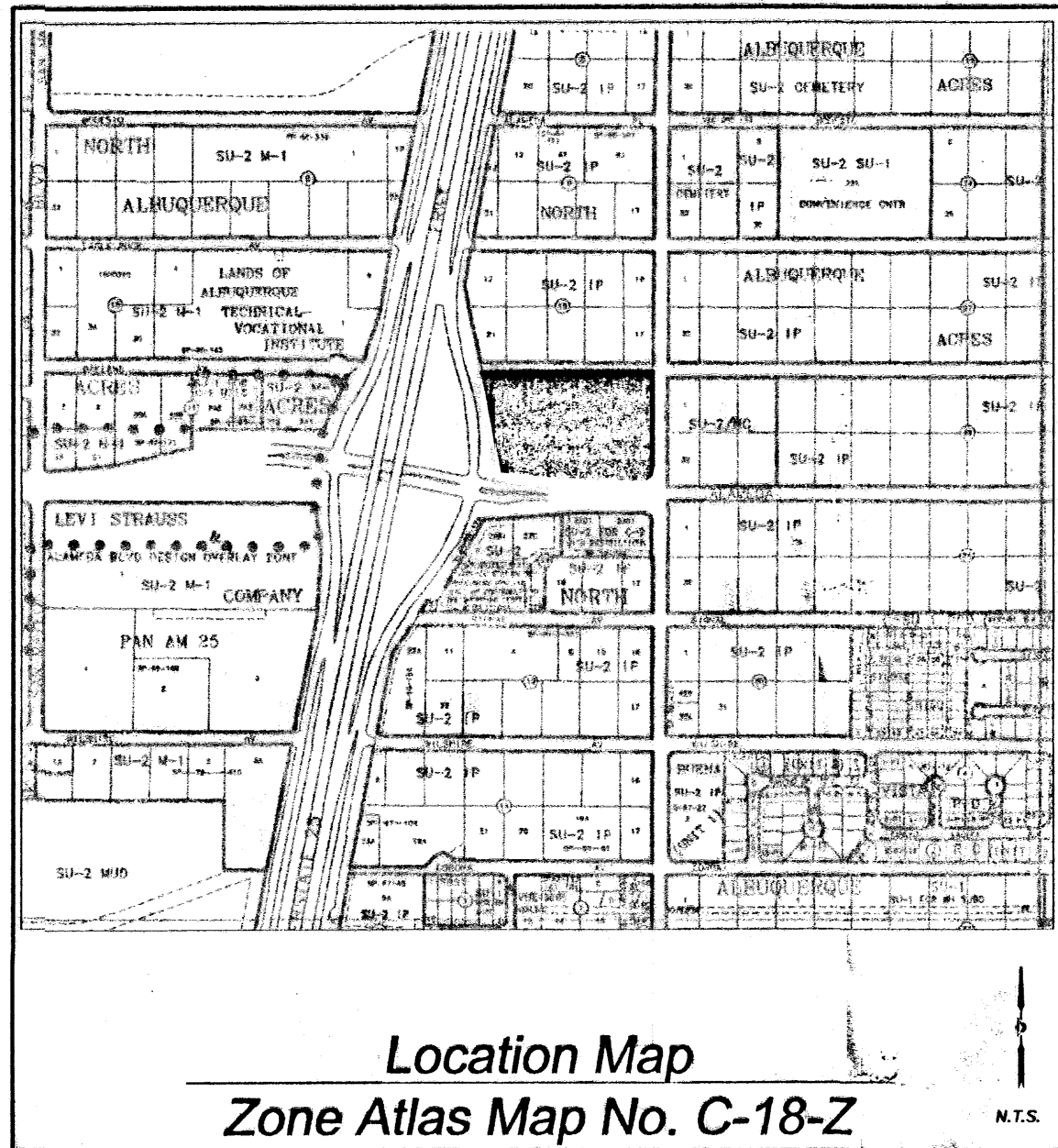
**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Project No. \_\_\_\_\_  
 Sheet 2 of 2



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Location Map  
Zone Atlas Map No. C-18-Z

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 6.9398 ACRES±  
 ZONE ATLAS INDEX NO: C-18-Z  
 NO. OF TRACTS CREATED: 2  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: JANUARY 13, 2003

**Notes:**

- MISC. DATA: ZONING SU-2 SU-1 AUTOMOBILE SALES, SERVICE AND REPAIR
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2003051240

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP

**Legal Description**

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS A AND B OF AMERICAN TOYOTA AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT ENTITLED "BULK LAND TRANSFER PLAT FOR AMERICAN TOYOTA TRACTS A AND B, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 9, 1986, IN VOLUME C31, FOLIO 114, TOGETHER WITH THE VACATED SOUTHERLY THIRTY (30) FEET OF OAKLAND AVENUE, N.E. AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT, FROM WHENCE A TIE TO THE ALBUQUERQUE CITY MONUMENT "10-C18" BEARS N 04°20'36" E, A DISTANCE OF 985.86 FEET, SAID POINT LYING ON THE WEST RIGHT-OF-WAY LINE OF SAN PEDRO DRIVE, N.E. AND BEING A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE, FROM SAID BEGINNING POINT, S 00°10'36" W, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 412.62 FEET TO A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE, LEAVING SAID WEST RIGHT OF WAY, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 80.00 FEET, A DELTA ANGLE OF 56°32'50", AN ARC LENGTH OF 78.95 FEET AND A CHORD OF S 28°27'01" W, A DISTANCE OF 75.79 FEET TO A NON-TANGENT POINT LYING ON THE NORTH RIGHT OF WAY LINE OF ALAMEDA AVENUE, N.E., MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE, ALONG SAID NORTH RIGHT OF WAY LINE N 89°25'02" W, A DISTANCE OF 252.42 FEET TO A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE, CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, N 84°25'53" W, A DISTANCE OF 340.78 FEET TO THE SOUTHWEST CORNER MARKED BY A FOUND REBAR WITH CAP (BENT/ILLEGIBLE);

THENCE, LEAVING SAID NORTH RIGHT OF WAY LINE ALONG THE EAST RIGHT OF WAY LINE OF NORTH BOUND INTERSTATE 25 FRONTAGE ROAD N 11°36'59" W, A DISTANCE OF 426.26 FEET TO A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE, LEAVING SAID EAST RIGHT-OF-WAY LINE S 89°42'00" E, A DISTANCE OF 427.55 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE, N 00°13'23" E, A DISTANCE OF 29.79 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE, S 89°42'25" E, A DISTANCE OF 287.13 FEET TO THE POINT OF BEGINNING, CONTAINING 6.9398 ACRES (302,300 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACTS A-1 AND B-1, AMERICAN TOYOTA.

**Disclosure Statement**

THE PURPOSE OF THIS PLAT IS TO VACATE RIGHT OF WAY AND TO CONSOLIDATE THE VACATED RIGHT OF WAY AND THE EXISTING TWO TRACTS INTO TWO NEW TRACTS, TO GRANT EASEMENTS AND TO DEDICATE RIGHT OF WAY

**Free Consent and Dedication**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

Michael Malouff, Jr. 2/22/04  
 MICHAEL MALOUFF, JR.  
 AGENT FOR MILLER FAMILY REAL ESTATE, LLC  
 A UTAH PARTNERSHIP

**Acknowledgment**

STATE OF NEW MEXICO ) ss  
 COUNTY OF BERNALILLO )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27 DAY OF FEB, 2004 BY MICHAEL MALOUFF, JR., AGENT FOR MILLER FAMILY REAL ESTATE, LLC, A UTAH PARTNERSHIP.

BY Marilyn Thum MY COMMISSION EXPIRES: 10-11-06  
 NOTARY PUBLIC

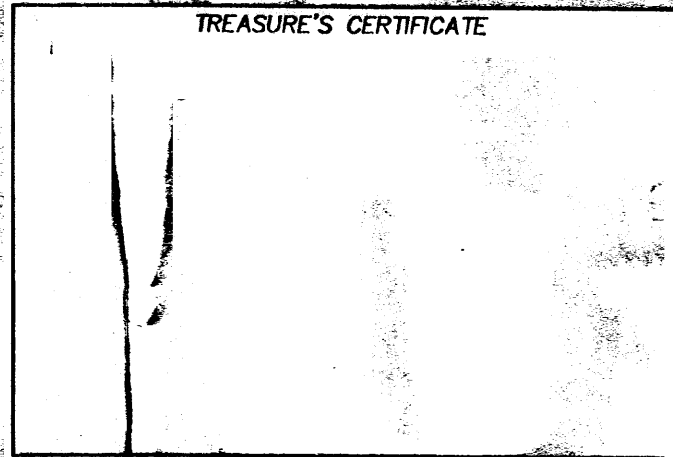
Plat of  
 Tracts A-1 and B-1  
**American Toyota**

Albuquerque, Bernalillo County, New Mexico

FINAL PRELIMINARY PLAT  
 APPROVED BY DRB  
 Application No. ON 4/21/04

Approvals

CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER <u>[Signature]</u>	DATE <u>3-16-04</u>
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
UTILITY DEVELOPMENT DIVISION	DATE
PARKS AND RECREATION DEPARTMENT <u>[Signature]</u>	DATE <u>4-6-04</u>
PNM ELECTRIC SERVICES <u>[Signature]</u>	DATE <u>4-6-04</u>
PNM GAS SERVICES <u>[Signature]</u>	DATE <u>4-6-04</u>
QWEST CORPORATION <u>[Signature]</u>	DATE <u>7/6/04</u>
COMCAST CABLE	DATE



04DRB-1002201  
 Project 1002848

**Surveyor's Certificate**

LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 2/22/04  
 LARRY W. MEDRANO  
 N.M.P.S., No. 11993  
 DATE



**PRECISION SURVEYS, INC.**

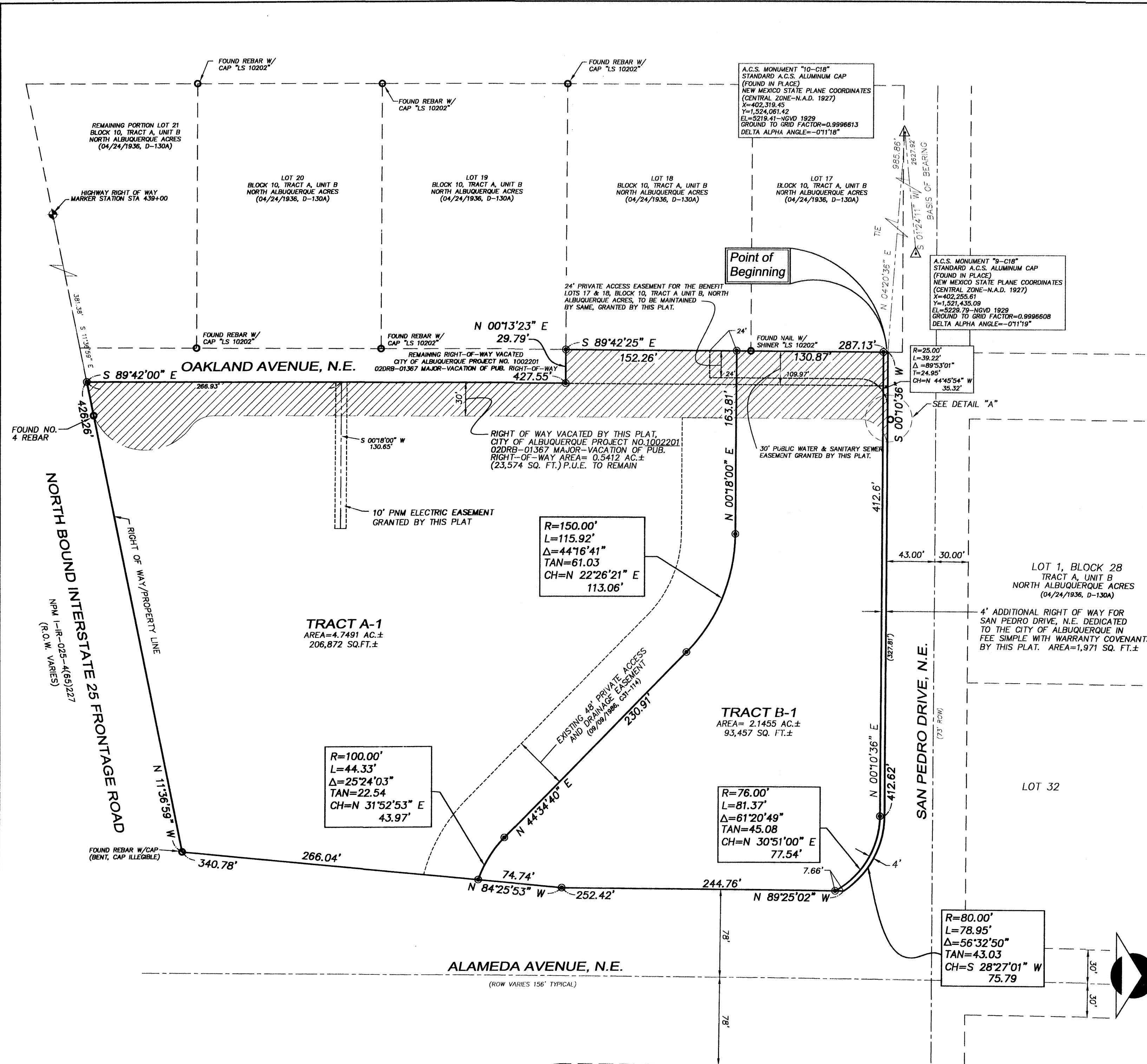
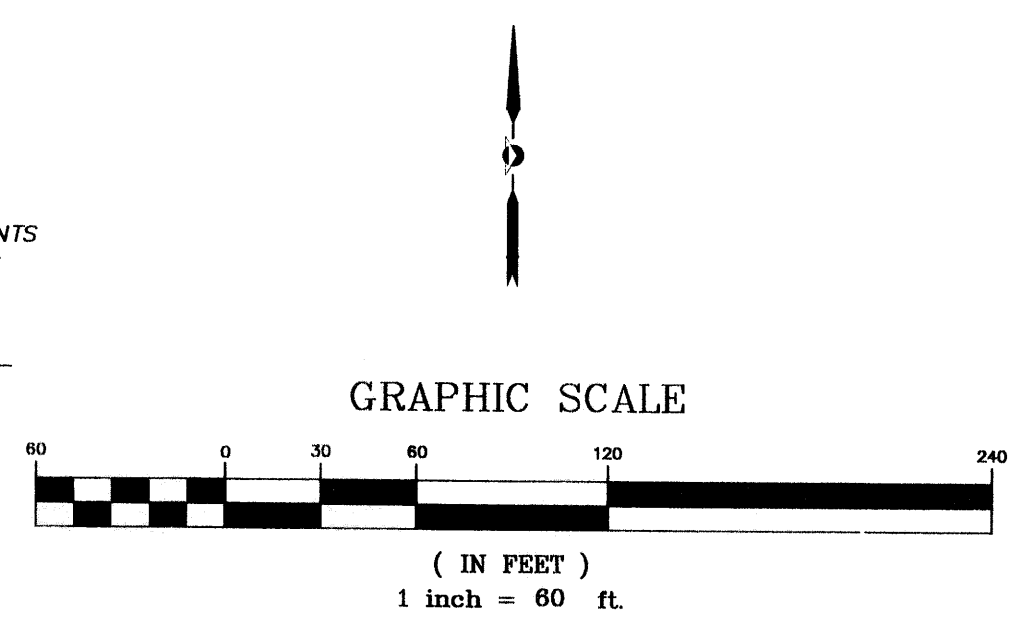
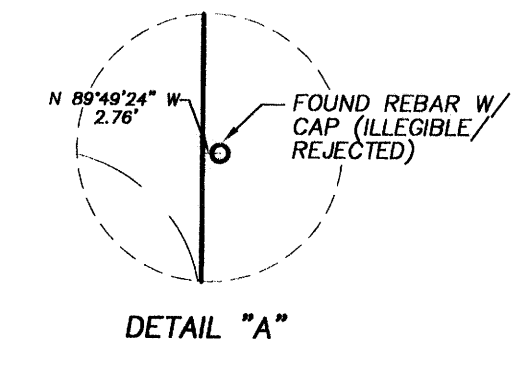
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

6: \PLATS\2002\024244p.dwg Thu Feb 26 10:08:59 2004

Plat of  
**Tracts A-1 and B-1**  
**American Toyota**  
 Albuquerque, Bernalillo County, New Mexico  
 February 2004

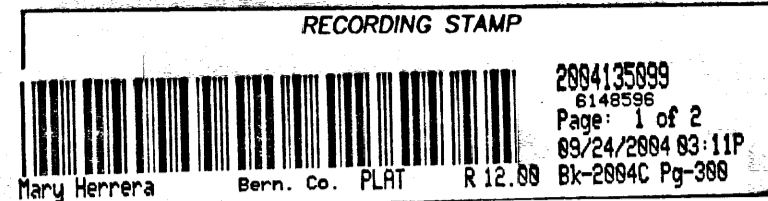
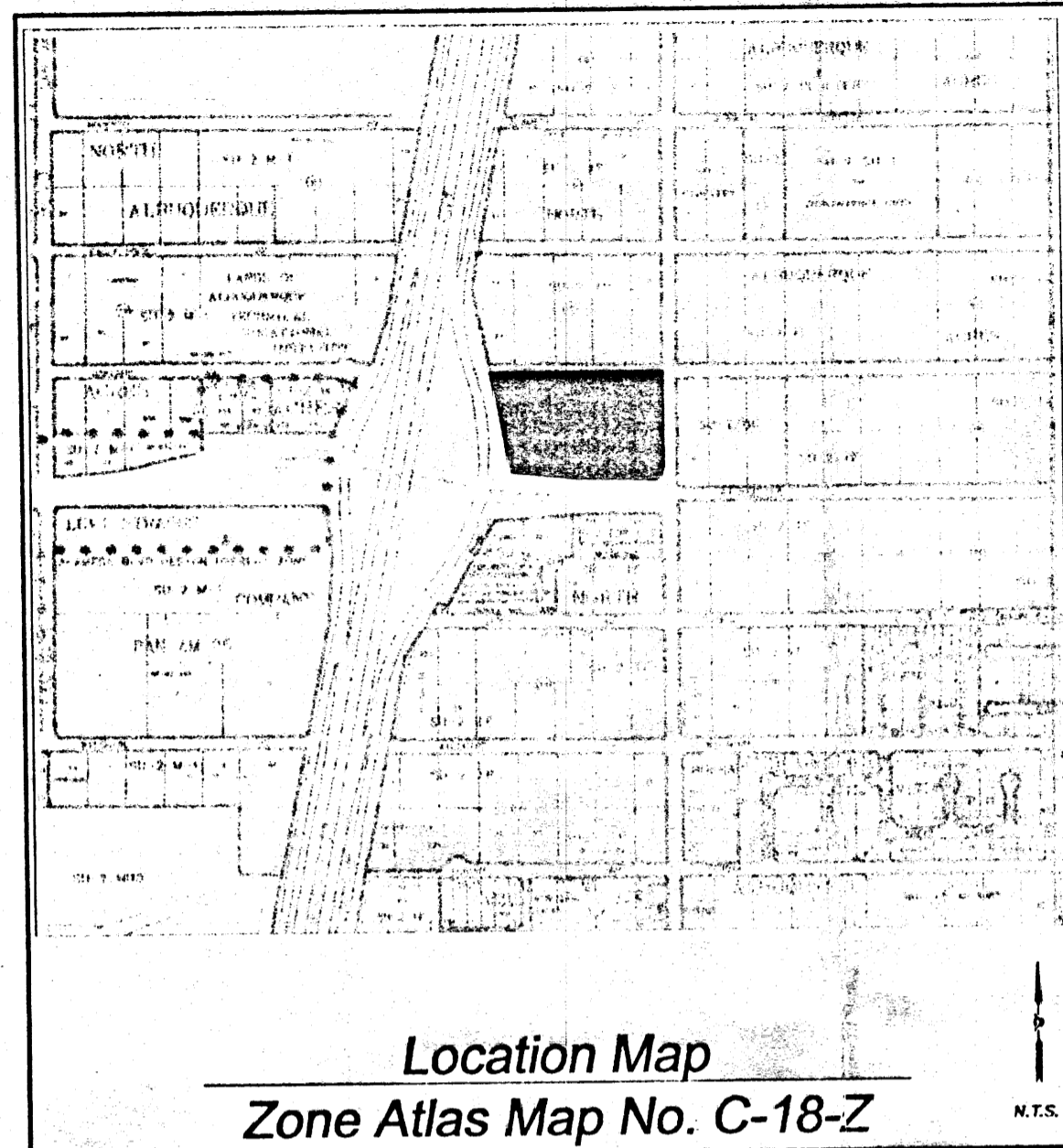
**Legend**

N 90°00'00" E	MEASURED BEARING AND DISTANCES MATCH RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES REBAR W/CAP "PS 11993" SET THIS SURVEY UNLESS OTHERWISE NOTED



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



### Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS A AND B OF AMERICAN TOYOTA AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT ENTITLED "BULK LAND TRANSFER PLAT FOR AMERICAN TOYOTA TRACTS A AND B, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 9, 1986, IN VOLUME C31, FOLIO 114, TOGETHER WITH THE VACATED SOUTHERLY THIRTY (30) FEET OF OAKLAND AVENUE, N.E. AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT, FROM WHENCE A TIE TO THE ALBUQUERQUE CITY MONUMENT "10-C18" BEARS N 04°20'36" E, A DISTANCE OF 985.86 FEET, SAID POINT LYING ON THE WEST RIGHT-OF-WAY LINE OF SAN PEDRO DRIVE, N.E. AND BEING A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE, FROM SAID BEGINNING POINT, S 00°10'36" W, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 412.62 FEET TO A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE, LEAVING SAID WEST RIGHT OF WAY, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 80.00 FEET, A DELTA ANGLE OF 56°32'50", AN ARC LENGTH OF 78.95 FEET AND A CHORD OF S 28°27'01" W, A DISTANCE OF 75.79 FEET TO A NON-TANGENT POINT LYING ON THE NORTH RIGHT OF WAY LINE OF ALAMEDA AVENUE, N.E., MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE, ALONG SAID NORTH RIGHT OF WAY LINE, N 89°25'02" W, A DISTANCE OF 252.42 FEET TO A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE, CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, N 84°25'53" W, A DISTANCE OF 340.78 FEET TO THE SOUTHWEST CORNER MARKED BY A FOUND REBAR WITH CAP (RENT/ILLEGIBLE);

THENCE, LEAVING SAID NORTH RIGHT OF WAY LINE ALONG THE EAST RIGHT OF WAY LINE OF NORTH BOUND INTERSTATE 25 FRONTAGE ROAD N 11°36'59" W, A DISTANCE OF 426.26 FEET TO A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE, LEAVING SAID EAST RIGHT-OF-WAY LINE S 89°42'00" E, A DISTANCE OF 427.55 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE, N 00°13'23" E, A DISTANCE OF 29.79 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE, S 89°42'25" E, A DISTANCE OF 287.13 FEET TO THE POINT OF BEGINNING, CONTAINING 6.9398 ACRES (302,300 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACTS A-1 AND B-1, AMERICAN TOYOTA.

Plat of  
Tracts A-1 and B-1  
**American Toyota**  
Albuquerque, Bernalillo County, New Mexico  
February 2004

Approvals	Application No. 04-00571
DRB Chair, CITY PLANNER, ALBUQUERQUE PLANNING DIVISION <i>Sherran Matson</i>	9/29/04 DATE
<i>Brande L. Lejan</i>	9/29/04 DATE
CITY ENGINEER <i>Brande L. Lejan</i>	9/29/04 DATE
A.M.A.F.C.A. <i>Wife Jay</i>	6-31-04 DATE
TRAFFIC ENGINEER <i>Wife Jay</i>	3-16-04 DATE
CITY SURVEYOR <i>Wife Jay</i>	9-21-04 DATE
PROPERTY MANAGEMENT <i>Rosa A. Sherran</i>	4/21/04 DATE
UTILITY DEVELOPMENT DIVISION <i>Christina Sandoval</i>	4/21/04 DATE
PARKS AND RECREATION DEPARTMENT <i>David P. Mulla</i>	4-6-04 DATE
PNM ELECTRIC SERVICES <i>David P. Mulla</i>	4-6-04 DATE
PNM GAS SERVICES <i>David P. Mulla</i>	4-6-04 DATE
QWEST CORPORATION <i>David P. Mulla</i>	1-6-04 DATE
COMCAST CABLE <i>David P. Mulla</i>	1-6-04 DATE

### Subdivision Data:

GROSS SUBDIVISION ACRES: 6.9398 ACRES  
ZONE ATLAS INDEX NO: C-18-Z  
NO. OF TRACTS CREATED: 2  
NO. OF LOTS CREATED: 0  
MILES OF FULL-WIDTH STREETS CREATED: 0  
DATE OF SURVEY: JANUARY 13, 2003

### Notes:

- MISC. DATA: ZONING SU-2 SU-1 AUTOMOBILE SALES, SERVICE AND REPAIR
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2003051240.

### Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
  - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
  - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
  - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

### Disclosure Statement

THE PURPOSE OF THIS PLAT IS TO VACATE RIGHT OF WAY AND TO CONSOLIDATE THE VACATED RIGHT OF WAY AND THE EXISTING TWO TRACTS INTO TWO NEW TRACTS, TO GRANT EASEMENTS AND TO DEDICATE RIGHT OF WAY

### Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

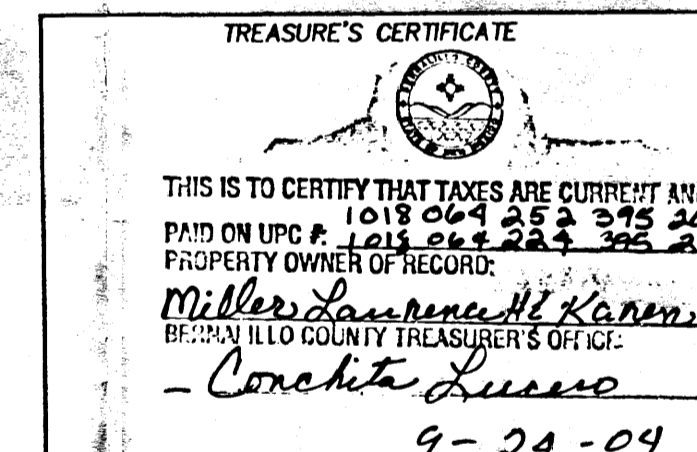
SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

*Michael Malouff, Jr.*  
MICHAEL MALOUFF, JR.  
AGENT FOR MILLER FAMILY REAL ESTATE, LLC  
A UTAH PARTNERSHIP  
DATE 2/10/04

### Acknowledgment

STATE OF NEW MEXICO ) SS  
COUNTY OF BERNALILLO )  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27 DAY OF FEB 2004 BY MICHAEL MALOUFF, JR., AGENT FOR MILLER FAMILY REAL ESTATE, LLC, A UTAH PARTNERSHIP.

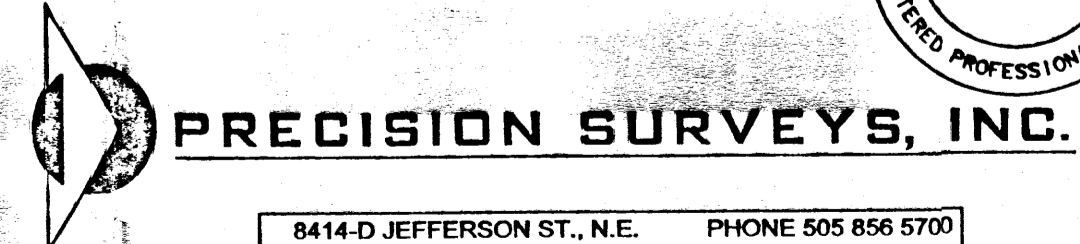
BY *David P. Mulla* MY COMMISSION EXPIRES: 10-16-06  
NOTARY PUBLIC



### Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE, AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano*  
LARRY W. MEDRANO  
N.M.P.S. No. 11993  
DATE



8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

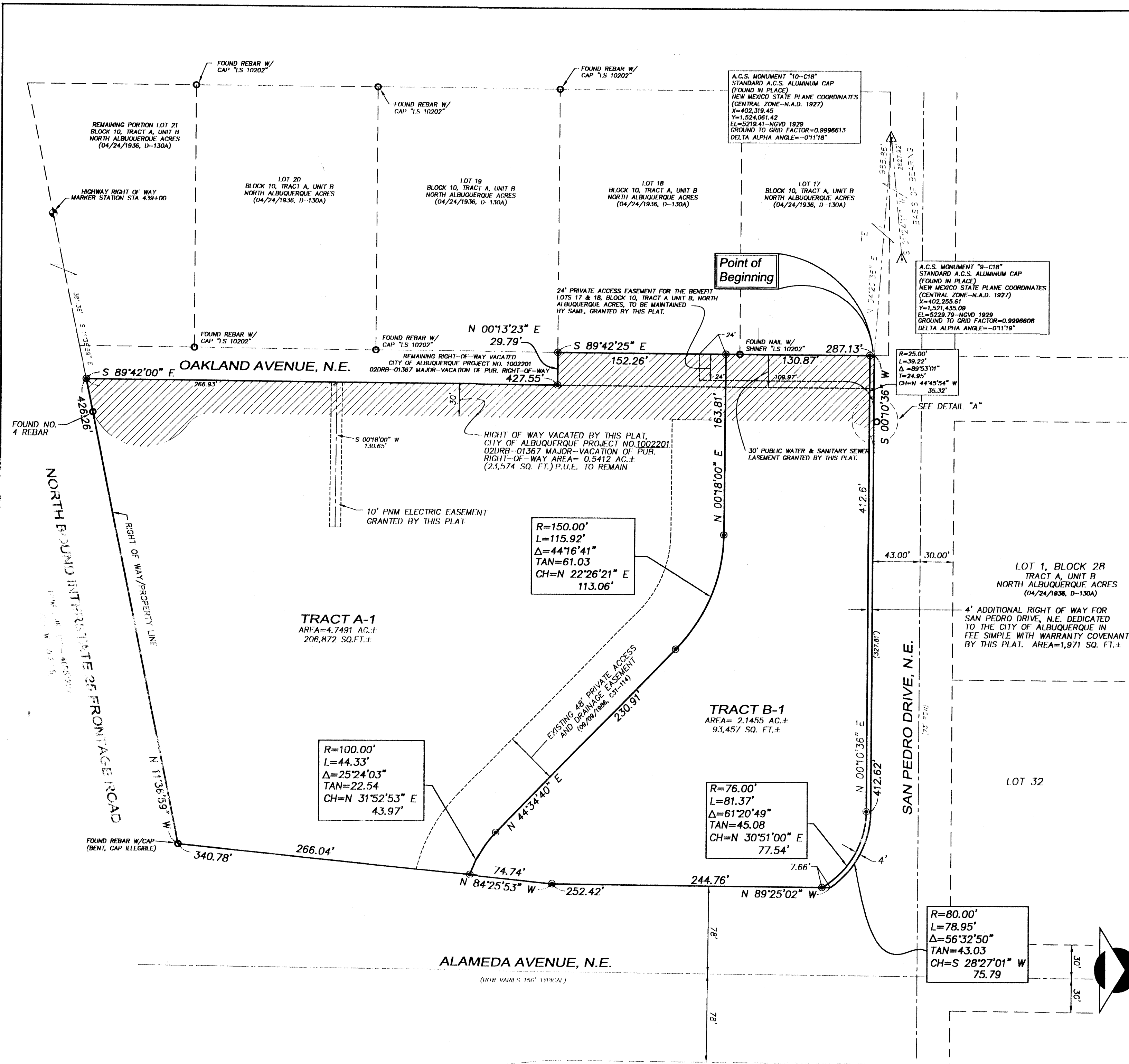
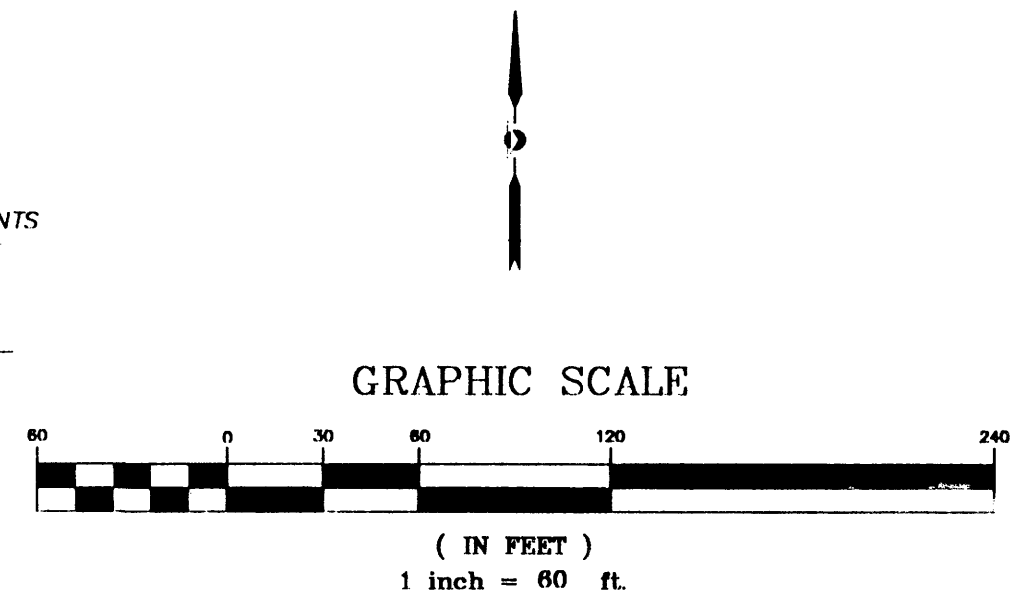
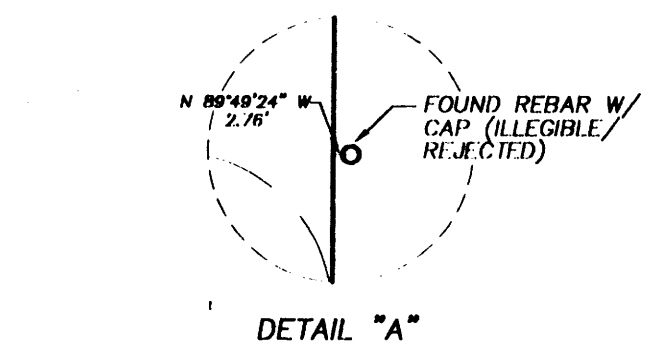
Project No. 1002848  
Sheet 1 of 2

Plat of  
 Tracts A-1 and B-1  
**American Toyota**  
 Albuquerque, Bernalillo County, New Mexico  
 February 2004

**Legend**

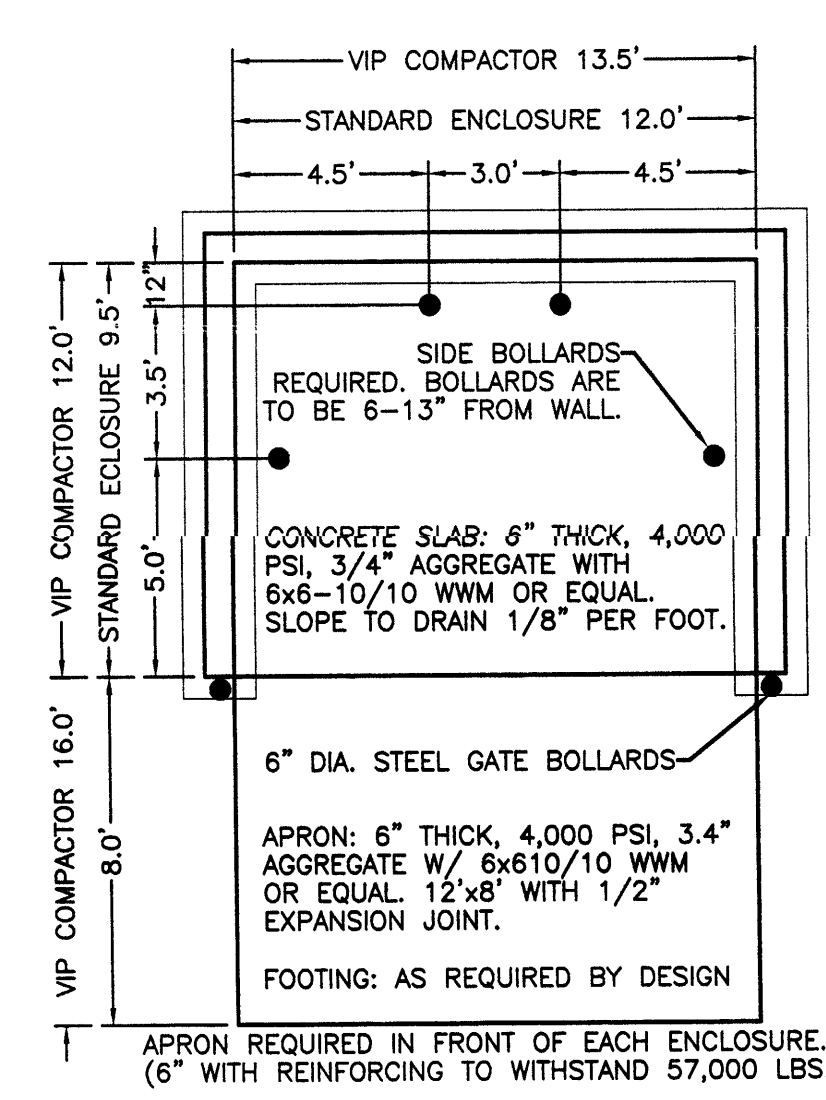
N 90°00'00" E	MEASURED BEARING AND DISTANCES MATCH RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES REBAR W/CAP "PS 11993" SET THIS SURVEY UNLESS OTHERWISE NOTED

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 8148598  
 Page: 2 of 2  
 09/24/2004 03:11P  
 Bk-2004C Pg-300

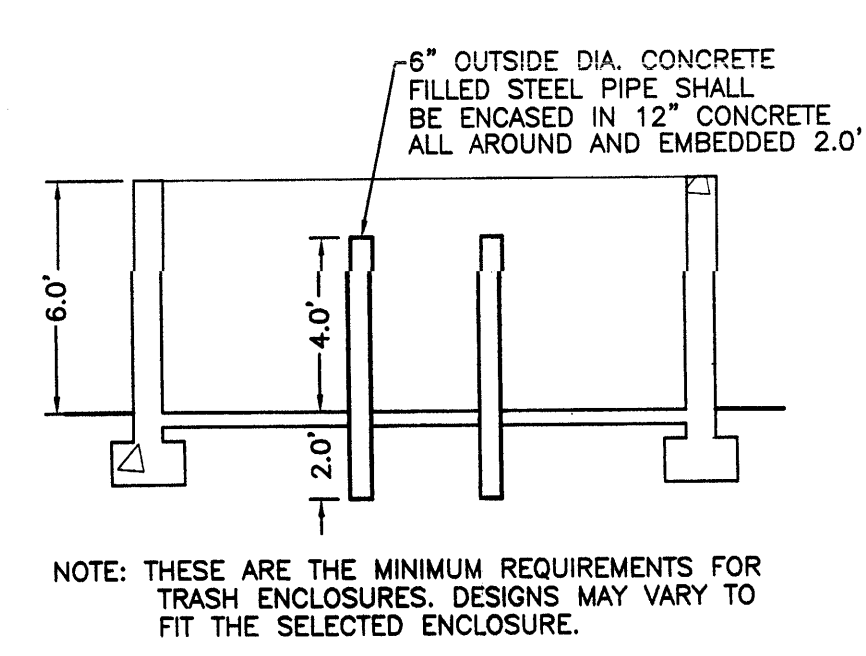


**PRECISION SURVEYS, INC.**

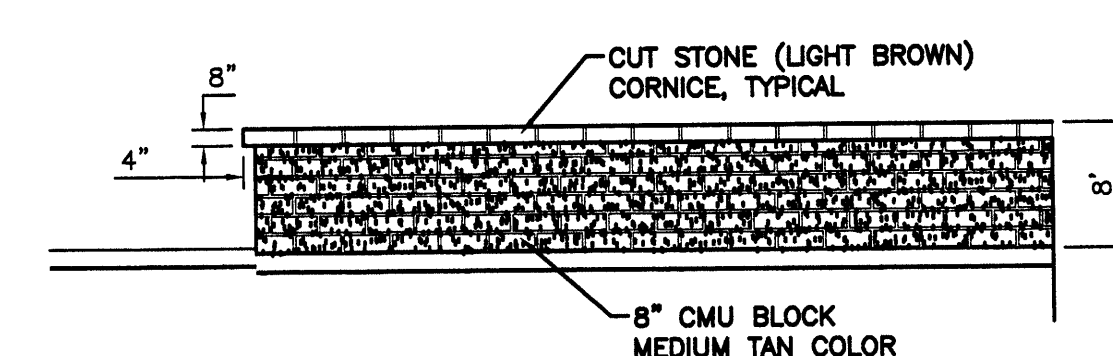
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



**DUMPSTER ENCLOSURE DETAIL**  
NTS



**LIGHT POLE DETAIL**  
NTS



**SCREEN WALL DETAIL (TYP.)**  
NTS

**SITE DATA**

	GROSS AREA	BUILDING AREA	NET SITE	LANDSCAPED AREA	% TO NET LANDSCAPE
EXISTING	269,886 SF	42,430 SF	227,456 SF	46,328 SF	20%
PROPOSED	293,608 SF	64,485 SF	229,143 SF	36,601 SF	15%

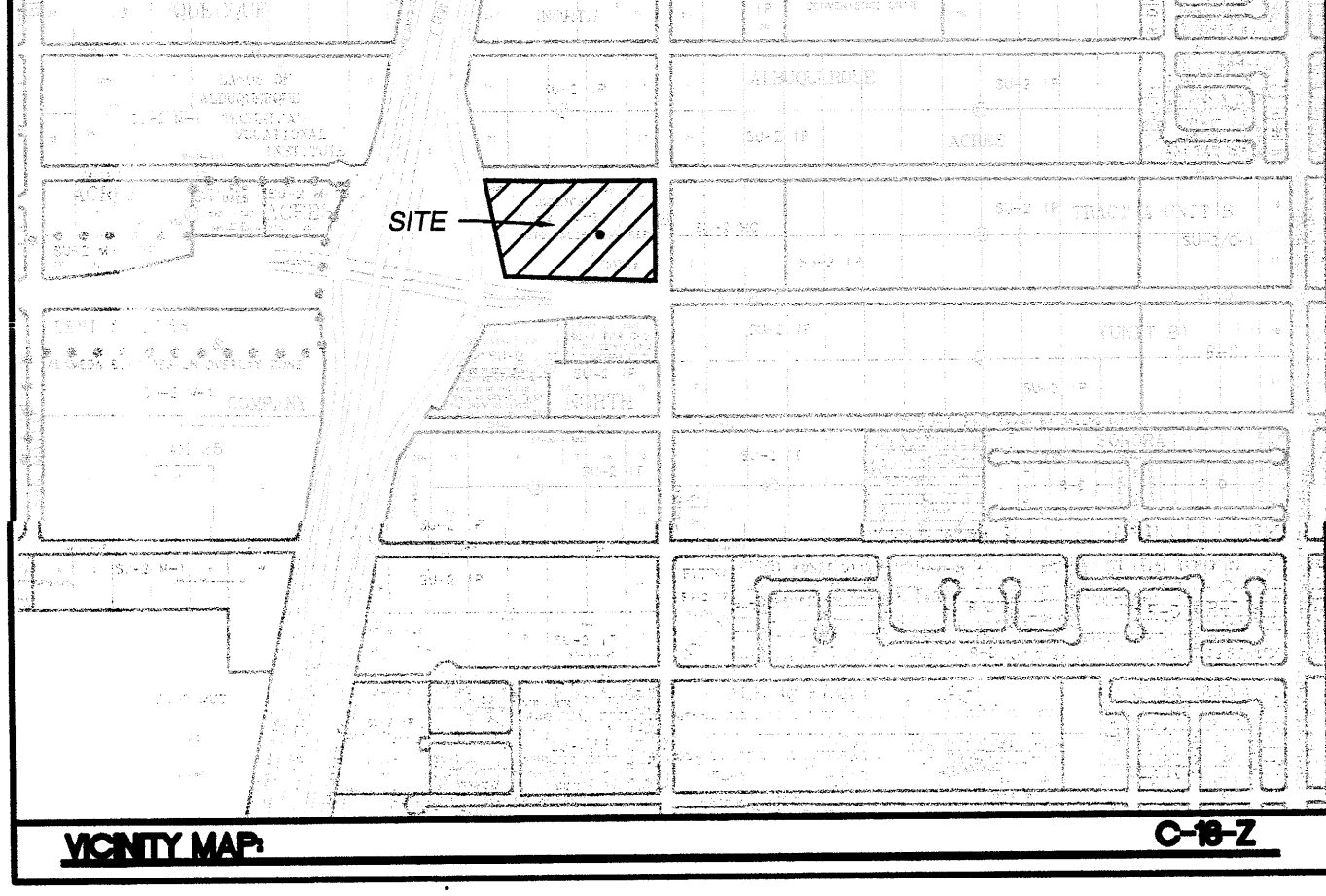
BICYCLE PARKING  
BICYCLE PARKING REQUIRED: 2 SPACES (1 PER 20 PARKING SPACES, BUT NOT LESS THAN 2 SPACES PER PREMISES)  
BICYCLE PARKING PROVIDED: 7 SPACES

**REQUIRED PARKING DATA CALCULATION**

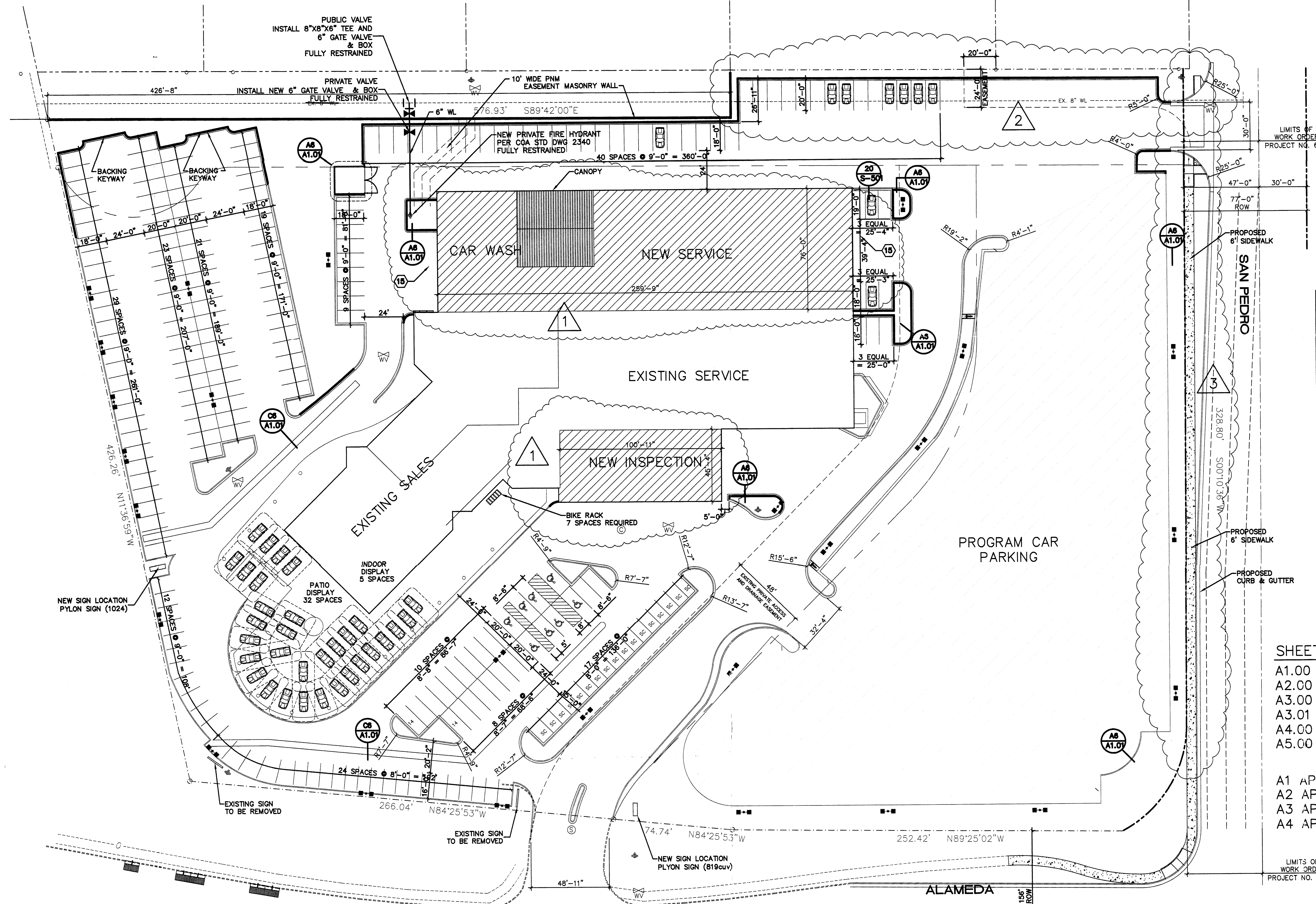
SPACE	SIZE	FACTOR	REQUIRED STALLS
SHOWROOM / OFFICE	15,485 SF	1 SPACE PER 200 SF	78
PARTS WAREHOUSE	12,378 SF	1 SPACE PER 1000 SF	13
SERVICE / INSPECTION	33,938 SF	1 SPACE PER 1000 SF	34
WASH BAYS	2,647 SF	1 SPACE PER 1000 SF	3
<b>TOTAL REQUIRED</b>			<b>128</b>
<b>REQUIRED ACCESSIBLE</b>			<b>8</b>

**PROVIDED PARKING**

SPACE	PROVIDED SPACES
CUSTOMER/EMPLOYEE	76
SERVICE BAYS	48
DETAIL BAYS	4
ACCESSIBLE	8
DISPLAY *	355
<b>TOTAL</b>	<b>491</b>
* 500 DISPLAY PARKING = 439 PARKING SPACES (ON SITE)	MINUS 8
ACCESSIBLE SPACES	MINUS 76
CUSTOMER SPACES	
OTHER SPACES	
INDOOR DISPLAY	5
PATIO DISPLAY	32



- 1 EXISTING CURB AND GUTTER TO BE REMOVED
- 2 NEW CURB AND GUTTER
- 3 EXISTING LIGHT POLE TO REMAIN
- 4 NEW SIDEWALK
- 5 EXISTING RETAINING WALL
- 6 EXISTING LIGHT POLE TO BE RELOCATED
- 7 EXISTING WATER TANK
- 8 EXISTING ELECTRICAL
- 9 EXISTING SIGNAGE
- 10 EXISTING VEGETATION TO BE REMOVED
- 11 PARKING STRIPES TO BE REMOVED
- 12 EXISTING FIRE HYDRANT TO REMAIN
- 13 EXISTING LANDSCAPE TO REMAIN
- 14 NEW LANDSCAPING TO MATCH EXISTING
- 15 NEW CONCRETE APRON



**PROJECT NUMBER: 1002848**  
**APPLICATION NUMBER: 03EPC-02047**

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [ ] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes ( ) No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary 12/18/03

**SHEET INDEX**

A1.00	AMENDED SITE PLAN
A2.00	AMENDED LANDSCAPE PLAN
A3.00	AMENDED EXTERIOR ELEVATIONS
A3.01	AMENDED EXTERIOR ELEVATIONS
A4.00	AMENDED GRADING PLAN
A5.00	SIGN DETAILS

A1 APPROVED SITE DATA & LANDSCAPING PLAN  
A2 APPROVED EXTERIOR ELEVATIONS  
A3 APPROVED EXTERIOR ELEVATIONS  
A4 APPROVED SITE DIMENSION PLAN

LIMITS OF WORK ORDER  
PROJECT NO. 692481

**A5 SITE PLAN**  
SCALE: 1" = 30'-0" 0 15' 30' 60'

**REVISIONS**

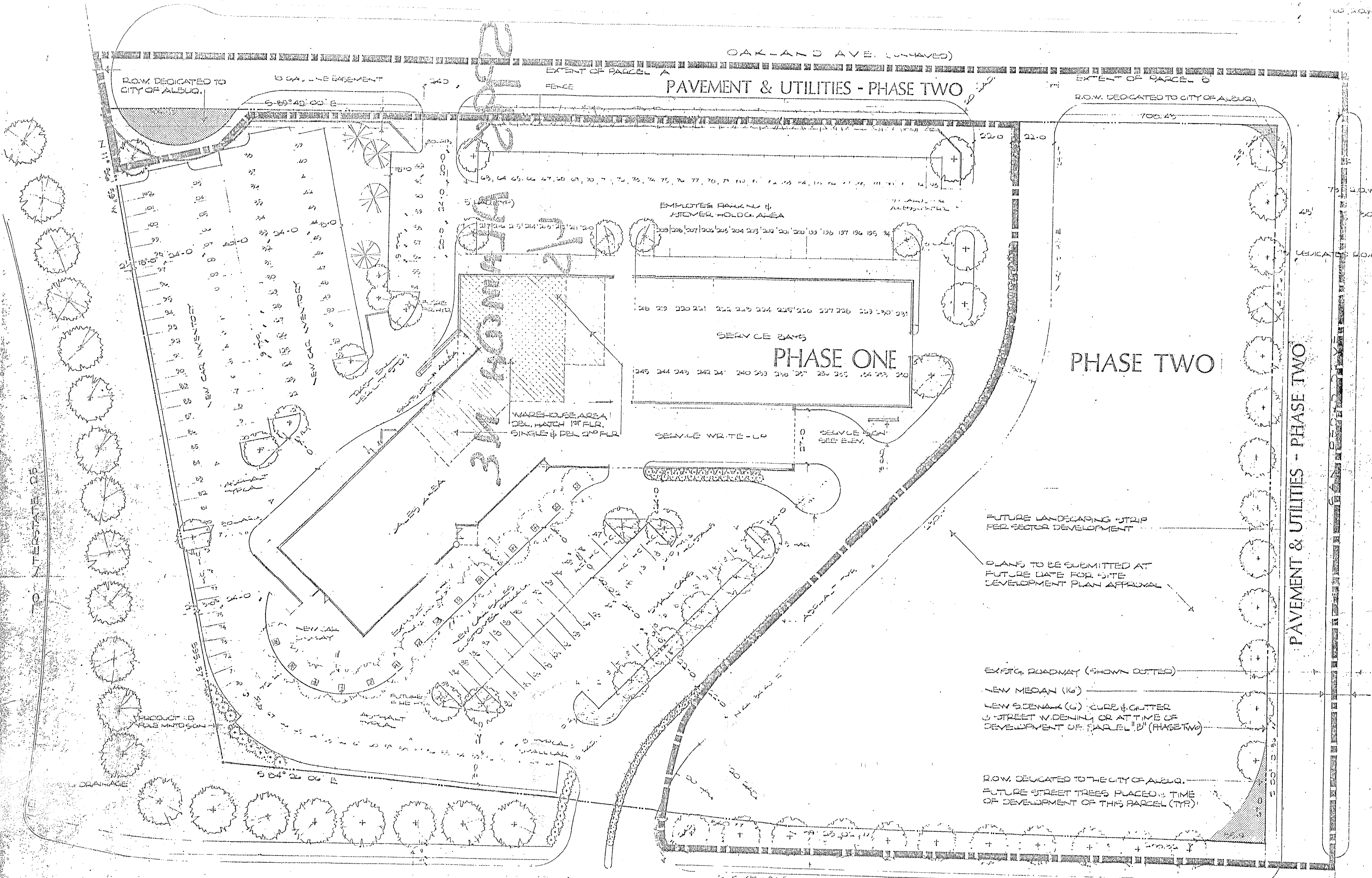
NO.	DATE	REMARKS	BY
4	03/4/04	PROGRAM CAR PARKING, EXISTING/NEW SIGN, BIKE RACK SPACES	BJF
3	11/07/03	4' RIGHT OF WAY DEDICATION	BDC
2	11/07/03	EXPANDED PARKING AREA	BDC
1	11/05/03	ADDED EXPANSION BUILDING, SERVICE AND INSPECTION AREA	BDC

American Toyota  
Alameda @ I-25  
Albuquerque, New Mexico

DATE	STATUS

AMENDED SITE PLAN PER DRB Comments  
A1.00





**SIGNATURE BLOCK Z-86-8-1 DEVELOPMENT REVIEW BOARD**

I CERTIFY THAT THIS AREA IS ZONED SU-1 FOR AUTO SALES & SERVICE AND THAT THIS PLAN IS CONSISTANT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON APRIL 17, 1985.

CITY PLANNER *Rubens Baez* 7-9-86  
 CITY ENGINEER *Paul J. Aguirre* 7-23-86  
 TRAFFIC ENGINEER *Rolando J. Sanchez* 4-29-86  
 WATER RESOURCES ENG. *Chonda S. Houghton* 4-29-86  
 PARKS & RECREATION *Janet Davis* 4-29-86

**SITE DATA**

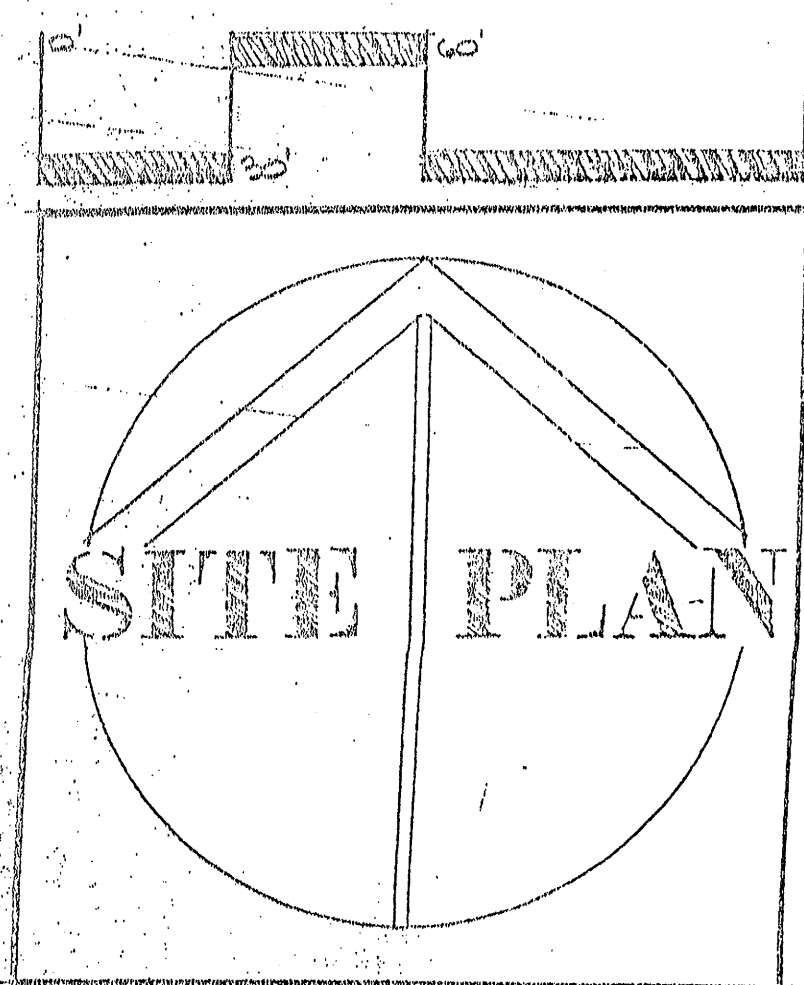
LEGAL DESCRIPTION: LOTS 10 THRU 21E BLOCK 11, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES SUB-DIVISION, ALBUQ., N.M.  
 ZONE MAP: C-18-Z  
 SITE AREA: 6.2602 AC TOTAL  
 PARCEL A: 5.12475 AC  
 PARCEL B: 1.13545 AC  
 BLDG. AREA: 1ST FLOOR = 51,585  
 2ND FLOOR = 13,000  
 TOTAL = 64,585  
 PARKING REQUIREMENT: 177 PL. REQ. (195 PROPOSED)  
 2ND FL. REAR = 10,000 (2,000 PROPOSED)  
 WAREHOUSE = 10,000 (2,000 PROPOSED)  
 TOTAL = 44,555  
 HANDICAP SPACES REQ. 44,105 x 7% = 3,087  
 5.99% = 24,330 PROPOSED  
 OFF SITE LANDSCAPING = 47,734 FROM D.  
 BICYCLE RACKS REQ. @ 1/200 = 9 REQ. SPACE = 10 SPACES FROM D.

**LANDSCAPING**

SHADE TREES SELECTED: BROWN LEAFED MAPLE, GYAMOE (LONDON PLANE OR HONEY LOCUST (12" x 9" CALIPER), EVERGREEN TREES SELECTED FROM: HAZEL, CYPRUS, AUSTRALIAN PINE OR BLUE SPRUCE (10 TO 20').  
 SHRUBS FROM JUSTICE PHOTINA, FRAZER.  
 BUFFALO GRASS  
 PARK CHIP GROUND COVER.  
 NOTES:  
 1. ALL PLANTINGS TO RECEIVE N.C. BERRY APPLICATION TO INSURE DESIRED GROWTH. MAINT. BY OWNER.  
 2. SLOPING ROWS TO BE RECESSED W/ NATIVE GRASSES & GROUND COVER.

GENERAL NOTES:  
 \* UTILITIES W/ EXCEPTION OF GAS & WATER ARE ALL PROPOSED AND NOT EXISTING AT PRESENT. SEE SHEET D FOR ALL UTILITY INFORMATION.

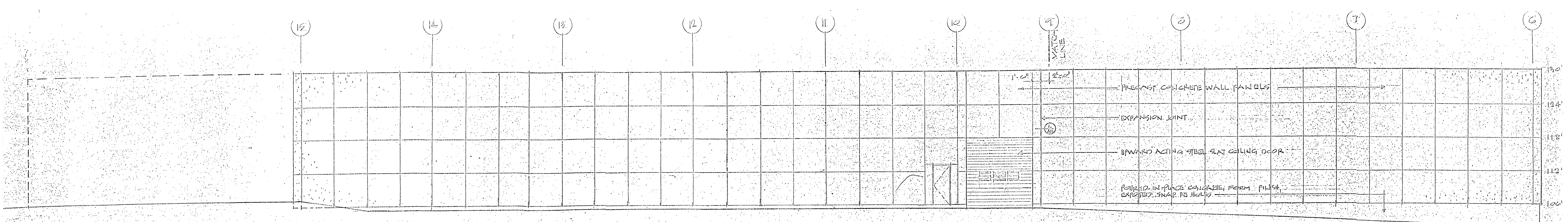
AUTOMATICALLY GENERATED FROM THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT



*This Landscaping plan has been amended.  
 M. Adams  
 See Attached*

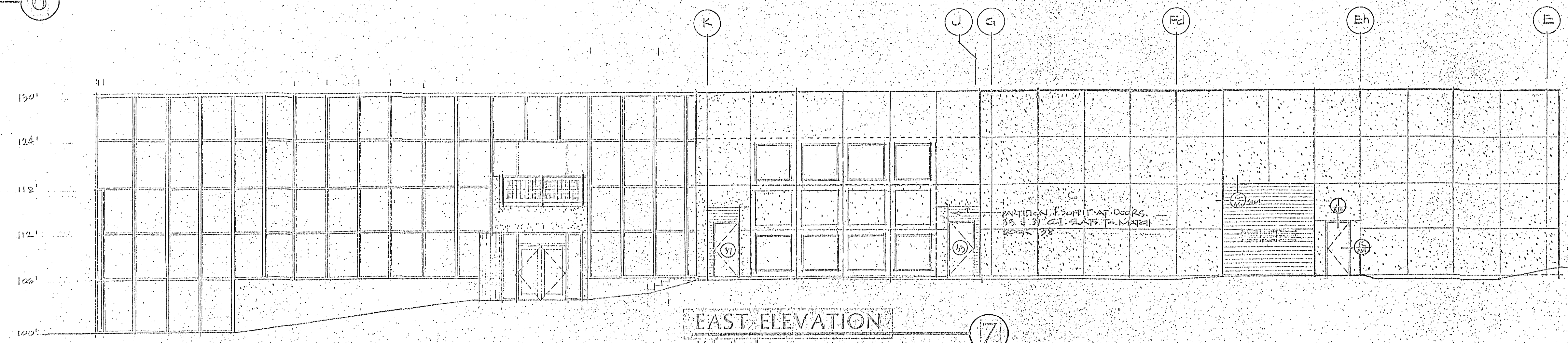
**PHASING NOTED 7/2/86**

DATE 7-2-86  
 SHEET 1 of 5  
 A1



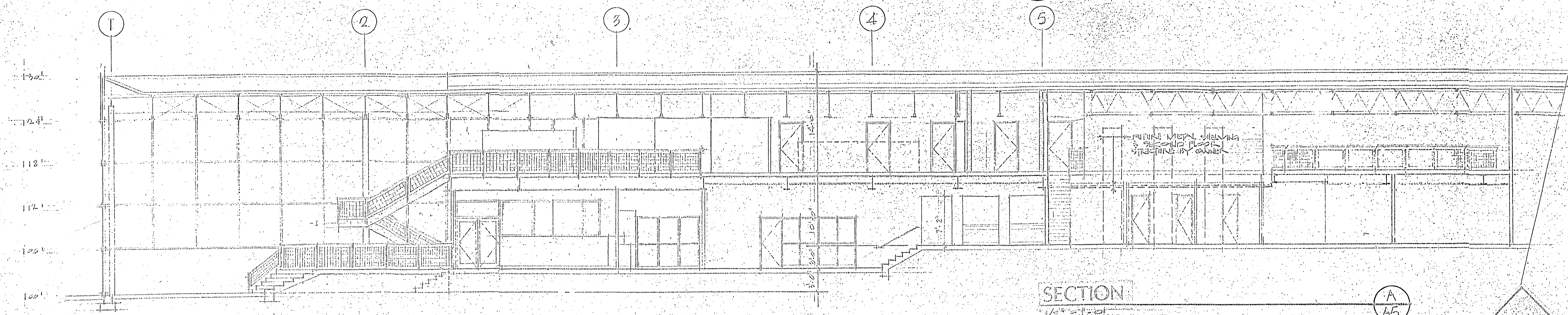
**NORTH ELEVATION**  
 $\frac{1}{8}'' = 1'-0''$

6



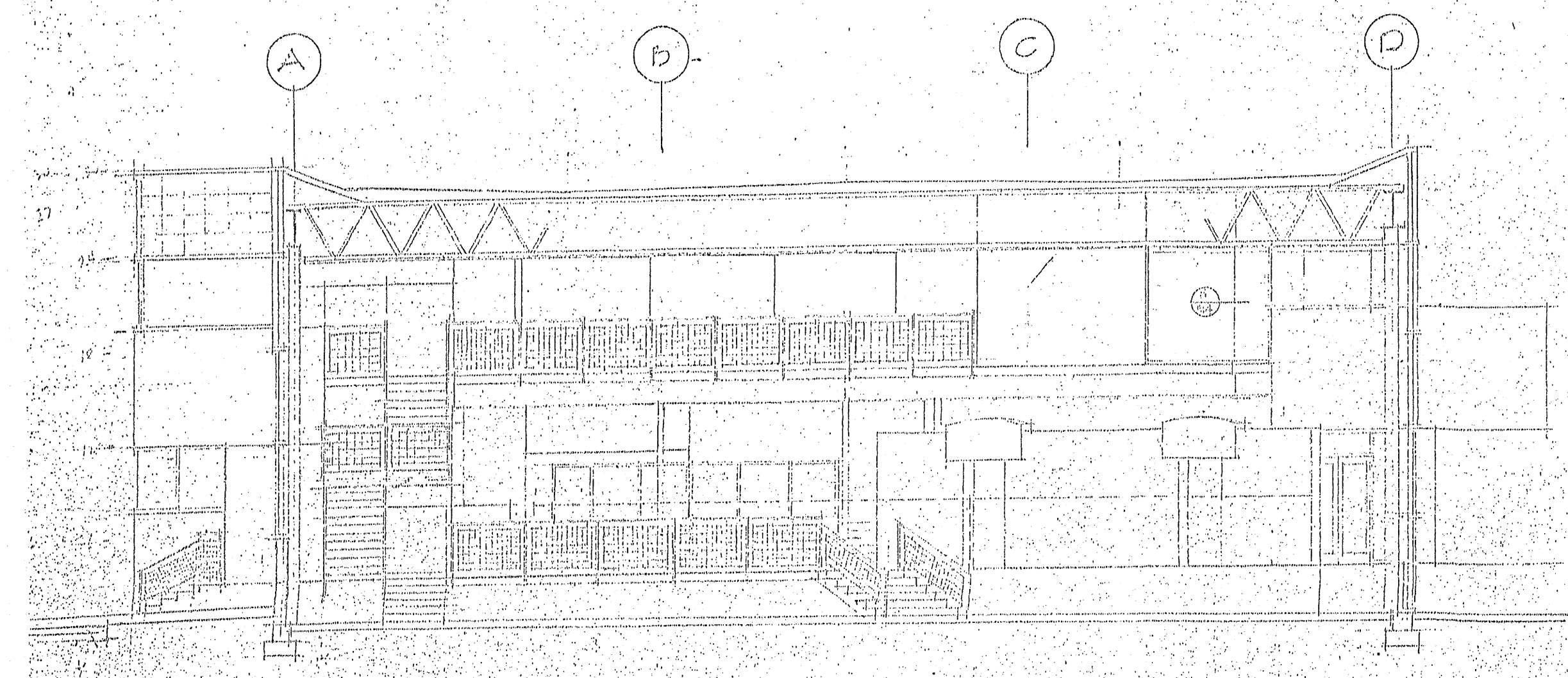
**EAST ELEVATION**  
 $\frac{1}{8}'' = 1'-0''$

7



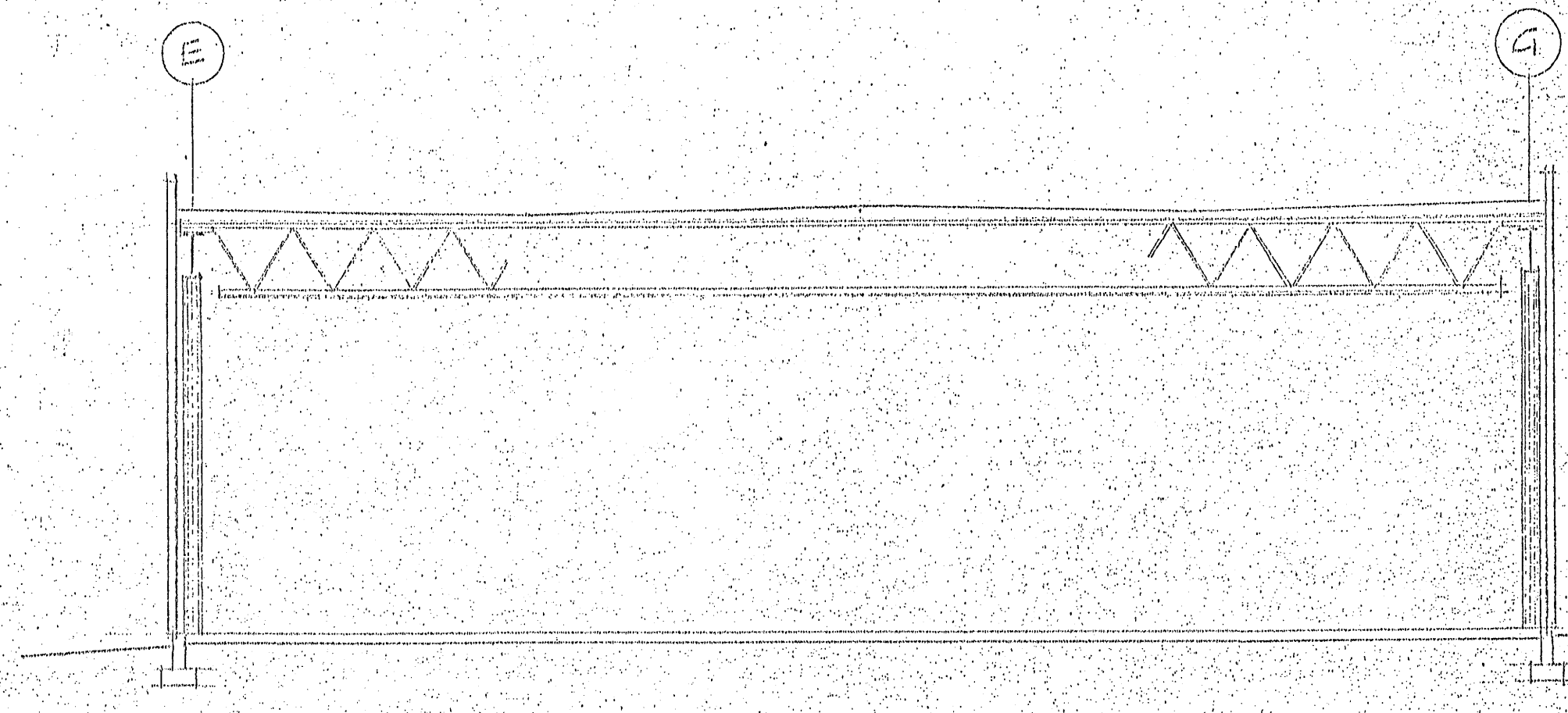
**SECTION**  
 $\frac{1}{8}'' = 1'-0''$

A/A5



$\frac{1}{8}'' = 1'-0''$

B/B5



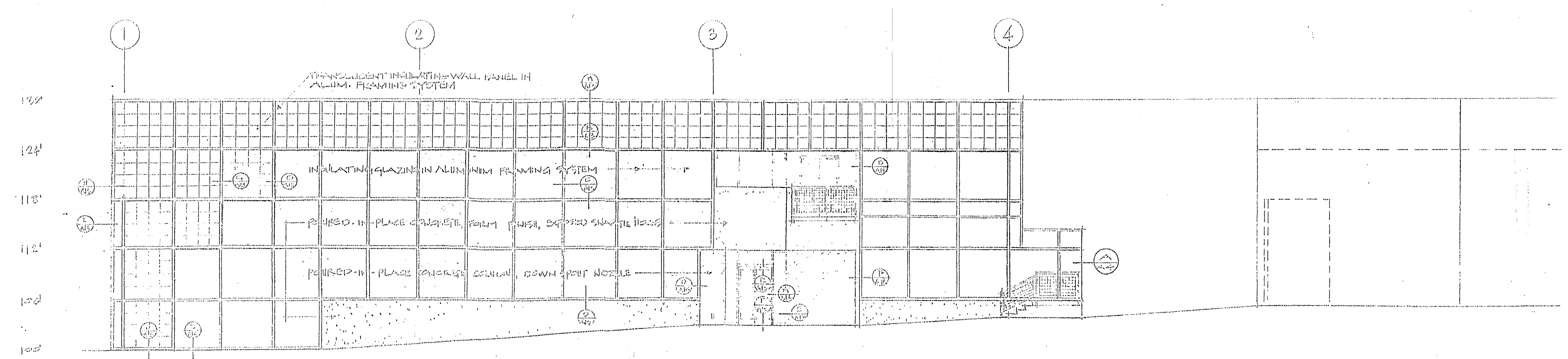
$\frac{1}{8}'' = 1'-0''$

C/C5

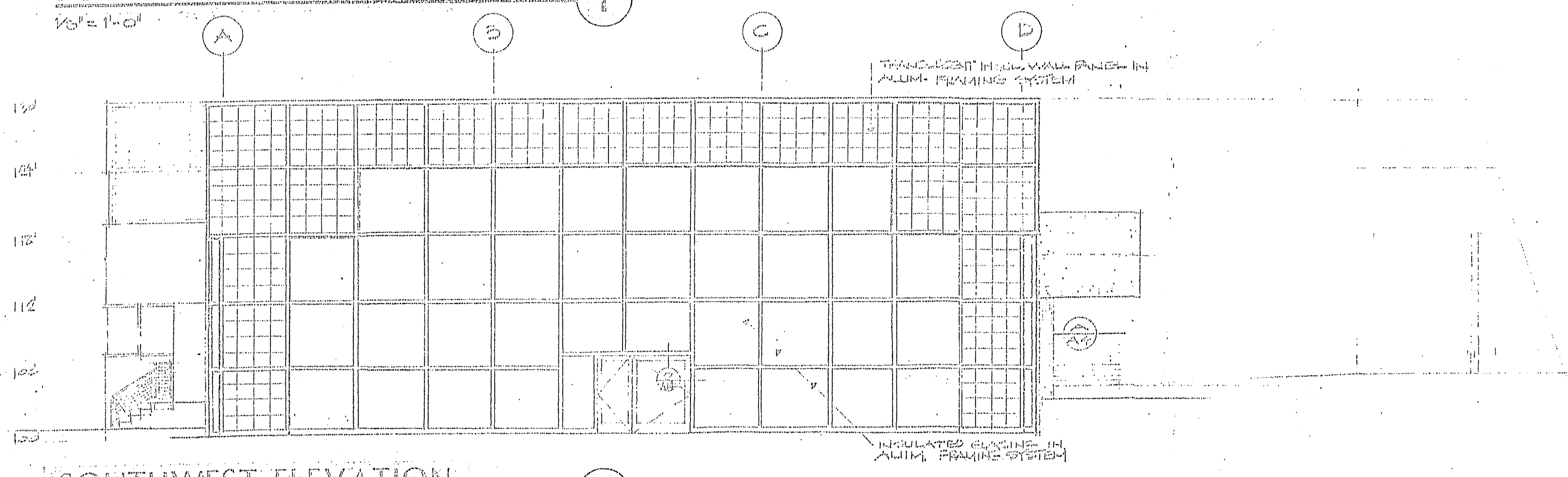
PATRICK McCLERNON ARCHITECTS/PLANNERS  
 1401 5TH ST. NW ALBUQUERQUE, NEW MEXICO 87102 242-5219

**AMERICAN TOYOTA**  
 ALAMEDA @ I-25 ALBUQUERQUE

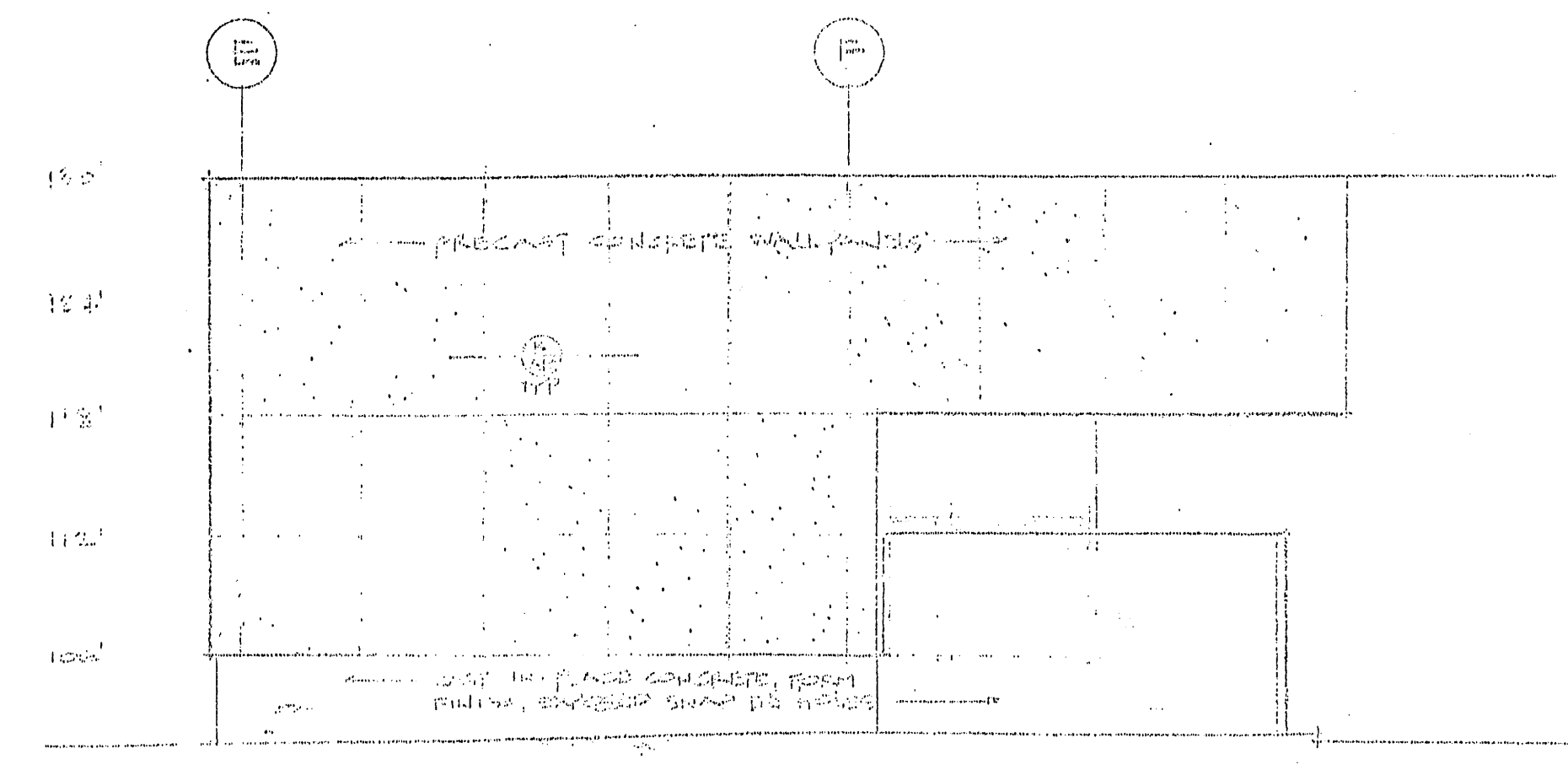
SHEET TITLE: BUILDING ELEVATIONS & SECTION  
 DATE: 1/21/60  
 SHEET NUMBER: 15  
 15



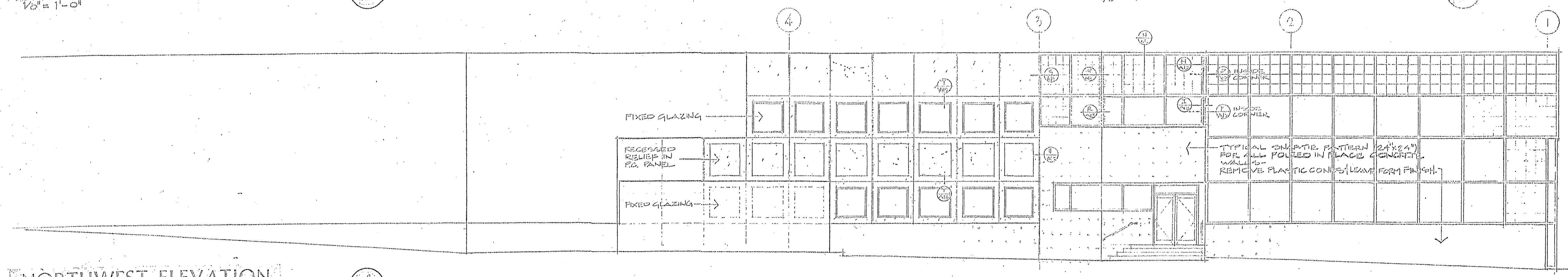
**SOUTHEAST ELEVATION**  
1/8" = 1'-0"



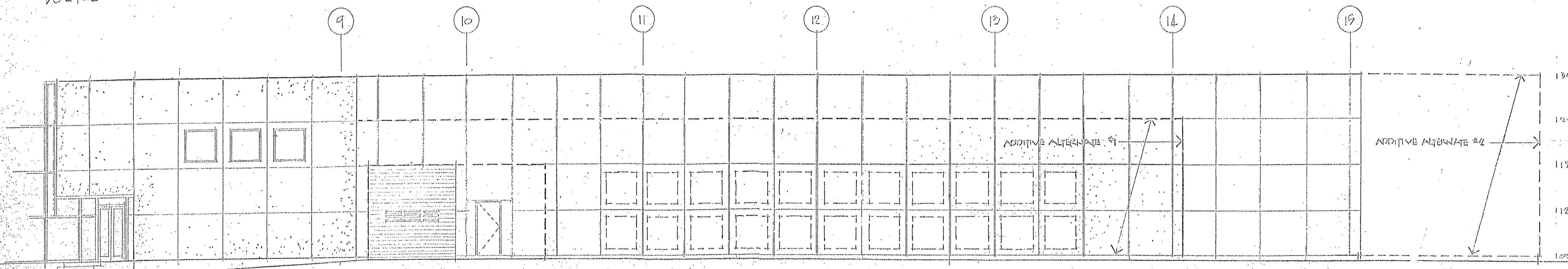
**SOUTHWEST ELEVATION**  
1/8" = 1'-0"



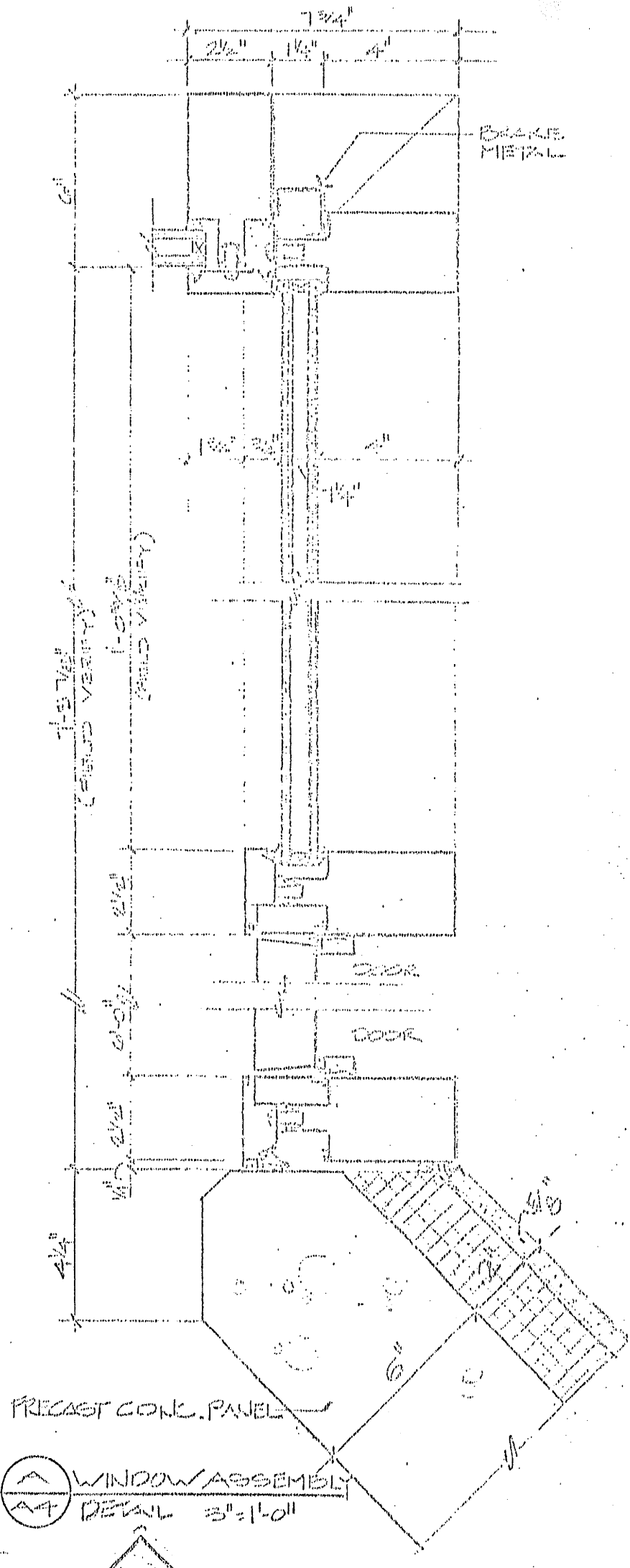
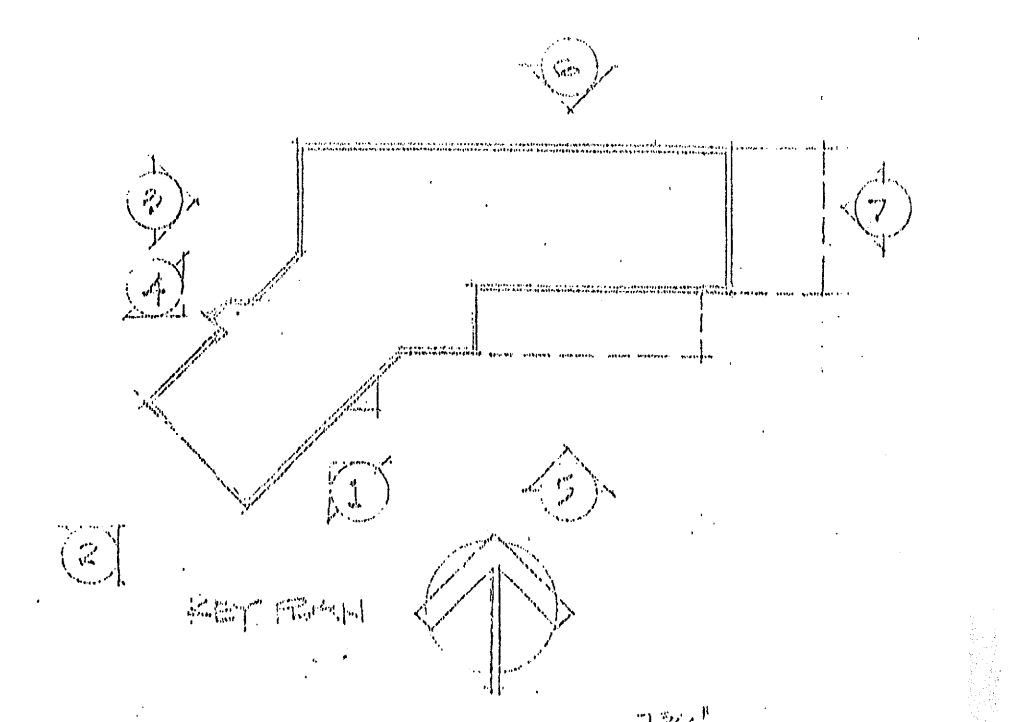
**WEST ELEVATION**  
1/8" = 1'-0"



**NORTHWEST ELEVATION**  
1/8" = 1'-0"



**SOUTH ELEVATION**  
1/8" = 1'-0"

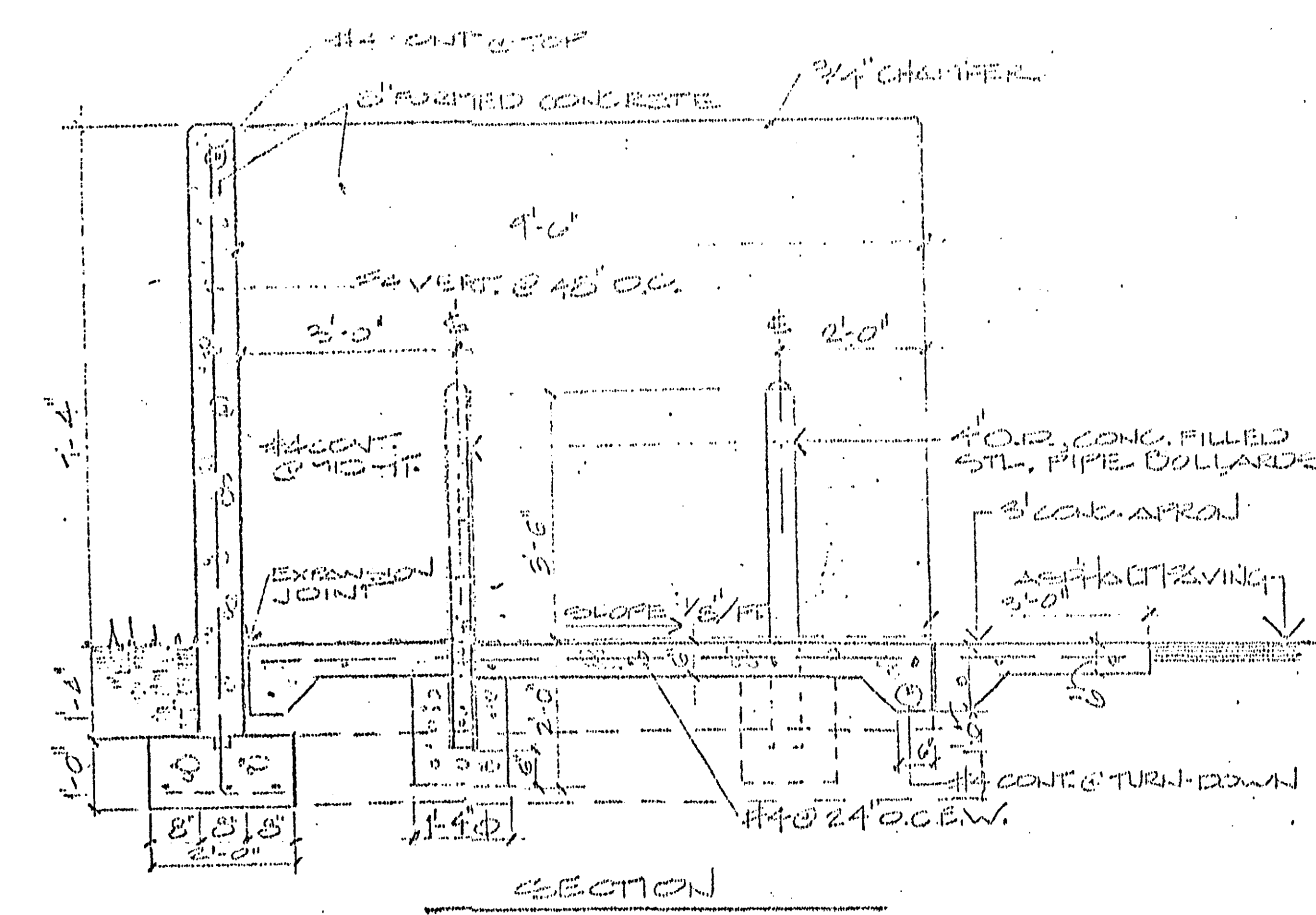
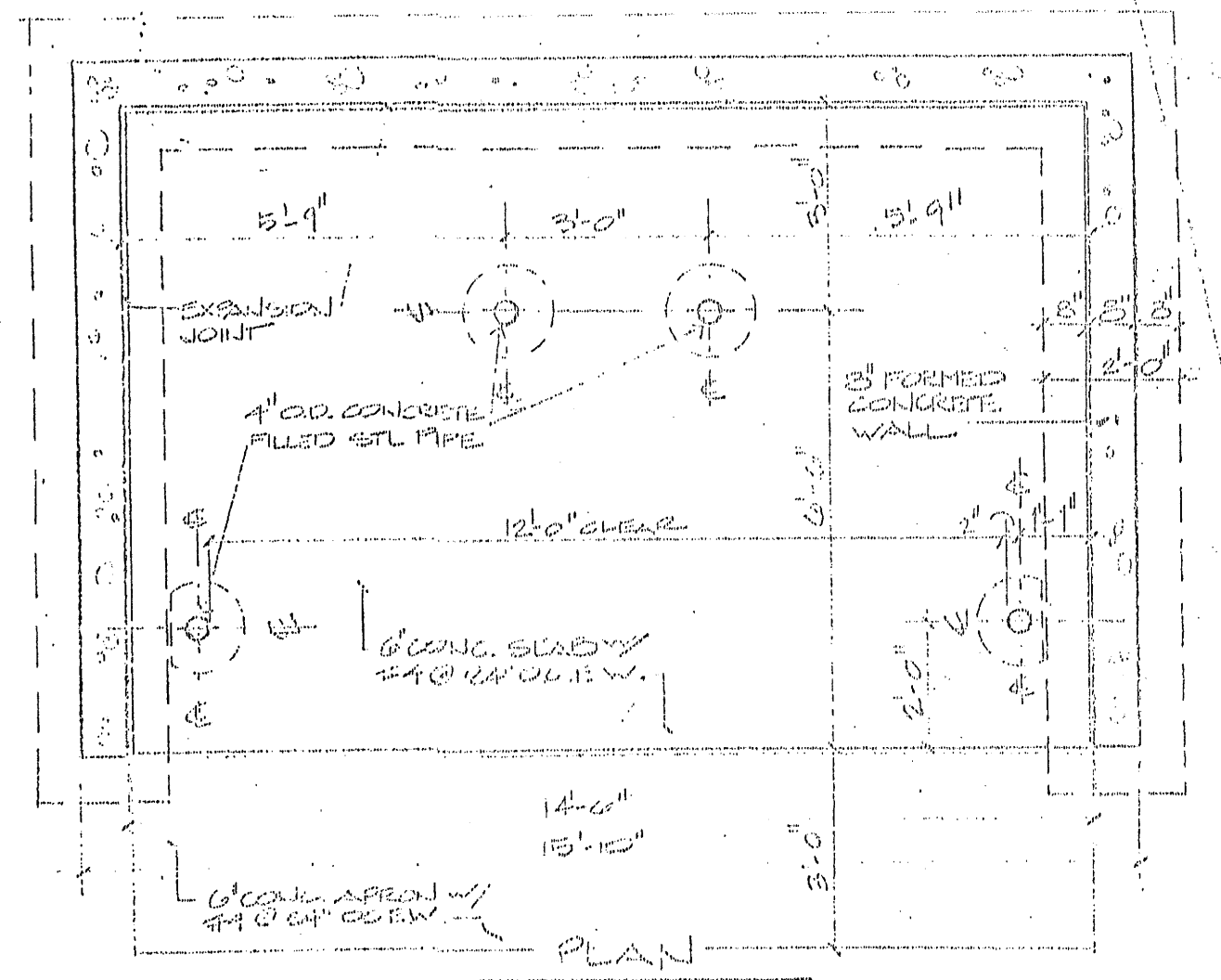
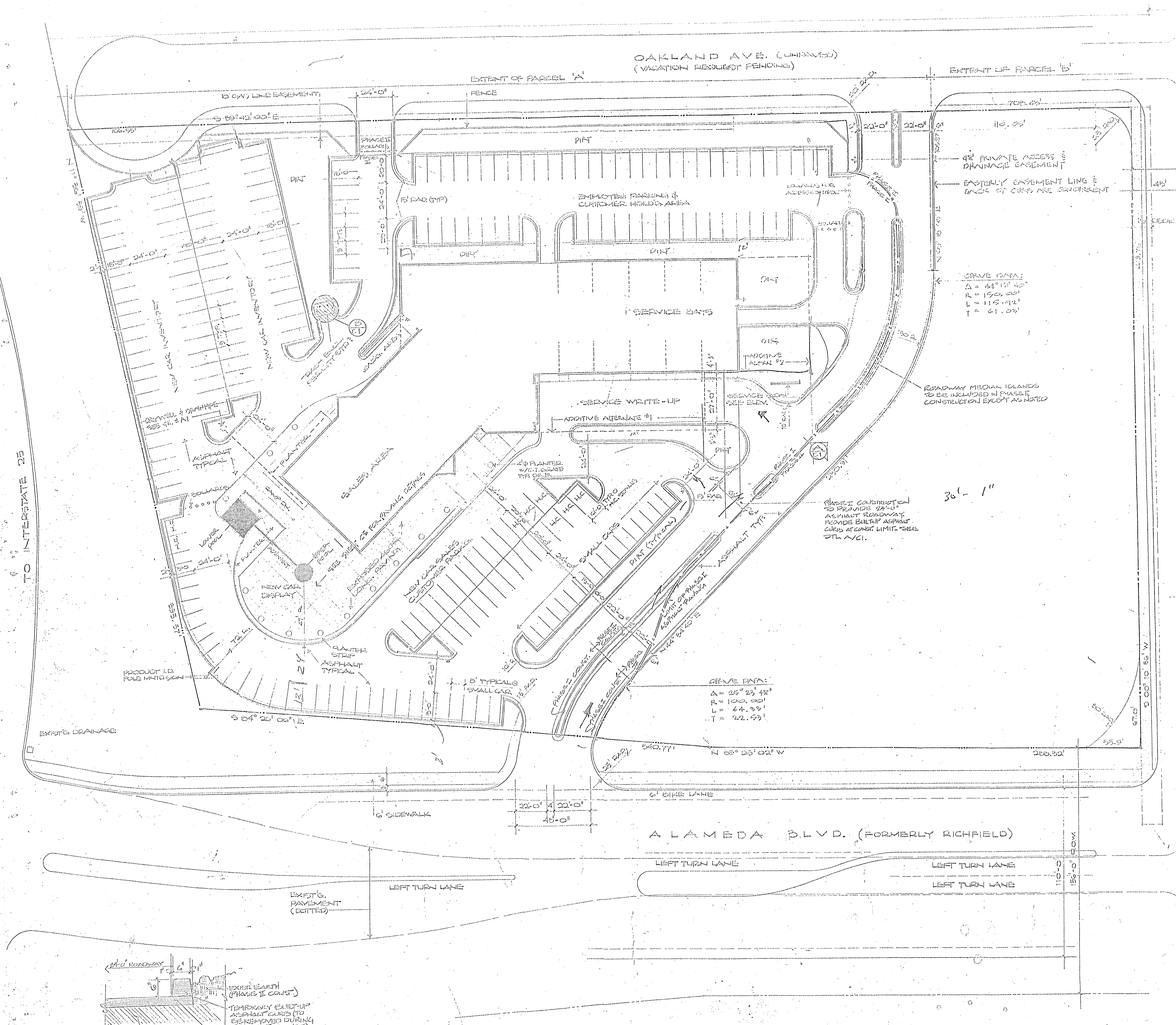


PATRICK MCCLERNON ARCHITECTS/PLANNERS  
1401 5TH ST. NW ALBUQUERQUE, NEW MEXICO 87102 242-5219

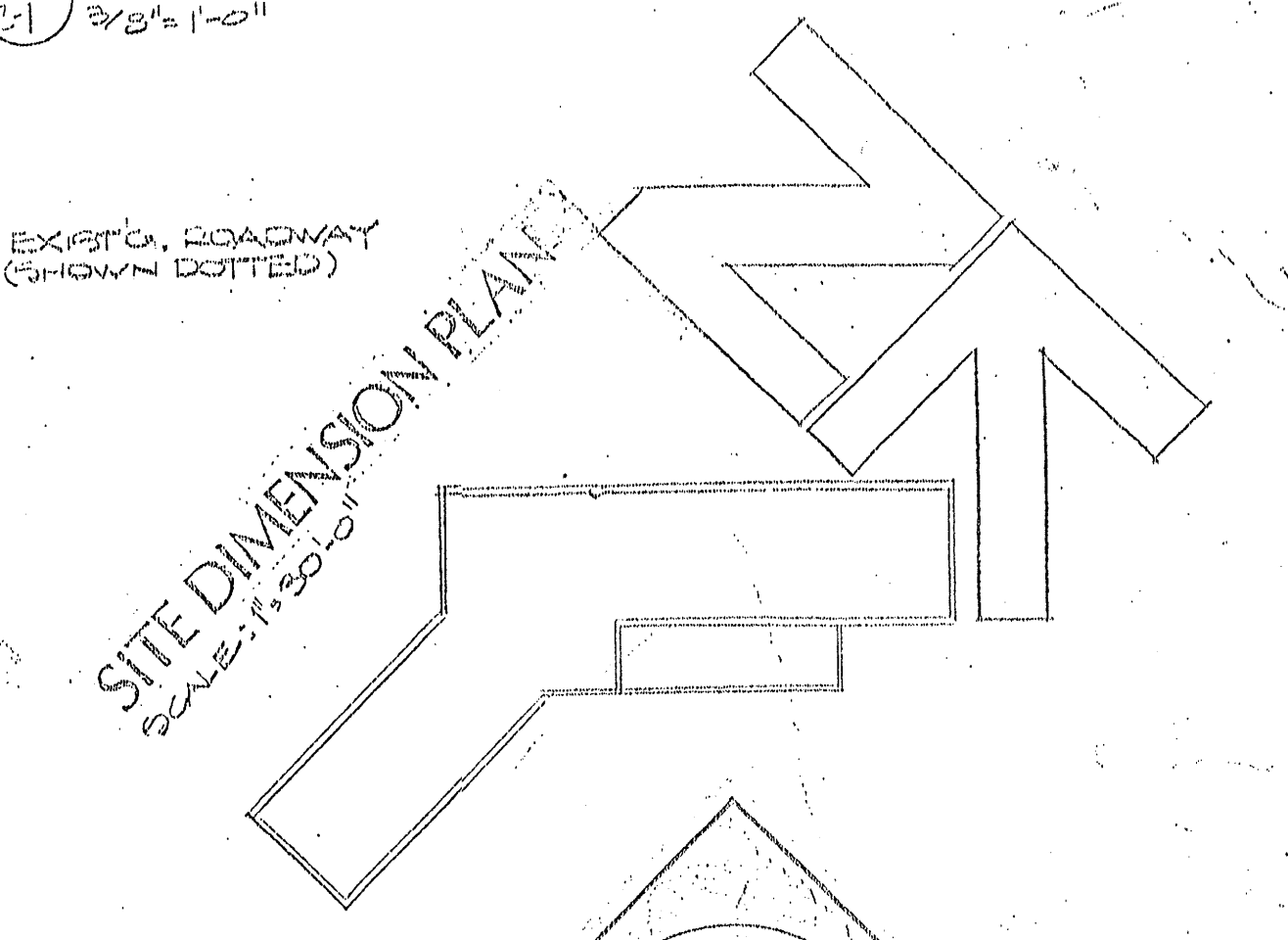
**AMERICAN TOYOTA**  
ALAMEDA @ I-25 ALBUQUERQUE

SHEET TITLE: BUILDING ELEVATIONS DATE: 1/20/88

SHEET NUMBER: A-4



(B) REFUSE ENCLOSURE DETAILS  
 (C1) 3/8\"/>



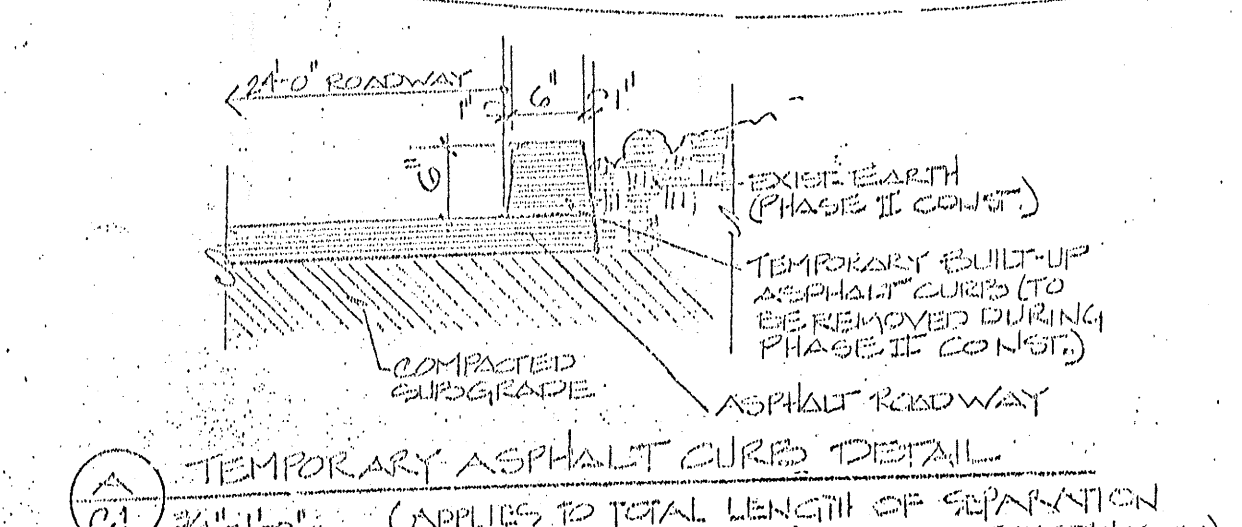
RECEIVED  
 FEB 23 1987  
 Summit Construction, Inc.

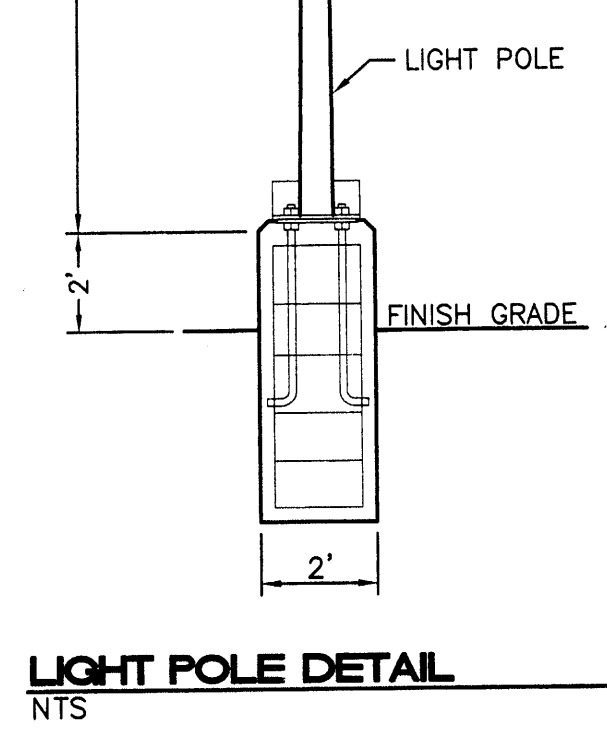
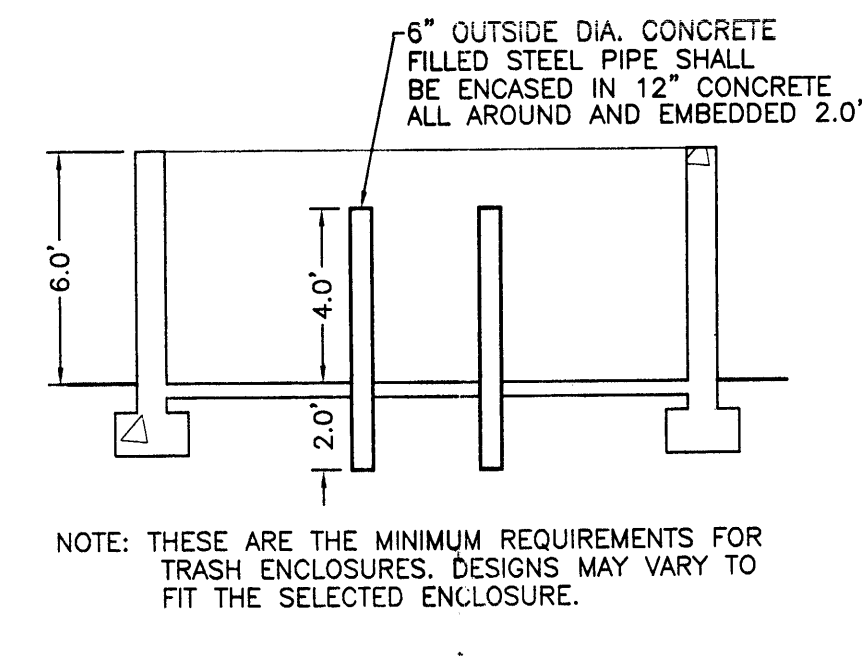
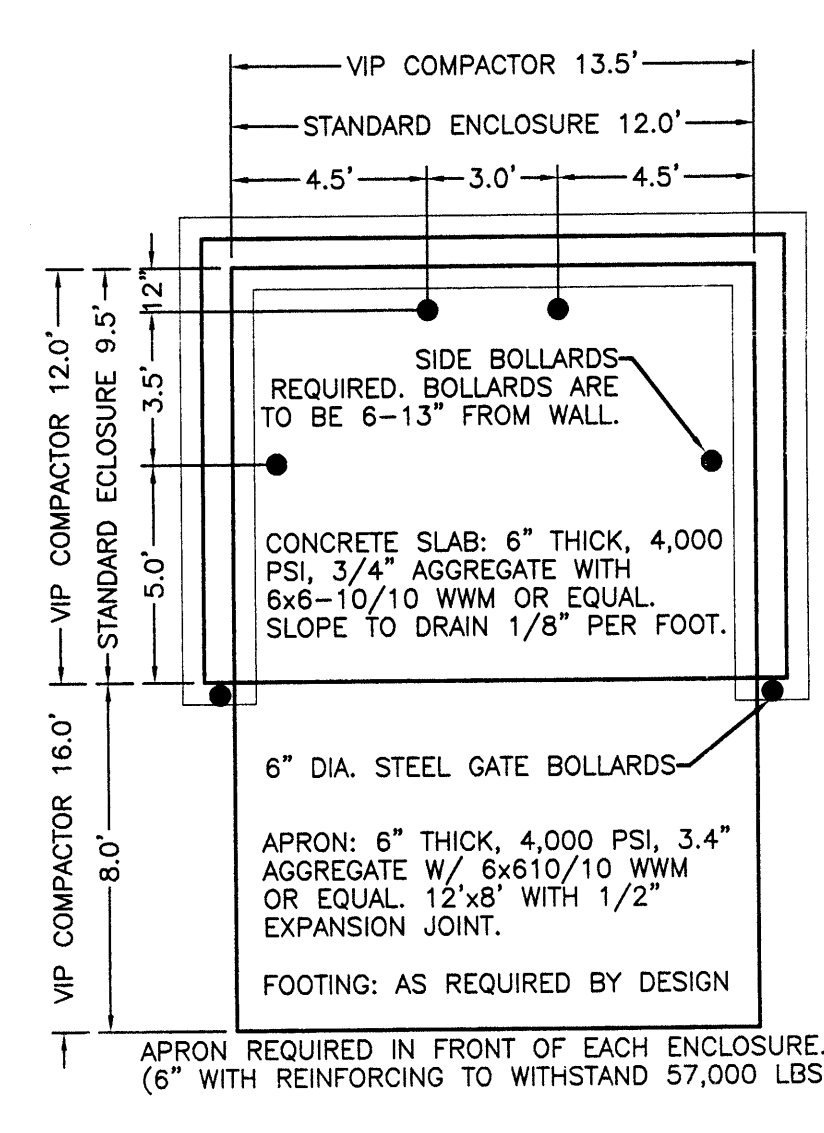
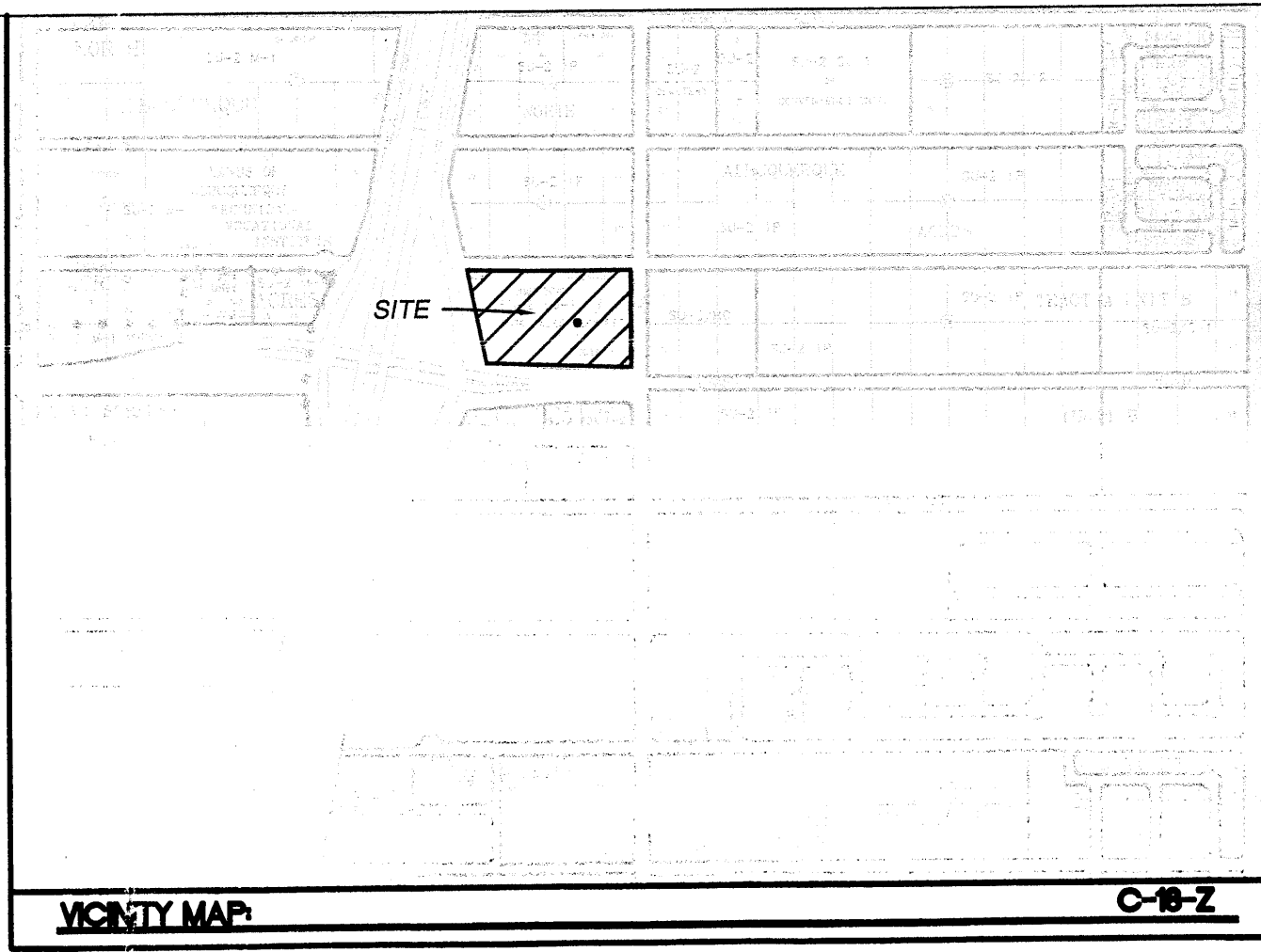
PATRICK McCLELLSON ARCHITECTS/PLANNERS  
 1401 5TH ST. NW ALBUQUERQUE, NEW MEXICO 87102 242-5219

**AMERICAN TOYOTA**  
 ALAMEDA @ I-25 ALBUQUERQUE

SHEET TITLE: 1/26/86  
 SITE DIMENSION PLAN

SHEET NUMBER  
**C1**





**SITE DATA**

	GROSS AREA	BUILDING AREA	NET SITE	LANDSCAPED AREA	% TO NET LANDSCAPE
EXISTING	269,886 SF	42,430 SF	227,456 SF	46,328 SF	20%
PROPOSED	293,608 SF	64,465 SF	229,143 SF	36,801 SF	16%

BICYCLE PARKING  
BICYCLE PARKING REQUIRED: 2 SPACES (1 PER 20 PARKING SPACES, BUT NOT LESS THAN 2 SPACES PER PREMISES)  
BICYCLE PARKING PROVIDED: 4 SPACES

**REQUIRED PARKING DATA CALCULATION**

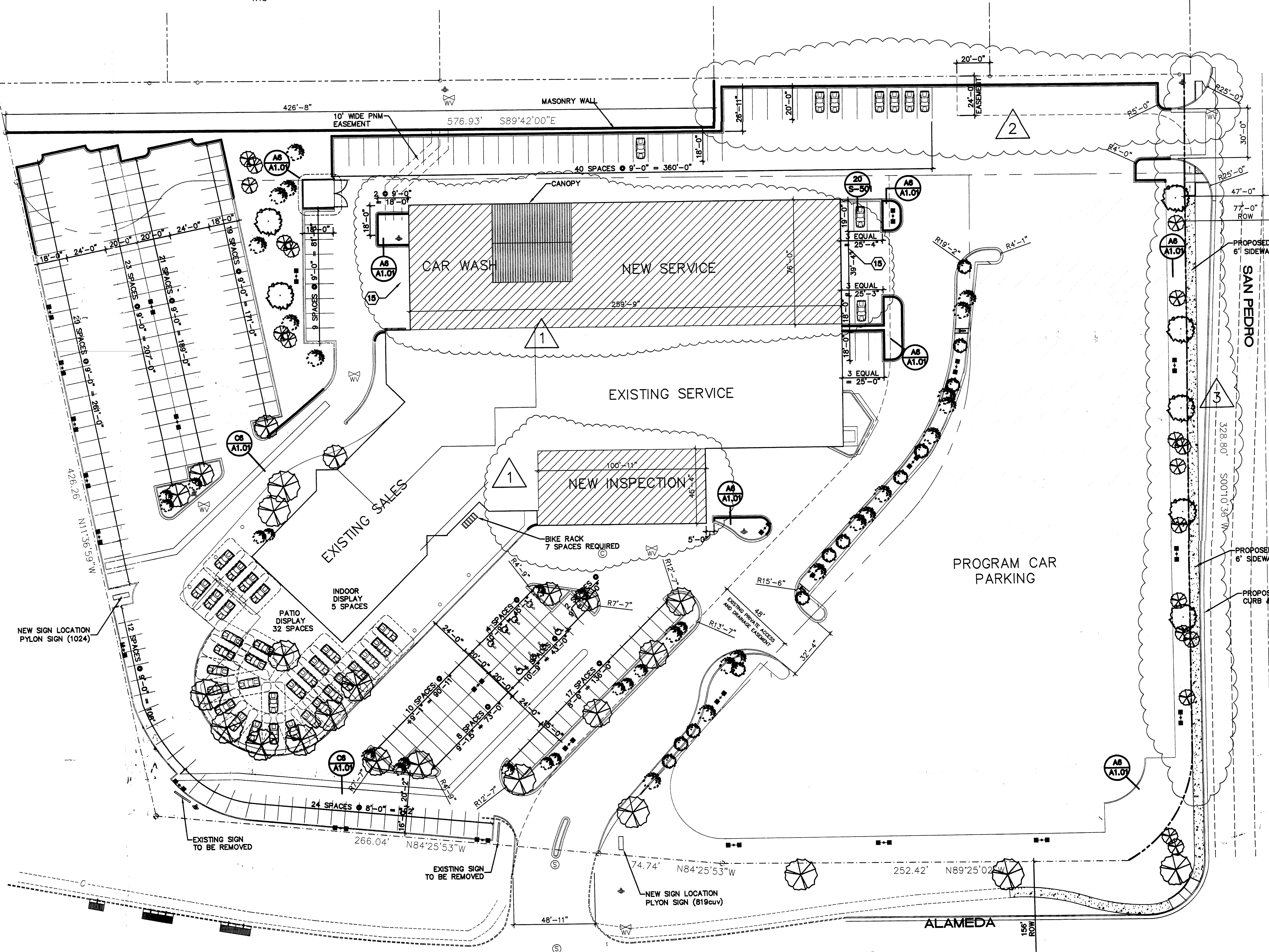
SPACE	SIZE	FACTOR	REQUIRED STALLS
SHOWROOM / OFFICE	15,485 SF	1 SPACE PER 200 SF	78
PARTS WAREHOUSE	12,378 SF	1 SPACE PER 1000 SF	13
SERVICE / INSPECTION	33,938 SF	1 SPACE PER 1000 SF	34
WASH BAYS	2,647 S.F.	1 SPACE PER 1000 SF	3
<b>TOTAL REQUIRED</b>			<b>128</b>
<b>REQUIRED ACCESSIBLE</b>			<b>8</b>

**PROVIDED PARKING**

SPACE	PROVIDED SPACES
CUSTOMER/EMPLOYEE	76
SERVICE BAYS	48
DETAIL BAYS	4
ACCESSIBLE	8
DISPLAY *	355
<b>TOTAL</b>	<b>491</b>

\* 355 DISPLAY PARKING = 439 PARKING SPACES (ON SITE) MINUS 8  
ACCESSIBLE SPACES  
CUSTOMER SPACES  
OTHER SPACES  
INDOOR DISPLAY 5  
PATIO DISPLAY 32

- 1 EXISTING CURB AND GUTTER TO BE REMOVED
- 2 NEW CURB AND GUTTER
- 3 EXISTING LIGHT POLE TO REMAIN
- 4 NEW SIDEWALK
- 5 EXISTING RETAINING WALL
- 6 EXISTING LIGHT POLE TO BE RELOCATED
- 7 EXISTING WATER TANK
- 8 EXISTING ELECTRICAL
- 9 EXISTING SIGNAGE
- 10 EXISTING VEGETATION TO BE REMOVED
- 11 PARKING STRIPES TO BE REMOVED
- 12 EXISTING FIRE HYDRANT TO REMAIN
- 13 EXISTING LANDSCAPE TO REMAIN
- 14 NEW LANDSCAPING TO MATCH EXISTING
- 15 NEW CONCRETE APRON



**PROJECT NUMBER:** 1002848  
**APPLICATION NUMBER:** 08SPC-02047

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List requirement? (X) Yes ( ) No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

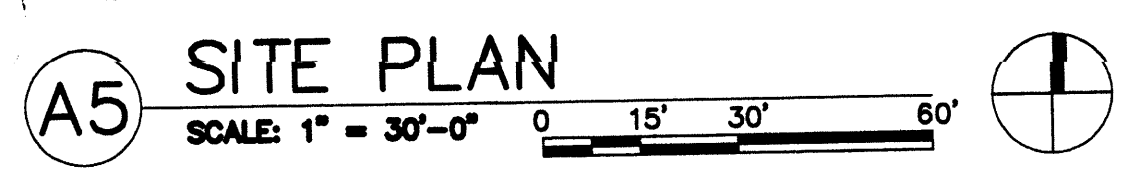
Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary 12/18/03

- SHEET INDEX**
- A1.00 AMENDED SITE PLAN
  - A2.00 AMENDED LANDSCAPE PLAN
  - A3.00 AMENDED EXTERIOR ELEVATIONS
  - A3.01 AMENDED EXTERIOR ELEVATIONS
  - A4.00 AMENDED GRADING PLAN
  - A5.00 SIGN DETAILS
- A1 APPROVED SITE DATA & LANDSCAPING PLAN  
A2 APPROVED EXTERIOR ELEVATIONS  
A3 APPROVED EXTERIOR ELEVATIONS  
A4 APPROVED SITE DIMENSION PLAN

**REVISIONS**

NO.	DATE	REVISIONS	BY
4	03/14/04	PROGRAM CAR PARKING, EXISTING/NEW SIGN, BIKE RACK SPACES	BJF
3	11/07/03	4' RIGHT OF WAY DEDICATION	BOG
2	11/07/03	EXPANDED PARKING AREA	BOG
1	11/05/03	ADDED EXPANSION BUILDING, SERVICE AND INSPECTION AREA	BOG



American Toyota  
Alameda @ I-25  
Albuquerque, New Mexico

DATE	STATUS
6.3.3	Review
PROJECT NUMBER	220082
CAD DWG FILE	2282SP-2-AA
DRAWN BY	BOG
CHECKED BY	RRB
SCALE	AS NOTED
<b>AMENDED SITE PLAN</b>	
	A1.00

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approval.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

New Irrigation shall be tied into existing system.

Irrigation maintenance shall be the responsibility of the Property Owner.

**STREET TREE REQUIREMENTS**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

1-25 Frontage Road  
Required 12    Provided 12

**LANDSCAPE CALCULATIONS**

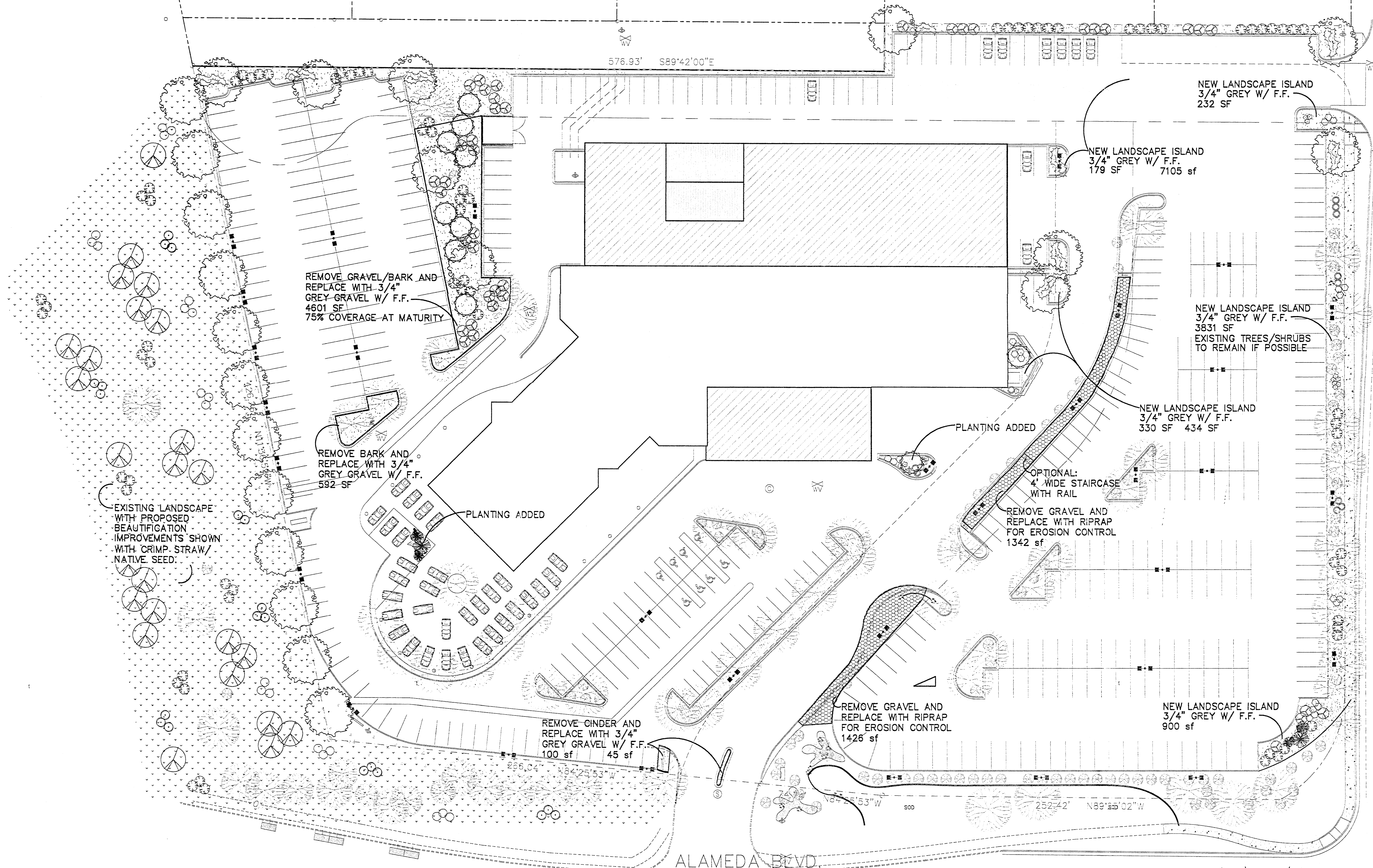
TOTAL LOT AREA	293504	square feet
TOTAL BUILDINGS AREA	48013	square feet
OFFSITE AREA	3095	square feet
NET LOT AREA	242396	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	36359	square feet
TOTAL LANDSCAPE PROVIDED	42270	square feet
TOTAL NEW BED PROVIDED	6764	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQ.	5073	square feet
TOTAL GROUND COVER PROV.	6764	square feet
TOTAL EXISTING	35506	square feet
- INTERIOR BED, OFFSITE BED, AND INTERIOR SOD		

**PLANT LEGEND**

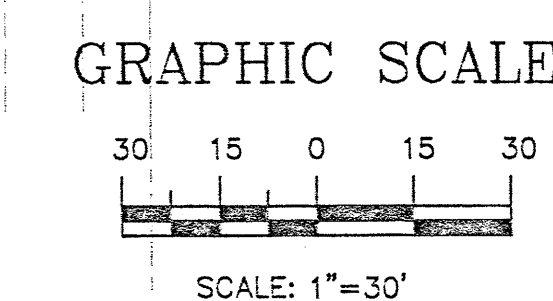
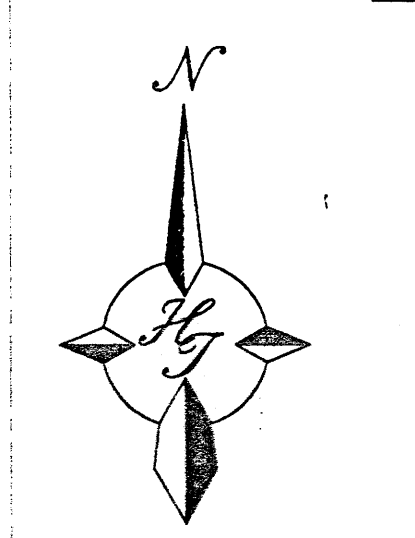
- SYCAMORE (M) -OR- ASH (H) -OR- HONEY LOCUST (H) 22  
Quercus linearis
- DESERT WILLOW (L) 10  
15 Gal.
- DESERT WILLOW (L) 25  
5 Gal.
- PALM YUCCA (L) 6
- RUSSIAN SAGE (M) 21  
Perovskia atriplicifolia  
5 Gal.
- APACHE PLUME (L) 21  
Folium parvifolium  
5 Gal. 25sf
- ROSEMARY (M) 18  
Rosmarinus officinalis  
2 Gal. 36sf
- POTENTILLA (M) 16  
Potentilla fruticosa  
2 Gal.
- AUTUMN SAGE (M) 22  
Salvia greggii  
2 Gal. 9sf
- HONEYBUCKLE (M) 39  
Lonicera sempervirens  
1 Gal. 200sf  
Unstaked-Groundcover
- CHAMISA (L) 66  
Chrysothamnus nauseosus  
1 Gal. 25sf
- TAM JUNIPER (M) 27  
Juniperus scopulorum  
5 Gal. 225sf  
Symbol indicated 3 plants.
- OVERSIZED GRAVEL & 6 BOULDERS
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- CRIMP STRAW/ NATIVE SEED

**EXISTING PLANT LEGEND**

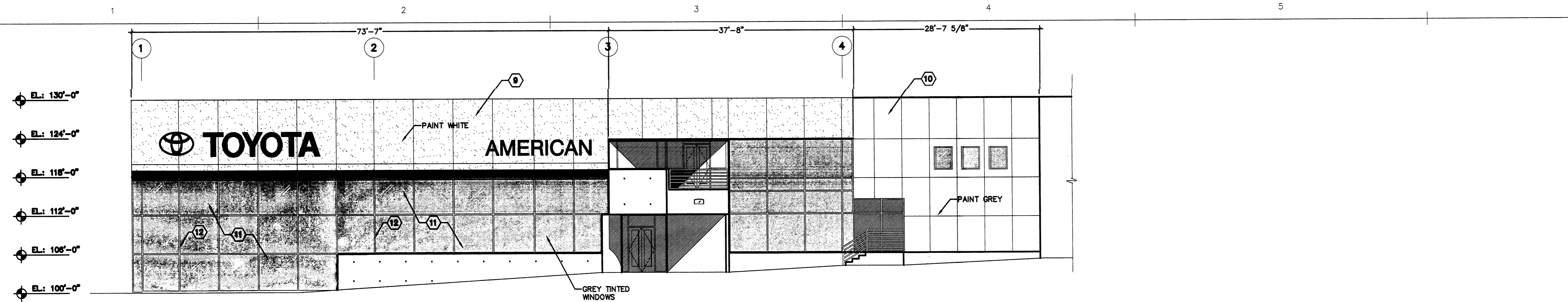
- EXISTING TREE/SHRUB
- EXISTING PALM YUCCA
- OVERSIZED GRAVEL & BOULDERS
- STEEL EDGING
- 3/4" GRAY GRAVEL
- 1 1/2" GRAY GRAVEL
- SANTA FE BROWN C.F.
- RED CINDER GRAVEL
- BARK MULCH
- SOD
- OVERSIZED GRAVEL



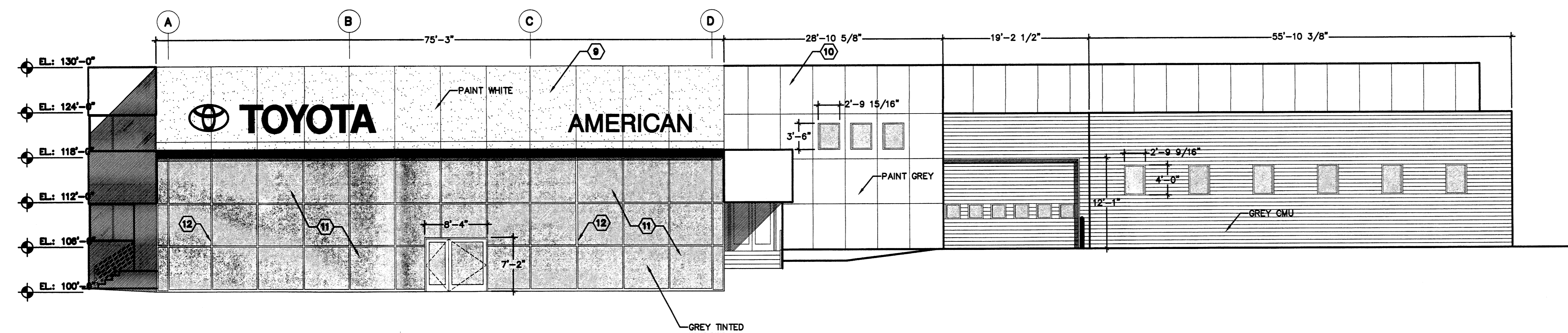
SAN PEDRO RD.



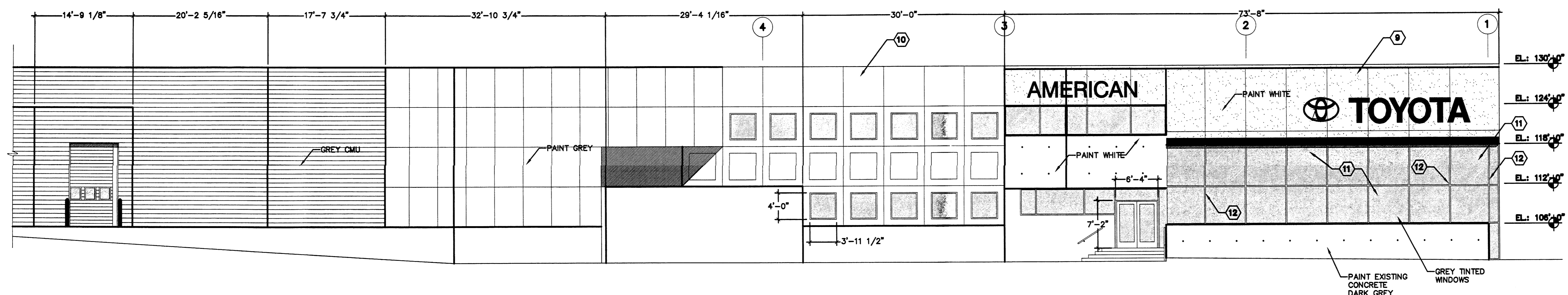
**AMERICAN TOYOTA**



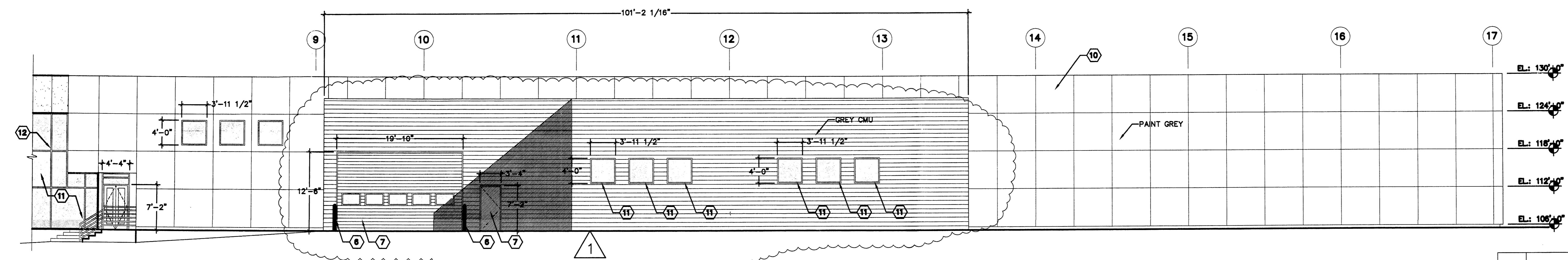
**D2** SOUTHWEST ELEVATION  
SCALE: 1/8" = 1'-0"



**C2** SOUTHWEST ELEVATION  
SCALE: 1/8" = 1'-0"



**B2** NORTHWEST ELEVATION  
SCALE: 1/8" = 1'-0"



**A2** SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

REFERENCE NOTES

- 1 ROOF JOIST
- 2 RAIN GUTTER
- 3 DOWNSPOUT
- 4 STEEL BEAM
- 5 STANDING SEAM METAL ROOF
- 6 BOLLARD
- 7 SCHEDULED DOOR
- 8 EXISTING UTILITY
- 9 NEW EXTERNALLY INSULATED FINISH SYSTEM (EIFS)
- 10 EXISTING CONCRETE PANEL TO REMAIN
- 11 NEW WINDOW
- 12 NEW FINISH ON ALUMINUM MULLION



Bogue Building  
730 Pacific Avenue  
Salt Lake City  
Utah 84104  
801.521.6186 tel  
801.539.1916 fax  
www.ffkr.com

American Toyota  
Alameda @ I-25  
Albuquerque, New Mexico

DATE	STATUS

6.3.3 Review  
PROJECT NUMBER 220082  
CAD DWG FILE 2282ELEV-AA  
DRAWN BY BDG  
CHECKED BY RRB

SCALE: NOTED  
AMENDED EXTERIOR ELEVATIONS  
A3.00

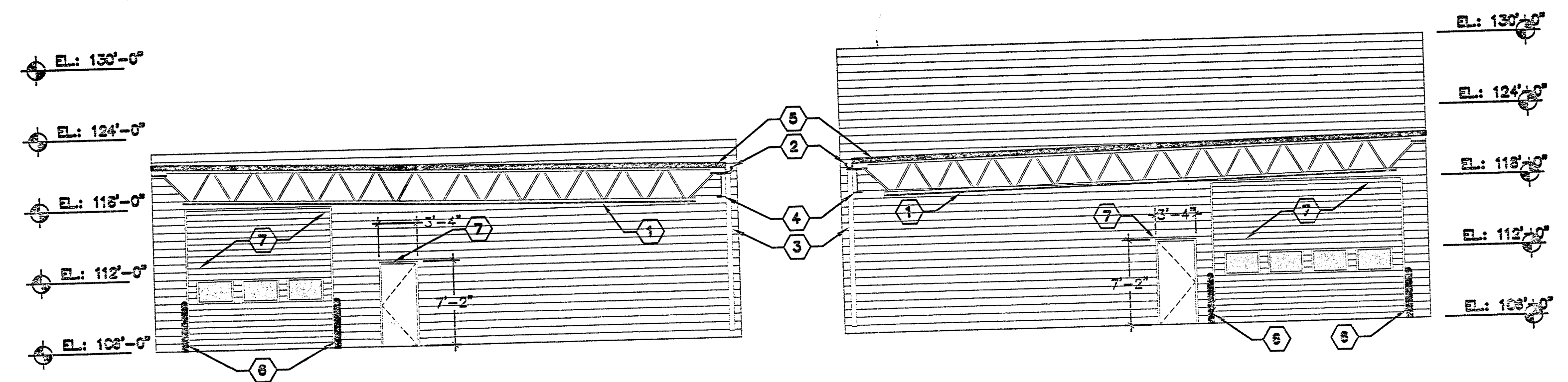
NO.	DATE	REMARKS	BY
1	11/05/03	ADDED EXPANSION BUILDING, SERVICE AND INSPECTION AREA	BDG
REVISIONS			

REFERENCE NOTES

- 1 ROOF JOIST
- 2 RAIN GUTTER
- 3 DOWNSPOUT
- 4 STEEL BEAM
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- 11 NEW WINDOW
- 12 NEW FINISH ON ALUMINUM MULLION

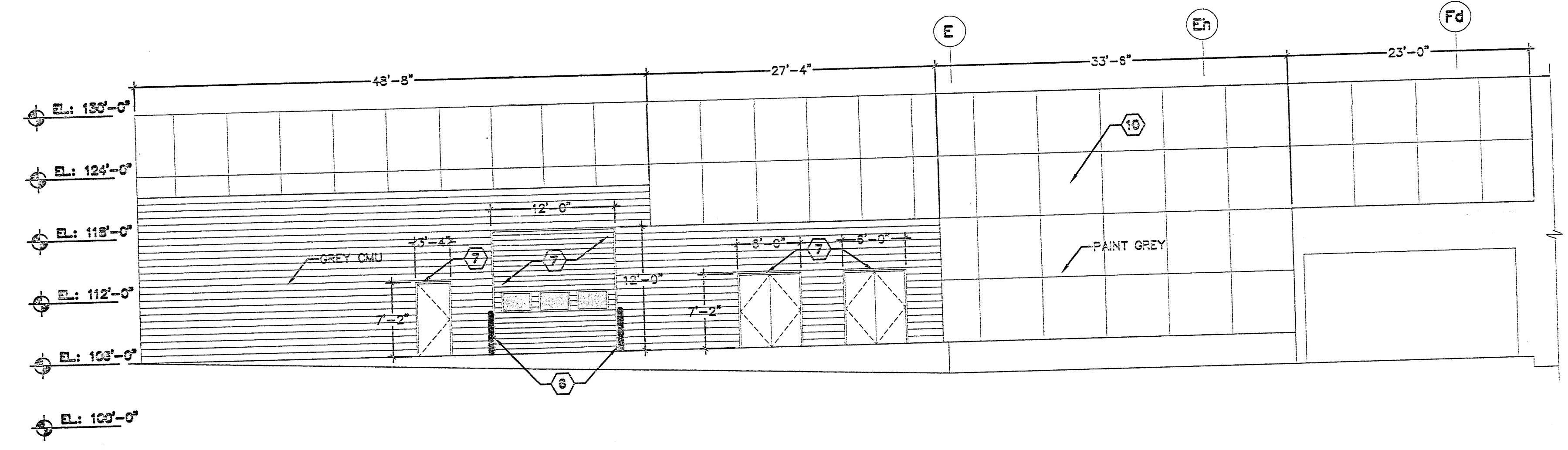


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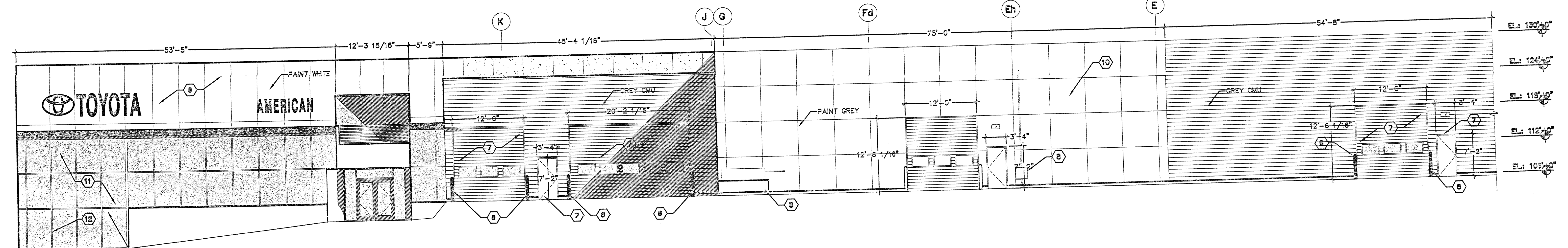


C5 DETAIL / CAR WASH AREA WEST ELEVATION  
SCALE: 1/8" = 1'-0"

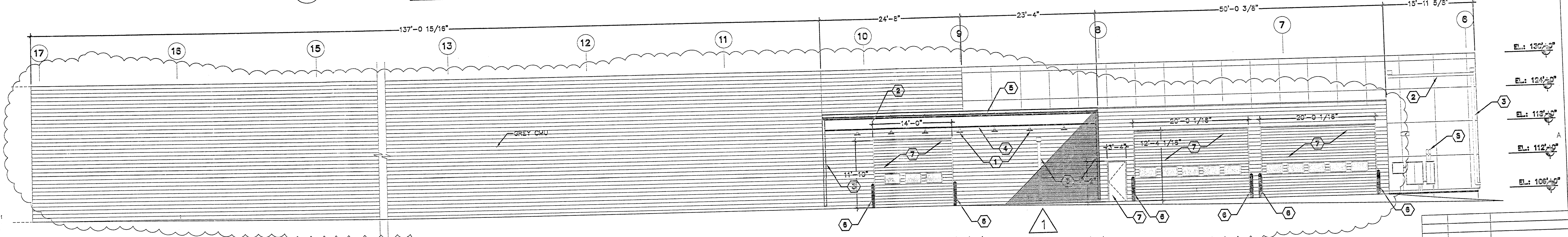
C6 SERVICE AREA EAST ELEVATION  
SCALE: 1/8" = 1'-0"



C2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



B2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



A2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

American Toyota  
Alameda @ I-25  
Albuquerque, New Mexico

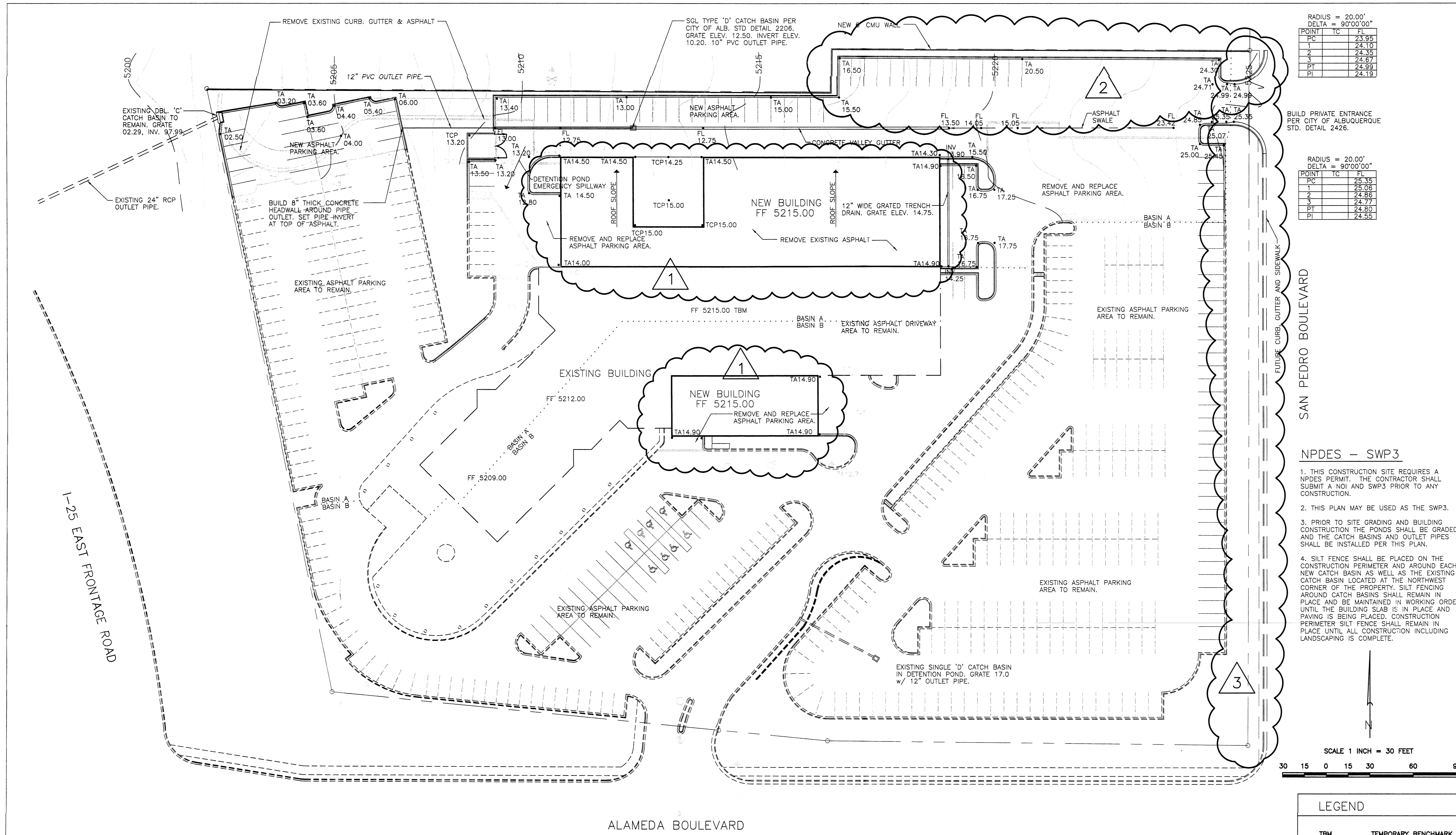
DATE	STATUS

6.3.3 | Review  
PROJECT NUMBER 220082  
CAD DWG FILE 2232ELEV-AA  
DRAWN BY BCG  
CHECKED BY RRB

SCALE: NOTED  
AMENDED EXTERIOR ELEVATIONS  
A3.01

NO.	DATE	REMARKS	BY
1	11/05/03	ADDED EXPANSION BUILDING, SERVICE AND INSPECTION AREA	BDG





RADIUS = 20.00'  
DELTA = 90°00'00"

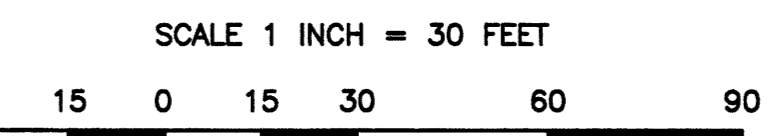
POINT	TC	FL
PC	24.85	24.10
1	24.85	24.85
2	24.85	24.85
PT	24.85	24.85
PI	24.85	24.15

RADIUS = 20.00'  
DELTA = 90°00'00"

POINT	TC	FL
PC	24.85	24.10
1	24.85	24.85
2	24.85	24.85
PT	24.85	24.85
PI	24.85	24.15

**NPDES - SWP3**

1. THIS CONSTRUCTION SITE REQUIRES A NPDES PERMIT. THE CONTRACTOR SHALL SUBMIT A NOI AND SWP3 PRIOR TO ANY CONSTRUCTION.
2. THIS PLAN MAY BE USED AS THE SWP3.
3. PRIOR TO SITE GRADING AND BUILDING CONSTRUCTION THE PONDS SHALL BE GRADED AND THE CATCH BASINS AND OUTLET PIPES SHALL BE INSTALLED PER THIS PLAN.
4. SILT FENCE SHALL BE PLACED ON THE CONSTRUCTION PERIMETER AND AROUND EACH NEW CATCH BASIN AS WELL AS THE EXISTING CATCH BASIN LOCATED AT THE NORTHWEST CORNER OF THE PROPERTY. SILT FENCING AROUND CATCH BASINS SHALL REMAIN IN PLACE AND BE MAINTAINED IN WORKING ORDER UNTIL THE BUILDING SLAB IS IN PLACE AND PAVING IS BEING PLACED. CONSTRUCTION PERIMETER SILT FENCE SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION INCLUDING LANDSCAPING IS COMPLETE.



**LEGEND**

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

.....	DRAINAGE BASIN BOUNDARY
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	RECORD SPOT ELEVATION

VICINITY MAP NO. C-18

FEMA FIRM PANEL NO. 137

**DRAINAGE NOTES**

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

**GRADING NOTES**

1. THIS PROJECT IS SUBJECT TO CONDITIONS AND REQUIREMENTS OF THE NPDES. THE CONTRACTOR SHALL STRICTLY ADHERE TO REQUIREMENTS SHOWN ON THIS PLAN OR AN APPROVED REVISED PLAN REGARDING EROSION CONTROL FOR THIS SITE.
2. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND BY SOIL TO PREVENT IT FROM BLOWING.
3. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
4. THE CONTRACTOR SHALL SECURE A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING CONSTRUCTION.

**EROSION CONTROL NOTES**

1. THIS PROJECT IS SUBJECT TO CONDITIONS AND REQUIREMENTS OF THE NPDES. THE CONTRACTOR SHALL STRICTLY ADHERE TO REQUIREMENTS SHOWN ON THIS PLAN OR AN APPROVED REVISED PLAN REGARDING EROSION CONTROL FOR THIS SITE.
2. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND BY SOIL TO PREVENT IT FROM BLOWING.
3. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
4. THE CONTRACTOR SHALL SECURE A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING CONSTRUCTION.

no.	date	remarks	by

project title  
**AMERICAN TOYOTA  
5995 ALAMEDA NE  
ALBUQUERQUE, NM**

sheet title  
**GRADING & DRAINAGE PLAN**

sheet date  
08/22/03

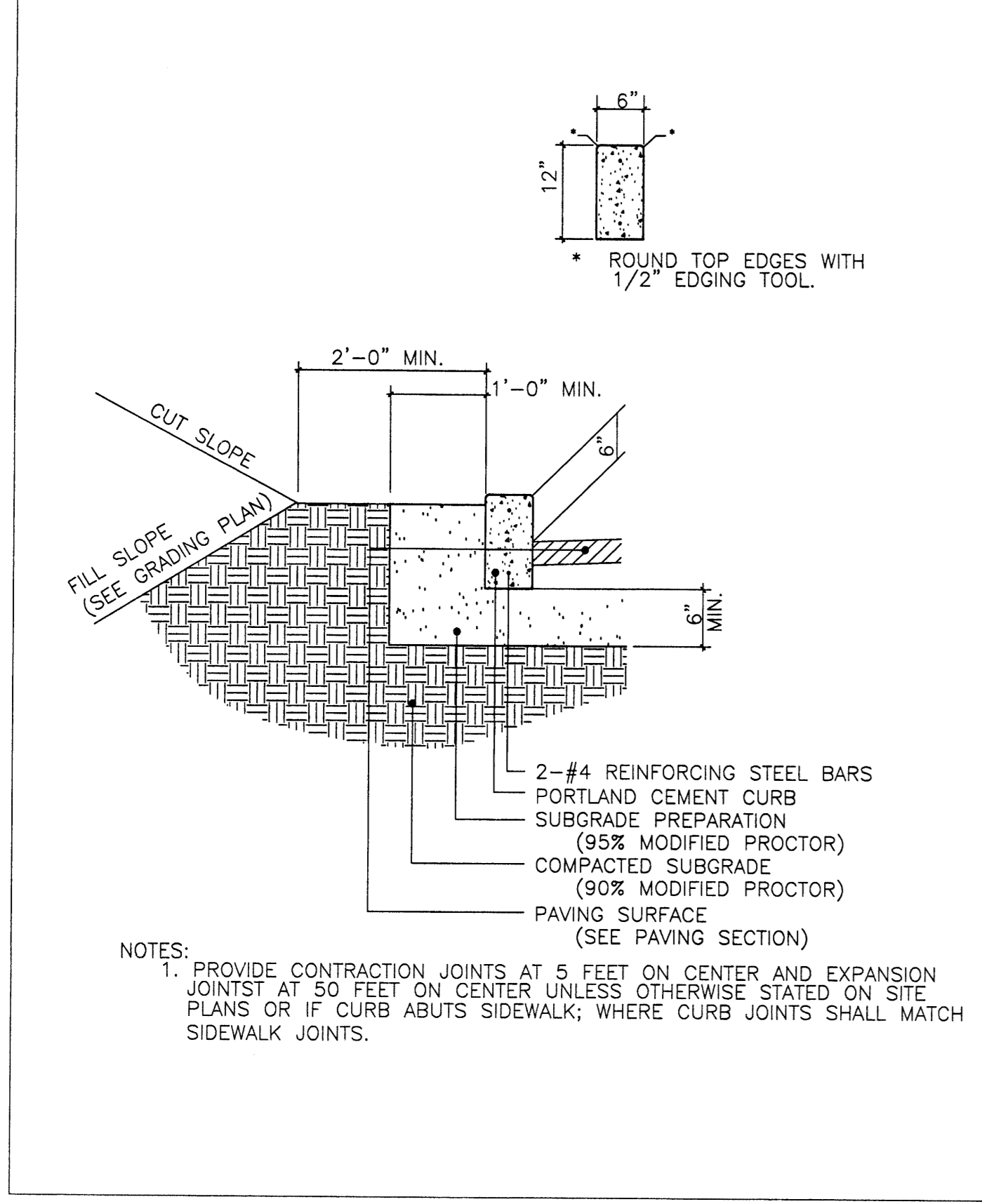
design by  
JJB

project no.  
0326

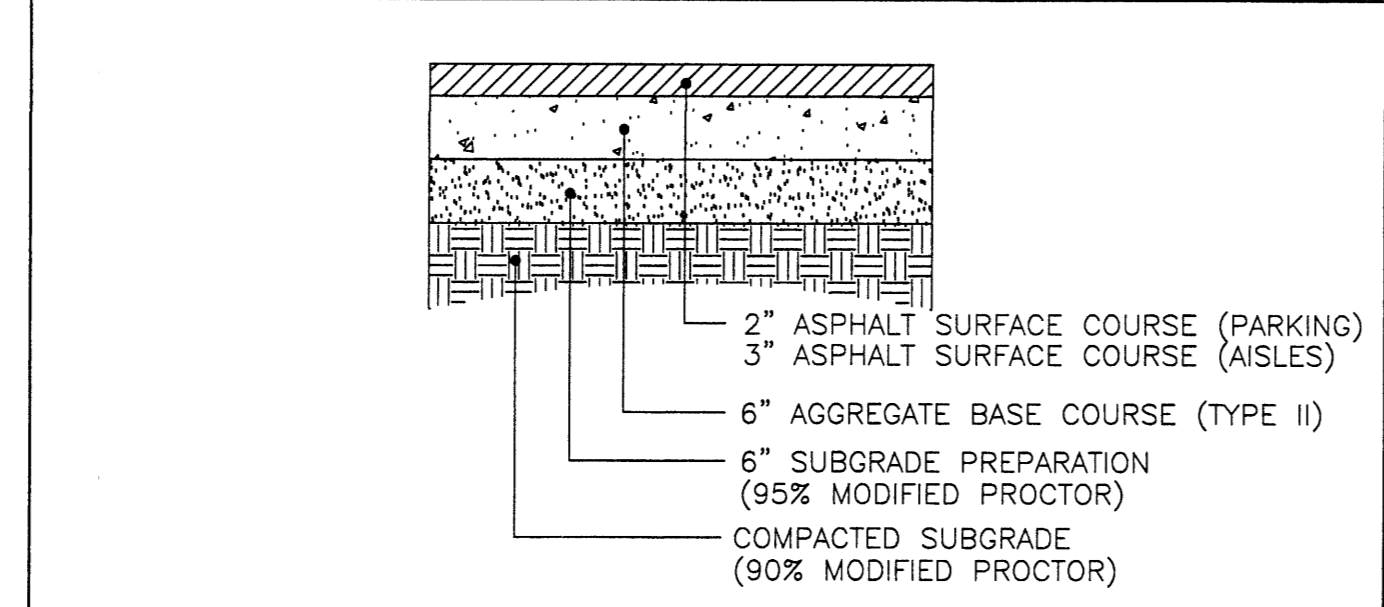
sheet  
A4.00

**BORDENAVE DESIGNS**  
P.O. BOX 91194, ALBUQUERQUE, NM 87199  
(505)823-1344 FAX (505)821-9105

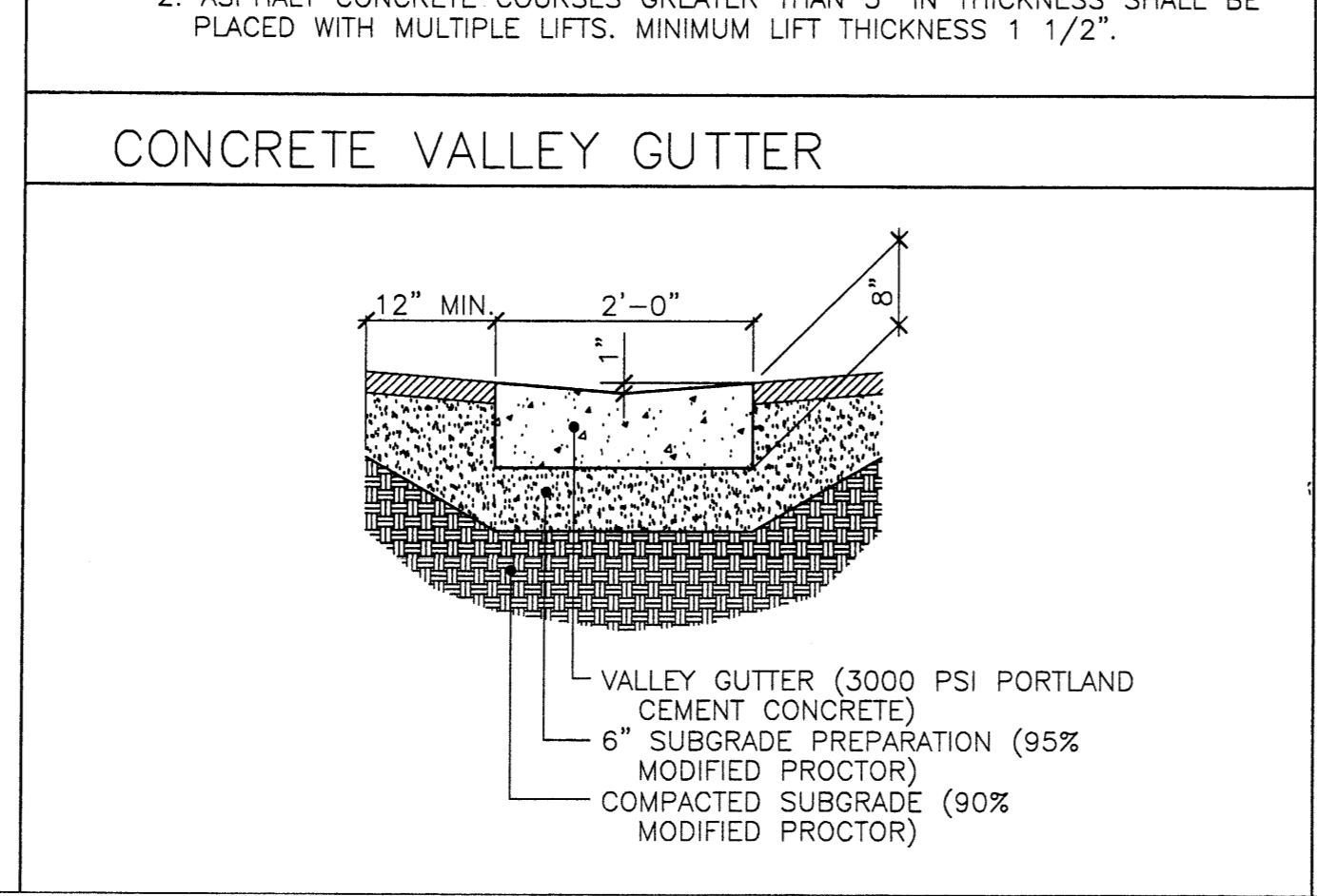
**HEADER CURB**



**ASPHALT PAVEMENT**



**CONCRETE VALLEY GUTTER**



**DRAINAGE DATA**

NO.	DATE	REVISIONS	BY
3	11/07/03	4' RIGHT OF WAY DEDICATION	BDG
2	11/07/03	EXPANDED PARKING AREA	BDG
1	11/06/03	ADDED EXPANSION BUILDING, SERVICE AND INSPECTION AREA	BDG
		REMARKS	BY

**LEGAL DESCRIPTION**

TRACTS A1 AND B1, AMERICAN TOYOTA

PERMANENT BENCHMARK

ACS 10-C18 ELEVATION 5219.41 (NOV 1929)

**GRADING CERTIFICATION**

I, Jean J. Bordenave, New Mexico Professional Engineer and Land Surveyor No. 5110, hereby certify that I have personally inspected the property shown hereon and that it appears that no grading, filling or excavation has occurred thereon since the contour map shown hereon was prepared.

Jean J. Bordenave, NM PE & PS No. 5110

SIGNS TO BE INSTALLED CENTERED BETWEEN THE TOP OF RED BAND AND THE BOTTOM OF FLASHING, ON TOP OF THE BULKHEAD.

SIGNS TO BE INSTALLED CENTERED BETWEEN THE TOP OF RED BAND AND THE BOTTOM OF FLASHING, ON TOP OF THE BULKHEAD.

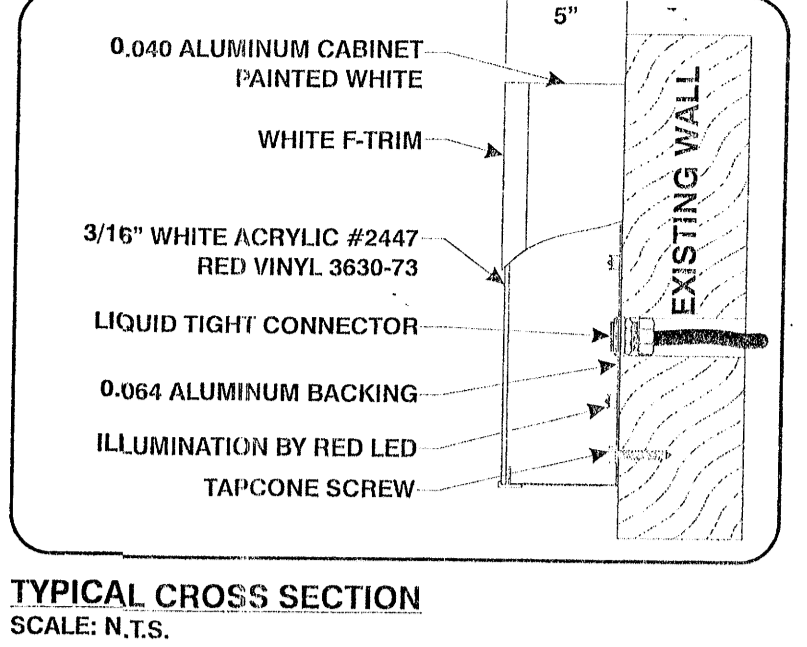
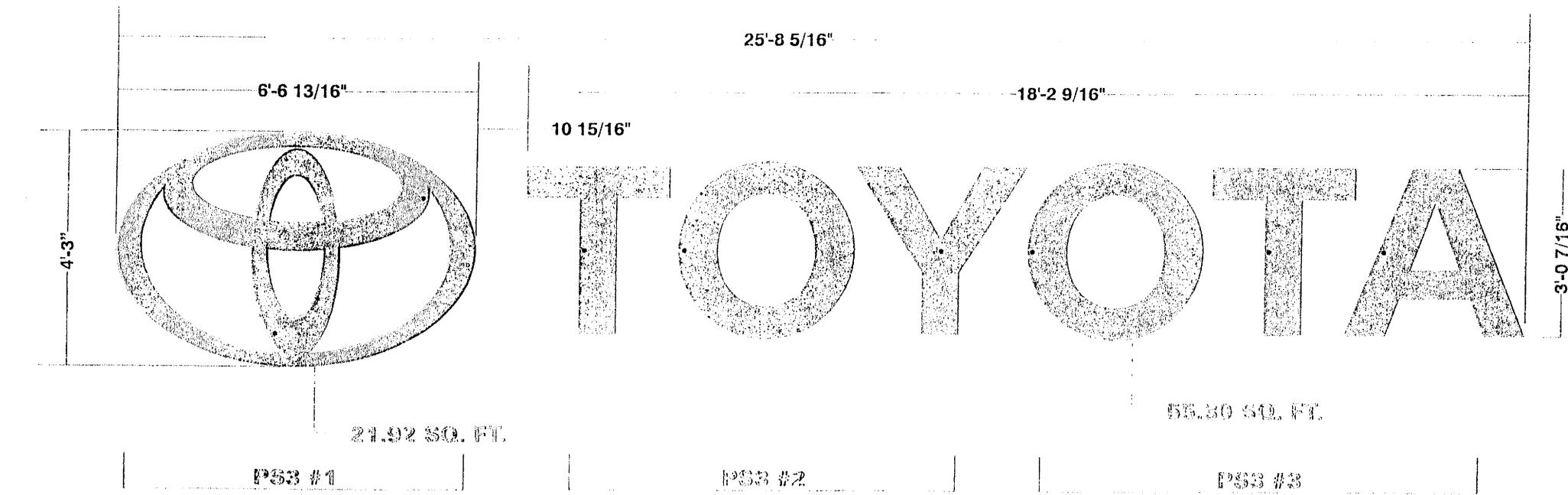
SIGNS TO BE INSTALLED CENTERED BETWEEN THE TOP OF RED BAND AND THE BOTTOM OF FLASHING, ON TOP OF THE BULKHEAD.

ILLUMINATED LETTERS CHANNEL (TB51) LOGO 4'-3" X 6'-6 13/16" = 21.92 SQ. FT. LETTERS 18'-2 9/16" X 3'-0 7/16" = 55.30 SQ. FT.

ILLUMINATED LETTERS CHANNEL (TDN30) LETTERS 2'-6" X 15'-9 3/4" = 39.53 SQ. FT.

Approval / Approval BY: PAR DATE:

Table with columns: CLIENT (TOYOTA #30034), SITE (AMERICAN), CONSULTANT (TANYA ANDERSEN), DATE (12.15.03), SCALE (1" = 1'-0"), SHEETS (1), PROJECT (JPM-11088-1), DRAFTSMAN/DESIGNATEUR (TINA ALBERT)



ILLUMINATED CHANNEL LETTERS (T018)

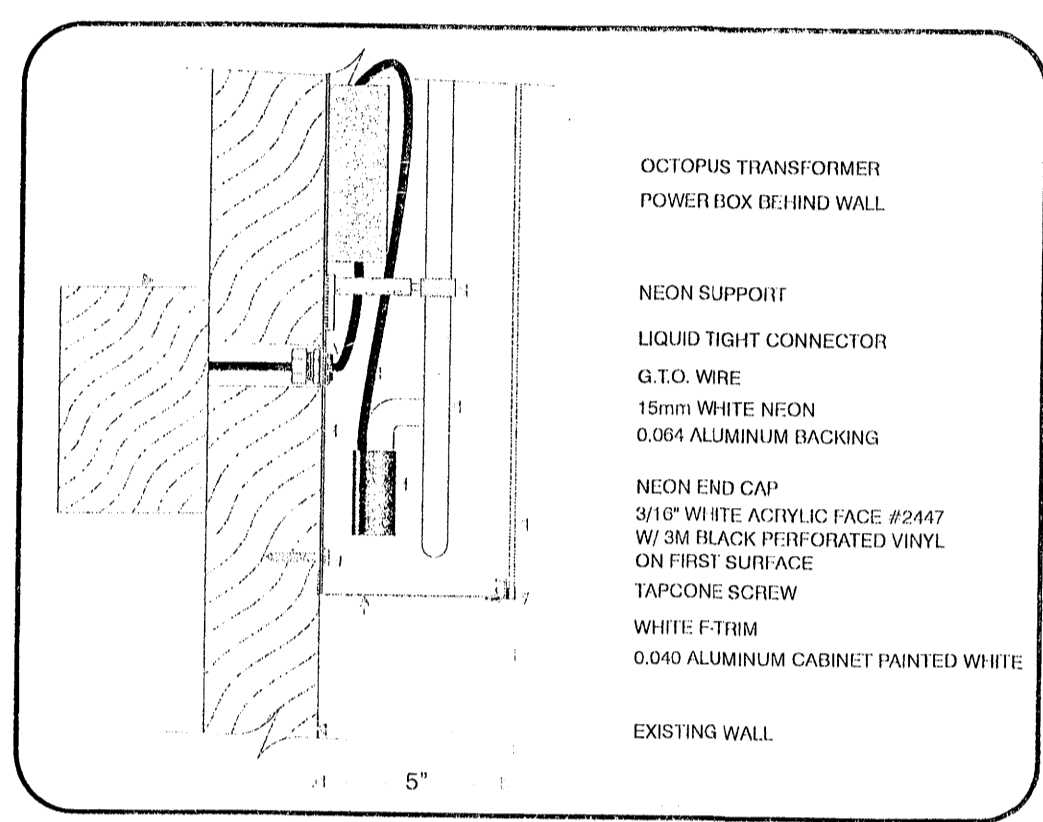
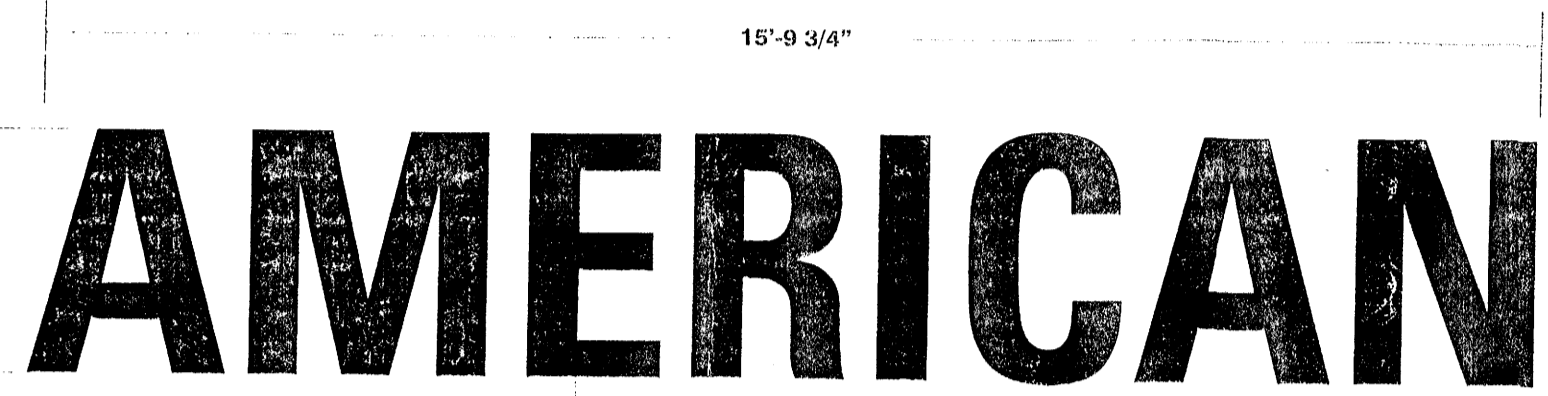
- ALUMINUM CABINETS PAINTED WHITE
- F-TRIM RETAINERS PAINTED WHITE
- 3/16" WHITE PIGMENTED ACRYLIC #2447
- RED VINYL #3630-73 APPLY ON FIRST SURFACE
- ILLUMINATED BY RED LED
- ELECTRICAL HOOKUP SUPPLIED BY OTHERS
- BLACK CIRCLE SHOWS WHERE THE ELECTRICAL COME OUT FROM THE LOGO LETTERS

NOTES

Table with columns: CLIENT (TOYOTA #30034), SITE (AMERICAN), CONSULTANT (TANYA ANDERSEN), DATE (12.15.03), SCALE (1" = 1'-0"), SHEETS (1), PROJECT (JPM-11088-1), DRAFTSMAN/DESIGNATEUR (TINA ALBERT)

Approval / Approval BY: PAR DATE:

Table with columns: CLIENT (TOYOTA #30034), SITE (AMERICAN), CONSULTANT (TANYA ANDERSEN), DATE (12.15.03), SCALE (1" = 1'-0"), SHEETS (2), PROJECT (JPM-11088-1), DRAFTSMAN/DESIGNATEUR (TINA ALBERT)



TYPICAL CROSS SECTION SCALE: N.T.S.

ILLUMINATED CHANNEL LETTERS (T018)

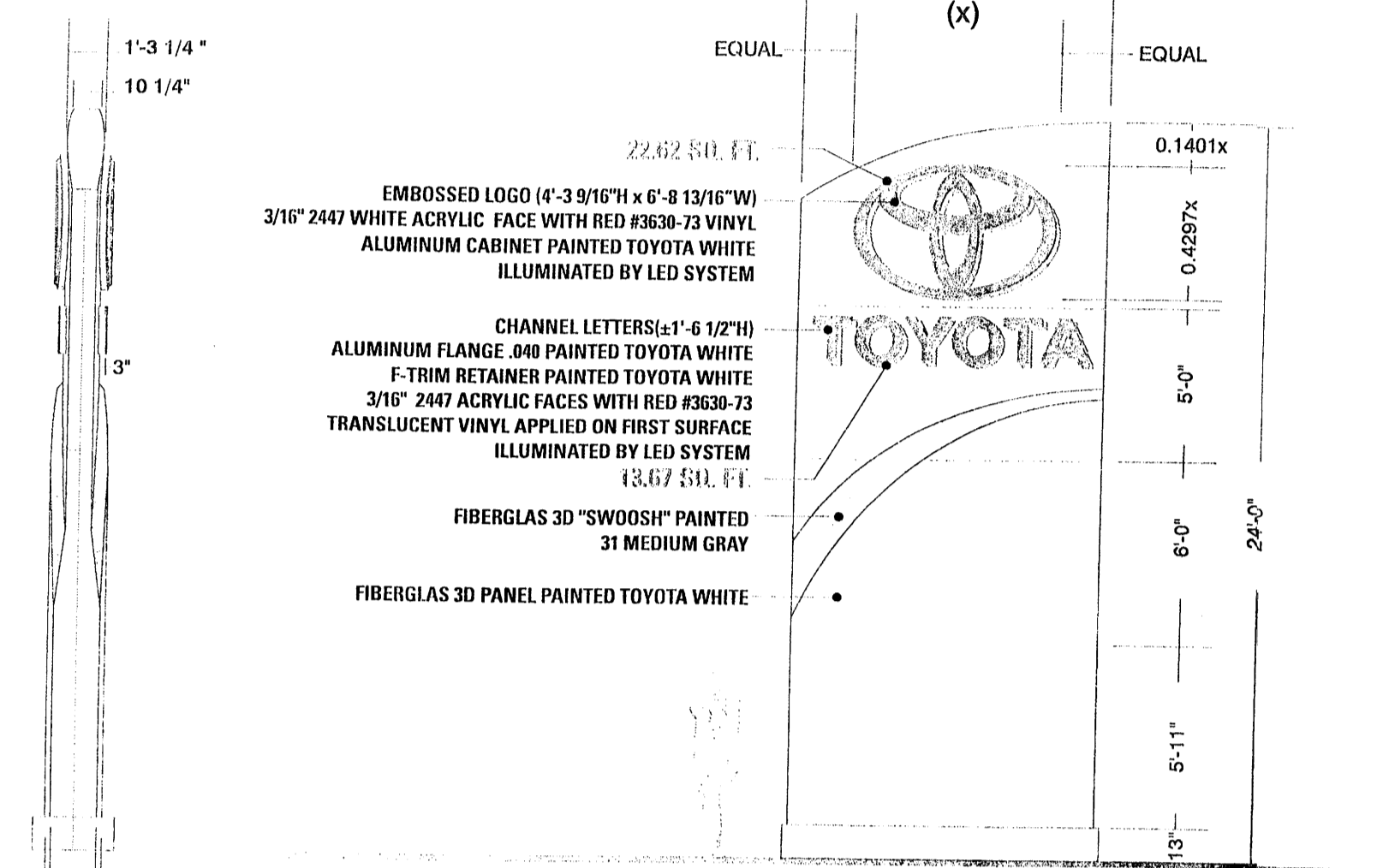
- ALUMINUM CABINETS PAINTED WHITE
- F-TRIM RETAINERS PAINTED WHITE
- 3/16" WHITE PIGMENTED ACRYLIC #2447
- BLACK PERFORATED VINYL 3630-222 APPLY ON FIRST SURFACE
- ILLUMINATED BY 2 ROW OF 1500V WHITE NEON
- ELECTRICAL HOOKUP SUPPLIED BY OTHERS

NOTES

Table with columns: CLIENT (TOYOTA #30034), SITE (AMERICAN), CONSULTANT (TANYA ANDERSEN), DATE (12.15.03), SCALE (1" = 1'-0"), SHEETS (1), PROJECT (JPM-11088-1), DRAFTSMAN/DESIGNATEUR (TINA ALBERT)

Approval / Approval BY: PAR DATE:

Table with columns: CLIENT (TOYOTA #30034), SITE (AMERICAN), CONSULTANT (TANYA ANDERSEN), DATE (12.15.03), SCALE (1" = 1'-0"), SHEETS (3), PROJECT (JPM-11088-1), DRAFTSMAN/DESIGNATEUR (TINA ALBERT)



SEE TECHNICAL DRAWINGS FOR FABRICATION

ILLUMINATED D/F PYLON (1024)

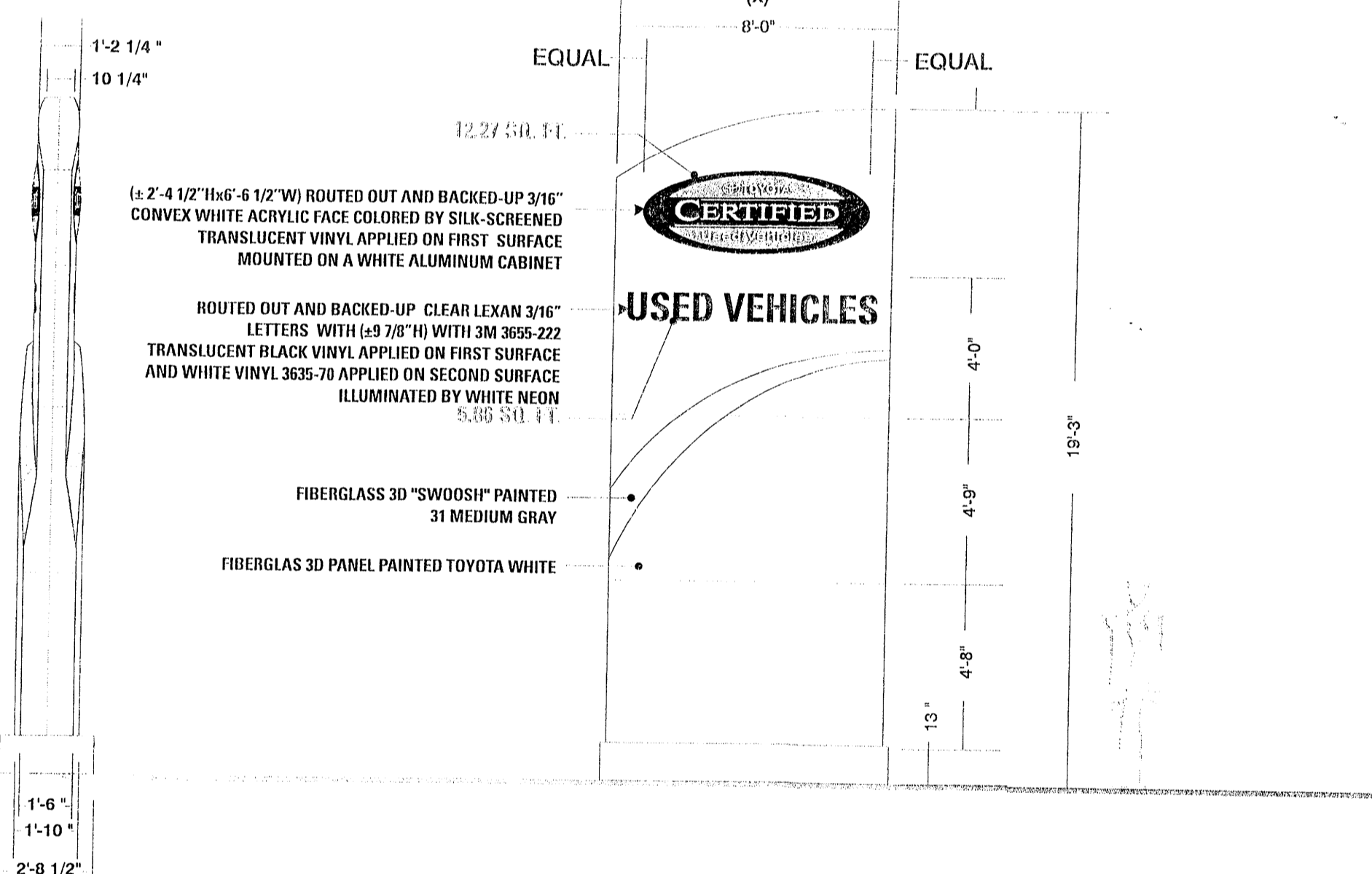
- EMBOSSED LOGO (1" X 3/8" X 1/4" X 1/4")
- 3/16" 240 WHITE ACRYLIC FACE WITH RED #3630 VINYL
- ALUMINUM CABINET PAINTED TOYOTA WHITE
- ILLUMINATED BY LED SYSTEM
- CHANNEL LETTERS (1" X 3/8")
- ALUMINUM FLANGE AND PAINTED TOYOTA WHITE
- F-TRIM RETAINER PAINTED TOYOTA WHITE
- 3/16" 240 ACRYLIC FACE WITH RED #3630 VINYL
- TRANSPARENT VINYL APPLIED ON FIRST SURFACE
- ILLUMINATED BY LED SYSTEM
- 1800 S&L E.T.
- FIBERGLAS 3D 'SWISSIP' PAINTED 31 MEDIUM GRAY
- FIBERGLAS 3D PANEL PAINTED TOYOTA WHITE

NOTES

Table with columns: CLIENT (TOYOTA #30034), SITE (AMERICAN), CONSULTANT (TANYA ANDERSEN), DATE (12.15.03), SCALE (1" = 1'-0"), SHEETS (1), PROJECT (JPM-11088-1), DRAFTSMAN/DESIGNATEUR (TINA ALBERT)

Approval / Approval BY: PAR DATE:

Table with columns: CLIENT (TOYOTA #30034), SITE (AMERICAN), CONSULTANT (TANYA ANDERSEN), DATE (12.15.03), SCALE (1" = 1'-0"), SHEETS (4), PROJECT (JPM-11088-1), DRAFTSMAN/DESIGNATEUR (TINA ALBERT)



SEE TECHNICAL DRAWINGS FOR FABRICATION

ILLUMINATED D/F PYLON (1024)

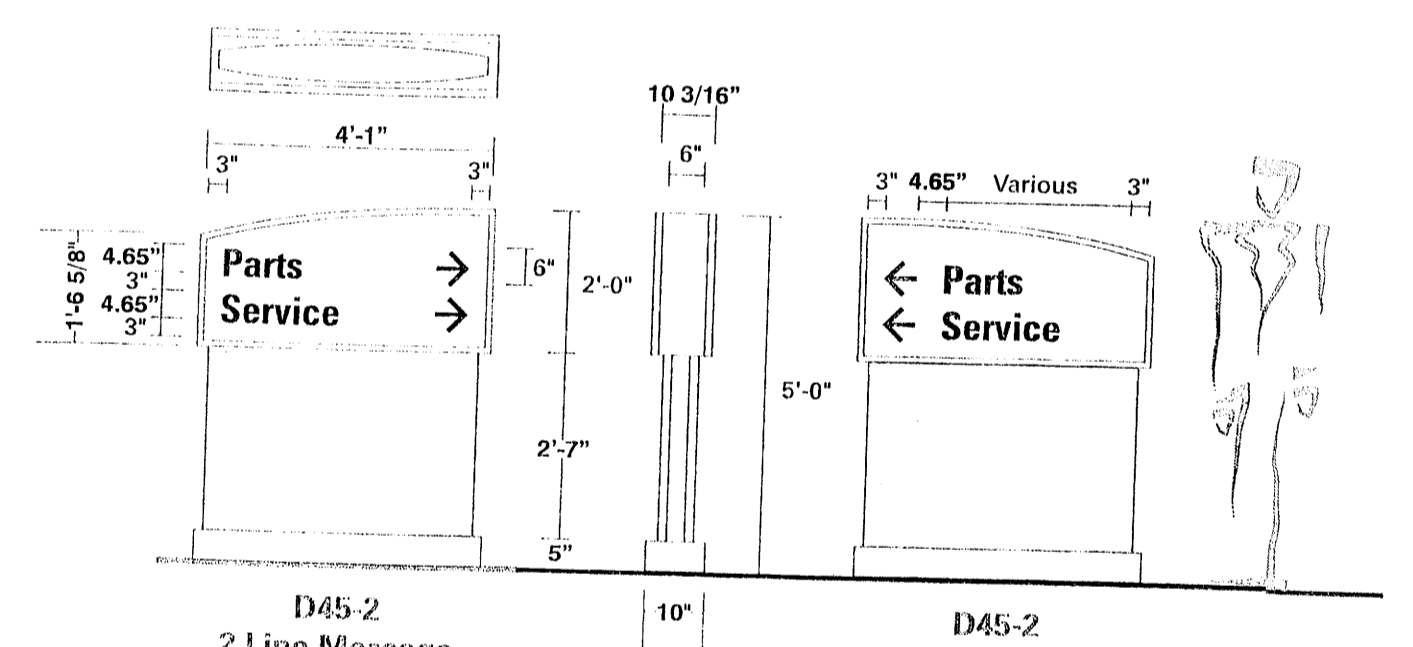
- 1/2" X 4 1/2" 1800 4 1/2" W/ ROUTED OUT AND BACKED UP 3/16" CORNER WHITE ACRYLIC FACE COLORED BY SILK SCREENED TRANSPARENT VINYL APPLIED ON FIRST SURFACE MOUNTED ON A WHITE ALUMINUM CABINET
- ROUTED OUT AND BACKED UP CLEAR LEXAN 3/16" LETTERS WITH 1/4" W/ 3M 3630-222 TRANSPARENT BLACK VINYL APPLIED ON FIRST SURFACE AND WHITE VINYL 3630-73 APPLIED ON SECOND SURFACE
- ILLUMINATED BY WHITE NEON
- 5.80 S&L E.T.
- FIBERGLAS 3D 'SWISSIP' PAINTED 31 MEDIUM GRAY
- FIBERGLAS 3D PANEL PAINTED TOYOTA WHITE

NOTES

Table with columns: CLIENT (TOYOTA #30034), SITE (AMERICAN), CONSULTANT (TANYA ANDERSEN), DATE (12.15.03), SCALE (1" = 1'-0"), SHEETS (1), PROJECT (JPM-11088-1), DRAFTSMAN/DESIGNATEUR (TINA ALBERT)

Approval / Approval BY: PAR DATE:

Table with columns: CLIENT (TOYOTA #30034), SITE (AMERICAN), CONSULTANT (TANYA ANDERSEN), DATE (12.15.03), SCALE (1" = 1'-0"), SHEETS (5), PROJECT (JPM-11088-1), DRAFTSMAN/DESIGNATEUR (TINA ALBERT)



ILLUMINATED D/F DIRECTIONAL (D45-2)

- 1 1/4" X 1" ALUMINUM ANGLE RETAINERS PAINTED WHITE
- ALUMINUM EXTRUSION CABINET FIN-EDGE PAINTED WHITE
- 3/16" WHITE ACRYLIC FACE WITH BLACK VINYL 372-52
- ILLUMINATED BY 2 - PART 1100 FLUORESCENT LAMPS
- 3" X 3" 1/8" STEEL POST WITH 1/4" X 1/8" 3/16" T.C. STEEL PLATE
- 1/8" ALUMINUM SHEET RECORD PAINTED WHITE
- 1/8" ALUMINUM SHEET BLACK COVER PAINTED WHITE
- TOGGLE SWITCH ON SIDE OF CABINET

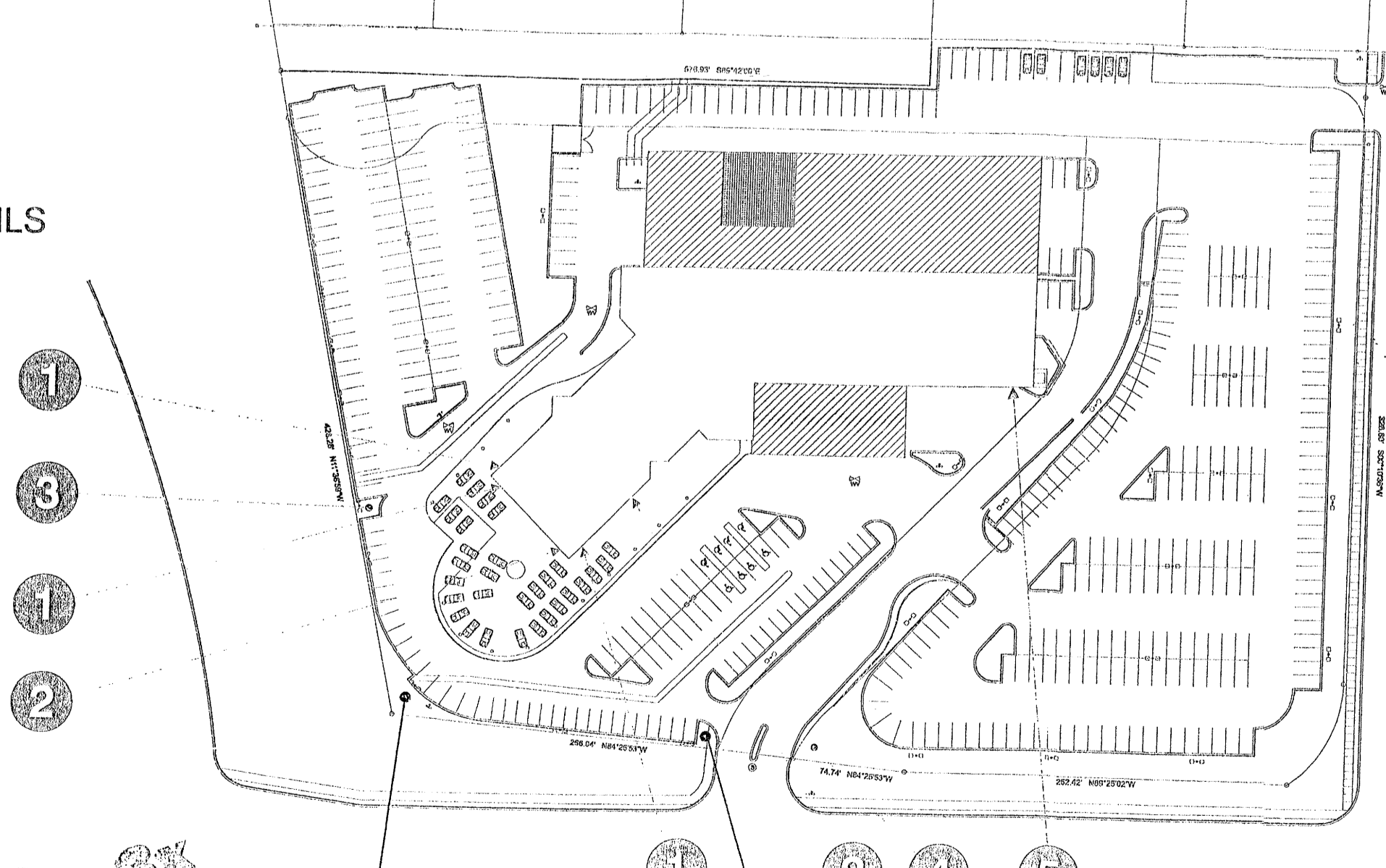
NOTES

Table with columns: CLIENT (TOYOTA #30034), SITE (AMERICAN), CONSULTANT (TANYA ANDERSEN), DATE (12.15.03), SCALE (1" = 1'-0"), SHEETS (1), PROJECT (JPM-11088-1), DRAFTSMAN/DESIGNATEUR (TINA ALBERT)

Approval / Approval BY: PAR DATE:

Table with columns: CLIENT (TOYOTA #30034), SITE (AMERICAN), CONSULTANT (TANYA ANDERSEN), DATE (12.15.03), SCALE (1" = 1'-0"), SHEETS (6), PROJECT (JPM-11088-1), DRAFTSMAN/DESIGNATEUR (TINA ALBERT)

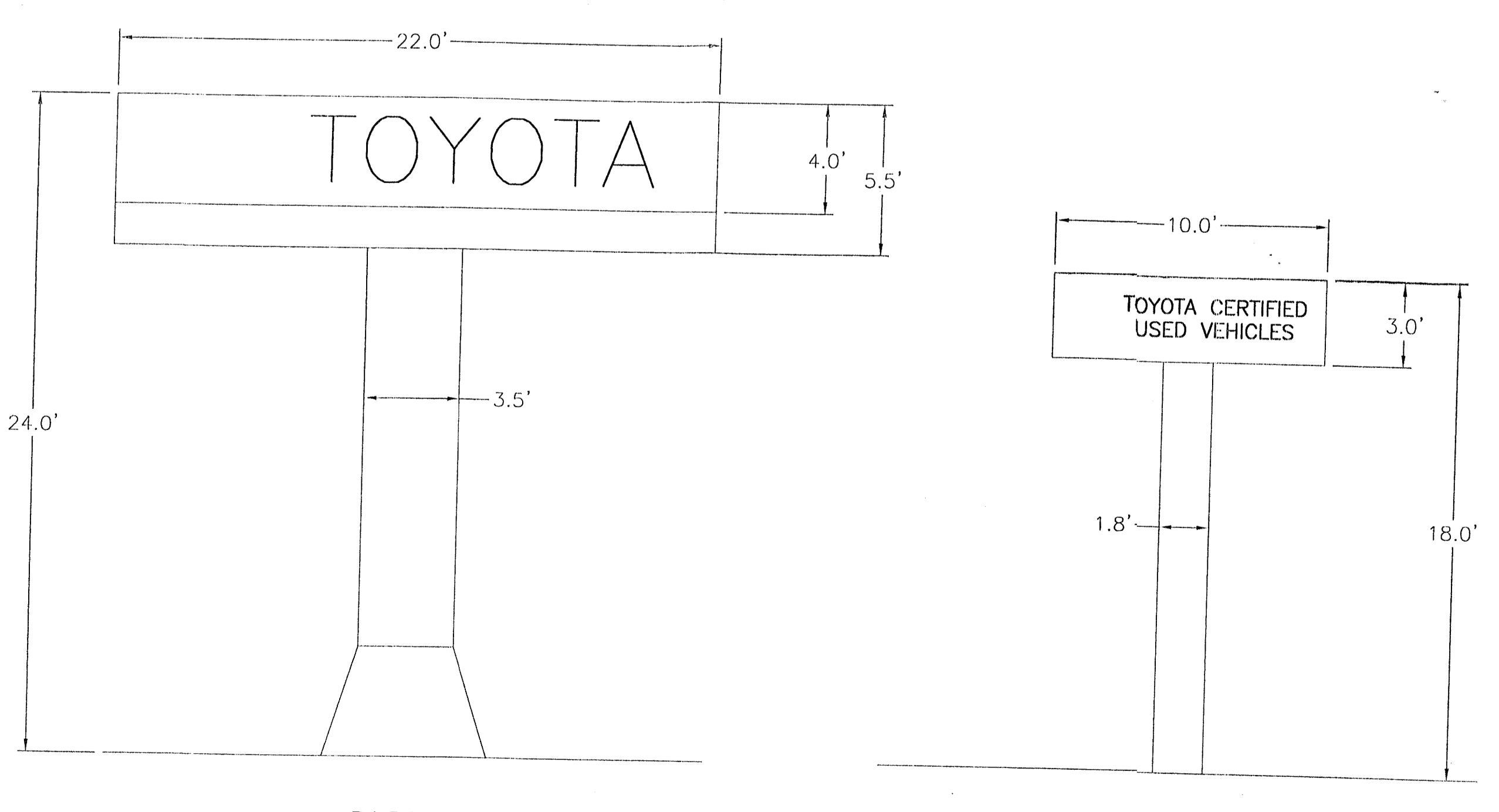
NEW SIGNS LOCATIONS & DETAILS



- 1 ILLUMINATED LETTERS CHANNEL (TB51)
2 ILLUMINATED LETTERS CHANNEL (TDN30)
3 ILLUMINATED D/F PYLON (1024)
4 ILLUMINATED D/F PYLON (819CUV)
5 ILLUMINATED S/F DIRECTIONAL (D45-2)

Approval / Approval BY: PAR DATE:

Table with columns: CLIENT (TOYOTA #30034), SITE (AMERICAN), CONSULTANT (TANYA ANDERSEN), DATE (12.15.03), SCALE (1" = 1'-0"), SHEETS (7), PROJECT (JPM-11088-1), DRAFTSMAN/DESIGNATEUR (TINA ALBERT)



SIGN 1 EXISTING MONUMENT SIGNS

SIGN 2