

PLAT FOR
BLOSSOM RIDGE PHASE 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2004

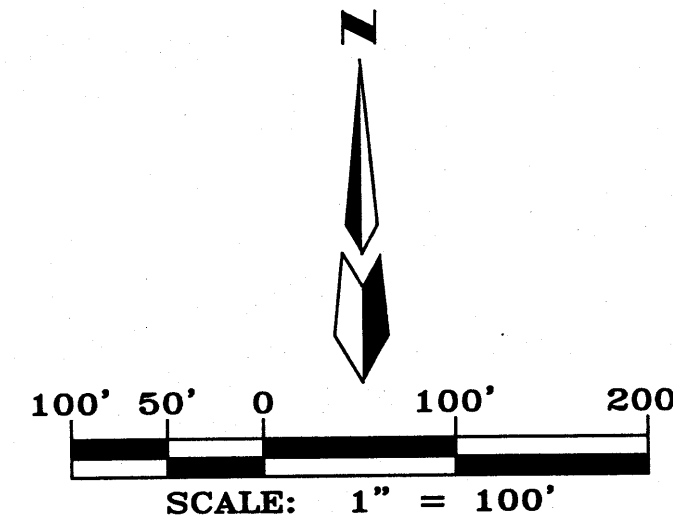
ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.37

PARCEL 2
 THE MEADOWS AT ANDERSON H.
 (01-09-04, 04C-9)

PARCEL 1
 THE MEADOWS AT ANDERSON HILLS
 (01-09-04, 04C-9)

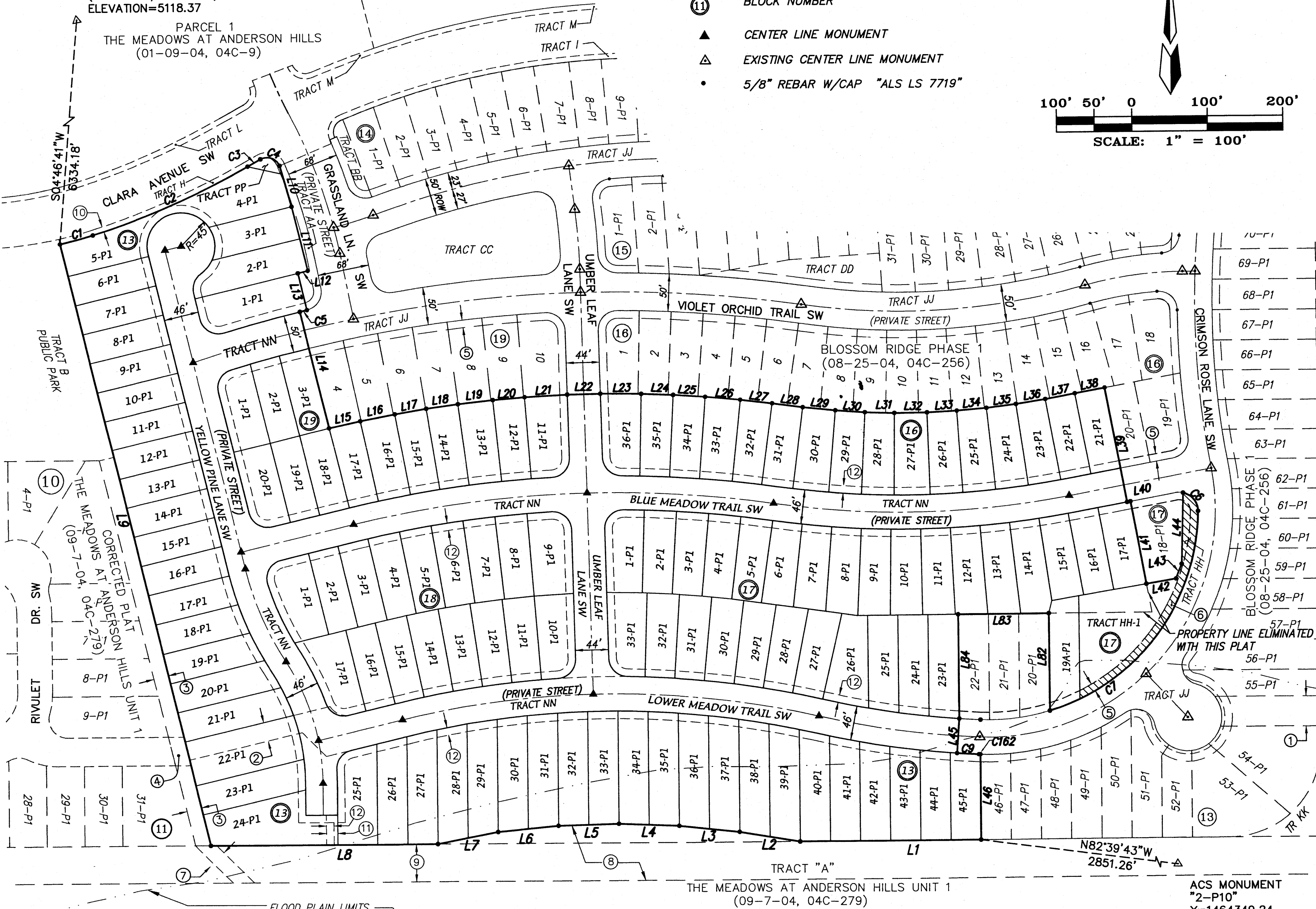
LEGEND

- 1-P1 LOT NUMBER
- ⑪ BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- △ EXISTING CENTER LINE MONUMENT
- 5/8" REBAR W/CAP "ALS LS 7719"



EASEMENTS

- ① EXISTING 40' PUBLIC SANITARY SEWER, WATERLINE & DRAINAGE EASEMENT (01-09-04, 04C-9)
- ② EXISTING 25' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT (01-09-04, 04C-9)
- ③ EXISTING 20' PUBLIC DRAINAGE EASEMENT (06-17-04, 04C-184)
- ④ EXISTING 38' PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (06-17-04, 04C-184)
- ⑤ EXISTING 10' PUE (08-25-04, 04C-256)
- ⑥ EXISTING CLEAR SIGHT EASEMENT (HATCHED AREA) - NO OBSTRUCTION (LANDSCAPING), BETWEEN THE HEIGHT OF 3.0' TO 7.0' (08-25-04, 04C-256)
- ⑦ EXISTING 20' PUBLIC DRAINAGE EASEMENT (01-09-04, 04C-9)
- ⑧ EXISTING PUBLIC LANDSCAPE EASEMENT (01-09-04, 04C-9)
- ⑨ EXISTING 50' QUITCLAIM EASEMENT FOR PNM GAS PIPELINE (03-27-00, A3-9161) SEE NOTE 9
- ⑩ EXISTING 7' LANDSCAPE EASEMENT & 7' PUE (01-09-04, 04C-9)
- ⑪ 15' PUBLIC PEDESTRIAN ACCESS EASEMENT (GRANTED WITH THIS PLAT)
- ⑫ 10' PUE (GRANTED WITH THIS PLAT)



UNSER BOULEVARD SW
 (156' ROW)

Limits of FEMA Floodplain
 Until such time that the LOMR is issued by FEMA to remove the floodplain, this area and any future lots that develop in this area, flood insurance may be required by the mortgage company.

DENNIS CHAVEZ BOULEVARD S.W. (R/W 255')

ACS MONUMENT
 "2-P10"
 Y=1464349.24
 X=358414.13
 G-G=0.9996842
 Δα=-00°16'16"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 (TRIG) ELEVATION=4990.6

Richard
 12-01-04
 1718

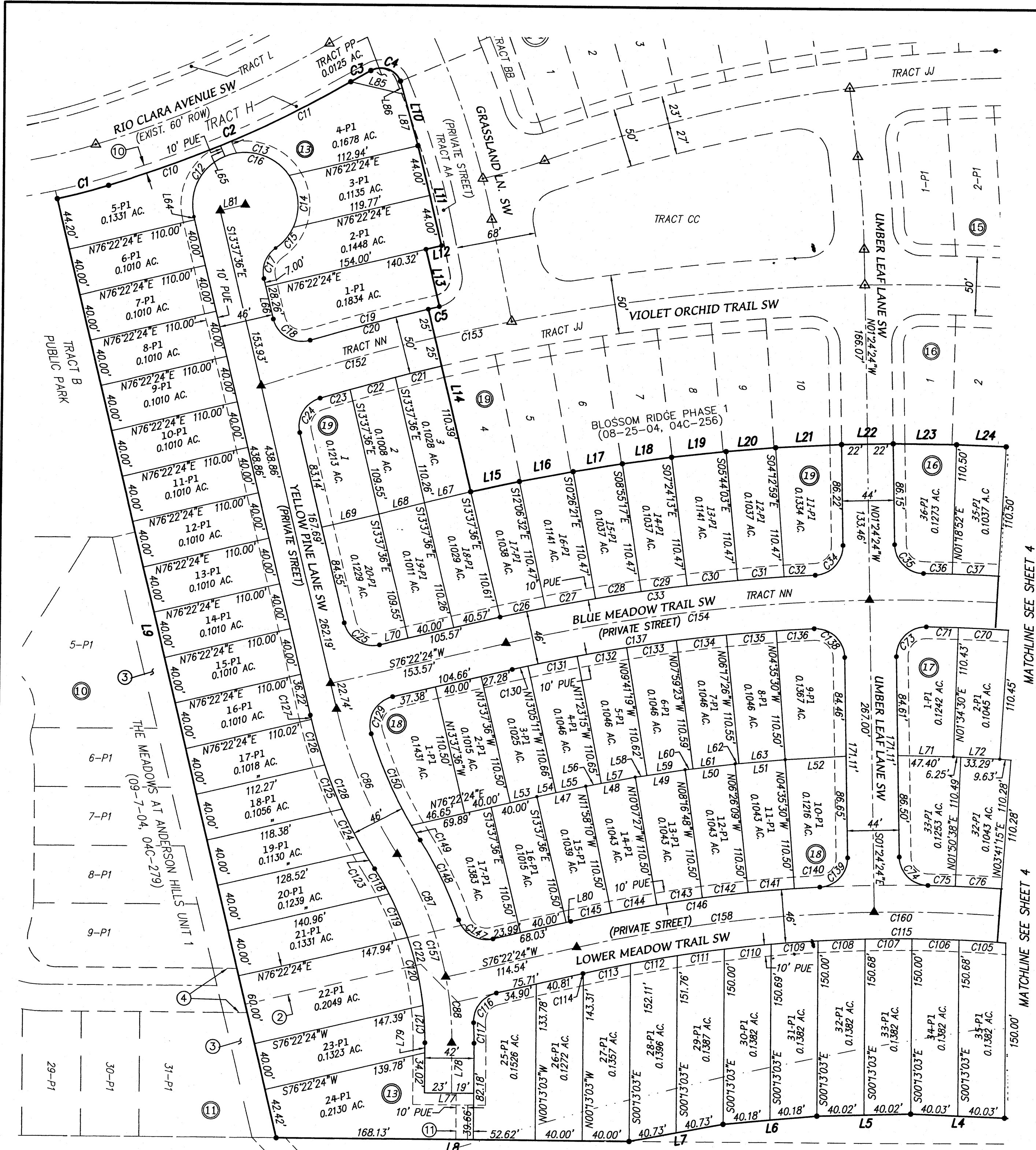
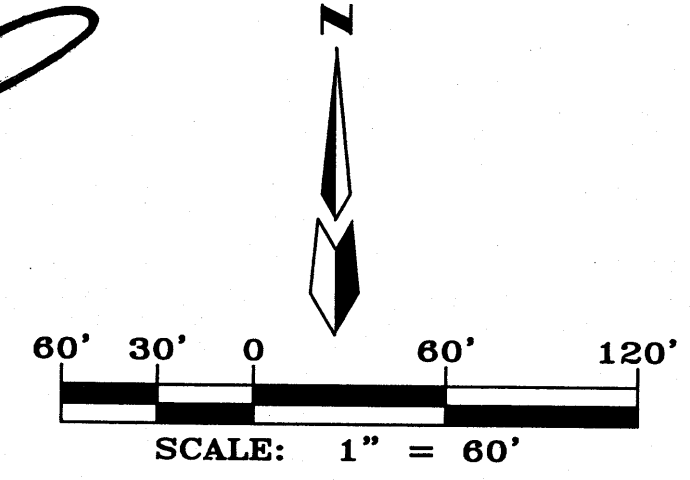
ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: BRP2SHT2.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 5
Scale: 1"=200'	Date: 11/23/04	Job: A02061	

F:\A2106ANH\FINAL PLAT\MEADOWS U-38\BRP2SHT2.DWG, 11/23/2004 4:30:46 PM, MARK GOODWIN & ASSOCIATES, PLOTTED BY RDQ

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 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2004

[Handwritten Signature]
 12-01-04



LINE TABLE			LINE TABLE		
LINE ID	LENGTH	BEARING	LINE ID	LENGTH	BEARING
L1	240.00	N89°46'57"E	L45	46.00	S04°03'24"W
L2	81.11	S80°43'51"E	L46	113.49	S00°13'03"E
L3	80.47	S84°00'08"E	L47	42.61	N77°07'26"E
L4	80.06	S87°54'37"E	L48	42.94	N78°57'11"E
L5	80.03	N88°11'32"E	L49	42.92	N80°47'53"E
L6	80.37	N84°17'14"E	L50	42.92	N82°38'31"E
L7	81.47	N78°53'44"E	L51	42.92	N84°29'10"E
L8	300.75	N89°46'57"E	L52	52.15	N86°02'36"E
L9	826.62	S13°37'36"E	L53	23.24	N76°22'24"E
L10	56.55	S15°40'24"E	L54	16.61	N77°07'23"E
L11	88.00	S13°37'36"E	L55	26.00	N77°07'27"E
L12	13.68	N76°22'24"E	L56	13.54	N78°57'11"E
L13	50.16	N13°37'36"W	L57	29.40	N78°57'11"E
L14	160.39	N13°37'36"W	L58	10.14	N80°47'53"E
L15	42.40	S77°19'09"W	L59	32.78	N80°47'53"E
L16	46.64	N78°43'45"E	L60	6.76	N82°38'31"E
L17	42.40	N80°19'11"E	L61	36.16	N82°38'31"E
L18	42.40	N81°50'15"E	L62	3.38	N84°29'10"E
L19	46.64	N83°25'52"E	L63	42.92	N84°29'10"E
L20	42.40	N85°01'29"E	L64	2.64	N13°37'36"W
L21	56.47	N86°37'06"E	L65	10.00	N23°01'07"W
L22	44.00	S88°40'58"W	L66	35.26	S13°37'36"E
L23	54.01	N89°34'33"W	L67	40.57	N75°52'51"E
L24	42.39	S87°55'36"E	L68	40.01	N75°21'31"E
L25	42.39	S86°24'32"E	L69	50.00	N76°22'24"E
L26	46.64	S84°48'55"E	L70	25.00	N76°22'24"E
L27	42.39	S83°13'17"E	L71	47.40	N89°10'34"W
L28	40.89	S82°11'32"E	L72	39.54	N87°32'21"W
L29	43.38	S84°00'08"E	L73	39.54	N85°50'10"W
L30	39.43	S86°13'36"E	L74	39.54	N84°02'37"W
L31	39.43	S88°20'41"E	L75	12.95	N89°46'57"E
L32	43.37	N89°25'51"E	L76	16.58	N14°23'56"E
L33	39.43	N87°12'24"E	L77	42.00	S89°46'57"W
L34	39.43	N85°05'19"E	L78	42.53	S00°13'03"E
L35	39.43	N82°58'13"E	L79	8.51	N00°13'03"W
L36	39.43	N80°51'08"E	L80	4.04	N76°22'24"E
L37	40.00	N79°28'42"E	L81	22.00	N76°22'24"E
L38	40.00	N79°27'04"E	L82	129.10	N00°13'03"W
L39	156.50	S10°32'56"E	L83	120.00	N89°46'57"E
L40	4.49	S79°27'04"W	L84	138.19	N00°13'03"W
L41	112.20	S10°32'56"E	L85	46.62	S77°16'14"E
L42	39.78	N80°14'46"E	L86	11.52	S15°40'24"E
L43	21.00	N21°44'21"E	L87	45.03	S15°40'24"E
L44	95.06	N01°22'28"E			

MATCHLINE SEE SHEET 4

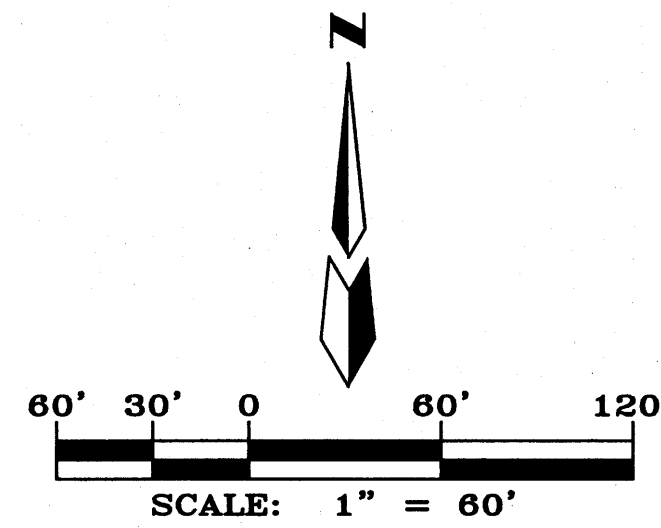
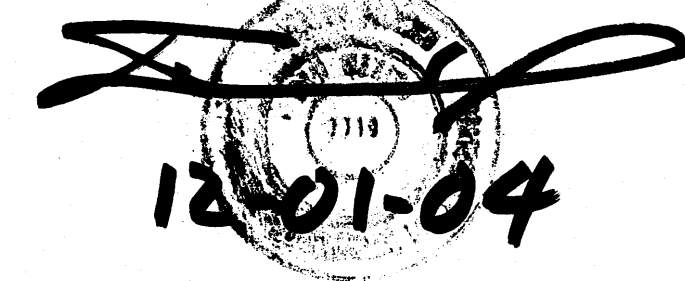
MATCHLINE SEE SHEET 4



P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

Dwg: BRP2SHT3.dwg	Drawn: RICHARD	Checked: ALS	Sheet 3 of 5
Scale: 1"=60'	Date: 11/23/04	Job: A02061	

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NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary is from the plats of record entitled:
 BLOSSOM RIDGE PHASE 1, (08-25-04, 04C-256)
 "THE MEADOWS AT ANDERSON HILLS SUBDIVISION UNIT 1," (06-17-04, 04C-184)
 "THE MEADOWS AT ANDERSON HILLS SUBDIVISION", (01-09-04, 04C-9)
 "ARROWOOD RANCH DEVELOPMENT", (12-06-02, 02C-390)
 "LANDS OF SALAZAR FAMILY TRUST, LANDS OF SALAZAR-DAVIS, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT (07-23-03, 03C-223)
 all being records of Bernalillo County, New Mexico.
- Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
- No individual lots shall be allowed direct access to Dennis Chavez Boulevard S.W., and Rio Clara Avenue S.W.
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
- DISCLOSURE STATEMENT FOR EXISTING PNM GAS LINE: "With the exception of areas located within the future right-of-ways of Unser Boulevard S.W., and 98th Street S.W., the southeast corner of TRACT H (MESA SUBDIVISION) and a storm drain crossing located at the southwest corner of PARCEL 5 (MEADOWS SUBDIVISION), any improvements encroaching into the existing 50' PNM Gasline easements shall not interfere with nor inhibit PNM's ability to operate and maintain its gas line facilities. The property owner or business responsible for any encroachment shall pay for all PNM utility relocations or modifications caused by such easement encroachments."

TRACT NN - PRIVATE ACCESS AND PUBLIC WATERLINE, SANITARY SEWER & DRAINAGE EASEMENT. TO BE OWNED AND MAINTAINED BY THE ANDERSON HILLS HOMEOWNER'S ASSOCIATION (GRANTED BY THIS PLAT)

"HOA TRACT HH-1 & PP ARE TO BE OWNED AND MAINTAINED BY THE ANDERSON HILLS HOMEOWNER'S ASSOCIATION."

TRACTS H, I, J, M AND N ARE EXISTING TRACTS, PER "THE MEADOWS AT ANDERSON HILLS UNIT 1 SUBDIVISION", (06-17-04, 04C-184).

TRACTS H, I, J, M AND N ARE EXISTING 7' LANDSCAPE AND PUE EASEMENTS PER "THE MEADOWS AT ANDERSON HILLS SUBDIVISION", (01-09-04, 04C-9)

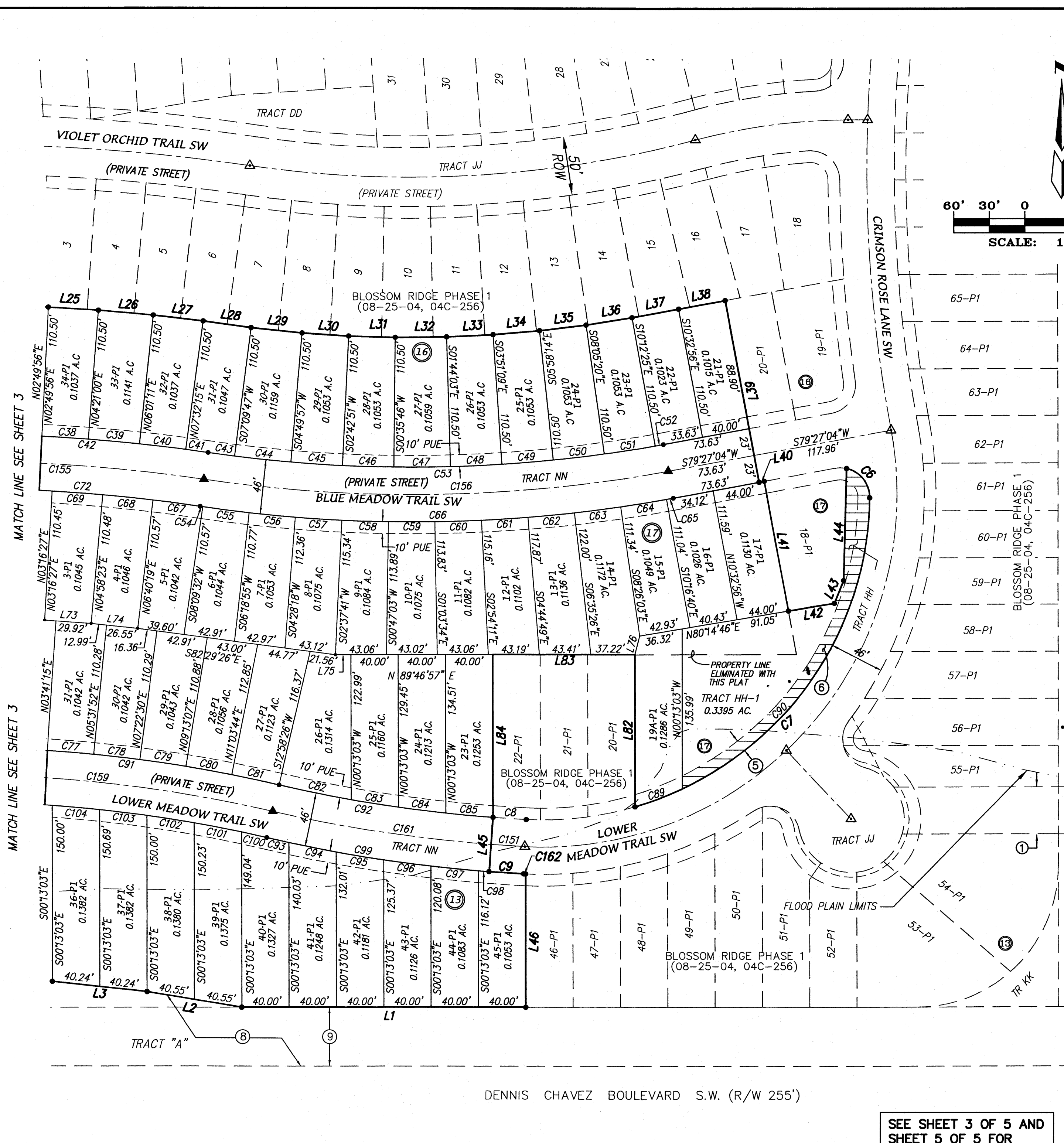


P.O. BOX 30701, ALBU., N.M. 87190
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Dwg: BRP2SHT3.dwg	Drawn: RICHARD	Checked: ALS	Sheet 4 of 5
Scale: 1"=60'	Date: 11/23/04	Job: A02061	

SEE SHEET 3 OF 5 AND SHEET 5 OF 5 FOR LINE DATA, CURVE DATA

F:\A2106ANH\FINAL PLAT\MEADOWS U-3B\BRP2SHT3.DWG\ 11-23-04 RDQ



F:\A02061\A2106ANH\FINAL PLAT\MEADOWS U-3B\BRP2SHT3.DWG, 11/23/2004 4:28:04 PM, MARK GOODWIN & ASSOCIATES, PLOTTED BY RDQ

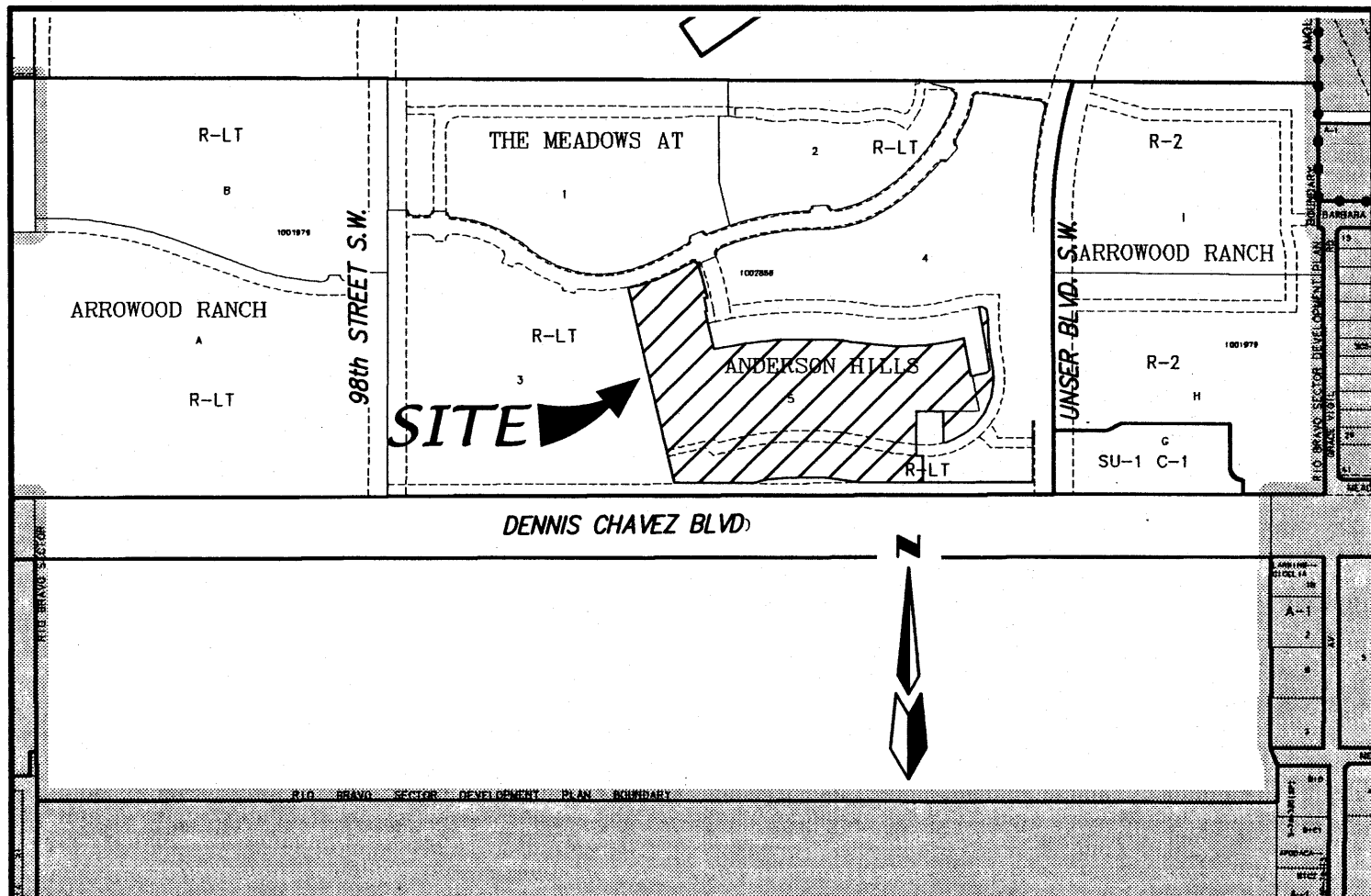
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 NOVEMBER, 2004

[Handwritten Signature]
 11-9-04

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	45.26	537.00	4'49'43"	22.64	N75'00'53"E	45.24
C2	225.26	1035.00	12'28'11"	113.07	N66'21'56"E	224.81
C3	19.61	1065.00	1'03'18"	9.80	S60'39'29"W	19.61
C4	30.16	18.00	95'59'14"	19.99	N70'49'15"W	26.75
C5	9.75	1761.00	0'19'02"	4.87	S76'31'55"W	9.75
C6	34.02	25.00	77'57'32"	20.23	N38'32'52"W	31.45
C7	352.95	277.00	73'00'18"	204.99	N36'56'03"E	329.55
C8	28.04	1177.00	1'21'54"	14.02	S86'37'33"E	28.04
C9	29.14	1223.00	1'21'54"	14.57	S86'37'33"E	29.14
C10	101.50	1035.00	5'37'09"	50.79	N69'47'27"E	101.46
C11	123.75	1035.00	6'51'02"	61.95	N63'33'22"E	123.68
C12	63.31	45.00	80'36'29"	38.17	S26'40'38"W	58.22
C13	61.70	45.00	78'33'31"	36.80	N73'44'22"W	56.98
C14	46.58	45.00	59'18'18"	25.62	N04'48'28"W	44.53
C15	23.35	45.00	29'43'29"	11.94	N39'42'26"E	23.08
C16	194.93	45.00	248'11'47"	66.47	N69'31'43"W	74.53
C17	29.76	25.00	68'11'47"	16.93	S20'28'17"W	28.03
C18	40.75	25.00	93'23'19"	26.52	S60'19'16"E	36.39
C19	113.90	1761.00	3'42'21"	56.97	S74'50'15"W	113.88
C20	104.15	1761.00	3'23'19"	52.09	S74'40'44"W	104.14
C21	40.57	1711.00	1'21'31"	20.29	S75'41'38"W	40.57
C22	40.03	1711.00	1'20'25"	20.01	S74'20'40"W	40.03
C23	26.61	1711.00	0'53'27"	13.30	S73'13'44"W	27.61
C24	37.70	25.00	86'24'36"	23.48	S29'34'42"W	34.23
C25	39.27	25.00	90'00'00"	25.00	S58'37'36"E	35.36
C26	39.47	1490.00	1'31'04"	19.74	S77'07'56"W	39.47
C27	43.42	1490.00	1'40'11"	21.71	S78'43'33"W	43.42
C28	39.47	1490.00	1'31'04"	19.74	S80'19'11"W	39.47
C29	39.47	1490.00	1'31'04"	19.74	S81'50'15"W	39.47
C30	43.42	1490.00	1'40'11"	21.71	S83'25'52"W	43.42
C31	39.47	1490.00	1'31'04"	19.74	S85'01'29"W	39.47
C32	26.84	1490.00	1'01'55"	13.42	S86'17'59"W	26.84
C33	271.56	1490.00	10'26'32"	136.16	S81'35'40"W	271.18
C34	38.49	25.00	88'13'20"	24.24	N42'42'16"E	34.80
C35	38.49	25.00	88'13'20"	24.24	S45'31'04"E	34.80
C36	24.53	1490.00	0'56'36"	12.27	N89'09'26"W	24.53
C37	39.47	1490.00	1'31'04"	19.74	N87'55'36"W	39.47
C38	39.47	1490.00	1'31'04"	19.74	N86'24'32"W	39.47
C39	43.42	1490.00	1'40'11"	21.71	N84'48'55"W	43.42
C40	39.47	1490.00	1'31'04"	19.74	N83'13'17"W	39.47
C41	18.95	1490.00	0'43'43"	9.48	N82'05'54"W	18.95
C42	205.31	1490.00	7'53'42"	102.82	N85'40'53"W	205.15
C43	22.66	1177.00	1'06'11"	11.33	S82'17'07"E	22.66
C44	47.88	1177.00	2'19'50"	23.94	S84'00'08"E	47.87
C45	43.51	1177.00	2'07'05"	21.76	S86'13'36"E	43.51
C46	43.51	1177.00	2'07'05"	21.76	S88'20'41"E	43.51
C47	47.87	1177.00	2'19'49"	23.94	N89'25'51"E	47.87
C48	43.51	1177.00	2'07'05"	21.76	N87'12'24"E	43.51
C49	43.51	1177.00	2'07'05"	21.76	N85'05'19"E	43.51
C50	43.51	1177.00	2'07'05"	21.76	N82'58'13"E	43.51
C51	43.51	1177.00	2'07'05"	21.76	N80'51'08"E	43.51
C52	7.02	1177.00	0'20'31"	3.51	N79'37'19"E	7.02
C53	386.51	1177.00	18'48'54"	195.01	N88'51'31"E	384.77
C54	2.29	1223.00	0'06'26"	1.14	S81'47'15"E	2.29

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C55	39.35	1223.00	1'50'37"	19.68	S82'45'46"E	39.35
C56	39.35	1223.00	1'50'37"	19.68	S84'36'24"E	39.35
C57	39.35	1223.00	1'50'37"	19.68	S86'27'01"E	39.35
C58	39.35	1223.00	1'50'37"	19.68	S88'17'38"E	39.35
C59	39.35	1223.00	1'50'37"	19.68	N89'51'45"E	39.35
C60	39.35	1223.00	1'50'37"	19.68	N88'01'07"E	39.35
C61	39.35	1223.00	1'50'37"	19.68	N86'10'30"E	39.35
C62	39.35	1223.00	1'50'37"	19.68	N84'19'53"E	39.35
C63	39.35	1223.00	1'50'37"	19.68	N82'29'15"E	39.35
C64	39.35	1223.00	1'50'37"	19.68	N80'38'38"E	39.35
C65	5.78	1223.00	0'16'16"	2.89	N79'35'12"E	5.78
C66	401.61	1223.00	18'48'54"	202.63	N88'51'31"E	399.81
C67	40.18	1444.00	1'35'39"	20.09	N82'31'51"W	40.18
C68	42.82	1444.00	1'41'56"	21.41	N84'10'39"W	42.82
C69	42.82	1444.00	1'41'56"	21.41	N85'52'35"W	42.82
C70	42.82	1444.00	1'41'56"	21.41	N87'34'32"W	42.82
C71	27.31	1444.00	1'05'01"	13.66	N88'58'00"W	27.31
C72	195.94	1444.00	7'46'29"	98.12	N85'37'16"W	195.79
C73	40.10	25.00	91'53'53"	25.84	S44'32'33"W	35.94
C74	38.33	25.00	87'50'30"	24.08	S45'19'39"E	34.68
C75	23.31	1223.00	1'05'32"	11.66	N88'42'08"W	23.31
C76	39.35	1223.00	1'50'37"	19.68	N87'14'04"W	39.35
C77	39.35	1223.00	1'50'37"	19.68	N85'23'26"W	39.35
C78	39.35	1223.00	1'50'37"	19.68	N83'32'49"W	39.35
C79	39.35	1223.00	1'50'37"	19.68	N81'42'12"W	39.35
C80	39.35	1223.00	1'50'37"	19.68	N79'51'34"W	39.35
C81	40.80	1223.00	1'54'42"	20.40	N77'58'55"W	40.80
C82	62.17	1177.00	3'01'35"	31.09	S78'32'21"E	62.16
C83	40.52	1177.00	1'58'21"	20.26	S81'02'20"E	40.52
C84	40.32	1177.00	1'57'46"	20.16	S83'00'23"E	40.32
C85	40.17	1177.00	1'57'20"	20.09	S84'57'56"E	40.17
C86	134.68	400.00	19'17'31"	67.99	S23'16'21"E	134.05
C87	114.01	300.00	21'46'28"	57.70	N22'01'53"W	113.33
C88	57.21	300.00	10'55'36"	28.69	N05'40'51"W	57.13
C89	42.82	277.00	8'51'29"	21.45	N69'00'28"E	42.78
C90	310.12	277.00	64'08'50"	173.58	N32'30'19"E	294.18
C91	260.89	1223.00	12'13'20"	130.94	N83'08'14"W	260.39
C92	183.18	1177.00	8'55'02"	91.78	S81'29'05"E	183.00
C93	19.23	1223.00	0'54'03"	9.62	S77'28'35"E	19.23
C94	40.80	1223.00	1'54'41"	20.40	S78'52'57"E	40.80
C95	40.55	1223.00	1'53'59"	20.28	S80'47'17"E	40.55
C96	40.35	1223.00	1'53'25"	20.18	S82'40'59"E	40.35
C97	40.20	1223.00	1'52'59"	20.10	S84'34'12"E	40.20
C98	9.22	1223.00	0'25'55"	4.61	S85'43'39"E	9.22
C99	190.34	1223.00	8'55'02"	95.36	S81'29'05"E	190.15
C100	21.77	1177.00	1'03'36"	10.89	N77'33'22"W	21.77
C101	40.77	1177.00	1'59'05"	20.39	N79'04'42"W	40.77
C102	40.52	1177.00	1'58'21"	20.26	N81'03'25"W	40.52
C103	40.32	1177.00	1'57'46"	20.16	N83'01'28"W	40.32
C104	40.17	1177.00	1'57'20"	20.09	N84'59'01"W	40.17
C105	40.07	1177.00	1'57'02"	20.04	N86'56'11"W	40.07
C106	40.01	1177.00	1'56'52"	20.01	N88'53'08"W	40.01
C107	40.00	1177.00	1'56'51"	20.00	S89'10'00"W	40.00
C108	40.04	1177.00	1'56'57"	20.02	S87'13'06"W	40.04

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C109	40.13	1177.00	1'57'12"	20.07	S85'16'02"W	40.12
C110	40.26	1177.00	1'57'35"	20.13	S83'18'38"W	40.26
C111	40.44	1177.00	1'58'07"	20.22	S81'20'47"W	40.44
C112	40.67	1177.00	1'58'48"	20.34	S79'22'20"W	40.67
C113	40.96	1177.00	1'59'38"	20.48	S77'23'08"W	40.95
C114	0.31	1177.00	0'00'55"	0.16	S76'22'51"W	0.31
C115	546.44	1177.00	26'36'02"	278.24	S89'40'25"W	541.55
C116	34.81	25.00	79'47'13"	20.90	S36'28'48"W	32.07
C117	17.79	319.00	3'11'46"	8.90	N01'48'56"W	17.79
C118	25.09	277.00	5'11'25"	12.56	N30'19'24"W	25.08
C119	40.64	277.00	8'24'23"	20.36	N23'31'30"W	40.60
C120	60.12	277.00	12'26'08"	30.18	N13'06'15"W	60.00
C121	32.24	277.00	6'40'08"	16.14	N03'33'07"W	32.22
C122	158.10	277.00	32'42'04"	81.27	N16'34'05"W	155.96
C123	16.81	423.00	2'16'37"	8.41	S31'46'48"E	16.81
C124	41.28	423.00	5'35'29"	20.66	S27'50'45"E	41.26
C125	40.48	423.00	5'28'59"	20.26	S22'18'31"E	40.46
C126	40.08	423.00	5'25'43"	20.05	S16'51'10"E	40.06
C127	3.78	423.00	0'30'42"	1.89	S13'52'57"E	3.78
C128	142.43	423.00	19'17'31"	71.89	S23'16'21"E	141.76
C129	41.07	25.00	94'06'56"	26.86	S29'18'56"W	36.60
C130	13.62	1444.00	0'32'25"	6.81	S76'38'37"W	13.62
C131	42.82	1444.00	1'41'56"	21.41	S77'45'47"W	42.82
C132	42.82	1444.00	1'41'56"	21.41	S79'27'43"W	42.82
C133	42.82	1444.00	1'41'56"	21.41	S81'09'39"W	42.82
C134	42.82	1444.00	1'41'56"	21.41	S82'51'35"W	42.82
C135	42.82	1444.00	1'41'56"	21.41	S84'33'32"W	42.82
C136	32.44	1444.00	1'17'14"	16.22	S86'03'06"W	32.44
C137	260.14	1444.00	10'19'19"	130.42	S81'32'04"W	259.79
C138	40.10	25.00	91'53'53"	25.84	N47'21'20"W	35.94
C139	38.33	25.00	87'50'30"	24.08	N42'30'51"E	34.68
C140	21.92	1223.00	1'01'37"	10.96	S85'55'18"W	21.92
C141	39.36	1223.00	1'50'39"	19.68	S84'29'10"W	39.36
C142	39.36	1223.00	1'50'39"	19.68	S82'38'31"W	39.36
C143	39.36	1223.00	1'50'39"	19.68	S80'47'53"W	39.36
C144	39.39	1223.00	1'50'43"	19.70	S78'57'12"W	39.39
C145	35.38	1223.00	1'39'26"	17.69	S77'12'07"W	35.37
C146	214.77	1223.00	10'03'42"	107.66	S81'24'15"W	214.50
C147	36.75	25.00	84'13'37"	22.60	S6	




LOCATION MAP **ZONE ATLAS P-9-Z**
SCALE: NONE

SUBDIVISION DATA

Gross Acreage	17.9197 Ac.
Zone Atlas No.	P-9-Z
No. of Existing Tracts	1 Parcel/1 Tract/1 Lot
No. of Tracts/Lots created	3 Tracts/120 Lots
No. of Tracts eliminated	1 Tract
No. of Lots eliminated	1 Lot
No. of Parcels eliminated	1 Parcel
Miles of full width private streets created	0.64
Miles of half width private streets created	0.00
Street Area dedicated to the City of Albuquerque	0.0000 Ac.
Date of Survey	May, 2004
Utility Control Location System Log Number	2004241922
Zoning	RLT

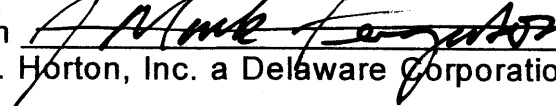
FREE CONSENT AND DEDICATION:

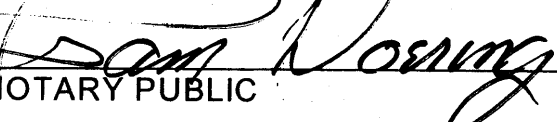
The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

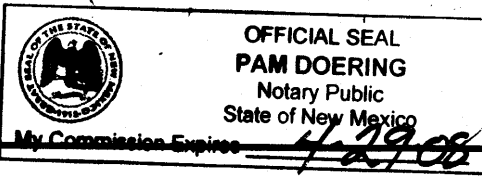
OWNER: D. R. HORTON, INC

 J. Mark Ferguson, Division President Date

OWNER'S ACKNOWLEDGMENT

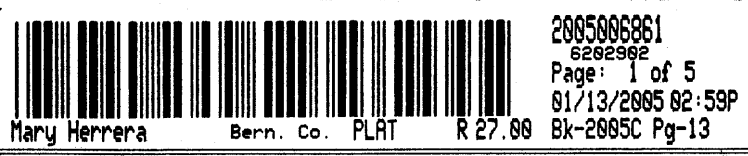
STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on 
 By J. Mark Ferguson, Division President of D.R. Horton, Inc. a Delaware Corporation, on behalf of said corporation.


 NOTARY PUBLIC 4-29-08
MY COMMISSION EXPIRES



LEGAL DESCRIPTION



A tract of land situate within the Town of Atrisco Grant, projected Section 9, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of PARCEL 5, THE MEADOWS AT ANDERSON HILLS SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 9, 2004, in Book 04C, Page 9; together with LOT 19-P1 and TRACT HH, BLOSSOM RIDGE PHASE 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 25, 2004, in Book 04C, Page 256; and containing 17.9197 acres more or less.

NOTES (SEE SHEET 4)

PURPOSE OF PLAT

- Subdivide 1 Existing Parcel, 1 Lot and 1 Tract into 3 HOA TRACTS and 120 Residential lots.
- Grant easements as shown hereon.

PUBLIC UTILITY EASEMENT

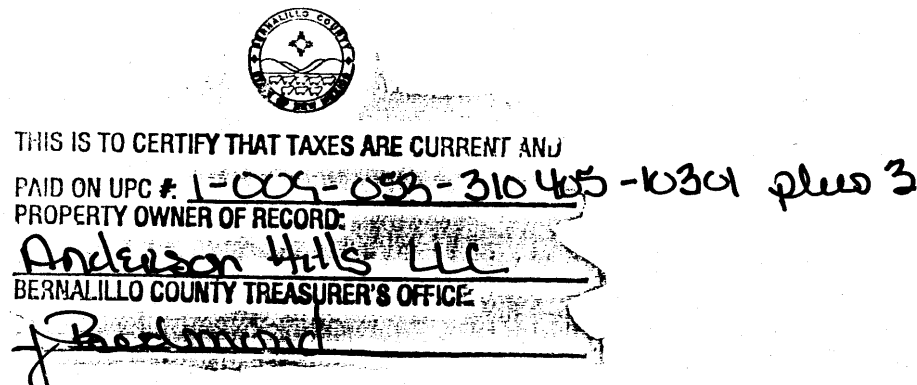
PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
- Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



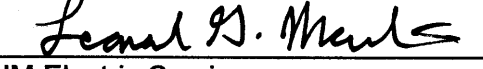
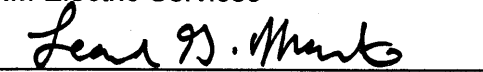
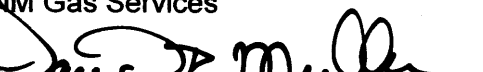

PLAT FOR BLOSSOM RIDGE PHASE 2
 WITHIN THE TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2004

APPROVED AND ACCEPTED BY:


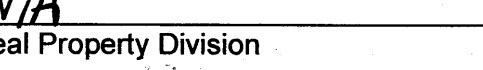

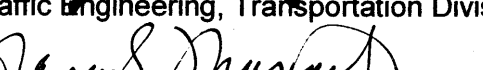
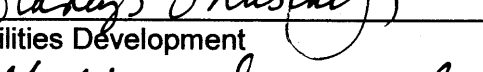
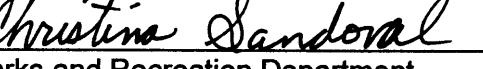
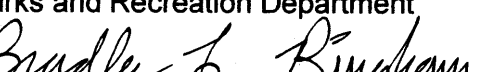
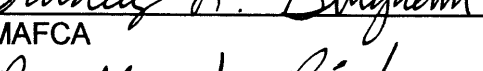
APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002856
 Application Number: 04-DEB-01987

UTILITY APPROVALS:


	12-8-04
PNM Electric Services	Date
	12-8-04
PNM Gas Services	Date
	12-08-04
Qwest	Date
	12-09-04
Comcast	Date

CITY APPROVALS:

	12-2-04
City Surveyor	Date
	1/05/05
Real Property Division	Date
	1-5-05
Traffic Engineering, Transportation Division	Date
	1/05/2005
Utilities Development	Date
	1/5/05
Parks and Recreation Department	Date
	1/5/05
AMAFCA	Date
	1/5/05
City Engineer	Date
	1/05/05
DRB Chairperson, Planning Department	Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."


 Timothy Aldrich, S. No. 7719 Date 12-01-04



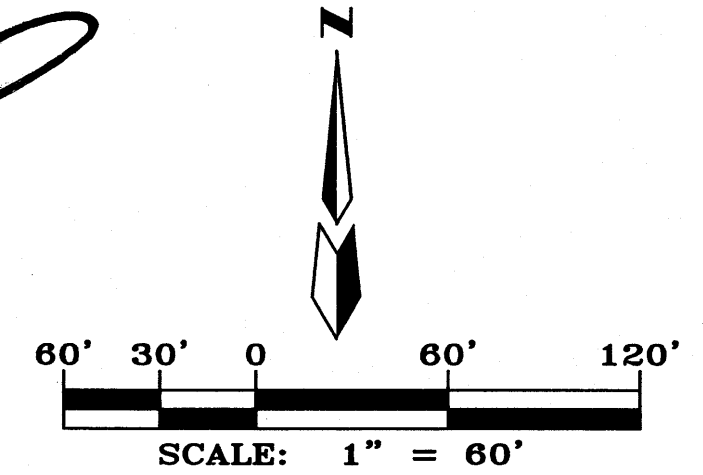
P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

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Scale: N/A	Date: 11/23/04	Job: A02106	

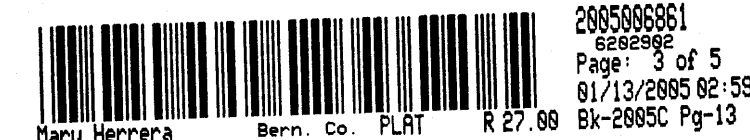
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PLAT FOR
BLOSSOM RIDGE PHASE 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2004

12-01-04



LINE TABLE			LINE TABLE		
LINE ID	LENGTH	BEARING	LINE ID	LENGTH	BEARING
L1	240.00	N89°46'57"E	L45	46.00	S04°03'24"W
L2	81.11	S80°43'51"E	L46	113.49	S00°13'03"E
L3	80.47	S84°00'08"E	L47	42.61	N77°07'26"E
L4	80.06	S87°54'37"E	L48	42.94	N78°57'11"E
L5	80.03	N88°11'32"E	L49	42.92	N80°47'53"E
L6	80.37	N84°17'14"E	L50	42.92	N82°38'31"E
L7	81.47	N78°53'44"E	L51	42.92	N84°29'10"E
L8	300.75	N89°46'57"E	L52	52.15	N86°02'36"E
L9	826.62	S13°37'36"E	L53	23.24	N76°22'24"E
L10	56.55	S15°40'24"E	L54	16.61	N77°07'23"E
L11	88.00	S13°37'36"E	L55	26.00	N77°07'27"E
L12	13.68	N76°22'24"E	L56	13.54	N78°57'11"E
L13	50.16	N13°37'36"W	L57	29.40	N78°57'11"E
L14	160.39	N13°37'36"W	L58	10.14	N80°47'53"E
L15	42.40	S77°19'09"W	L59	32.78	N80°47'53"E
L16	46.64	N78°43'45"E	L60	6.76	N82°38'31"E
L17	42.40	N80°19'11"E	L61	36.16	N82°38'31"E
L18	42.40	N81°50'15"E	L62	3.38	N84°29'10"E
L19	46.64	N83°25'52"E	L63	42.92	N84°29'10"E
L20	42.40	N85°01'29"E	L64	2.64	N13°37'36"W
L21	56.47	N86°37'06"E	L65	10.00	N23°01'07"W
L22	44.00	S88°40'58"W	L66	35.26	S13°37'36"E
L23	54.01	N89°34'33"W	L67	40.57	N75°52'51"E
L24	42.39	S87°55'36"E	L68	40.01	N75°21'31"E
L25	42.39	S86°24'32"E	L69	50.00	N76°22'24"E
L26	46.64	S84°48'55"E	L70	25.00	N76°22'24"E
L27	42.39	S83°13'17"E	L71	47.40	N89°10'34"W
L28	40.89	S82°11'32"E	L72	39.54	N87°32'21"W
L29	43.38	S84°00'08"E	L73	39.54	N85°50'10"W
L30	39.43	S86°13'36"E	L74	39.54	N84°02'37"W
L31	39.43	S88°20'41"E	L75	12.95	N89°46'57"E
L32	43.37	N89°25'51"E	L76	16.58	N14°23'56"E
L33	39.43	N87°12'24"E	L77	42.00	S89°46'57"W
L34	39.43	N85°05'19"E	L78	42.53	S00°13'03"E
L35	39.43	N82°58'13"E	L79	8.51	N00°13'03"W
L36	39.43	N80°51'08"E	L80	4.04	N76°22'24"E
L37	40.00	N79°28'42"E	L81	22.00	N76°22'24"E
L38	40.00	N79°27'04"E	L82	129.10	N00°13'03"W
L39	156.50	S10°32'56"E	L83	120.00	N89°46'57"E
L40	4.49	S79°27'04"W	L84	138.19	N00°13'03"W
L41	112.20	S10°32'56"E	L85	46.62	S77°16'14"E
L42	39.78	N80°14'46"E	L86	11.52	S15°40'24"E
L43	21.00	N21°44'21"E	L87	45.03	S15°40'24"E
L44	95.06	N01°22'28"E			



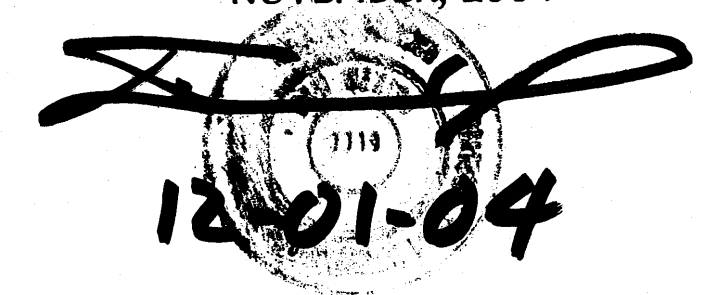
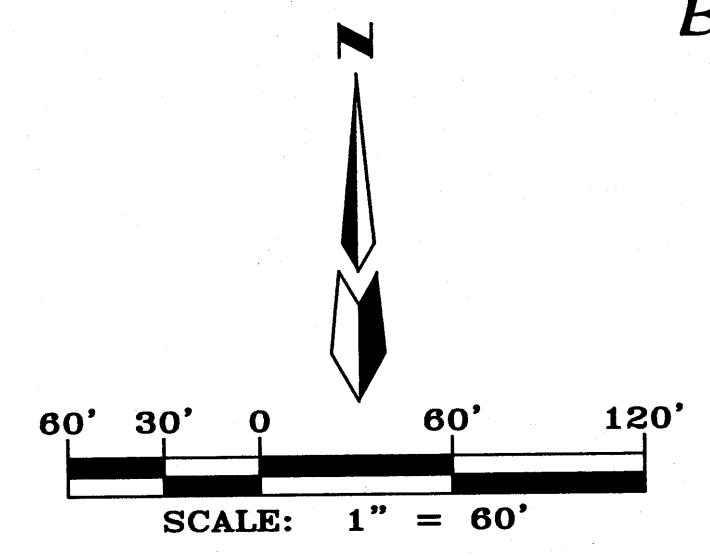
ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

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PLAT FOR
BLOSSOM RIDGE PHASE 2
 WITHIN THE
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 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2004



NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary is from the plats of record entitled:
 BLOSSOM RIDGE PHASE 1, (08-25-04, 04C-256)
 "THE MEADOWS AT ANDERSON HILLS SUBDIVISION UNIT 1," (06-17-04, 04C-184)
 "THE MEADOWS AT ANDERSON HILLS SUBDIVISION", (01-09-04, 04C-9)
 "ARROWOOD RANCH DEVELOPMENT", (12-06-02, 02C-390)
 "LANDS OF SALAZAR FAMILY TRUST, LANDS OF SALAZAR-DAVIS, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT (07-23-03, 03C-223)
 all being records of Bernalillo County, New Mexico.
- Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
- No individual lots shall be allowed direct access to Dennis Chavez Boulevard S.W., and Rio Clara Avenue S.W.
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
- DISCLOSURE STATEMENT FOR EXISTING PNM GAS LINE: "With the exception of areas located within the future right-of-ways of Unser Boulevard S.W., and 98th Street S.W., the southeast corner of TRACT H (MESA SUBDIVISION) and a storm drain crossing located at the southwest corner of PARCEL 5 (MEADOWS SUBDIVISION), any improvements encroaching into the existing 50' PNM Gasline easements shall not interfere with nor inhibit PNM's ability to operate and maintain its gas line facilities. The property owner or business responsible for any encroachment shall payfor all PNM utility relocations or modifications caused by such easement encroachments."

TRACT NN - PRIVATE ACCESS AND PUBLIC WATERLINE, SANITARY SEWER & DRAINAGE EASEMENT. TO BE OWNED AND MAINTAINED BY THE ANDERSON HILLS HOMEOWNER'S ASSOCIATION (GRANTED BY THIS PLAT)

"HOA TRACT HH-1 & PP ARE TO BE OWNED AND MAINTAINED BY THE ANDERSON HILLS HOMEOWNER'S ASSOCIATION.

TRACTS H, I, J, M AND N ARE EXISTING TRACTS, PER "THE MEADOWS AT ANDERSON HILLS UNIT 1 SUBDIVISION", (06-17-04, 04C-184).

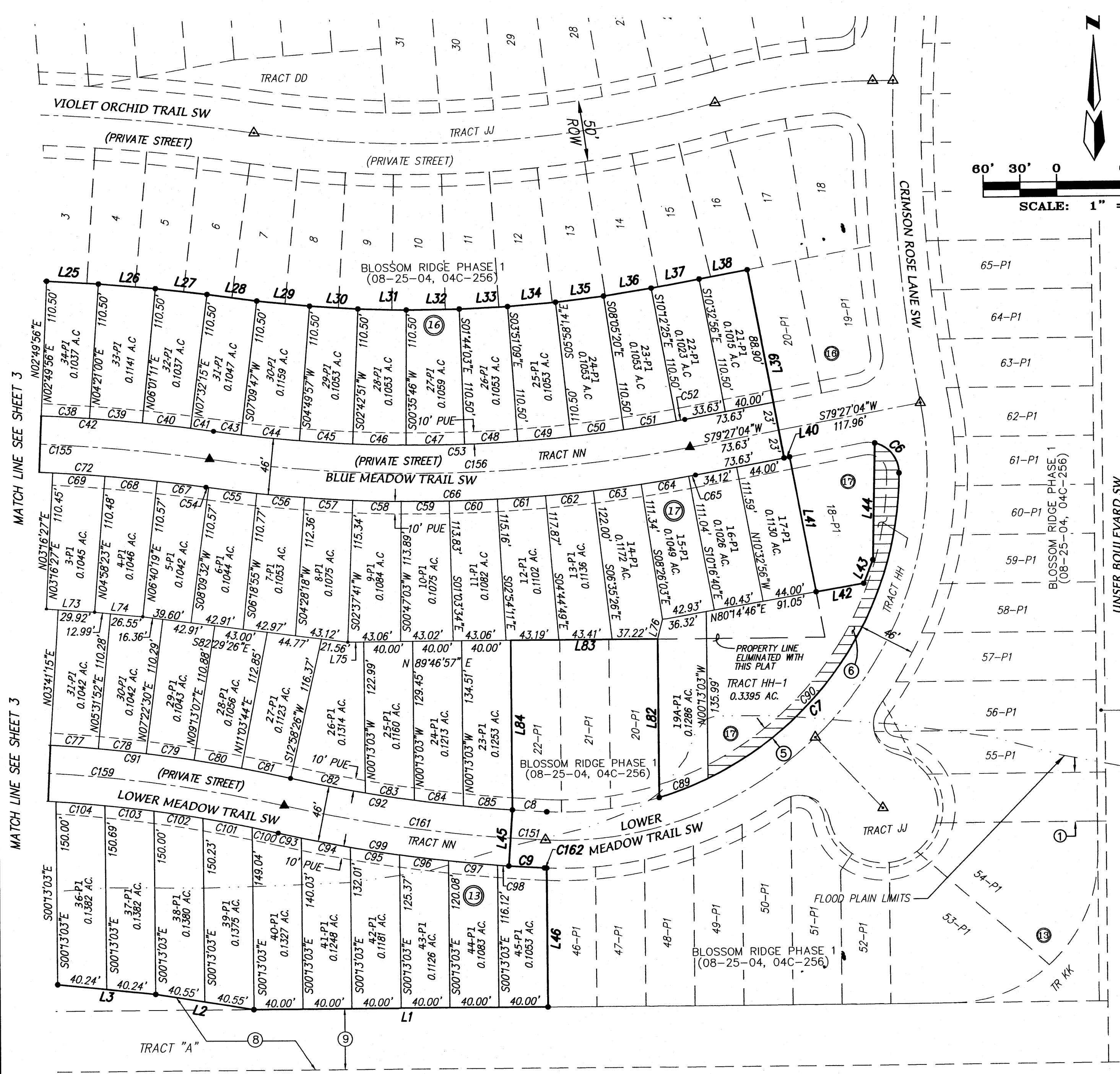
TRACTS H, I, J, M AND N ARE EXISTING 7' LANDSCAPE AND PUE EASEMENTS PER "THE MEADOWS AT ANDERSON HILLS SUBDIVISION", (01-09-04, 04C-9)

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

SEE SHEET 3 OF 5 AND SHEET 5 OF 5 FOR LINE DATA, CURVE DATA

Dwg: BRP2SHT3.dwg	Drawn: RICHARD	Checked: ALS	Sheet 4 of 5
Scale: 1"=60'	Date: 11/23/04	Job: A02061	

F:\A2106ANH\FINAL PLAT\MEADOWS U-3B\BRP2SHT3.DWG, 11/23/2004 4:28:04 PM, MARK GOODWIN & ASSOCIATES, PLOTTED BY RDQ



DENNIS CHAVEZ BOULEVARD S.W. (R/W 255')

PLAT FOR
BLOSSOM RIDGE PHASE 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2004

[Handwritten Signature]
 11-9-04

2005006861
 Page: 5 of 5
 01/13/2005 02:59P
 Bk-2085C Pg-13
 Mary Herrera Bern. Co. PLAT R 27.99

CURVE TABLE

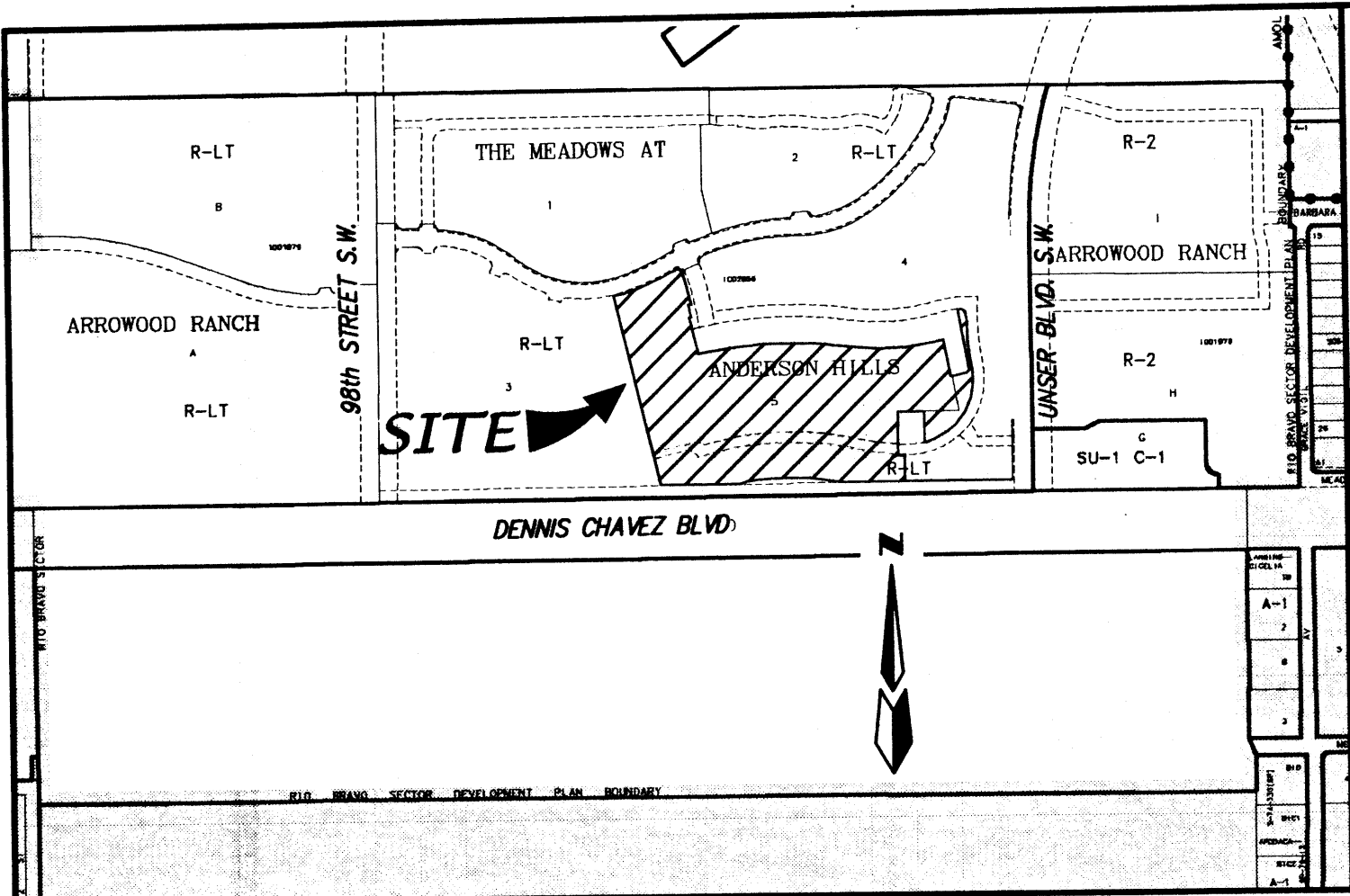
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	45.26	537.00	4°49'43"	22.64	N75°00'53"E	45.24
C2	225.26	1035.00	12°28'11"	113.07	N66°21'56"E	224.81
C3	19.61	1065.00	1°03'18"	9.80	S60°39'29"W	19.61
C4	30.16	18.00	95°59'14"	19.99	N70°49'15"W	26.75
C5	9.75	1761.00	0°19'02"	4.87	S76°31'55"W	9.75
C6	34.02	25.00	77°57'32"	20.23	N38°32'52"W	31.45
C7	352.95	277.00	73°00'18"	204.99	N36°56'03"E	329.55
C8	28.04	1177.00	1°21'54"	14.02	S86°37'33"E	28.04
C9	29.14	1223.00	1°21'54"	14.57	S86°37'33"E	29.14
C10	101.50	1035.00	5°37'09"	50.79	N69°47'27"E	101.46
C11	123.75	1035.00	6°51'02"	61.95	N63°33'22"E	123.68
C12	63.31	45.00	80°36'29"	38.17	S26°40'38"W	58.22
C13	61.70	45.00	78°33'31"	36.80	N73°44'22"W	56.98
C14	46.58	45.00	59°18'18"	25.62	N04°48'28"W	44.53
C15	23.35	45.00	29°43'29"	11.94	N39°42'26"E	23.08
C16	194.93	45.00	248°11'47"	66.47	N69°31'43"W	74.53
C17	29.76	25.00	68°11'47"	16.93	S20°28'17"W	28.03
C18	40.75	25.00	93°23'19"	26.52	S60°19'16"E	36.39
C19	113.90	1761.00	3°42'21"	56.97	S74°50'15"W	113.88
C20	104.15	1761.00	3°23'19"	52.09	S74°40'44"W	104.14
C21	40.57	1711.00	1°21'31"	20.29	S75°41'38"W	40.57
C22	40.03	1711.00	1°20'25"	20.01	S74°20'40"W	40.03
C23	26.61	1711.00	0°53'27"	13.30	S73°13'44"W	27.61
C24	37.70	25.00	86°24'36"	23.48	S29°34'42"W	34.23
C25	39.27	25.00	90°00'00"	25.00	S58°37'36"E	35.36
C26	39.47	1490.00	1°31'04"	19.74	S77°07'56"W	39.47
C27	43.42	1490.00	1°40'11"	21.71	S78°43'33"W	43.42
C28	39.47	1490.00	1°31'04"	19.74	S80°19'11"W	39.47
C29	39.47	1490.00	1°31'04"	19.74	S81°50'15"W	39.47
C30	43.42	1490.00	1°40'11"	21.71	S83°25'52"W	43.42
C31	39.47	1490.00	1°31'04"	19.74	S85°01'29"W	39.47
C32	26.84	1490.00	1°01'55"	13.42	S86°17'59"W	26.84
C33	271.56	1490.00	10°26'32"	136.16	S81°35'40"W	271.18
C34	38.49	25.00	88°13'20"	24.24	N42°42'16"E	34.80
C35	38.49	25.00	88°13'20"	24.24	S45°31'04"E	34.80
C36	24.53	1490.00	0°56'36"	12.27	N89°09'26"W	24.53
C37	39.47	1490.00	1°31'04"	19.74	N87°55'36"W	39.47
C38	39.47	1490.00	1°31'04"	19.74	N86°24'32"W	39.47
C39	43.42	1490.00	1°40'11"	21.71	N84°48'55"W	43.42
C40	39.47	1490.00	1°31'04"	19.74	N83°13'17"W	39.47
C41	18.95	1490.00	0°43'43"	9.48	N82°05'54"W	18.95
C42	205.31	1490.00	7°53'42"	102.82	N85°40'53"W	205.15
C43	22.66	1177.00	1°06'11"	11.33	S82°17'07"E	22.66
C44	47.88	1177.00	2°19'50"	23.94	S84°00'08"E	47.87
C45	43.51	1177.00	2°07'05"	21.76	S86°13'36"E	43.51
C46	43.51	1177.00	2°07'05"	21.76	S88°20'41"E	43.51
C47	47.87	1177.00	2°19'49"	23.94	N89°25'51"E	47.87
C48	43.51	1177.00	2°07'05"	21.76	N87°12'24"E	43.51
C49	43.51	1177.00	2°07'05"	21.76	N85°05'19"E	43.51
C50	43.51	1177.00	2°07'05"	21.76	N82°58'13"E	43.51
C51	43.51	1177.00	2°07'05"	21.76	N80°51'08"E	43.51
C52	7.02	1177.00	0°20'31"	3.51	N79°37'19"E	7.02
C53	386.51	1177.00	18°48'54"	195.01	N88°51'31"E	384.77
C54	2.29	1223.00	0°06'26"	1.14	S81°47'15"E	2.29

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C55	39.35	1223.00	1°50'37"	19.68	S82°45'46"E	39.35
C56	39.35	1223.00	1°50'37"	19.68	S84°36'24"E	39.35
C57	39.35	1223.00	1°50'37"	19.68	S86°27'01"E	39.35
C58	39.35	1223.00	1°50'37"	19.68	S88°17'38"E	39.35
C59	39.35	1223.00	1°50'37"	19.68	N89°51'45"E	39.35
C60	39.35	1223.00	1°50'37"	19.68	N88°01'07"E	39.35
C61	39.35	1223.00	1°50'37"	19.68	N86°10'30"E	39.35
C62	39.35	1223.00	1°50'37"	19.68	N84°19'53"E	39.35
C63	39.35	1223.00	1°50'37"	19.68	N82°29'15"E	39.35
C64	39.35	1223.00	1°50'37"	19.68	N80°38'38"E	39.35
C65	5.78	1223.00	0°16'16"	2.89	N79°35'12"E	5.78
C66	401.61	1223.00	18°48'54"	202.63	N88°51'31"E	399.81
C67	40.18	1444.00	1°35'39"	20.09	N82°31'51"W	40.18
C68	42.82	1444.00	1°41'56"	21.41	N84°10'39"W	42.82
C69	42.82	1444.00	1°41'56"	21.41	N85°52'35"W	42.82
C70	42.82	1444.00	1°41'56"	21.41	N87°34'32"W	42.82
C71	27.31	1444.00	1°05'01"	13.66	N88°58'00"W	27.31
C72	195.94	1444.00	7°46'29"	98.12	N85°37'16"W	195.79
C73	40.10	25.00	91°53'53"	25.84	S44°32'33"W	35.94
C74	38.33	25.00	87°50'30"	24.08	S45°19'39"E	34.68
C75	23.31	1223.00	1°05'32"	11.66	N88°42'08"W	23.31
C76	39.35	1223.00	1°50'37"	19.68	N87°14'04"W	39.35
C77	39.35	1223.00	1°50'37"	19.68	N85°23'26"W	39.35
C78	39.35	1223.00	1°50'37"	19.68	N83°32'49"W	39.35
C79	39.35	1223.00	1°50'37"	19.68	N81°42'12"W	39.35
C80	39.35	1223.00	1°50'37"	19.68	N79°51'34"W	39.35
C81	40.80	1223.00	1°54'42"	20.40	N77°58'55"W	40.80
C82	62.17	1177.00	3°01'35"	31.09	S78°32'21"E	62.16
C83	40.52	1177.00	1°58'21"	20.26	S81°02'20"E	40.52
C84	40.32	1177.00	1°57'46"	20.16	S83°00'23"E	40.32
C85	40.17	1177.00	1°57'20"	20.09	S84°57'56"E	40.17
C86	134.68	400.00	19°17'31"	67.99	S23°16'21"E	134.05
C87	114.01	300.00	21°46'28"	57.70	N22°01'53"W	113.33
C88	57.21	300.00	10°55'36"	28.69	N05°40'51"W	57.13
C89	42.82	277.00	8°51'29"	21.45	N69°00'28"E	42.78
C90	310.12	277.00	64°08'50"	173.58	N32°30'19"E	294.18
C91	260.89	1223.00	12°13'20"	130.94	N83°08'14"W	260.39
C92	183.18	1177.00	8°55'02"	91.78	S81°29'05"E	183.00
C93	19.23	1223.00	0°54'03"	9.62	S77°28'35"E	19.23
C94	40.80	1223.00	1°54'41"	20.40	S78°52'57"E	40.80
C95	40.55	1223.00	1°53'59"	20.28	S80°47'17"E	40.55
C96	40.35	1223.00	1°53'25"	20.18	S82°40'59"E	40.35
C97	40.20	1223.00	1°52'59"	20.10	S84°34'12"E	40.20
C98	9.22	1223.00	0°25'55"	4.61	S85°43'39"E	9.22
C99	190.34	1223.00	8°55'02"	95.36	S81°29'05"E	190.15
C100	21.77	1177.00	1°03'36"	10.89	N77°33'22"W	21.77
C101	40.77	1177.00	1°59'05"	20.39	N79°04'42"W	40.77
C102	40.52	1177.00	1°58'21"	20.26	N81°03'25"W	40.52
C103	40.32	1177.00	1°57'46"	20.16	N83°01'28"W	40.32
C104	40.17	1177.00	1°57'20"	20.09	N84°59'01"W	40.17
C105	40.07	1177.00	1°57'02"	20.04	N86°56'11"W	40.07
C106	40.01	1177.00	1°56'52"	20.01	N88°53'08"W	40.01
C107	40.00	1177.00	1°56'51"	20.00	S89°10'00"W	40.00
C108	40.04	1177.00	1°56'57"	20.02	S87°13'06"W	40.04

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C109	40.13	1177.00	1°57'12"	20.07	S85°16'02"W	40.12
C110	40.26	1177.00	1°57'35"	20.13	S83°18'38"W	40.26
C111	40.44	1177.00	1°58'07"	20.22	S81°20'47"W	40.44
C112	40.67	1177.00	1°58'48"	20.34	S79°22'20"W	40.67
C113	40.96	1177.00	1°59'38"	20.48	S77°23'08"W	40.95
C114	0.31	1177.00	0°00'55"	0.16	S76°22'51"W	0.31
C115	546.44	1177.00	26°36'02"	278.24	S89°40'25"W	541.55
C116	34.81	25.00	79°47'13"	20.90	S36°28'48"W	32.07
C117	17.79	319.00	3°11'46"	8.90	N01°48'56"W	17.79
C118	25.09	277.00	5°11'25"	12.56	N30°19'24"W	25.08
C119	40.64	277.00	8°24'23"	20.36	N23°31'30"W	40.60
C120	60.12	277.00	12°26'08"	30.18	N13°06'15"W	60.00
C121	32.24	277.00	6°40'08"	16.14	N03°33'07"W	32.22
C122	158.10	277.00	32°42'04"	81.27	N16°34'05"W	155.96
C123	16.81	423.00	2°16'37"	8.41	S31°46'48"E	16.81
C124	41.28	423.00	5°35'29"	20.66	S27°50'45"E	41.26
C125	40.48	423.00	5°28'59"	20.26	S22°18'31"E	40.46
C126	40.08	423.00	5°25'43"	20.05	S16°51'10"E	40.06
C127	3.78	423.00	0°30'42"	1.89	S13°52'57"E	3.78
C128	142.43	423.00	19°17'31"	71.89	S23°16'21"E	141.76
C129	41.07	25.00	94°06'56"	26.86	S29°18'56"W	36.60
C130	13.62	1444.00	0°32'25"	6.81	S76°38'37"W	13.62
C131	42.82	1444.00	1°41'56"	21.41	S77°45'47"W	42.82
C132	42.82	1444.00	1°41'56"	21.41	S79°27'43"W	42.82
C133	42.82	1444.00	1°41'56"	21.41	S81°09'39"W	42.82
C134	42.82	1444.00	1°41'56"	21.41	S82°51'35"W	42.82
C135	42.82	1444.00	1°41'56"	21.41	S84°33'32"W	42.82
C136	32.44	1444.00	1°17'14"	16.22	S86°03'06"W	32.44
C137	260.14	1444.00	10°19'19"	130.42	S81°32'04"W	259.79
C138	40.10	25.00	91°53'53"	25.84	N47°21'20"W	35.94
C139	38.33	25.00	87°50'30"	24.08	N42°30'51"E	34.68
C140	21.92	1223.00	1°01'37"	10.96	S85°55'18"W	21.92
C141	39.36	1223.00	1°50'39"	19.68	S84°29'10"W	39.36
C142	39.36	1223.00	1°50'39"	19.68	S82°38'31"W	39.36
C143	39.36	1223.00	1°50'39"	19.68	S80°47'53"W	39.36
C144	39.39	1223.00	1°50'43"	19.70	S78°57'12"W	39.39
C145	35.38	1223.00	1°39'26"	17.69	S77°12'07"W	35.37
C146	214.77	1223.00	10°03'42"</			



LOCATION MAP

ZONE ATLAS P-9-Z
SCALE: NONE

SUBDIVISION DATA

Gross Acreage	17.9197 Ac.
Zone Atlas No.	P-9-Z
No. of Existing Tracts	1 Parcel/1 Tract/1 Lot
No. of Tracts/Lots created	3 Tracts/120 Lots
No. of Tracts eliminated	1 Tract
No. of Lots eliminated	1 Lot
No. of Parcels eliminated	1 Parcel
Miles of full width private streets created	0.64
Miles of half width private streets created	0.00
Street Area dedicated to the City of Albuquerque	0.0000 Ac.
Date of Survey	May, 2004
Utility Control Location System Log Number	2004241922
Zoning	RLT

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: D. R. HORTON, INC

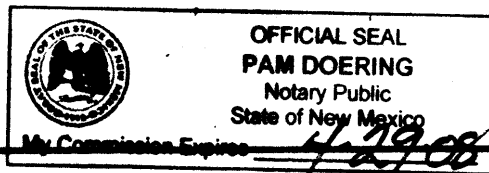
J. Mark Ferguson
J. Mark Ferguson, Division President Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on *12-2-04*
By J. Mark Ferguson, Division President of D.R. Horton, Inc. a Delaware Corporation,
on behalf of said corporation.

Sam Noring
NOTARY PUBLIC MY COMMISSION EXPIRES *4-29-08*



LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 9, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of PARCEL 5, THE MEADOWS AT ANDERSON HILLS SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 9, 2004, in Book 04C, Page 9; together with LOT 19-P1 and TRACT HH, BLOSSOM RIDGE PHASE 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 25, 2004, in Book 04C, Page 256; and containing 17.9197 acres more or less.

NOTES

(SEE SHEET 4)

PURPOSE OF PLAT

1. Subdivide 1 Existing Parcel, 1 Lot and 1 Tract into 3 HOA TRACTS and 120 Residential lots.
2. Grant easements as shown hereon.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC # *1-005-052-31045-0304 plus 3*
PROPERTY OWNER OF RECORD:
Anderson Hills LLC
BERNALILLO COUNTY TREASURER'S OFFICE
J. B. ...

PLAT FOR BLOSSOM RIDGE PHASE 2

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 9
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2004

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002856

Application Number: *04 DEB 01987*

PLAT APPROVAL

Utility Approvals:

<i>Leah N. Marks</i> PNM Electric Services	<i>12-8-04</i> Date
<i>Leah N. Marks</i> PNM Gas Services	<i>12-8-04</i> Date
<i>Dave J. Miller</i> Qwest	<i>12-08-04</i> Date
<i>Rita Eicks</i> Comcast	<i>12-09-04</i> Date

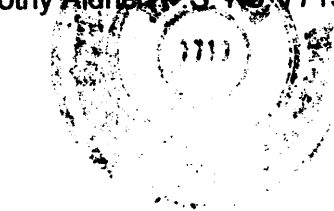
City Approvals:

<i>[Signature]</i> City Surveyor	<i>12-2-04</i> Date
<i>NA</i> Real Property Division	<i>1/05/05</i> Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	<i>1-5-05</i> Date
<i>[Signature]</i> Utilities Development	<i>1/05/2005</i> Date
<i>Christina Sandoval</i> Parks and Recreation Department	<i>1/5/05</i> Date
<i>Bradley L. Bingham</i> AMAFA	<i>1/5/05</i> Date
<i>Bradley L. Bingham</i> City Engineer	<i>1/5/05</i> Date
<i>[Signature]</i> DRB Chairperson, Planning Department	<i>1/05/05</i> Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature] *12-01-04*
Timothy Aldrich, S. No. 7719 Date



ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Dwg: BRP2SHT1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 5
Scale: N/A	Date: 11/23/04	Job: A02106	

PLAT FOR
BLOSSOM RIDGE PHASE 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 9
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2004

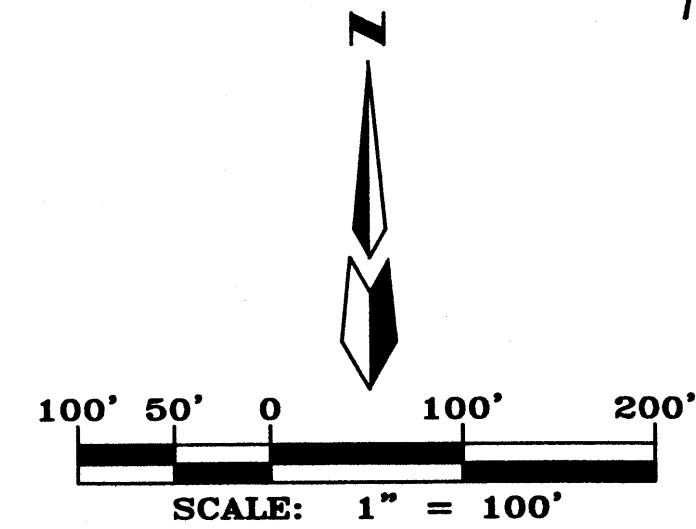
ACS MONUMENT
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G-G=0.99967921
Δα=-00°16'42"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5118.37

PARCEL 2
THE MEADOWS AT ANDERSON H.
(01-09-04, 04C-9)

PARCEL 1
THE MEADOWS AT ANDERSON HILLS
(01-09-04, 04C-9)

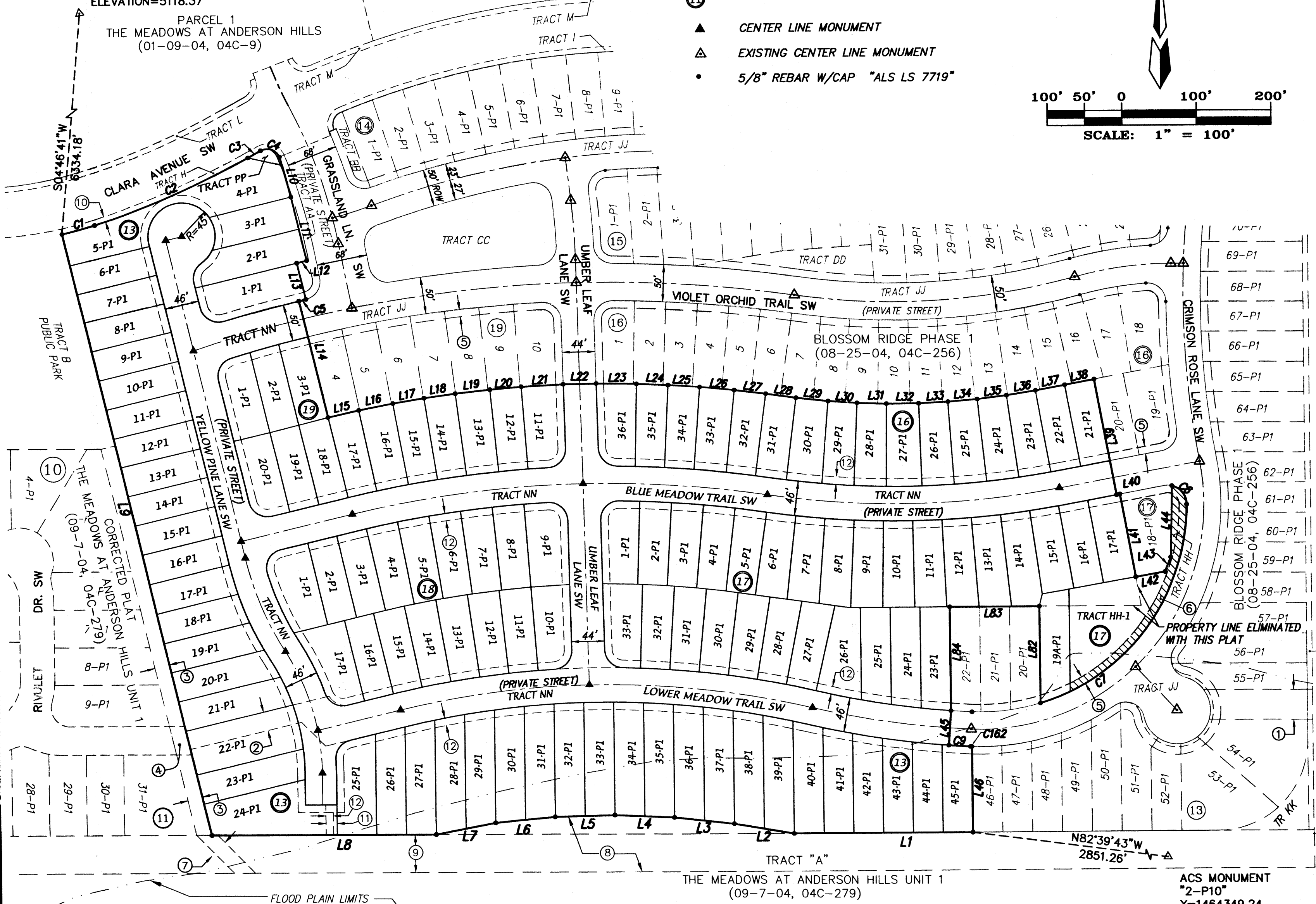
LEGEND

- 1-P1 LOT NUMBER
- Ⓜ BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- △ EXISTING CENTER LINE MONUMENT
- 5/8" REBAR W/CAP "ALS LS 7719"



EASEMENTS

- EXISTING 40' PUBLIC SANITARY SEWER, WATERLINE & DRAINAGE EASEMENT (01-09-04, 04C-9)
- EXISTING 25' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT (01-09-04, 04C-9)
- EXISTING 20' PUBLIC DRAINAGE EASEMENT (06-17-04, 04C-184)
- EXISTING 38' PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (06-17-04, 04C-184)
- EXISTING 10' PUE (08-25-04, 04C-256)
- EXISTING CLEAR SIGHT EASEMENT (HATCHED AREA) - NO OBSTRUCTION (LANDSCAPING), BETWEEN THE HEIGHT OF 2.0' TO 7.0' (08-25-04, 04C-256)
- EXISTING 20' PUBLIC DRAINAGE EASEMENT (01-09-04, 04C-9)
- EXISTING PUBLIC LANDSCAPE EASEMENT (01-09-04, 04C-9)
- EXISTING 50' QUITCLAIM EASEMENT FOR PNM GAS PIPELINE (03-27-00, A3-9161) SEE NOTE 9
- EXISTING 7' LANDSCAPE EASEMENT & 7' PUE (01-09-04, 04C-9)
- 15' PUBLIC PEDESTRIAN ACCESS EASEMENT (GRANTED WITH THIS PLAT)
- 10' PUE (GRANTED WITH THIS PLAT)



ACS MONUMENT
"2-P10"
Y=1464349.24
X=358414.13
G-G=0.9996842
Δα=-00°16'16"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=4990.6

Limits of FEMA Floodplain
Until such time that the LOMR is issued by FEMA to remove the floodplain, this area and any future lots that develop in this area, flood insurance may be required by the mortgage company.

[Signature]
12-01-04

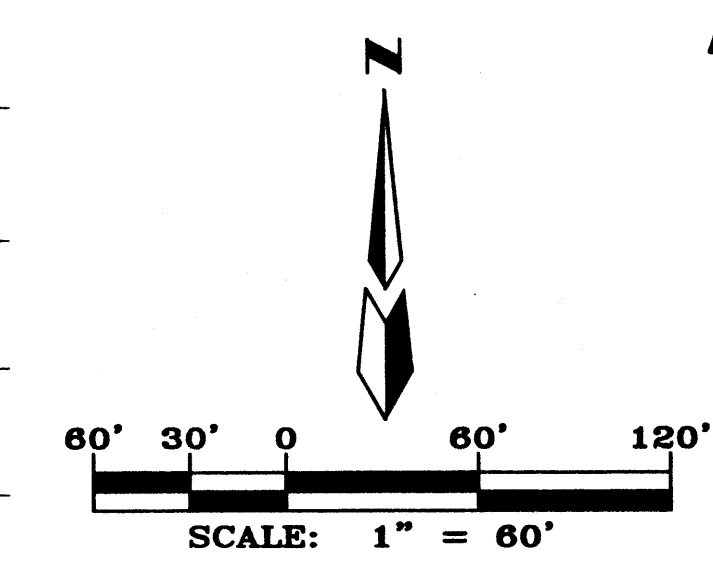
ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

Dwg: BRP2SHT2.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 5
Scale: 1"=200'	Date: 11/23/04	Job: A02061	

F:\A2106ANH\FINAL PLAT\MEADOWS U-3B\BRP2SHT2.DWG, 11/23/2004 4:56:06 PM, 13:46:02, 13:46:02, 13:46:02, 13:46:02, 13:46:02
PLOTTED BY RDQ

PLAT FOR
BLOSSOM RIDGE PHASE 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2004



NOTES

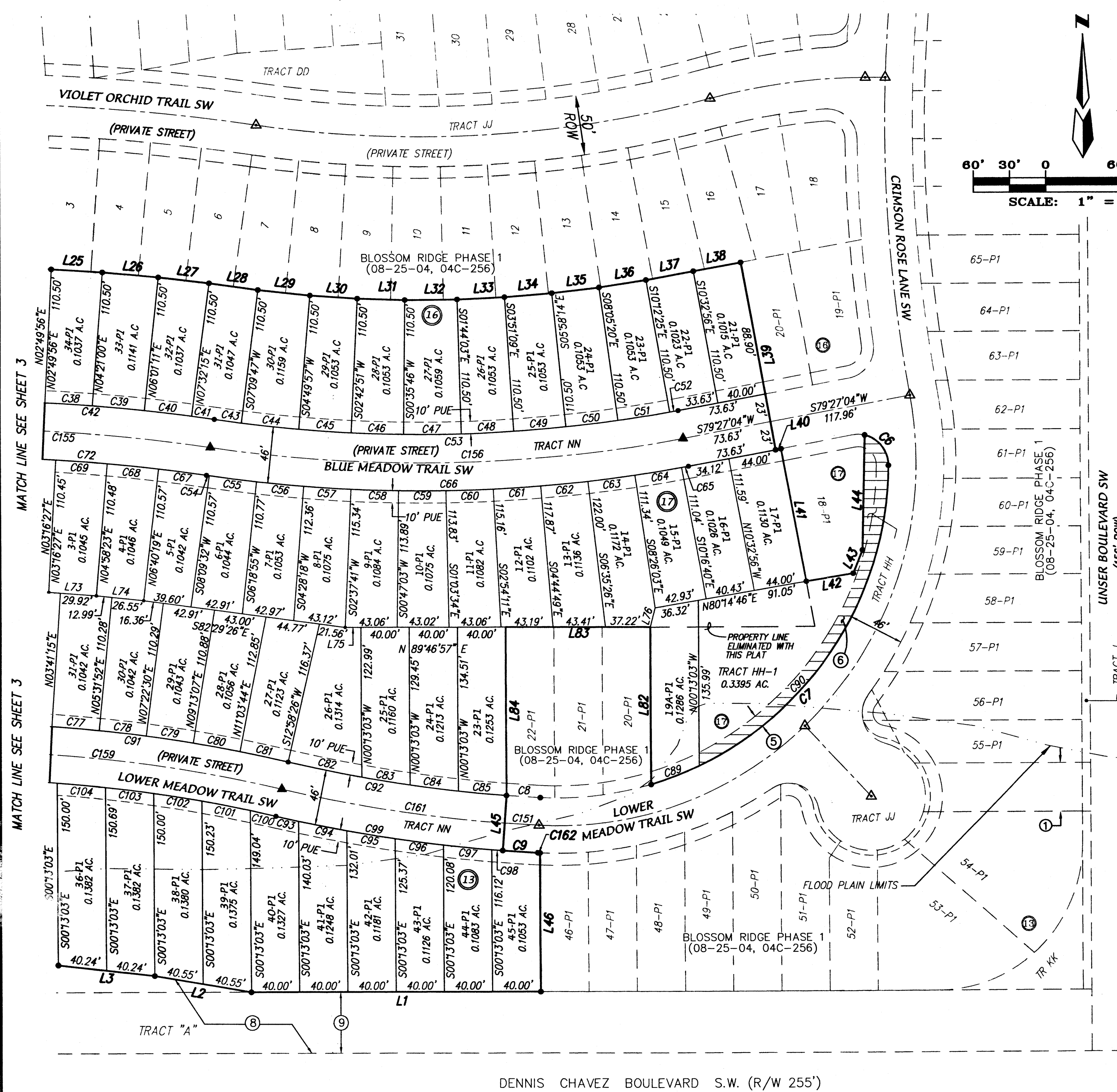
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary is from the plats of record entitled:
 - BLOSSOM RIDGE PHASE 1, (08-25-04, 04C-256)
 - "THE MEADOWS AT ANDERSON HILLS SUBDIVISION UNIT 1," (06-17-04, 04C-184)
 - "THE MEADOWS AT ANDERSON HILLS SUBDIVISION", (01-09-04, 04C-9)
 - "ARROWOOD RANCH DEVELOPMENT", (12-06-02, 02C-390)
 - "LANDS OF SALAZAR FAMILY TRUST, LANDS OF SALAZAR-DAVIS, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT (07-23-03, 03C-223)
- Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
- No individual lots shall be allowed direct access to Dennis Chavez Boulevard S.W., and Rio Clara Avenue S.W.
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
- DISCLOSURE STATEMENT FOR EXISTING PNM GAS LINE: "With the exception of areas located within the future right-of-ways of Unser Boulevard S.W., and 98th Street S.W., the southeast corner of TRACT H (MESA SUBDIVISION) and a storm drain crossing located at the southwest corner of PARCEL 5 (MEADOWS SUBDIVISION), any improvements encroaching into the existing 50' PNM Gasline easements shall not interfere with nor inhibit PNM's ability to operate and maintain its gas line facilities. The property owner or business responsible for any encroachment shall pay for all PNM utility relocations or modifications caused by such easement encroachments."

TRACT NN - PRIVATE ACCESS AND PUBLIC WATERLINE, SANITARY SEWER & DRAINAGE EASEMENT. TO BE OWNED AND MAINTAINED BY THE ANDERSON HILLS HOMEOWNER'S ASSOCIATION (GRANTED BY THIS PLAT)

"HOA TRACT HH-1 & PP ARE TO BE OWNED AND MAINTAINED BY THE ANDERSON HILLS HOMEOWNER'S ASSOCIATION."

TRACTS H, I, J, M AND N ARE EXISTING TRACTS, PER "THE MEADOWS AT ANDERSON HILLS UNIT 1 SUBDIVISION", (06-17-04, 04C-184).
 TRACTS H, I, J, M AND N ARE EXISTING 7' LANDSCAPE AND PUE EASEMENTS PER "THE MEADOWS AT ANDERSON HILLS SUBDIVISION", (01-09-04, 04C-9)

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990



MATCH LINE SEE SHEET 3

MATCH LINE SEE SHEET 3

DENNIS CHAVEZ BOULEVARD S.W. (R/W 255')

SEE SHEET 3 OF 5 AND SHEET 5 OF 5 FOR LINE DATA, CURVE DATA

Dwg: BRP2SHT3.dwg	Drawn: RICHARD	Checked: ALS	Sheet 4 of 5
Scale: 1"=60'	Date: 11/23/04	Job: A02061	

F:\A2106ANH\FINAL PLAT\MEADOWS U-3B\BRP2SHT3.DWG 11/23/04 11:23:04 AM RICHARD GARDNER & ASSOCIATES, PLOTTED BY RDQ

PLAT FOR
BLOSSOM RIDGE PHASE 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2004

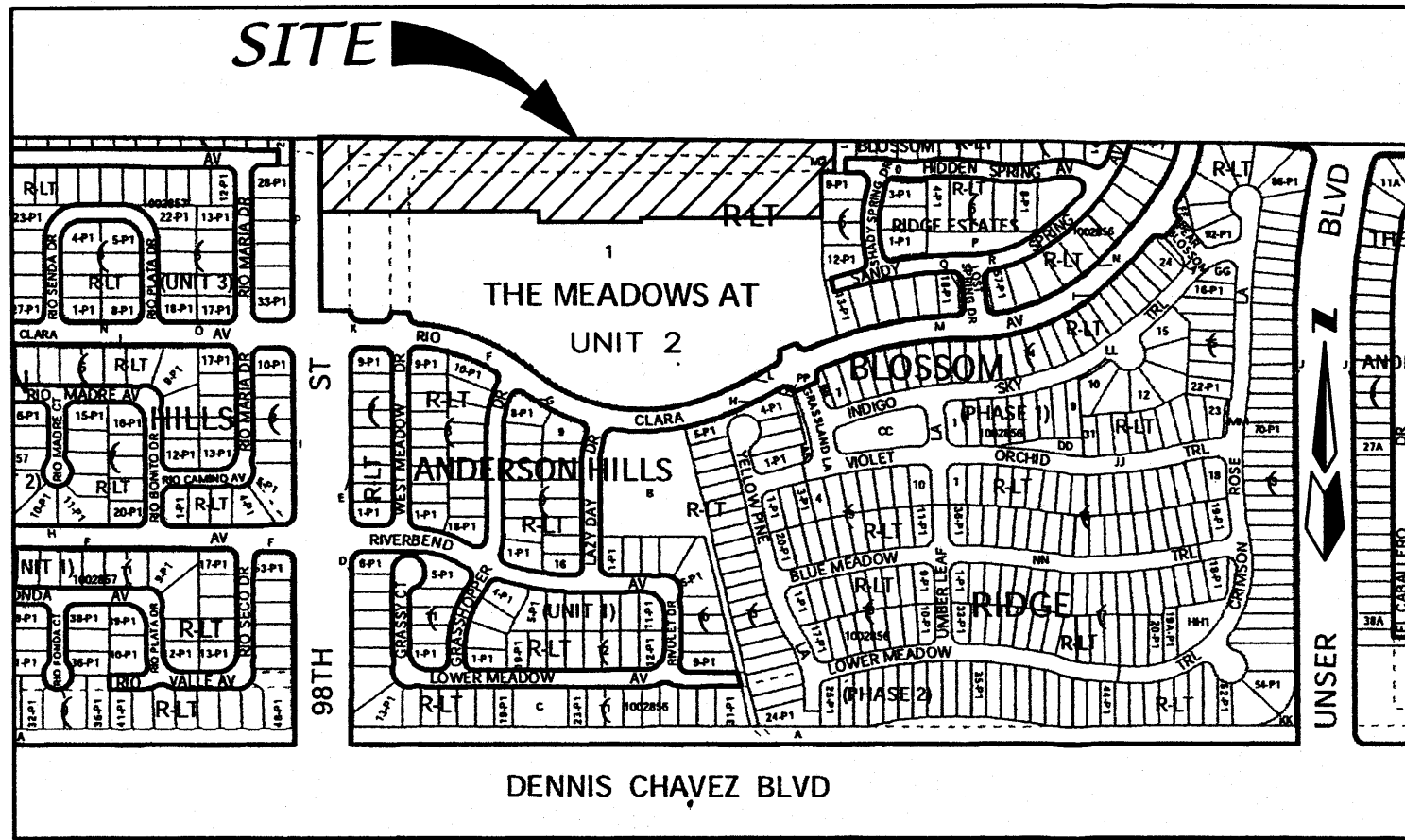
Richard
 11-9-04

286598681
 Page 5 of 5
 61/13/2865 82-55P
 BK-2865C Pg-13
 Mary Herrera Bern. co. PLAT R 27.88

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	45.26	537.00	4'49'43"	22.64	N75'00'53"E	45.24
C2	225.26	1035.00	12'28'11"	113.07	N66'21'56"E	224.81
C3	19.61	1065.00	1'03'18"	9.80	S60'39'29"W	19.61
C4	30.16	18.00	95'59'14"	19.99	N70'49'15"W	26.75
C5	9.75	1761.00	0'19'02"	4.87	S76'31'55"W	9.75
C6	34.02	25.00	77'57'32"	20.23	N36'56'03"E	31.45
C7	352.95	277.00	73'00'18"	204.99	S86'37'33"E	329.55
C8	28.04	1177.00	1'21'54"	14.02	S86'37'33"E	28.04
C9	29.14	1223.00	1'21'54"	14.57	S86'37'33"E	29.14
C10	101.50	1035.00	5'37'09"	50.79	N69'47'27"E	101.46
C11	123.75	1035.00	6'51'02"	61.95	N63'33'22"E	123.68
C12	63.31	45.00	80'36'29"	38.17	S26'40'38"W	58.22
C13	61.70	45.00	78'33'31"	36.80	N73'44'22"W	56.98
C14	46.58	45.00	59'18'18"	25.62	N04'48'28"W	44.53
C15	23.35	45.00	29'43'29"	11.94	N39'42'26"E	23.08
C16	194.93	45.00	248'11'47"	66.47	N69'31'43"W	74.53
C17	29.76	25.00	68'11'47"	16.93	S20'28'17"W	28.03
C18	40.75	25.00	93'23'19"	26.52	S60'19'16"E	36.39
C19	113.90	1761.00	3'42'21"	56.97	S74'50'15"W	113.88
C20	104.15	1761.00	3'23'19"	52.09	S74'40'44"W	104.14
C21	40.57	1711.00	1'21'31"	20.29	S75'41'38"W	40.57
C22	40.03	1711.00	1'20'25"	20.01	S74'20'40"W	40.03
C23	26.61	1711.00	0'53'27"	13.30	S73'13'44"W	27.61
C24	37.70	25.00	86'24'36"	23.48	S29'34'42"W	34.23
C25	39.27	25.00	90'00'00"	25.00	S58'37'36"E	35.36
C26	39.47	1490.00	1'31'04"	19.74	S77'07'56"W	39.47
C27	43.42	1490.00	1'40'11"	21.71	S78'43'33"W	43.42
C28	39.47	1490.00	1'31'04"	19.74	S80'19'11"W	39.47
C29	39.47	1490.00	1'31'04"	19.74	S81'50'15"W	39.47
C30	43.42	1490.00	1'40'11"	21.71	S83'25'52"W	43.42
C31	39.47	1490.00	1'31'04"	19.74	S85'01'29"W	39.47
C32	26.84	1490.00	1'01'55"	13.42	S86'17'59"W	26.84
C33	271.56	1490.00	10'26'32"	136.16	S81'35'40"W	271.18
C34	38.49	25.00	88'13'20"	24.24	N42'42'16"E	34.80
C35	38.49	25.00	88'13'20"	24.24	S45'31'04"E	34.80
C36	24.53	1490.00	0'56'36"	12.27	N89'09'26"W	24.53
C37	39.47	1490.00	1'31'04"	19.74	N87'55'36"W	39.47
C38	39.47	1490.00	1'31'04"	19.74	N86'24'32"W	39.47
C39	43.42	1490.00	1'40'11"	21.71	N84'48'55"W	43.42
C40	39.47	1490.00	1'31'04"	19.74	N83'13'17"W	39.47
C41	18.95	1490.00	0'43'43"	9.48	N82'05'54"W	18.95
C42	205.31	1490.00	7'53'42"	102.82	N85'40'53"W	205.15
C43	22.66	1177.00	1'06'11"	11.33	S82'17'07"E	22.66
C44	47.88	1177.00	2'19'50"	23.94	S84'00'08"E	47.87
C45	43.51	1177.00	2'07'05"	21.76	S86'13'36"E	43.51
C46	43.51	1177.00	2'07'05"	21.76	S88'20'41"E	43.51
C47	47.87	1177.00	2'19'49"	23.94	N89'25'51"E	47.87
C48	43.51	1177.00	2'07'05"	21.76	N87'12'24"E	43.51
C49	43.51	1177.00	2'07'05"	21.76	N85'05'19"E	43.51
C50	43.51	1177.00	2'07'05"	21.76	N82'58'13"E	43.51
C51	43.51	1177.00	2'07'05"	21.76	N80'51'08"E	43.51
C52	7.02	1177.00	0'20'31"	3.51	N79'37'19"E	7.02
C53	386.51	1177.00	18'48'54"	195.01	N88'51'31"E	384.77
C54	2.29	1223.00	0'06'26"	1.14	S81'47'15"E	2.29

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C55	39.35	1223.00	1'50'37"	19.68	S82'45'46"E	39.35
C56	39.35	1223.00	1'50'37"	19.68	S84'36'24"E	39.35
C57	39.35	1223.00	1'50'37"	19.68	S86'27'01"E	39.35
C58	39.35	1223.00	1'50'37"	19.68	S88'17'38"E	39.35
C59	39.35	1223.00	1'50'37"	19.68	N89'51'45"E	39.35
C60	39.35	1223.00	1'50'37"	19.68	N88'01'07"E	39.35
C61	39.35	1223.00	1'50'37"	19.68	N86'10'30"E	39.35
C62	39.35	1223.00	1'50'37"	19.68	N84'19'53"E	39.35
C63	39.35	1223.00	1'50'37"	19.68	N82'29'15"E	39.35
C64	39.35	1223.00	1'50'37"	19.68	N80'38'38"E	39.35
C65	5.78	1223.00	0'16'16"	2.89	N79'35'12"E	5.78
C66	401.61	1223.00	18'48'54"	202.63	N88'51'31"E	399.81
C67	40.18	1444.00	1'35'39"	20.09	N82'31'51"W	40.18
C68	42.82	1444.00	1'41'56"	21.41	N84'10'39"W	42.82
C69	42.82	1444.00	1'41'56"	21.41	N85'23'35"W	42.82
C70	42.82	1444.00	1'41'56"	21.41	N87'34'32"W	42.82
C71	27.31	1444.00	1'05'01"	13.66	N88'58'00"W	27.31
C72	195.94	1444.00	7'46'29"	98.12	N85'37'16"W	195.79
C73	40.10	25.00	91'53'53"	25.84	S44'32'33"W	35.94
C74	38.33	25.00	87'50'30"	24.08	S45'19'39"E	34.68
C75	23.31	1223.00	1'05'32"	11.66	N88'42'08"W	23.31
C76	39.35	1223.00	1'50'37"	19.68	N87'14'04"W	39.35
C77	39.35	1223.00	1'50'37"	19.68	N85'23'26"W	39.35
C78	39.35	1223.00	1'50'37"	19.68	N83'32'49"W	39.35
C79	39.35	1223.00	1'50'37"	19.68	N81'42'12"W	39.35
C80	39.35	1223.00	1'50'37"	19.68	N79'51'34"W	39.35
C81	40.80	1223.00	1'54'42"	20.40	N77'58'55"W	40.80
C82	62.17	1177.00	3'01'35"	31.09	S78'32'21"E	62.16
C83	40.52	1177.00	1'58'21"	20.26	S81'02'20"E	40.52
C84	40.32	1177.00	1'57'46"	20.16	S83'00'23"E	40.32
C85	40.17	1177.00	1'57'20"	20.09	S84'57'56"E	40.17
C86	134.68	400.00	19'17'31"	67.99	S23'16'21"E	134.05
C87	114.01	300.00	21'46'28"	57.70	N22'01'53"W	113.33
C88	57.21	300.00	10'55'36"	28.69	N05'40'51"W	57.13
C89	42.82	277.00	8'51'29"	21.45	N69'00'28"E	42.78
C90	310.12	277.00	64'08'50"	173.58	N32'30'19"E	294.18
C91	260.89	1223.00	12'13'20"	130.94	N83'08'14"W	260.39
C92	183.18	1177.00	8'55'02"	91.78	S81'29'05"E	183.00
C93	19.23	1223.00	0'54'03"	9.62	S77'28'35"E	19.23
C94	40.80	1223.00	1'54'41"	20.40	S78'52'57"E	40.80
C95	40.55	1223.00	1'53'59"	20.28	S80'47'17"E	40.55
C96	40.35	1223.00	1'53'25"	20.18	S82'40'59"E	40.35
C97	40.20	1223.00	1'52'59"	20.10	S84'34'12"E	40.20
C98	9.22	1223.00	0'25'55"	4.61	S85'43'39"E	9.22
C99	190.34	1223.00	8'55'02"	95.36	S81'29'05"E	190.15
C100	21.77	1177.00	1'03'36"	10.89	N77'33'22"W	21.77
C101	40.77	1177.00	1'59'05"	20.39	N79'04'42"W	40.77
C102	40.52	1177.00	1'58'21"	20.26	N81'03'25"W	40.52
C103	40.32	1177.00	1'57'46"	20.16	N83'01'28"W	40.32
C104	40.17	1177.00	1'57'20"	20.09	N84'59'01"W	40.17
C105	40.07	1177.00	1'57'02"	20.04	N86'56'11"W	40.07
C106	40.01	1177.00	1'56'52"	20.01	N88'53'08"W	40.01
C107	40.00	1177.00	1'56'51"	20.00	S89'10'00"W	40.00
C108	40.04	1177.00	1'56'57"	20.02	S87'13'06"W	40.04

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C109	40.13	1177.00	1'57'12"	20.07	S85'16'02"W	40.12
C110	40.26	1177.00	1'57'35"	20.13	S83'18'38"W	40.26
C111	40.44	1177.00	1'58'07"	20.22	S81'20'47"W	40.44
C112	40.67	1177.00	1'58'48"	20.34	S79'22'20"W	40.67
C113	40.96	1177.00	1'59'38"	20.48	S77'23'08"W	40.95
C114	0.31	1177.00	0'00'55"	0.16	S76'22'51"W	0.31
C115	546.44	1177.00	26'36'02"	278.24	S89'40'25"W	541.55
C116	34.81	25.00	79'47'13"	20.90	S36'28'48"W	32.07
C117	17.79	319.00	3'11'46"	8.90	N01'48'56"W	17.79
C118	25.09	277.00	5'11'25"	12.56	N30'19'24"W	25.08
C119	40.64	277.00	8'24'23"	20.36	N23'31'30"W	40.60
C120	60.12	277.00	12'26'08"	30.18	N13'06'15"W	60.00
C121	32.24	277.00	6'40'08"	16.14	N03'33'07"W	32.22
C122	158.10	277.00	32'42'04"	81.27	N16'34'05"W	155.96
C123	16.81	423.00	2'16'37"	8.41	S31'46'48"E	16.81
C124	41.28	423.00	5'35'29"	20.66	S27'50'45"E	41.26
C125	40.48	423.00	5'28'59"	20.26	S22'18'31"E	40.46
C126	40.08	423.00	5'25'43"	20.05	S16'51'10"E	40.06
C127	3.78	423.00	0'30'42"	1.89	S13'52'57"E	3.78
C128	142.43	423.00	19'17'31"	71.89	S23'16'21"E	141.76
C129	41.07	25.00	94'06'56"	26.86	S29'18'56"W	36.60
C130	13.62	1444.00	0'32'25"	6.81	S76'38'37"W	13.62
C131	42.82	1444.00	1'41'56"	21.41	S77'45'47"W	42.82
C132	42.82	1444.00	1'41'56"	21.41	S79'27'43"W	42.82
C133	42.82	1444.00	1'41'56"	21.41	S81'09'39"W	42.82
C134	42.82	1444.00	1'41'56"	21.41	S82'51'35"W	42.82
C135	42.82	1444.00	1'41'56"	21.41	S84'33'32"W	42.82
C136	32.44	1444.00	1'17'14"	16.22	S86'03'06"W	32.44
C137	260.14	1444.00	10'19'19"	130.42	S81'32'04"W	259.79
C138	40.10	25.00	91'53'53"	25.84	N47'21'20"W	35.94
C139	38.33	25.00	87'50'30"	24.08	N42'30'51"E	34.68
C140	21.92	1223.00	1'01'37"	10.96	S85'55'18"W	21.92
C141	39.36	1223.00	1'50'39"	19.68	S84'29'10"W	39.36
C142	39.36	1223.00	1'50'39"	19.68	S82'38'31"W	39.36
C143	39.36	1223.00	1'50'39"	19.68	S80'47'53"W	39.36
C144	39.39	1223.00	1'50'43"	19.70	S78'57'12"W	39.39
C145	35.38	1223.00	1'39'26"	17.69	S77'12'07"W	35.37
C146	214.77	1223.00				



PLAT FOR
THE MEADOWS AT ANDERSON HILLS
UNIT 5
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 August, 2005

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 9, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being all of PARCEL 1-A, THE MEADOWS AT ANDERSON HILLS UNIT 2 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on _____ in Book _____, Page _____ and containing 8.0422 acres, more or less.

NOTES

(SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide 1 Parcel into 1 HOA Tract and 46 residential lots.
2. Grant easements as shown hereon.
3. Dedicate Right-of-Way as shown hereon.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate. Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 100285/16

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services	_____	Date	_____
PNM Gas Services	_____	Date	_____
Qwest	_____	Date	_____
Comcast	_____	Date	_____
City Approvals:			
City Surveyor	<i>[Signature]</i>	Date	8/30/05
Real Property Division	_____	Date	_____
Traffic Engineering, Transportation Division	_____	Date	_____
Water Utility Department	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMAFCA	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."



Timothy Aldrich, No. 7719 Date **08-30-05**

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

LOCATION MAP

ZONE ATLAS P-9-Z

SCALE: NONE

SUBDIVISION DATA

Gross Acreage	8.0422 Ac.
Zone Atlas No.	P-9-Z
No. of Existing Parcels	1 Parcel
No. of Parcels/Lots created	1/46 Lots
No. of Parcels eliminated	2 Parcel
Miles of full width streets created	0.28
Miles of half width streets created	0.05
Street Area dedicated to the City of Albuquerque	2.0219 Ac.
Date of Survey	October, 2002
Utility Control Location System Log Number	2002450460
Zoning	RLT

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: ANDERSON HILLS, LLC
 A New Mexico Limited Liability Company

BY: *[Signature]* 8/11/05
 Rex Wilson, Manager DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on AUGUST 11, 2005
 By Rex Wilson, Manager of ANDERSON HILLS, LLC A New Mexico Limited Liability Company on behalf of said Company.

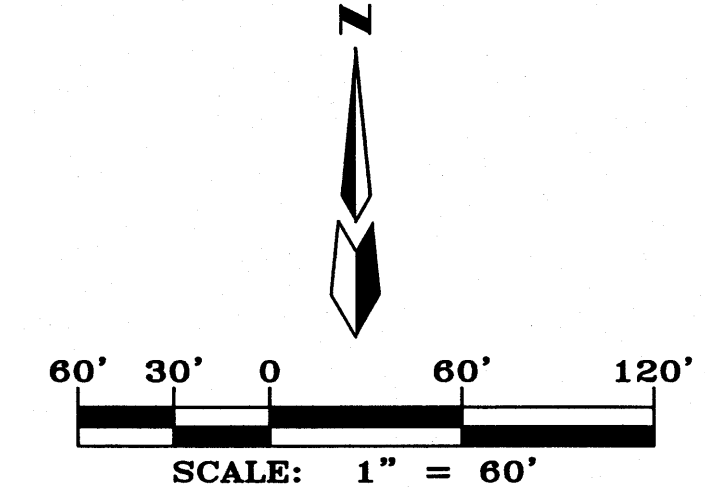
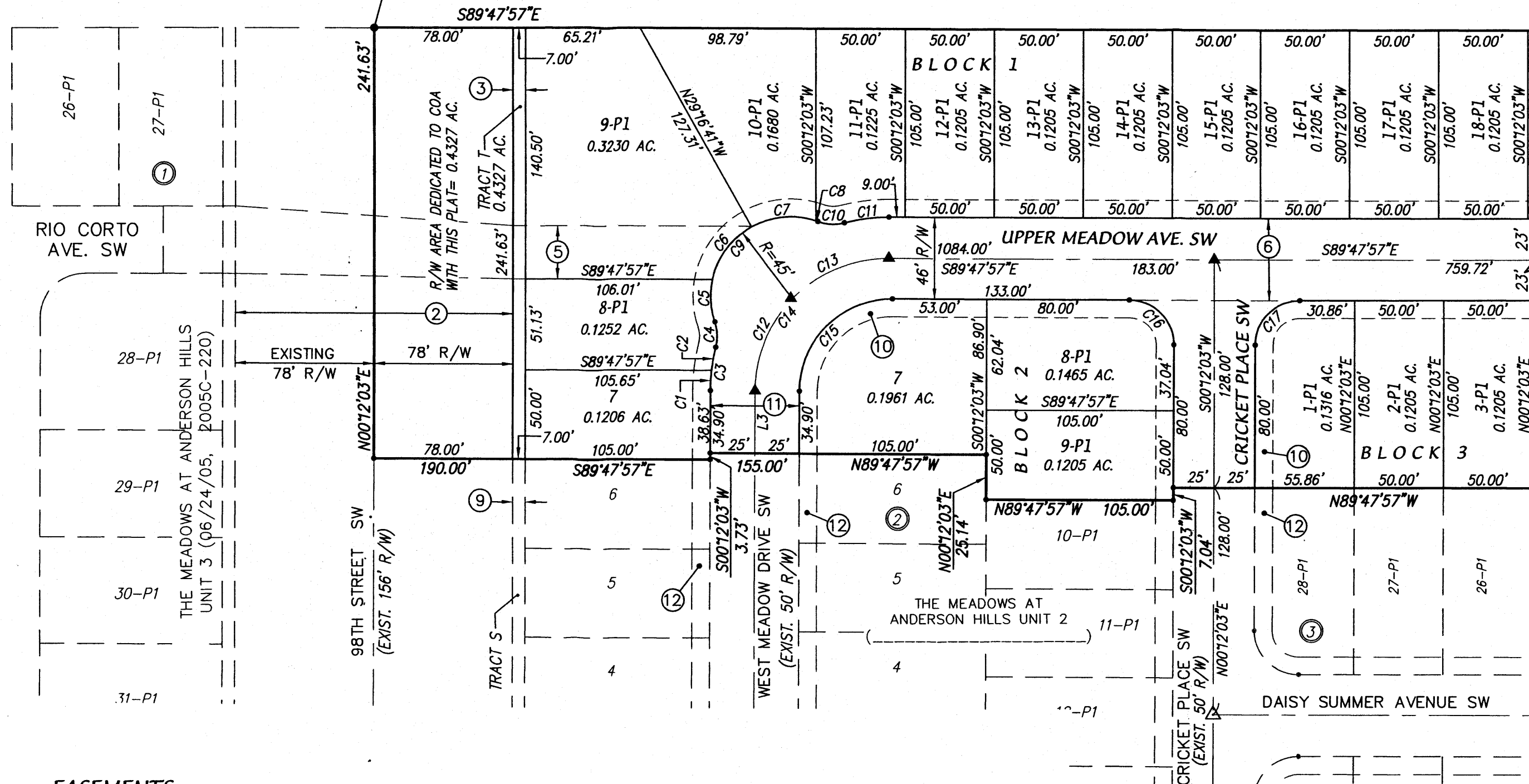
[Signature] 9-10-08
 NOTARY PUBLIC SUSAN RABINSKY MY COMMISSION EXPIRES
 NOTARY PUBLIC-STATE OF NEW MEXICO
 My commission expires: _____

Dwg: M-U5FPS1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 3
Scale: N/A	Date: 08/10/05	Job: A02106	

PLAT FOR
THE MEADOWS AT ANDERSON HILLS
UNIT 5
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMMP
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2005

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927)

TRACT A
 LANDS OF SALAZAR FAMILY TRUST
 SALAZAR QUATRO TRUST
 JSJ INVESTMENT COMPANY
 ANF FALBA HANNET
 (07-23-03, 2003C-223)



MATCH LINE SEE SHEET 3

NOTES:

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 THE MEADOWS AT ANDERSON HILLS UN IT 2, ()
 THE HIGHLANDS AT ANDERSON HILLS UN IT 3, (06-24-05, 05C-220)
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 THE HIGHLANDS AT ANDERSON HILLS UN IT 1, (06-21-04, 04C-188)
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 AMOLE-HUBBELL-BORREGA "DRAINAGE RIGHTS-OF-WAY (05-26-89, C39-59)
 PLAT OF "LARRY VIGIL WEST", (06-20-85, C27-123)
 all being records of Bernalillo County, New Mexico.
- Title Report: provided by Fidelity National Title, Commitment No.: 02-1024800-B-RAD (Effective Date: 11-07-02)
- Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped:
 "CITY OF ALBUQUERQUE
 CENTERLINE MONUMENTATION
 DO NOT DISTURB
 PLS 7719".
- No individual lots shall be allowed direct access to 98th St. S.W.
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
- Tract T is to provide an additional 7' wide landscape area to be owned and maintained by the Anderson Hills Home Owners Association. This tract will also be encumbered with a blanket 7' wide PUE and Public Access and Sidewalk Easement.

EASEMENTS

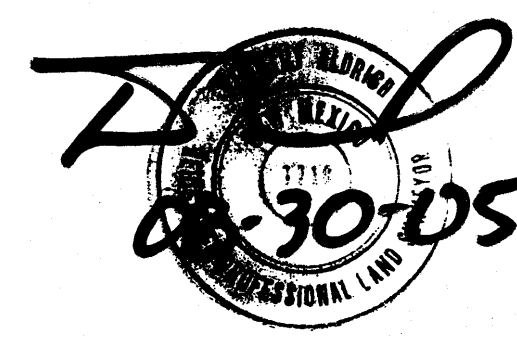
- EXISTING 7' LANDSCAPE EASEMENT & 7' PUE (01-09-04, 04C-9)
- EXISTING PUBLIC ROADWAY, DRAINAGE, WATER AND SANITARY SEWER EASEMENT (12-06-02, 02C-390)
- 7' LANDSCAPE EASEMENT AND 7' PUE GRANTED WITH THIS PLAT (SEE NOTE 10)
- EXISTING 25' PUBLIC WATERLINE EASEMENT AND PEDESTRIAN ACCESS EASEMENT (09-07-04, 04C-279)
- EXISTING 30' PUBLIC SANITARY SEWER AND WATERLINE EASEMENT (01-09-04, 04C-9)
- EXISTING PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (01-09-04, 04C-9)
- EXISTING PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (02-08-05, 05C-52)
- EXISTING 10' PUBLIC UTILITY EASEMENT (PUE) (02-08-05, 05C-52)
- EXISTING 7' LANDSCAPE EASEMENT AND 7' PUE ()
- 10' PUE GRANTED WITH THIS PLAT.
- EXISTING 50' PUBLIC WATERLINE EASEMENT (01-09-04, 04C-9)
- EXISTING 10' PUE ()

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	11.39	100.00	6°31'41"	5.70	S03°27'53"W	11.39
C2	13.17	100.00	7°32'38"	6.59	S10°30'03"W	13.16
C3	24.56	100.00	14°04'19"	12.34	S07°14'13"W	24.50
C4	14.36	25.00	32°54'51"	7.38	N02°11'03"W	14.16
C5	24.37	45.00	31°01'41"	12.49	S03°07'38"E	24.07
C6	37.96	45.00	48°20'06"	20.19	S36°33'16"W	36.85
C7	37.39	45.00	47°36'18"	19.85	S84°31'28"W	36.32
C8	1.21	45.00	1°32'42"	0.61	N70°54'02"W	1.21
C9	100.93	45.00	128°30'47"	93.32	S45°36'55"W	81.07
C10	15.04	25.00	34°28'45"	7.76	S87°22'04"E	14.82
C11	25.33	98.00	14°48'29"	12.73	S82°47'48"W	25.26
C12	57.30	75.00	43°46'29"	30.13	S22°05'18"W	55.92
C13	60.29	75.00	46°03'39"	31.88	S67°10'13"W	58.68
C14	117.81	75.00	90°00'00"	75.00	S45°12'03"W	106.07
C15	81.68	52.00	90°00'00"	52.00	S45°12'03"W	73.54
C16	39.27	25.00	90°00'00"	25.00	N44°47'57"W	35.36
C17	39.27	25.00	90°00'00"	25.00	S45°12'03"W	35.36
C18	39.27	25.00	90°00'00"	25.00	N44°47'57"W	35.36
C19	39.27	25.00	90°00'00"	25.00	S45°12'03"W	35.36

LINE TABLE

LINE	LENGTH	BEARING
L1	36.28	N89°47'57"W
L2	42.00	S00°12'03"W
L3	34.90	N00°12'03"E



SITE BENCHMARK

ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS AS PUBLIC RIGHT-OF-WAY

SEE SHEET 3 FOR CURVE AND LINE DATA

REVISED (08-25-05 RDQ)

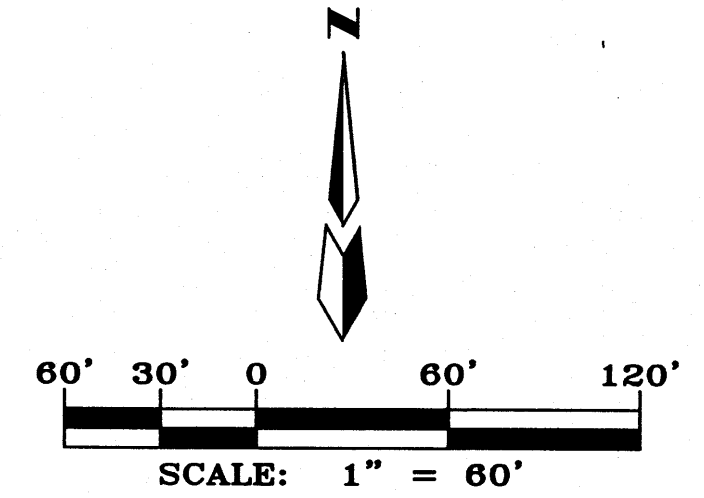
F:\A2106\FINAL PLAT\MEADOWS U-5\M-U5FPBASE (08-10-05 RDQ)

Dwg: M-U5FPBASE.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 3
Scale: 1"=60'	Date: 08/25/05	Job: A02106	

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

F:\A02106\FINAL PLAT\MEADOWS U-5\M-U5FPBASE.dwg, 8/25/2005 2:20:00 PM, PLOTTED BY RDQ

PLAT FOR
THE MEADOWS AT ANDERSON HILLS
UNIT 5
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2005



TRACT A
 LANDS OF SALAZAR FAMILY TRUST
 SALAZAR CUATRO TRUST
 JSJ INVESTMENT COMPANY
 ANF FALBA HANNET
 (07-23-03, 2003C-223)

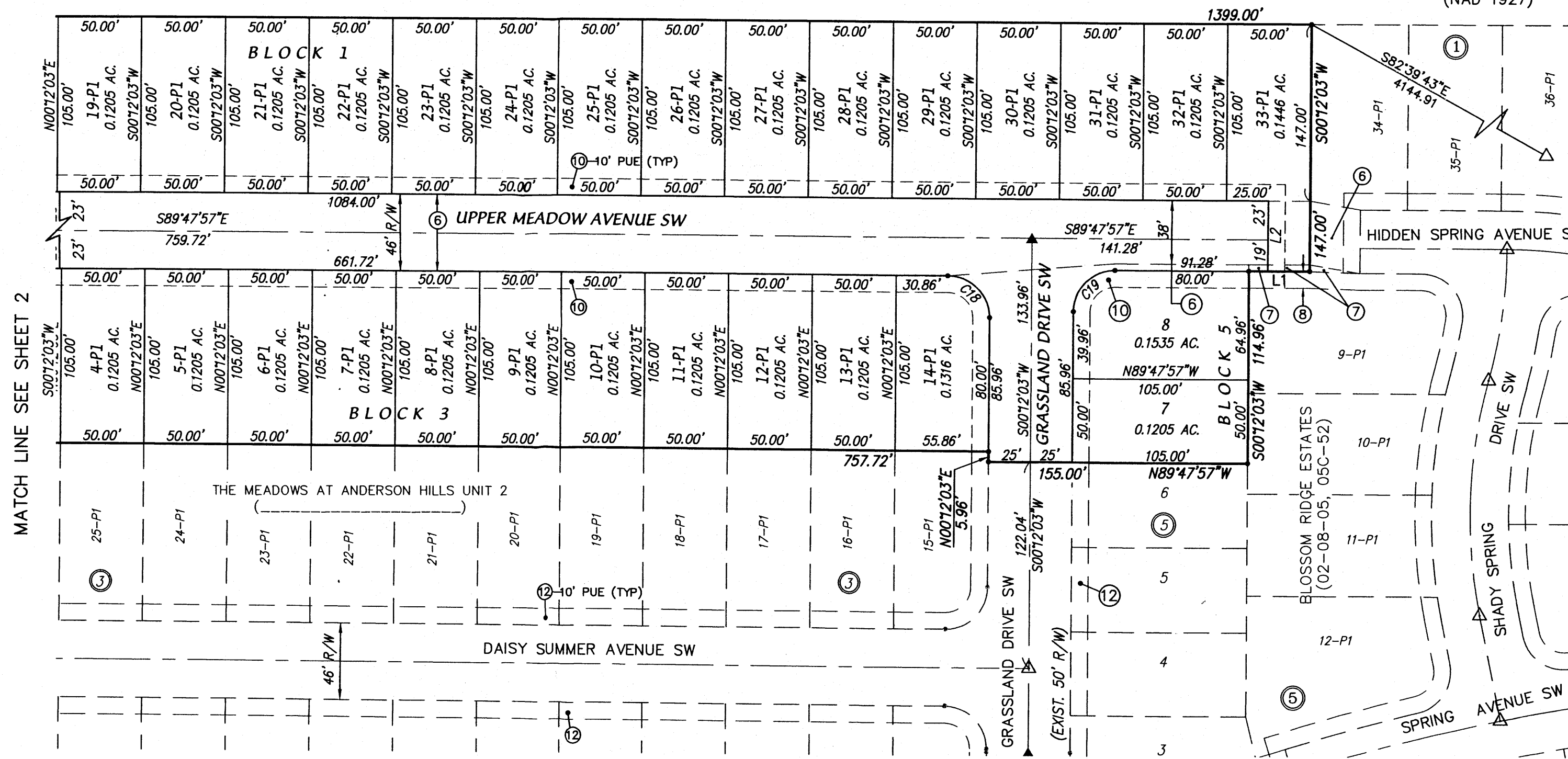
ACS MONUMENT
 "2-P10"
 Y=1464349.24
 X=358414.13
 G-G=0.9996842
 $\Delta\alpha = -00^{\circ}16'16''$
 CENTRAL ZONE
 (NAD 1927)

ABBREVIATIONS

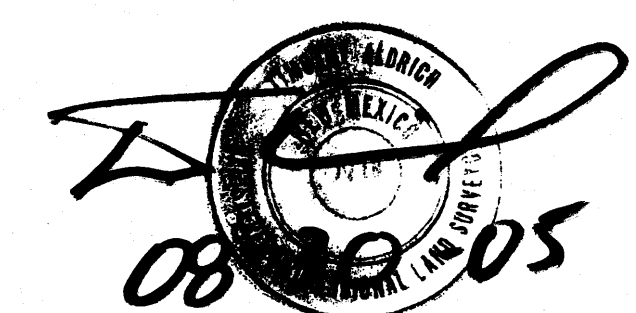
- PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
- R/W = RIGHT-OF-WAY
- COA = CITY OF ALBUQUERQUE
- ABCWUA = ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY

LEGEND

- 1-P1 LOT NUMBER
- ⊙ EXIST. BLOCK NUMBER
- △ EXIST. CENTER LINE MONUMENT
- ▲ NEW CENTER LINE MONUMENT
- SET 5/8" REBAR W/ CAP "ALS LS 7719" (TYP)



F:\A02106\A2106\FINAL PLAT\MEADOWS U-5\M-U5FPBASE.dwg, 8/25/2005 2:22:16 PM, PLOTTED BY RDQ

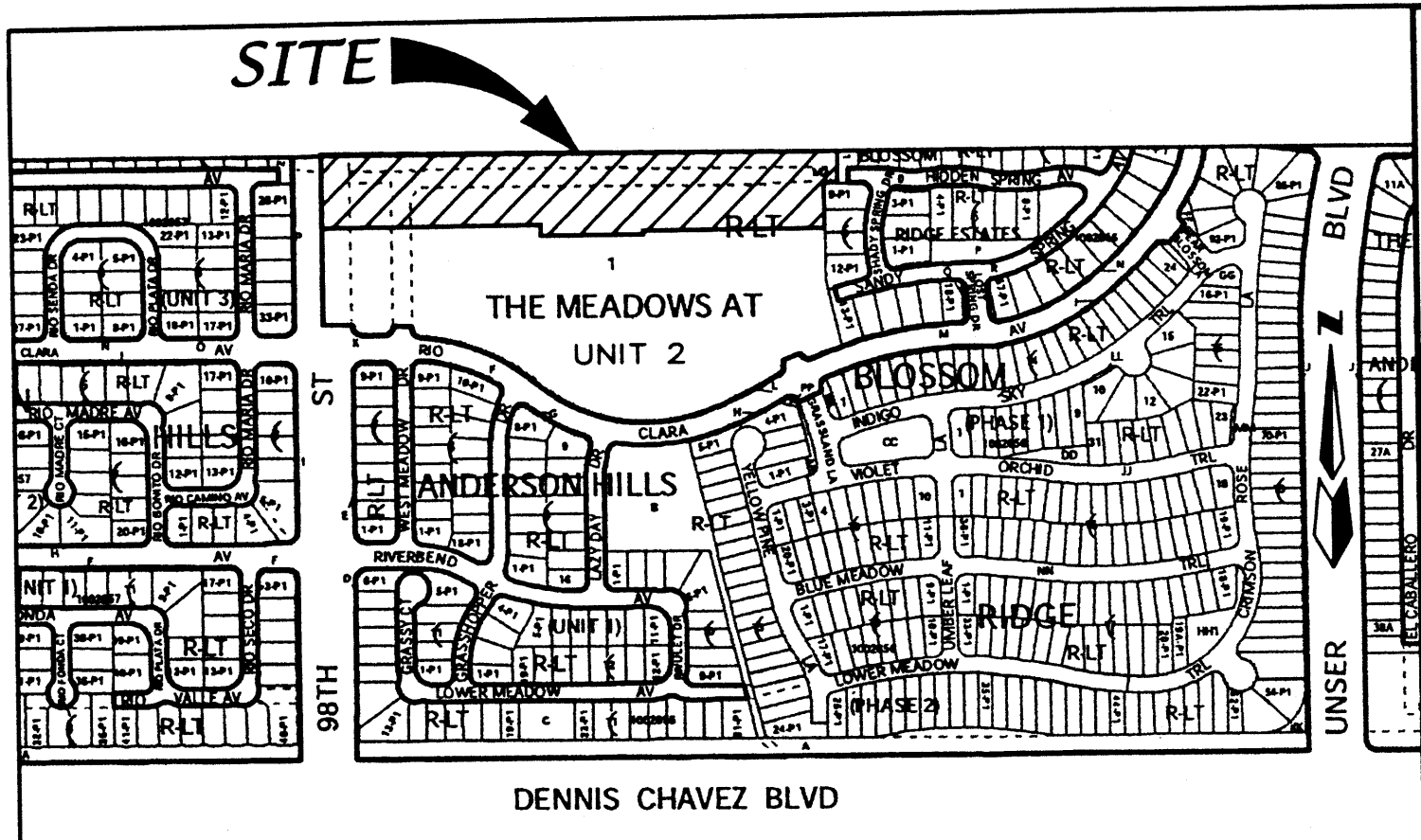


ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

SEE SHEET 3 FOR CURVE AND LINE DATA

REVISED (08-25-05 RDQ)	Dwg: M-U5FPBASE.dwg	Drawn: RICHARD	Checked: ALS	Sheet 3 of 3
F:\A2106\FINAL PLAT\MEADOWS U-5\M-U5FPBASE (08-09-05 RDQ)	Scale: 1"=60'	Date: 08/25/05	Job: A02106	



LOCATION MAP **ZONE ATLAS P-9-Z**
SCALE: NONE

SUBDIVISION DATA

Gross Acreage	8.0422 Ac.
Zone Atlas No.	P-9-Z
No. of Existing Parcels	1 Parcel
No. of Parcels/Lots created	1/46 Lots
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Date of Survey	October, 2002
Utility Control Location System Log Number	2002450460
Zoning	RLT

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OWNER: ANDERSON HILLS, LLC
A New Mexico Limited Liability Company

BY: Rex Wilson 8/10/05
Rex Wilson, Manager DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on AUGUST 11, 2005
By Rex Wilson, Manager of ANDERSON HILLS, LLC A New Mexico Limited Liability Company on behalf of said Company.

Susan Rasinski 9-10-08
NOTARY PUBLIC MY COMMISSION EXPIRES
SUSAN RASINSKI
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: _____

LEGAL DESCRIPTION

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NOTES

(SEE SHEET 2)

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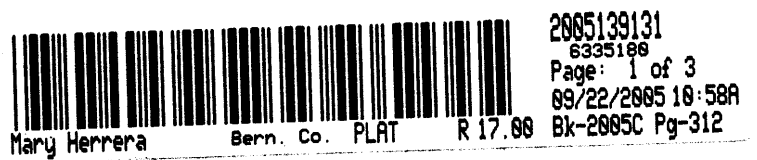
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THIS IS TO CERTIFY THAT THESE ARE CURRENT AND PAID ON UPC # 10005309548020102/10905322047520103
PROPERTY OWNER OF RECORD
ANDERSON HILLS LLC
BERNALILLO COUNTY TREASURER'S OFFICE
Francis X. Ruiz 9/22/05

PLAT FOR
THE MEADOWS AT ANDERSON HILLS
UNIT 5
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 9
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
August, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 10028516
Application Number: 05 DRB 01401

PLAT APPROVAL

Utility Approvals:

<u>Lead D. Marks</u> PNM Electric Services	<u>9-12-05</u> Date
<u>Lead D. Marks</u> PNM Gas Services	<u>9-12-05</u> Date
<u>John J. Lopez</u> Comcast	<u>9/12/05</u> Date
<u>Janice Darbon</u> Comcast	<u>9-12-05</u> Date

City Approvals:

<u>ALB Hart</u> City Surveyor	<u>8/30/05</u> Date
<u>N/Aham</u> Real Property Division	<u>9/21/05</u> Date
<u>John A. ...</u> Traffic Engineering, Transportation Division	<u>9-14-05</u> Date
<u>Roger A. ...</u> Water Utility Department	<u>9-14-05</u> Date
<u>David ...</u> Parks and Recreation Department	<u>9-14-05</u> Date
<u>Bradley h. Bigham</u> AMA/CA	<u>9/14/05</u> Date
<u>Bradley h. Bigham</u> City Engineer	<u>9/14/05</u> Date
<u>DRB Chairperson</u> DRB Chairperson, Planning Department	<u>9/21/05</u> Date

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Timothy Aldrich 08-30-05
No. 7719 Date



ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

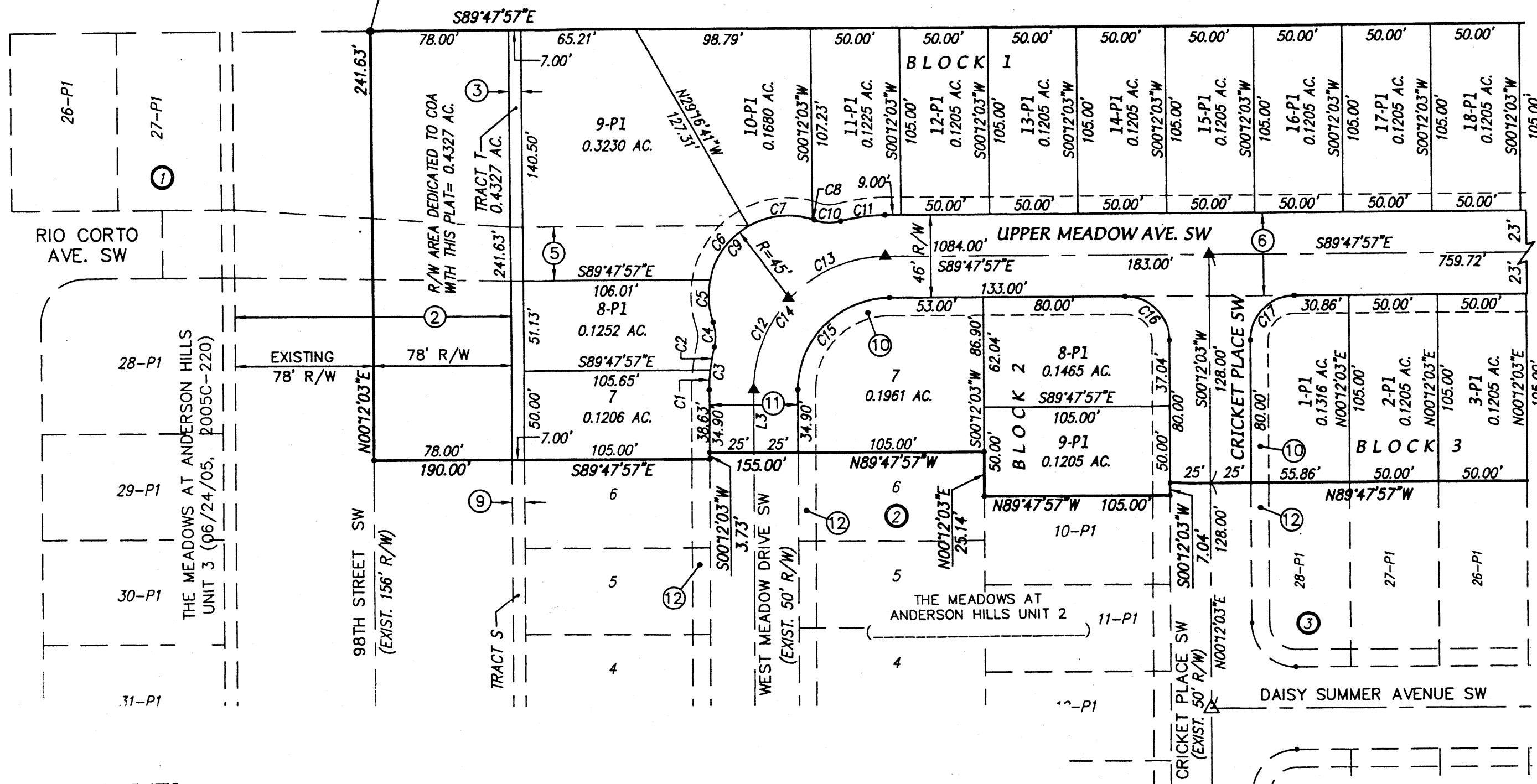
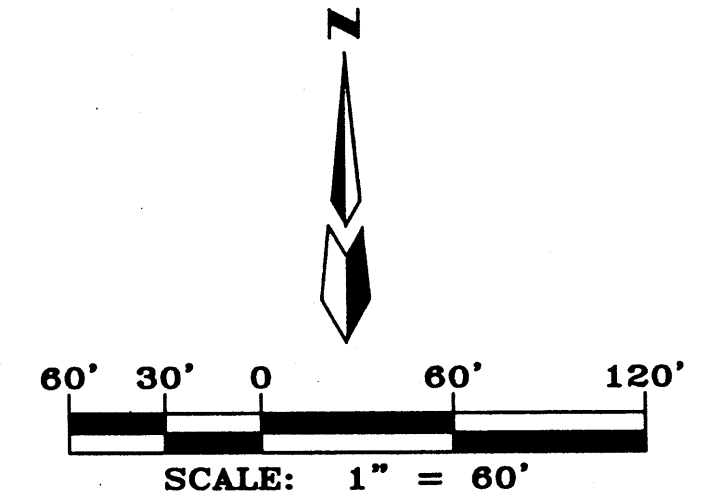
Dwg: M-U5FPS1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 3
Scale: N/A	Date: 08/10/05	Job: A02106	

S:\A2106\FINAL PLAT MEADOWS U5M-U5FPS1.dwg, 8/10/2005 3:32:21 PM, PLotted by: RDO

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 all being records of Bernalillo County, New Mexico.
- Title Report: provided by Fidelity National Title, Commitment No.: 02-1024800-B-RAD (Effective Date: 11-07-02)
- Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped:
 "CITY OF ALBUQUERQUE
 CENTERLINE MONUMENTATION
 DO NOT DISTURB
 PLS 7719".
- No individual lots shall be allowed direct access to 98th St. SW.
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
- Tract T is to provide an additional 7' wide landscape area to be owned and maintained by the Anderson Hills Home Owners Association. This tract will also be encumbered with a blanket 7' wide PUE and Public Access and Sidewalk Easement.

EASEMENTS

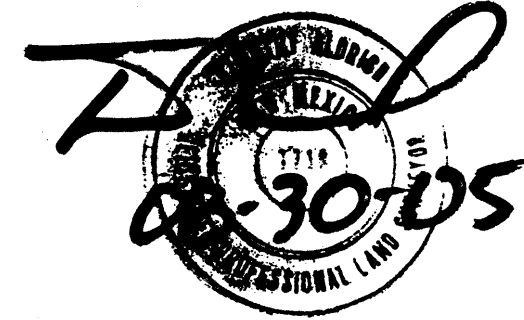
- EXISTING 7' LANDSCAPE EASEMENT & 7' PUE (01-09-04, 04C-9)
- EXISTING PUBLIC ROADWAY, DRAINAGE, WATER AND SANITARY SEWER EASEMENT (12-06-02, 02C-390)
- 7' LANDSCAPE EASEMENT AND 7' PUE GRANTED WITH THIS PLAT (SEE NOTE 10)
- EXISTING 25' PUBLIC WATERLINE EASEMENT AND PEDESTRIAN ACCESS EASEMENT (09-07-04, 04C-279)
- EXISTING 30' PUBLIC SANITARY SEWER AND WATERLINE EASEMENT (01-09-04, 04C-9)
- EXISTING PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (01-09-04, 04C-9)
- EXISTING PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (02-08-05, 05C-52)
- EXISTING 10' PUBLIC UTILITY EASEMENT (PUE) 02-08-05, 05C-52)
- EXISTING 7' LANDSCAPE EASEMENT AND 7' PUE ()
- 10' PUE GRANTED WITH THIS PLAT.
- EXISTING 50' PUBLIC WATERLINE EASEMENT (01-09-04, 04C-9)
- EXISTING 10' PUE ()

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	11.39	100.00	6°31'41"	5.70	S03°27'53"W	11.39
C2	13.17	100.00	7°32'38"	6.59	S10°30'03"W	13.16
C3	24.56	100.00	14°04'19"	12.34	S07°14'13"W	24.50
C4	14.36	25.00	32°54'51"	7.38	N02°11'03"W	14.16
C5	24.37	45.00	31°01'41"	12.49	S03°07'38"E	24.07
C6	37.96	45.00	48°20'06"	20.19	S36°33'16"W	36.85
C7	37.39	45.00	47°36'18"	19.85	S84°31'28"W	36.32
C8	1.21	45.00	1°32'42"	0.61	N70°54'02"W	1.21
C9	100.93	45.00	128°30'47"	93.32	S45°36'55"W	81.07
C10	15.04	25.00	34°28'45"	7.76	S87°22'04"E	14.82
C11	25.33	98.00	14°48'29"	12.73	S82°47'48"W	25.26
C12	57.30	75.00	43°46'29"	30.13	S22°05'18"W	55.92
C13	60.29	75.00	46°03'39"	31.88	S67°10'13"W	58.68
C14	117.81	75.00	90°00'00"	75.00	S45°12'03"W	106.07
C15	81.68	52.00	90°00'00"	52.00	S45°12'03"W	73.54
C16	39.27	25.00	90°00'00"	25.00	N44°47'57"W	35.36
C17	39.27	25.00	90°00'00"	25.00	S45°12'03"W	35.36
C18	39.27	25.00	90°00'00"	25.00	N44°47'57"W	35.36
C19	39.27	25.00	90°00'00"	25.00	S45°12'03"W	35.36

LINE TABLE

LINE	LENGTH	BEARING
L1	36.28	N89°47'57"W
L2	42.00	S00°12'03"W
L3	34.90	N00°12'03"E



SITE BENCHMARK

ACS MONUMENT
"3-P10"
ELEVATION=4935.735
(SLD 1929)

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS AS PUBLIC RIGHT-OF-WAY



ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

SEE SHEET 3 FOR CURVE AND LINE DATA

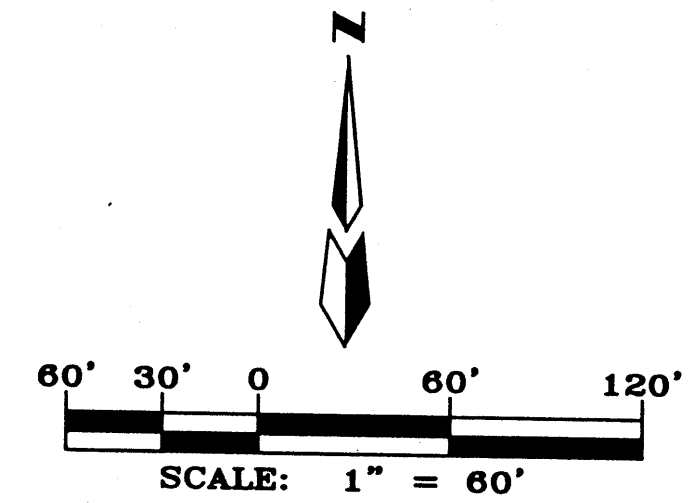
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02208512106A\FINAL PLAT\MEADOWS U-5\M-U5FPBASE.dwg, 8/25/2005 2:20:00 PM, PLOTTED BY RDX

PLAT FOR
THE MEADOWS AT ANDERSON HILLS
UNIT 5
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2005

TRACT A
 LANDS OF SALAZAR FAMILY TRUST
 SALAZAR CUATRO TRUST
 JSJ INVESTMENT COMPANY
 ANF FALBA HANNET
 (07-23-03, 2003C-223)

ACS MONUMENT
 "2-P10"
 Y=1464349.24
 X=358414.13
 G-G=0.9996842
 $\Delta\alpha = -00'16''16''$
 CENTRAL ZONE
 (NAD 1927)

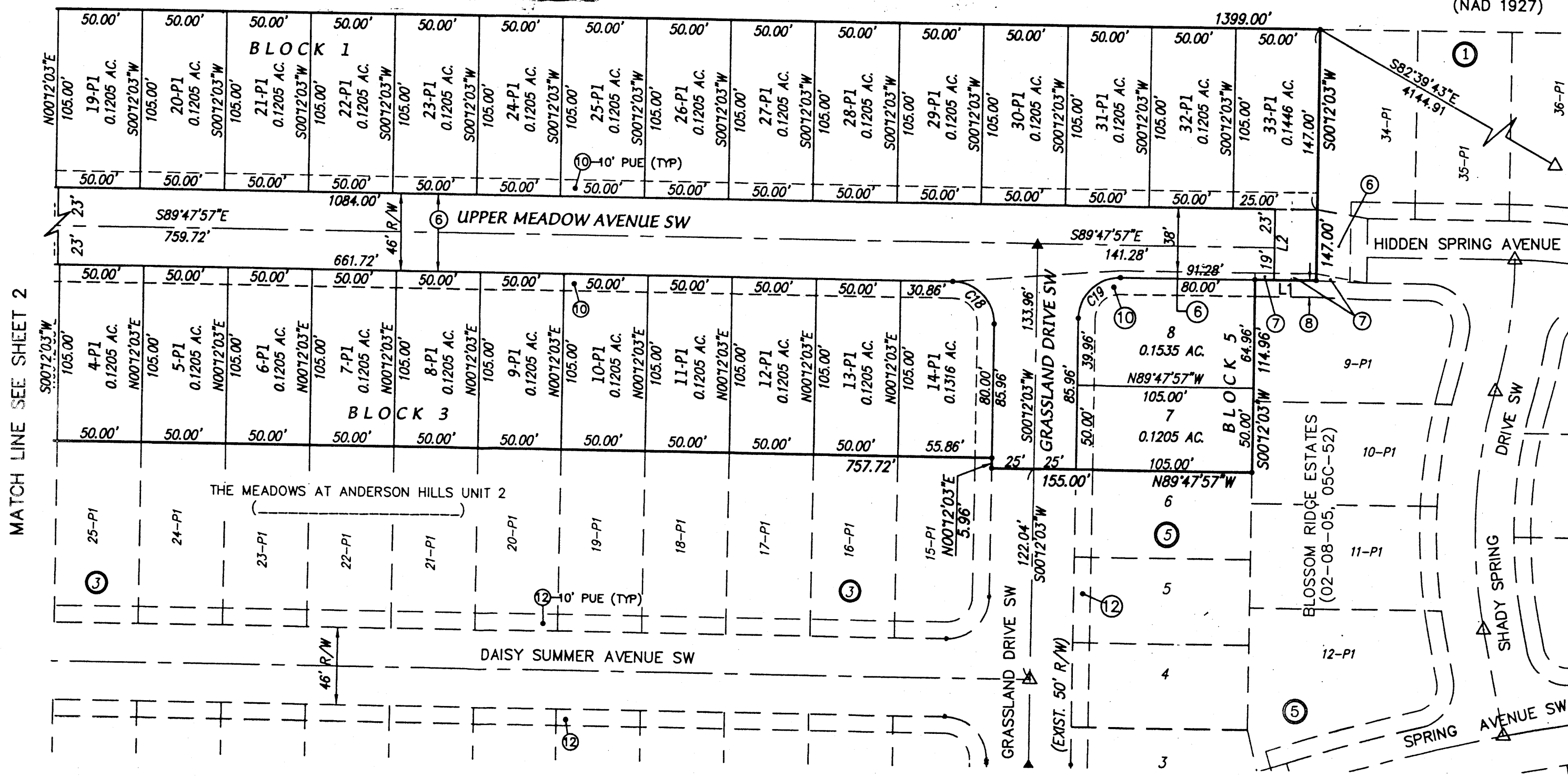


ABBREVIATIONS

- PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
- R/W = RIGHT-OF-WAY
- COA = CITY OF ALBUQUERQUE
- ABCWUA = ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY

LEGEND

- 1-P1 LOT NUMBER
- Ⓢ EXIST. BLOCK NUMBER
- △ EXIST. CENTER LINE MONUMENT
- ▲ NEW CENTER LINE MONUMENT
- SET 5/8" REBAR W/ CAP "ALS LS 7719" (TYP)



MATCH LINE SEE SHEET 2

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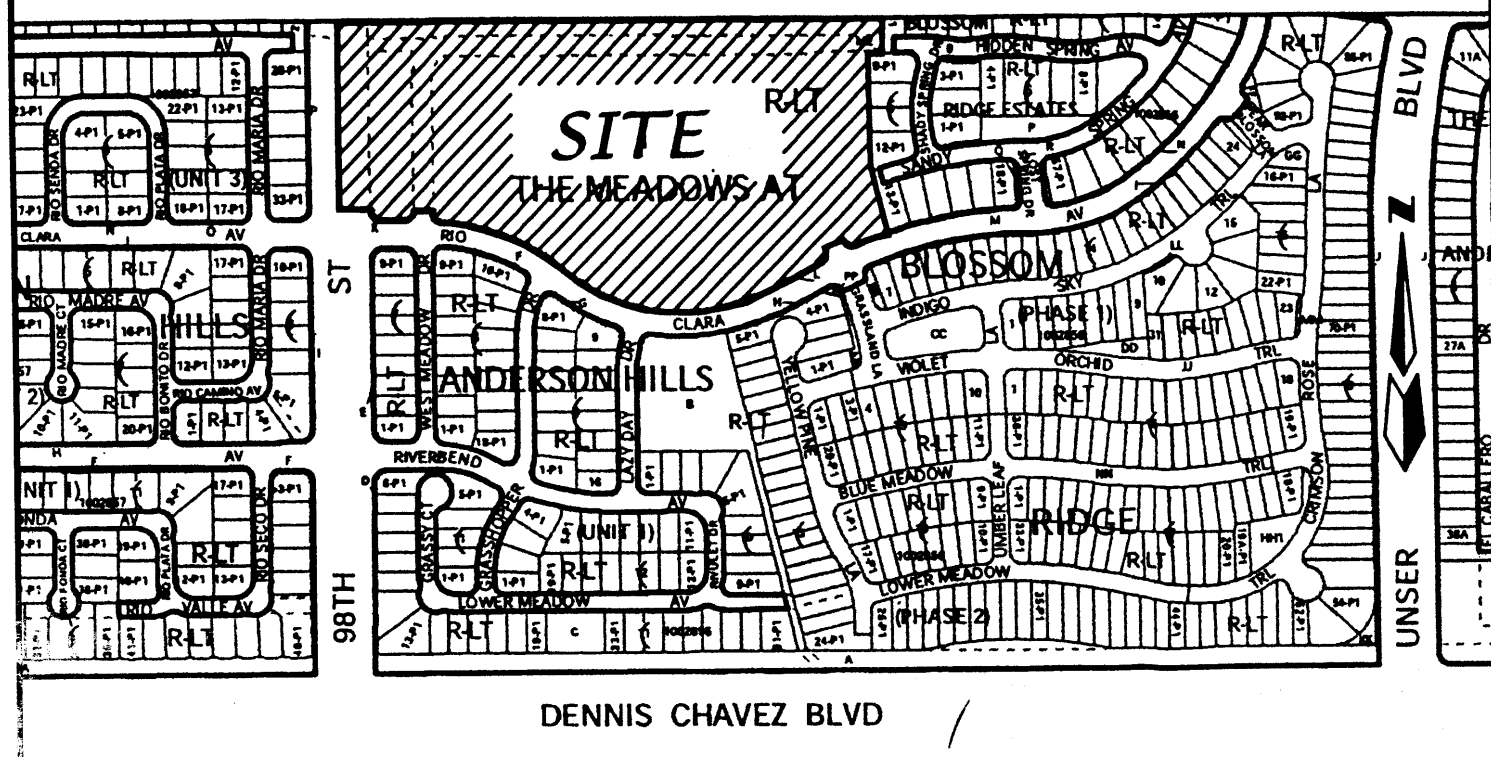
2005139131
 6335186
 Page: 3 of 3
 08/22/2005 10:58A
 Bk-2865C Pg-312

Mary Herrera Bern. Co. PLAT R 17.00

08-25-05

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

REVISED (08-25-05 RDQ)		SEE SHEET 3 FOR CURVE AND LINE DATA	
Dwg: M-U5FPBASE.dwg	Drawn: RICHARD	Checked: ALS	Sheet 3 of 3
Scale: 1"=60'	Date: 08/25/05	Job: A02106	3 3



LOCATION MAP

ZONE ATLAS P-9-Z

SCALE: NONE

SUBDIVISION DATA

Gross Acreage..... 20.7310 Ac.
 Zone Atlas No..... P-9-Z
 No. of Existing Tracts..... 2 Tract
 No. of Parcels/Lots created..... 172 Lots
 No. of Tracts eliminated..... 2 Tract
 Miles of full width streets created..... 0.46
 Miles of half width streets created..... 0.05
 Street Area dedicated to the City of Albuquerque..... 3.0958 Ac.
 Date of Survey..... October, 2002
 Utility Control Location System Log Number..... 2002450460
 Zoning..... RLT

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate. Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 9, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being all of PARCEL 1, MEADOWS AT ANDERSON HILLS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 9, 2004 in Book 2004C, Page 9, together with TRACT M-2, BLOCK 5, BLOSSOM RIDGE ESTATES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 8, 2005 in Book 2005C, Page 52 and containing 20.7310 acres, more or less.

NOTES

(SEE SHEET 5)

PURPOSE OF PLAT

1. Subdivide 1 Parcel and 1 Tract into 1 remnant parcel and 72 residential lots.
2. Grant easements as shown hereon.
3. Dedicate Right-of-Way as shown hereon.

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER PARCEL 1
 ANDERSON HILLS, LLC
 A New Mexico Limited Liability Company

BY: Rex Wilson 8/11/05
 Rex Wilson, Manager DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on AUGUST 11, 2005
 By Rex Wilson, Manager of ANDERSON HILLS, LLC A New Mexico Limited Liability Company on behalf of said Company.

Susan Rasinski 9-10-2008
 NOTARY PUBLIC OFFICIAL SEAL SUSAN RASINSKI MY COMMISSION EXPIRES
 NOTARY PUBLIC STATE OF NEW MEXICO
 My commission expires: _____

OWNER TRACT M-2
 ANDERSON HILLS HOMEOWNER'S ASSOCIATION

BY: Rex Wilson 8/11/05
 Rex Wilson, Member DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on AUGUST 11, 2005
 By Rex Wilson, Member of ANDERSON HILLS HOMEOWNER'S ASSOCIATION on behalf of said Association.

Susan Rasinski 9-10-2008
 NOTARY PUBLIC OFFICIAL SEAL SUSAN RASINSKI MY COMMISSION EXPIRES
 NOTARY PUBLIC STATE OF NEW MEXICO
 My commission expires: _____

PLAT FOR
THE MEADOWS AT ANDERSON HILLS
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 August, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002856
 Application Number: 05DRB-01402

PLAT APPROVAL

THIS IS TO CERTIFY THAT THE PLAT IS CORRECT AND COMPLETE.

PAID ON U.P.C. & CERTIFICATE Utility Approvals:

ANDERSON HILLS LLC
 BERNALILLO COUNTY TREASURER'S OFFICE
Francisco Trevino Trevino
 PNM Electric Services Lead D. Mark 9-12-05
 PNM Gas Services Lead D. Mark 9-12-05
 Comcast Katya Poyko 9/12/05
Wendy Burton 9-12-05
 City Approvals:
MB Hart 8-30-05
 City Surveyor N/A 9/21/05
 Real Property Division
John A. ... 9-16-05
 Traffic Engineering, Transportation Division
Roger A. ... 9-14-05
 Water Utility Department
David ... 9-14-05
 Parks and Recreation Department
Bradley S. Bingham 9/14/05
 AMAFCA
Bradley S. Bingham 9/14/05
 City Engineer
D. ... 9/21/05
 DRB Chairperson, Planning Department

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 08-30-05
 Timothy Aldrich, No. 719 Date



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

F:\A2106\FINAL PLAT\MEADOWS U-2\M-U2FPS1 (07-27-05 RDQ)

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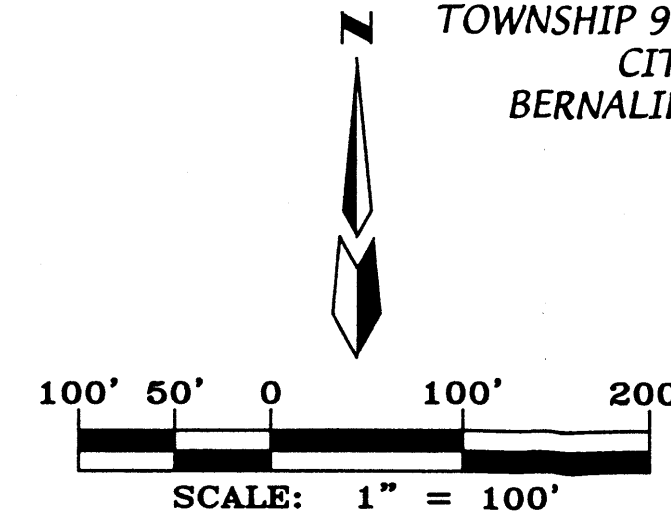
PLAT FOR
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 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 August, 2005

LINE DATA		
NUMBER	DIRECTION	DISTANCE
L1	N89°47'57"W	36.28
L2	N68°55'44"E	57.00
L3	N68°07'05"E	7.00
L4	S89°47'57"E	7.00
L5	S00°12'03"W	6.42
L6	S89°47'57"E	57.00
L7	S89°47'57"E	57.00
L8	N89°47'57"W	85.00

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	1139.00	90.24	4°32'23"	45.15	S69°13'41"W	90.22
C2	18.00	28.89	91°58'15"	18.63	S67°03'23"E	25.89
C3	525.00	7.43	0°48'40"	3.72	S21°28'35"E	7.43
C4	18.00	26.35	83°52'27"	16.17	N20°03'19"E	24.06
C5	1139.00	37.01	1°51'42"	18.51	S61°03'41"W	37.01
C6	961.00	209.15	12°28'11"	104.99	N66°21'56"E	208.74
C7	463.00	460.96	57°02'37"	251.62	S78°52'40"E	442.16
C8	537.00	338.70	36°08'16"	175.20	N68°25'30"W	333.11
C9	18.00	27.24	86°41'41"	16.99	S43°08'47"E	24.71
C10	18.00	28.27	90°00'00"	18.00	N45°12'03"E	25.46
C11	23.00	36.13	90°00'00"	23.00	S44°47'57"E	32.53

EASEMENTS

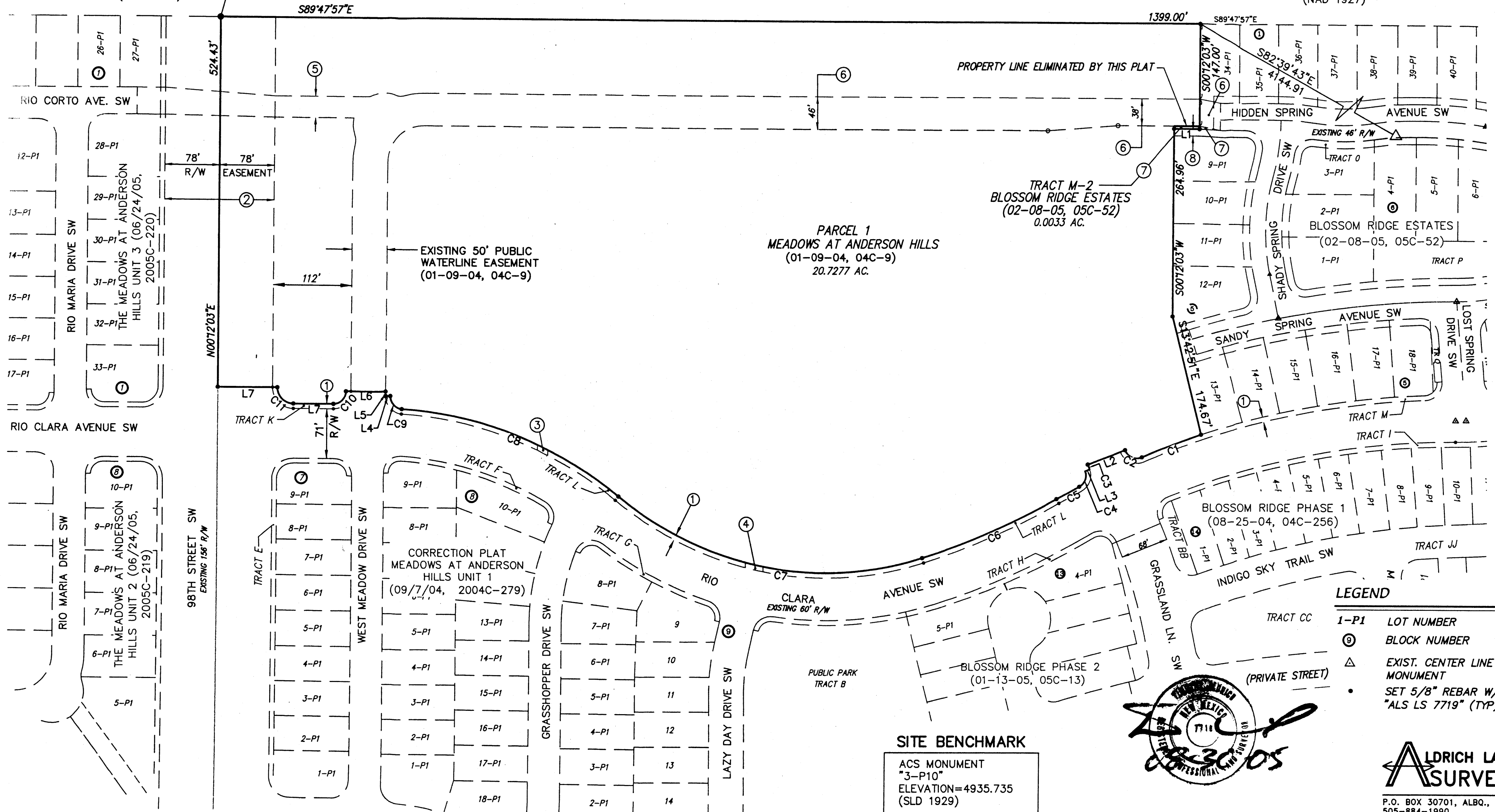
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- EXISTING PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (02-08-05, 05C-52)
- EXISTING 10' PUBLIC UTILITY EASEMENT (PUE) (02-08-05, 05C-52)



ACS MONUMENT
 "2-P10"
 Y=1464349.24
 X=358414.13
 G-G=0.9996842
 Δα=-00°16'16"
 CENTRAL ZONE
 (NAD 1927)

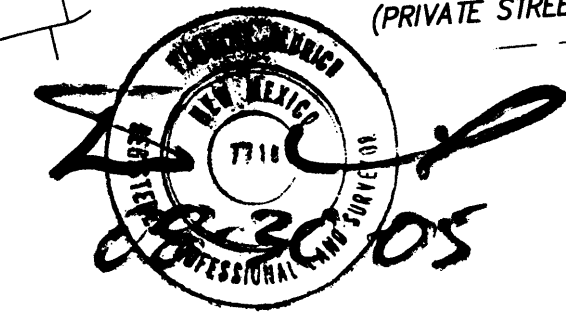
TRACT A
 LANDS OF SALAZAR FAMILY TRUST
 SALAZAR QUATRO TRUST
 JSJ INVESTMENT COMPANY
 ANF FALBA HANNET
 (07-23-03, 2003C-223)

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927)



- LEGEND**
- 1-P1 LOT NUMBER
 - ⊙ BLOCK NUMBER
 - △ EXIST. CENTER LINE MONUMENT
 - SET 5/8" REBAR W/ CAP "ALS LS 7719" (TYP)

SITE BENCHMARK
 ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

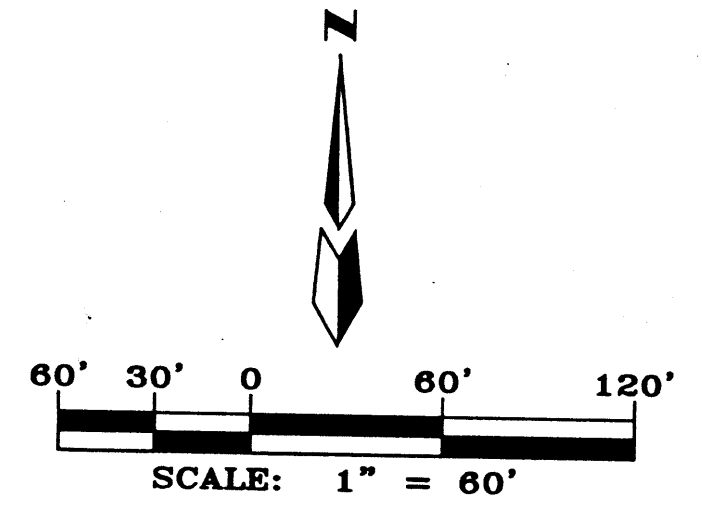


ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

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Dwg: M-U2FPS2.DWG	Drawn: RICHARD	Checked: ALS	Sheet 2 of 5
Scale: 1"=100'	Date: 08/25/05	Job: A02106	

PLAT FOR
THE MEADOWS AT ANDERSON HILLS
UNIT 2
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 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPC
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2005

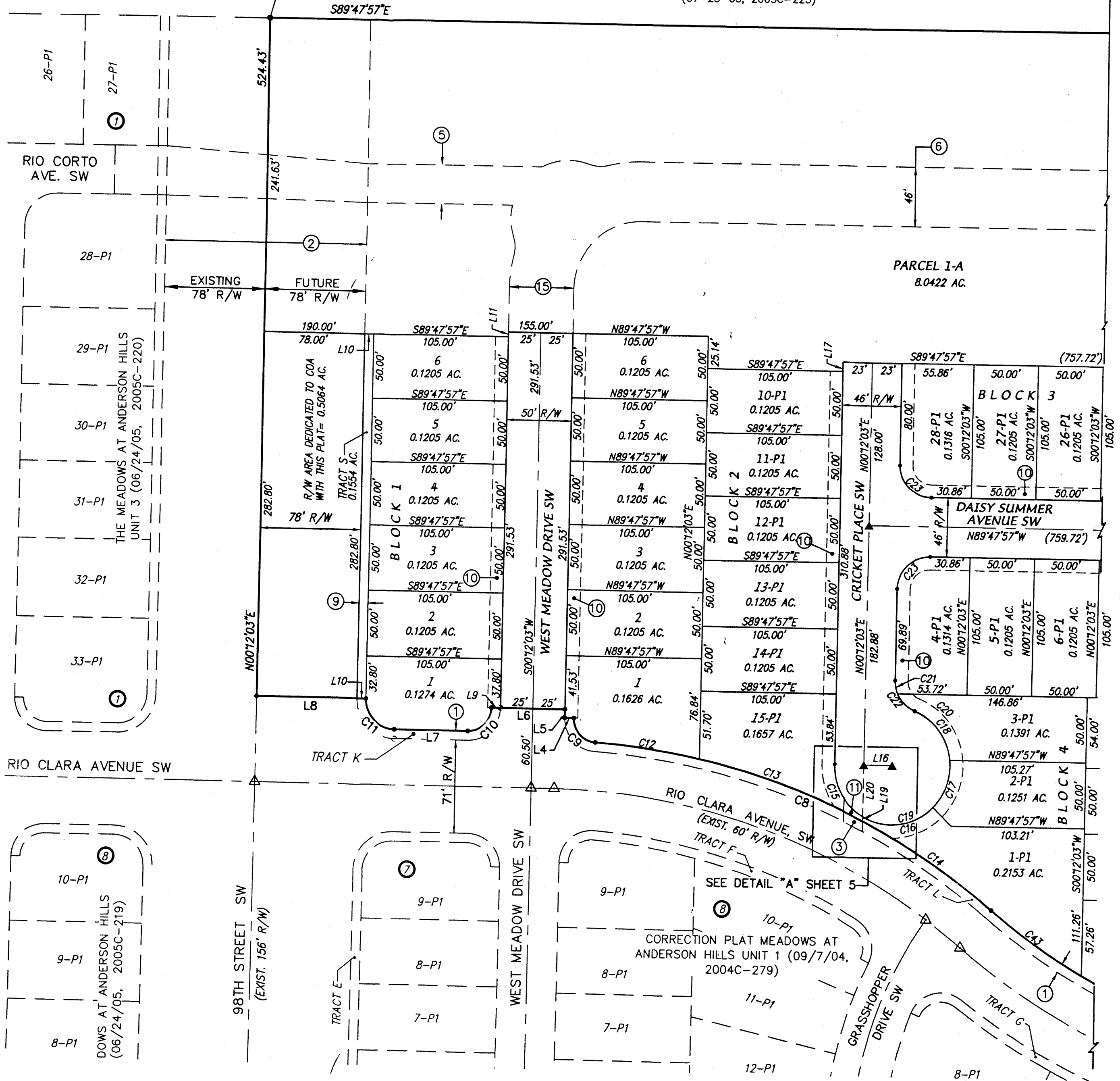


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- ⑨ 7' LANDSCAPE EASEMENT AND 7' PUE GRANTED WITH THIS PLAT (SEE NOTE 10)
- ⑩ 10' PUE GRANTED WITH THIS PLAT.
- ⑪ 15' PUBLIC WATERLINE EASEMENT GRANTED TO THE ABCWUA WITH THIS PLAT
- ⑫ 15'x20' QWEST UTILITY EASEMENT GRANTED WITH THIS PLAT
- ⑬ 15'x15' PNM UTILITY EASEMENT GRANTED WITH THIS PLAT
- ⑭ 15' PUBLIC WATERLINE EASEMENT GRANTED TO THE ABCWUA WITH THIS PLAT.
- ⑮ EXISTING 50' PUBLIC WATERLINE EASEMENT (01-09-04, 04C-9)
- ⑯ 15' PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED TO COA WITH THIS PLAT.



ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

SEE SHEET 5 FOR CURVE AND LINE DATA

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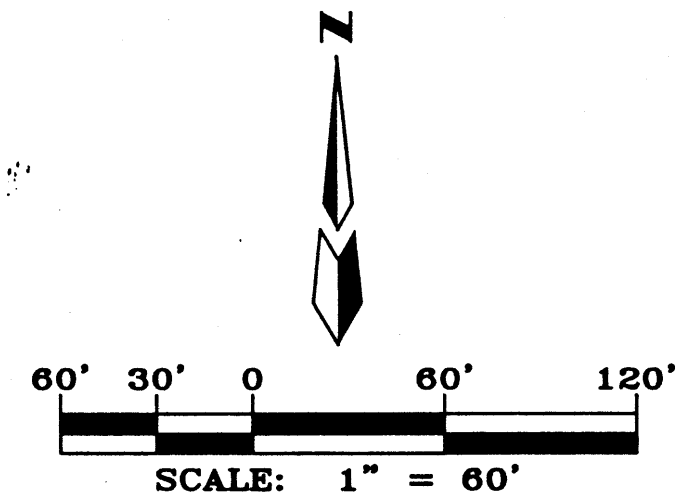
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TRACT A
 LANDS OF SALAZAR FAMILY TRUST
 SALAZAR QUATRO TRUST
 JSJ INVESTMENT COMPANY
 ANF FALBA HANNET
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ACS MONUMENT
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 AUGUST, 2005



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LEGEND

- 1-P1 LOT NUMBER
- ⊙ BLOCK NUMBER
- ▲ EXIST. CENTER LINE MONUMENT
- ▲ CENTER LINE MONUMENT
- SET 5/8" REBAR W/ CAP "ALS LS 7719" (TYP)

SITE BENCHMARK

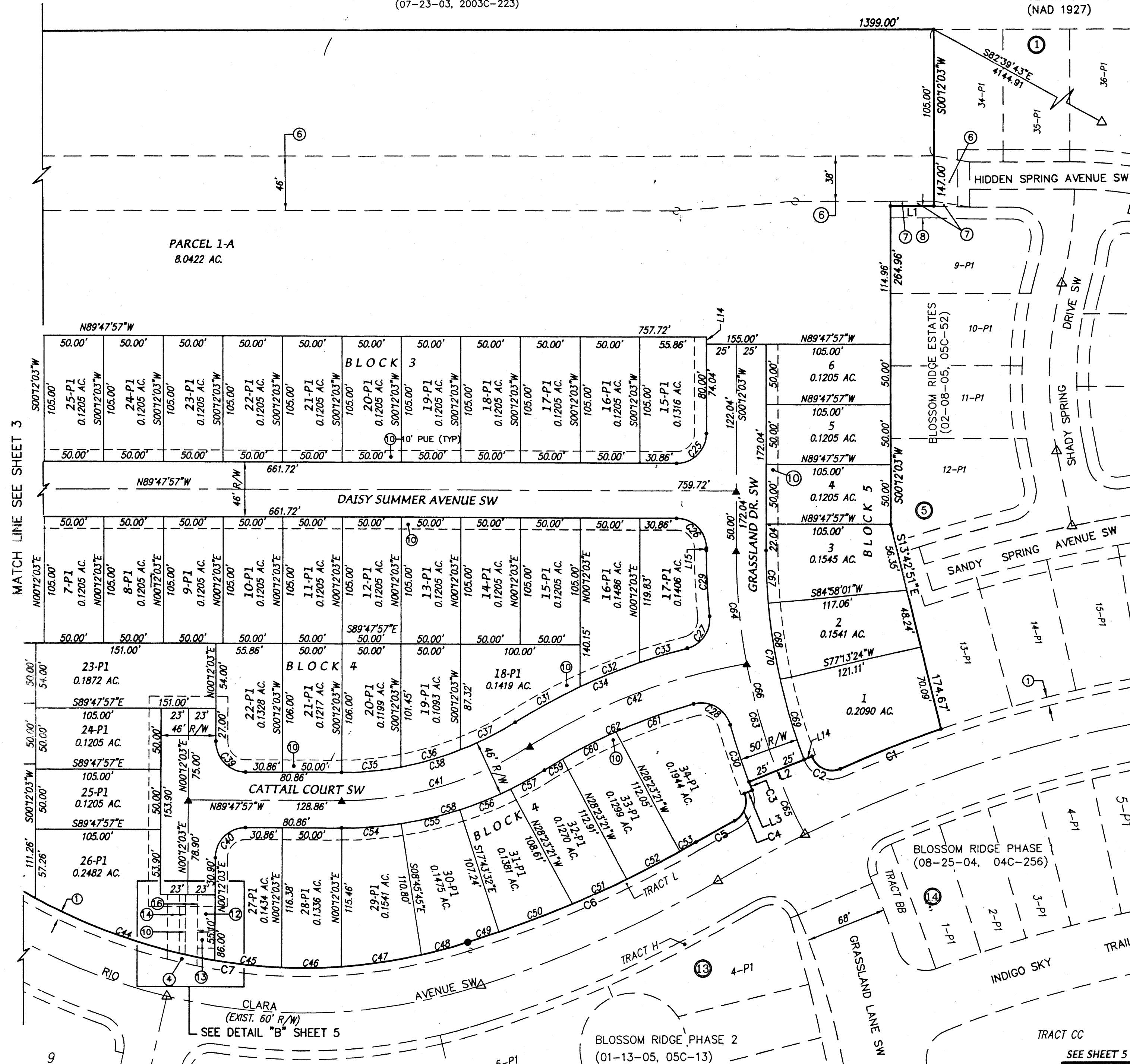
ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

Dwg: M-U2FPBASE.dwg	Drawn: RICHARD	Checked: ALS	Sheet 4 of 5
Scale: 1"=60'	Date: 09/16/05	Job: A02106	



MATCH LINE SEE SHEET 3

PARCEL 1-A
 8.0422 AC.

DAISY SUMMER AVENUE SW

CATTAIL COURT SW

CLARA
 (EXIST. 60' R/W)
 SEE DETAIL "B" SHEET 5

BLOSSOM RIDGE PHASE 2
 (01-13-05, 05C-13)

BLOSSOM RIDGE PHASE
 (08-25-04, 04C-256)

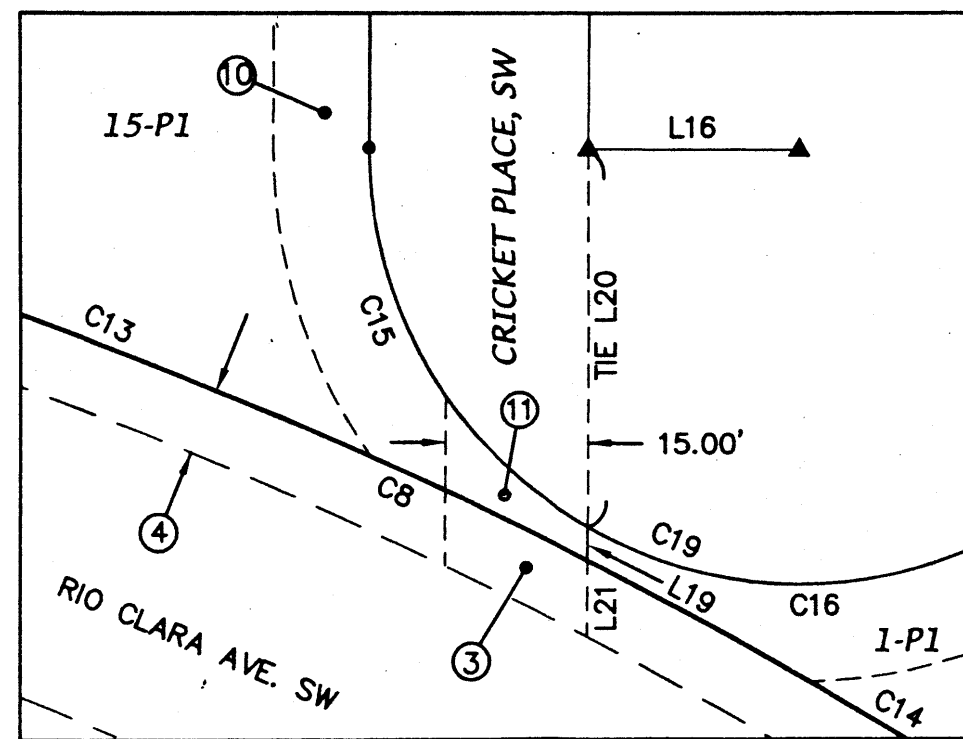
BSV2106A\FINAL PLAT\MEADOWS U-2\M-U2FPBASE.dwg, 9/16/2005 1:57:17 PM, PLOTTED BY: RDM

REVISED (08-25-05 RDQ) REVISED (09-16-05 RDQ)
 F:\A2106\FINAL PLAT\MEADOWS U-2\M-U2FPBASE (08-09-05 RDQ)

PLAT FOR
THE MEADOWS AT ANDERSON HILLS
UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2005

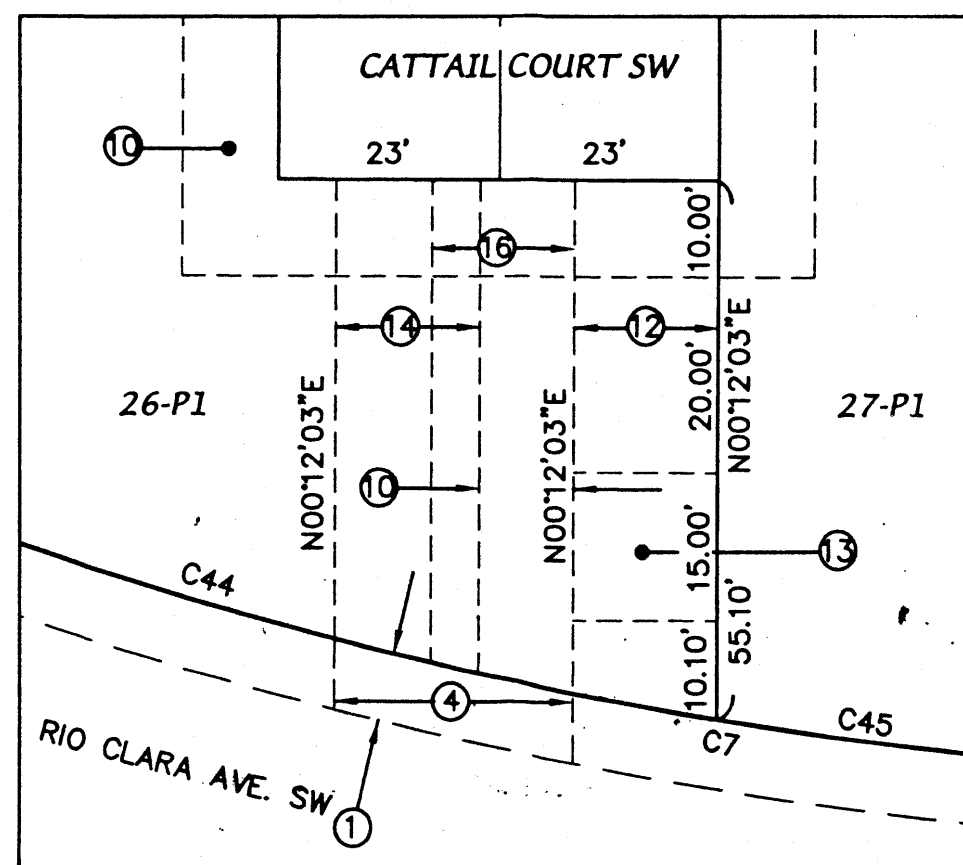
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	90.24	1139.00	4°32'23"	45.15	S69°13'41"W	90.22
C2	28.89	18.00	91°58'15"	18.63	S67°03'23"E	25.89
C3	7.43	525.00	0°48'40"	3.72	S21°28'35"E	7.43
C4	26.35	18.00	83°52'27"	16.17	N20°03'19"E	24.06
C5	37.01	1139.00	1°51'42"	18.51	S61°03'41"W	37.01
C6	209.15	961.00	12°28'11"	104.99	N66°21'56"E	208.74
C7	460.96	463.00	57°02'37"	251.62	S78°52'40"E	442.16
C8	338.70	537.00	36°08'16"	175.20	N68°25'30"W	333.11
C9	27.24	18.00	86°41'41"	16.99	S43°08'47"E	24.71
C10	28.27	18.00	90°00'00"	18.00	N45°12'03"E	25.46
C11	36.13	23.00	90°00'00"	23.00	S44°47'57"E	32.53
C12	81.85	537.00	8°43'59"	41.00	N82°07'38"W	81.77
C13	136.54	537.00	14°34'06"	68.64	N70°28'36"W	136.17
C14	120.31	537.00	12°50'11"	60.41	N56°46'27"W	120.06
C15	47.70	45.00	60°43'57"	26.37	S30°09'55"E	45.50
C16	59.15	45.00	75°18'35"	34.72	N81°48'49"E	54.98
C17	39.42	45.00	50°11'08"	21.07	N19°03'57"E	38.17
C18	48.67	45.00	61°58'06"	27.02	N37°00'40"W	46.33
C19	194.93	45.00	248°11'47"	66.47	N56°06'10"E	74.53
C20	19.35	25.00	44°20'27"	10.19	S45°49'30"E	18.87
C21	10.41	25.00	23°51'19"	5.28	S11°43'37"E	10.33
C22	29.76	25.00	68°11'47"	16.93	S33°53'50"E	28.03
C23	39.27	25.00	90°00'00"	25.00	S45°12'03"W	35.36
C24	39.27	25.00	90°00'00"	25.00	S44°47'57"E	35.36
C25	39.27	25.00	90°00'00"	25.00	N45°12'03"E	35.36
C26	39.27	25.00	90°00'00"	25.00	N44°47'57"W	35.36
C27	35.48	25.00	81°19'20"	21.47	N34°58'00"E	32.58
C28	39.02	25.00	89°25'04"	24.75	N60°26'30"W	35.18
C29	54.02	525.00	5°53'43"	27.03	S02°44'49"E	53.99
C30	56.34	525.00	6°08'57"	28.20	S18°48'27"E	56.32
C31	61.45	523.00	6°43'56"	30.76	S61°45'34"W	61.42
C32	54.00	523.00	5°54'55"	27.02	S68°05'00"W	53.97
C33	41.87	523.00	4°35'12"	20.95	S73°20'04"W	41.86
C34	157.32	523.00	17°14'04"	79.26	S67°00'38"W	156.72
C35	50.28	277.00	10°23'57"	25.21	N85°00'04"E	50.21
C36	52.03	277.00	10°45'47"	26.09	N74°25'12"E	51.96
C37	51.46	277.00	10°38'42"	25.81	N63°42'57"E	51.39
C38	153.77	277.00	31°48'26"	78.92	N74°17'49"E	151.81
C39	39.27	25.00	90°00'00"	25.00	S44°47'57"E	35.36
C40	39.27	25.00	90°00'00"	25.00	S45°12'03"W	35.36
C41	166.54	300.00	31°48'26"	85.48	N74°17'49"E	164.41
C42	195.25	500.00	22°22'27"	98.89	S69°34'50"W	194.01
C43	76.73	463.00	9°29'44"	38.45	S55°06'14"E	76.65
C44	160.42	463.00	19°51'05"	81.02	S70°53'17"E	159.62
C45	56.15	463.00	6°56'55"	28.11	S84°17'17"E	56.12
C46	50.03	463.00	6°11'29"	25.04	N89°08'30"E	50.01
C47	68.38	463.00	8°27'42"	34.25	N81°48'55"E	68.31
C48	40.27	463.00	4°59'02"	20.15	N75°05'33"E	40.26
C49	27.37	961.00	1°37'55"	13.69	N71°47'04"E	27.37
C50	66.06	961.00	3°56'18"	33.04	N68°59'57"E	66.05
C51	50.12	961.00	2°59'18"	25.07	N65°32'09"E	50.12
C52	50.01	961.00	2°58'54"	25.01	N62°33'03"E	50.01
C53	15.58	961.00	0°55'45"	7.79	N60°35'43"E	15.58
C54	50.53	323.00	8°57'47"	25.32	N85°43'09"E	50.48
C55	50.53	323.00	8°57'47"	25.32	N76°45'22"E	50.48
C56	45.99	323.00	8°09'31"	23.04	N68°11'43"E	45.96
C57	32.26	323.00	5°43'21"	16.14	N61°15'17"E	32.25
C58	179.31	323.00	31°48'26"	92.03	N74°17'49"E	177.02
C59	17.77	477.00	2°08'03"	8.89	S59°27'38"W	17.77
C60	50.05	477.00	6°00'43"	25.05	S63°32'01"W	50.03
C61	69.18	477.00	8°18'35"	34.65	S70°41'40"W	69.12
C62	137.00	477.00	16°27'21"	68.97	S66°37'17"W	136.53
C63	91.45	500.00	10°28'47"	45.85	S15°49'52"E	91.33
C64	94.18	500.00	10°47'31"	47.23	S05°11'43"E	94.04
C65	57.84	500.00	6°37'41"	28.95	S24°23'06"E	57.81
C66	243.47	500.00	27°53'59"	124.20	S13°44'57"E	241.07
C67	43.39	475.00	5°14'01"	21.71	S02°24'58"E	43.37
C68	64.20	475.00	7°44'37"	32.15	S08°54'17"E	64.15
C69	68.76	475.00	8°17'40"	34.44	S16°55'26"E	68.70
C70	176.35	475.00	21°16'18"	89.20	S10°26'06"E	175.34

LINE TABLE		
LINE	LENGTH	BEARING
L1	36.28	N89°47'57"W
L2	57.00	N68°55'44"E
L3	7.00	N68°07'05"E
L4	7.00	S89°47'57"E
L5	6.42	S00°12'03"W
L6	57.00	S89°47'57"E
L7	57.00	S89°47'57"E
L8	85.00	N89°47'57"W
L9	7.00	N89°47'57"W
L10	7.00	N89°47'57"W
L11	3.73	S00°12'03"W
L12	7.00	S89°47'57"E
L14	5.96	N00°12'03"E
L15	2.00	N00°12'03"E
L16	22.00	N89°47'57"W
L17	7.04	N00°12'03"E
L18	7.00	N68°55'44"E
L19	3.41	N89°47'57"W
L20	39.26	N00°12'03"E
L21	7.84	N00°12'03"E



DETAIL "A"

SCALE: 1"=20'

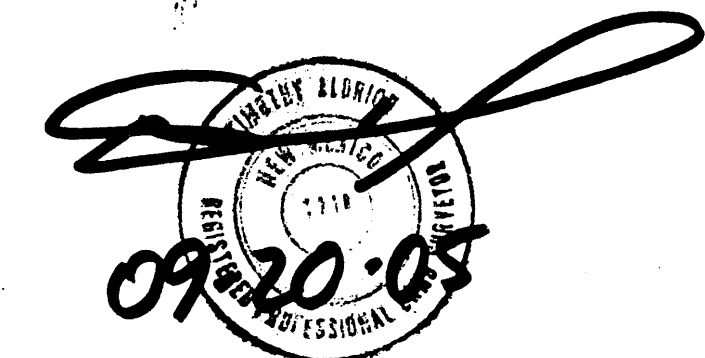


DETAIL "B"

SCALE: 1"=20'

NOTES:

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 BLOSSOM RIDGE ESTATES, (02-08-05, 05C-52)
 THE HIGHLANDS AT ANDERSON HILLS UN IT 3, (06-24-05, 05C-220)
 THE HIGHLANDS AT ANDERSON HILLS UN IT 2, (01-09-04, 04C-9)
 THE HIGHLANDS AT ANDERSON HILLS UN IT 1, (06-21-04, 04C-188)
 THE MEADOWS AT ANDERSON HILLS UNIT 1, (01-09-04, 04C-9)
 BULK LAND PLAT OF "ARROWOOD RANCH DEVELOPMENT, TRACTS A THRU I", (12-06-02, 02C-390)
 PLAT OF "LANDS OF SALAZAR-DAVIS", (05-06-86, C30-91)
 AMOLE-HUBBELL-BORREGA "DRAINAGE RIGHTS-OF-WAY (05-26-89, C39-59)
 PLAT OF "LARRY VIGIL WEST", (06-20-85, C27-123)
 all being records of Bernalillo County, New Mexico.
- Title Report: provided by Fidelity National Title, Commitment No.: 02-1024800-B-RAD (Effective Date: 11-07-02)
- Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4) Aluminum Cap stamped:
 "CITY OF ALBUQUERQUE
 CENTERLINE MONUMENTATION
 DO NOT DISTURB
 PLS 7719".
- No individual lots shall be allowed direct access to Rio Clara S.W. and 98th St. S.W.
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
- Tract S is to provide an additional 7' wide landscape area to be owned and maintained by the Anderson Hills Home Owners Association. This tract will also be encumbered with a blanket 7' wide PUE and Public Access and Sidewalk Easement.



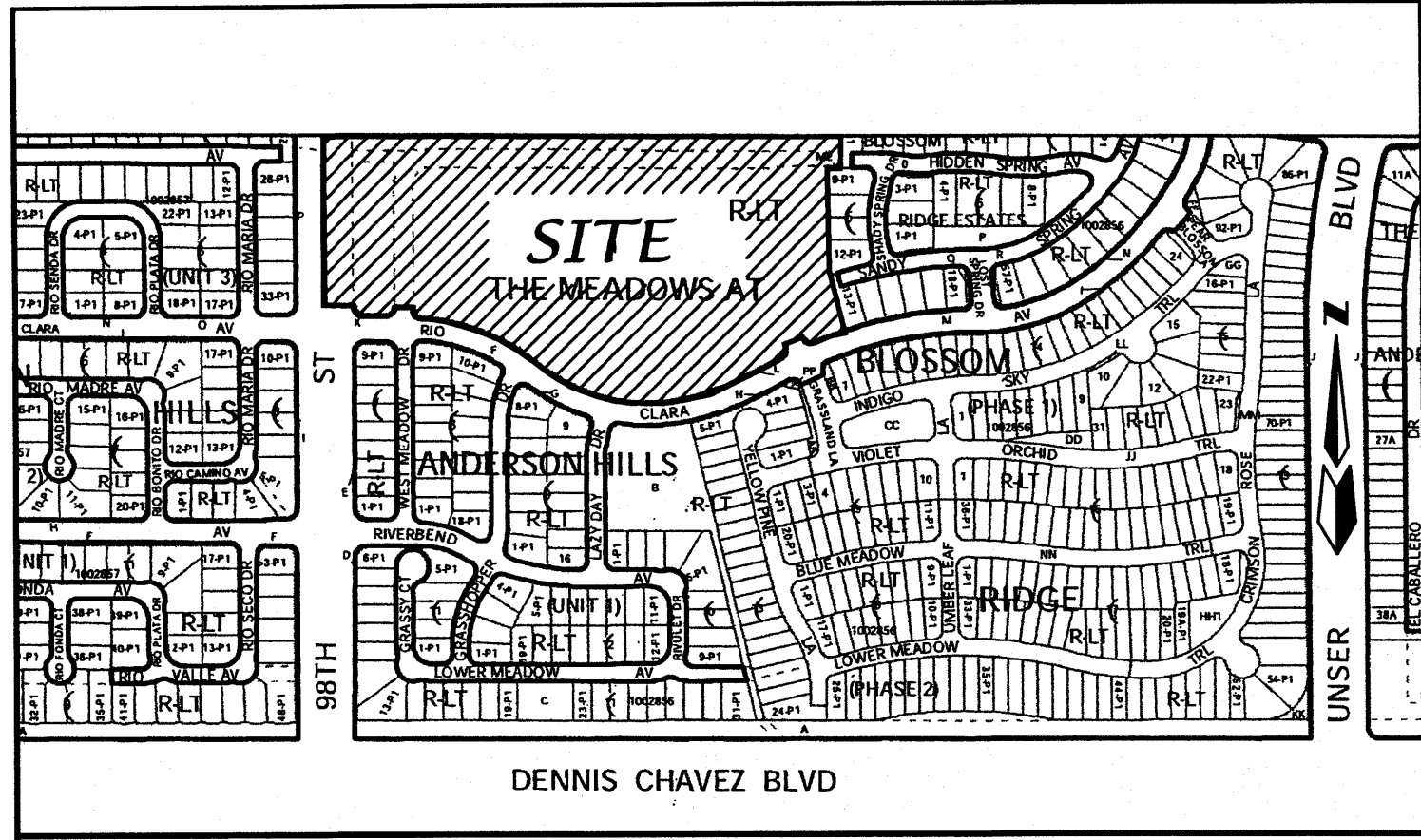
ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBUQ., N.M. 87190
505-884-1990

REVISED (08-25-05 RDQ) REVISED (09-16-05 RDQ)
F:\A2106\FINAL PLAT\MEADOWS U-2\M-U2FPBASE (08-09-05 RDQ)

Dwg: M-U2FPBASE.dwg	Drawn: RICHARD	Checked: ALS	Sheet 5 of 5
Scale: N/A	Date: 09/16/05	Job: A02106	

2005139130
6335178
Page: 5 of 5



PLAT FOR
THE MEADOWS AT ANDERSON HILLS
UNIT 2
 WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 9
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 August, 2005

LEGAL DESCRIPTION

A tract of land situate within the Town of Atasco Grant, projected Sections 9, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being all of PARCEL 1, MEADOWS AT ANDERSON HILLS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 9, 2004 in Book 2004C, Page 9, together with TRACT M-2, BLOCK 5, BLOSSOM RIDGE ESTATES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 8, 2005 in Book 2005C, Page 52 and containing 20.7310 acres, more or less.

NOTES

(SEE SHEET 5)

PURPOSE OF PLAT

1. Subdivide 1 Parcel and 1 Tract into 1 remnant parcel and 72 residential lots.
2. Grant easements as shown hereon.
3. Dedicate Right-of-Way as shown hereon.

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER PARCEL 1
 ANDERSON HILLS, LLC
 A New Mexico Limited Liability Company

BY: Rex Wilson DATE 8/11/05
 Rex Wilson, Manager

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on AUGUST 11, 2005
 By Rex Wilson, Manager of ANDERSON HILLS, LLC A New Mexico Limited Liability Company on behalf of said Company.

Susan Rasinski OFFICIAL SEAL
 NOTARY PUBLIC SUSAN RASINSKI MY COMMISSION EXPIRES
 NOTARY PUBLIC STATE OF NEW MEXICO
 My commission expires: _____

OWNER TRACT M-2
 ANDERSON HILLS HOMEOWNER'S ASSOCIATION

BY: Rex Wilson DATE 8/11/05
 Rex Wilson, Member

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on AUGUST 11, 2005
 By Rex Wilson, Member of ANDERSON HILLS HOMEOWNER'S ASSOCIATION on behalf of said Association.

Susan Rasinski OFFICIAL SEAL
 NOTARY PUBLIC SUSAN RASINSKI MY COMMISSION EXPIRES
 NOTARY PUBLIC STATE OF NEW MEXICO
 My commission expires: _____

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 100285/6

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services	_____	Date	_____
PNM Gas Services	_____	Date	_____
Qwest	_____	Date	_____
Comcast	_____	Date	_____
City Approvals:			
<u>Rex Wilson</u>		Date	<u>8-30-05</u>
City Surveyor		Date	_____
Real Property Division		Date	_____
Traffic Engineering, Transportation Division		Date	_____
Water Utility Department		Date	_____
Parks and Recreation Department		Date	_____
AMAFCA		Date	_____
City Engineer		Date	_____
DRB Chairperson, Planning Department		Date	_____

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich No. 719
 REGISTERED PROFESSIONAL LAND SURVEYOR
08-30-05
 Date

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

F:\A2106\FINAL PLAT\MEADOWS U-2\M-U2FPS1 (07-27-05 RDQ)

Dwg:	M-U2FPS1.dwg	Drawn:	RICHARD	Checked:	ALS	Sheet	1 of 5
Scale:	N/A	Date:	08/10/05	Job:	A02106		

LOCATION MAP

ZONE ATLAS P-9-Z
 SCALE: NONE

SUBDIVISION DATA

Gross Acreage 20.7310 Ac.
 Zone Atlas No. P-9-Z
 No. of Existing Tracts 2 Tract
 No. of Parcels/Lots created 1/72 Lots
 No. of Tracts eliminated 2 Tract
 Miles of full width streets created 0.46
 Miles of half width streets created 0.05
 Street Area dedicated to the City of Albuquerque 3.0958 Ac.
 Date of Survey October, 2002
 Utility Control Location System Log Number 2002450460
 Zoning RL T

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate. Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

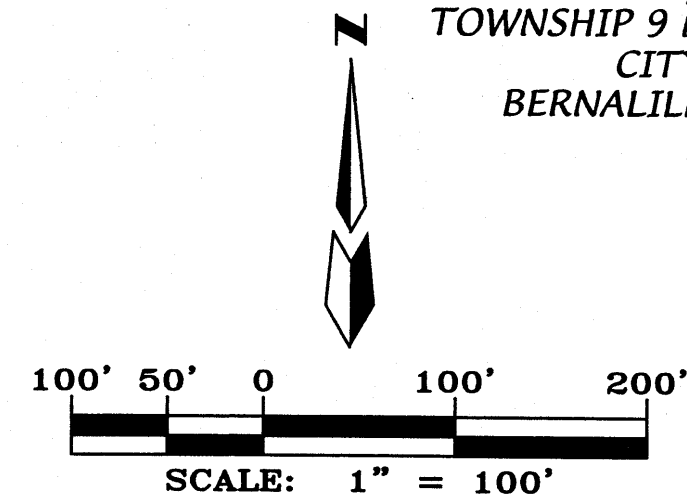
LINE DATA		
NUMBER	DIRECTION	DISTANCE
L1	N89°47'57"W	36.28
L2	N68°55'44"E	57.00
L3	N68°07'05"E	7.00
L4	S89°47'57"E	7.00
L5	S00°12'03"W	6.42
L6	S89°47'57"E	57.00
L7	S89°47'57"E	57.00
L8	N89°47'57"W	85.00

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	1139.00	90.24	4°32'23"	45.15	S69°13'41"W	90.22
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C3	525.00	7.43	0°48'40"	3.72	S21°28'35"E	7.43
C4	18.00	26.35	83°52'27"	16.17	N20°03'19"E	24.06
C5	1139.00	37.01	1°51'42"	18.51	S61°03'41"W	37.01
C6	961.00	209.15	12°28'11"	104.99	N66°21'56"E	208.74
C7	463.00	460.96	57°02'37"	251.62	S78°52'40"E	442.16
C8	537.00	338.70	36°08'16"	175.20	N68°25'30"W	333.11
C9	18.00	27.24	86°41'41"	16.99	S43°08'47"E	24.71
C10	18.00	28.27	90°00'00"	18.00	N45°12'03"E	25.46
C11	23.00	36.13	90°00'00"	23.00	S44°47'57"E	32.53

EASEMENTS

- EXISTING 7' LANDSCAPE EASEMENT & 7' PUE (01-09-04, 04C-9)
- EXISTING PUBLIC ROADWAY, DRAINAGE, WATER AND SANITARY SEWER EASEMENT (12-06-02, 02C-390)
- EXISTING 15' PUBLIC WATERLINE EASEMENT (09-07-04, 04C-279)
- EXISTING 25' PUBLIC WATERLINE EASEMENT AND PEDESTRIAN ACCESS EASEMENT (09-07-04, 04C-279)
- EXISTING 30' PUBLIC SANITARY SEWER AND WATERLINE EASEMENT (01-09-04, 04C-9)
- EXISTING PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (01-09-04, 04C-9)
- EXISTING PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (02-08-05, 05C-52)
- EXISTING 10' PUBLIC UTILITY EASEMENT (PUE) (02-08-05, 05C-52)

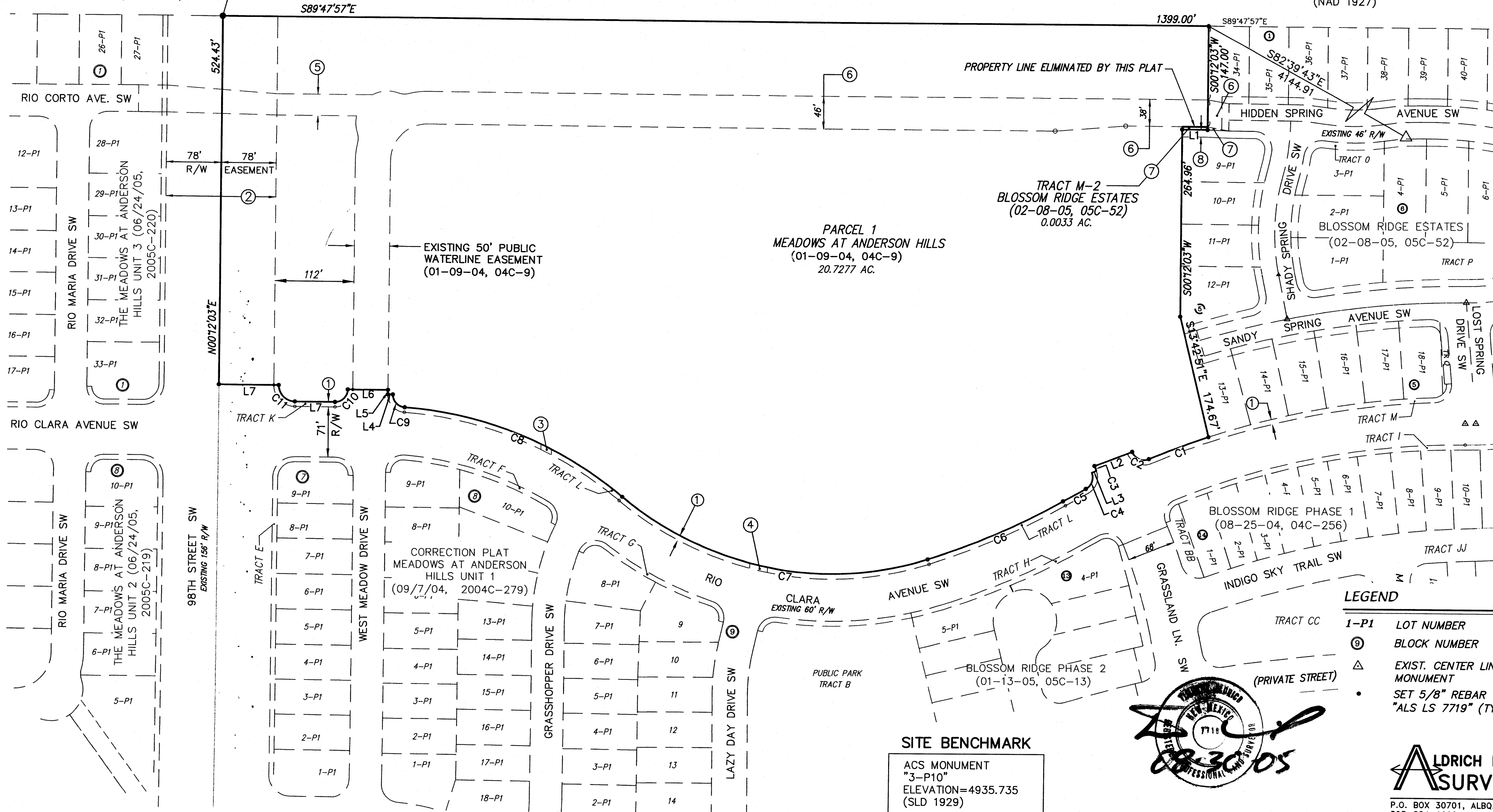
PLAT FOR
THE MEADOWS AT ANDERSON HILLS
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 August, 2005



ACS MONUMENT
 "2-P10"
 Y=1464349.24
 X=358414.13
 G-G=0.9996842
 Δα=-00°16'16"
 CENTRAL ZONE
 (NAD 1927)

TRACT A
 LANDS OF SALAZAR FAMILY TRUST
 SALAZAR QUATRO TRUST
 JSJ INVESTMENT COMPANY
 ANF FALBA HANNET
 (07-23-03, 2003C-223)

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927)



- LEGEND**
- 1-P1 LOT NUMBER
 - ⊙ BLOCK NUMBER
 - △ EXIST. CENTER LINE MONUMENT
 - SET 5/8" REBAR W/ CAP "ALS LS 7719" (TYP)

SITE BENCHMARK
 ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)



ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBUQUERQUE, N.M. 87190
 505-884-1990

F:\A02106\FINAL PLAT\MEADOWS U-2\M-U2FPS2.DWG, 8/25/2005 12:52:13 PM, PLOTTED BY RDQ

F:\A2106\FINAL PLAT\MEADOWS U-2\M-U2FPS2 (08-02-05 RDQ)

Dwg: M-U2FPS2.DWG	Drawn: RICHARD	Checked: ALS	Sheet 2 of 5
Scale: 1"=100'	Date: 08/25/05	Job: A02106	

PLAT FOR
THE MEADOWS AT ANDERSON HILLS
UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2005

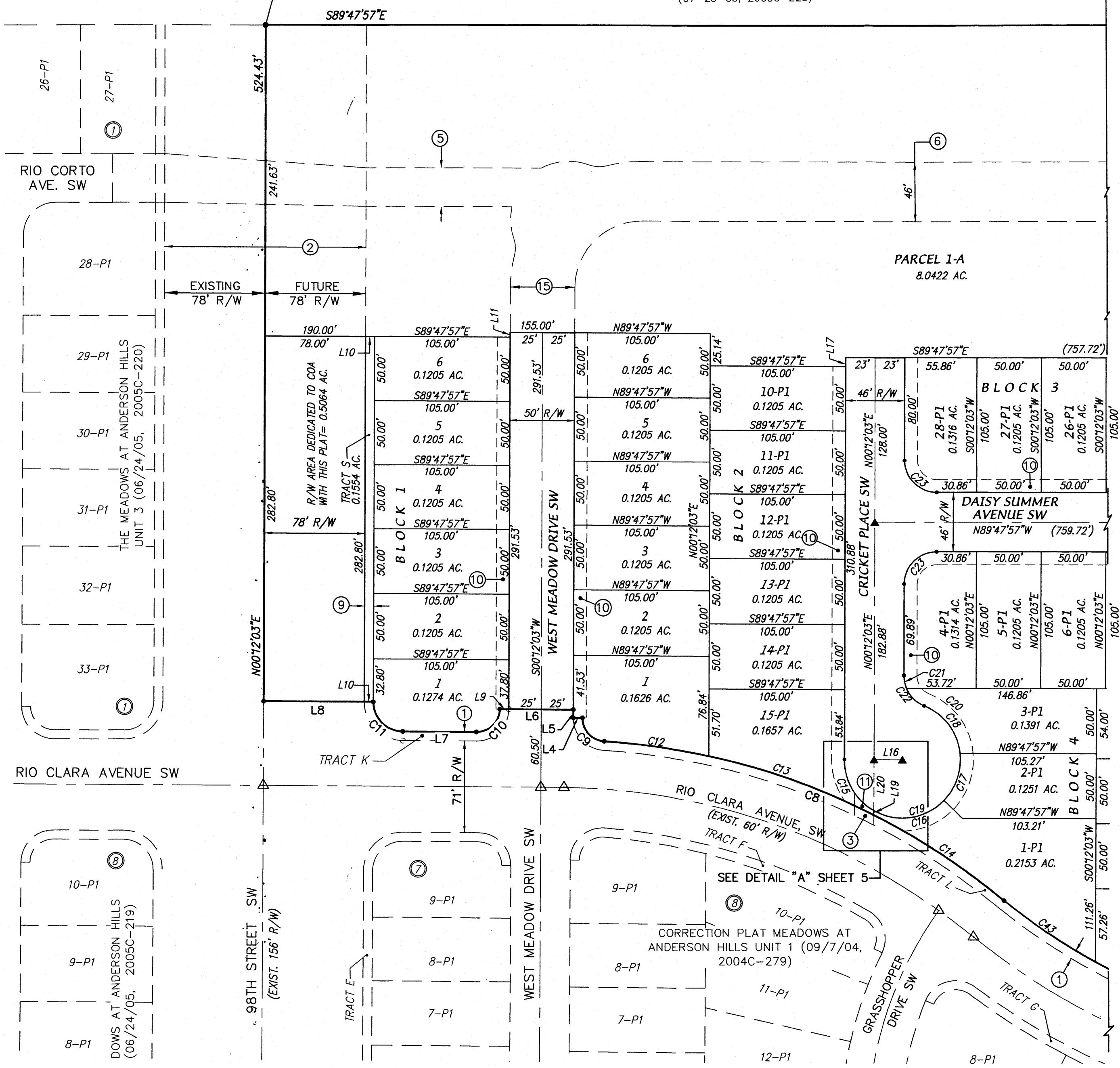
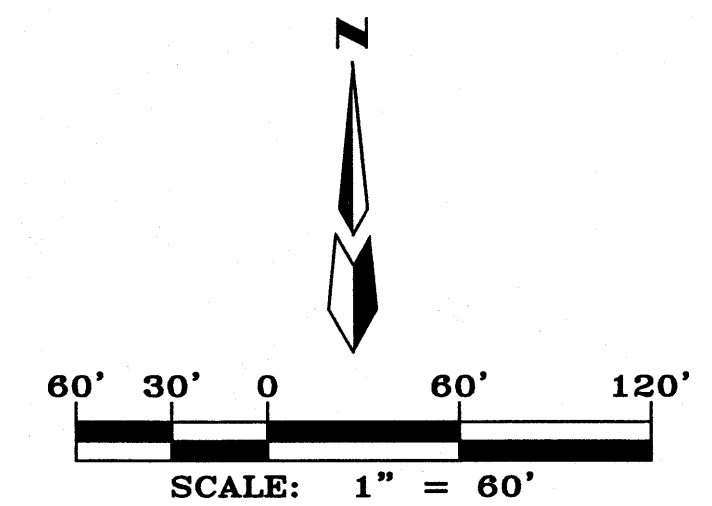
SITE BENCHMARK

ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

ALL STREETS SHOWN HEREON ARE
 HEREBY DEDICATED IN FEE SIMPLE
 WITH WARRANTY COVENANTS AS
 PUBLIC RIGHT-OF-WAY

TRACT A
 LANDS OF SALAZAR FAMILY TRUST
 SALAZAR QUATRO TRUST
 JSJ INVESTMENT COMPANY
 ANF FALBA HANNET
 (07-23-03, 2003C-223)

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927)



EASEMENTS

- ① EXISTING 7' LANDSCAPE EASEMENT & 7' PUE (01-09-04, 04C-9)
- ② EXISTING PUBLIC ROADWAY, DRAINAGE, WATER AND SANITARY SEWER EASEMENT (12-06-02, 02C-390)
- ③ EXISTING 15' PUBLIC WATERLINE EASEMENT (09-07-04, 04C-279)
- ④ EXISTING 25' PUBLIC WATERLINE EASEMENT AND PEDESTRIAN ACCESS EASEMENT (09-07-04, 04C-279)
- ⑤ EXISTING 30' PUBLIC SANITARY SEWER AND WATERLINE EASEMENT (01-09-04, 04C-9)
- ⑥ EXISTING PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (01-09-04, 04C-9)
- ⑦ EXISTING PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (02-08-05, 05C-52)
- ⑧ EXISTING 10' PUBLIC UTILITY EASEMENT (PUE) 02-08-05, 05C-52)
- ⑨ 7' LANDSCAPE EASEMENT AND 7' PUE GRANTED WITH THIS PLAT (SEE NOTE 10)
- ⑩ 10' PUE GRANTED WITH THIS PLAT.
- ⑪ 15' PUBLIC WATERLINE EASEMENT GRANTED TO THE ABCWUA WITH THIS PLAT
- ⑫ 15'x20' QWEST UTILITY EASEMENT GRANTED WITH THIS PLAT
- ⑬ 15'x15' PNM UTILITY EASEMENT GRANTED WITH THIS PLAT
- ⑭ 25' PUBLIC WATERLINE EASEMENT GRANTED TO THE ABCWUA AND 25' PEDESTRIAN ACCESS EASEMENT GRANTED TO THE COA WITH THIS PLAT
- ⑮ EXISTING 50' PUBLIC WATERLINE EASEMENT (01-09-04, 04C-9)



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

SEE SHEET 5 FOR CURVE AND LINE DATA

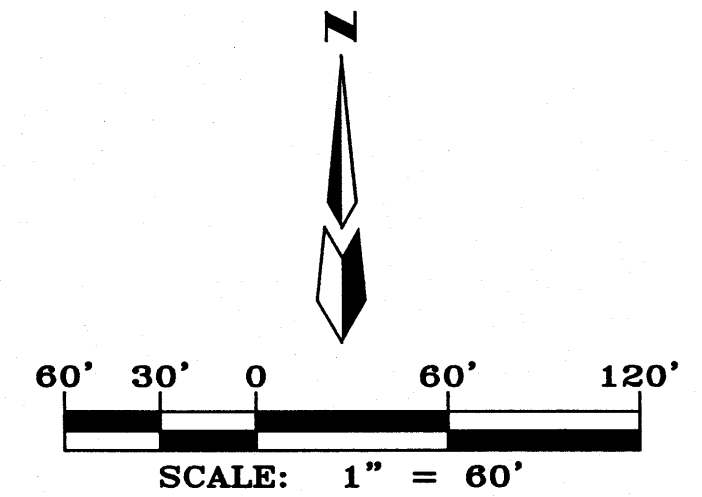
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Scale: 1"=60'	Date: 08/25/05	Job: A02106	

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TRACT A
 LANDS OF SALAZAR FAMILY TRUST
 SALAZAR QUATRO TRUST
 JSJ INVESTMENT COMPANY
 ANF FALBA HANNET
 (07-23-03, 2003C-223)

ACS MONUMENT
 "2-P10"
 Y=1464349.24
 X=358414.13
 G-G=0.9996842
 Δα=-00°16'16"
 CENTRAL ZONE
 (NAD 1927)

PLAT FOR
THE MEADOWS AT ANDERSON HILLS
UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2005



ABBREVIATIONS

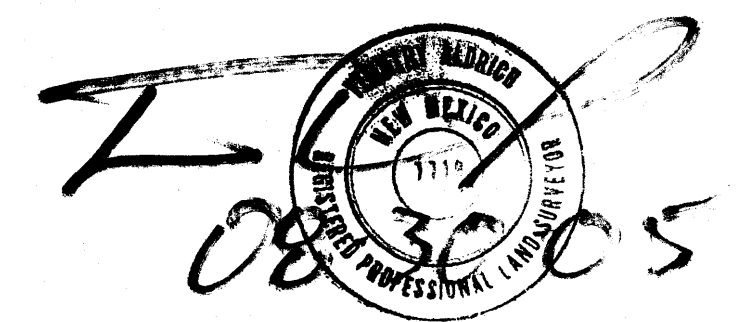
- PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
- R/W = RIGHT-OF-WAY
- COA = CITY OF ALBUQUERQUE
- ABCWUA = ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY

LEGEND

- 1-P1 LOT NUMBER
- ⊙ BLOCK NUMBER
- △ EXIST. CENTER LINE MONUMENT
- ▲ CENTER LINE MONUMENT
- SET 5/8" REBAR W/ CAP "ALS LS 7719" (TYP)

SITE BENCHMARK

ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

SEE SHEET 5 FOR CURVE AND LINE DATA

REVISED (08-25-05 RDQ)	Dwg: M-U2FPBASE.dwg	Drawn: RICHARD	Checked: ALS	Sheet 4 of 5
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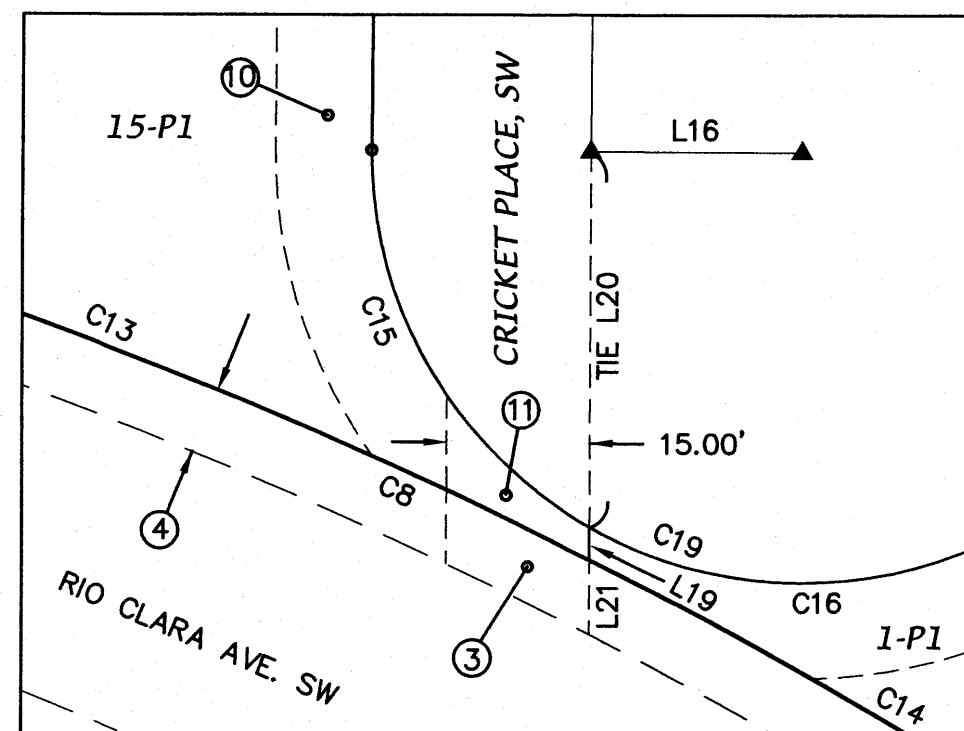
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**PLAT FOR
THE MEADOWS AT ANDERSON HILLS
UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 9
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2005**

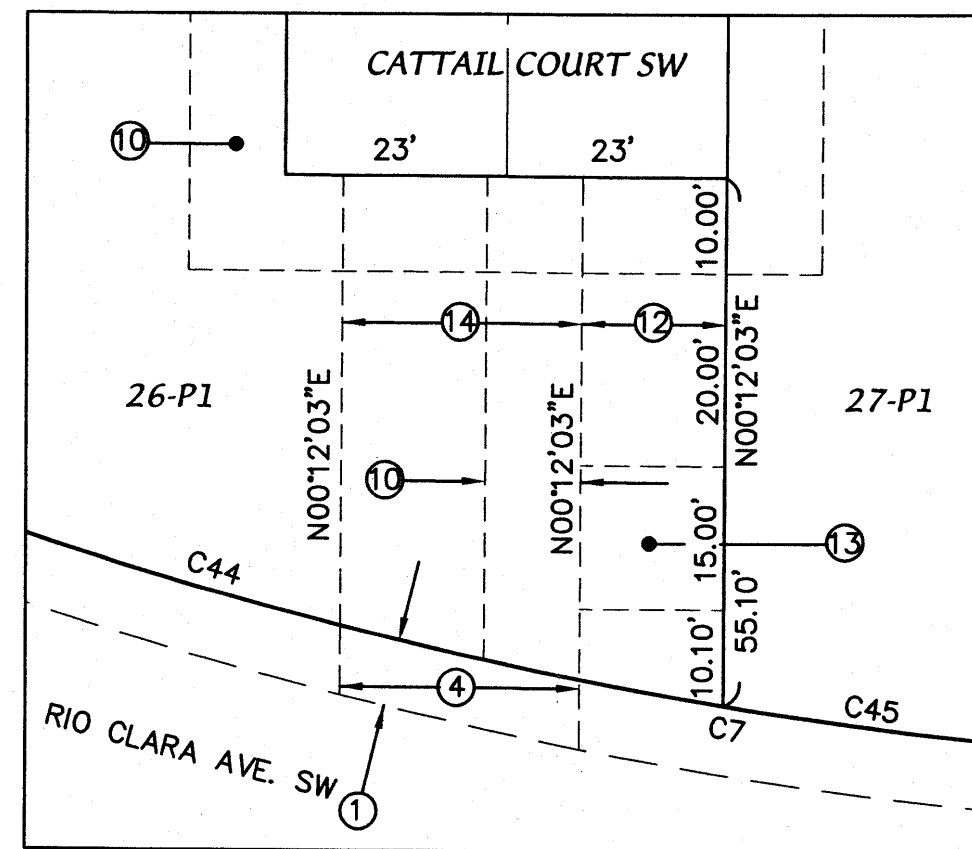
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	90.24	1139.00	4°32'23"	45.15	S69°13'41"W	90.22
C2	28.89	18.00	91°58'15"	18.63	S67°03'23"E	25.89
C3	7.43	525.00	0°48'40"	3.72	S21°28'35"E	7.43
C4	26.35	18.00	83°52'27"	16.17	N20°03'19"E	24.06
C5	37.01	1139.00	1°51'42"	18.51	S61°03'41"W	37.01
C6	209.15	961.00	12°28'11"	104.99	N66°21'56"E	208.74
C7	460.96	463.00	57°02'37"	251.62	S78°52'40"E	442.16
C8	338.70	537.00	36°08'16"	175.20	N68°25'30"W	333.11
C9	27.24	18.00	86°41'41"	16.99	S43°08'47"E	24.71
C10	28.27	18.00	90°00'00"	18.00	N45°12'03"E	25.46
C11	36.13	23.00	90°00'00"	23.00	S44°47'57"E	32.53
C12	81.85	537.00	8°43'59"	41.00	N82°07'38"W	81.77
C13	136.54	537.00	14°34'06"	68.64	N70°28'36"W	136.17
C14	120.31	537.00	12°50'11"	60.41	N56°46'27"W	120.06
C15	47.70	45.00	60°43'57"	26.37	S30°09'55"E	45.50
C16	59.15	45.00	75°18'35"	34.72	N81°48'49"E	54.98
C17	39.42	45.00	50°11'08"	21.07	N19°03'57"E	38.17
C18	48.67	45.00	61°58'06"	27.02	N37°00'40"W	46.33
C19	194.93	45.00	248°11'47"	66.47	N56°06'10"E	74.53
C20	19.35	25.00	44°20'27"	10.19	S45°49'30"E	18.87
C21	10.41	25.00	23°51'19"	5.28	S11°43'37"E	10.33
C22	29.76	25.00	68°11'47"	16.93	S33°53'50"E	28.03
C23	39.27	25.00	90°00'00"	25.00	S45°12'03"W	35.36
C24	39.27	25.00	90°00'00"	25.00	S44°47'57"E	35.36
C25	39.27	25.00	90°00'00"	25.00	N45°12'03"E	35.36
C26	39.27	25.00	90°00'00"	25.00	N44°47'57"W	35.36
C27	35.48	25.00	81°19'20"	21.47	N34°58'00"E	32.58
C28	39.02	25.00	89°25'04"	24.75	N60°26'30"W	35.18
C29	54.02	525.00	5°53'43"	27.03	S02°44'49"E	53.99
C30	56.34	525.00	6°08'57"	28.20	S18°48'27"E	56.32
C31	61.45	523.00	6°43'56"	30.76	S61°45'34"W	61.42
C32	54.00	523.00	5°54'55"	27.02	S68°05'00"W	53.97
C33	41.87	523.00	4°35'12"	20.95	S73°20'04"W	41.86
C34	157.32	523.00	17°14'04"	79.26	S67°00'38"W	156.72
C35	50.28	277.00	10°23'57"	25.21	N85°00'04"E	50.21
C36	52.03	277.00	10°45'47"	26.09	N74°25'12"E	51.96
C37	51.46	277.00	10°38'42"	25.81	N63°42'57"E	51.39
C38	153.77	277.00	31°48'26"	78.92	N74°17'49"E	151.81
C39	39.27	25.00	90°00'00"	25.00	S44°47'57"E	35.36
C40	39.27	25.00	90°00'00"	25.00	S45°12'03"W	35.36
C41	166.54	300.00	31°48'26"	85.48	N74°17'49"E	164.41
C42	195.25	500.00	22°22'27"	98.89	S69°34'50"W	194.01
C43	76.73	463.00	9°29'44"	38.45	S55°06'14"E	76.65
C44	160.42	463.00	19°51'05"	81.02	S70°53'17"E	159.62
C45	56.15	463.00	6°56'55"	28.11	S84°17'17"E	56.12
C46	50.03	463.00	6°11'29"	25.04	N89°08'30"E	50.01
C47	68.38	463.00	8°27'42"	34.25	N81°48'55"E	68.31
C48	40.27	463.00	4°59'02"	20.15	N75°05'33"E	40.26
C49	27.37	961.00	1°37'55"	13.69	N71°47'04"E	27.37
C50	66.06	961.00	3°56'18"	33.04	N68°59'57"E	66.05
C51	50.12	961.00	2°59'18"	25.07	N65°32'09"E	50.12
C52	50.01	961.00	2°58'54"	25.01	N62°33'03"E	50.01
C53	15.58	961.00	0°55'45"	7.79	N60°35'43"E	15.58
C54	50.53	323.00	8°57'47"	25.32	N85°43'09"E	50.48
C55	50.53	323.00	8°57'47"	25.32	N76°45'22"E	50.48
C56	45.99	323.00	8°09'31"	23.04	N68°11'43"E	45.96
C57	32.26	323.00	5°43'21"	16.14	N61°15'17"E	32.25
C58	179.31	323.00	31°48'26"	92.03	N74°17'49"E	177.02
C59	17.77	477.00	2°08'03"	8.89	S59°27'38"W	17.77
C60	50.05	477.00	6°00'43"	25.05	S63°32'01"W	50.03
C61	69.18	477.00	8°18'35"	34.65	S70°41'40"W	69.12
C62	137.00	477.00	16°27'21"	68.97	S66°37'17"W	136.53
C63	91.45	500.00	10°28'47"	45.85	S15°49'52"E	91.33
C64	94.18	500.00	10°47'31"	47.23	S05°11'43"E	94.04
C65	57.84	500.00	6°37'41"	28.95	S24°23'06"E	57.81
C66	243.47	500.00	27°53'59"	124.20	S13°44'57"E	241.07
C67	43.39	475.00	5°14'01"	21.71	S02°24'58"E	43.37
C68	64.20	475.00	7°44'37"	32.15	S08°54'17"E	64.15
C69	68.76	475.00	8°17'40"	34.44	S16°55'26"E	68.70
C70	176.35	475.00	21°16'18"	89.20	S10°26'06"E	175.34

LINE TABLE		
LINE	LENGTH	BEARING
L1	36.28	N89°47'57"W
L2	57.00	N68°55'44"E
L3	7.00	N68°07'05"E
L4	7.00	S89°47'57"E
L5	6.42	S00°12'03"W
L6	57.00	S89°47'57"E
L7	57.00	S89°47'57"E
L8	85.00	N89°47'57"W
L9	7.00	N89°47'57"W
L10	7.00	N89°47'57"W
L11	3.73	S00°12'03"W
L12	7.00	S89°47'57"E
L14	5.96	N00°12'03"E
L15	2.00	N00°12'03"E
L16	22.00	N89°47'57"W
L17	7.04	N00°12'03"E
L18	7.00	N68°55'44"E
L19	3.41	S00°12'03"W
L20	39.26	N00°12'03"E
L21	7.84	N00°12'03"E



DETAIL "A"

SCALE: 1"=20'



DETAIL "B"

SCALE: 1"=20'

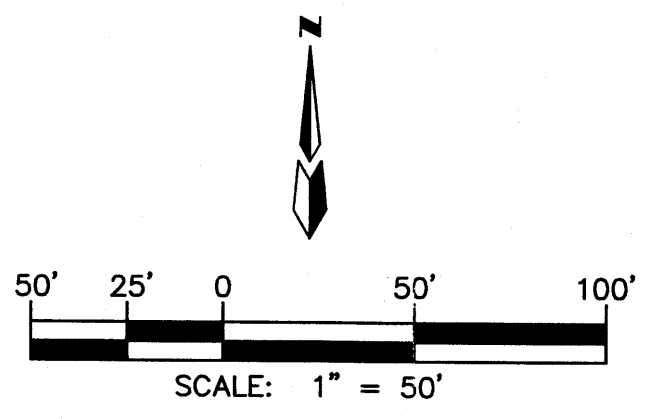
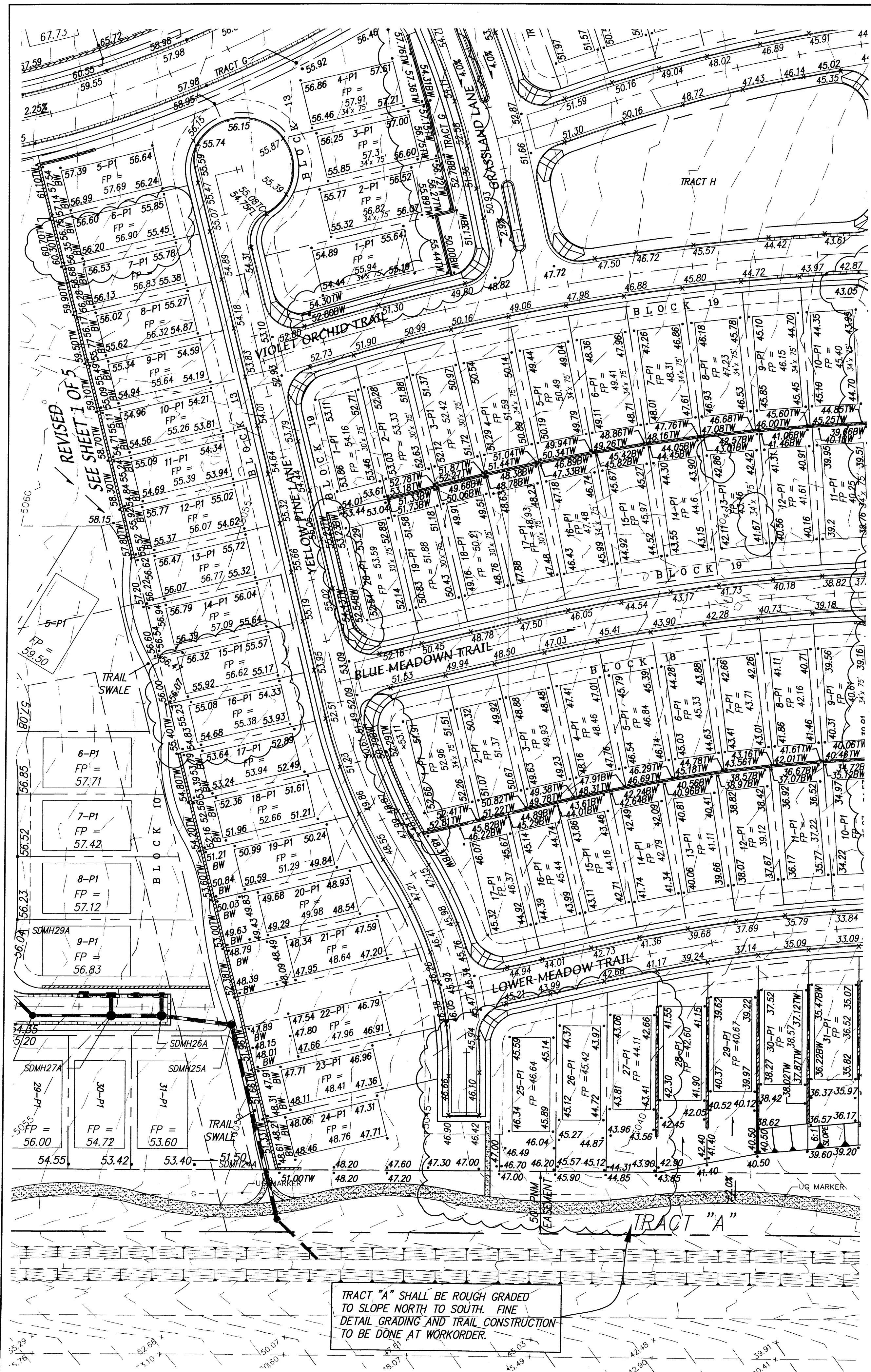
NOTES:

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 BLOSSOM RIDGE ESTATES, (02-08-05, 05C-52)
 THE HIGHLANDS AT ANDERSON HILLS UN IT 3, (06-24-05, 05C-220)
 THE HIGHLANDS AT ANDERSON HILLS UN IT 2, (01-09-04, 04C-9)
 THE HIGHLANDS AT ANDERSON HILLS UN IT 1, (06-21-04, 04C-188)
 THE MEADOWS AT ANDERSON HILLS UNIT 1, (01-09-04, 04C-9)
 BULK LAND PLAT OF "ARROWOOD RANCH DEVELOPMENT, TRACTS A THRU I", (12-06-02, 02C-390)
 PLAT OF "LANDS OF SALAZAR-DAVIS", (05-06-86, C30-91)
 AMOLE-HUBBELL-BORREGA "DRAINAGE RIGHTS-OF-WAY (05-26-89, C39-59)
 PLAT OF "LARRY VIGIL WEST", (06-20-85, C27-123)
 all being records of Bernalillo County, New Mexico.
- Title Report: provided by Fidelity National Title, Commitment No.: 02-1024800-B-RAD (Effective Date: 11-07-02)
- Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped:
 "CITY OF ALBUQUERQUE
 CENTERLINE MONUMENTATION
 DO NOT DISTURB
 PLS 7719".
- No individual lots shall be allowed direct access to Rio Clara S.W. and 98th St. S.W.
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
- Tract S is to provide an additional 7' wide landscape area to be owned and maintained by the Anderson Hills Home Owners Association. This tract will also be encumbered with a blanket 7' wide PUE and Public Access and Sidewalk Easement.



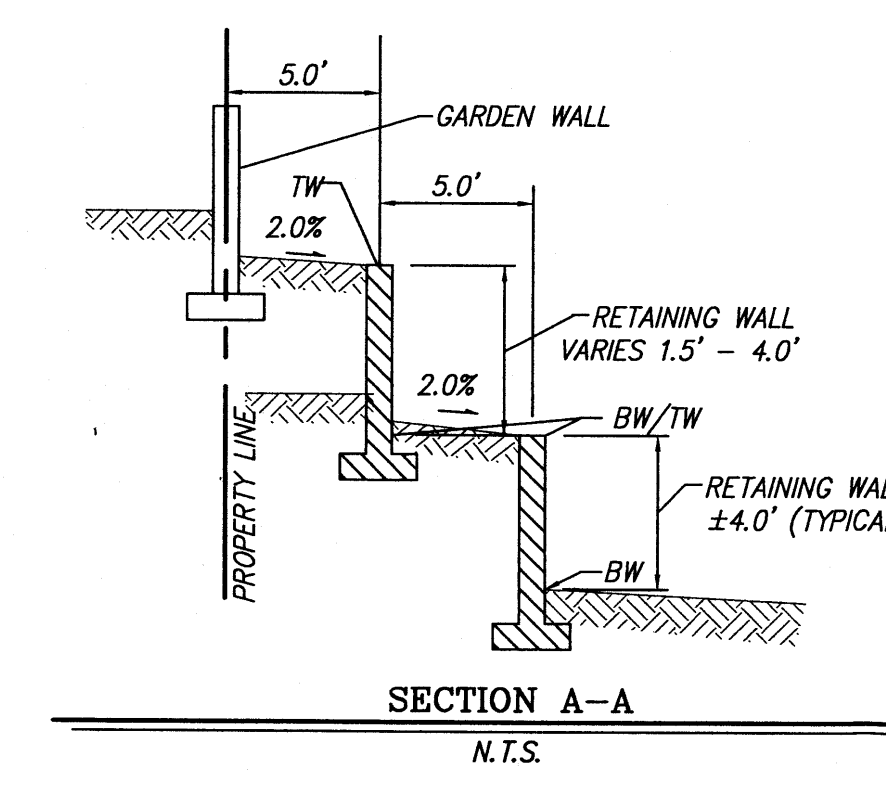
ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

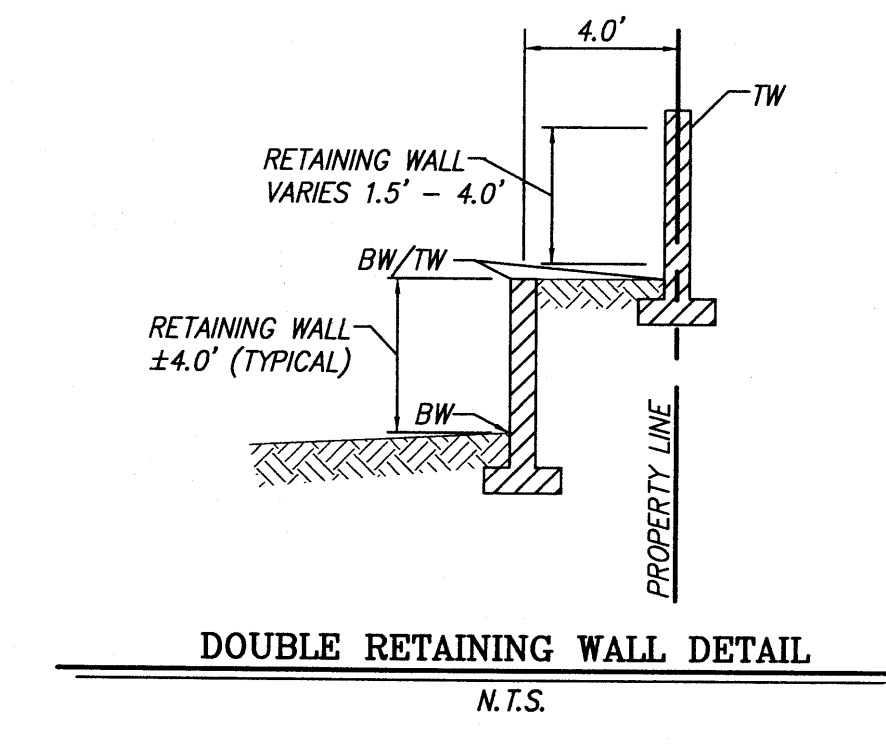


NOTES

1. A PERIMETER CMU WALL WILL BE CONSTRUCTED AROUND THE ENTIRE SITE.

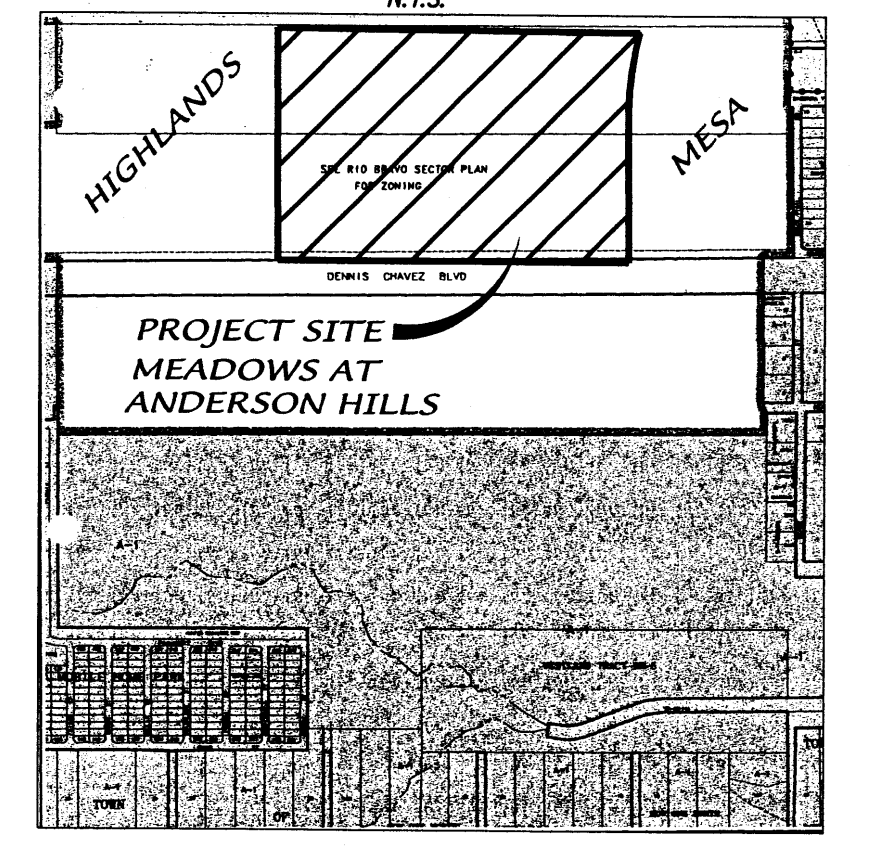


SECTION A-A
N.T.S.



DOUBLE RETAINING WALL DETAIL
N.T.S.

VICINITY MAP ZONE ATLAS MAP P-9-Z



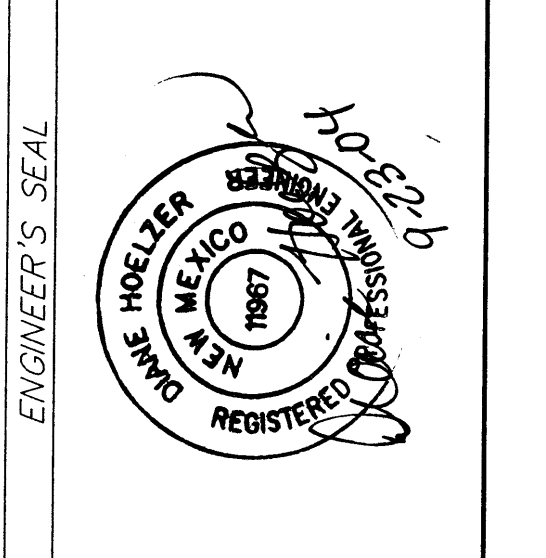
N.T.S.

AS-BUILT INFORMATION

CONTRACTOR	DATE
WORK STAGED BY	DATE
FIELD ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	NO.

SURVEY INFORMATION

FIELD NOTES	DATE
BY	
NO.	



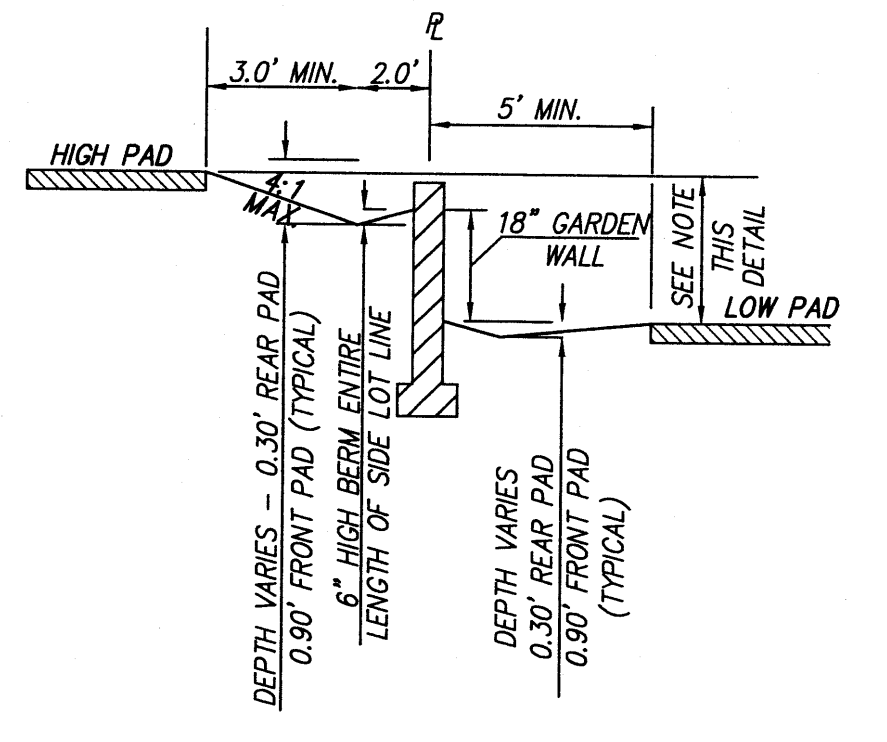
REVISIONS

NO.	DATE	BY	REMARKS

DESIGNED BY: DLH DATE: 1/03
 DRAWN BY: NHE DATE: 1/03
 CHECKED BY: DMG DATE: 1/03

LEGEND

- ===== PROPOSED STANDARD CURB & GUTTER
- ===== PROPOSED MOUNTABLE CURB & GUTTER
- ===== PROPOSED SIDEWALK
- 45.50 PROPOSED SPOT ELEVATION/FLOWLINE ELEVATION
- 45.83 PROPOSED TOP OF CURB ELEVATION
- FP = 50.0 PROPOSED FINISHED PAD ELEVATION
- PROPOSED DIRECTION OF FLOW
- ===== PROPOSED SLOPE
- ===== PROPOSED RETAINING WALL
- ===== EXISTING PAVEMENT
- ===== PROPOSED STORM DRAIN INLET
- ===== PROPOSED STORM DRAIN
- ===== EXISTING CHANNEL



*PAD TO PAD < 1.5', SECTION B-B
 CONSTRUCT GARDEN WALL
 N.T.S.

*PAD TO PAD > 1.5', SECTION B-B
 CONSTRUCT RETAINING WALL
 N.T.S.

SIDEYARD DETAIL
N.T.S.

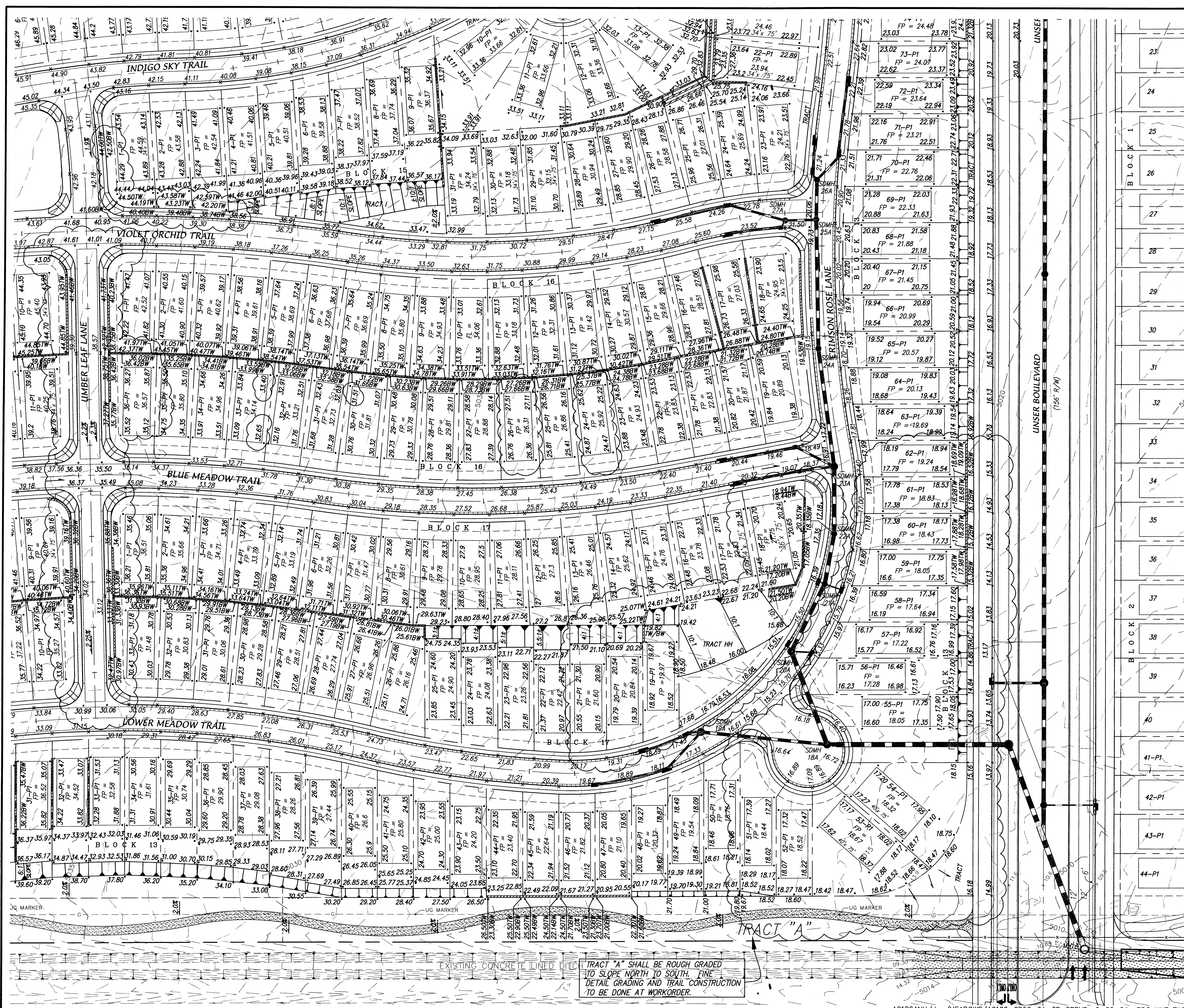
APPROVED ROUGH GRADING ±18" CITY HYDROLOGY DATE

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 797-9539

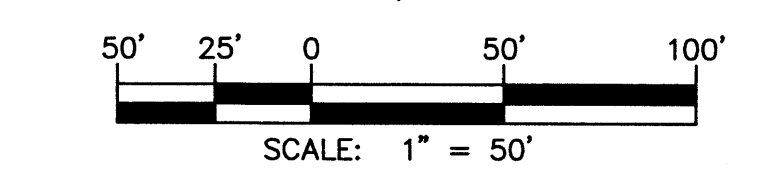
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

MEADOWS AT ANDERSON HILLS UNITS 3A, 3B & 4 GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.



NOTES
 1. SEE SIDE YARD GRADING DETAIL SHEET 3.
 2. SEE DOUBLE RETAINING WALL DETAIL SHEET 3.



dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **MEADOWS AT ANDERSON HILLS**
UNITS 3A, 3B & 4
GRADING & DRAINAGE PLAN

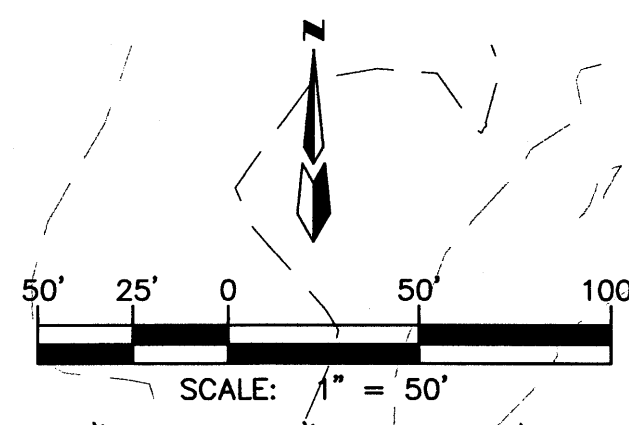
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

DESIGNED BY: DLH DATE: 1/03
 DRAWN BY: NHE DATE: 1/03
 CHECKED BY: DMG DATE: 1/03

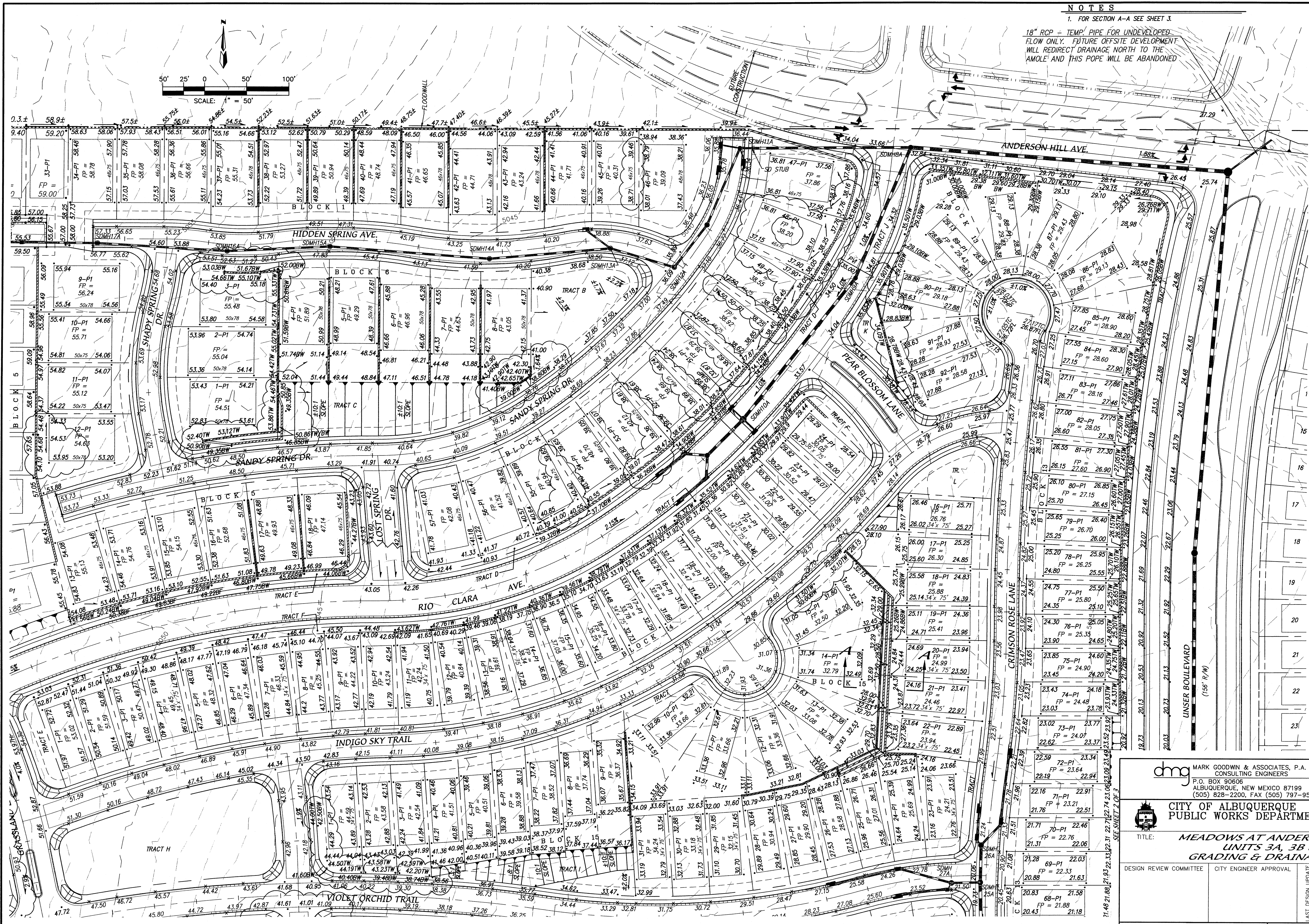
CITY PROJECT NO. _____ ZONE MAP NO. **P-9** SHEET **4** OF **5**

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION		
NO.	DATE	NO.	BY	CONTRACTOR	WORK BY	DATE	DATE	
				STATION "2-PI0" IS LOCATED 4.9 MI SW OF DOWNTOWN ALBUQUERQUE TO REACH STATION FROM INT. OF GOORS AND DENIS GAVIEZ BLVD. (FORMERLY RIO BRAVO), GO N. ON GOORS 0.1 MI. TO FLORA VISTA AND GO WEST ON FLORA VISTA 0.5 MI. TO CONDERSHIRE, THEN GO S. ON CONDERSHIRE 0.4 MI. TO A POINT APPROX. 50 FT. W. OF THE STATION. STATION MARK IS AN ACS 3/4" ALUM CAP STAMPED "2-PI0, 1987" RIVETED TO A PIPE PROJECTING 0.25 FT ABOVE THE GROUND. X=35841.13, Y=1464349.24 (NAD 27) Z=4991 (NGVD 29).	CONTRACTOR	INSPECTOR'S SIGNATURE	DATE	DATE
					DATE	DATE	DATE	





NOTES
 1. FOR SECTION A-A SEE SHEET 3.
 18" RCP - TEMP. PIPE FOR UNDEVELOPED FLOW ONLY. FUTURE OFFSITE DEVELOPMENT WILL REDIRECT DRAINAGE NORTH TO THE AMOLE AND THIS PIPE WILL BE ABANDONED



AS-BUILT INFORMATION		CONTRACTOR	
CONTRACTOR	MARK GOODWIN & ASSOCIATES, P.A.	DATE	1/03
WORK PERFORMED	GRADING AND DRAINAGE	DATE	1/03
DESIGNED BY	DMG	DATE	1/03
DRAWN BY	NHE	DATE	1/03
CHECKED BY	DMG	DATE	1/03

SURVEY INFORMATION		ENGINEER'S SEAL	
NO.	15	DATE	1/03
BY	DMG	REMARKS	REVISIONS
		DATE	DATE
		DMG	DMG

BENCH MARKS	
STATION	2-PI-10
DESCRIPTION	TO REACH STATION FROM INT. OF COORS. AND DENIS CHAVEZ BLVD. (FORMERLY RIO BRAVO), GO N. ON COORS D.I. MI. TO FLORA VISTA AND GO WEST ON FLORA VISTA 0.5 MI. TO CONDERSHIRE, THEN GO S. ON CONDERSHIRE 0.4 MI. TO A POINT APPROX. 50 FT. W. OF THE STATION. STATION MARK IS AN AICS 3 1/4" ALUM CHC STAMPED "2-PI-10, 1987" RIVETED TO A PIPE PROJECTING 0.25 FT ABOVE THE GROUND. X=358413.13, Y=1464349.24 (NAD 27) Z=4991 (NGVD 29).

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT

TITLE: **MEADOWS AT ANDERSON HILLS**
UNITS 3A, 3B & 4
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

LAST DESIGN UPDATE

CITY PROJECT NO. _____ ZONE MAP NO. **P-9** SHEET **5** OF **5**

A2106ANH/dwg/MEADOWS/A2106-GD50-3A-3B-5REV2 9-22-04 ACH RDQ NHE TAS
 1/03/2004 2:12:48 PM

AMENDED PRELIMINARY PLAT
THE MEADOWS AT ANDERSON HILLS
UNITS 2 AND 5
BLOSSOM RIDGE PHASE 2 (AKA UNIT 3B)
BLOSSOM RIDGE ESTATES (AKA UNIT 4)

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 8, 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER 2004
APPROVED BY DRB
 ON 12/1/04

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 8, 9, and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being all of PARCELS 1, 2 AND 5, MEADOWS AT ANDERSON HILLS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 9, 2004 in Book 2004C, Page 9 together with LOT 19, BLOCK 17 AND TRACT HH, BLOSSOM RIDGE PHASE 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 25, 2004 in Book 2004C, Page 256 and containing 48.56 acres, more or less.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS \circ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED "ALS LS 7719" (TYP.).
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS \blacktriangle . WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
 "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
 "DO NOT DISTURB"
 PS#7719"
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- TRACTS O THRU T ARE FOR LANDSCAPE PURPOSES AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION
- TRACT KK IS HEREBY ENCUMBERED WITH PUBLIC SANITARY SEWER, WATER AND DRAINAGE EASEMENTS GRANTED TO THE CITY OF ALBUQUERQUE AND TO BE MAINTAINED BY THE CITY OF ALBUQUERQUE. TRACT KK IS HEREBY CREATED FOR UNRESTRICTED PRIVATE ACCESS TO ALL LOT OWNERS OF THIS SUBDIVISION AND IS TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- DISCLOSURE STATEMENT FOR EXISTING PNM GAS LINE: WITH THE EXCEPTION OF AREAS LOCATED WITHIN THE FUTURE RIGHTS-OF-WAY OF UNSER BOULEVARD, SW AND 98TH STREET, SW, THE SOUTHEAST CORNER OF TRACT H AND A FUTURE SANITARY SEWER CROSSING LOCATED APPROXIMATELY 470 FEET WEST OF THE SOUTHWEST CORNER OF TRACT 14, ANY IMPROVEMENTS ENCROACHING INTO EXISTING PNM NATURAL GAS LINE EASEMENTS SHALL NOT INTERFERE WITH NOR INHIBIT PNM'S ABILITY TO OPERATE AND MAINTAIN ITS GAS LINE FACILITIES. THE PROPERTY OWNER OR PERSON OR BUSINESS RESPONSIBLE FOR ANY ENCROACHMENT SHALL PAY FOR ALL PNM UTILITY RELOCATIONS OR MODIFICATIONS CAUSED BY SUCH EASEMENT ENCROACHMENTS.

SUBDIVISION DATA

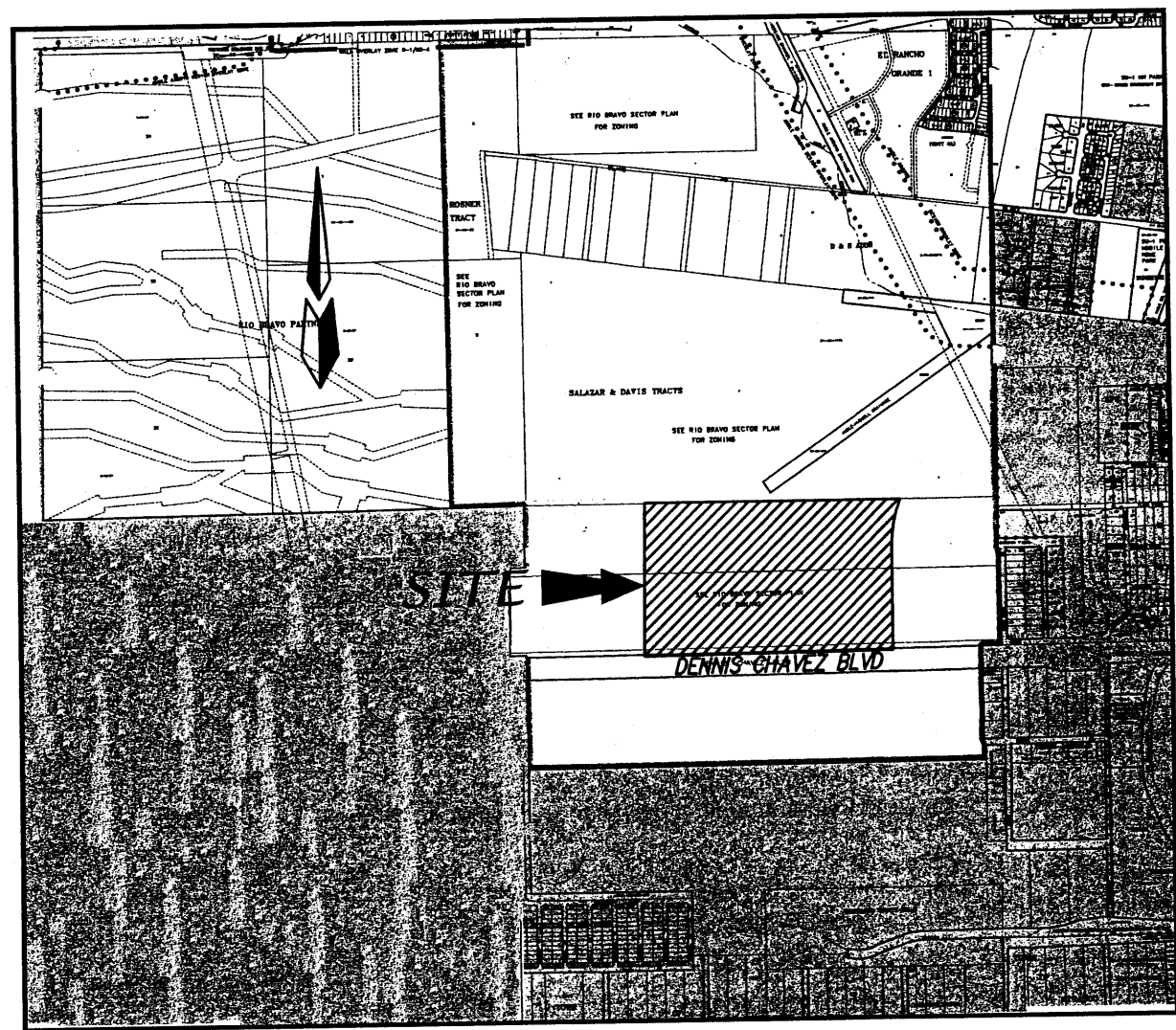
GROSS ACREAGE	48.5600 AC
ZONE ATLAS NO.	N-9-Z P-9-Z
NO. OF LOTS CREATED - UNIT 2	72 LOTS
NO. OF LOTS CREATED - UNIT 3B	120 LOTS
NO. OF LOTS CREATED - UNIT 4	42 LOTS
NO. OF LOTS CREATED - UNIT 5	46 LOTS
TOTAL NO. OF LOTS CREATED	280 LOTS
NO. OF TRACTS CREATED	7 TRACTS
NO. OF EXISTING PARCELS	3 PARCELS
NO. OF PARCELS ELIMINATED	3 PARCELS
NO. OF EXISTING LOTS/TRACTS	1 LOT/1 TRACT
NO. OF LOTS/TRACTS ELIMINATED	1 LOT/1 TRACT
AREA DEDICATED TO CITY	9.9399 AC±
PARK DEDICATION (UNIT 1)	2.5630 AC
ZONING	RLT
DATE OF SURVEY	OCTOBER 2002

PURPOSE OF PLAT

- SUBDIVIDE THREE PARCELS, ONE TRACT AND 1 LOT INTO 280 RESIDENTIAL LOTS AND 7 TRACTS.
- DEDICATE RIGHT-OF-WAY AS SHOWN.
- GRANT NEW EASEMENTS AS SHOWN.

EASEMENTS

- EXISTING 156' PUBLIC WATERLINE EASEMENT (09-25-02, BK. A42, PG. 2469)
- EXISTING 156' PUBLIC WATERLINE EASEMENT (09-25-02, BK. A42, PG. 2470)
- EXISTING 156' PUBLIC C.O.A. WATERLINE EASEMENT (10-18-02, BK. A43, PG. 4894)
- EXISTING 7' LANDSCAPE EASEMENT & 7' PUE (01-09-04, 04C-9)
- EXISTING 156' PUBLIC INGRESS/EGRESS, WATER AND SANITARY SEWER EASEMENT (04-17-01, BK. A18 - PG.457)
- EXISTING PUBLIC SANITARY SEWER AND WATERLINE EASEMENT (01-09-04, 04C-9)
- EXISTING PRIVATE ACCESS EASEMENT TO BENEFIT PARCEL 5 (01-09-04, 04C-9)
- EXISTING PUBLIC ROADWAY, DRAINAGE, WATER AND SANITARY SEWER EASEMENT (12-06-02, 02C-390)
- 40' PUBLIC SANITARY SEWER, WATERLINE & DRAINAGE EASEMENT (01-09-04, 04C-9)
- PROPOSED 78' PUBLIC RIGHT-OF-WAY (WITH UNIT 1)
- PROPOSED 15' PUBLIC WATERLINE EASEMENT (WITH UNIT 1 PLATTING)
- PROPOSED 25' PUBLIC WATERLINE EASEMENT AND PEDESTRIAN ACCESS EASEMENT (WITH UNIT 1 PLATTING)
- PROPOSED 20' PUBLIC DRAINAGE EASEMENT (WITH UNIT 1 PLATTING)
- PROPOSED 38' PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (WITH UNIT 1 PLATTING)
- EXISTING 30' PUBLIC SANITARY SEWER AND WATERLINE EASEMENT (01-09-04, 04C-9)
- EXISTING PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (01-09-04, 04C-9)
- EXISTING 25' PUBLIC SANITARY SEWER AND WATERLINE EASEMENT (01-09-04, 04C-9)
- 15' PUBLIC WATERLINE EASEMENT GRANTED WITH THIS PLAT
- 25' PUBLIC WATERLINE EASEMENT AND PEDESTRIAN ACCESS EASEMENT GRANTED WITH THIS PLAT
- 7' LANDSCAPE EASEMENT AND 7' PUE GRANTED WITH THIS PLAT
- EXISTING 60' PUBLIC ROADWAY, DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT (01-09-04, 04C-9)

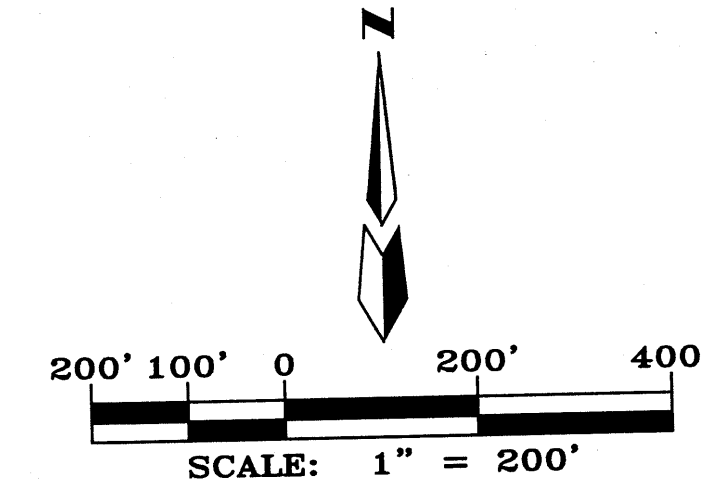
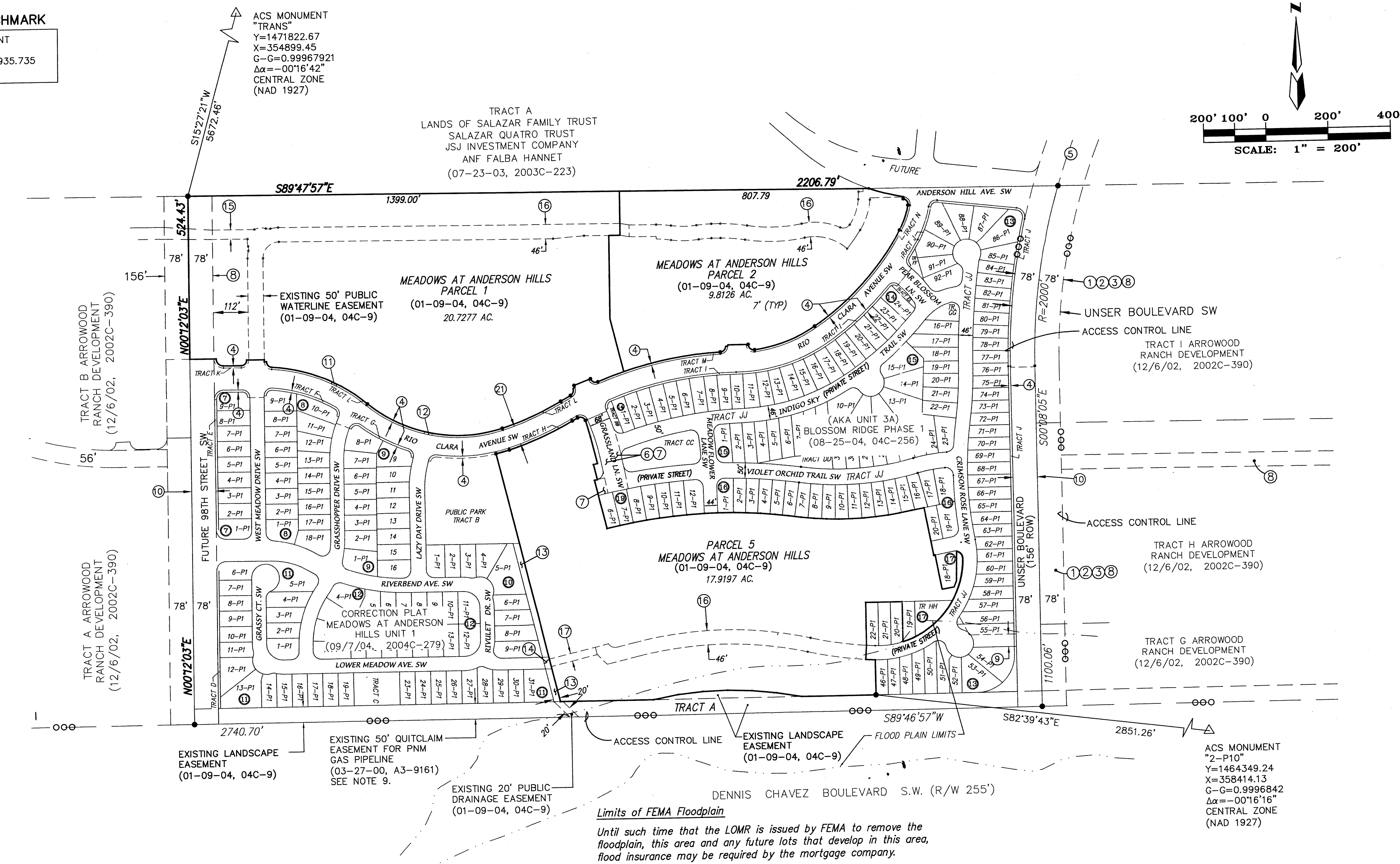


ZONE ATLAS: N-9-Z & P-9-Z

SITE BENCHMARK

ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00'16"42"
 CENTRAL ZONE
 (NAD 1927)



ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

OWNERS

ANDERSON HILLS, LLC
 PO BOX 12277-9470
 ALBUQUERQUE, N.M. 87195 87119
 (505) 822-5562

SURVEYOR

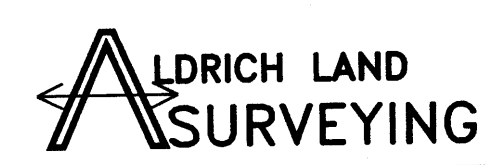
ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190
 (505) 884-1990

REX WILSON
 Managing Member, Anderson Hills, LLC
 DATE 11-10-2004

J. MARK FERGUSON
 Division President, D.R. HORTON, INC.
 DATE 11-23-04

APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature]
 City Surveyor, City of Albuquerque, N.M.
 Date 11-23-04



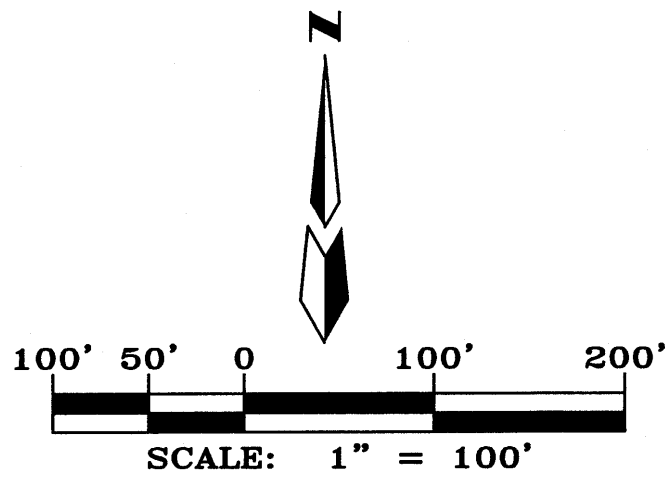
P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

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Scale: 1"=200'	Date: 11/09/04	Job: A02106	

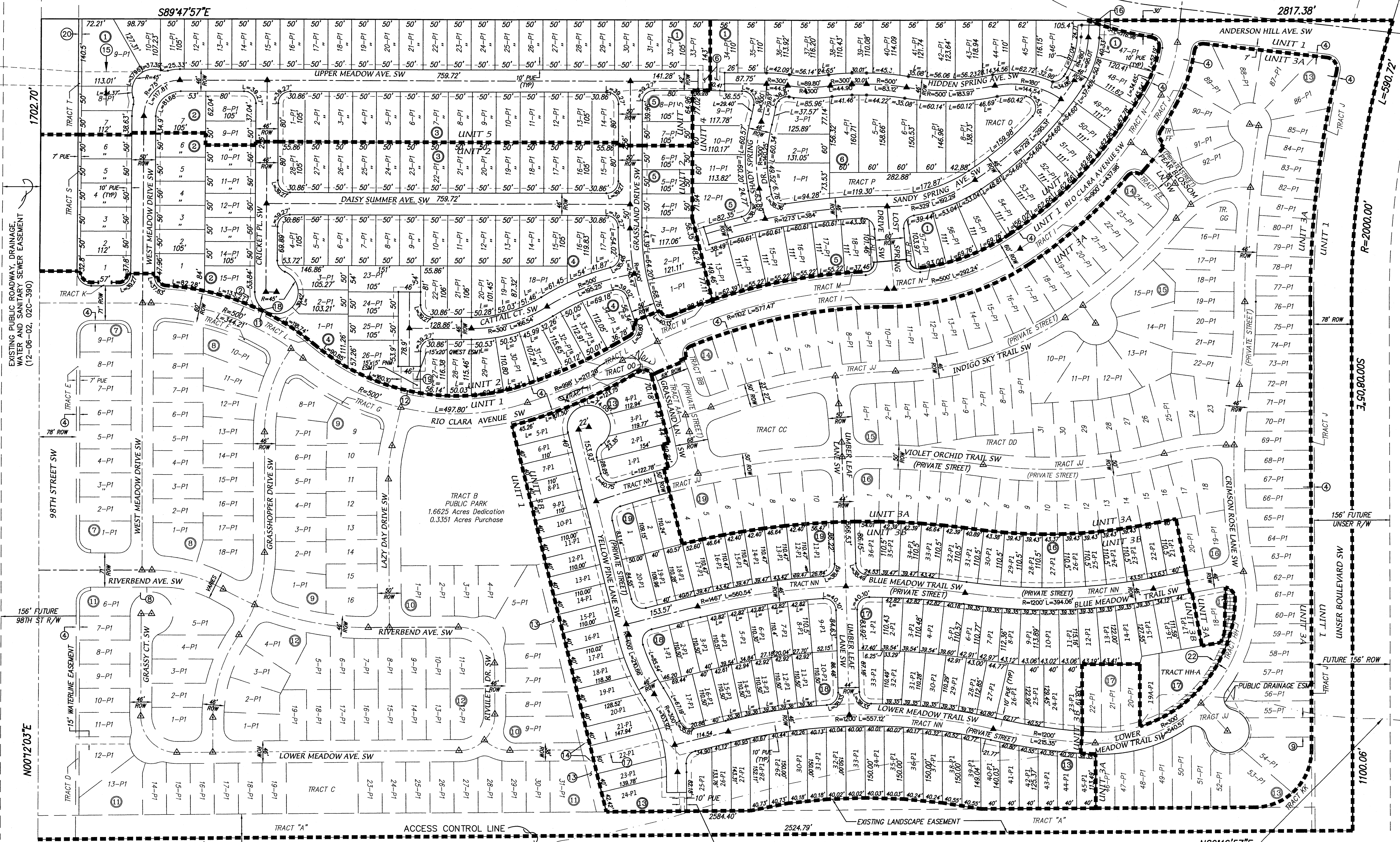
AMENDED PRELIMINARY PLAT
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 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2004

LEGEND

- 1 LOT NUMBER
- Ⓜ BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- △ EXISTING CENTER LINE MONUMENT
- RIGHT-OF-WAY
- UNIT LINE
- UNIT 2 UNIT NUMBER



TRACT A
 LANDS OF SALAZAR FAMILY TRUST
 SALAZAR QUATRO TRUST
 JSJ INVESTMENT COMPANY AND FALBA HANNET
 (07-23-03, 03C-223)



- EASEMENTS**
- 1 EXISTING 156' PUBLIC WATERLINE EASEMENT (09-25-02, BK. A42, PG. 2469)
 - 2 EXISTING 156' PUBLIC WATERLINE EASEMENT (09-25-02, BK. A42, PG. 2470)
 - 3 EXISTING 156' PUBLIC C.O.A. WATERLINE EASEMENT (10-18-02, BK. A43, PG. 4894)
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 - 19 25' PUBLIC WATERLINE EASEMENT AND PEDESTRIAN ACCESS EASEMENT GRANTED WITH THIS PLAT
 - 20 7' LANDSCAPE EASEMENT AND 7' PUE GRANTED WITH THIS PLAT
 - 21 EXISTING 60' PUBLIC ROADWAY, DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT (01-09-04, 04C-9)
 - 22 EXISTING CLEAR SIGHT EASEMENT (HATCHED AREA) - NO OBSTRUCTION (LANDSCAPING BETWEEN THE HEIGHT OF 3.0' TO 7.0') (08-25-04, 04C-256)

EXISTING 50' QUITCLAIM EASEMENT FOR PNM GAS PIPELINE (03-27-00, A3-9161)

DENNIS CHAVEZ BOULEVARD S.W. (R/W 255')

Limits of FEMA Floodplain
 Until such time that the LOMR is issued by FEMA to remove the floodplain, this area and any future lots that develop in this area, flood insurance may be required by the mortgage company.

FLOOD PLAIN LIMITS

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

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