

PROJECT NUMBER:  
Application Number:

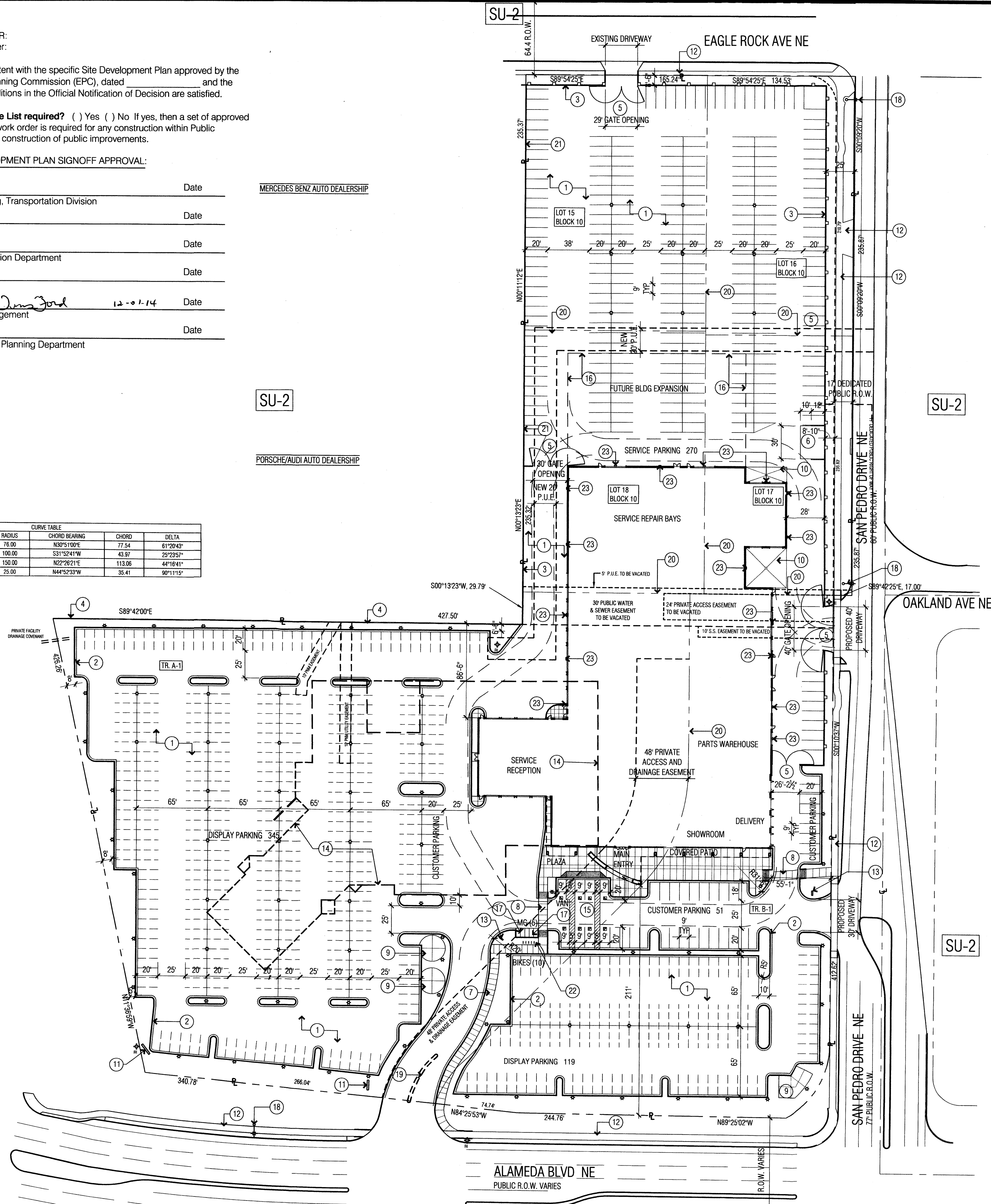
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

**Is an Infrastructure List required?** ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

_____	Date	MERCEDES BENZ AUTO DEALERSHIP
Traffic Engineering, Transportation Division	_____	
ABCWUA	_____	
Parks and Recreation Department	_____	
City Engineer	_____	
<i>Dan J. J. [Signature]</i>	12-01-14	Date
Solid Waste Management	_____	
DRB Chairperson, Planning Department	_____	

CURVE	LENGTH	RADIUS	CURVE BEARING	CHORD	DELTA
C1	81.37	76.00	N30°10'00"E	77.54	61°20'43"
C2	44.33	100.00	S31°52'41"W	43.97	29°23'57"
C3	115.92	150.00	N22°26'21"E	113.06	44°16'41"
C4	39.35	25.00	N44°52'33"W	35.41	90°11'15"



**SITE PLAN**  
1" = 50'-0"



**KEYNOTES**

- 1 TYP ASPHALT PAVING
- 2 TYP ROLLED CONC CURB AND GUTTER
- 3 6" HIGH CMU WALL - SEE DETAIL 3/A101
- 4 EXISTING WALL - 4'-6" HIGH UNPAINTED CMU
- 5 8" H PAINTED STEEL GATE W/ KNOX LOCK BOX
- 6 30' X 12' REFUSE YARD W/ 10' CONC APPROACH APRON SEE DETAIL 1/A101
- 7 8' WIDE CONC SIDEWALK
- 8 8' WIDE DECORATIVE CONC CROSS-WALK
- 9 CONC DISPLAY PAD + 1' ABOVE ADJACENT GRADE
- 10 DRIP CONTAINMENT CONC SLAB - FLUSH W/ PAVING
- 11 EXISTING SIGN TO REMAIN
- 12 EXISTING SIDEWALK
- 13 NEW DIRECTIONAL SIGN - BY SEPARATE REVIEW
- 14 LINE OF EXISTING BUILDING TO BE DEMOLISHED
- 15 ACCESSIBLE PARKING PER ADA STANDARDS
- 16 DENOTES LINE OF FUTURE BUILDING EXPANSION
- 17 CONC PAVING AT MOTORCYCLE PARKING
- 18 EXISTING STREET LIGHT
- 19 EXISTING ISLAND TO BE REMOVED
- 20 EXISTING LOT LINE TO BE ELIMINATED BY RE-PLAT
- 21 6" HIGH UNPAINTED CMU WALL - RUNNING BOND - NO ACCENT COURSING
- 22 BICYCLE PARKING PER DETAIL 5/A101
- 23 TYP WALL MOUNTED LIGHT FIXTURE

**LEGEND**

- ⊕ DENOTES STREETLIGHT - SEE CIVIL
- ⊙ DENOTES LIGHT FIXTURE, POLE AND CONCRETE BASE SEE ELECTRICAL - MAX HEIGHT ABOVE ADJACENT GRADE = 25 FEET. SEE DETAIL 4/A101
- ⊕ DENOTES FIRE HYDRANT - SEE CIVIL
- TRUCK ROUTE/TURNING RADIUS
- TYPICAL PARKING LAYOUT ALL LINES STRIPED
- TYPICAL DISPLAY LAYOUT DASHED LINES NOT STRIPED
- TYPICAL LANDSCAPED ENDCAP ISLAND
- TYPICAL LANDSCAPED INTERIOR ISLAND

**LINEWEIGHT SYMBOLS**

- DIMENSIONS
- KEYNOTES
- TEXT AND NOTES
- BUILDINGS
- BUILDINGS TO BE DEMOLISHED
- CONCRETE AND SIDEWALKS
- VERTICAL AND ROLLED CONCRETE CURBS AND GUTTERS
- EASEMENTS
- FIRE HYDRANTS
- FIRE TRUCK ROUTE AND PAD
- HATCH AND SCORE PATTERNS
- PROPERTY LINES
- PROPERTY LINES TO BE REMOVED
- SIGNAGE
- SITE LIGHTING
- SITE WALLS AND GATES
- STRIPING FOR CODE REQUIRED PARKING
- DISPLAY AND INVENTORY PARKING NOT TO BE PAINTED

**PROJECT INFORMATION**

PROJECT NAME: LARRY H. MILLER AMERICAN TOYOTA  
 PROJECT ADDRESS: 5995 ALAMEDA BLVD NE, MILLER FAMILY REAL ESTATE, 9350 S. 150 E, STE 1000, SANDY, UTAH 84070-2721  
 PROJECT DESCRIPTION: DEMOLITION AND RECONSTRUCTION OF EXISTING AUTOMOBILE SALES AND SERVICE FACILITY; AND RELATED SITE IMPROVEMENT  
 ZONING (EXISTING): SU-2 SPECIAL NEIGHBORHOOD ZONE  
 ZONING (PROPOSED): SU-1/SU-2 FOR AUTOMOTIVE SALES, SERVICE AND REPAIR  
 GROSS SITE AREA: 10.1391 ACRES  
 NET SITE AREA: 9.52 ACRES  
 GROSS BUILDING AREA: 90,096 S.F.  
 GROUND FLOOR AREA: 73,539 S.F.  
 SECOND FLOOR AREA: 16,557 S.F.  
 OCCUPANCY: B, S-1  
 CONSTRUCTION TYPE: II-B WITH AUTOMATIC FIRE SPRINKLER SYSTEM

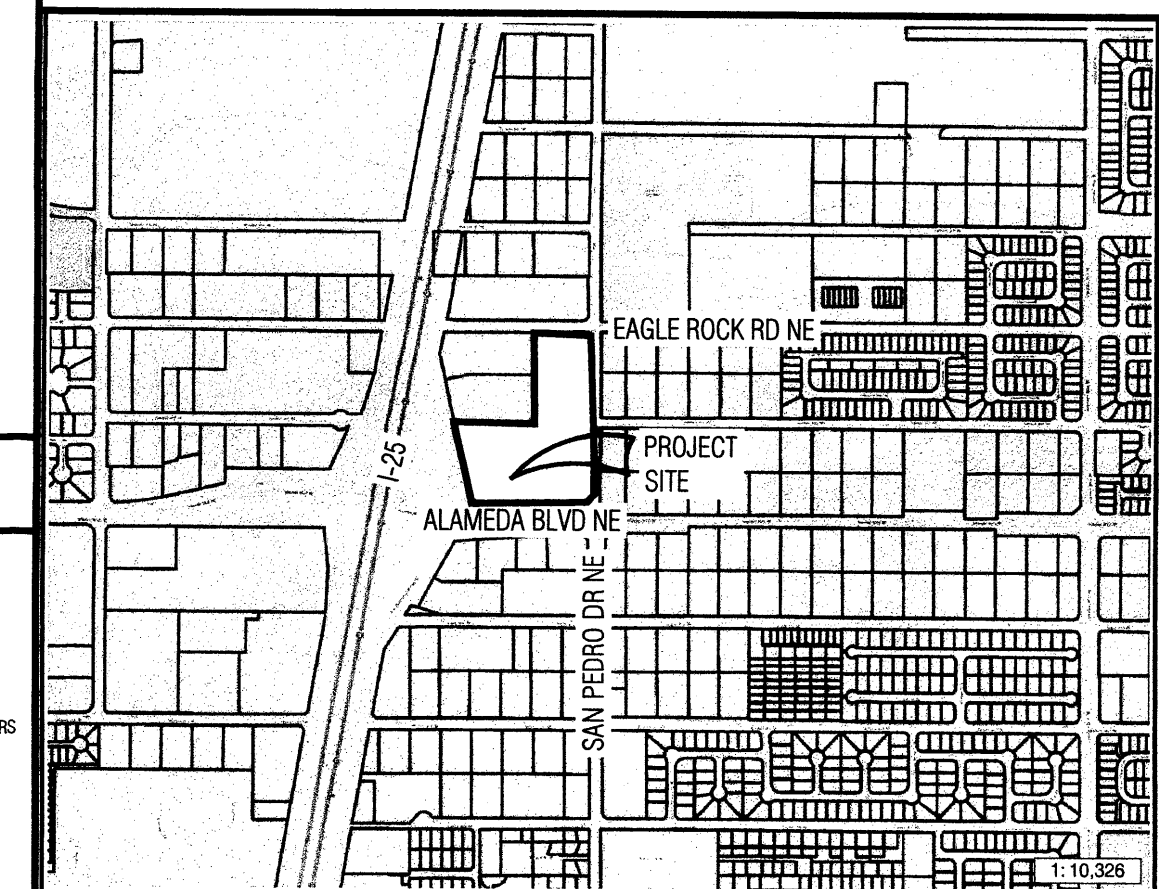
LEGAL DESCRIPTION: TRACTS A-1 AND B-1, AMERICAN TOYOTA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 24, 2004, IN PLAT BOOK 2004C, FOLIO 300, AND  
 AND  
 LOTS NUMBERED FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17) AND EIGHTEEN (18) IN BLOCK NUMBERED TEN (10) OF TRACT LETTERED "A", UNIT LETTERED "B" OF NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, FOLIO 130A.

**PARKING CALCULATIONS**

BUILDING ZONE	AREA	REQUIREMENT	SUB-TOTAL REQUIRED
SHOWROOM/OFFICE	29,369	1/200 0-15,000 1/250 15,000 - 29,369	75 58
PARTS WAREHOUSE	13,732	1/2000	7
SERVICE BAYS	46,995	1/1000	47
SUBTOTAL			187
10% REDUCTION PER 14-16-3-1 (b)(a)			-18
<b>TOTAL PARKING REQUIRED</b>			<b>169</b>
ACCESSIBLE PARKING REQUIRED - PER ORDINANCE 14-16-3-1 TOTAL REQUIRED PARKING 151-300 SPACES =			8
MOTORCYCLE PARKING REQUIRED (101-150)			5
BICYCLE PARKING REQUIRED (1/20 PARKING)			9
<b>TOTAL PARKING PROVIDED</b>			<b>321</b>
ACCESSIBLE PARKING PROVIDED			8
MOTORCYCLE PARKING PROVIDED			5
BICYCLE PARKING PROVIDED			10

NOTE: TREE CANOPY SHALL COUNT TOWARDS THE 75% VEGETATIVE GROUND COVER REQUIREMENTS PER THE NORTH I-25 SECTOR DEVELOPMENT PLAN

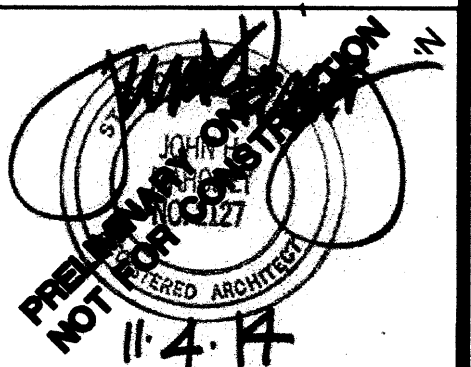
AFD PLANS CHECKING OFFICE  
 924-3611  
 APPROVED/DISAPPROVED  
 HYDRANT(S) ONLY  
 R.C. [Signature] 12-1-14  
 SIGNATURE & DATE



**VICINITY MAP**

**JOHN MAHONEY ARCHITECT**

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PROJECT: 10028-18  
 DATE: 12-10-14  
 AAF: K1-10395

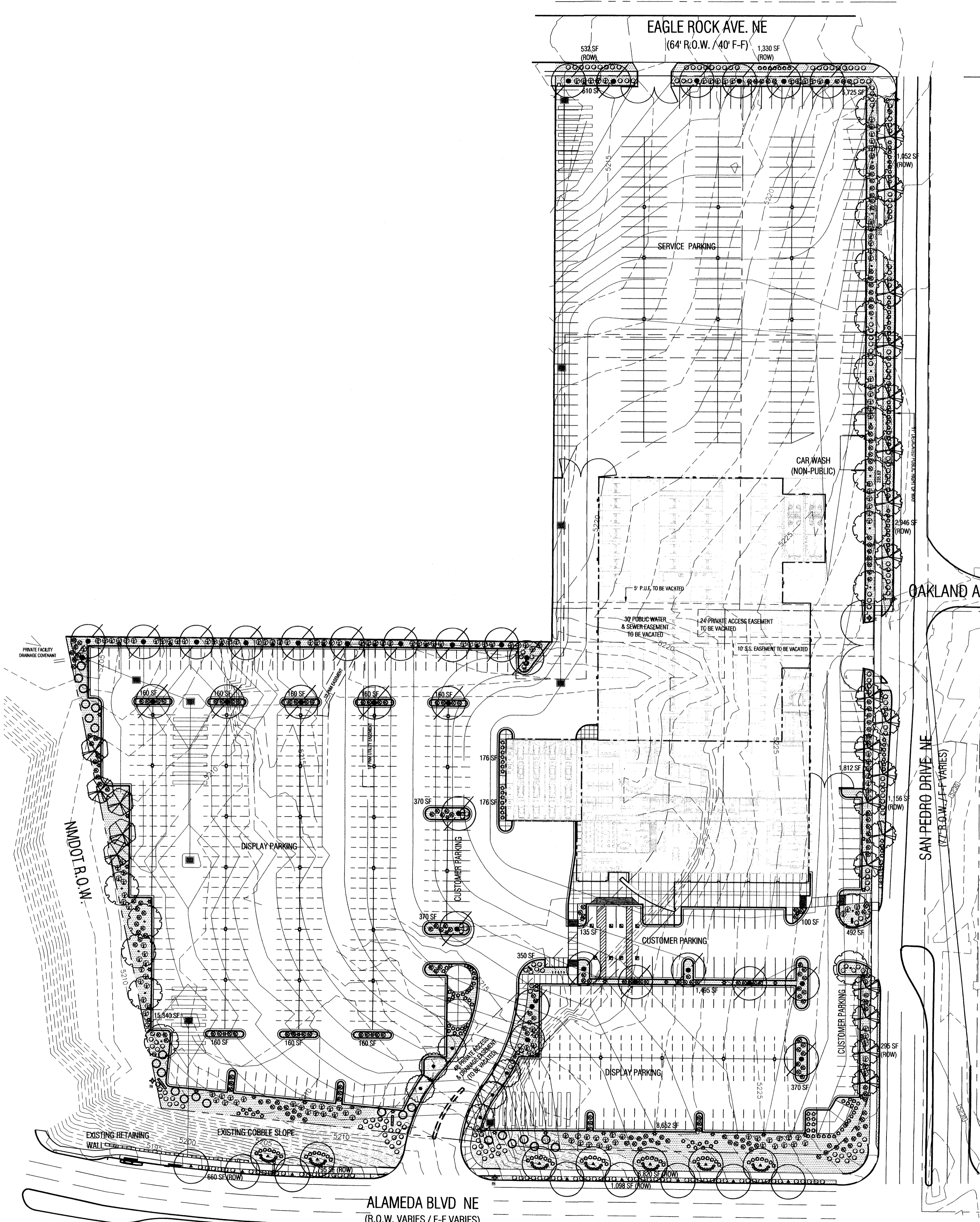
*Larry H. Miller*  
 American Toyota Albuquerque  
 LARRY H. MILLER  
 AMERICAN TOYOTA  
 5995 ALAMEDA BLVD NE  
 ALBUQUERQUE, NEW MEXICO

PROJECT NO. 1826  
 ISSUE DATE: 11/4/14

**SITE PLAN**

**A100**





**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME (WATER USE) COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE
<b>TREES</b>				
19		CERCIS RENIFORMIS 'OKLAHOMA' (M) OKLAHOMA REDBUD	2.5" B&B	12-14' HT. 25' HT. X 25' SPR.
5		CHILOPSIS LINEARIS 'BUBBA' (L+) DESERT WILLOW	2" B&B	8' HT. X 6' SPR. 20' HT. X 25' SPR.
31		FRAXINUS PENN. 'URBANITE' (M+) URBANITE ASH	2.5" B&B	12-14' HT. 50' HT. X 40' SPR.
17		GYMNOCLADUS DIOCUS 'ESPRESSO' (M) ESPRESSO KENTUCKY COFFEE TREE	2.5" B&B	12-14' HT. 50' HT. X 40' SPR.
24		JUNIPERUS SCOP. 'SKYROCKET' (M) SKYROCKET JUNIPER	15-GAL.	6' HT. 12' HT. X 6' SPR.
6		PYRUS CALLERYANA 'CLEVELAND' (M+) FLOWERING PEAR	2.5" B&B	12-14' HT. 30' HT. X 20' SPR.
18		ULMUS PARVIFOLIA 'ALLEE IF' (M) ALLEE LACEBARK ELM	2.5" B&B	12-14' HT. 50' HT. X 35' SPR.
<b>SHRUBS/GROUNDCOVERS</b>				
<b>LARGE SHRUBS</b>				
		CARYOPTERIS CLAND. 'DARK KNIGHT' (M) DARK KNIGHT BLUE MIST	5-GAL.	3' O.C. 3' HT. X 3' SPR.
		CHRYSOTHAMNUS NAUSEOSUS (L) CHAMISA	1-GAL.	5' O.C. 4' HT. X 4' SPR.
		CYTISUS SCOPARIUS 'LENA'S BROOM' (M) LENA'S BROOM	5-GAL.	5' O.C. 4' HT. X 4' SPR.
		ELAEGNUS PUNGENS (M) SILVERBERRY	5-GAL.	8' O.C. 8' HT. X 8' SPR.
		FALLUGIA PARADOXA (L) APACHE PLUME	1-GAL.	5' O.C. 4' HT. X 4' SPR.
		PINUS MUGO MUGO (M) MUGO PINE	5-GAL.	5' O.C. 4' HT. X 4' SPR.
<b>MEDIUM SHRUBS</b>				
		LAVENDULA ANGUSTIFOLIA 'HIDCOTE' (M) ENGLISH LAVENDER	1-GAL.	4' O.C. 3' HT. X 3' SPR.
		POTENTILLA FRUTICOSA (L+) SHRUBBY CINQUEFOIL	1-GAL.	3' O.C. 3' HT. X 3' SPR.
		SALVIA GREGGII 'FURMAN'S RED' (M) CHERRY SAGE	3-GAL.	3' O.C. 3' HT. X 3' SPR.
<b>SMALL SHRUBS/GROUNDCOVERS</b>				
		JUNIPERUS SABINA 'BUFFALO' (L+) BUFFALO JUNIPER	5-GAL.	5' O.C. 2' HT. X 5' SPR.
		RHUS TRILOBATA 'AUTUMN AMBER' (L+) CREEPING THREE LEAF SUMAC	5-GAL.	5' O.C. 2' HT. X 5' SPR.
		SANTOLINA VIRENS (L) GREEN SANTOLINA	1-GAL.	4' O.C. 2' HT. X 3' SPR.
<b>ACCENTS</b>				
		CALAMAGROSTIS A. 'KARL FOERSTER' (L+) FEATHER REED GRASS	5-GAL.	3' O.C. 3' HT. X 3' SPR.
		HESPERALOE PARVIFLORA (M) RED YUCCA	5-GAL.	3' O.C. 3' HT. X 3' SPR.
		MUHLENBERGIA CAP. 'REGAL MIST' (M) MUHLY GRASS	5-GAL.	3' O.C. 3' HT. X 3' SPR.
		NOLINA MICROCARPA (L) BEARGRASS	5-GAL.	5' O.C. 4' HT. X 5' SPR.
		2"-4" COBBLE - MATCH EXISTING COLOR (6" DEPTH)		
		1" BUILDOLGY BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC)		
		LANDSCAPE BOULDERS (3" MIN. DIMENSION-MOSS ROCK)		

**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN**  
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 1" BUILDOLGY BROWN ROCK MULCH AND 2"-4" AMARETTO BROWN COBBLE.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

**SCREENING** WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE:**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**WATER HARVESTING**  
A SERIES OF SUBTERRANEAN INFILTRATION GALLERIES WILL BE PROVIDED ON SITE TO CAPTURE THE FIRST .44" OF FIRST FLUSH RAINFALL. SEE GRADING AND DRAINAGE PLAN FOR DETAILS.

**LANDSCAPE AREA COVERAGE**

TOTAL SITE AREA (10.14 AC.):	441,660 SF
BUILDING AREA:	- 90,096 SF
STORAGE AREA:	- 106,140 SF
LANDSCAPE R.O.W.	- 23,684 SF
NET AREA	221,740 SF

**REQUIRED LANDSCAPE AREA (15% OF NET AREA):** 33,261 SF

**PROVIDED LANDSCAPE AREA**

ON-SITE	37,453 SF
OFF-SITE (R.O.W)	23,684 SF

**LANDSCAPE LIVE VEGETATIVE COVERAGE**  
LANDSCAPE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE LIVE VEGETATIVE MATERIAL COVERING 75% OF THE REQUIRED LANDSCAPE AREA (INCLUDING TREE CANOPY PER THE NORTH I-25 SECTOR DEVELOPMENT PLAN). THIS PROJECT WILL MEET THIS REQUIREMENT.

**PARKING LOT TREES**  
AMERICAN TOYOTA IS PROVIDING 59 CUSTOMER PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES. NOTE THAT DISPLAY PARKING IS NOT REQUIRED TO MEET THE PARKING LOT TREE REQUIREMENT.

PARKING LOT TREES REQUIRED:	6
PARKING LOT TREES PROVIDED:	7

**STREET TREES**  
STREET TREE REQUIREMENTS SPECIFY THE SPACING BETWEEN EVENLY SPACED TREES SHOULD BE NO GREATER THAN THE DIAMETER OF THE TREE CANOPY AT MATURITY.

ALAMEDA BOULEVARD FRONTAGE IS 600' AND THE CANOPY SIZE IS 40'.  
STREET TREES REQUIRED (ALAMEDA): 15 TREES  
STREET TREES PROVIDED (ALAMEDA): 15 TREES

SAN PEDRO FRONTAGE IS 935' AND THE AVERAGE CANOPY SIZE IS 30'.  
STREET TREES REQUIRED (SAN PEDRO): 31 TREES  
STREET TREES PROVIDED (SAN PEDRO): 31 TREES

**JOHN MAHONEY ARCHITECT**

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PRELIMINARY ONLY  
NOT FOR CONSTRUCTION

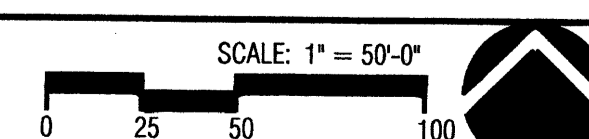
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LARRY H. MILLER  
AMERICAN TOYOTA  
5995 ALAMEDA BLVD NE  
ALBUQUERQUE, NEW MEXICO

PROJECT NO.: 1325  
ISSUE DATE: 12/2/14


LANDSCAPE PLAN

L100

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Planning / Landscape Architecture  
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Albuquerque, NM 87102  
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e-mail: cp@consensusplanning.com



LANDSCAPE PLAN

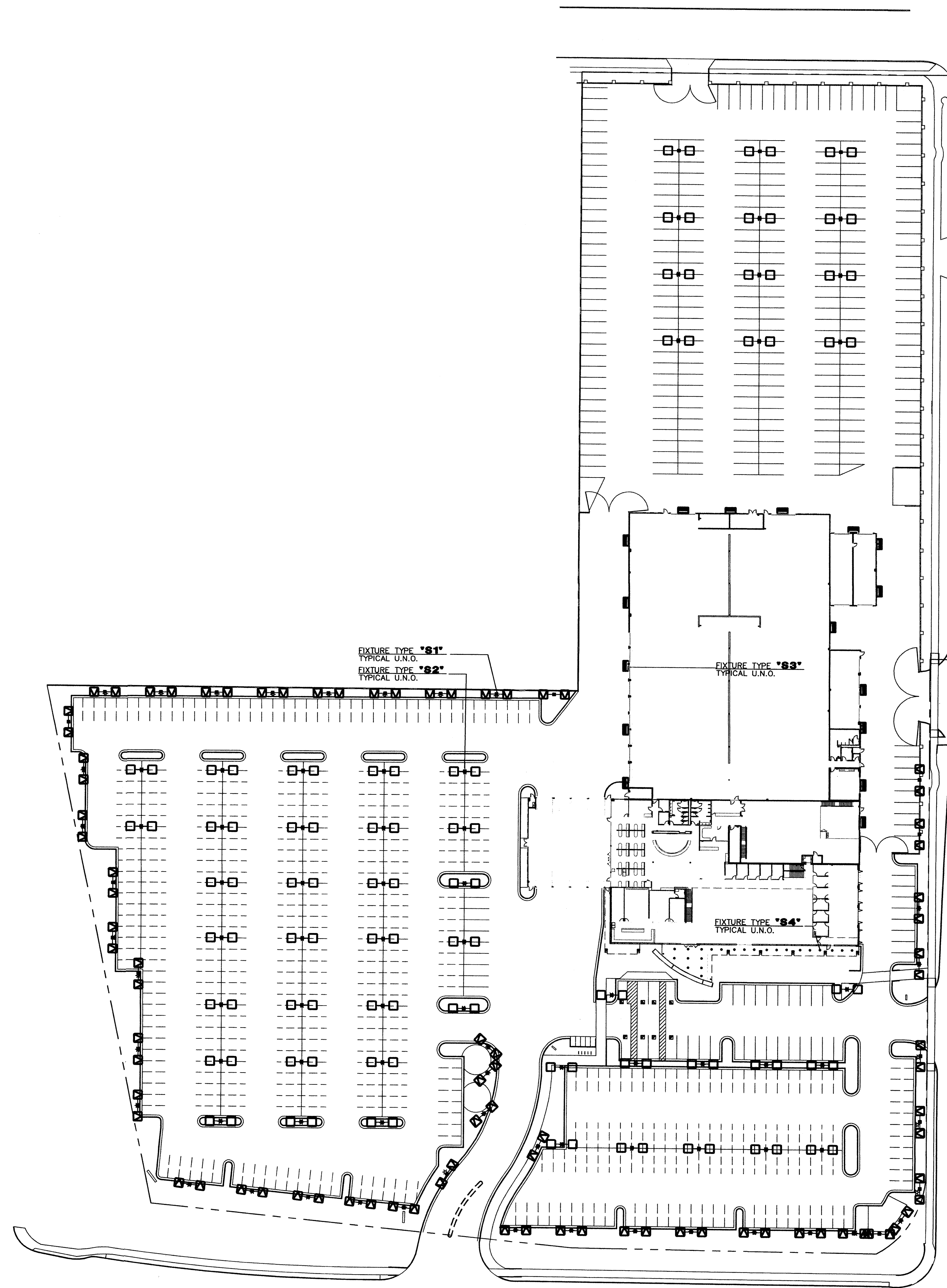












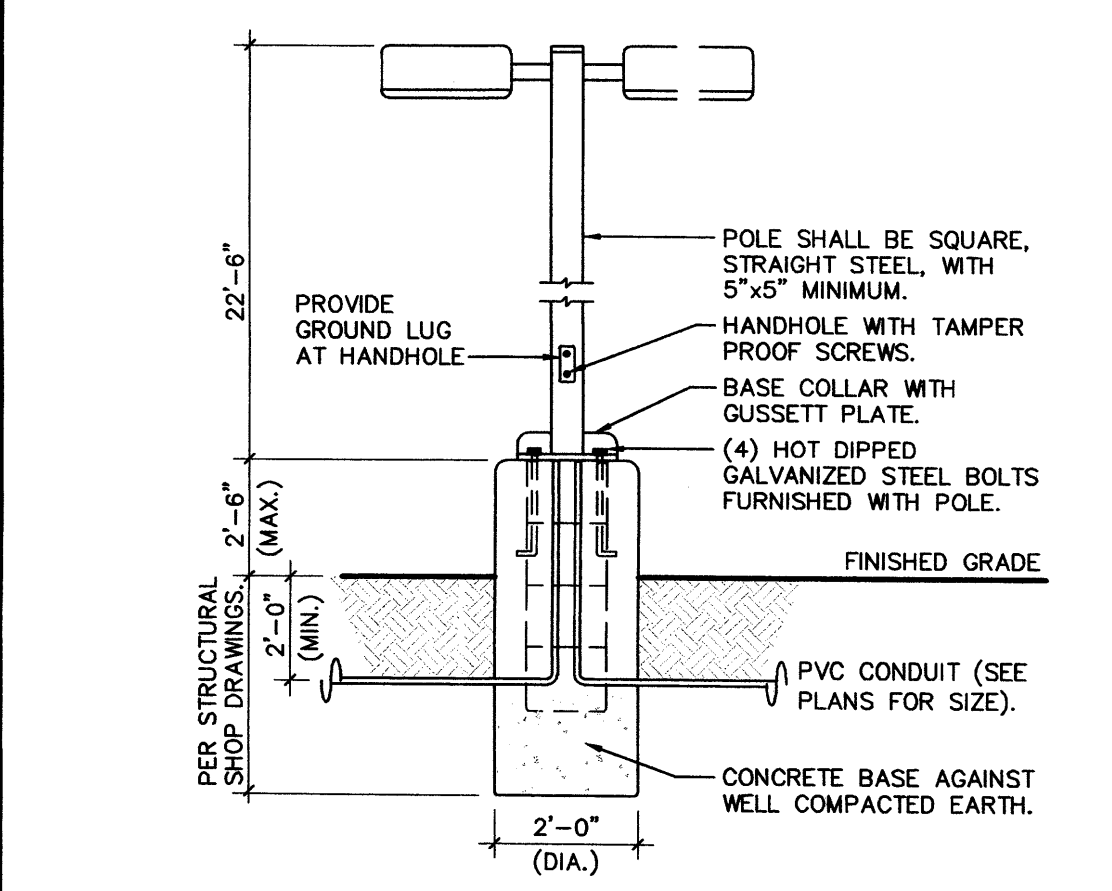
### GENERAL NOTES - SITE

1. REFER TO ELECTRICAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND COMPLETE CONTRACTUAL OBLIGATIONS.
2. ELECTRICAL CONTRACTOR SHALL CONTACT TELEPHONE COMPANY REGARDING EXACT LOCATION OF ALL PRIMARY SERVICE EQUIPMENT, TRENCH LOCATION, ETC.
3. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY TELEPHONE TRENCHING, BACKFILL, AND CONDUIT STUBS INTO TRENCH AS REQUIRED BY TELEPHONE COMPANY AND TO THEIR SPECIFICATIONS.
4. ALL WIRING FOR OUTSIDE LIGHTING SHALL BE A MINIMUM OF #10 COPPER WITH TYPE THWN INSULATION. RUN UNDERGROUND CIRCUITS IN P.V.C. AND PROVIDE A #10 COPPER BOND IN ADDITION TO CIRCUIT CONDUCTORS. UNDERGROUND WIRING SHALL COMPLY WITH APPLICABLE CODES OF THE NEC.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE NECESSARY SECONDARY CONDUCTORS, POWER TRENCHING, BACKFILL AND CONCRETE PADS FOR TRANSFORMERS AND SERVICE EQUIPMENT. ADDITIONALLY PROVIDE CONDUIT STUBS INTO TRENCH PER POWER COMPANY SPECIFICATIONS AND REQUIREMENTS.
6. ALL WIRING SHALL BE COPPER. WIRING #4 AWG AND LARGER SHALL BE XHHW TYPE INSULATION.

### UTILITY COMPANY NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH SERVING UTILITY COMPANY AND THEIR SPECIFIC REQUIREMENTS WITHIN (5) DAYS OF AWARD OF CONTRACT.
2. PROVIDE SERVING UTILITY COMPANY WITH ONE (1) FULL SET OF PLANS INCLUDING SITE PLAN, ONE-LINE DIAGRAM, AND TOTAL LOAD SUMMARY.
3. CONFIRM ALL UTILITY COMPANY REQUIREMENTS PRIOR TO TRENCHING.
4. CONTRACTOR SHALL COORDINATE WITH SERVING UTILITY COMPANY IF AN UPGRADE IS REQUIRED TO UTILITY TRANSFORMER OR SECONDARY CONDUIT AND CONDUCTORS.
5. CONTRACTOR SHALL COORDINATE EXACT COSTS (PER AMP CHARGE, ECT.) OF ANY ADDITIONAL WORK WITH SERVING UTILITY COMPANY PRIOR TO START OF CONSTRUCTION.

### POLE MOUNTED FIXTURE DETAIL



### FIXTURE TYPE 'S1'/'S2'

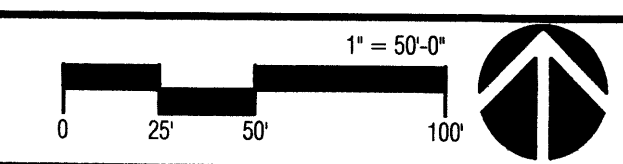
THE POLE CONCRETE BASE DETAIL IS SHOWN FOR ELECTRICAL ROUGH-IN AND SHALL NOT BE USED FOR THE ACTUAL BASE CONSTRUCTION. POLE BASE SHALL BE DESIGNED BY A REGISTERED STRUCTURAL ENGINEER IN THE STATE OF IDAHO AND CONSTRUCTED PER STRUCTURAL ENGINEERS SEALED CONSTRUCTION DOCUMENT.

### LUMINAIRE SCHEDULE

1. PROVIDE 1400 LUMEN OR FULL OUTPUT, 90 MINUTE EMERGENCY BATTERY BALLAST FOR ALL EMERGENCY FIXTURES.
2. MODULAR WIRING FOR LIGHT FIXTURES IS AN ACCEPTABLE ALTERNATE.
3. BASE BID FOR LUMINAIRES SHALL BE BASED ON MANUFACTURERS LISTED "IN CONTRACT DOCUMENTS" UPON AWARD OF PROJECT. ALTERNATE LUMINAIRES NOT LISTED AND PROPOSED BY CONTRACTOR SHALL BE SUBMITTED WITH WRITTEN OWNER APPROVAL AND A DEDUCT TO THE BASE BID IF APPLICABLE.
4. PROVIDE MINIMUM 10 MINUTE TIME DELAY TO EMERGENCY FIXTURES WHEN USED WITH HID AREA LIGHTING.

MARK	MANUFACTURER MODEL NUMBER	VOLTS	LAMPS/ INPUT WATTS	REMARKS/MOUNTING
S1	CREE ARE-EHO-AF-DM-E-UH-FINISH-700ma-50K-RO	TBD	LED 90 CRI/5000K 533	2-HEAD POLE MOUNTED LED FIXTURE. PROVIDE AUTOMOTIVE OPTIC ROTATED AS SHOWN. SEE DETAIL THIS SHEET.
S2	CREE ARE-EHO-SM-DM-E-UH-FINISH-700ma-50K	TBD	LED 90 CRI/5000K 533	2-HEAD POLE MOUNTED LED FIXTURE. SEE DETAIL THIS SHEET.
S3	CREE LIGHTING SEC-EDG-44-W-06-E UL-FINISH-525ma-40K	TBD	LED 4000K 68W	LED WALL PACK. COORDINATE EXACT MOUNTING HEIGHT W/ ARCHITECT'S ELEVATIONS.
S4	CREE LIGHTING ESA-ADR-B-28-D-40-REF-F7-277-525ma-C-43K	277	LED 38W/4250K 82 CRI	8" LED DOWNLIGHT SUITABLE FOR USE IN DAMP LOCATION

ELECTRICAL SITE LIGHTING PLAN



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 Project # 14048  
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PROJECT NO. 1325  
 ISSUE DATE: 6/16/14

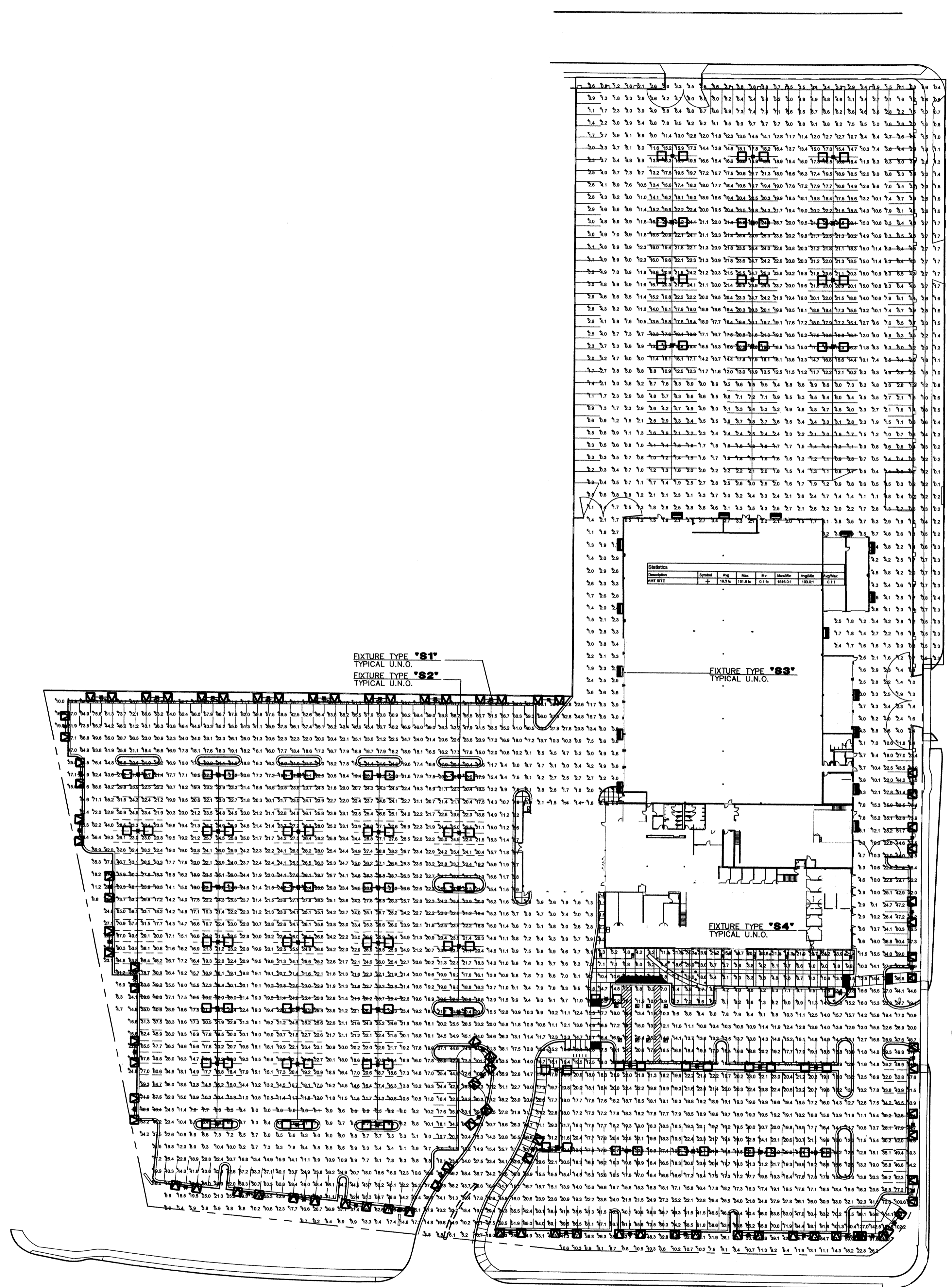
SITE LIGHTING PLAN

**E100**

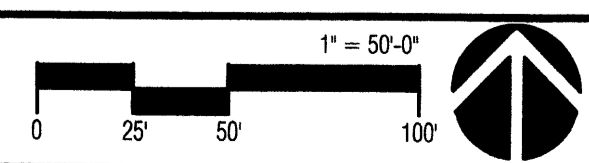
**JOHN MAHONEY  
ARCHITECT**

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DR SUBMITTAL  
NOT FOR  
CONSTRUCTION



**PHOTOMETRICS SITE LIGHTING PLAN**



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Project # 14048  
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PROJECT NO. 1325  
ISSUE DATE: 6/16/14

**PHOTOMETRICS  
PLAN**

**E200**

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ALBUQUERQUE, NEW MEXICO

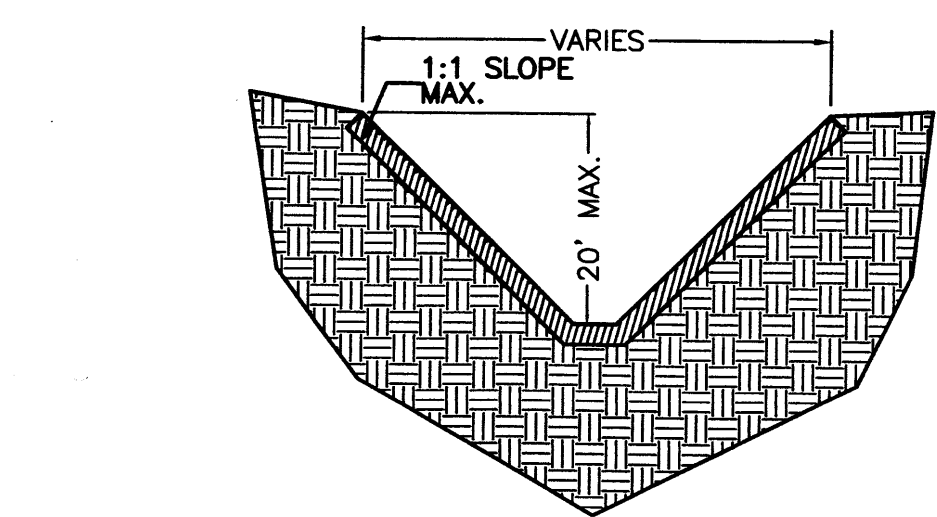






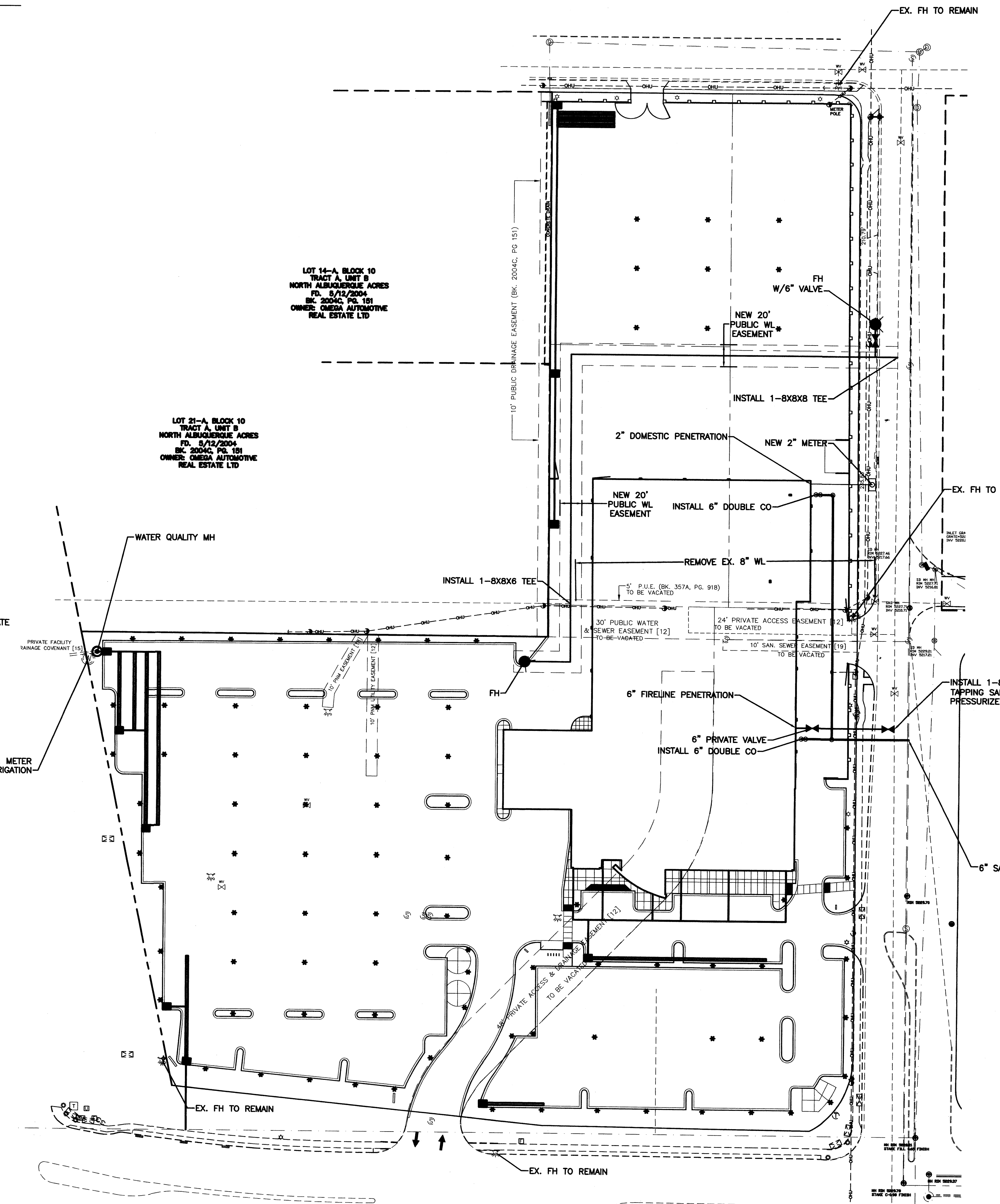
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY EASEMENT. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, UPDATE #8.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE CALL LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE ABCWUA
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER. IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. EMS'S SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #8.
17. THE WATER AUTHORITY (857-8200) WILL BE NOTIFIED BY THE CONTRACTOR SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT THE EXISTING PUBLIC WATER FACILITIES, REFER TO SECTION 18 OF THE STANDARD SPECIFICATIONS. ONLY WATER AUTHORITY CREWS MAY OPERATE PUBLIC VALVES.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6450 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.



SUPPLEMENTAL TRENCH DETAIL

NTS-PER FIGURE V-2-13 OSHA STANDARD SPECIFICATIONS  
NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.

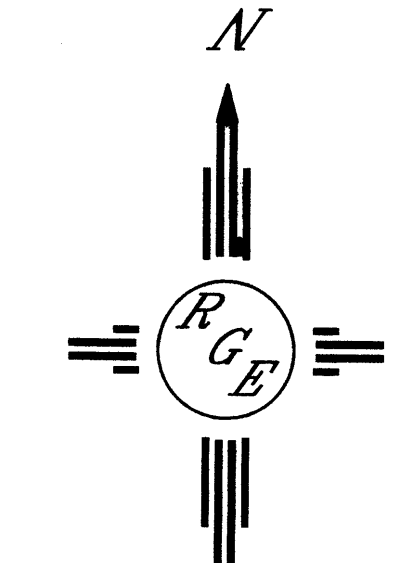


**WATER SHUTOFF NOTES:**

The contractor shall coordinate with the Water Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring shutoff of facilities designated as Master Plan facilities must be coordinated with the Water Authority 14 days in advance of performing such work. Only Water Authority crews are authorized to operate public valves. Shutoff requests must be made online at <http://abcwua.org/content/view/463/729/>

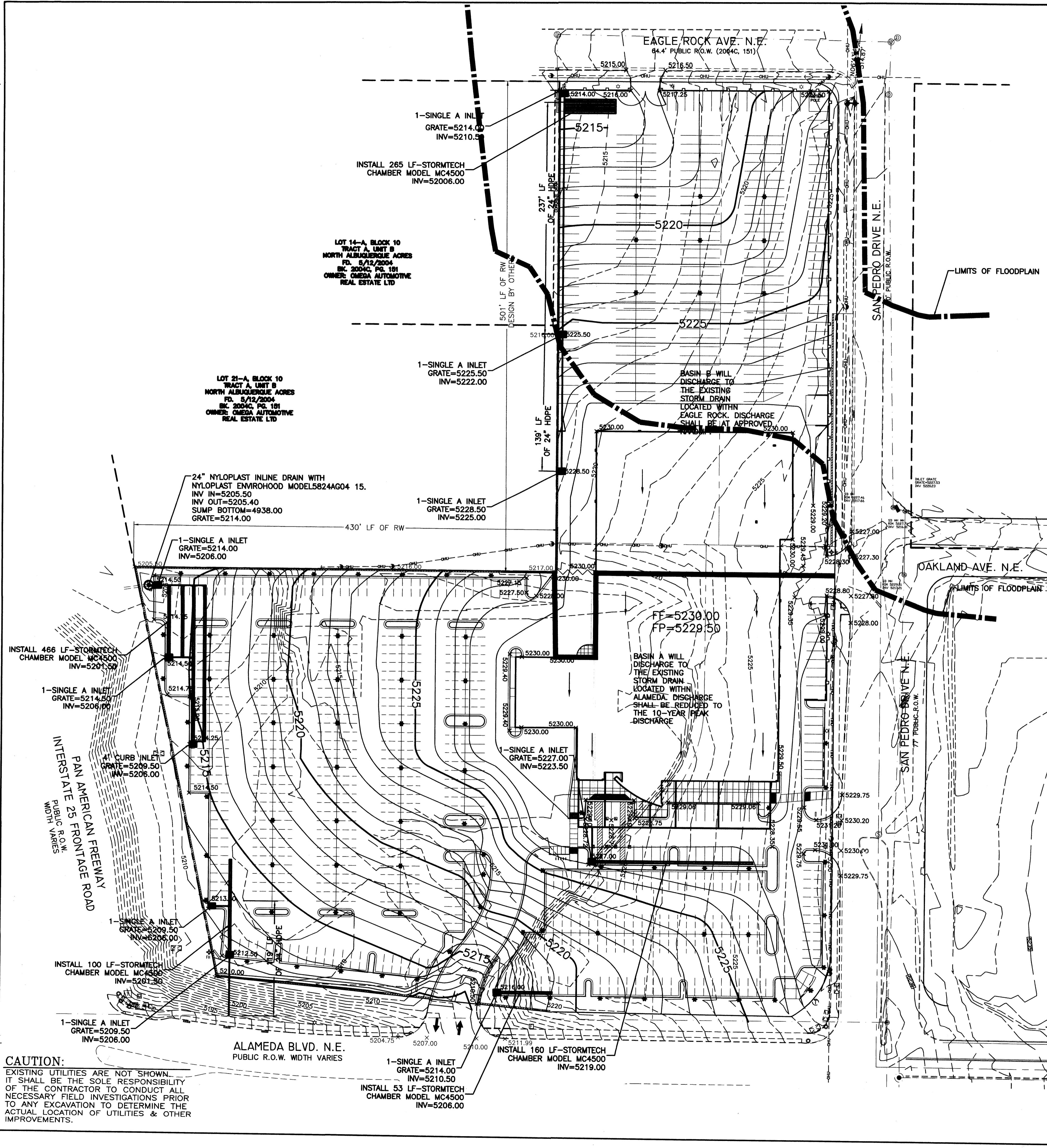
**LEGEND**

- EX. 12" SD — EXISTING STORM SEWER LINE
- EXISTING SAS MANHOLE
- - - EX. 8" SAS - - - EXISTING SANITARY SEWER LINE
- ⊗ EXISTING VALVE W/BOX
- - - EX. 6" WL - - - EXISTING WATER LINE
- ⊕ PROPOSED METER
- ⊕ PROPOSED FIRE HYDRANT
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- ⊙ STREET LIGHTS
- ▨ CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR).



ENGINEER'S SEAL  12/1/14 DAVID SOULE P.E. #14522	AMERICAN TOYOTA	DRAWN BY WCWJ DATE 12-01-14 21403-LAYOUT-1-25-14
	MASTER UTILITY PLAN  Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET #  JOB # 21403





**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

**DRAINAGE NARRATIVE**

THIS SITE IS LOCATED WITHIN THE NORTH ALBUQUERQUE ACRES MASTER DRAINAGE PLAN. THIS SITE WILL MATCH THE ALLOWED DISCHARGE RATES AND BASINS SHOWN FOR THIS SITE WITHIN THE DEVELOPED CONDITION ASSUMPTIONS. THE SITE WILL INCLUDE WATER QUALITY FEATURES TO CONFORM WITH THE CURRENT CITY REQUIREMENTS FOR WATER QUALITY DISCHARGE STANDARDS.

**VICINITY MAP:** C-18-Z

**FIRM MAP:** 35001C0137H

**LEGAL DESCRIPTION:**

**NOTES:**

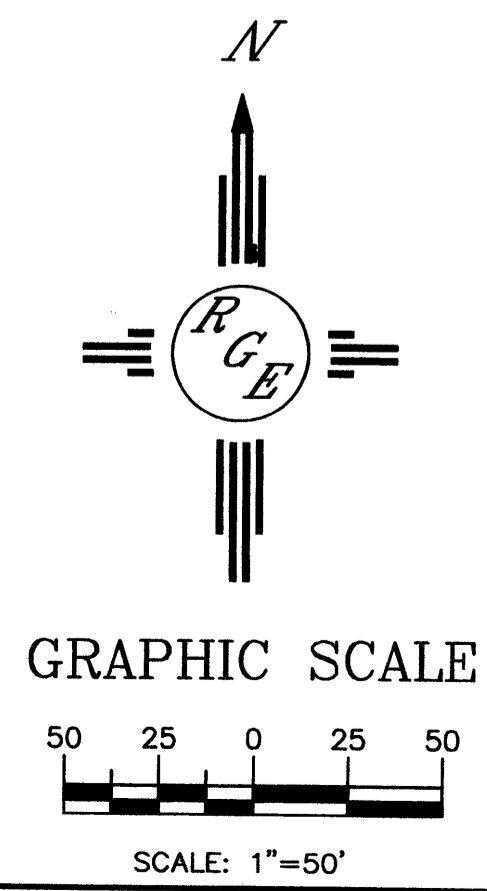
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.

**LEGEND**

--- 5414 ---	EXISTING CONTOUR
- - - 5415 - - -	EXISTING INDEX CONTOUR
— 5414 —	PROPOSED CONTOUR
— 5415 —	PROPOSED INDEX CONTOUR
▲	SLOPE TIE
× 4048.25	EXISTING SPOT ELEVATION
× 4048.25	PROPOSED SPOT ELEVATION
---	BOUNDARY
- - -	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED CURB AND GUTTER
---	EXISTING CURB AND GUTTER
---	PROPOSED SIDEWALK
---	PROPOSED SETBACK
---	PROPOSED LOT LINE
---	PROPOSED SCREEN WALL
---	PROPOSED RETAINING WALL

ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

	AMERICAN TOYOTA	DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN	DATE 12-01-14
12/1/14	Rio Grande Engineering	21403-1400-1-25-14
DAVID SOULE P.E. #14522	1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0999	SHEET #
		JOB # 21403

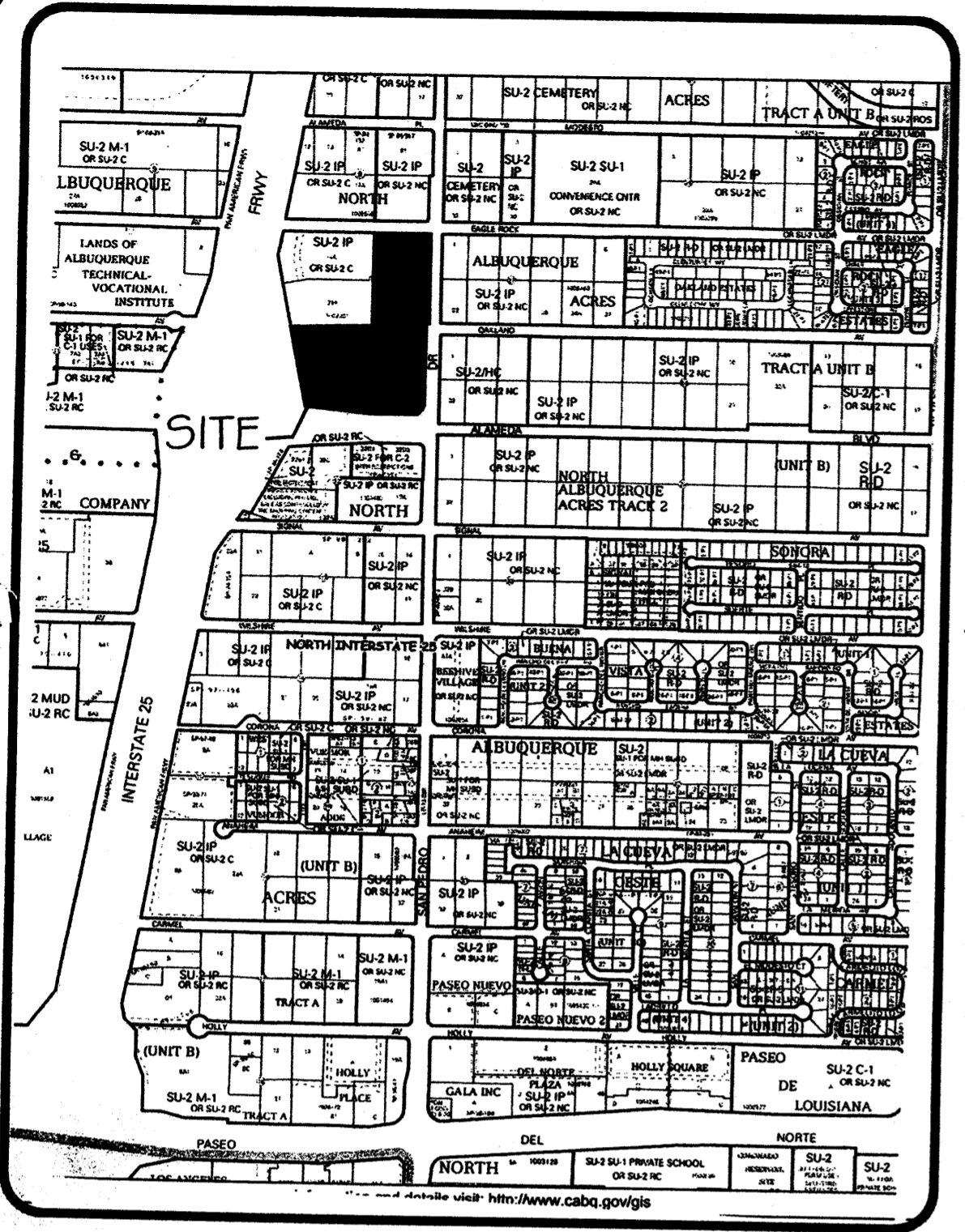


**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



PROJECT: 1002848  
 DATE: 12-10-14  
 APP: 14-70399 (P&F)

SUBDIVISION PLAT OF  
 TRACTS A-1-A  
 AMERICAN TOYOTA  
 BEING A RE-PLAT OF  
 TRACTS A-1 AND B-1, AMERICAN TOYOTA &  
 LOTS 15 THRU 18, BLOCK 10, TRACT A, UNIT B  
 NORTH ALBUQUERQUE ACRES  
 PROJECTED SECTION 13, T 11 N, R 3 E, N.M.P.M.  
 ELENA GALLEGOS LAND GRANT  
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 NOVEMBER 2014



ZONE ATLAS C-18-Z NOT TO SCALE

LEGAL DESCRIPTION

TRACTS A-1 AND B-1, AMERICAN TOYOTA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 24, 2004, IN PLAT BOOK 2004C, FOLIO 300

AND

LOTS NUMBERED FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17) AND EIGHTEEN (18) IN BLOCK NUMBERED TEN (10) OF TRACT LETTERED "A", UNIT LETTERED "B" OF NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, FOLIO 130A AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT HEREIN DESCRIBED, BEING A POINT ON THE WESTERLY RIGHT-OF-WAY OF SAN PEDRO DRIVE NE: WHENCE, N6°41'47"E A DISTANCE OF 514.29' TO ACS MONUMENT 10\_C18; THENCE, FROM SAID POINT OF BEGINNING S0°09'20"W A DISTANCE OF 471.73' TO AN ANGLE POINT; THENCE, S89°29'00"W A DISTANCE OF 17.65' TO AN ANGLE POINT; THENCE, S0°10'07"W A DISTANCE OF 411.93' TO A POINT OF CURVATURE; THENCE, 81.46' ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 76.08' AND A CHORD BEARING OF S30°18'22"W, 77.62' TO AN ANGLE POINT BEING ON THE NORTH RIGHT-OF-WAY OF ALAMEDA BLVD. NE.; THENCE, N89°26'52"W A DISTANCE OF 244.65' TO AN ANGLE POINT; THENCE, N84°26'19"W A DISTANCE OF 340.78 TO AN ANGLE POINT BEING A POINT ON THE EASTERLY RIGHT-OF-WAY OF THE PAN AMERICAN FREEWAY, INTERSTATE-25 FRONTAGE ROAD; THENCE, N11°37'30"W A DISTANCE OF 426.45' TO AN ANGLE POINT; THENCE, S89°42'00"E A DISTANCE OF 427.50' TO AN ANGLE POINT; THENCE, S0°13'23"W A DISTANCE OF 29.79' TO AN ANGLE POINT; THENCE, N0°13'23"E A DISTANCE OF 235.32' TO AN ANGLE POINT; THENCE, N0°11'12"E A DISTANCE OF 235.37' TO AN ANGLE POINT BEING A POINT ON THE SOUTHERLY RIGHT OF WAY OF EAGLE ROCK AVE. NE; THENCE, S89°54'25"E A DISTANCE OF 299.77 TO THE POINT OF BEGINNING AND CONTAINING 10.13383 ACRES MORE OR LESS.

FREE CONSENT:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACTS LETTERED A-1 AND B-1, AMERICAN TOYOTA & LOTS 15 THRU 18, BLOCK 10, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND DEDICATE RIGHT OF WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND GRANT ANY EASEMENTS A SHOWN, SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

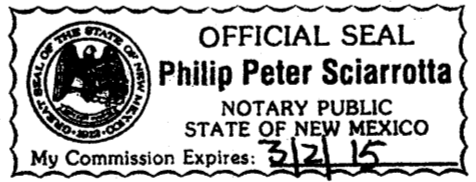
BY: Mill E. Murphy Jr.  
 MILLER FAMILY REAL ESTATE / DATE

ACKNOWLEDGMENT

STATE OF New Mexico )  
 COUNTY OF Bernalillo ) SS.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 15<sup>th</sup> DAY OF December, 2014, BY Philip Peter Sciarrotta

NOTARY PUBLIC: Philip Peter Sciarrotta  
 MY COMMISSION EXPIRES: 3/2/15



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #:

BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_

PROJECT NUMBER: \_\_\_\_\_  
 CITY APPROVALS:  
Scott M. Richardson P.E. 12/2/14  
 CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

UTILITIES DEVELOPMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

A.M.A.F.C.A. DATE

ABCWUA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

REAL PROPERTY DIVISION DATE

UTILITY APPROVALS:

PNM ELECTRIC SERVICES DATE

NEW MEXICO GAS DATE

CENTURY LINK DATE

COMCAST DATE

SURVEYOR'S CERTIFICATE:

I, DAVID P ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

David P. Acosta 12-2-14  
 DAVID P. ACOSTA, N.M.P.S. NO. 21082 DATE

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CREATE (1) TRACT FROM (4) LOTS & (2) TRACTS, DEDICATE ADDITIONAL RIGHT OF WAY TO THE CITY OF ALBUQUERQUE, GRANT AND VACATE EASEMENTS AS SHOWN HEREON.

NOTES:

1. BEARINGS ARE GRID BASED---NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. ALL BOUNDARY CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 21082", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
4. BEARINGS AND DISTANCES IN ( ) ARE RECORD

SUBDIVISION DATA:

DRB#  
 ZONE ATLAS INDEX NO. C-18-Z  
 DATE OF FIELD SURVEY: NOVEMBER, 2014  
 TOTAL NO. OF TRACTS EXISTING 2  
 TOTAL NO. OF TRACTS CREATED 1  
 TOTAL NO. OF LOTS EXISTING 4  
 TOTAL NO. OF LOTS CREATED 0  
 GROSS SUBDIVISION ACREAGE 10.13915

DOCUMENTS USED:

TRACTS A-1 AND B-1, AMERICAN TOYOTA, BOOK 2004C, FOLIO 300 (9/24/04)  
 NORTH ALBUQUERQUE ACRES, BOOK D, FOLIO 130A (4/24/36)

SHEET INDEX  
 PAGE 1. COVER  
 PAGE 2 SUBDIVISION PLAT



CONSTRUCTION SURVEY TECHNOLOGIES, INC  
 MAILING: PO BOX 65395, ALBUQUERQUE, NM 87193 505-917-8921  
 OFFICE: 1606 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106  
 NMSURVEYOR@GMAIL.COM



