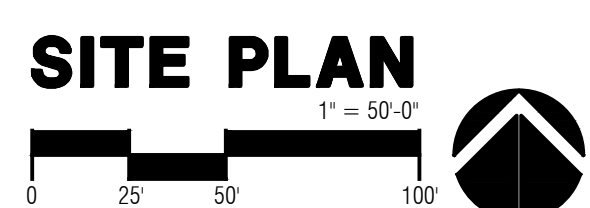
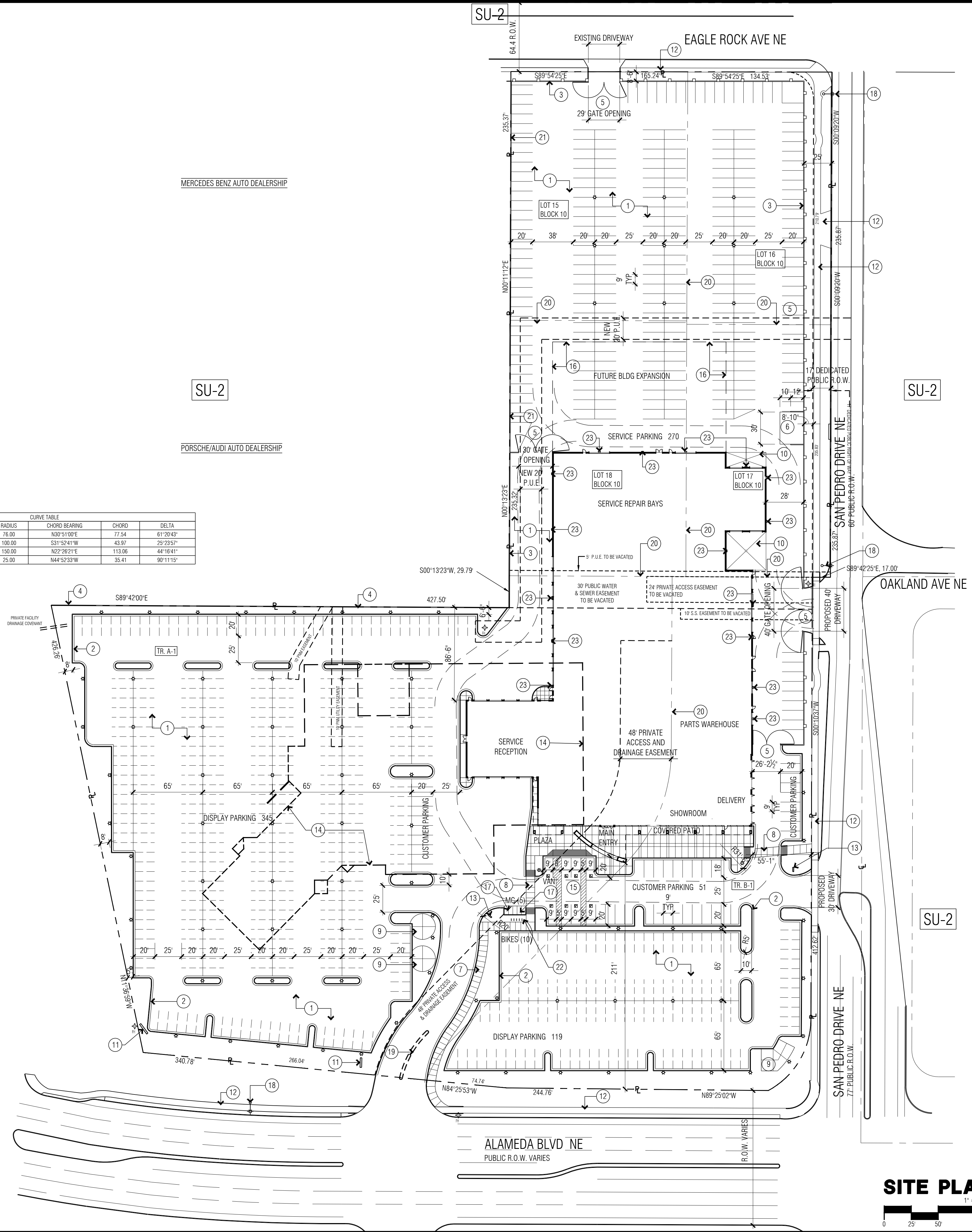


CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	DELTA
C1	81.37	76.00	N30°51'00"E	77.54	61°20'43"
C2	44.33	100.00	S31°52'41"W	43.97	25°23'57"
C3	113.92	150.00	N22°26'21"E	113.06	44°16'41"
C4	39.35	25.00	N44°52'33"W	35.41	90°11'15"



KEYNOTES

- 1 TYP ASPHALT PAVING
- 2 TYP ROLLED CONC CURB AND GUTTER
- 3 6" HIGH CMU WALL - SEE DETAIL 3/A101
- 4 EXISTING WALL - 4'-6" HIGH UNPAINTED CMU
- 5 8' H PAINTED STEEL GATE W/ KNOX LOCK BOX
- 6 30' X 12' REFUSE YARD W/ 10' CONC APPROACH APRON SEE DETAIL 1/A101
- 7 8' WIDE CONC SIDEWALK
- 8 8' WIDE DECORATIVE CONC CROSS-WALK
- 9 CONC DISPLAY PAD +1' ABOVE ADJACENT GRADE
- 10 DRIP CONTAINMENT CONC SLAB - FLUSH W/ PAVING
- 11 EXISTING SIGN TO REMAIN
- 12 EXISTING SIDEWALK
- 13 NEW DIRECTIONAL SIGN - BY SEPARATE REVIEW
- 14 LINE OF EXISTING BUILDING TO BE DEMOLISHED
- 15 ACCESSIBLE PARKING PER ADA STANDARDS
- 16 DENOTES LINE OF FUTURE BUILDING EXPANSION
- 17 CONC PAVING AT MOTORCYCLE PARKING
- 18 EXISTING STREET LIGHT
- 19 EXISTING ISLAND TO BE REMOVED
- 20 EXISTING LOT LINE TO BE ELIMINATED BY RE-PLAT
- 21 6' HIGH UNPAINTED CMU WALL - RUNNING BOND - NO ACCENT COURSING
- 22 BICYCLE PARKING PER DETAIL 5/A101
- 23 TYP WALL MOUNTED LIGHT FIXTURE

LEGEND

- ⊙ DENOTES STREETLIGHT - SEE CIVIL
- * DENOTES LIGHT FIXTURE, POLE AND CONCRETE BASE SEE ELECTRICAL - MAX HEIGHT ABOVE ADJACENT GRADE = 25 FEET. SEE DETAIL 4/A101
- ⊕ DENOTES FIRE HYDRANT - SEE CIVIL
- TRUCK ROUTE/TURNING RADII
- TYPICAL PARKING LAYOUT ALL LINES STRIPED
- TYPICAL DISPLAY LAYOUT DASHED LINES NOT STRIPED
- TYPICAL LANDSCAPED END CAP ISLAND
- TYPICAL LANDSCAPED INTERIOR ISLAND

LINWEIGHT SYMBOLS

- DIMENSIONS
- KEYNOTES
- TEXT AND NOTES
- BUILDINGS
- BUILDINGS TO BE DEMOLISHED
- CONCRETE AND SIDEWALKS
- VERTICAL AND ROLLED CONCRETE CURBS AND GUTTERS
- EASEMENTS
- FIRE HYDRANTS
- FIRE TRUCK ROUTE AND RADII
- HATCH AND SCORE PATTERNS
- PROPERTY LINES
- PROPERTY LINES TO BE REMOVED
- SEWERAGE
- SITE LIGHTING
- SITE WALLS AND GATES
- STRIPING FOR CODE REQUIRED PARKING
- DISPLAY AND INVENTORY PARKING NOT TO BE PAINTED

PROJECT INFORMATION

PROJECT NAME LARRY H. MILLER AMERICAN TOYOTA
PROJECT ADDRESS 5995 ALAMEDA BLVD NE
OWNER MILLER FAMILY REAL ESTATE
 9350 S. 150 E
 STE 1000
 SANDY, UTAH 84070-2721

PROJECT DESCRIPTION DEMOLITION AND RECONSTRUCTION OF EXISTING AUTOMOBILE SALES AND SERVICE FACILITY; AND RELATED SITE IMPROVEMENT

ZONING (EXISTING) SU-2 SPECIAL NEIGHBORHOOD ZONE
ZONING (PROPOSED) SU-1/SU-2 FOR AUTOMOTIVE SALES, SERVICE AND REPAIR

GROSS SITE AREA 10.1391 ACRES
NET SITE AREA 9.52 ACRES

GROSS BUILDING AREA 90,096 S.F.
GROUND FLOOR AREA 73,539 S.F.
SECOND FLOOR AREA 16,557 S.F.

OCCUPANCY B, S-1
CONSTRUCTION TYPE II-B WITH AUTOMATIC FIRE SPRINKLER SYSTEM

LEGAL DESCRIPTION TRACTS A-1 AND B-1, AMERICAN TOYOTA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 24, 2004, IN PLAT BOOK 2004C, FOLIO 300.

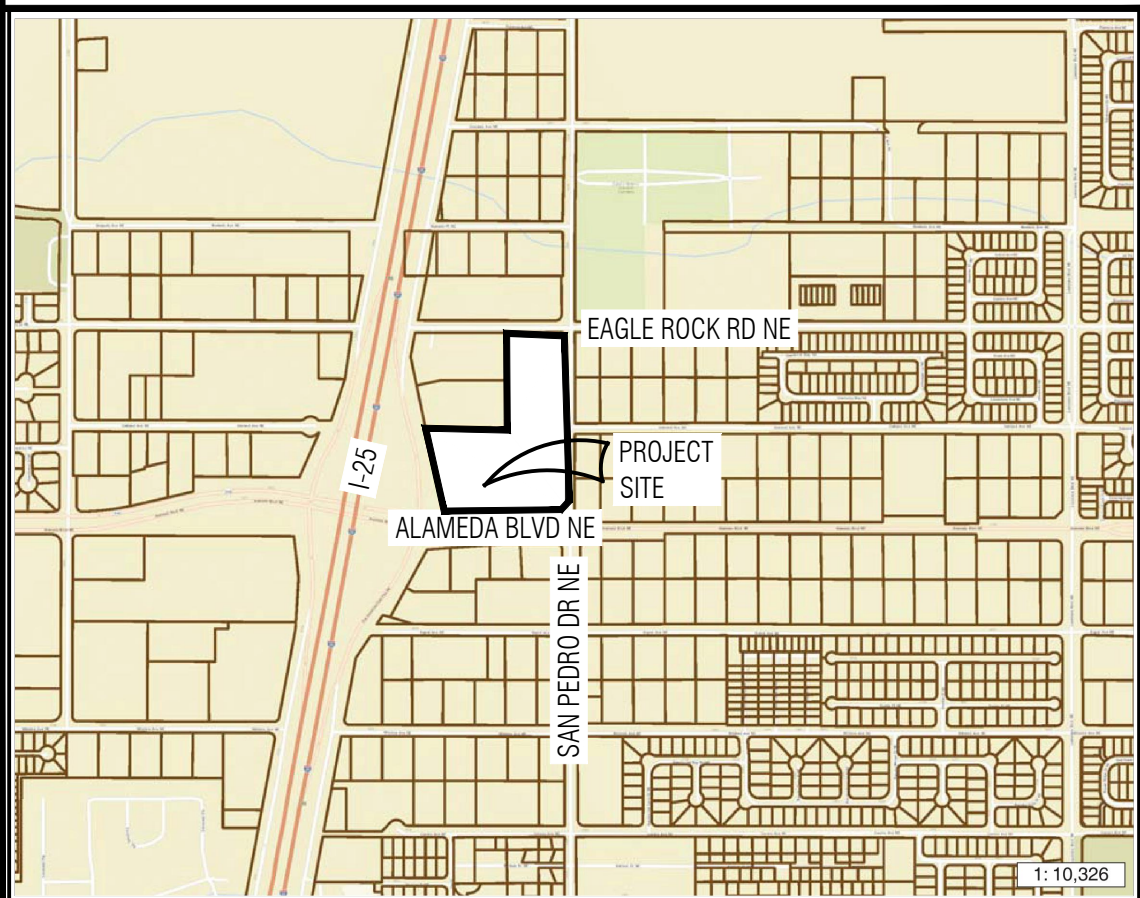
AND

LOTS NUMBERED FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17) AND EIGHTEEN (18) IN BLOCK NUMBERED TEN (10) OF TRACT LETTERED "A", UNIT LETTERED "B" OF NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, FOLIO 130A.

PARKING CALCULATIONS

BUILDING ZONE	AREA	REQUIREMENT	SUB-TOTAL REQUIRED
SHOWROOM/ OFFICE	29,369	1/200 0-15,000 1/250 15,000 - 29,369	75 58
PARTS WAREHOUSE	13,732	1/2000	7
SERVICE BAYS	46,995	1/1000	47
SUBTOTAL			187
10% REDUCTION PER 14-16-3-1 (6)(a)			-18
TOTAL PARKING REQUIRED			169
ACCESSIBLE PARKING REQUIRED - PER ORDINANCE 14-16-3-1			8
TOTAL REQUIRED PARKING 151-300 SPACES =			8
MOTORCYCLE PARKING REQUIRED (101-150)			5
BICYCLE PARKING REQUIRED (1/20 PARKING)			9
TOTAL PARKING PROVIDED			321
ACCESSIBLE PARKING PROVIDED			8
MOTORCYCLE PARKING PROVIDED			5
BICYCLE PARKING PROVIDED			10

NOTE: TREE CANOPY SHALL COUNT TOWARDS THE 75% VEGETATIVE GROUND COVER REQUIREMENTS PER THE NORTH I-25 SECTOR DEVELOPMENT PLAN



VICINITY MAP

JOHN MAHONEY ARCHITECT
 850 W. ELLIOT ROAD, #108
 TEMPE, ARIZONA 85283
 P 480.345.8457 F 480.345.1759

PRELIMINARY ONLY
 NOT FOR CONSTRUCTION

11.4.14

Jerry H. Miller
 American Toyota ALBUQUERQUE
 LARRY H. MILLER
 AMERICAN TOYOTA
 5995 ALAMEDA BLVD NE
 ALBUQUERQUE, NEW MEXICO

PROJECT NO. 1325
ISSUE DATE: 11/4/14

SITE PLAN

A100