

LOCATION MAP

ZONE ATLAS N-9-Z & P-9-Z

SCALE: NONE

SUBDIVISION DATA

Gross Acreage 42.1309 Ac.
 Zone Atlas No. N-9-Z & P-9-Z
 No. of Existing Tracts 3 Tracts
 No. of Tracts/Lots/Parcels created 3 Tracts/101 Lots/1 Parcel
 No. of Tracts eliminated 3 Tracts
 Miles of full width streets created 0.80
 Miles of half width streets created 0.44
 Street Area dedicated to the City of Albuquerque 8.3185 Ac.
 Date of Survey October, 2002
 Utility Control Location System Log Number 2002450460
 Zoning R-2, ~~Other~~

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways and parks shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: ANDERSON HILLS, LLC
 A New Mexico Limited Liability Company

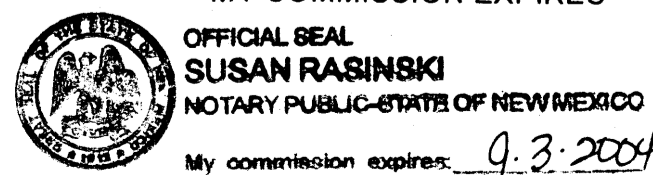
BY: Robert Lupton 5-17-04
 Robert Lupton, Manager DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on June 17, 2004
 By Robert Lupton, Manager of ANDERSON HILLS, LLC A New Mexico Limited Liability Company on behalf of said Company.

Susan Rasinski 9.3.2004
 NOTARY PUBLIC MY COMMISSION EXPIRES



LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide 3 Existing Tracts into 3 Tracts, 101 Residential lots and 1 Parcel.
2. Grant easements as shown hereon.
3. Dedicate Right-of-Way as shown hereon.
4. Dedicate Public Park as shown hereon.
5. Vacate Easements as shown hereon.

PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2004

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002858

Application Number: _____

PLAT APPROVAL

Utility Approvals:

<u>[Signature]</u> PNM Electric Services	<u>7/23/2004</u> Date
<u>[Signature]</u> PNM Gas Services	<u>7/23/2004</u> Date
<u>[Signature]</u> Qwest	<u>7-22-04</u> Date
<u>[Signature]</u> Comcast	<u>7-23-04</u> Date

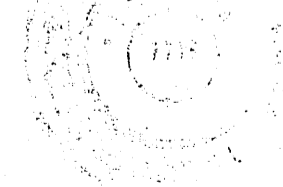
City Approvals:

<u>[Signature]</u> City Surveyor	<u>7-12-04</u> Date
Real Property Division	Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature] 06-30-04
 Timothy Aldrich P.S. No. 7719 Date



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

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NOTES:

1. Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:

 BULK LAND PLAT OF "ARROWOOD RANCH DEVELOPMENT, TRACTS A THRU I", (12-06-02, 02C-390)

 PLAT OF "LANDS OF SALAZAR-DAVIS", (05-06-86, C30-91)

 AMOLE-HUBBELL-BORREGA "DRAINAGE RIGHTS-OF-WAY (05-26-89, C39-59)

 PLAT OF "LARRY VIGIL WEST", (06-20-85, C27-123)

 all being records of Bernalillo County, New Mexico.
5. Title Report: provided by Fidelity National Title, Commitment No.: 02-1024800-B-RAD (Effective Date: 11-07-02)
6. Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).
7. DISCLOSURE STATEMENT FOR EXISTING PNM GAS LINE:
 With the exception of areas located within the future rights-of-way of Unser Boulevard, SW and 98th Street, SW., The southeast corner of tract H and a future sanitary sewer crossing located approximately 470 feet west of the southwest corner of tract 14, any improvements encroaching into existing PNM natural gas line easements shall not interfere with nor inhibit PNM's ability to operate and maintain its gas line facilities. The property owner or person or business responsible for any encroachment shall pay for all PNM utility relocations or modifications caused by such easement encroachments.
8. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
9. No individual lots shall be allowed direct access to Dennis Chavez Boulevard S.W. or Unser Blvd S.W.
10. All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
11. Tract "A" is to be owned and landscape maintained by the Anderson Hills Homeowners Association.
12. Tract "D" shall be a public pedestrian access and landscape easement to be owned and maintained by the Anderson Hills Homeowners Association.

13. TRACT "H" (PARK) IS COMPRISED OF 0.9444 ACRES DEDICATED TO THE CITY OF ALBUQUERQUE AND 1.0561 ACRES PURCHASED BY THE CITY OF ALBUQUERQUE.
PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

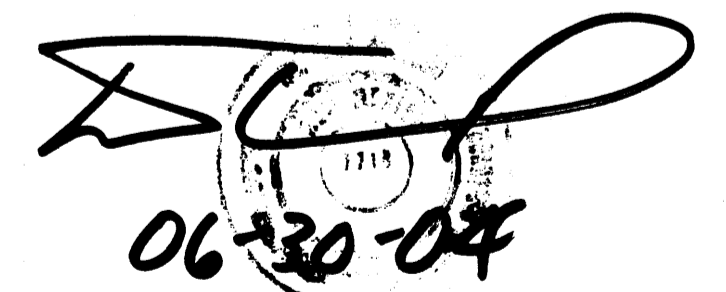
Included, is the right to build, rebuild, construct, reconstruct, locate. Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 9 and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being all of TRACTS G THRU I, ARROWOOD RANCH DEVELOPMENT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 6, 2002 in Book 2002C, Page 390 and containing 42.1309 acres more or less.


 06-30-04


ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: SHEET2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 6
Scale: N/A	Date: 06/24/04	Job: A02106	

PLAT FOR
THE MESA AT ANDERSON HILLS
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SITE BENCHMARK

ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

ACS MONUMENT "2-P10"
 Y=1,464,349.24
 X= 358,414.13
 G-G=0.9996842
 Δα=-00°16'16"
 CENTRAL ZONE
 (NAD 1927)

LARRY VIGIL WEST
 (06-20-85, C27-123)

AMOLE-HUBBELL-BORREGA
 DRAINAGE RIGHTS-OF-WAY
 R/W 2
 (05-26-89, C39-59)

GRACE VIGIL ROAD SW (R/W 60')

SEC 3 | SEC 10
 SEC 4 | SEC 9

FOUND 1 1/2" PIPE
 1006.52'
 500°12'19"W

N89°43'01"E
 18.28'

577.79'
 500°16'59"E

FOUND 5/8" REBAR

1097.00'

EXISTING PUBLIC ROADWAY, DRAINAGE,
 WATER AND SANITARY SEWER
 EASEMENT (12-06-02, 02C-390)
 VACATED BY: 03DRB-01209

EXISTING PUBLIC ROADWAY, DRAINAGE,
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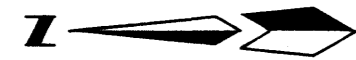
TRACT I
 ARROWOOD RANCH DEVELOPMENT
 (12-6-2002, 2002C-390)

TRACT H
 ARROWOOD RANCH DEVELOPMENT
 (12-6-2002, 2002C-390)

TRACT G
 ARROWOOD RANCH DEVELOPMENT
 (12-6-2002, 2002C-390)

PREVIOUS PROPERTY
 LINE ELIMINATED WITH
 THIS PLAT

PREVIOUS PROPERTY
 LINE ELIMINATED WITH
 THIS PLAT



100' 50' 0 100' 200'
 SCALE: 1" = 100'

LANDS OF SALAZAR-DAVIS
 TRACT 1
 (05-06-86, C30-91)

EXISTING 46' PUBLIC ROADWAY EASEMENT
 (12-06-02, 02C-390)
 VACATED BY: 03DRB-01209

EXISTING 156' PUBLIC
 INGRESS/EGRESS, WATER
 AND SANITARY SEWER
 EASEMENT (04-17-01,
 BK.A18 - PG.457)

N 13°24'29" W
 5630.66'

S89°47'57"E

ACCESS CONTROL LINE

R=2000.00'
 L=590.72'
 CH= N08°19'36"E 588.57'
 Δ=16°55'22"

1099.95'

FUTURE UNSER BOULEVARD
 (FUTURE 156' ROW)

N00°08'05"W

1110.80'

SET 5/8" REBAR WITH
 CAP "ALS LS
 7719" (TYP)

ACS MONUMENT "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927)

TRACT F
 ARROWOOD RANCH
 DEVELOPMENT
 (12-06-2002, 2002C-390)

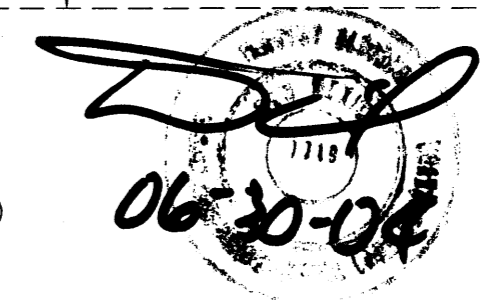
NORTH 1/2
 TRACT 11

LAND OF CORA
 TRACT 1
 FLORENCE
 (02-08-73, B7-135)

**ALDRICH LAND
 SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
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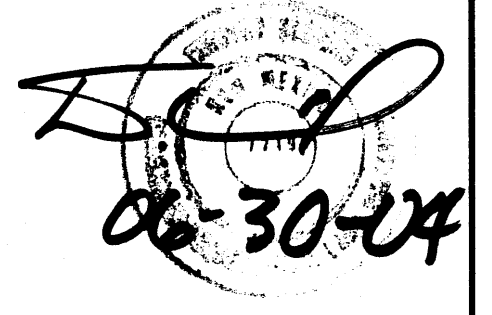
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LEGEND

- 53-P1 LOT NUMBER
- ⑨ BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY DEDICATED WITH THIS PLAT
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THIS PLAT
- LSE LANDSCAPE EASEMENT GRANTED WITH THIS PLAT

FOUND 1 1/2" PIPE



AMOLE-HUBBELL-BORREGA
DRAINAGE RIGHTS-OF-WAY
R/W 2
(05-26-89, C39-59)

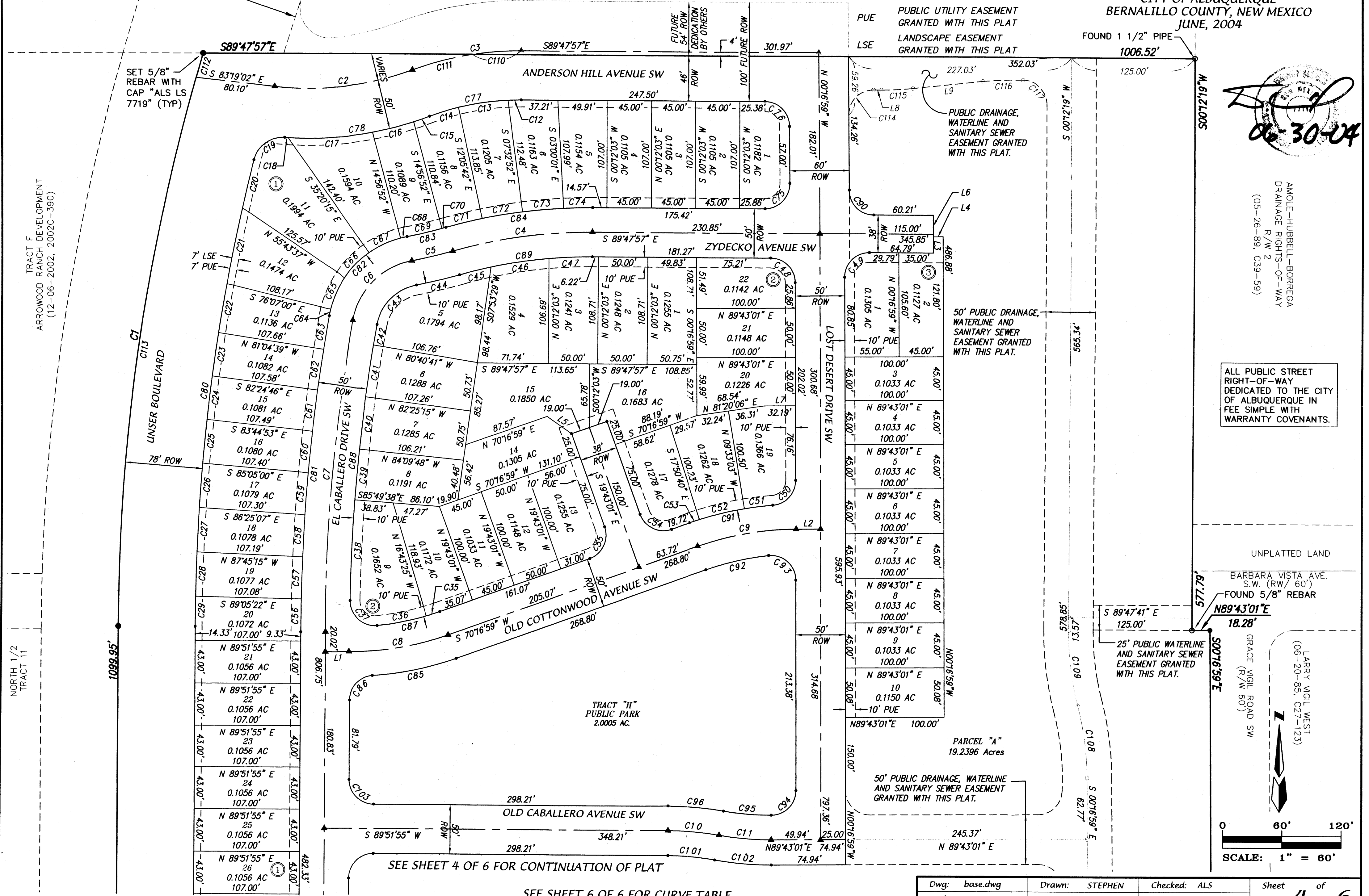
ALL PUBLIC STREET
RIGHT-OF-WAY
DEDICATED TO THE CITY
OF ALBUQUERQUE IN
FEE SIMPLE WITH
WARRANTY COVENANTS.

TRACT F
ARROWOOD RANCH DEVELOPMENT
(12-06-2002, 2002C-390)

NORTH 1/2
TRACT 11

EXISTING 156' PUBLIC INGRESS/EGRESS, WATER AND SANITARY
SEWER EASEMENT (04-17-01, BK.A18 - PG.457)

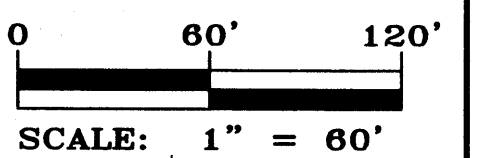
LANDS OF SALAZAR-DAVIS
TRACT 1
(05-06-86, C30-91)



UNPLATTED LAND

BARBARA VISTA AVE.
S.W. (RW/ 60')
FOUND 5/8" REBAR

LARRY VIGIL WEST
(06-20-85, C27-123)



SEE SHEET 4 OF 6 FOR CONTINUATION OF PLAT

SEE SHEET 6 OF 6 FOR CURVE TABLE

Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 4 of 6
Scale: AS SHOWN	Date: 06/24/04	Job: A02106	

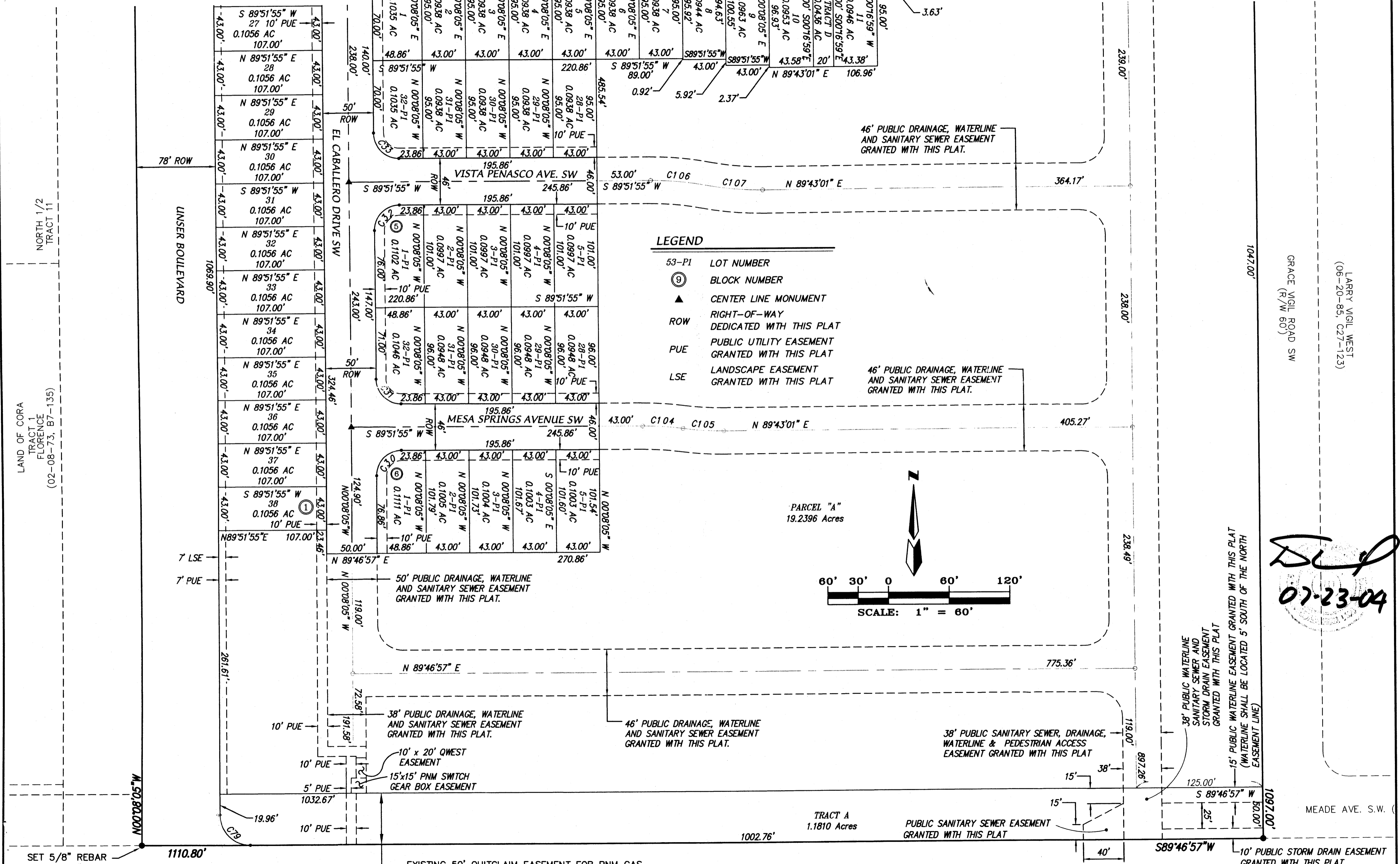
ALL PUBLIC STREET
RIGHT-OF-WAY
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SEE SHEET 6 OF 6 FOR CURVE TABLE

SEE SHEET 4 OF 6 FOR CONTINUATION OF PLAT

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CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2004

SEE SHEET 4 OF 6 FOR CONTINUATION OF PLAT



LAND OF CORA
TRACT 1
FLORENCE
TRACT 11
(02-08-73, B7-135)

LARRY VIGIL WEST
(06-20-85, C27-123)
GRACE VIGIL ROAD SW
(R/W 60')

Signature
07-23-04

Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 5 of 6
Scale: AS SHOWN	Date: 07/22/04	Job: A02106	

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CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C1	590.72	2000.00	16°55'22"	297.52	S08°19'36"W	588.57
C2	142.29	300.00	27°10'30"	72.51	N83°05'43"E	140.96
C3	112.68	312.00	20°41'35"	56.96	S79°51'15"W	112.07
C4	143.30	500.00	16°25'17"	72.15	S81°59'24"W	142.81
C5	42.64	470.00	5°11'54"	21.34	N76°22'42"E	42.63
C6	90.28	75.00	68°58'20"	51.52	S44°29'29"W	84.93
C7	318.56	1800.00	10°08'25"	159.70	S04°56'07"W	318.15
C8	102.53	300.00	19°34'56"	51.77	N80°04'27"E	102.03
C9	101.76	300.00	19°26'02"	51.37	S80°00'00"W	101.27
C10	52.37	300.00	10°00'04"	26.25	N85°08'03"W	52.30
C11	53.14	300.00	10°08'58"	26.64	S85°12'30"E	53.07
C12	13.39	262.00	2°55'44"	6.70	S88°44'11"W	13.39
C13	50.73	262.00	11°05'40"	25.45	S81°43'29"W	50.65
C14	30.50	262.00	6°40'11"	15.27	S72°50'34"W	30.48
C15	17.24	350.00	2°49'20"	8.62	N70°55'08"E	17.24
C16	43.03	350.00	7°02'40"	21.54	N75°51'08"E	43.00
C17	86.37	350.00	14°08'20"	43.41	N86°26'37"E	86.15
C18	3.45	350.00	0°33'53"	1.72	S86°12'16"E	3.45
C19	41.85	30.00	79°55'12"	25.14	S54°07'04"W	38.54
C20	49.72	1922.00	1°28'55"	24.86	S13°25'01"W	49.71
C21	78.66	1922.00	2°20'42"	39.34	S11°30'12"W	78.66
C22	50.61	1922.00	1°30'31"	25.31	S09°34'36"W	50.61
C23	45.04	1922.00	1°20'34"	22.52	S08°09'03"W	45.04
C24	45.04	1922.00	1°20'33"	22.52	S06°48'30"W	45.04
C25	45.04	1922.00	1°20'33"	22.52	S05°27'56"W	45.04
C26	45.03	1922.00	1°20'33"	22.52	S04°07'23"W	45.03
C27	45.03	1922.00	1°20'33"	22.52	S02°46'50"W	45.03
C28	45.03	1922.00	1°20'32"	22.52	S01°26'18"W	45.03
C29	30.25	1922.00	0°54'06"	15.13	S00°18'58"W	30.25
C30	39.27	25.00	90°00'00"	25.00	S44°51'55"W	35.36
C31	39.27	25.00	90°00'00"	25.00	S45°08'05"E	35.36
C32	39.27	25.00	90°00'00"	25.00	S44°51'55"W	35.36
C33	39.27	25.00	90°00'00"	25.00	S45°08'05"E	35.36
C34	39.27	25.00	90°00'00"	25.00	S44°51'55"W	35.36
C35	2.01	275.00	0°25'06"	1.00	N70°29'32"E	2.01
C36	50.85	275.00	10°35'39"	25.50	N78°34'25"E	50.78
C37	42.33	25.00	9°01'15"	28.27	S47°37'08"E	37.45
C38	101.65	1775.00	3°16'53"	50.84	S02°31'56"W	101.64
C39	51.54	1775.00	1°39'50"	25.77	S05°00'17"W	51.54
C40	53.99	1775.00	1°44'34"	27.00	S06°42'29"W	53.99
C41	53.99	1775.00	1°44'34"	27.00	S08°27'02"W	53.99
C42	21.17	1775.00	0°41'00"	10.59	S09°39'49"W	21.17
C43	60.19	50.00	68°58'20"	34.35	S44°29'29"W	56.62
C44	44.91	495.00	5°11'54"	22.47	N76°22'42"E	44.89
C45	32.98	475.00	3°58'43"	16.50	S75°46'07"W	32.98
C46	59.32	475.00	7°09'17"	29.70	S81°20'08"W	59.28
C47	43.84	475.00	5°17'16"	21.93	S87°33'24"W	43.82
C48	39.06	25.00	8°30'58"	24.79	N45°02'28"W	35.21
C49	39.36	25.00	9°12'03"	25.09	S45°06'01"W	35.42
C50	37.45	25.00	8°50'07"	23.25	N42°38'04"E	34.05
C51	28.95	325.00	5°6'11"	14.48	S83°00'02"W	28.94
C52	47.04	325.00	8°7'37"	23.56	S76°18'08"W	47.00
C53	10.62	325.00	1°21'21"	5.31	S71°13'09"W	10.62
C54	39.27	25.00	90°00'00"	25.00	S64°43'01"E	35.36
C55	39.27	25.00	90°00'00"	25.00	N25°16'59"E	35.36
C56	33.30	1825.00	1°02'43"	16.65	S00°23'17"W	33.30
C57	42.53	1825.00	1°20'07"	21.27	S01°34'42"W	42.53
C58	42.53	1825.00	1°20'07"	21.27	S02°54'49"W	42.53
C59	42.53	1825.00	1°20'07"	21.27	S04°14'56"W	42.53
C60	42.53	1825.00	1°20'07"	21.27	S05°35'03"W	42.53
C61	42.53	1825.00	1°20'07"	21.27	S06°55'10"W	42.53
C62	42.53	1825.00	1°20'07"	21.27	S08°15'17"W	42.53
C63	34.49	1825.00	1°04'59"	17.25	S09°27'50"W	34.49
C64	6.77	100.00	3°52'40"	3.39	S11°56'40"W	6.77
C65	35.59	100.00	20°23'23"	17.98	S24°04'41"W	35.40
C66	35.59	100.00	20°23'23"	17.98	S44°28'04"W	35.40
C67	35.59	100.00	20°23'23"	17.98	S64°51'27"W	35.40
C68	6.85	100.00	3°55'31"	3.43	S77°00'54"W	6.85
C69	36.18	445.00	4°39'29"	18.10	N76°38'55"E	36.17
C70	4.19	445.00	0°32'24"	2.10	N74°02'58"E	4.19
C71	37.80	525.00	4°07'33"	18.91	S75°50'32"W	37.80
C72	41.67	525.00	4°32'50"	20.84	S80°10'43"W	41.66
C73	41.67	525.00	4°32'50"	20.84	S84°43'34"W	41.66
C74	29.33	525.00	3°12'04"	14.67	S88°36'01"W	29.33
C75	39.48	25.00	90°29'02"	25.21	N44°57'32"E	35.50
C76	39.06	25.00	89°30'58"	24.79	N45°02'28"W	35.21
C77	94.62	262.00	20°41'35"	47.83	S79°51'15"W	94.11
C78	150.09	350.00	24°34'12"	76.22	N81°47'34"E	148.94
C79	41.17	30.00	90°04'58"	30.04	N45°10'34"W	42.46

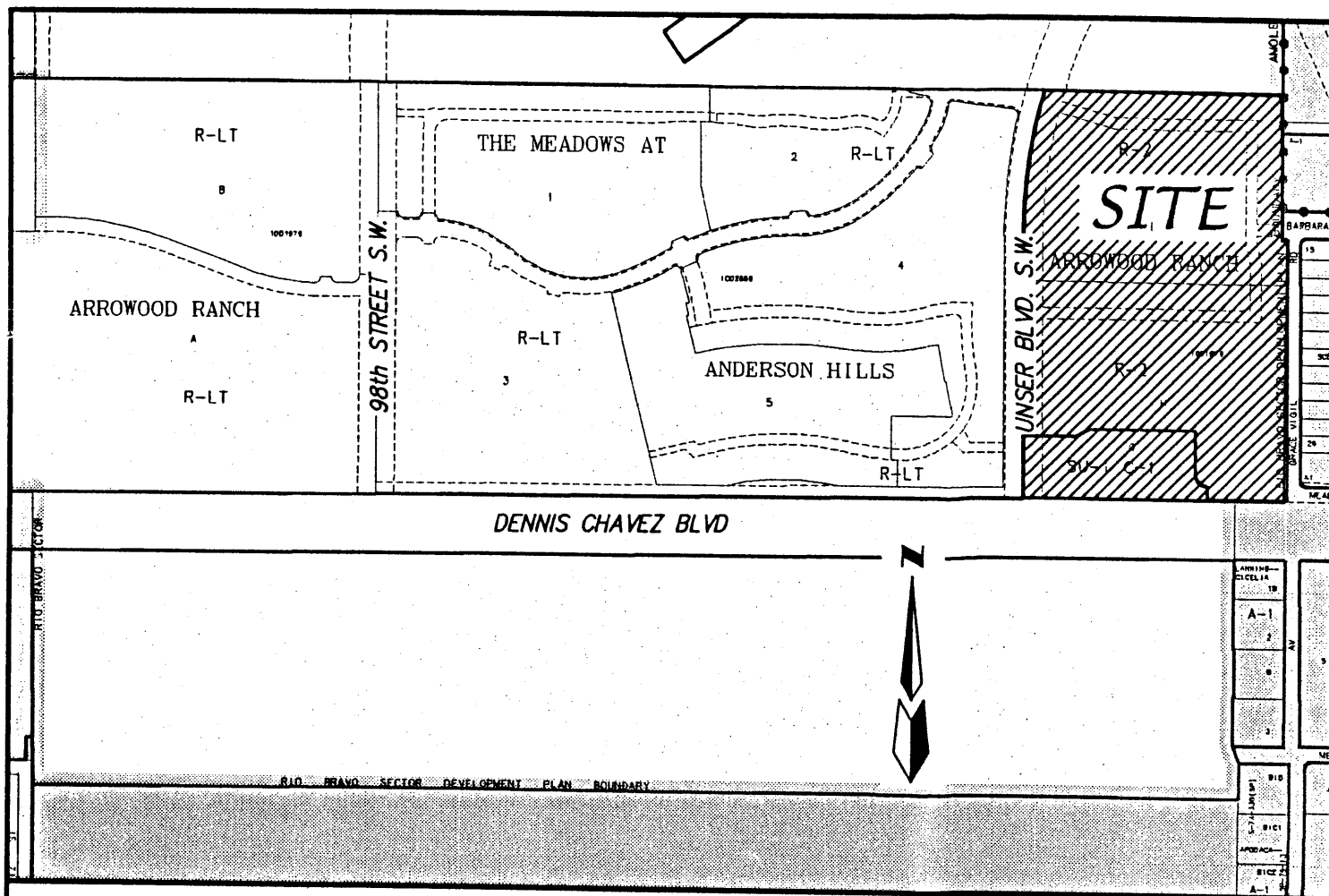
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C80	479.45	1922.00	14°17'33"	240.97	S07°00'42"W	478.21
C81	322.99	1825.00	10°08'25"	161.92	S04°56'07"W	322.57
C82	120.38	100.00	68°58'20"	68.69	S44°29'29"W	113.24
C83	40.37	445.00	5°11'54"	20.20	N76°22'42"E	40.36
C84	150.47	525.00	16°25'17"	75.75	S81°59'24"W	149.95
C85	87.07	325.00	15°21'01"	43.80	N77°57'29"E	86.81
C86	37.42	25.00	85°46'05"	23.22	S42°44'57"W	34.03
C87	65.22	275.00	13°35'15"	32.76	N77°04'37"E	65.06
C88	282.35	1775.00	9°06'50"	141.47	S05°26'55"W	282.05
C89	136.14	475.00	16°25'17"	68.54	S81°59'24"W	135.67
C90	39.06	25.00	89°30'58"	24.79	S45°02'28"E	35.21
C91	86.61	325.00	15°16'08"	43.56	S77°55'03"W	86.35
C92	65.27	275.00	13°35'53"	32.79	S77°04'56"W	65.11
C93	41.82	25.00	95°50'09"	27.69	N48°12'03"W	37.11
C94	39.28	25.00	90°00'45"	25.01	N44°43'24"E	35.36
C95	48.65	275.00	10°08'13"	24.39	S85°12'07"E	48.59
C96	56.73	325.00	10°00'04"	28.44	N85°08'03"W	56.66
C97	35.46	325.00	6°15'06"	17.75	S87°09'26"E	35.44
C98	22.11	325.00	3°53'52"	11.06	S82°04'57"E	22.11
C99	21.31	275.00	4°26'27"	10.66	N82°21'14"W	21.31
C100	26.69	275.00	5°33'37"	13.35	N87°21'16"W	26.68
C101	48.00	275.00	10°00'04"	24.06	N85°08'03"W	47.94
C102	57.57	325.00	10°08'58"	28.86	S85°12'30"E	57.50
C103	39.27	25.00	90°00'00"	25.00	S45°08'05"E	35.36
C104	40.04	300.00	7°38'49"	20.05	N86°18'41"W	40.01
C105	40.82	300.00	7°47'43"	20.44	S86°23'08"E	40.78
C106	55.48	300.00	10°35'44"	27.82	N84°50'13"W	55.40
C107	56.26	300.00	10°44'38"	28.21	S84°54'40"E	56.17
C108	74.27	300.00	14°11'08"	37.33	N07°22'33"W	74.09
C109	76.83	300.00	14°40'25"	38.63	S07°07'54"E	76.62
C110	50.01	312.00	09°11'04"	25.06	S85°36'30"W	49.96
C111	62.67	312.00	11°30'30"	31.44	S75°15'43"W	62.56
C112	25.54	2000.00	00°43'54"	12.77	S16°25'20"W	25.54
C113	565.18	2000.00	16°11'28"	284.48	S07°57'39"W	563.30
C114	39.48	25.00	90°29'02"	25.21	S44°57'32"W	35.50
C115	32.04	300.00	06°07'10"	16.04	S87°08'27"W	32.03
C116	40.98	491.00	04°46'57"	20.50	S87°48'34"W	40.97
C117	39.27	25.00	90°00'16"	25.00	S44°47'49"E	35.36

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S89°51'55"W	24.17
L2	N89°43'01"E	24.58
L3	S00°16'59"E	16.50
L4	S89°43'01"W	10.00
L5	S54°32'05"E	30.45
L6	N00°16'59"W	21.50
L7	N89°43'01"E	32.19
L8	S89°47'57"E	7.90
L9	N84°04'52"E	71.11

ALS
 06-30-04



P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990



LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide 3 Existing Tracts into 3 Tracts, 96 Residential lots and 1 Parcel.
2. Grant easements as shown hereon.
3. Dedicate Right-of-Way as shown hereon.
4. Dedicate Public Park as shown hereon.
5. Vacate Easements as shown hereon.

PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMMP
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2004

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: ~~100200~~
 Application Number: 04-01155

PLAT APPROVAL

Utility Approvals:

<i>[Signature]</i> PNM Electric Services	7/23/2004 Date
<i>[Signature]</i> PNM Gas Services	7/23/2004 Date
<i>[Signature]</i> Qwest	7-22-04 Date
<i>[Signature]</i> Comcast	7-23-04 Date

City Approvals:

<i>[Signature]</i> City Surveyor	7-12-04 Date
<i>[Signature]</i> Real Property Division	8/25/04 Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	8-25-04 Date
<i>[Signature]</i> Utilities Development	8-25-04 Date
<i>[Signature]</i> Parks and Recreation Department	8/25/04 Date
<i>[Signature]</i> AMAFCA	8/25/04 Date
<i>[Signature]</i> City Engineer	8/25/04 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	8/25/04 Date

LOCATION MAP

ZONE ATLAS N-9-Z & P-9-Z
 SCALE: NONE

SUBDIVISION DATA

Gross Acreage..... 42.1309 Ac.
 Zone Atlas No..... N-9-Z & P-9-Z
 No. of Existing Tracts..... 3 Tracts
 No. of Tracts/Lots/Parcels created..... 3 Tracts/ 96 Lots/1 Parcel
 No. of Tracts eliminated..... 3 Tracts
 Miles of full width streets created..... 0.80
 Miles of half width streets created..... 0.44
 Street Area dedicated to the City of Albuquerque..... 8.3185 Ac.
 Date of Survey..... October, 2002
 Utility Control Location System Log Number..... 2002450460
 Zoning..... R-2

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways and parks shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: ANDERSON HILLS, LLC
 A New Mexico Limited Liability Company

BY: *[Signature]*
 Robert Lupton, Manager
 5-17-04
 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on June 17, 2004
 By Robert Lupton, Manager of ANDERSON HILLS, LLC A New Mexico Limited Liability Company on behalf of said Company.

[Signature]
 NOTARY PUBLIC
 9.3.2004
 MY COMMISSION EXPIRES
 OFFICIAL SEAL
 SUSAN RASINSKI
 NOTARY PUBLIC-STATE OF NEW MEXICO
 My commission expires: 9.3.2004



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # SEE ATTACHED
 PROPERTY OWNER OF RECORD:
 Beodeside Holdings LLC
 BERNALILLO COUNTY TREASURER'S OFFICE:
[Signature] 26 Aug 04

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature]
 Timothy Aldrich P.S. No. 7719
 06-30-04
 Date



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: SHEET1.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 6
Scale: N/A	Date: 06/15/04	Job: A02106	

NOTES:

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 BULK LAND PLAT OF "ARROWOOD RANCH DEVELOPMENT, TRACTS A THRU I", (12-06-02, 02C-390)
 PLAT OF "LANDS OF SALAZAR-DAVIS", (05-06-86, C30-91)
 AMOLE-HUBBELL-BORREGA "DRAINAGE RIGHTS-OF-WAY (05-26-89, C39-59)
 PLAT OF "LARRY VIGIL WEST", (06-20-85, C27-123)
 all being records of Bernalillo County, New Mexico.
- Title Report: provided by Fidelity National Title, Commitment No.: 02-1024800-B-RAD (Effective Date: 11-07-02)
- Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).
- DISCLOSURE STATEMENT FOR EXISTING PNM GAS LINE:
 With the exception of areas located within the future rights-of-way of Unser Boulevard, SW and 98th Street, SW., The southeast corner of tract H and a future sanitary sewer crossing located approximately 470 feet west of the southwest corner of tract 14, any improvements encroaching into existing PNM natural gas line easements shall not interfere with nor inhibit PNM's ability to operate and maintain its gas line facilities. The property owner or person or business responsible for any encroachment shall pay for all PNM utility relocations or modifications caused by such easement encroachments.
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
- No individual lots shall be allowed direct access to Dennis Chavez Boulevard S.W. or Unser Blvd S.W.
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
- Tract "D" shall be a public pedestrian access and landscape easement to be owned and maintained by the Anderson Hills Homeowners Association.
- Tract "H" (park) is comprised of 0.9444 acres dedicated to the city of Albuquerque and 1.0561 acres purchased by the city of Albuquerque.

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 9 and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being all of TRACTS G THRU I, ARROWOOD RANCH DEVELOPMENT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 6, 2002 in Book 2002C, Page 390 and containing 42.1309 acres more or less.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

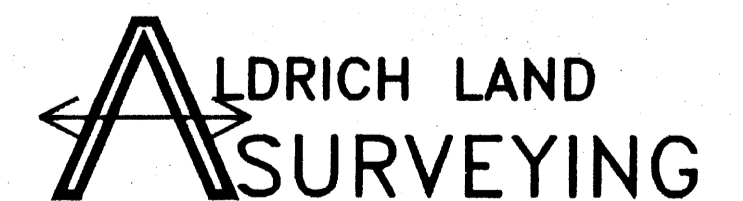
- The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
- Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate. Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 1
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 & 10
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2004



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Dwg: SHEET2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 6
Scale: N/A	Date: 08/25/04	Job: A02106	

PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2004

2004121459
 6134954
 Page: 3 of 6
 08/27/2004 08:22R
 Bk-2004C Pg-268

SITE BENCHMARK

ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

ACS MONUMENT "2-P10"
 Y=1,464,349.24
 X= 358,414.13
 G-G=0.9996842
 Δα=-00°16'16"
 CENTRAL ZONE
 (NAD 1927)

Denotes EASEMENTS OR PORTION
 OF EASEMENTS BEING VACATED

LARRY VIGIL WEST
 (06-20-85, C27-123)

GRACE VIGIL ROAD SW (R/W 60')

MEADE AVE. S.W.
 (R/W 60')

SEC 3 | SEC 10
 SEC 4 | SEC 9

FOUND 1 1/2" PIPE
 500°12'19"W
 1006.52'

AMOLE-HUBBELL-BORREGA 18.28'
 DRAINAGE RIGHTS-OF-WAY
 R/W 2
 (05-26-89, C39-59)

N89°43'01"E

577.79' 500°16'59"E

FOUND 5/8" REBAR

1097.00'

EXISTING PUBLIC ROADWAY, DRAINAGE,
 WATER AND SANITARY SEWER
 EASEMENT (12-06-02, 02C-390)
 VACATED BY: 03DRB-01209

EXISTING PUBLIC ROADWAY, DRAINAGE,
 WATER AND SANITARY SEWER
 EASEMENT (12-06-02, 02C-390)
 VACATED BY: 03DRB-01209

TRACT I
 ARROWOOD RANCH DEVELOPMENT
 (12-6-2002, 2002C-390)

TRACT H
 ARROWOOD RANCH DEVELOPMENT
 (12-6-2002, 2002C-390)

PREVIOUS PROPERTY
 LINE ELIMINATED WITH
 THIS PLAT

EXISTING PROPERTY LINE
 TO REMAIN

TRACT G
 ARROWOOD RANCH DEVELOPMENT
 (12-6-2002, 2002C-390)
 (6.6533 Acres)

EXISTING 50' QUITCLAIM
 EASEMENT FOR PNM GAS
 PIPELINE (03-27-00, A3-9161)

DENNIS CHAVEZ BOULEVARD S.W. (R/W 255')



100' 50' 0 100' 200'
 SCALE: 1" = 100'

LANDS OF SALAZAR-DAVIS
 TRACT 1
 (05-06-86, C30-91)

EXISTING 46' PUBLIC ROADWAY EASEMENT
 (12-06-02, 02C-390)
 VACATED BY: 03DRB-01209

EXISTING 156' PUBLIC
 INGRESS/EGRESS, WATER
 AND SANITARY SEWER
 EASEMENT (04-17-01,
 BK.A18 - PG.457)

ACCESS CONTROL LINE

EXISTING 156' PUBLIC WATERLINE EASEMENT
 (09-25-02, BK. A42, PG. 2469)

EXISTING 156' PUBLIC WATERLINE EASEMENT
 (09-25-02, BK. A42, PG. 2470)

EXISTING 156' PUBLIC C.O.A. WATERLINE EASEMENT
 (10-18-02, BK. A43, PG. 4894)

EXISTING PUBLIC ROADWAY, DRAINAGE,
 WATER AND SANITARY SEWER EASEMENT
 (12-06-02, 02C-390)

ACCESS CONTROL LINE

N 13°24'29" W
 5630.66'

ACS MONUMENT "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927)

R=2000.00' L=590.72' Δ=16°55'22"
 CH=N08°19'36"E 588.57'

1099.95'

FUTURE 156' ROW

FUTURE UNSER BOULEVARD
 (FUTURE 156' ROW)

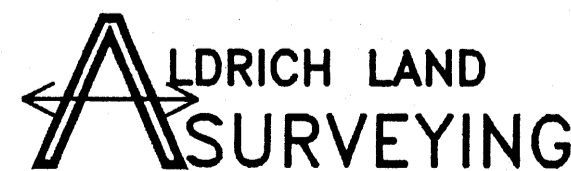
N00°08'05"W

SET 5/8" REBAR WITH
 CAP "ALS LS
 7719" (TYP)

TRACT F
 ARROWOOD RANCH
 DEVELOPMENT
 (12-06-2002, 2002C-390)

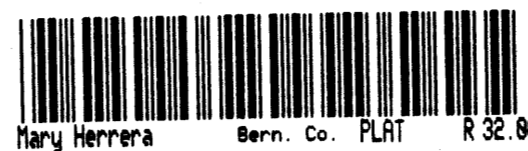
NORTH 1/2
 TRACT 11

LAND OF CORA
 TRACT 1
 FLORENCE
 (02-08-73, B7-135)



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 505-884-1990

Dwg: sheet3.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 3 of 6
Scale: AS SHOWN	Date: 08/25/04	Job: A02106	

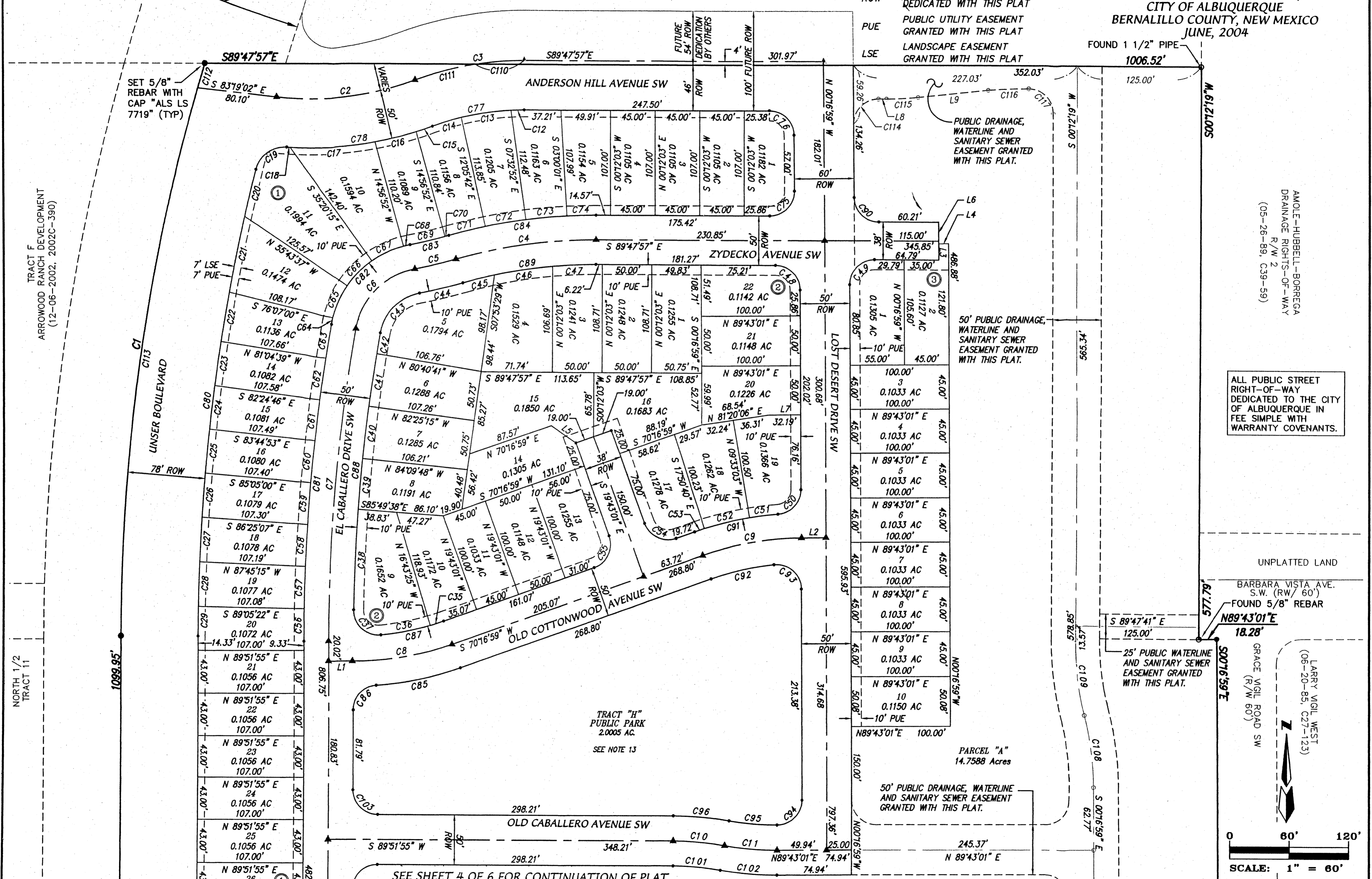


Mary Herrera Bern. Co. PLAT R 32.88
LANDS OF SALAZAR-DAVIS TRACT 1 (05-06-86, C30-91)

LEGEND

- 53-P1 LOT NUMBER
- Ⓢ BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY DEDICATED WITH THIS PLAT
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THIS PLAT
- LSE LANDSCAPE EASEMENT GRANTED WITH THIS PLAT

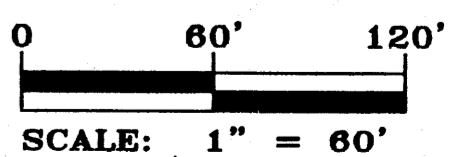
PLAT FOR
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BERNALILLO COUNTY, NEW MEXICO
JUNE, 2004



ALL PUBLIC STREET
RIGHT-OF-WAY
DEDICATED TO THE CITY
OF ALBUQUERQUE IN
FEE SIMPLE WITH
WARRANTY COVENANTS.

UNPLATTED LAND
BARBARA VISTA AVE.
S.W. (RW/ 60')
FOUND 5/8" REBAR

LARRY MIGL WEST
(06-20-85, C27-123)
GRACE MIGL ROAD SW
(R/W 60')



SEE SHEET 4 OF 6 FOR CONTINUATION OF PLAT

SEE SHEET 6 OF 6 FOR CURVE TABLE

Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 4 of 6
Scale: AS SHOWN	Date: 08/25/04	Job: A02106	

ALL PUBLIC STREET
RIGHT-OF-WAY
DEDICATED TO THE CITY
OF ALBUQUERQUE IN
FEE SIMPLE WITH
WARRANTY COVENANTS.

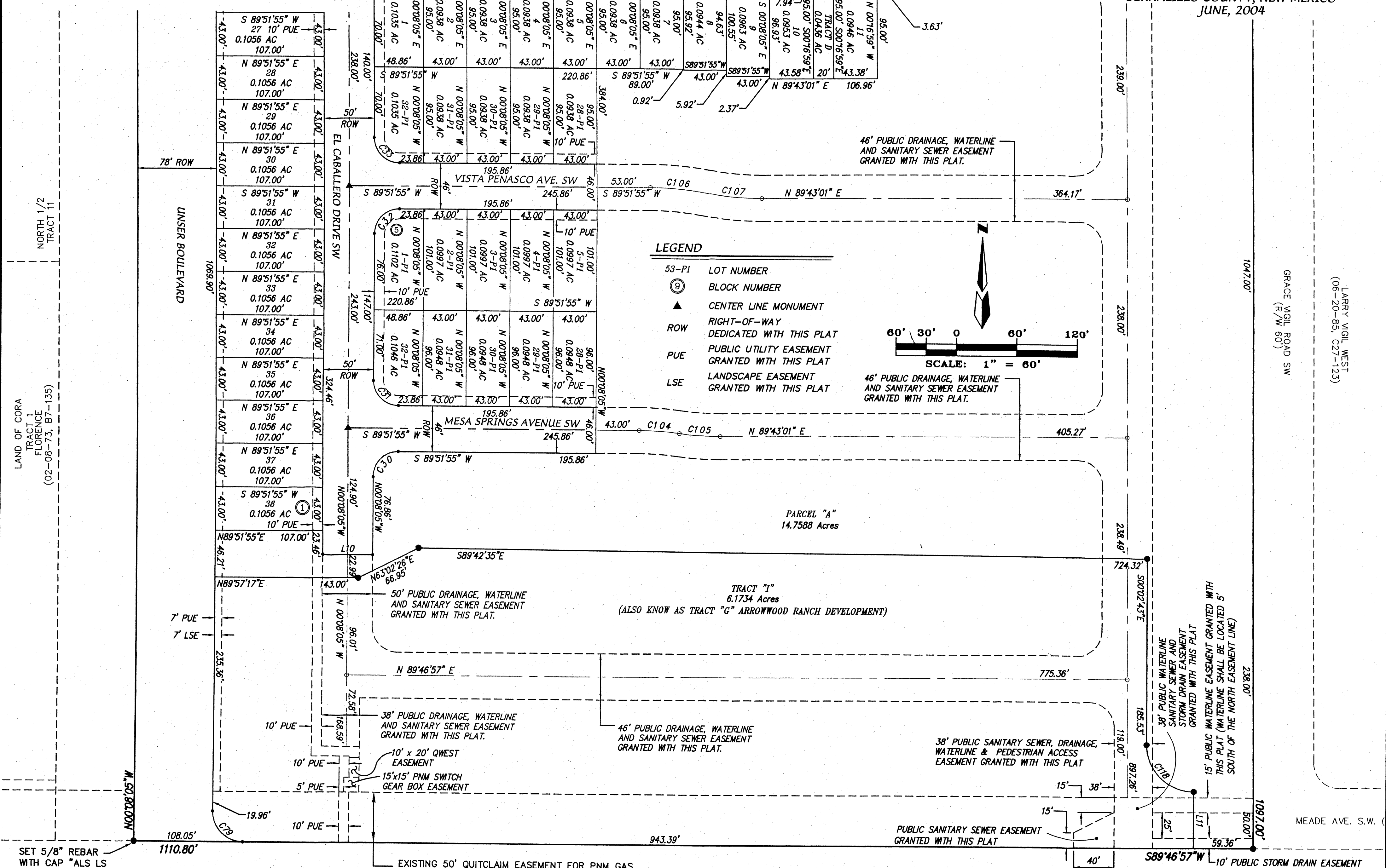
SEE SHEET 6 OF 6 FOR CURVE TABLE

SEE SHEET 4 OF 6 FOR CONTINUATION OF PLAT



PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 1
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TOWN OF ATRISCO GRANT
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TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2004

SEE SHEET 4 OF 6 FOR CONTINUATION OF PLAT



LEGEND

- 53-P1 LOT NUMBER
- ⊙ BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY DEDICATED WITH THIS PLAT
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THIS PLAT
- LSE LANDSCAPE EASEMENT GRANTED WITH THIS PLAT

SCALE: 1" = 60'

Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 5 of 6
Scale: AS SHOWN	Date: 08/25/04	Job: A02106	

F:\A02106\51\A2106\NH\FINAL PLAT\Mesa unit 1\base.dwg

**PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 1
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 & 10
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2004**



CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C1	590.72	2000.00	16°55'22"	297.52	S08°19'36"W	588.57
C2	142.29	300.00	27°10'30"	72.51	N83°05'43"E	140.96
C3	112.68	312.00	20°41'35"	56.96	S79°51'15"W	112.07
C4	143.30	500.00	16°25'17"	72.15	S81°59'24"W	142.81
C5	42.64	470.00	5°11'54"	21.34	N76°22'42"E	42.63
C6	90.28	75.00	68°58'20"	51.52	S44°29'29"W	84.93
C7	318.56	1800.00	10°08'25"	159.70	S04°56'07"W	318.15
C8	102.53	300.00	19°34'56"	51.77	N80°04'27"E	102.03
C9	101.76	300.00	19°26'02"	51.37	S80°00'00"W	101.27
C10	52.37	300.00	10°00'04"	26.25	N85°08'03"W	52.30
C11	53.14	300.00	10°08'58"	26.64	S85°12'30"E	53.07
C12	13.39	262.00	2°55'44"	6.70	S88°44'11"W	13.39
C13	50.73	262.00	11°05'40"	25.45	S81°43'29"W	50.65
C14	30.50	262.00	6°40'11"	15.27	S72°50'34"W	30.48
C15	17.24	350.00	2°49'20"	8.62	N70°55'08"E	17.24
C16	43.03	350.00	7°02'40"	21.54	N75°51'08"E	43.00
C17	86.37	350.00	14°08'20"	43.41	N86°26'37"E	86.15
C18	3.45	350.00	0°33'53"	1.72	S86°12'16"E	3.45
C19	41.85	30.00	79°55'12"	25.14	S54°07'04"W	38.54
C20	49.72	1922.00	1°28'55"	24.86	S13°25'01"W	49.71
C21	78.66	1922.00	2°20'42"	39.34	S11°30'12"W	78.66
C22	50.61	1922.00	1°30'31"	25.31	S09°34'36"W	50.61
C23	45.04	1922.00	1°20'34"	22.52	S08°09'03"W	45.04
C24	45.04	1922.00	1°20'33"	22.52	S06°48'30"W	45.04
C25	45.04	1922.00	1°20'33"	22.52	S05°27'56"W	45.04
C26	45.03	1922.00	1°20'33"	22.52	S04°07'23"W	45.03
C27	45.03	1922.00	1°20'33"	22.52	S02°46'50"W	45.03
C28	45.03	1922.00	1°20'32"	22.52	S01°26'18"W	45.03
C29	30.25	1922.00	0°54'06"	15.13	S00°18'58"W	30.25
C30	39.27	25.00	90°00'00"	25.00	S44°51'55"W	35.36
C31	39.27	25.00	90°00'00"	25.00	S45°08'05"E	35.36
C32	39.27	25.00	90°00'00"	25.00	S44°51'55"W	35.36
C33	39.27	25.00	90°00'00"	25.00	S45°08'05"E	35.36
C34	39.27	25.00	90°00'00"	25.00	S44°51'55"W	35.36
C35	2.01	275.00	0°25'06"	1.00	N70°29'32"E	2.01
C36	50.85	275.00	10°35'39"	25.50	N78°34'25"E	50.78
C37	42.33	25.00	97°01'15"	28.27	S47°37'08"E	37.45
C38	101.65	1775.00	3°16'53"	50.84	S02°31'56"W	101.64
C39	51.54	1775.00	1°39'50"	25.77	S05°00'17"W	51.54
C40	53.99	1775.00	1°44'34"	27.00	S06°42'29"W	53.99
C41	53.99	1775.00	1°44'34"	27.00	S08°27'02"W	53.99
C42	21.17	1775.00	0°41'00"	10.59	S09°39'49"W	21.17
C43	60.19	50.00	68°58'20"	34.35	S44°29'29"W	56.62
C44	44.91	495.00	5°11'54"	22.47	N76°22'42"E	44.89
C45	32.98	475.00	3°58'43"	16.50	S75°46'07"W	32.98
C46	59.32	475.00	7°09'17"	29.70	S81°20'08"W	59.28
C47	43.84	475.00	5°17'16"	21.93	S87°33'24"W	43.82
C48	39.06	25.00	89°30'58"	24.79	N45°02'28"W	35.21
C49	39.36	25.00	90°12'03"	25.09	S45°06'01"W	35.42
C50	37.45	25.00	85°50'07"	23.25	N42°38'04"E	34.05
C51	28.95	325.00	5°06'11"	14.48	S83°00'02"W	28.94
C52	47.04	325.00	8°17'37"	23.56	S76°18'08"W	47.00
C53	10.62	325.00	1°52'21"	5.31	S71°13'09"W	10.62
C54	39.27	25.00	90°00'00"	25.00	S64°43'01"E	35.36
C55	39.27	25.00	90°00'00"	25.00	N25°16'59"E	35.36
C56	33.30	1825.00	1°02'43"	16.65	S00°23'17"W	33.30
C57	42.53	1825.00	1°20'07"	21.27	S01°34'42"W	42.53
C58	42.53	1825.00	1°20'07"	21.27	S02°54'49"W	42.53
C59	42.53	1825.00	1°20'07"	21.27	S04°14'56"W	42.53
C60	42.53	1825.00	1°20'07"	21.27	S05°35'03"W	42.53
C61	42.53	1825.00	1°20'07"	21.27	S06°55'10"W	42.53
C62	42.53	1825.00	1°20'07"	21.27	S08°15'17"W	42.53
C63	34.49	1825.00	1°04'59"	17.25	S09°27'50"W	34.49
C64	6.77	100.00	3°52'40"	3.39	S11°56'40"W	6.77
C65	35.59	100.00	20°23'23"	17.98	S24°04'41"W	35.40
C66	35.59	100.00	20°23'23"	17.98	S44°28'04"W	35.40
C67	35.59	100.00	20°23'23"	17.98	S64°51'27"W	35.40
C68	6.85	100.00	3°55'31"	3.43	S77°00'54"W	6.85
C69	36.18	445.00	4°39'29"	18.10	N76°38'55"E	36.17
C70	4.19	445.00	0°32'24"	2.10	N74°02'58"E	4.19
C71	37.80	525.00	4°07'33"	18.91	S75°50'32"W	37.80
C72	41.67	525.00	4°32'50"	20.84	S80°10'43"W	41.66
C73	41.67	525.00	4°32'50"	20.84	S84°43'34"W	41.66
C74	29.33	525.00	3°12'04"	14.67	S88°36'01"W	29.33
C75	39.48	25.00	90°29'02"	25.21	N44°57'32"E	35.50
C76	39.06	25.00	89°30'58"	24.79	N45°02'28"W	35.21
C77	94.62	262.00	20°41'35"	47.83	S79°51'15"W	94.11
C78	150.09	350.00	24°34'12"	76.22	N81°47'34"E	148.94
C79	41.17	30.00	90°04'58"	30.04	N45°10'34"W	42.46

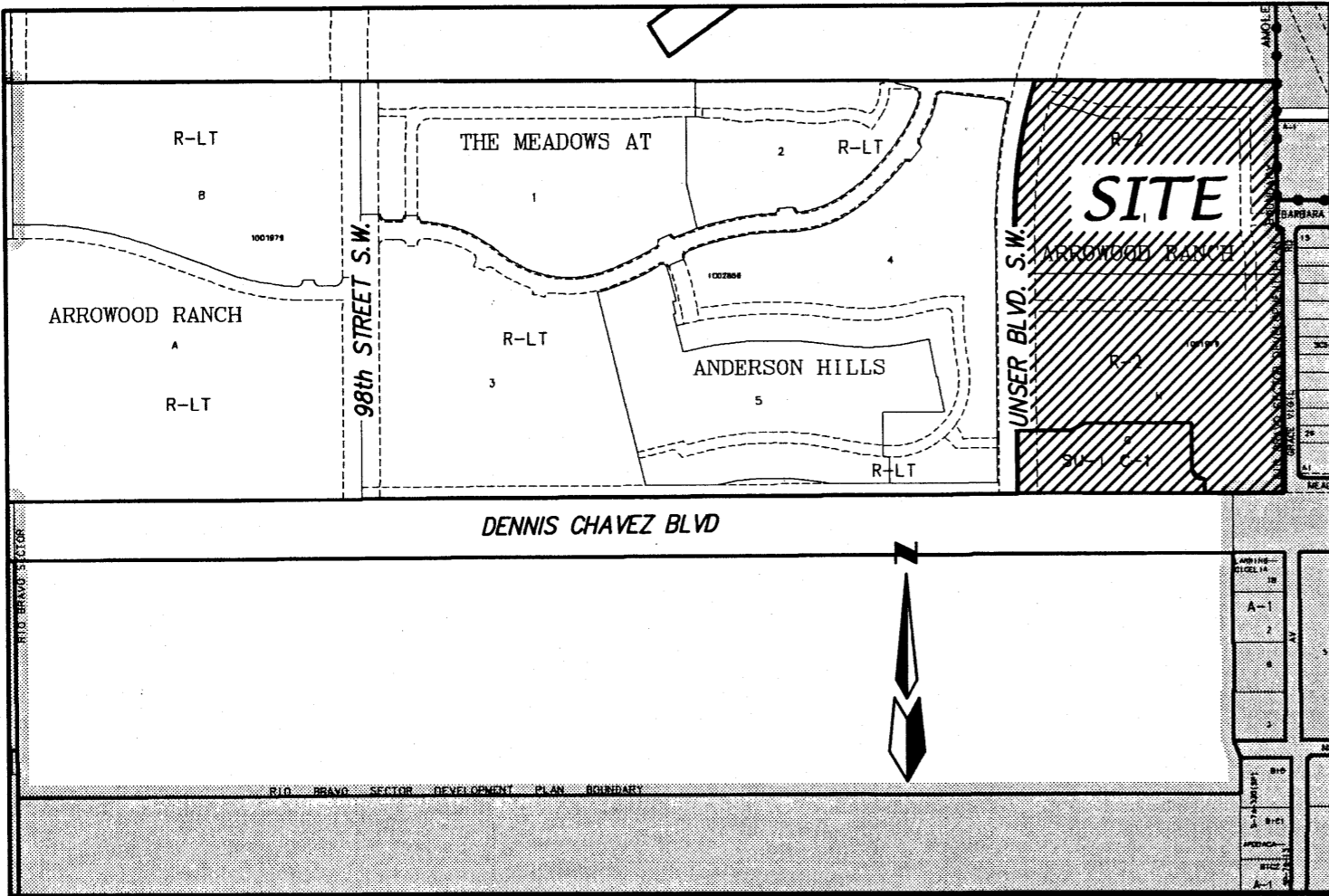
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C80	479.45	1922.00	14°17'33"	240.97	S07°00'42"W	478.21
C81	322.99	1825.00	10°08'25"	161.92	S04°56'07"W	322.57
C82	120.38	100.00	68°58'20"	68.69	S44°29'29"W	113.24
C83	40.37	445.00	5°11'54"	20.20	N76°22'42"E	40.36
C84	150.47	525.00	16°25'17"	75.75	S81°59'24"W	149.95
C85	87.07	325.00	15°21'01"	43.80	N77°57'29"E	86.81
C86	37.42	25.00	85°46'05"	23.22	S42°44'57"W	34.03
C87	65.22	275.00	13°35'15"	32.76	N77°04'37"E	65.06
C88	282.35	1775.00	9°06'50"	141.47	S05°26'55"W	282.05
C89	136.14	475.00	16°25'17"	68.54	S81°59'24"W	135.67
C90	39.06	25.00	89°30'58"	24.79	S45°02'28"W	35.21
C91	86.61	325.00	15°16'08"	43.56	S77°55'03"W	86.35
C92	65.27	275.00	13°35'53"	32.79	S77°04'56"W	65.11
C93	41.82	25.00	95°50'09"	27.69	N48°12'03"W	37.11
C94	39.28	25.00	90°00'45"	25.01	N44°43'24"E	35.36
C95	48.65	275.00	10°08'13"	24.39	S85°12'07"E	48.59
C96	56.73	325.00	10°00'04"	28.44	N85°08'03"W	56.66
C97	35.46	325.00	6°15'06"	17.75	S87°09'26"E	35.44
C98	22.11	325.00	3°53'52"	11.06	S82°04'57"E	22.11
C99	21.31	275.00	4°26'27"	10.66	N82°21'14"W	21.31
C100	26.69	275.00	5°33'37"	13.35	N87°21'16"W	26.68
C101	48.00	275.00	10°00'04"	24.06	N85°08'03"W	47.94
C102	57.57	325.00	10°08'58"	28.86	S85°12'30"E	57.50
C103	39.27	25.00	90°00'00"	25.00	S45°08'05"E	35.36
C104	40.04	300.00	7°38'49"	20.05	N86°18'41"W	40.01
C105	40.82	300.00	7°47'43"	20.44	S86°23'08"E	40.78
C106	55.48	300.00	10°35'44"	27.82	N84°50'13"W	55.40
C107	56.26	300.00	10°44'38"	28.21	S84°54'40"E	56.17
C108	74.27	300.00	14°11'08"	37.33	N07°22'33"W	74.09
C109	76.83	300.00	14°40'25"	38.63	S07°07'54"E	76.62
C110	50.01	312.00	09°11'04"	25.06	S85°36'30"W	49.96
C111	62.67	312.00	11°30'30"	31.44	S75°15'43"W	62.56
C112	25.54	2000.00	00°43'54"	12.77	S16°25'20"W	25.54
C113	565.18	2000.00	16°11'28"	284.48	S07°57'39"W	563.30
C114	39.48	25.00	90°29'02"	25.21	S44°57'32"E	35.50
C115	32.04	300.00	06°07'10"	16.04	S87°08'27"W	32.03
C116	40.98	491.00	04°46'57"	20.50	S87°48'34"W	40.97
C117	39.27	25.00	90°00'16"	25.00	S44°47'49"E	35.36
C118	73.72	47.00	89°51'56"	46.89	S44°58'29"E	66.39

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S89°51'55"W	24.17
L2	N89°43'01"E	24.58
L3	S00°16'59"E	16.50
L4	S89°43'01"W	10.00
L5	S54°32'05"E	30.45
L6	N00°16'59"W	21.50
L7	N89°43'01"E	32.19
L8	S89°47'57"E	7.90
L9	N84°04'52"E	71.11
L10	N89°46'57"E	50.00
L11	S00°00'07"W	56.01

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**ALDRICH LAND
SURVEYING**
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 6 of 6
Scale: AS SHOWN	Date: 08/25/04	Job: A02106	



LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

1. This plat is being amended to create a new landscape tract adjacent to Unser Boulevard and Anderson Hill Avenue and to adjust the adjoining lots. (This plat supercedes the plat filed for record on 8-27-04 in Book 2004c, Page 260)
2. Grant easements as shown hereon.
3. Dedicate Right-of-Way as shown hereon.
4. Dedicate Public Park as shown hereon.
5. Vacate Easements as shown hereon.

AMENDED PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004

APPROVED AND ACCEPTED BY:

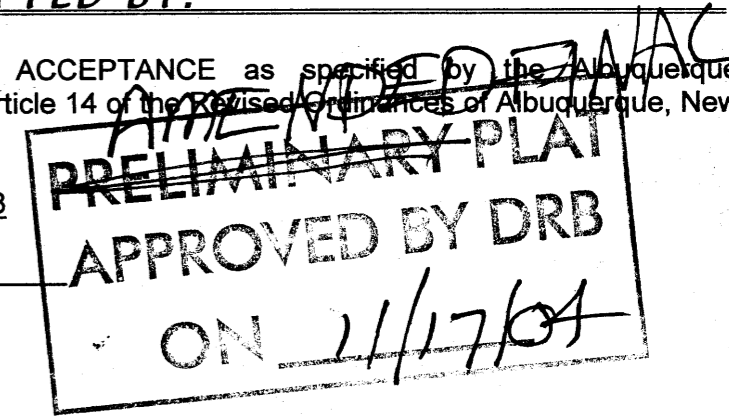
APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002858

Application Number:

PLAT APPROVAL

Utility Approvals:



<u>Learnd G. Mark</u>	10-18-04
PNM Electric Services	Date
<u>Leah W. Mark</u>	10-18-04
PNM Gas Services	Date
<u>Dan P. Muller</u>	10-18-04
Qwest	Date
<u>Rita E. Sisco</u>	10-18-04
Comcast	Date

City Approvals:

<u>M. B. Faul</u>	10-20-04
City Surveyor	Date
Real Property Division	Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

LOCATION MAP

ZONE ATLAS N-9-Z & P-9-Z

SCALE: NONE

SUBDIVISION DATA

Gross Acreage 42.1309 Ac.
 Zone Atlas No. N-9-Z & P-9-Z
 No. of Existing Tracts 3 Tracts
 No. of Tracts/Lots/Parcels created 4 Tracts/96 Lots/1 Parcel
 No. of Tracts eliminated 3 Tracts
 Miles of full width streets created 0.80
 Miles of half width streets created 0.44
 Street Area dedicated to the City of Albuquerque 8.3185 Ac.
 Date of Survey October, 2002
 Utility Control Location System Log Number 2002450460
 Zoning R-2

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways and parks shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: ANDERSON HILLS, LLC
 A New Mexico Limited Liability Company

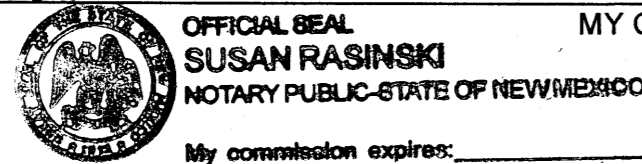
BY: Rex Wilson 10-1-04
 Rex Wilson, Managing Member DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on October 1, 2004
 By Rex Wilson, Managing Member of ANDERSON HILLS, LLC A New Mexico Limited Liability Company on behalf of said Company.

Susan Rasinski 9-10-08
 NOTARY PUBLIC MY COMMISSION EXPIRES

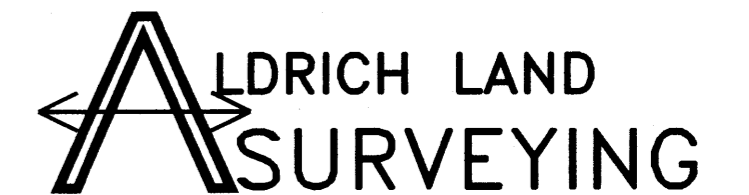


SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."



Timothy Aldrich 10-20-04
 Timothy Aldrich, P.S. No. 7719 Date



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: SHEET1-A.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 6
Scale: N/A	Date: 09/30/04	Job: A02106	

AMENDED PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004

NOTES:

1. Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:

 BULK LAND PLAT OF "ARROWOOD RANCH DEVELOPMENT, TRACTS A THRU I", (12-06-02, 02C-390)

 PLAT OF "LANDS OF SALAZAR-DAVIS", (05-06-86, C30-91)

 AMOLE-HUBBELL-BORREGA "DRAINAGE RIGHTS-OF-WAY (05-26-89, C39-59)

 PLAT OF "LARRY VIGIL WEST", (06-20-85, C27-123)

 all being records of Bernalillo County, New Mexico.
5. Title Report: provided by Fidelity National Title, Commitment No.: 02-1024800-B-RAD (Effective Date: 11-07-02)
6. Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).
7. DISCLOSURE STATEMENT FOR EXISTING PNM GAS LINE:
 With the exception of areas located within the future rights-of-way of Unser Boulevard, SW and 98th Street, SW., The southeast corner of tract H and a future sanitary sewer crossing located approximately 470 feet west of the southwest corner of tract 14, any improvements encroaching into existing PNM natural gas line easements shall not interfere with nor inhibit PNM's ability to operate and maintain its gas line facilities. The property owner or person or business responsible for any encroachment shall pay for all PNM utility relocations or modifications caused by such easement encroachments.
8. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
9. No individual lots shall be allowed direct access to Dennis Chavez Boulevard S.W. or Unser Blvd S.W.
10. All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
11. Tract "J" is to provide an additional 7' wide landscape area to be owned and maintained by the Anderson Hills Homeowners Association. This tract will also be encumbered with a blanket 7' wide PUE and public access and sidewalk easement.
12. Tract "D" shall be a public pedestrian access and landscape easement to be owned and maintained by the Anderson Hills Homeowners Association.
13. Tract "H" (park) is comprised of 0.9444 acres dedicated to the city of Albuquerque and 1.0561 acres purchased by the city of Albuquerque.

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 9 and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being all of THE MESA AT ANDERSON HILLS, UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 8, 2004 in Book 2004C, Page 260 and containing 42.1309 acres more or less.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

[Signature] 10-20-04



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Dwg: SHEET2-A.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 6
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AMENDED PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004

SITE BENCHMARK

ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

ACS MONUMENT "2-P10"
 Y=1,464,349.24
 X= 358,414.13
 G-G=0.9996842
 $\Delta\alpha=-00^{\circ}16'16"$
 CENTRAL ZONE
 (NAD 1927)

DENOTES EASEMENTS OR PORTION
 OF EASEMENTS BEING VACATED

SEC 3 | SEC 10
 SEC 4 | SEC 9

FOUND 1 1/2" PIPE
 1006.52'
 500'12'19"W

AMOLE-HUBBELL-BORREGA
 DRAINAGE RIGHTS-OF-WAY
 R/W 2
 (05-26-89, C39-59)

N89°43'01"E
 18.28'

577.79'

500'16'59"E

FOUND 5/8" REBAR

GRACE VIGIL ROAD SW (R/W 60')

1097.00'

EXISTING PUBLIC ROADWAY, DRAINAGE,
 WATER AND SANITARY SEWER
 EASEMENT (12-06-02, 02C-390)
 VACATED BY: Q3DRB-01209

EXISTING PUBLIC ROADWAY, DRAINAGE,
 WATER AND SANITARY SEWER
 EASEMENT (12-06-02, 02C-390)
 VACATED BY: Q3DRB-01209

TRACT I
 ARROWOOD RANCH DEVELOPMENT
 (12-6-2002, 2002C-390)

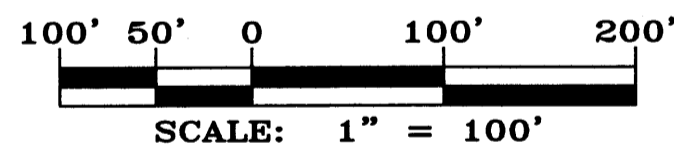
TRACT H
 ARROWOOD RANCH DEVELOPMENT
 (12-6-2002, 2002C-390)

PREVIOUS PROPERTY
 LINE ELIMINATED WITH
 THIS PLAT

EXISTING PROPERTY LINE
 TO REMAIN

TRACT G
 ARROWOOD RANCH DEVELOPMENT
 (12-6-2002, 2002C-390)
 (6.6533 Acres)

LANDS OF SALAZAR-DAVIS
 TRACT 1
 (05-06-86, C30-91)



EXISTING 156' PUBLIC
 INGRESS/EGRESS, WATER
 AND SANITARY SEWER
 EASEMENT (04-17-01,
 BK.A18 - PG.457)

EXISTING 46' PUBLIC ROADWAY EASEMENT
 (12-06-02, 02C-390)
 VACATED BY: Q3DRB-01209

EXISTING 156' PUBLIC WATERLINE EASEMENT
 (09-25-02, BK. A42, PG. 2469)

EXISTING 156' PUBLIC WATERLINE EASEMENT
 (09-25-02, BK. A42, PG. 2470)

EXISTING 156' PUBLIC C.O.A. WATERLINE EASEMENT
 (10-18-02, BK. A43, PG. 4894)

EXISTING PUBLIC ROADWAY, DRAINAGE,
 WATER AND SANITARY SEWER EASEMENT
 (12-06-02, 02C-390)

ACCESS CONTROL LINE

N 13°24'29" W
 5630.66'

S89°47'57"E

ACCESS CONTROL LINE

R=2000.00'
 L=590.72'
 CH= N08°19'36"E 588.57'
 $\Delta=16^{\circ}55'22"$

1100.06'

FUTURE 156' ROW

FUTURE UNSER BOULEVARD
 (FUTURE 156' ROW)

N00°08'05"W

SET 5/8" REBAR WITH
 CAP "ALS LS
 7719" (TYP)

ACS MONUMENT "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 $\Delta\alpha=-00^{\circ}16'42"$
 CENTRAL ZONE
 (NAD 1927)

Richard
 11-04-04

TRACT F
 ARROWOOD RANCH
 DEVELOPMENT
 (12-06-2002, 2002C-390)

NORTH 1/2
 TRACT 11

**ALDRICH LAND
 SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

LAND OF CORA
 TRACT 1
 FLORENCE
 (02-08-73, B7-135)

Dwg: sheet3-A.dwg	Drawn: RICHARD	Checked: ALS	Sheet 3 of 6
Scale: AS SHOWN	Date: 11/02/04	Job: A02106	

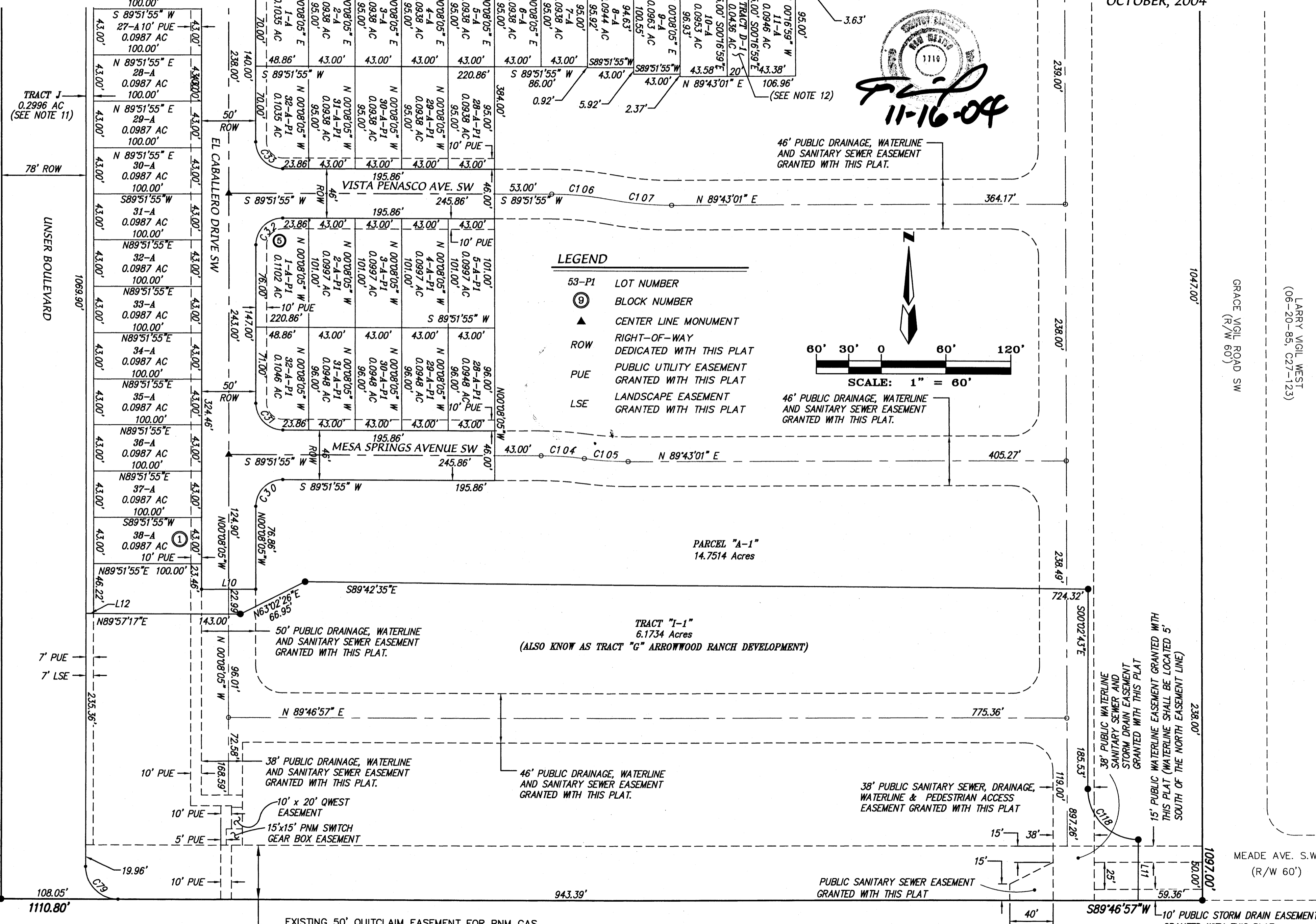
ALL PUBLIC STREET
RIGHT-OF-WAY
DEDICATED TO THE CITY
OF ALBUQUERQUE IN
FEE SIMPLE WITH
WARRANTY COVENANTS.

SEE SHEET 6 OF 6 FOR CURVE TABLE

SEE SHEET 4 OF 6 FOR CONTINUATION OF PLAT

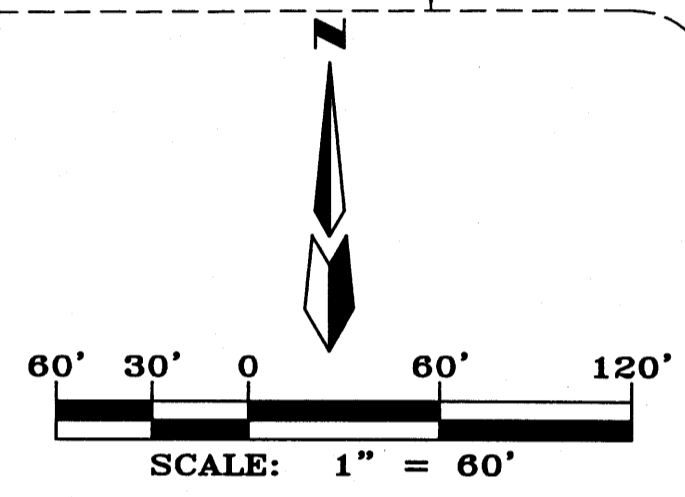
AMENDED PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 1
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 & 10
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2004

SEE SHEET 4 OF 6 FOR CONTINUATION OF PLAT



LEGEND

- 53-P1 LOT NUMBER
- 9 BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY DEDICATED WITH THIS PLAT
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THIS PLAT
- LSE LANDSCAPE EASEMENT GRANTED WITH THIS PLAT



F:\A02106\AN\FINAL PLAT\MESA UNIT 1\AMENDED PLAT\BASE-A.DWG, 11/15/2004 4:09:32 PM, MARK GOODWIN & ASSOCIATES, PLOTTED BY RDQ

LAND OF CORA
TRACT 1
FLORENCE
(02-08-73, B7-135)

TRACT J
0.2996 AC
(SEE NOTE 11)

UNSER BOULEVARD

GRACE VIGIL ROAD SW
(R/W 60')

LARRY VIGIL WEST
(06-20-85, C27-123)

MEADE AVE. S.W.
(R/W 60')

SET 5/8" REBAR
WITH CAP "ALS LS
7719" (TYP)

EXISTING 50' QUITCLAIM EASEMENT FOR PNM GAS
PIPELINE (03-27-00, A3-9161)

DENNIS CHAVEZ BOULEVARD S.W. (R/W 255')

Dwg: base-A.dwg	Drawn: RICHARD	Checked: ALS	Sheet 5 of 6
Scale: AS SHOWN	Date: 11/15/04	Job: A02106	

AMENDED PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 1
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 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004

NOTES:

1. Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:

 BULK LAND PLAT OF "ARROWOOD RANCH DEVELOPMENT, TRACTS A THRU I", (12-06-02, 02C-390)

 PLAT OF "LANDS OF SALAZAR-DAVIS", (05-06-86, C30-91)

 AMOLE-HUBBELL-BORREGA "DRAINAGE RIGHTS-OF-WAY (05-26-89, C39-59)

 PLAT OF "LARRY VIGIL WEST", (06-20-85, C27-123)

 all being records of Bernalillo County, New Mexico.
5. Title Report: provided by Fidelity National Title, Commitment No.: 02-1024800-B-RAD (Effective Date: 11-07-02)
6. Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).
7. DISCLOSURE STATEMENT FOR EXISTING PNM GAS LINE:
 With the exception of areas located within the future rights-of-way of Unser Boulevard, SW and 98" Street, SW., The southeast corner of tract H and a future sanitary sewer crossing located approximately 470 feet west of the southwest corner of tract 14, any improvements encroaching into existing PNM natural gas line easements shall not interfere with nor inhibit PNM's ability to operate and maintain its gas line facilities. The property owner or person or business responsible for any encroachment shall pay for all PNM utility relocations or modifications caused by such easement encroachments.
8. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
9. No individual lots shall be allowed direct access to Dennis Chavez Boulevard S.W. or Unser Blvd S.W.
10. All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
11. Tract "J" is to provide an additional 7' wide landscape area to be owned and maintained by the Anderson Hills Homeowners Association. This tract will also be encumbered with a blanket 7' wide PUE and public access and sidewalk easement.
12. Tract "D" shall be a public pedestrian access and landscape easement to be owned and maintained by the Anderson Hills Homeowners Association.
13. Tract "H" (park) is comprised of 0.9444 acres dedicated to the city of Albuquerque and 1.0561 acres purchased by the city of Albuquerque.

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 9 and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being all of THE MESA AT ANDERSON HILLS, UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 8, 2004 in Book 2004C, Page 260 and containing 42.1309 acres more or less.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

2604181571
 6175899
 Page: 2 of 6
 11/19/2004 02:42P
 Mary Herrera Bern. Co. PLAT R 32.00 Bk-2004C Pg-362

[Signature]
 10-20-04

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: SHEET2-A.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 6
Scale: N/A	Date: 10/18/04	Job: A02106	

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AMENDED PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 1
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 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004

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 6175969
 Page: 3 of 6
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 Bk-2004C Pg-362

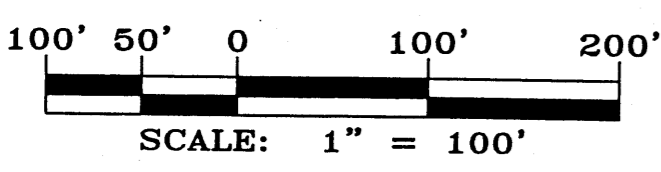
SITE BENCHMARK

ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

ACS MONUMENT "2-P10"
 Y=1,464,349.24
 X= 358,414.13
 G-G=0.9996842
 $\Delta\alpha=-00^{\circ}16'16"$
 CENTRAL ZONE
 (NAD 1927)

DENOTES EASEMENTS OR PORTION
 OF EASEMENTS BEING VACATED

SEC 3 | SEC 10
 SEC 4 | SEC 9



LANDS OF SALAZAR-DAVIS
 TRACT 1
 (05-06-86, C30-91)

TRACT I
 ARROWOOD RANCH DEVELOPMENT
 (12-6-2002, 2002C-390)

TRACT H
 ARROWOOD RANCH DEVELOPMENT
 (12-6-2002, 2002C-390)

TRACT G
 ARROWOOD RANCH DEVELOPMENT
 (12-6-2002, 2002C-390)
 (6.6533 Acres)

TRACT F
 ARROWOOD RANCH DEVELOPMENT
 (12-06-2002, 2002C-390)

NORTH 1/2
 TRACT 11

LAND OF CORA
 TRACT 1
 FLORENCE
 (02-08-73, B7-135)

ACS MONUMENT "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 $\Delta\alpha=-00^{\circ}16'42"$
 CENTRAL ZONE
 (NAD 1927)

ALS
 11-04-04

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: sheet3-A.dwg	Drawn: RICHARD	Checked: ALS	Sheet 3 of 6
Scale: AS SHOWN	Date: 11/02/04	Job: A02106	

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LEGEND

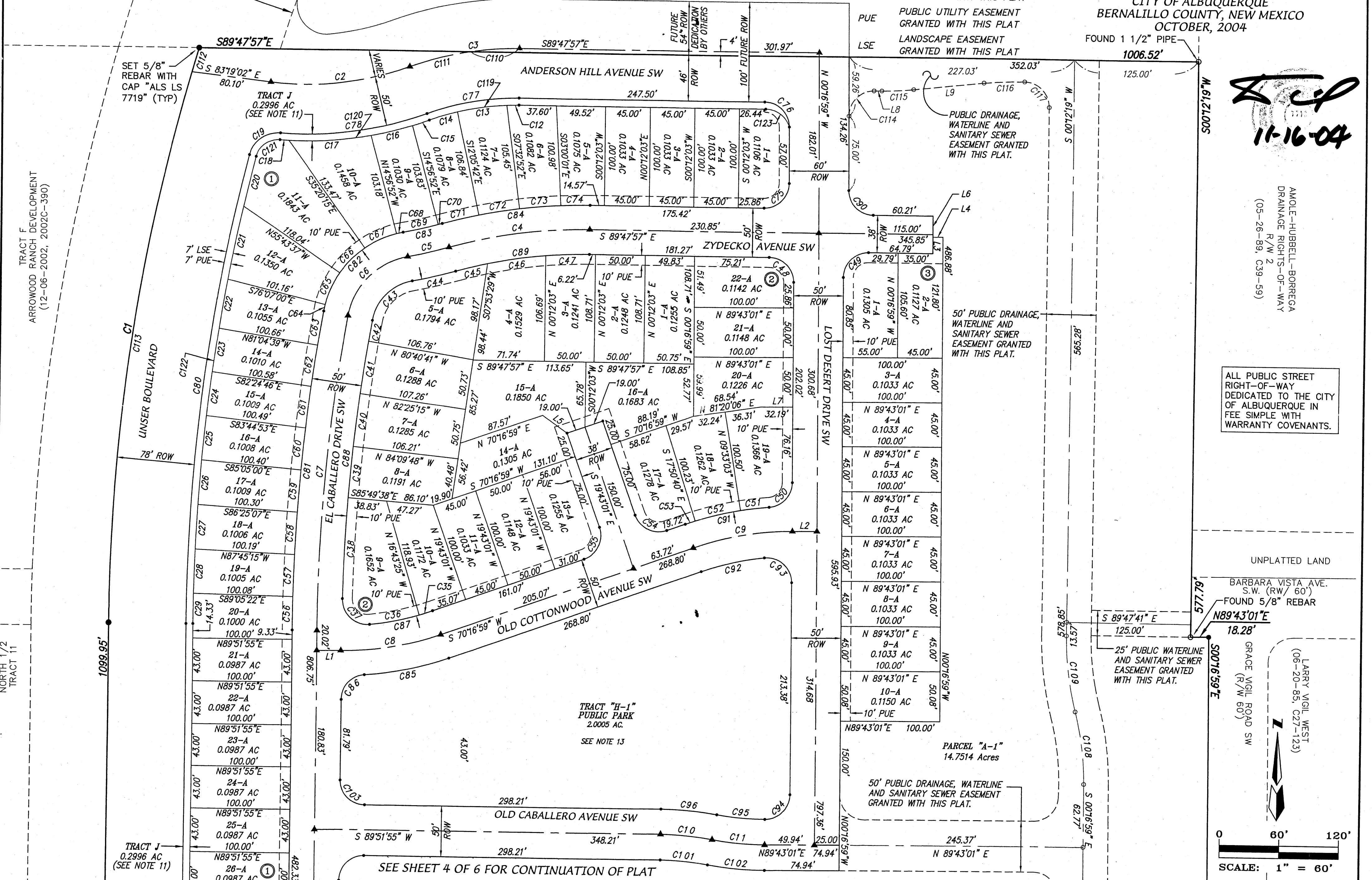
- 63-P1 LOT NUMBER
- Ⓣ BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY DEDICATED WITH THIS PLAT
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THIS PLAT
- LSE LANDSCAPE EASEMENT GRANTED WITH THIS PLAT

AMENDED PLAT FOR
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TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2004

ALP
11-16-04

AMOLE-HUBBELL-BORRECA
DRAINAGE RIGHTS-OF-WAY
R/W 2
(05-26-89, C39-59)

ALL PUBLIC STREET
RIGHT-OF-WAY
DEDICATED TO THE CITY
OF ALBUQUERQUE IN
FEE SIMPLE WITH
WARRANTY COVENANTS.



TRACT F
ARROWOOD RANCH DEVELOPMENT
(12-06-2002, 2002C-390)

TRACT J
0.2996 AC
(SEE NOTE 11)

TRACT K
0.1458 AC
(SEE NOTE 11)

TRACT L
0.1030 AC
(SEE NOTE 11)

TRACT M
0.1079 AC
(SEE NOTE 11)

TRACT N
0.1033 AC
(SEE NOTE 11)

TRACT O
0.1033 AC
(SEE NOTE 11)

TRACT P
0.1033 AC
(SEE NOTE 11)

TRACT Q
0.1033 AC
(SEE NOTE 11)

TRACT R
0.1033 AC
(SEE NOTE 11)

TRACT S
0.1033 AC
(SEE NOTE 11)

TRACT T
0.1033 AC
(SEE NOTE 11)

TRACT U
0.1033 AC
(SEE NOTE 11)

TRACT V
0.1033 AC
(SEE NOTE 11)

TRACT W
0.1033 AC
(SEE NOTE 11)

TRACT X
0.1033 AC
(SEE NOTE 11)

TRACT Y
0.1033 AC
(SEE NOTE 11)

TRACT Z
0.1033 AC
(SEE NOTE 11)

TRACT AA
0.1033 AC
(SEE NOTE 11)

TRACT AB
0.1033 AC
(SEE NOTE 11)

TRACT AC
0.1033 AC
(SEE NOTE 11)

TRACT AD
0.1033 AC
(SEE NOTE 11)

TRACT AE
0.1033 AC
(SEE NOTE 11)

TRACT AF
0.1033 AC
(SEE NOTE 11)

TRACT AG
0.1033 AC
(SEE NOTE 11)

TRACT AH
0.1033 AC
(SEE NOTE 11)

TRACT AI
0.1033 AC
(SEE NOTE 11)

TRACT AJ
0.1033 AC
(SEE NOTE 11)

TRACT AK
0.1033 AC
(SEE NOTE 11)

TRACT AL
0.1033 AC
(SEE NOTE 11)

TRACT AM
0.1033 AC
(SEE NOTE 11)

TRACT AN
0.1033 AC
(SEE NOTE 11)

TRACT AO
0.1033 AC
(SEE NOTE 11)

TRACT AP
0.1033 AC
(SEE NOTE 11)

TRACT AQ
0.1033 AC
(SEE NOTE 11)

TRACT AR
0.1033 AC
(SEE NOTE 11)

TRACT AS
0.1033 AC
(SEE NOTE 11)

TRACT AT
0.1033 AC
(SEE NOTE 11)

TRACT AU
0.1033 AC
(SEE NOTE 11)

TRACT AV
0.1033 AC
(SEE NOTE 11)

TRACT AW
0.1033 AC
(SEE NOTE 11)

TRACT AX
0.1033 AC
(SEE NOTE 11)

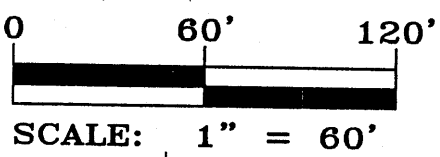
TRACT AY
0.1033 AC
(SEE NOTE 11)

TRACT AZ
0.1033 AC
(SEE NOTE 11)

TRACT BA
0.1033 AC
(SEE NOTE 11)

TRACT BB
0.1033 AC
(SEE NOTE 11)

TRACT BC
0.1033 AC
(SEE NOTE 11)



Dwg: base-A.dwg	Drawn: RICHARD	Checked: ALS	Sheet of
Scale: AS SHOWN	Date: 11/15/04	Job: A02106	4 of 6

SEE SHEET 4 OF 6 FOR CONTINUATION OF PLAT
SEE SHEET 6 OF 6 FOR CURVE TABLE

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ALL PUBLIC STREET
RIGHT-OF-WAY
DEDICATED TO THE CITY
OF ALBUQUERQUE IN
FEE SIMPLE WITH
WARRANTY COVENANTS.

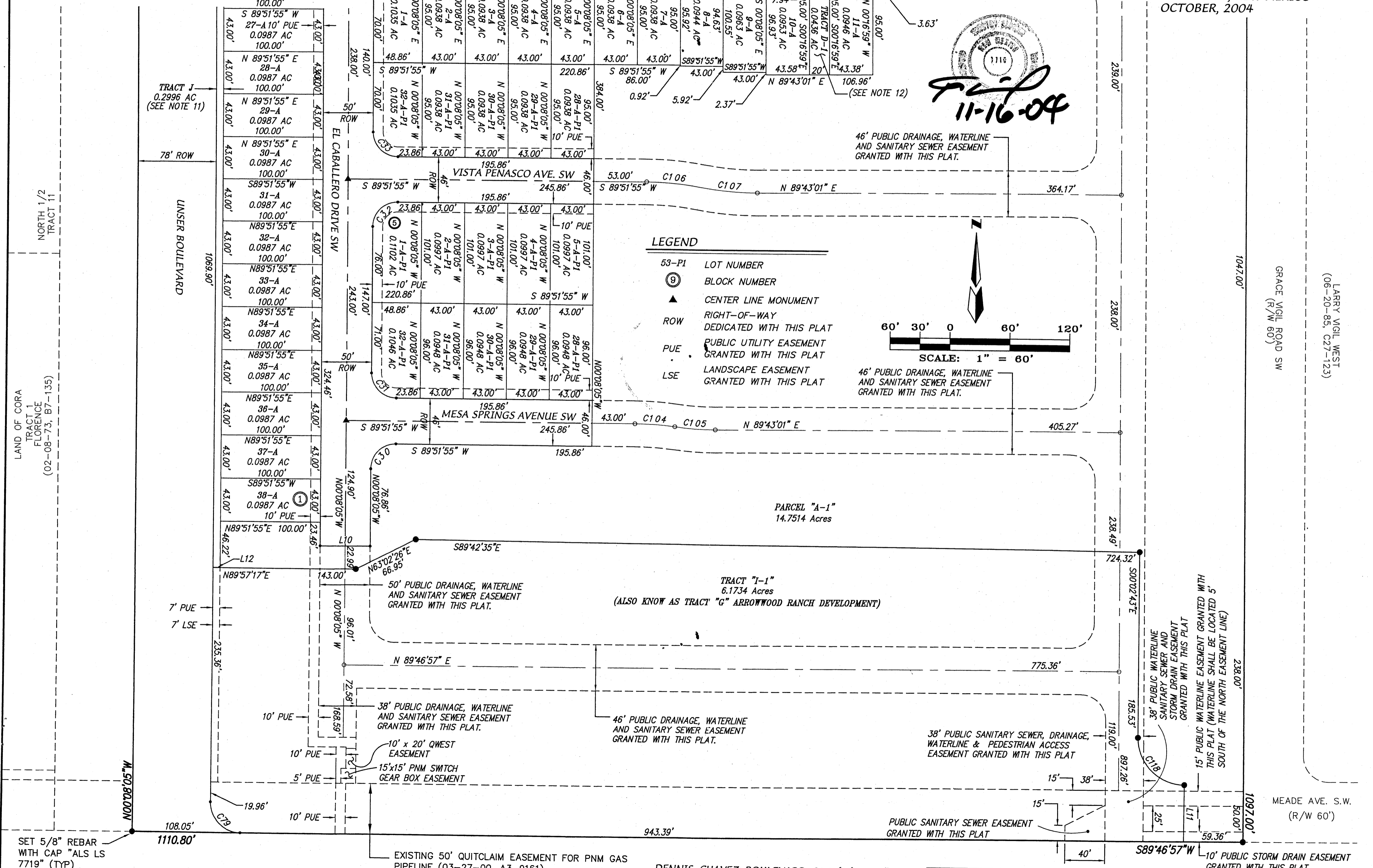
SEE SHEET 6 OF 6 FOR CURVE TABLE

SEE SHEET 4 OF 6 FOR CONTINUATION OF PLAT



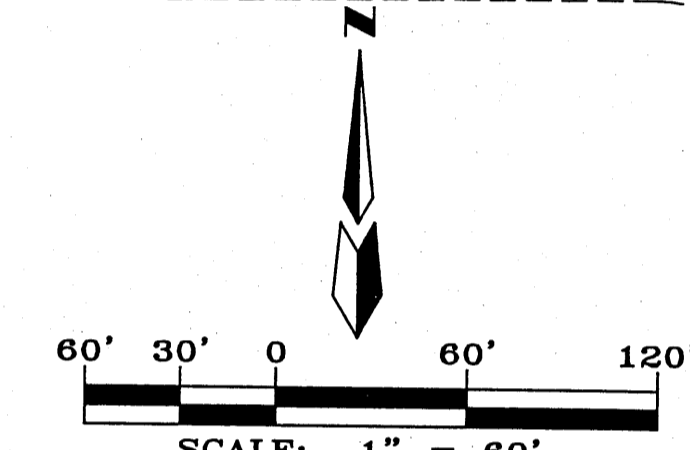
AMENDED PLAT FOR
THE MESA AT ANDERSON HILLS
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TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2004

SEE SHEET 4 OF 6 FOR CONTINUATION OF PLAT



LEGEND

- 53-PI LOT NUMBER
- ⊙ BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY DEDICATED WITH THIS PLAT
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THIS PLAT
- LSE LANDSCAPE EASEMENT GRANTED WITH THIS PLAT



46' PUBLIC DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT GRANTED WITH THIS PLAT.

46' PUBLIC DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT GRANTED WITH THIS PLAT.

PARCEL "A-1"
14.7514 Acres

TRACT "I-1"
6.1734 Acres
(ALSO KNOWN AS TRACT "G" ARROWWOOD RANCH DEVELOPMENT)

PUBLIC WATERLINE AND SANITARY SEWER AND STORM DRAIN EASEMENT GRANTED WITH THIS PLAT
PUBLIC WATERLINE EASEMENT GRANTED WITH THIS PLAT
THIS PLAT (WATERLINE SHALL BE LOCATED 5' SOUTH OF THE NORTH EASEMENT LINE)

38' PUBLIC SANITARY SEWER, DRAINAGE, WATERLINE & PEDESTRIAN ACCESS EASEMENT GRANTED WITH THIS PLAT

46' PUBLIC DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT GRANTED WITH THIS PLAT.

38' PUBLIC DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT GRANTED WITH THIS PLAT.

10' PUE

10' x 20' WEST EASEMENT
15' x 15' PNM SWITCH GEAR BOX EASEMENT

PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THIS PLAT

EXISTING 50' QUITCLAIM EASEMENT FOR PNM GAS PIPELINE (03-27-00, A3-9161)

DENNIS CHAVEZ BOULEVARD S.W. (R/W 255')

SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

Dwg: base-A.dwg	Drawn: RICHARD	Checked: ALS	Sheet 5 of 6
Scale: AS SHOWN	Date: 11/15/04	Job: A02106	

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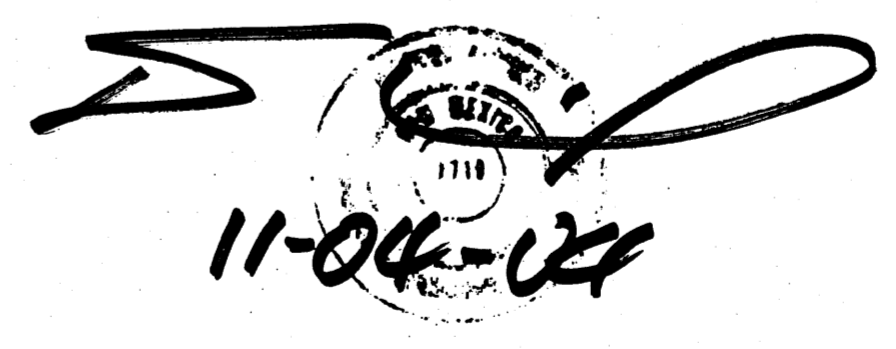
AMENDED PLAT FOR
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 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004



CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C1	590.72	2000.00	16°55'22"	297.52	S08°19'36"W	588.57
C2	142.29	300.00	27°10'30"	72.51	N83°05'43"E	140.96
C3	112.68	312.00	20°41'35"	56.96	S79°51'15"W	112.07
C4	143.30	500.00	16°25'17"	72.15	S81°59'24"W	142.81
C5	42.64	470.00	5°11'54"	21.34	N76°22'42"E	42.63
C6	90.28	75.00	68°58'20"	51.52	S44°29'29"W	84.93
C7	318.56	1800.00	10°08'25"	159.70	S04°56'07"W	318.15
C8	102.53	300.00	19°34'56"	51.77	N80°04'27"E	102.03
C9	101.76	300.00	19°26'02"	51.37	S80°00'00"W	101.27
C10	52.37	300.00	10°00'04"	26.25	N85°08'03"W	52.30
C11	53.14	300.00	10°08'58"	26.64	S85°12'30"E	53.07
C12	12.44	255.00	2°47'46"	6.22	S88°48'09"W	12.44
C13	50.18	255.00	11°16'28"	25.17	S81°46'02"W	50.10
C14	29.47	255.00	6°37'20"	14.75	S72°49'08"W	29.46
C15	17.92	357.00	2°52'32"	8.96	N70°56'44"E	17.92
C16	43.03	357.00	6°54'22"	21.54	N75°50'11"E	43.00
C17	83.02	357.00	13°19'28"	41.70	N85°57'06"E	82.84
C18	9.12	357.00	1°27'50"	4.56	S86°39'15"E	9.12
C19	41.85	30.00	79°55'12"	25.14	S54°07'04"W	38.54
C20	52.31	1915.00	1°33'54"	26.15	S13°22'31"W	52.30
C21	76.04	1915.00	2°16'30"	38.02	S11°27'19"W	76.03
C22	50.00	1915.00	1°29'46"	25.00	S09°34'12"W	50.00
C23	44.88	1915.00	1°20'34"	22.44	S08°09'02"W	44.88
C24	44.88	1915.00	1°20'34"	22.44	S06°48'28"W	44.87
C25	44.87	1915.00	1°20'33"	22.44	S05°27'55"W	44.87
C26	44.87	1915.00	1°20'33"	22.44	S04°07'22"W	44.87
C27	44.87	1915.00	1°20'33"	22.44	S02°46'49"W	44.87
C28	44.87	1915.00	1°20'33"	22.43	S01°26'16"W	44.87
C29	30.12	1915.00	0°54'04"	15.06	S00°18'57"W	30.12
C30	39.27	25.00	90°00'00"	25.00	S44°51'55"W	35.36
C31	39.27	25.00	90°00'00"	25.00	S45°08'05"E	35.36
C32	39.27	25.00	90°00'00"	25.00	S44°51'55"W	35.36
C33	39.27	25.00	90°00'00"	25.00	S45°08'05"E	35.36
C34	39.27	25.00	90°00'00"	25.00	S44°51'55"W	35.36
C35	14.37	275.00	02°59'36"	7.19	N71°46'47"E	14.37
C36	50.85	275.00	10°35'39"	25.50	N78°34'25"E	50.78
C37	42.33	25.00	97°01'15"	28.27	S47°37'08"E	37.45
C38	101.65	1775.00	3°16'53"	50.84	S02°31'56"W	101.64
C39	51.54	1775.00	1°39'50"	25.77	S05°00'17"W	51.54
C40	53.99	1775.00	1°44'34"	27.00	S06°42'29"W	53.99
C41	53.99	1775.00	1°44'34"	27.00	S08°27'02"W	53.99
C42	21.17	1775.00	0°41'00"	10.59	S09°39'49"W	21.17
C43	60.19	50.00	68°58'20"	34.35	S44°29'29"W	56.62
C44	44.91	495.00	5°11'54"	22.47	N76°22'42"E	44.89
C45	32.98	475.00	3°58'43"	16.50	S75°46'07"W	32.98
C46	59.32	475.00	7°09'17"	29.70	S81°20'08"W	59.28
C47	43.84	475.00	5°17'16"	21.93	S87°33'24"W	43.82
C48	39.06	25.00	89°30'58"	24.79	N45°02'28"W	35.21
C49	39.48	25.00	90°29'02"	25.21	S44°57'32"W	35.50
C50	37.45	25.00	85°50'07"	23.25	N42°38'04"E	34.05
C51	28.95	325.00	5°06'11"	14.48	S83°00'02"W	28.94
C52	47.04	325.00	8°17'37"	23.56	S76°18'08"W	47.00
C53	10.62	325.00	1°52'21"	5.31	S71°13'09"W	10.62
C54	39.27	25.00	90°00'00"	25.00	S64°43'01"E	35.36
C55	39.27	25.00	90°00'00"	25.00	N25°16'59"E	35.36
C56	33.30	1825.00	1°02'43"	16.65	S00°23'17"W	33.30
C57	42.53	1825.00	1°20'07"	21.27	S01°34'42"W	42.53
C58	42.53	1825.00	1°20'07"	21.27	S02°54'49"W	42.53
C59	42.53	1825.00	1°20'07"	21.27	S04°14'56"W	42.53
C60	42.53	1825.00	1°20'07"	21.27	S05°35'03"W	42.53
C61	42.53	1825.00	1°20'07"	21.27	S06°55'10"W	42.53
C62	42.53	1825.00	1°20'07"	21.27	S08°15'17"W	42.53
C63	34.49	1825.00	1°04'59"	17.25	S09°27'50"W	34.49
C64	6.77	100.00	3°52'40"	3.39	S11°56'40"W	6.77
C65	35.59	100.00	20°23'23"	17.98	S24°04'41"W	35.40
C66	35.59	100.00	20°23'23"	17.98	S44°28'04"W	35.40
C67	35.59	100.00	20°23'23"	17.98	S64°51'27"W	35.40
C68	6.85	100.00	3°55'31"	3.43	S77°00'54"W	6.85
C69	36.18	445.00	4°39'29"	18.10	N76°38'55"E	36.17
C70	4.19	445.00	0°32'24"	2.10	N74°02'58"E	4.19
C71	37.80	525.00	4°07'33"	18.91	S75°50'32"W	37.80
C72	41.67	525.00	4°32'50"	20.84	S80°10'43"W	41.66
C73	41.67	525.00	4°32'50"	20.84	S84°43'34"W	41.66
C74	29.33	525.00	3°12'04"	14.67	S88°36'01"W	29.33
C75	39.48	25.00	90°29'02"	25.21	N44°57'32"E	35.50
C76	39.06	25.00	89°30'58"	24.79	N45°02'28"W	35.21
C77	94.62	262.00	20°41'35"	47.83	S79°51'15"W	94.11
C78	150.09	350.00	24°34'12"	76.22	N81°47'34"E	148.94
C79	41.17	30.00	90°04'58"	30.04	N45°10'34"W	42.46

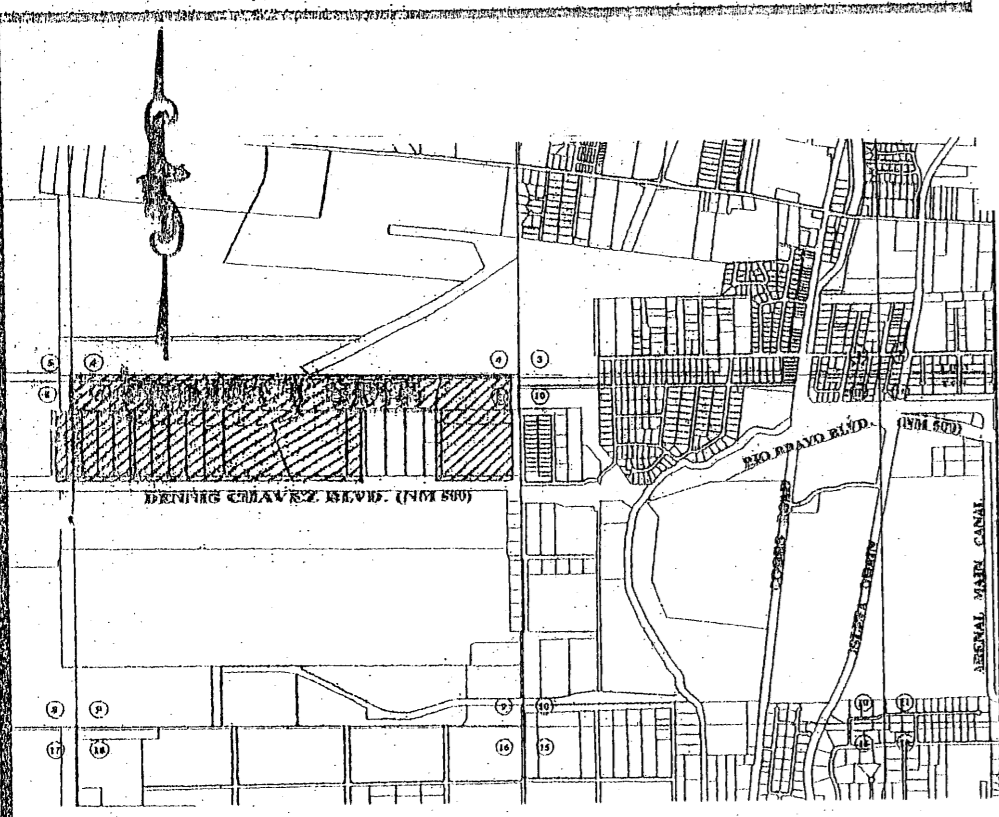
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C80	479.45	1922.00	14°17'33"	240.97	S07°00'42"W	478.21
C81	322.99	1825.00	10°08'25"	161.92	S04°56'07"W	322.57
C82	120.38	100.00	68°58'20"	68.69	S44°29'29"W	113.24
C83	40.37	445.00	5°11'54"	20.20	N76°22'42"E	40.36
C84	150.47	525.00	16°25'17"	75.75	S81°59'24"W	149.95
C85	87.07	325.00	15°21'01"	43.80	N77°57'29"E	86.81
C86	37.42	25.00	85°46'05"	23.22	S42°44'57"W	34.03
C87	65.22	275.00	13°35'15"	32.76	N77°04'37"E	65.06
C88	282.35	1775.00	9°06'50"	141.47	S05°26'55"W	282.05
C89	136.14	475.00	16°25'17"	68.54	S81°59'24"W	135.67
C90	39.06	25.00	89°30'58"	24.79	S45°02'28"W	35.21
C91	86.61	325.00	15°16'08"	43.56	S77°55'03"W	86.35
C92	65.27	275.00	13°35'53"	32.79	S77°04'56"W	65.11
C93	41.82	25.00	95°50'09"	27.69	N48°12'03"W	37.11
C94	39.28	25.00	90°00'45"	25.01	N44°43'24"E	35.36
C95	48.65	275.00	10°08'13"	24.39	S85°12'07"E	48.59
C96	56.73	325.00	10°00'04"	28.44	N85°08'03"W	56.65
C97	35.46	325.00	6°15'06"	17.75	S87°09'26"E	35.44
C98	22.11	325.00	3°53'52"	11.06	S82°04'57"E	22.11
C99	21.31	275.00	4°26'27"	10.66	N82°21'14"W	21.31
C100	26.69	275.00	5°33'37"	13.35	N87°21'16"W	26.68
C101	48.00	275.00	10°00'04"	24.06	N85°08'03"W	47.94
C102	57.57	325.00	10°08'58"	28.86	S85°12'30"E	57.50
C103	39.27	25.00	90°00'00"	25.00	S45°08'05"E	35.36
C104	40.04	300.00	7°38'49"	20.05	N86°18'41"W	40.01
C105	40.82	300.00	7°47'43"	20.44	S86°23'08"E	40.78
C106	55.48	300.00	10°35'44"	27.82	N84°50'13"W	55.40
C107	56.26	300.00	10°44'38"	28.21	S84°54'40"E	56.17
C108	74.27	300.00	14°11'08"	37.33	N07°22'33"W	74.09
C109	76.83	300.00	14°40'25"	38.63	S07°07'54"E	76.62
C110	50.01	312.00	09°11'04"	25.06	S85°36'30"W	49.96
C111	62.67	312.00	11°30'30"	31.44	S75°15'43"W	62.56
C112	25.54	2000.00	00°43'54"	12.77	S16°25'20"W	25.54
C113	565.18	2000.00	16°11'28"	284.48	S07°57'39"W	563.30
C114	39.48	25.00	90°29'02"	25.21	S44°57'32"W	35.50
C115	32.04	300.00	06°07'10"	16.04	S87°08'27"W	32.03
C116	40.98	491.00	04°46'57"	20.50	S87°48'34"W	40.97
C117	39.27	25.00	90°00'16"	25.00	S44°47'49"E	35.36
C118	73.72	47.00	89°51'56"	46.89	S44°58'29"E	66.39
C119	92.10	255.00	20°41'35"	46.55	S79°51'15"W	91.60
C120	153.09	357.00	24°34'12"	77.74	N81°47'34"E	151.92
C121	32.08	23.00	79°55'12"	19.27	S54°07'04"W	29.54
C122	477.70	1915.00	14°17'33"	240.10	S07°00'42"W	476.46
C123	31.96	25.00	73°15'19"	18.59	N53°10'18"W	29.83

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S89°51'55"W	24.17
L2	N89°43'01"E	24.58
L3	S00°16'59"E	16.50
L4	S89°43'01"W	10.00
L5	S54°32'05"E	30.45
L6	N00°16'59"W	21.50
L7	N89°43'01"E	32.19
L8	S89°47'57"E	7.90
L9	N84°04'52"E	71.11
L10	N89°46'57"E	50.00
L11	S00°00'07"W	56.01
L12	N89°57'17"E	7.00



ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBUQU., N.M. 87190
 505-884-1990

F:\AD2\055\2106\NH\FINAL PLAT\MESA UNIT 1\AMENDED PLAT\base-A.dwg, 11/2/2004 2:33:11 PM, MARK GOODWIN & ASSOCIATES, PLOTTED BY RDC



1" = 2850' +/-
VICINITY MAP
ZONE ATLAS P-9-Z

SUBDIVISION DATA:

CASE NO. _____ C.O.A. PROJECT NO. 1001979
GROSS SUBDIVISION ACREAGE 190.4014 02DRB-01496, 02DRB-01497
ZONE ATLAS INDEX NO. P-9-Z
NO. OF EXISTING TRACTS 15
NO. OF EXISTING LOTS 0
NO. OF LOTS CREATED 8
NO. OF TRACTS CREATED 8
MILES OF FULL WIDTH STREETS CREATED 0.00 MILES
AREA DEDICATED TO CITY OF ALBUQUERQUE 0.0000 ACRES
DATE OF SURVEY NOVEMBER, 2001
S.P. LOG NO. _____

BULK LAND PLAT
OF
TRACTS A,B,C,D,E,F,G,H, & I
ARROWOOD RANCH DEVELOPMENT

SITUATE WITHIN
PROJECTED SECTIONS 8, 9 & 10, T.9N., R.2E., N.M.P.M.
"TOWN OF ATRISCO GRANT"
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2002
City of Albuquerque

FREE CONSENT AND DEDICATION:

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF, AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE STREET RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS, AND DO HEREBY GRANT: ALL PUBLIC ROADWAY, DRAINAGE AND UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

APPROVALS:

Subdivision Case No. 1001979 // 02DRB-01496
11 02DRB-01497

Will De 11/21/02
Traffic Engineer Date

Christina Sandoval 10/23/02
Parks & Recreation Date

John Hart 9-27-02
City Surveyor Date

Roger A. Allen 10-23-02
Utility Development Division Date

N/A
Property Management Date

Bill White 11-21-02
Albuquerque Metropolitan Arroyo Flood Control Authority Date

Brad A. Bingham 10/23/02
City Engineer Date

Sean D. Munt 9-27-02
PNM Electric Services Date

Sean D. Munt 9-27-02
PNM Gas Services Date

Scott E. Song 09-26-02
Qwest Communications Date

Rita E. Incho 9-26-02
Comcast Intercable Date

APPROVAL & CONDITIONAL EXCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Article 14 of Chapter 14 of the Revised Ordinances of Albuquerque, N.M., 1994.
Sheran Watson 11/21/02
City Planner, Albuquerque/Bernalillo County Planning Division Date

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# See Certificate
UPC#
UPC#
UPC#
Brookside Holdings LLC Rio Holdings
PROPERTY OWNER OF RECORD:
Dorothy V. [Signature] 06 Dec 02
BERNALILLO COUNTY TREASURER'S OFFICE:

BY: L.L. Bell
L.L. BELL
MANAGER, BROOKSIDE HOLDINGS, INC.
MANAGER, RIO HOLDINGS, INC.

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 9/27/02
BY L.L. BELL, MANAGER, ON BEHALF OF SAID CORPORATIONS.

BY: Barbara Valencia
NOTARY PUBLIC

MY COMMISSION EXPIRES: 4/13/04

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a title search of the property shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE 190.4014 ACRES INTO NINE (9) BULK LAND TRACTS, VACATE EXISTING TRACT LINES, AND GRANT PUBLIC ROADWAY, PUBLIC WATER, PUBLIC SEWER, AND PUBLIC DRAINAGE EASEMENTS AS SHOWN HEREON.

SURVEYORS CERTIFICATE:

I, KEVIN C. DAGGETT, NEW MEXICO PROFESSIONAL SURVEYOR NO. 11,000, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY SUPERVISION, AND THAT THE SAME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS PLAT, AND THE SURVEY UPON WHICH IT IS BASED, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS AS SET FORTH FOR LAND SURVEYS IN THE STATE OF NEW MEXICO.

Kevin C. Daggett 9/27/02
KEVIN C. DAGGETT, N.M.P.L.S. 11,000 DATE



BULK LAND TITLE

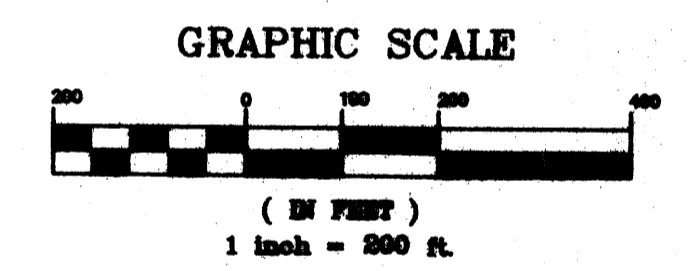
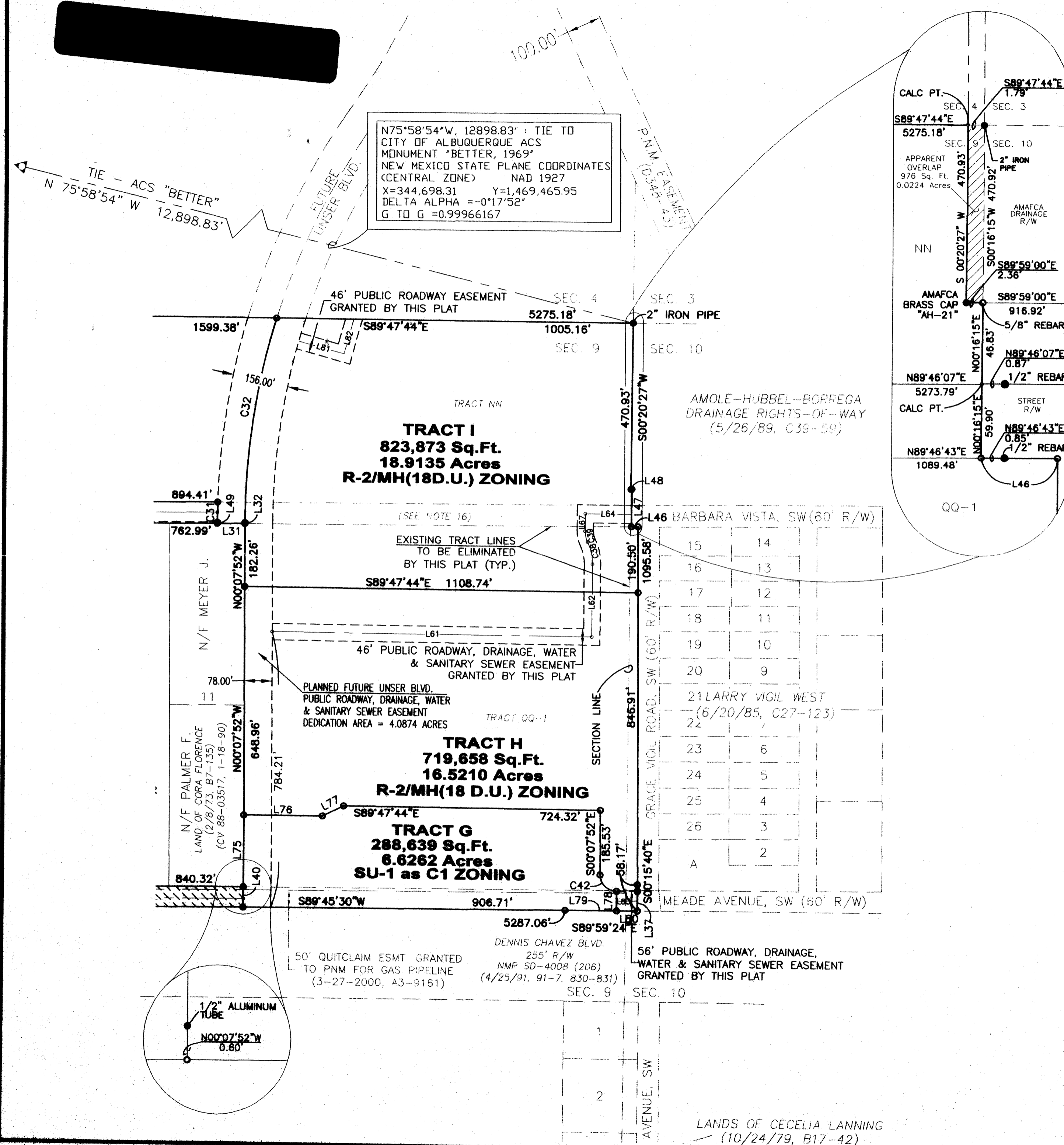
Designed By: KCD	Drawn By: Lsm	Checked By: KCD
File No.	Date: 09-23-02	

AMERICAN ENGINEERING & SURVEYING

3811 Arroyo Drive, NW, Ste. C
Albuquerque, N.M. 87120
amen@qwest.net (E-mail)
(505) 836-1200 (Voice)
(505) 254-7821 (Mobile)
(505) 836-1200 (Fax)

BULK LAND PLAT OF TRACTS A,B,C,D,E,F,G,H, & I ARROWOOD RANCH DEVELOPMENT

SITUATE WITHIN
PROJECTED SECTIONS 8, 9 & 10, T.9N., R.2E., N.M.P.M.
"TOWN OF ATRISCO GRANT"
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2002



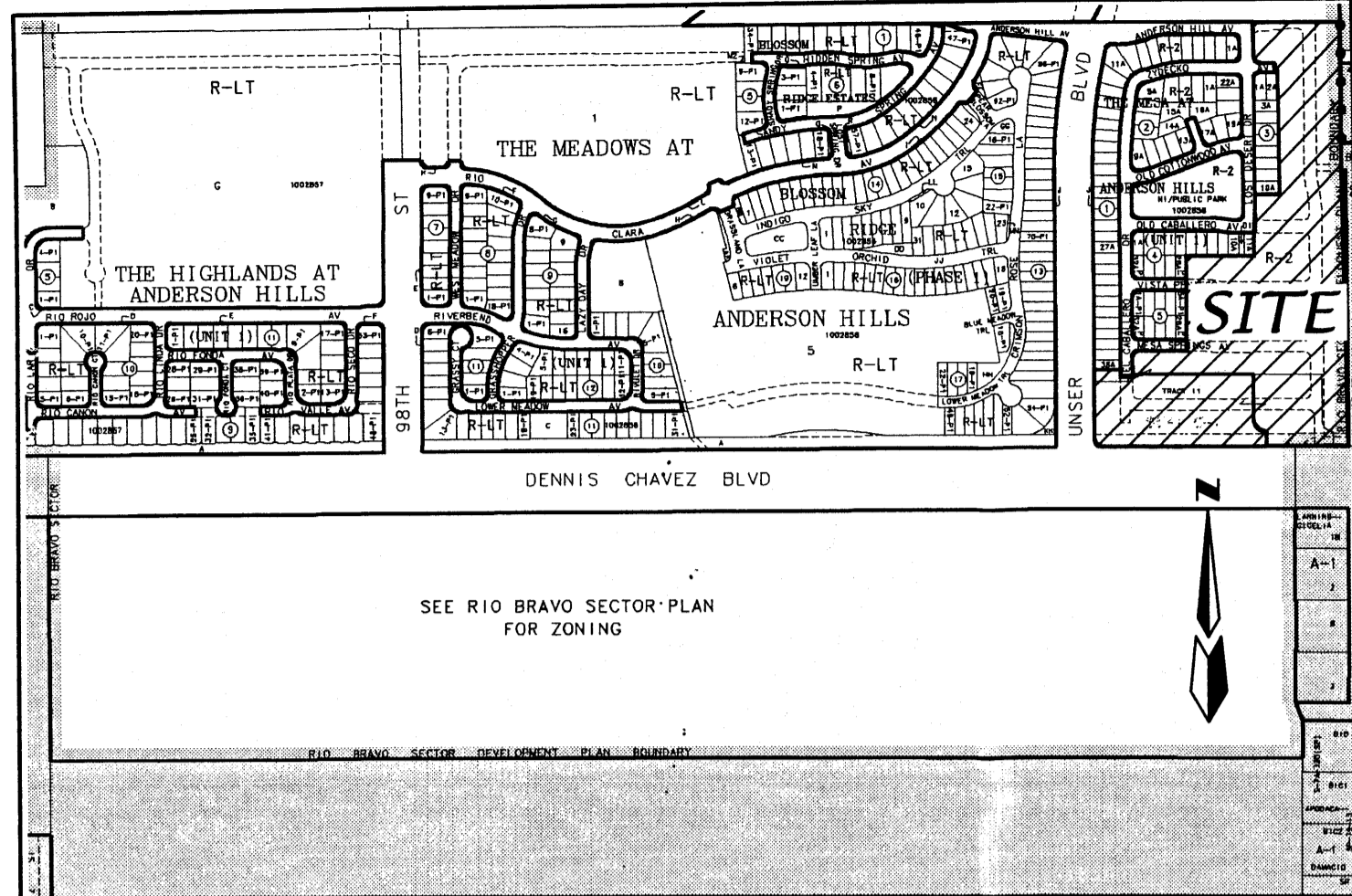
- LEGEND**
- INDICATES FOUND BOUNDARY MONUMENT
(1-1/4" IRON PIPE UNLESS OTHERWISE SPECIFIED)
 - INDICATES SET BOUNDARY MONUMENT
(5/8" REBAR WITH CAP STAMPED "P.S. 11000")
 - INDICATES CALCULATED POINT (NOT SET)
 - △ INDICATES A.C.S. MONUMENT



© COPYRIGHT
Sheet 5 of 6

TRACTS G, H & I			
Designed By: KCD	Drawn By: LsM	Checked By: KCD	
File No.		Date: 10-02-02	
3811 Arisco Drive, N.W., Ste. C Albuquerque, N.M. 87120 kcd@sqs.net (E-mail)			(505) 836-1265 (Office) (505) 228-7821 (Mobile) (505) 836-1268 (Fax)

LANDS OF CECELIA LANNING
(10/24/79, B17-42)



LOCATION MAP

ZONE ATLAS N-9-Z & P-9-Z
SCALE: NONE

SUBDIVISION DATA

Gross Acreage.....	20.9248 Ac.
Zone Atlas No.....	P-9-Z
No. of Existing Tracts/Parcels.....	1 Tracts/ 1 Parcel
No. of Tracts/Lots/Parcels created.....	6 Tracts/149 Lots
No. of Tracts/Parcels eliminated.....	2 Tracts
Miles of full width streets created.....	0.73
Miles of half width streets created.....	0.00
Street Area dedicated to the City of Albuquerque.....	4.2721 Ac.
Date of Survey.....	October, 2002
Utility Control Location System Log Number.....	2002450460
Zoning.....	R-2

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: ANDERSON HILLS, LLC
A New Mexico Limited Liability Company

BY: Rex Wilson 4.22.05
Rex Wilson, Managing Member DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on April 22, 2005
By Rex Wilson, Managing Member of ANDERSON HILLS, LLC A New Mexico Limited Liability Company on behalf of said Company.

Susan Rasinski
NOTARY PUBLIC

9.10.08
MY COMMISSION EXPIRES

OFFICIAL SEAL
SUSAN RASINSKI
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires _____

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 8, 9, and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being comprised of all of PARCEL "A-1" and all of TRACT "I-1", THE MESA AT ANDERSON HILLS, UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 19, 2004 in Book 2004C, Page 362 and containing 20.9248 acres more or less

NOTES

(SEE SHEET 3)

PURPOSE OF PLAT

1. Create 149 Residential lots and 6 HOA tracts.
2. Grant Easements as shown hereon.
3. Dedicate Right-of-Way as shown hereon.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 & 10
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002858

Application Number:

PLAT APPROVAL

Utility Approvals:

Samuel D. Martin 5-13-05
PNM Electric Services Date

Samuel D. Martin 5-13-05
PNM Gas Services Date

Robert R. Conroy 5-13-05
Qwest Date

Karen Burbon 5-13-05
Comcast Date

City Approvals:

Robert B. Faul 5/13/05
City Surveyor Date

Real Property Division Date

Traffic Engineering, Transportation Division Date

Albuquerque-Bernalillo County Utility Authority Date

Parks and Recreation Department Date

AMAFCA Date

City Engineer Date

DRB Chairperson, Planning Department Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 05-12-05
Timothy Aldrich P.S. No. 7719 Date



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Dwg: MESA-U2FPS1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 5
Scale: N/A	Date: 04/21/05	Job: A02106	

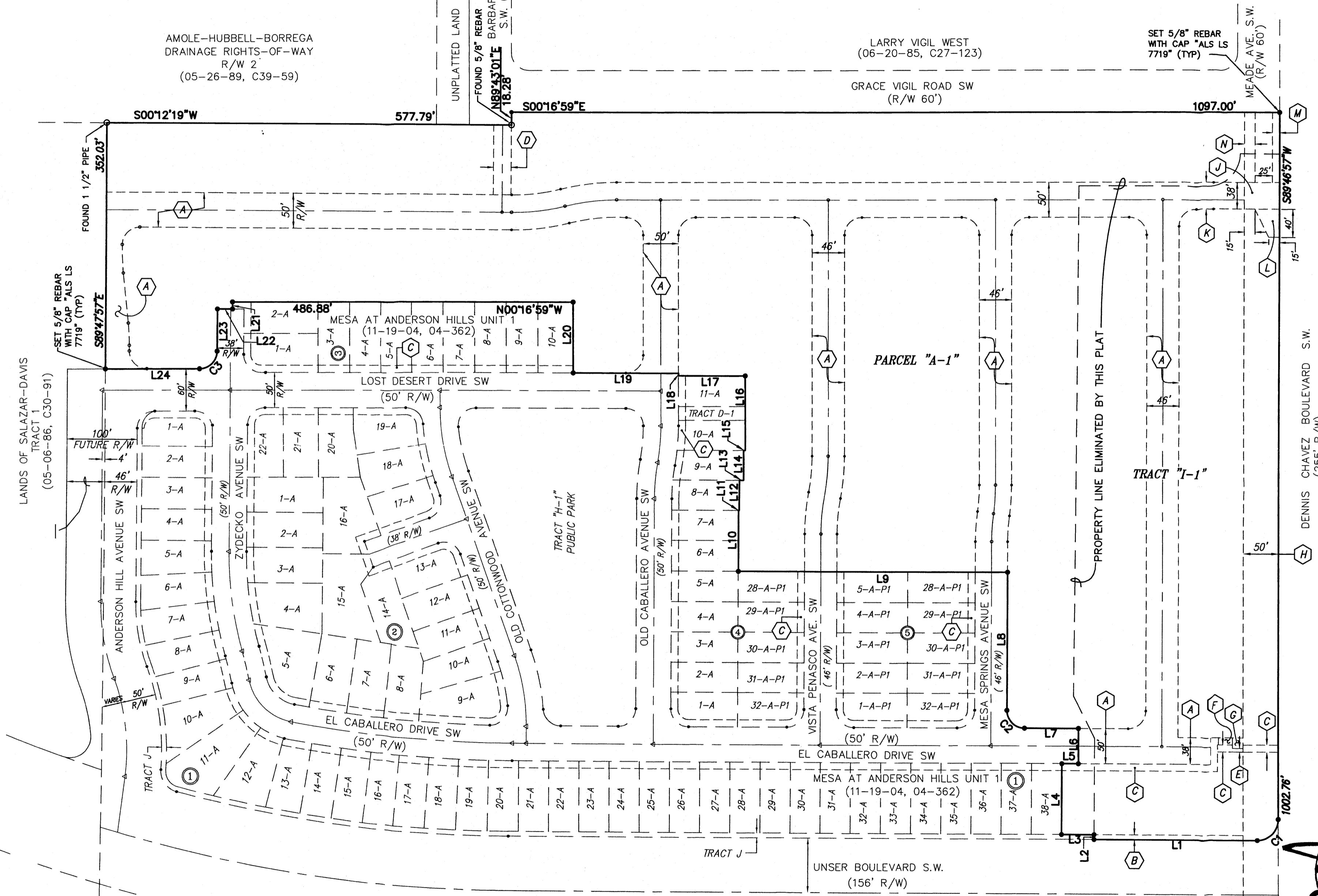
PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

LINE DATA			LINE DATA		
NUMBER	DIRECTION	DISTANCE	NUMBER	DIRECTION	DISTANCE
L1	N00°08'05"W	235.36	L7	N00°08'05"W	76.86
L2	N89°57'17"E	7.00	L8	S89°51'55"W	195.86
L3	N00°08'05"W	46.22	L9	S00°08'05"E	384.00
L4	N89°51'55"E	100.00	L10	S89°51'55"W	86.00
L5	N00°08'05"W	23.46	L11	S00°08'05"E	0.92
L6	N89°46'57"E	50.00	L12	S89°51'55"W	43.00

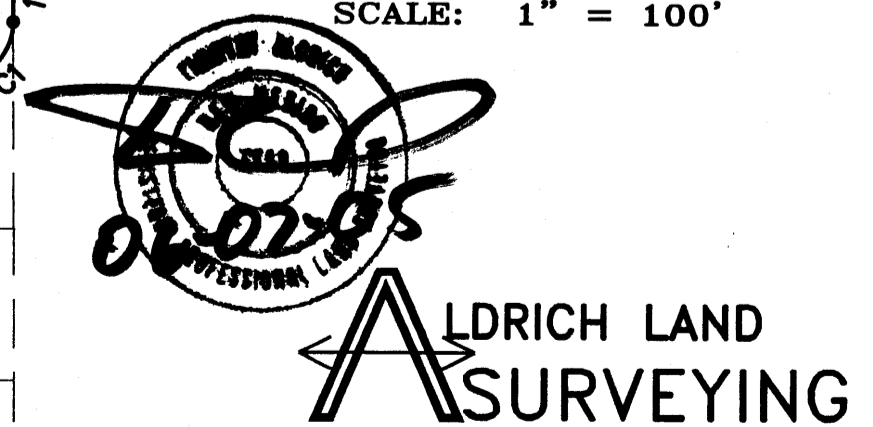
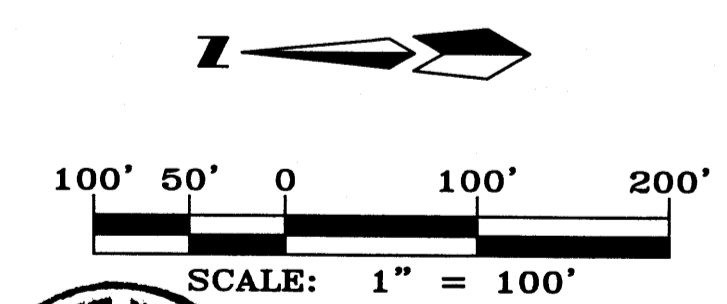
LINE DATA			LINE DATA		
NUMBER	DIRECTION	DISTANCE	NUMBER	DIRECTION	DISTANCE
L13	S00°08'05"E	5.92	L19	N00°16'59"W	150.00
L14	N89°51'55"E	43.00	L20	N89°43'01"E	100.00
L15	S00°08'05"E	2.37	L21	N89°43'01"E	10.00
L16	N89°43'01"E	106.96	L22	N00°16'59"W	21.50
L17	N00°16'59"W	95.00	L23	S89°47'57"E	60.21
L18	N89°43'01"E	3.63	L24	N00°16'59"W	134.26

EASEMENTS

- A EXIST. PUBLIC DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT (11-19-04, 04C-362)
- B EXISTING 7' PUE AND LANDSCAPE EASEMENT (11-19-04, 04C-362)
- C EXISTING 10' PUBLIC UTILITY EASEMENT (11-19-04, 04C-362)
- D EXISTING 25' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT (11-19-04, 04C-362)
- E EXISTING 5' PUE (11-19-04, 04C-362)
- F EXISTING 10' x 20' QWEST EASEMENT (11-19-04, 04C-362)
- G EXISTING 15'x15' PNM SWITCH GEAR BOX EASEMENT (11-19-04, 04C-362)
- H EXISTING 50' QUITCLAIM EASEMENT FOR PNM GAS PIPELINE (03-27-00, A3-9161)
- J EXISTING 38' PUBLIC WATERLINE SANITARY SEWER AND STORM DRAIN EASEMENT (11-19-04, 04C-362)
- K 38' PUBLIC SANITARY SEWER, DRAINAGE, WATERLINE & PEDESTRIAN ACCESS EASEMENT (11-19-04, 04C-362)
- L EXISTING PUBLIC SANITARY SEWER EASEMENT (11-19-04, 04C-362)
- M EXISTING 10' PUBLIC STORM DRAIN EASEMENT (11-19-04, 04C-362)
- N 15' PUBLIC WATERLINE EASEMENT (11-19-04, 04C-362)
- P 15' PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED WITH THIS PLAT



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	30.00	47.17	90°04'58"	30.04	S45°10'34"E	42.46
C2	25.00	39.27	90°00'00"	25.00	S44°51'55"W	35.36
C3	25.00	39.06	89°30'58"	24.79	S45°02'28"E	35.21



SEE SHEET 5 OF 5 FOR CURVE TABLE

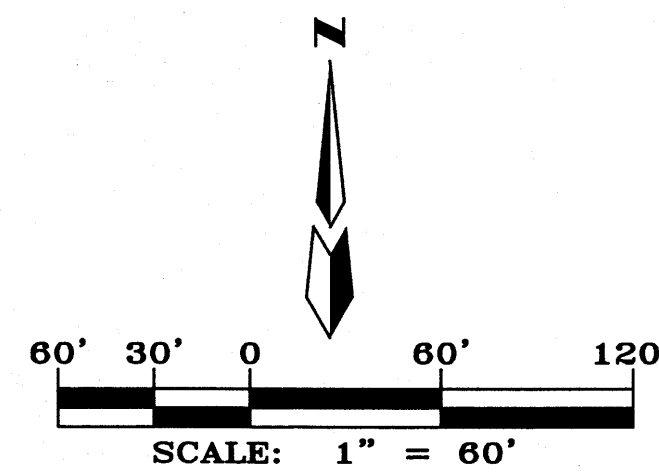
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Scale: AS SHOWN	Date: 06/01/05	Job: A02106	

F:\A02106\A\FINAL PLAT\MESA UNIT 2\MESA-U2FPS2.dwg, 6/1/2005 7:46:48 AM, MARK GOODWIN & ASSOCIATES, PLOTTED BY RDQ

PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

ACS MONUMENT "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927)

TRACT A
 LANDS OF SALAZAR FAMILY TRUST
 SALAZAR CUATRO TRUST
 JSJ INVESTMENT COMPANY
 ANF FALBA HANNET
 (07-23-03, 2003C-223)



LEGEND

- 1-P1 LOT NUMBER
- ③ BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- △ EXISTING CENTER LINE MONUMENT

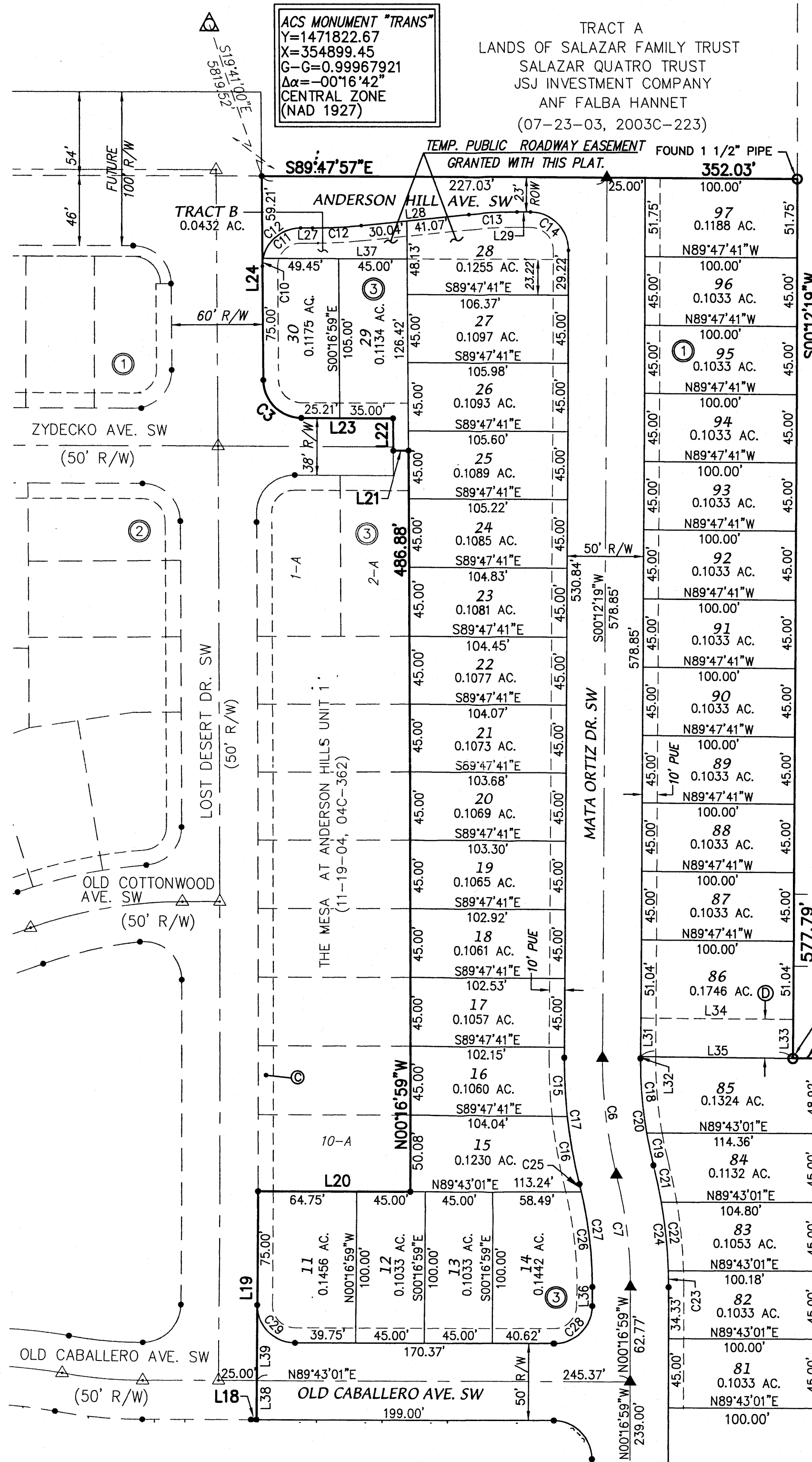
ABBREVIATIONS

- 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
- R/W = RIGHT-OF-WAY

ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY IN FEE
 SIMPLE

NOTES:

1. Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:
 THE MESA AT ANDERSON HILLS UNIT 1, (11-19-04, 04C-362)
 BULK LAND PLAT OF "ARROWOOD RANCH DEVELOPMENT, TRACTS A THRU I", (12-06-02, 02C-390)
 PLAT OF "LANDS OF SALAZAR-DAVIS", (05-06-86, C30-91)
 AMOLE-HUBBELL-BORREGA "DRAINAGE RIGHTS-OF-WAY (05-26-89, C39-59)
 PLAT OF "LARRY VIGIL WEST", (06-20-85, C27-123)
 all being records of Bernalillo County, New Mexico.
5. Title Report: provided by Fidelity National Title, Commitment No.: 02-1024800-B-RAD (Effective Date: 11-07-02)
6. Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).
7. DISCLOSURE STATEMENT FOR EXISTING PNM GAS LINE:
 With the exception of areas located within the future rights-of-way of Unser Boulevard, SW and 98th Street, SW. The southeast corner of tract H and a future sanitary sewer crossing located approximately 470 feet west of the southwest corner of tract 14, any improvements encroaching into existing PNM natural gas line easements shall not interfere with nor inhibit PNM's ability to operate and maintain its gas line facilities. The property owner or person or business responsible for any encroachment shall pay for all PNM utility relocations or modifications caused by such easement encroachments.
8. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped
 "CITY OF ALBUQUERQUE
 CENTERLINE MONUMENTATION,
 DO NOT DISTURB
 PLS 7719".
9. No individual lots shall be allowed direct access to Dennis Chavez Boulevard S.W. or Unser Blvd S.W.
10. All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
11. Tracts A, B, E, F, AND G shall be a Public Pedestrian Access and Landscape Easement to be owned and maintained by the Anderson Hills Homeowners Association.
12. Tract "K" is to provide an additional 7' wide landscape area to be owned and maintained by the Anderson Hills Homeowner's Association. This tract will also be encumbered by a 7' wide Public Utility Easement (PUE) and Public Access and Sidewalk Easement.

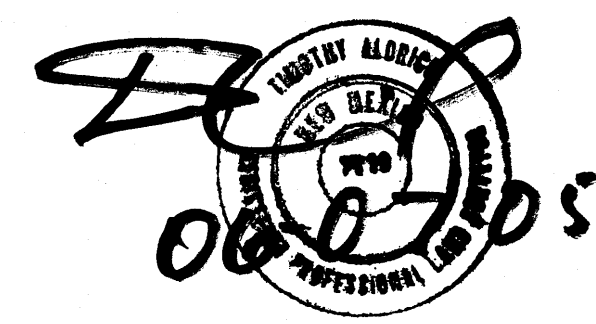


AMOLE-HUBBELL-BORREGA
 DRAINAGE RIGHTS-OF-WAY
 R/W 2
 (05-26-89, C39-59)

UNPLATTED LAND
 FOUND 5/8" REBAR

BARBARA VISTA AVE. S.W.
 (60' R/W)

GRACE VIGIL ROAD SW
 (60' R/W)



SITE BENCHMARK
 ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

MATCH LINE ~ SEE SHEET 4

F:\A02106\AN\FINAL PLAT\MESA UNIT 2\MESA-U2FPBASE.DWG, 6/1/2005 7:52:28 AM, MARK GOODWIN & ASSOCIATES, PLOTTED BY RDQ

REVISED (06-01-05) RDQ
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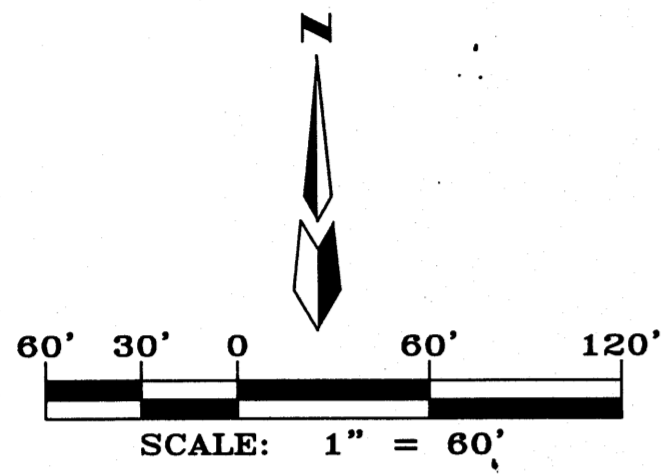
SEE SHEET 5 OF 5 FOR CURVE TABLE

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Scale: AS SHOWN	Date: 06/01/05	Job: A02106	

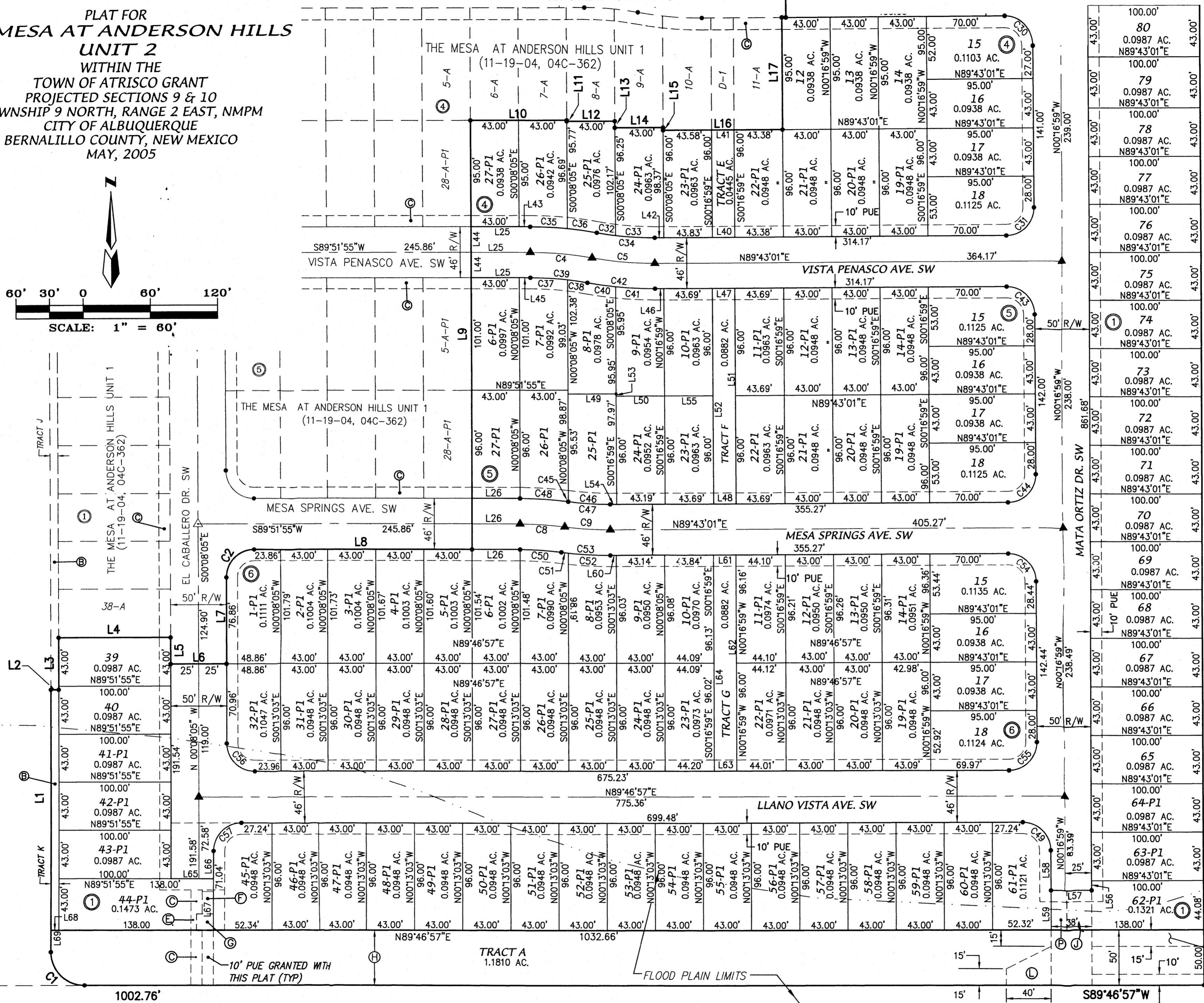
ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT FOR
**THE MESA AT ANDERSON HILLS
 UNIT 2**
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005



MATCH LINE - SEE SHEET 3



GRACE VIGIL ROAD SW (R/W 60')

LARRY VIGIL WEST
 (06-20-85, C27-123)



ACS MONUMENT "2-P10"
 Y=1,464,349.24
 X= 358,414.13
 C-G= 0.9996842
 Δα=-00'16"16"
 CENTRAL ZONE
 (NAD 1927)

MEADE AVE. S.W.
 (60' R/W)

Limits of FEMA Floodplain
 Until such time that the LOMR is issued by FEMA to remove the floodplain, this area and any future lots that develop in this area, flood insurance may be required by the mortgage company.

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

DENNIS CHAVEZ BOULEVARD S.W.
 (255' R/W)

SEE SHEET 5 OF 5 FOR CURVE TABLE

REVISED 06-01-05 RDQ
 F:\A2106ANH\FINAL PLAT\MESA UNIT 2\MESA-U2FPBASE.DWG\ 05-10-05 SPS, RDQ

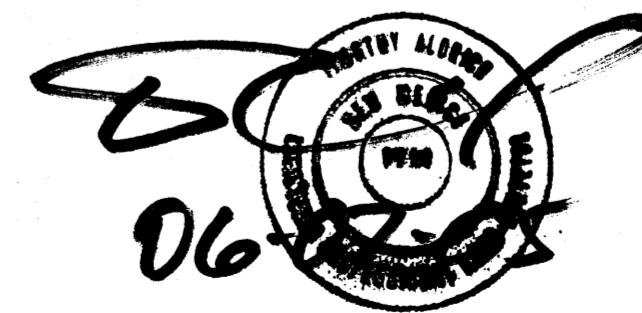
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PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

LINE DATA		
LINE ID	LENGTH	BEARING
L1	235.36	N00°08'05"W
L2	7.00	N89°57'17"E
L3	46.22	N00°08'05"W
L4	100.00	N89°51'55"E
L5	23.46	N00°08'05"W
L6	50.00	N89°46'57"E
L7	76.86	N00°08'05"W
L8	195.86	S89°51'55"W
L9	384.00	N00°08'07"W
L10	86.00	S89°51'55"W
L11	0.92	S00°08'05"E
L12	43.00	S89°51'55"W
L13	5.92	S00°08'05"E
L14	43.00	N89°51'55"E
L15	2.37	S00°08'05"E
L16	106.96	N89°43'01"E
L17	95.00	N00°16'59"W
L18	3.63	N89°43'01"E
L19	150.00	S00°16'59"E
L20	100.00	N89°43'01"E
L21	10.00	N89°43'01"E
L22	21.50	N00°16'59"W
L23	60.21	S89°47'57"E
L24	134.26	N00°16'59"W
L25	53.00	S89°51'55"W
L26	43.00	N89°51'55"E
L27	7.90	S89°47'57"E
L28	71.11	S84°04'52"W
L29	8.96	S89°47'57"E
L31	25.00	S00°12'19"W
L32	1.07	S00°12'19"W
L33	25.00	S00°12'19"W
L34	100.00	N89°47'41"W
L35	100.00	N89°47'41"W
L36	12.77	S00°16'59"E
L37	94.46	S89°47'57"E
L38	25.00	N00°16'59"W
L39	50.00	N00°16'59"W
L40	20.00	S89°43'01"W
L41	20.00	N89°43'01"E
L42	7.96	S89°43'01"W
L43	10.00	N89°51'55"E
L44	23.00	N00°08'06"W
L45	10.00	N89°51'55"E
L46	7.78	N89°43'01"E
L47	20.00	N89°43'01"E
L48	20.00	S89°43'01"W
L49	43.00	N89°51'55"E
L50	43.19	N89°43'01"E
L51	192.00	N00°16'59"W
L52	192.00	S00°16'59"E
L53	1.97	N00°08'20"W
L54	5.69	S89°43'01"W
L55	43.69	N89°43'01"E
L56	8.35	S00°16'59"E
L57	38.00	S89°46'57"W
L58	35.42	N00°16'59"W
L59	35.61	S00°16'59"E
L60	5.19	N89°43'01"E
L61	20.00	N89°43'01"E
L62	192.16	S00°16'59"E
L63	20.00	S89°43'01"W
L64	192.16	N00°16'59"W
L65	38.00	N89°51'55"E
L66	24.64	N00°08'05"W
L67	46.40	S00°08'05"E
L68	7.00	N89°46'57"E
L69	19.96	N00°08'05"W

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	30.00	47.17	90°04'58"	30.04	S45°10'34"E	42.46
C2	25.00	39.27	90°00'00"	25.00	S44°51'55"W	35.36
C3	25.00	39.06	89°30'58"	24.79	S45°02'28"E	35.21
C4	300.00	55.48	10°35'44"	27.82	N84°50'13"W	55.40
C5	300.00	56.26	10°44'38"	28.21	S84°54'40"E	56.17
C6	300.00	76.83	14°40'25"	38.63	S07°07'54"E	76.62
C7	300.00	74.27	14°11'08"	37.33	N07°22'33"W	74.09
C8	300.00	40.04	7°38'49"	20.05	N86°18'41"W	40.01
C9	300.00	40.82	7°47'43"	20.44	S86°23'08"E	40.78
C10	25.00	5.25	12°01'15"	2.63	S05°43'38"W	5.24
C11	25.00	34.24	78°27'47"	20.41	S50°58'09"W	31.62
C12	300.00	32.04	6°07'10"	16.04	N87°08'27"E	32.03
C13	300.00	32.04	6°07'10"	16.04	S87°08'27"W	32.03
C14	25.00	39.27	90°00'16"	25.00	N44°47'49"W	35.36
C15	325.00	38.46	6°46'49"	19.25	S03°11'06"E	38.44
C16	325.00	44.77	7°53'37"	22.42	S10°31'18"E	44.74
C17	325.00	83.23	14°40'25"	41.85	S07°07'54"E	83.01
C18	275.00	48.93	10°11'41"	24.53	S04°53'32"E	48.87
C19	275.00	21.50	4°28'44"	10.75	S12°13'45"E	21.49
C20	275.00	70.43	14°40'25"	35.41	S07°07'54"E	70.24
C21	325.00	24.52	4°19'20"	12.26	N12°18'27"W	24.51
C22	325.00	45.27	7°58'54"	22.67	N06°09'20"W	45.24
C23	325.00	10.67	1°52'54"	5.34	N01°13'26"W	10.67
C24	325.00	80.46	14°11'08"	40.44	N07°22'33"W	80.26
C25	275.00	5.31	1°06'24"	2.66	N13°54'55"W	5.31
C26	275.00	62.77	13°04'43"	31.52	N06°49'21"W	62.64
C27	275.00	68.09	14°11'08"	34.22	N07°22'33"W	67.91
C28	25.00	39.27	90°00'00"	25.00	N44°43'01"E	35.36
C29	25.00	39.27	90°00'00"	25.00	S45°16'59"E	35.36
C30	25.00	39.27	90°00'00"	25.00	N45°16'59"W	35.36
C31	25.00	39.27	90°00'00"	25.00	N44°43'01"E	35.36
C32	277.00	16.81	3°28'38"	8.41	S81°16'40"E	16.81
C33	277.00	35.13	7°16'00"	17.59	S86°38'59"E	35.11
C34	277.00	51.94	10°44'38"	26.05	S84°54'40"E	51.87
C35	323.00	33.06	5°51'50"	16.54	N87°12'10"W	33.04
C36	323.00	26.67	4°43'54"	13.34	N81°54'18"W	26.67
C37	277.00	33.08	6°50'32"	16.56	N86°42'49"W	33.06
C38	277.00	18.15	3°45'13"	9.08	N81°24'57"W	18.14
C39	277.00	51.23	10°35'44"	25.69	N84°50'13"W	51.15
C40	323.00	25.34	4°29'43"	12.68	S81°47'12"E	25.33
C41	323.00	35.23	6°14'56"	17.63	S87°09'31"E	35.21
C42	323.00	60.57	10°44'38"	30.37	S84°54'40"E	60.48
C43	25.00	39.27	90°00'00"	25.00	N45°16'59"W	35.36
C44	25.00	39.27	90°00'00"	25.00	N44°43'01"E	35.36
C45	277.00	0.02	0°00'14"	0.01	S82°29'23"E	0.02
C46	277.00	37.67	7°47'29"	18.86	S86°23'15"E	37.64
C47	277.00	37.69	7°47'43"	18.87	S86°23'08"E	37.66
C48	323.00	43.11	7°38'49"	21.59	N86°18'41"W	43.08
C49	25.00	39.24	89°56'03"	24.97	N45°15'01"W	35.34
C50	277.00	36.97	7°38'49"	18.51	N86°18'41"W	36.94
C51	323.00	6.19	1°05'53"	3.10	S83°02'12"E	6.19
C52	323.00	37.76	6°41'50"	18.90	S86°56'04"E	37.73
C53	323.00	43.95	7°47'43"	22.01	S86°23'08"E	43.91
C54	25.00	39.27	90°00'00"	25.00	N45°16'59"W	35.36
C55	25.00	39.30	90°03'57"	25.03	N44°44'59"E	35.38
C56	25.00	39.31	90°04'58"	25.04	S45°10'34"E	35.38
C57	25.00	39.23	89°55'02"	24.96	S44°49'26"W	35.33

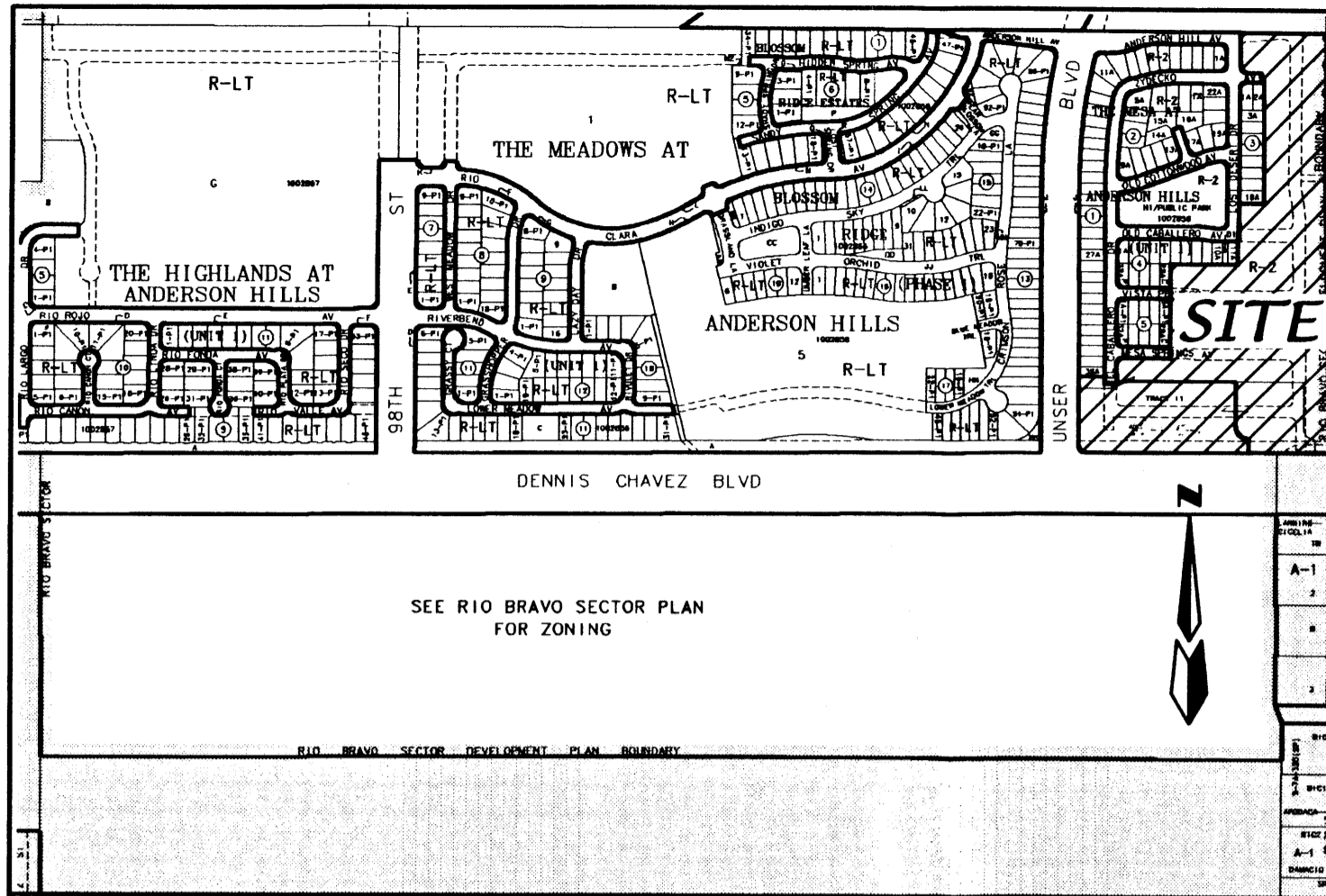


**ALDRICH LAND
 SURVEYING**

P.O. BOX 30701, ALBUQU., N.M. 87190
 505-884-1990

SEE SHEET 5 OF 5 FOR CURVE TABLE

Dwg: MESA-UZFPBASE.DWG	Drawn: RICHARD	Checked: ALS	Sheet 5 of 5
Scale: N/A	Date: 06/01/05	Job: A02106	



LOCATION MAP

ZONE ATLAS N-9-Z & P-9-Z
SCALE: NONE

SUBDIVISION DATA

Gross Acreage	20.9248 Ac.
Zone Atlas No.	P-9-Z
No. of Existing Tracts/Parcels	1 Tracts/ 1 Parcel
No. of Tracts/Lots/Parcels created	6 Tracts/149 Lots
No. of Tracts/Parcels eliminated	2 Tracts
Miles of full width streets created	0.73
Miles of half width streets created	0.00
Street Area dedicated to the City of Albuquerque	4.2721 Ac.
Date of Survey	October, 2002
Utility Control Location System Log Number	2002450460
Zoning	R-2

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: ANDERSON HILLS, LLC
A New Mexico Limited Liability Company

By: Rex Wilson 4.22.05
Rex Wilson, Managing Member DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on April 22, 2005
By Rex Wilson, Managing Member of ANDERSON HILLS, LLC A New Mexico Limited Liability Company on behalf of said Company.

Susan Rasinski
NOTARY PUBLIC

9.10.08
MY COMMISSION EXPIRES My commission expires

OFFICIAL SEAL
SUSAN RASINSKI
NOTARY PUBLIC-STATE OF NEW MEXICO

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 8, 9, and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being comprised of all of PARCEL "A-1" and all of TRACT "I-1", THE MESA AT ANDERSON HILLS, UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 19, 2004 in Book 2004C, Page 362 and containing 20.9248 acres more or less

NOTES

(SEE SHEET 3)

PURPOSE OF PLAT

1. Create 149 Residential lots and 6 HOA tracts.
2. Grant Easements as shown hereon.
3. Dedicate Right-of-Way as shown hereon.



PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate. Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 & 10
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002858

Application Number: 05DRB-01487

PLAT APPROVAL

Utility Approvals:

Lenal D. Mante 5-13-05
PNM Electric Services Date

Lenal D. Mante 5-13-05
PNM Gas Services Date

John H. Ramirez 5-13-05
Qwest Date

Janie Boulton 5-13-05
Comcast Date

City Approvals:

MB Jant 5/13/05
City Surveyor Date

N/A 10/11/05
Real Property Division Date

Rob Green 10-5-05
Traffic Engineering, Transportation Division Date

Rob Green 10/5/05
Albuquerque Bernalillo County Utility Authority Date

Christina Sandoval 10/5/05
Parks and Recreation Department Date

Bradley D. Bingham 10/5/05
AMAFCA Date

Bradley D. Bingham 10/5/05
City Engineer Date

DRB Chairperson 10/11/05
DRB Chairperson, Planning Department Date

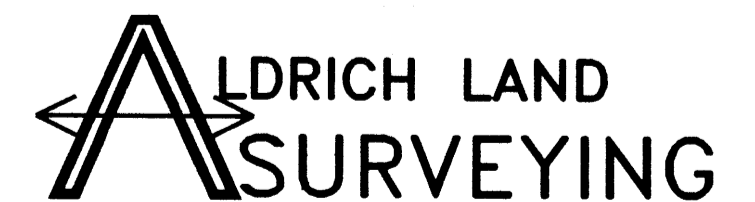
SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 05-12-05
Timothy Aldrich P.S. No. 7719 Date

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1009053178540510308 PROPERTY OWNER OF RECORD

Anderson Hills
BERNALILLO COUNTY TREASURER'S OFFICE
10/11/05



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Dwg: MESA-U2FPS1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 5
Scale: N/A	Date: 04/21/05	Job: A02106	

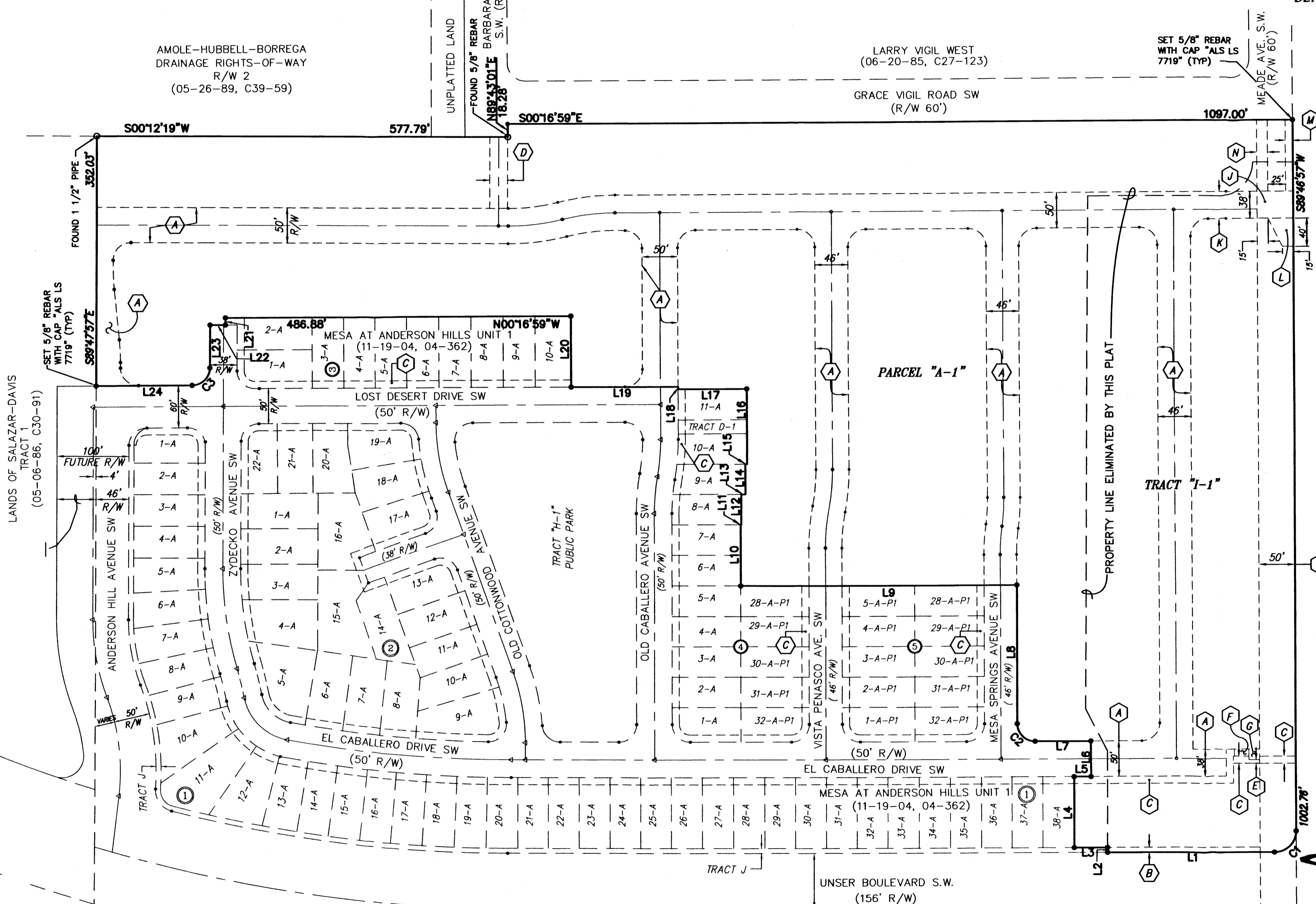
PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 2
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 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

LINE DATA			LINE DATA		
NUMBER	DIRECTION	DISTANCE	NUMBER	DIRECTION	DISTANCE
L1	N00°08'05"W	235.36	L7	N00°08'05"W	76.86
L2	N89°57'17"E	7.00	L8	S89°51'55"W	195.86
L3	N00°08'05"W	46.22	L9	S00°08'05"E	384.00
L4	N89°51'55"E	100.00	L10	S89°51'55"W	86.00
L5	N00°08'05"W	23.46	L11	S00°08'05"E	0.92
L6	N89°46'57"E	50.00	L12	S89°51'55"W	43.00

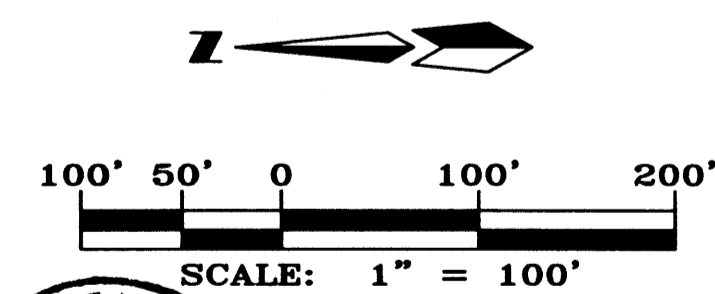
LINE DATA			LINE DATA		
NUMBER	DIRECTION	DISTANCE	NUMBER	DIRECTION	DISTANCE
L13	S00°08'05"E	5.92	L19	N00°16'59"W	150.00
L14	N89°51'55"E	43.00	L20	N89°43'01"E	100.00
L15	S00°08'05"E	2.37	L21	N89°43'01"E	10.00
L16	N89°43'01"E	106.96	L22	N00°16'59"W	21.50
L17	N00°16'59"W	95.00	L23	S89°47'57"E	60.21
L18	N89°43'01"E	3.63	L24	N00°16'59"W	134.26

EASEMENTS

- (A) EXIST. PUBLIC DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT (11-19-04, 04C-362)
- (B) EXISTING 7' PUE AND LANDSCAPE EASEMENT (11-19-04, 04C-362)
- (C) EXISTING 10' PUBLIC UTILITY EASEMENT (11-19-04, 04C-362)
- (D) EXISTING 25' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT (11-19-04, 04C-362)
- (E) EXISTING 5' PUE (11-19-04, 04C-362)
- (F) EXISTING 10' x 20' QWEST EASEMENT (11-19-04, 04C-362)
- (G) EXISTING 15'x15' PNM SWITCH GEAR BOX EASEMENT (11-19-04, 04C-362)
- (H) EXISTING 50' QUITCLAIM EASEMENT FOR PNM GAS PIPELINE (03-27-00, A3-9161)
- (J) EXISTING 38' PUBLIC WATERLINE SANITARY SEWER AND STORM DRAIN EASEMENT (11-19-04, 04C-362)
- (K) 38' PUBLIC SANITARY SEWER, DRAINAGE, WATERLINE & PEDESTRIAN ACCESS EASEMENT (11-19-04, 04C-362)
- (L) EXISTING PUBLIC SANITARY SEWER EASEMENT (11-19-04, 04C-362)
- (M) EXISTING 10' PUBLIC STORM DRAIN EASEMENT (11-19-04, 04C-362)
- (N) 15' PUBLIC WATERLINE EASEMENT (11-19-04, 04C-362)
- (P) 15' PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED WITH THIS PLAT



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	30.00	47.17	90°04'58"	30.04	S45°10'34"E	42.46
C2	25.00	39.27	90°00'00"	25.00	S44°51'55"W	35.36
C3	25.00	39.06	89°30'58"	24.79	S45°02'28"E	35.21



SEE SHEET 5 OF 5 FOR CURVE TABLE

Dwg: MESA-U2FPS2.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 5
Scale: AS SHOWN	Date: 06/01/05	Job: A02106	

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50826
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 Page: 2 of 5
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 BK-2885C Pg-336

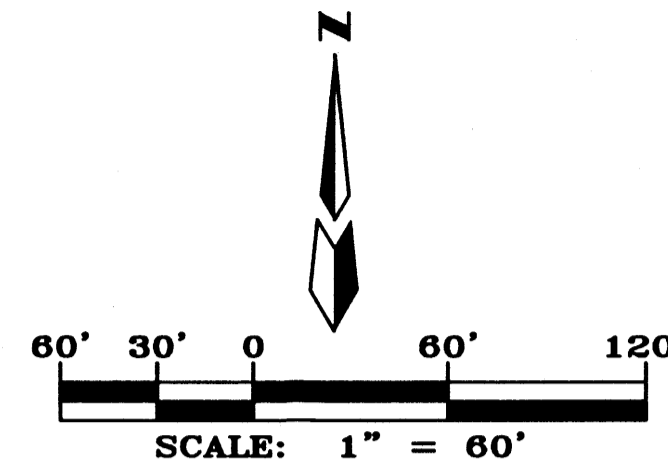
REVISED 06-01-05 RDQ

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**PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 2
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TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2005**

ACS MONUMENT "TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
Δα=-00°16'42"
CENTRAL ZONE
(NAD 1927)

TRACT A
LANDS OF SALAZAR FAMILY TRUST
SALAZAR CUATRO TRUST
JSJ INVESTMENT COMPANY
ANF FALBA HANNET
(07-23-03, 2003C-223)



LEGEND

- 1-P1 LOT NUMBER
- ③ BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- △ EXISTING CENTER LINE MONUMENT

ABBREVIATIONS

- 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
- R/W = RIGHT-OF-WAY

ALL STREETS SHOWN
HEREON ARE HEREBY
DEDICATED AS PUBLIC
RIGHT-OF-WAY IN FEE
SIMPLE

NOTES:

1. Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:

THE MESA AT ANDERSON HILLS UNIT 1, (11-19-04, 04C-362)

BULK LAND PLAT OF "ARROWOOD RANCH DEVELOPMENT, TRACTS A THRU I", (12-06-02, 02C-390)

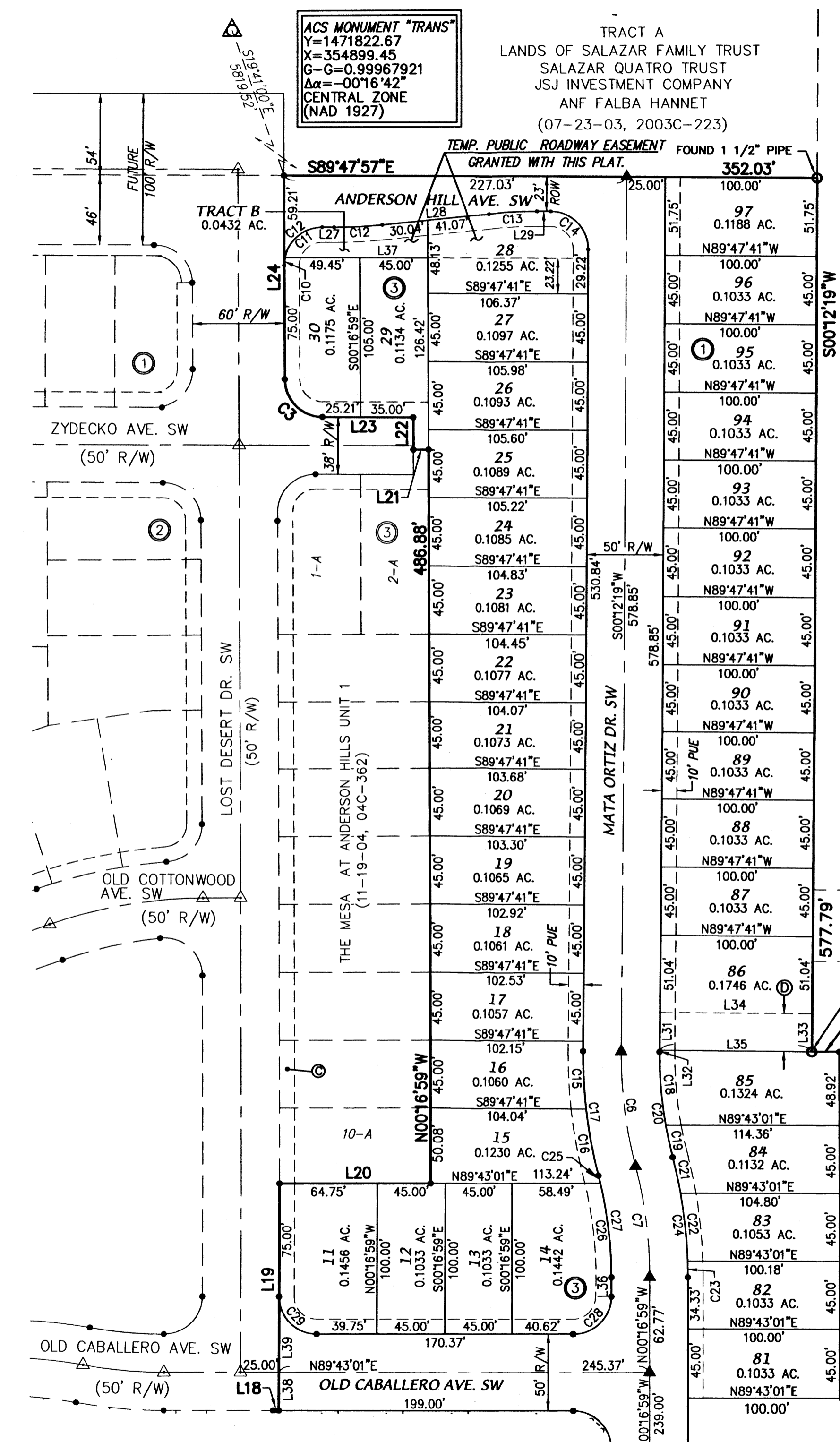
PLAT OF "LANDS OF SALAZAR-DAVIS", (05-06-86, C30-91)

AMOLE-HUBBELL-BORREGA "DRAINAGE RIGHTS-OF-WAY (05-26-89, C39-59)

PLAT OF "LARRY VIGIL WEST", (06-20-85, C27-123)

all being records of Bernalillo County, New Mexico.
5. Title Report: provided by Fidelity National Title, Commitment No.: 02-1024800-B-RAD (Effective Date: 11-07-02)
6. Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).
7. DISCLOSURE STATEMENT FOR EXISTING PNM GAS LINE:
With the exception of areas located within the future rights-of-way of Unser Boulevard, SW and 98th Street, SW., The southeast corner of tract H and a future sanitary sewer crossing located approximately 470 feet west of the southwest corner of tract 14, any improvements encroaching into existing PNM natural gas line easements shall not interfere with nor inhibit PNM's ability to operate and maintain its gas line facilities. The property owner or person or business responsible for any encroachment shall pay for all PNM utility relocations or modifications caused by such easement encroachments.
8. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped

"CITY OF ALBUQUERQUE
CENTERLINE MONUMENTATION,
DO NOT DISTURB
PLS 7719".
9. No individual lots shall be allowed direct access to Dennis Chavez Boulevard S.W. or Unser Blvd S.W.
10. All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
11. Tracts A, B, E, F, AND G shall be a Public Pedestrian Access and Landscape Easement to be owned and maintained by the Anderson Hills Homeowners Association.
12. Tract "K" is to provide an additional 7' wide landscape area to be owned and maintained by the Anderson Hills Homeowner's Association. This tract will also be encumbered by a 7' wide Public Utility Easement (PUE) and Public Access and Sidewalk Easement.

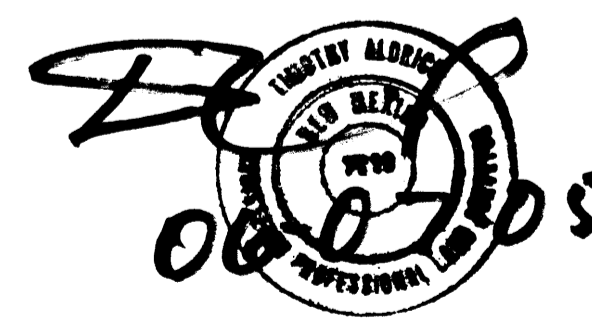


AMOLE-HUBBELL-BORREGA
DRAINAGE RIGHTS-OF-WAY
R/W 2
(05-26-89, C39-59)

UNPLATTED LAND
FOUND 5/8" REBAR

BARBARA VISTA AVE. S.W.
(60' R/W)

GRACE VIGIL ROAD SW
(60' R/W)



SITE BENCHMARK
ACS MONUMENT
"3-P10"
ELEVATION=4935.735
(SLD 1929)



2005158020
534899
Page: 3 of 5
18/11/2005 02:54P
Bk-2005C Pg-336



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

SEE SHEET 5 OF 5 FOR CURVE TABLE

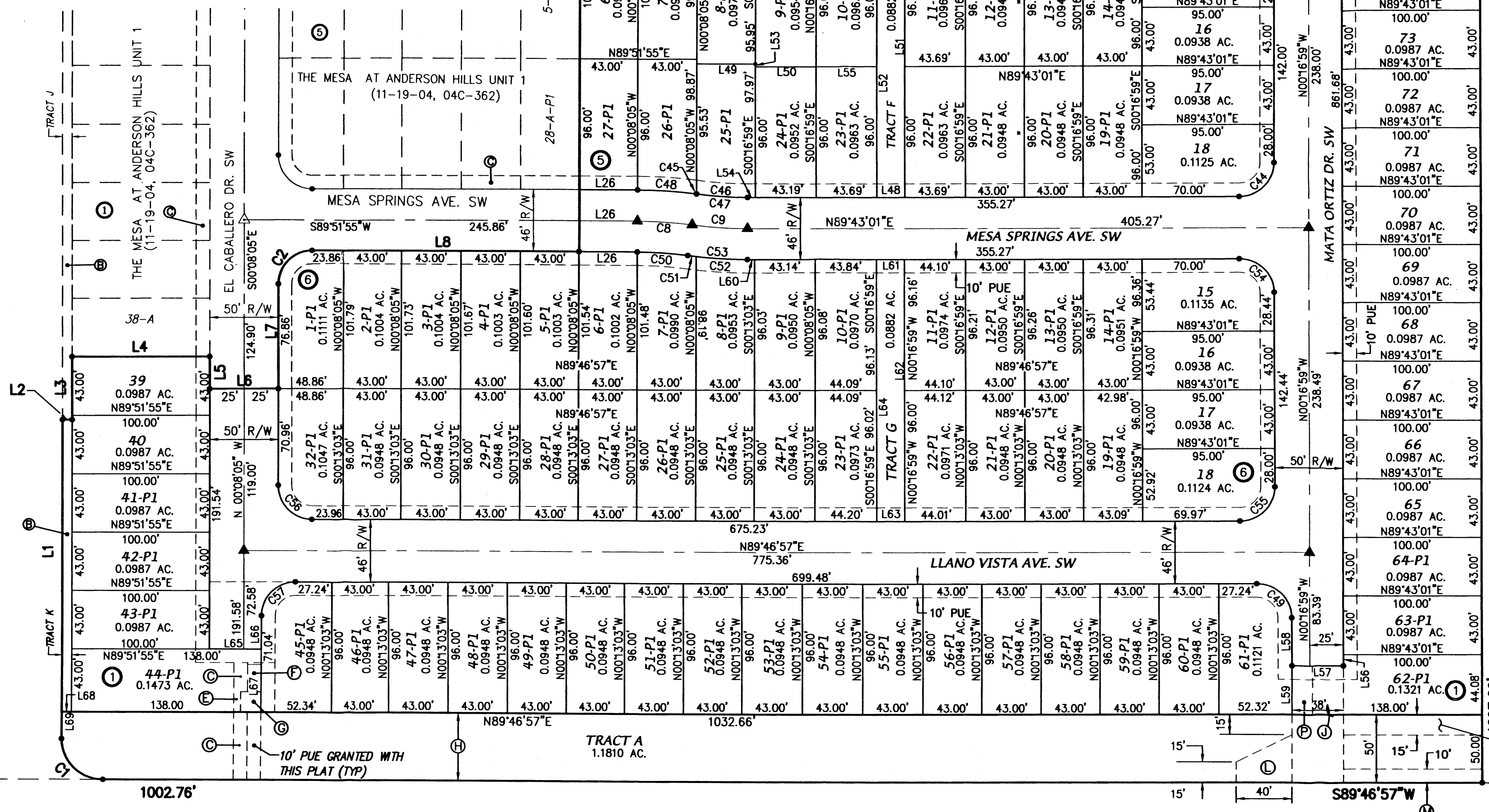
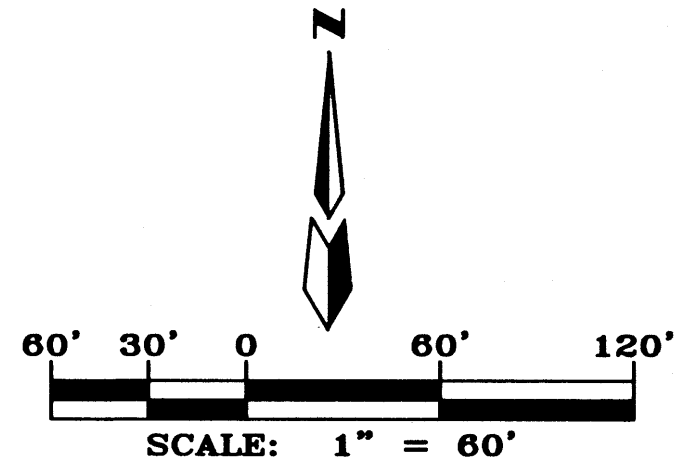
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Scale: AS SHOWN	Date: 05/01/05	Job: A02106	5

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MATCH LINE ~ SEE SHEET 4

REVISED (06-01-05) RDQ
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PLAT FOR
**THE MESA AT ANDERSON HILLS
 UNIT 2**
 WITHIN THE
 TOWN OF ATRISCO GRANT
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 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005



GRACE VIGIL ROAD SW (R/W 60')

LARRY VIGIL WEST
 (06-20-85, C27-123)

10-07-05

ACS MONUMENT "2-P10"
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 X= 358,414.13
 G-G=0.9996842
 Δα= -00'16"16"
 CENTRAL ZONE
 (NAD 1927)

MEADE AVE. S.W.
 (60' R/W)

**ALDRICH LAND
 SURVEYING**
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

DENNIS CHAVEZ BOULEVARD S.W.
 (255' R/W)

2005150820
 6348869
 Page: 4 of 5
 10/11/2005 02:54P
 PLAT R 27.00
 Barry Herrera Bern. Co. PLAT R 27.00 Pk-2085C Pg-338

SEE SHEET 5 OF 5 FOR CURVE TABLE

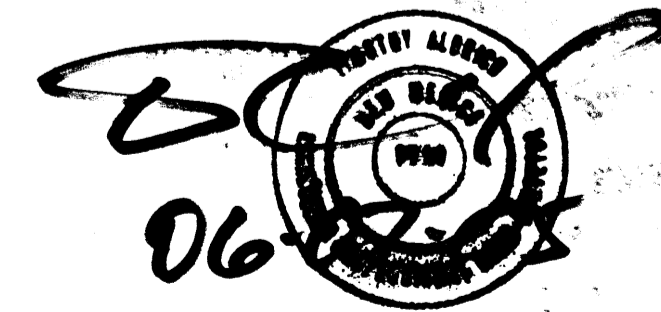
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PLAT FOR
THE MESA AT ANDERSON HILLS
UNIT 2
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 PROJECTED SECTIONS 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

LINE DATA		
LINE ID	LENGTH	BEARING
L1	235.36	N00°08'05"W
L2	7.00	N89°57'17"E
L3	46.22	N00°08'05"W
L4	100.00	N89°51'55"E
L5	23.46	N00°08'05"W
L6	50.00	N89°46'57"E
L7	76.86	N00°08'05"W
L8	195.86	S89°51'55"W
L9	384.00	N00°08'07"W
L10	86.00	S89°51'55"W
L11	0.92	S00°08'05"E
L12	43.00	S89°51'55"W
L13	5.92	S00°08'05"E
L14	43.00	N89°51'55"E
L15	2.37	S00°08'05"E
L16	106.96	N89°43'01"E
L17	95.00	N00°16'59"W
L18	3.63	N89°43'01"E
L19	150.00	S00°16'59"E
L20	100.00	N89°43'01"E
L21	10.00	N89°43'01"E
L22	21.50	N00°16'59"W
L23	60.21	S89°47'57"E
L24	134.26	N00°16'59"W
L25	53.00	S89°51'55"W
L26	43.00	N89°51'55"E
L27	7.90	S89°47'57"E
L28	71.11	S84°04'52"W
L29	8.96	S89°47'57"E
L31	25.00	S00°12'19"W
L32	1.07	S00°12'19"W
L33	25.00	S00°12'19"W
L34	100.00	N89°47'41"W
L35	100.00	N89°47'41"W
L36	12.77	S00°16'59"E
L37	94.46	S89°47'57"E
L38	25.00	N00°16'59"W
L39	50.00	N00°16'59"W
L40	20.00	S89°43'01"W
L41	20.00	N89°43'01"E
L42	7.96	S89°43'01"W
L43	10.00	N89°51'55"E
L44	23.00	N00°08'06"W
L45	10.00	N89°51'55"E
L46	7.78	N89°43'01"E
L47	20.00	N89°43'01"E
L48	20.00	S89°43'01"W
L49	43.00	N89°51'55"E
L50	43.19	N89°43'01"E
L51	192.00	N00°16'59"W
L52	192.00	S00°16'59"E
L53	1.97	N00°08'20"W
L54	5.69	S89°43'01"W
L55	43.69	N89°43'01"E
L56	8.35	S00°16'59"E
L57	38.00	S89°46'57"W
L58	35.42	N00°16'59"W
L59	35.61	S00°16'59"E
L60	5.19	N89°43'01"E
L61	20.00	N89°43'01"E
L62	192.16	S00°16'59"E
L63	20.00	S89°43'01"W
L64	192.16	N00°16'59"W
L65	38.00	N89°51'55"E
L66	24.64	N00°08'05"W
L67	46.40	S00°08'05"E
L68	7.00	N89°46'57"E
L69	19.96	N00°08'05"W

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	30.00	47.17	90°04'58"	30.04	S45°10'34"E	42.46
C2	25.00	39.27	90°00'00"	25.00	S44°51'55"W	35.36
C3	25.00	39.06	89°30'58"	24.79	S45°02'28"E	35.21
C4	300.00	55.48	10°35'44"	27.82	N84°50'13"W	55.40
C5	300.00	56.26	10°44'38"	28.21	S84°54'40"E	56.17
C6	300.00	76.83	14°40'25"	38.63	S07°07'54"E	76.62
C7	300.00	74.27	14°11'08"	37.33	N07°22'33"W	74.09
C8	300.00	40.04	7°38'49"	20.05	N86°18'41"W	40.01
C9	300.00	40.82	7°47'43"	20.44	S86°23'08"E	40.78
C10	25.00	5.25	12°01'15"	2.63	S05°43'38"W	5.24
C11	25.00	34.24	78°27'47"	20.41	S50°58'09"W	31.62
C12	300.00	32.04	6°07'10"	16.04	N87°08'27"E	32.03
C13	300.00	32.04	6°07'10"	16.04	S87°08'27"W	32.03
C14	25.00	39.27	90°00'16"	25.00	N44°47'49"W	35.36
C15	325.00	38.46	6°46'49"	19.25	S03°11'06"E	38.44
C16	325.00	44.77	7°53'37"	22.42	S10°31'18"E	44.74
C17	325.00	83.23	14°40'25"	41.85	S07°07'54"E	83.01
C18	275.00	48.93	10°11'41"	24.53	S04°53'32"E	48.87
C19	275.00	21.50	4°28'44"	10.75	S12°13'45"E	21.49
C20	275.00	70.43	14°40'25"	35.41	S07°07'54"E	70.24
C21	325.00	24.52	4°19'20"	12.26	N12°18'27"W	24.51
C22	325.00	45.27	7°58'54"	22.67	N06°09'20"W	45.24
C23	325.00	10.67	1°52'54"	5.34	N01°13'26"W	10.67
C24	325.00	80.46	14°11'08"	40.44	N07°22'33"W	80.26
C25	275.00	5.31	1°06'24"	2.66	N13°54'55"W	5.31
C26	275.00	62.77	13°04'43"	31.52	N06°49'21"W	62.64
C27	275.00	68.09	14°11'08"	34.22	N07°22'33"W	67.91
C28	25.00	39.27	90°00'00"	25.00	N44°43'01"E	35.36
C29	25.00	39.27	90°00'00"	25.00	S45°16'59"E	35.36
C30	25.00	39.27	90°00'00"	25.00	N45°16'59"W	35.36
C31	25.00	39.27	90°00'00"	25.00	N44°43'01"E	35.36
C32	277.00	16.81	3°28'38"	8.41	S81°16'40"E	16.81
C33	277.00	35.13	7°16'00"	17.59	S86°38'59"E	35.11
C34	277.00	51.94	10°44'38"	26.05	S84°54'40"E	51.87
C35	323.00	33.06	5°51'50"	16.54	N87°12'10"W	33.04
C36	323.00	26.67	4°43'54"	13.34	N81°54'18"W	26.67
C37	277.00	33.08	6°50'32"	16.56	N86°42'49"W	33.06
C38	277.00	18.15	3°45'13"	9.08	N81°24'57"W	18.14
C39	277.00	51.23	10°35'44"	25.69	N84°50'13"W	51.15
C40	323.00	25.34	4°29'43"	12.68	S81°47'12"E	25.33
C41	323.00	35.23	6°14'56"	17.63	S87°09'31"E	35.21
C42	323.00	60.57	10°44'38"	30.37	S84°54'40"E	60.48
C43	25.00	39.27	90°00'00"	25.00	N45°16'59"W	35.36
C44	25.00	39.27	90°00'00"	25.00	N44°43'01"E	35.36
C45	277.00	0.02	0°00'14"	0.01	S82°29'23"E	0.02
C46	277.00	37.67	7°47'29"	18.86	S86°23'15"E	37.64
C47	277.00	37.69	7°47'43"	18.87	S86°23'08"E	37.66
C48	323.00	43.11	7°38'49"	21.59	N86°18'41"W	43.08
C49	25.00	39.24	89°56'03"	24.97	N45°15'01"W	35.34
C50	277.00	36.97	7°38'49"	18.51	N86°18'41"W	36.94
C51	323.00	6.19	1°05'53"	3.10	S83°02'12"E	6.19
C52	323.00	37.76	6°41'50"	18.90	S86°56'04"E	37.73
C53	323.00	43.95	7°47'43"	22.01	S86°23'08"E	43.91
C54	25.00	39.27	90°00'00"	25.00	N45°16'59"W	35.36
C55	25.00	39.30	90°03'57"	25.03	N44°44'59"E	35.38
C56	25.00	39.31	90°04'58"	25.04	S45°10'34"E	35.38
C57	25.00	39.23	89°55'02"	24.96	S44°49'26"W	35.33

Mary Herrera Bern. Co. PLRT R 27.08
 2005150020
 634669
 Page: 5 of 5
 10/11/2005 02:54P
 Bk-2005C Pg-336

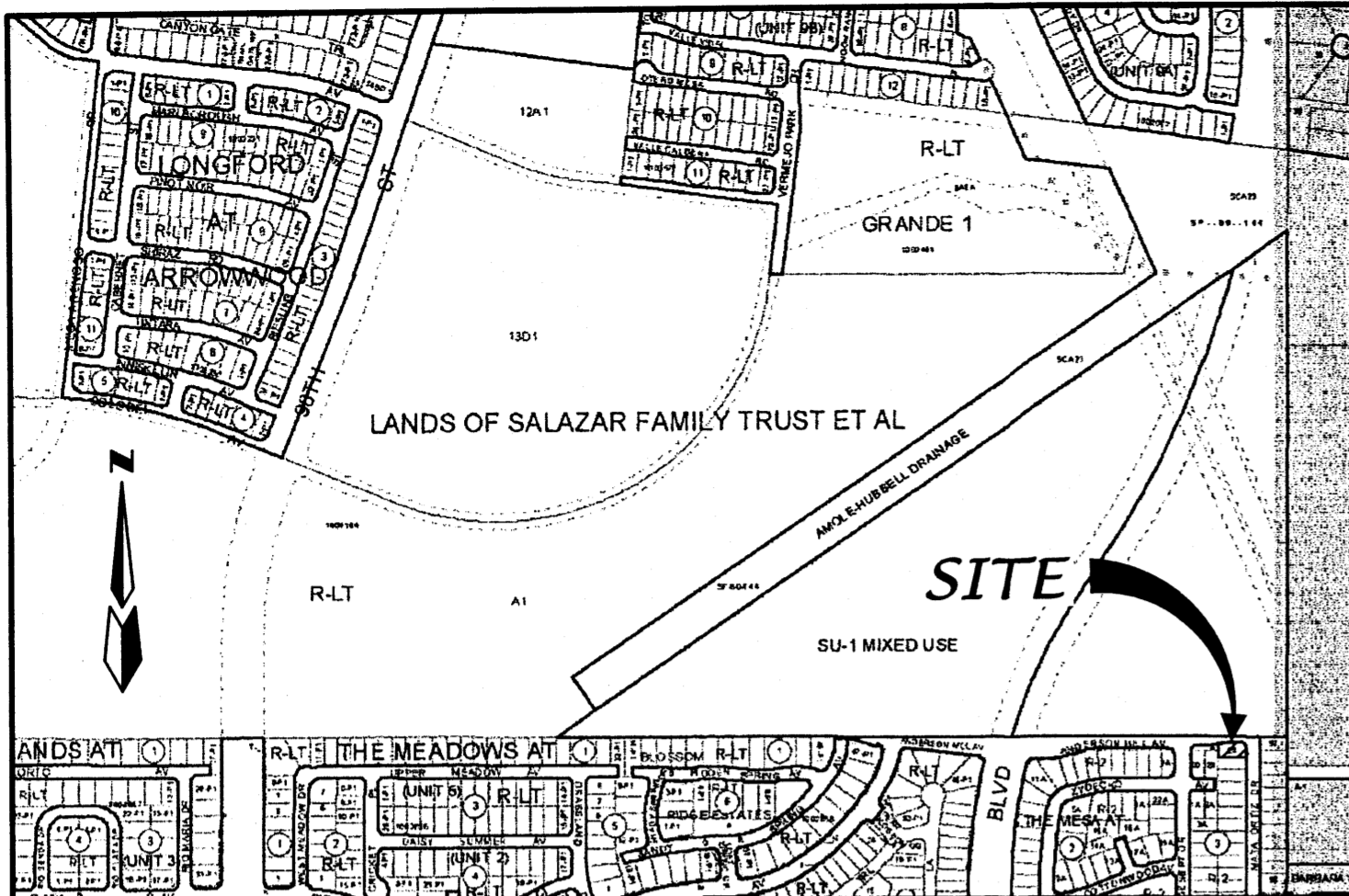


ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

SEE SHEET 5 OF 5 FOR CURVE TABLE

Dwg: MESA-U2FPBASE.DWG	Drawn: RICHARD	Checked: ALS	Sheet 5 of 5
Scale: N/A	Date: 06/01/05	Job: A02106	



LOCATION MAP

ZONE ATLAS N-9-Z & P-9-Z
SCALE: NONE

SUBDIVISION DATA

Gross Acreage.....	0.1255 Ac.
Zone Atlas No.....	N-9-Z & P-9-Z
No. of Existing Lots.....	1 Lot
No. of Lots created.....	1 Lot
No. of Lots eliminated.....	1 Lot
Miles of full width streets created.....	0.00
Miles of half width streets created.....	0.00
Street Area dedicated to the City of Albuquerque.....	0.0000 Ac.
Date of Survey.....	October, 2002
Utility Control Location System Log Number.....	2002450460
Zoning.....	R-2

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant to the City of Albuquerque a temporary Public Roadway Easement shown hereon, including the right to construct, operate, inspect and maintain facilities therein, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: VANTAGE BUILDERS, INC.
A New Mexico Corporation

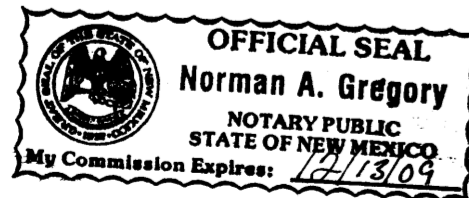
BY: Robert Lupton 5-3-2006
Robert Lupton, President, Land Division DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on MAY 5, 2006
By Robert Lupton, President, Land Division of VANTAGE BUILDERS, INC. A New Mexico Corporation on behalf of said corporation

Norman A. Gregory December 13, 2009
NOTARY PUBLIC MY COMMISSION EXPIRES



LEGAL DESCRIPTION

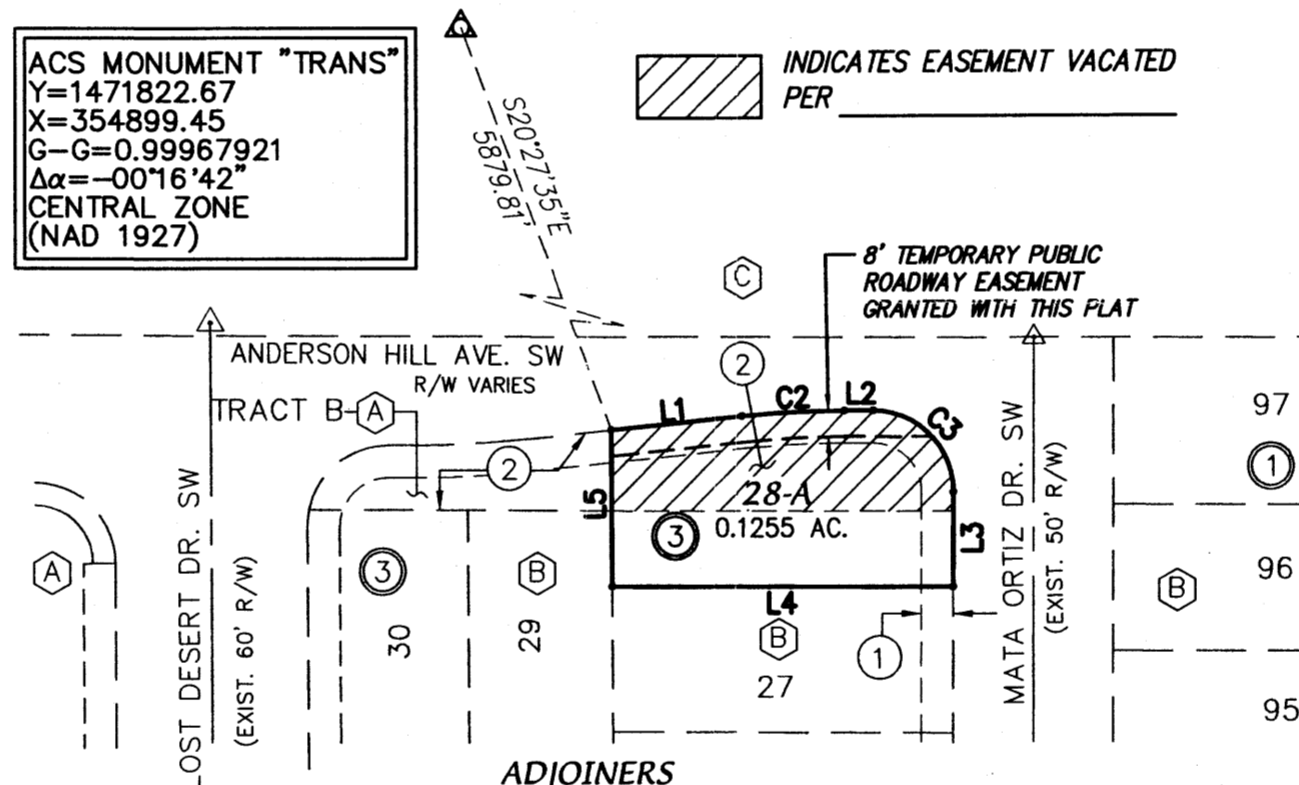
A tract of land situate within the Town of Atrisco Grant, projected Section 9, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being comprised of all of "LOT 28, BLOCK 3, THE MESA AT ANDERSON HILLS, UNIT 2" as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on October 11, 2005 in Book 2005C, Page 336 and containing 0.1255 acres more or less

NOTES

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
THE MESA AT ANDERSON HILLS UNIT 2, (10-11-05, 05C-336)
THE MESA AT ANDERSON HILLS UNIT 1, (11-19-04, 04C-362)
PLAT OF "LANDS OF SALAZAR-DAVIS", (05-06-86, C30-91)
all being records of Bernalillo County, New Mexico.
- Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).

PURPOSE OF PLAT

- Vacate existing Temporary Public Roadway Easement within Lot 28, Block 3.
- Grant Easement as shown hereon.



LEGEND

- 1 LOT NUMBER
- ⊙ BLOCK NUMBER
- △ EXISTING CENTER LINE MONUMENT
- FOUND 5/8" REBAR W/ CAP "ALS LS 7719" (TYP)
- △ ACS MONUMENT

ADJOINERS

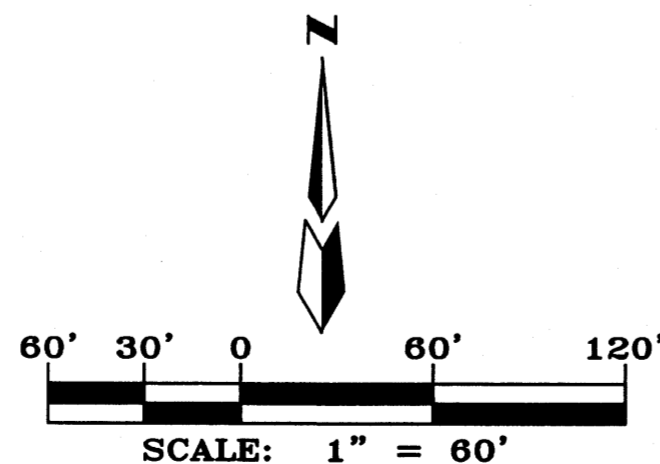
- Ⓐ THE MESA AT ANDERSON HILLS UNIT 1 (11-19-04, 04C-362)
- Ⓑ THE MESA AT ANDERSON HILLS UNIT 2 (10-11-05, 05C-336)
- Ⓒ TRACT A LANDS OF SALAZAR FAMILY TRUST SALAZAR QUATRO TRUST JSJ INVESTMENT COMPANY ANF FALBA HANNET (07-23-03, 2003C-223)

EXISTING EASEMENTS

- ① 10' P.U.E (10-11-05, 05C-336)
- ② TEMP. PUBLIC ROADWAY EASEMENT (10-11-05, 05C-336)

LINE	LENGTH	BEARING
L1	41.07	N84°04'52"E
L2	8.96	S89°47'57"E
L3	29.22	S00°12'19"W
L4	106.37	S89°47'41"E
L5	48.13	N00°16'59"W

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	32.04	300.00	6°07'10"	16.04	S87°08'27"W	32.03
C2	39.27	25.00	90°00'16"	25.00	N44°47'49"W	35.36



PLAT FOR
LOT 28-A, BLOCK 3
THE MESA AT ANDERSON HILLS UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 9
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2006

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002858

Application Number:

PLAT APPROVAL

Utility Approvals:

Final
PRELIMINARY PLAT
APPROVED BY DRB
ON 08/09/06

PNM Electric Services _____ Date

PNM Gas Services _____ Date

Qwest _____ Date

Comcast _____ Date

City Approvals: Robert Lupton 5-5-06
City Surveyor Date

Real Property Division _____ Date

Traffic Engineering, Transportation Division _____ Date

Albuquerque-Bernalillo County Utility Authority _____ Date

Parks and Recreation Department _____ Date

AMAFA _____ Date

City Engineer _____ Date

DRB Chairperson, Planning Department _____ Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

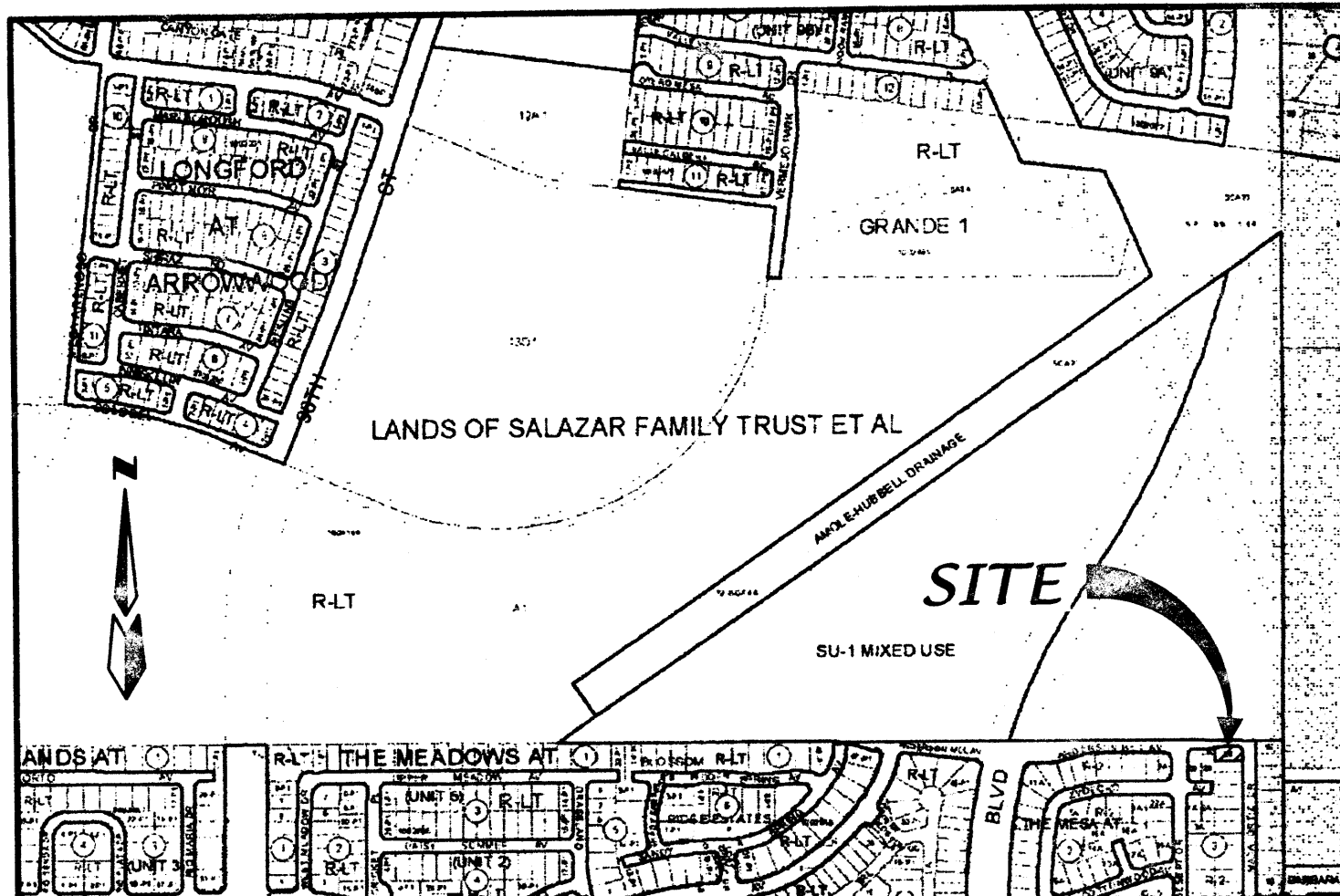
Timothy Aldrich 05-05-06
Timothy Aldrich P.S. No. 7119 Date



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Dwg: REPLAT-U2FPS1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 1
Scale: 1" = 60'	Date: 05/03/06	Job: A02106	



LOCATION MAP

ZONE ATLAS N-9-Z & P-9-Z

SCALE: NONE

SUBDIVISION DATA

Gross Acreage	0.1255 Ac.
Zone Atlas No.	N-9-Z & P-9-Z
No. of Existing Lots	1 Lot
No. of Lots created	1 Lot
No. of Lots eliminated	1 Lot
Miles of full width streets created	0.00
Miles of half width streets created	0.00
Street Area dedicated to the City of Albuquerque	0.0000 Ac.
Date of Survey	October, 2002
Utility Control Location System Log Number	2002450460
Zoning	R-2

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant to the City of Albuquerque a temporary Public Roadway Easement shown hereon, including the right to construct, operate, inspect and maintain facilities therein, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: VANTAGE BUILDERS, INC.
A New Mexico Corporation

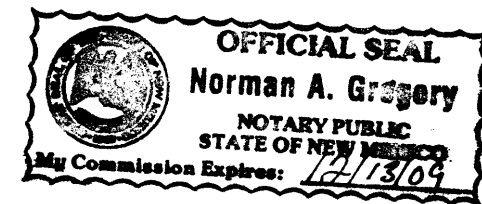
BY: Robert Lupton 5-3-2006
Robert Lupton, President, Land Division DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on May 5, 2006
By Robert Lupton, President, Land Division of VANTAGE BUILDERS, INC. A New Mexico Corporation on behalf of said corporation

Norman A. Gregory December 13, 2009
NOTARY PUBLIC MY COMMISSION EXPIRES



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 109054924651401 PROPERTY OWNER OF RECORD: Anderson Hills LLC BERNALILLO COUNTY TREASURER OFFICE Curtis Trujillo 8/14/06

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 9, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being comprised of all of "LOT 28, BLOCK 3, THE MESA AT ANDERSON HILLS, UNIT 2" as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on October 11, 2005 in Book 2005C, Page 336 and containing 0.1255 acres more or less

NOTES

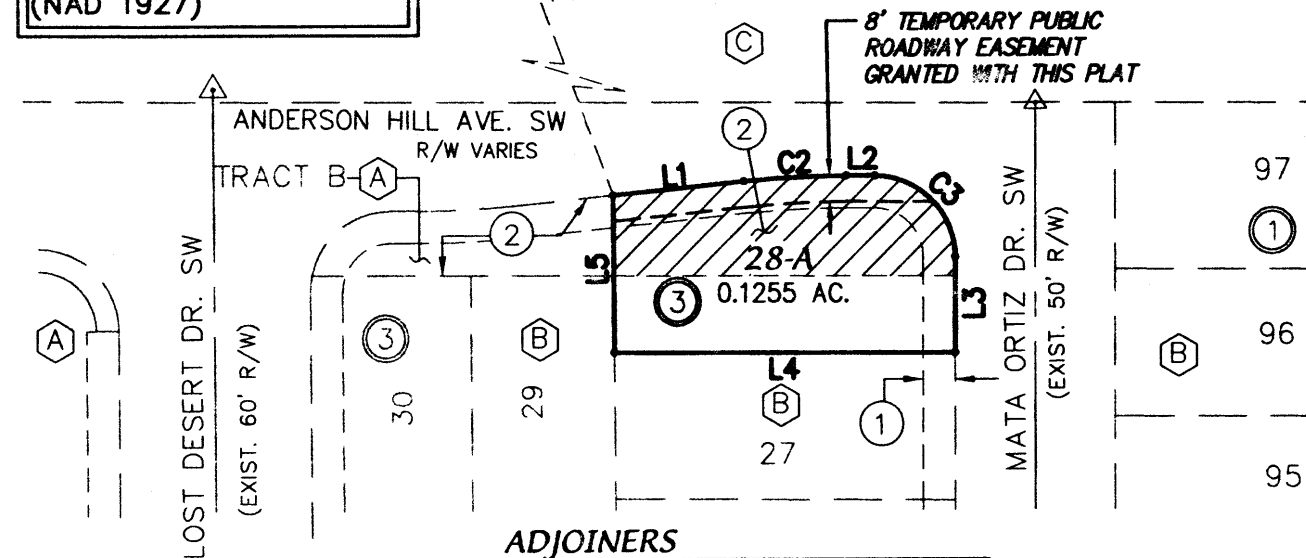
- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
THE MESA AT ANDERSON HILLS UNIT 2, (10-11-05, 05C-336)
THE MESA AT ANDERSON HILLS UNIT 1, (11-19-04, 04C-362)
PLAT OF "LANDS OF SALAZAR-DAVIS", (05-06-86, C30-91)
all being records of Bernalillo County, New Mexico.
- Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).

PURPOSE OF PLAT

- Vacate existing Temporary Public Roadway Easement within Lot 28, Block 3.
- Grant Easement as shown hereon.

ACS MONUMENT "TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
Δα=-00°16'42"
CENTRAL ZONE
(NAD 1927)

INDICATES EASEMENT VACATED PER 06DRB-00629
NOTE: THE VACATION DOES NOT AFFECT THE PUE SHOWN.



ADJOINERS

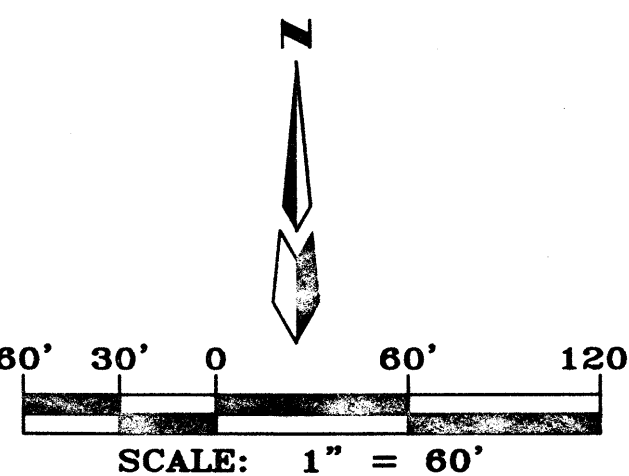
- (A) THE MESA AT ANDERSON HILLS UNIT 1 (11-19-04, 04C-362)
- (B) THE MESA AT ANDERSON HILLS UNIT 2 (10-11-05, 05C-336)
- (C) TRACT A LANDS OF SALAZAR FAMILY TRUST SALAZAR QUATRO TRUST JSJ INVESTMENT COMPANY ANF FALBA HANNET (07-23-03, 2003C-223)

EXISTING EASEMENTS

- (1) 10' P.U.E (10-11-05, 05C-336)
- (2) TEMP. PUBLIC ROADWAY EASEMENT (10-11-05, 05C-336)

LINE	LENGTH	BEARING
L1	41.07	N84°04'52"E
L2	8.96	S89°47'57"E
L3	29.22	S00°12'19"W
L4	106.37	S89°47'41"E
L5	48.13	N00°16'59"W

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	32.04	300.00	6°07'10"	16.04	S87°08'27"W	32.03
C2	39.27	25.00	90°00'16"	25.00	N44°47'49"W	35.36



PLAT FOR
LOT 28-A, BLOCK 3
THE MESA AT ANDERSON HILLS UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 9
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2006

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002858

Application Number: 06 DRB-00630

PLAT APPROVAL

Utility Approvals:

Leah G. Marks 6-20-06
PNM Electric Services Date
Leah G. Marks 6-20-06
PNM Gas Services Date
Teri Crabtree 6-20-06
Comcast Date
Thomas Bulson 6-20-06
Comcast Date

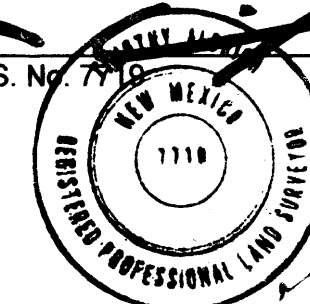
City Approvals:

[Signature] 5-5-06
City Surveyor Date
N/A 8/10/06
Real Property Division Date
[Signature] 1-7-06
Traffic Engineering, Transportation Division Date
[Signature] 2-9-06
Albuquerque Bernalillo County Utility Authority Date
Christina Sandoval 8/9/06
Parks and Recreation Department Date
Bradley D. Bingham 8/9/06
AMAFCA Date
Bradley D. Bingham 8/9/06
City Engineer Date
[Signature] 8/10/06
DRB Chairperson, Planning Department Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 05-05-06
Timothy Aldrich P.S. No. 7710 Date



ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

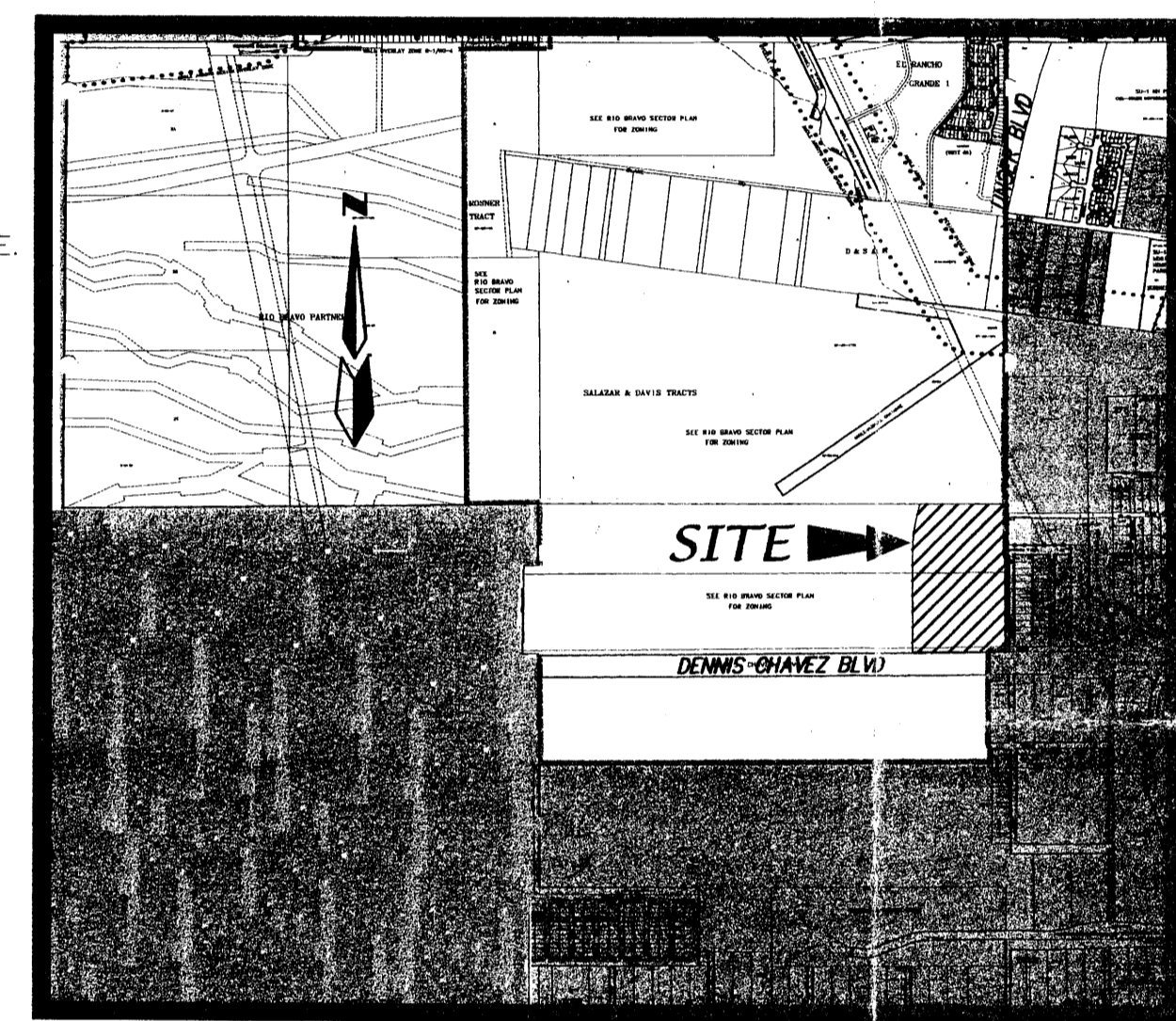
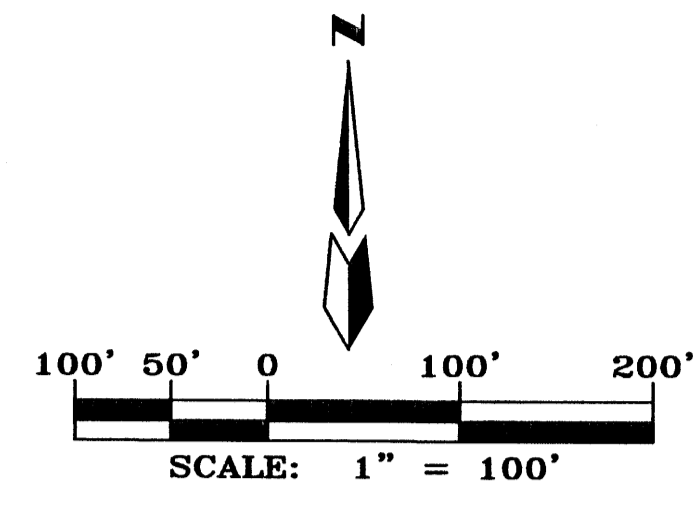
PRELIMINARY PLAT
THE MESA AT ANDERSON HILLS
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 8, 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMMP
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2003

SUBDIVISION DATA
 GROSS ACREAGE 42.1309 AC
 ZONE ATLAS NO. N-9-Z P-9-Z
 NO. OF LOTS CREATED 101 LOTS
 NO. OF TRACTS CREATED 1 TRACTS
 NO. OF PARCELS CREATED 101 PARCELS
 AREA DEDICATED TO PUBLIC USE 8.2419 AC
 PARK DEDICATION 2.0005 AC
 ZONING RL
 DATE OF SURVEY OCTOBER 2002

- NOTES**
1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS \odot SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED "ALS LS 7719" (TYP).
 2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THIS \blacktriangle , WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
 "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
 "DO NOT DISTURB"
 PS#7719"
 3. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 4. BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 5. ALL DISTANCES SHALL BE GROUND DISTANCES.
 6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
 7. TRACT C SHALL BE A PUBLIC WATERLINE, PUBLIC SANITARY SEWER, PEDESTRIAN & LANDSCAPE EASEMENT AND DEEDED TO THE HOME OWNERS ASSOCIATION
 8. TRACTS A, B, D, E SHALL BE A PUBLIC PEDESTRIAN ACCESS & LANDSCAPE EASEMENT AND DEEDED TO THE HOME OWNERS ASSOCIATION.

DESCRIPTION
 A tract of land situate within the Town of Atrisco Grant, projected Sections 8, 9, and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being all of TRACTS G THRU I, ARROWOOD RANCH DEVELOPMENT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 6, 2002 in Book 2002C, Page 390 and containing 42.1309 acres more or less.

- EASEMENTS**
1. EXISTING PUBLIC ROADWAY, DRAINAGE, WATER AND SANITARY SEWER EASEMENT (12-06-02, 02C-390) VACATED BY:
 2. EXISTING 46' PUBLIC ROADWAY EASEMENT (12-06-02, 02C-390) VACATED BY:
 3. 7' LANDSCAPE EASEMENT GRANTED WITH THIS PLAT
 4. 45' 138" PUBLIC SANITARY SEWER, DRAINAGE AND WATERLINE EASEMENT GRANTED WITH THIS PLAT
 5. 38" PUBLIC SANITARY SEWER, DRAINAGE, WATERLINE & PEDESTRIAN ACCESS EASEMENT GRANTED WITH THIS PLAT



ZONE ATLAS: N-9-Z & P-9-Z

- LEGEND**
- 1 LOT NUMBER
 - ③ BLOCK NUMBER
 - ▲ CENTER LINE MONUMENT
 - RIGHT-OF-WAY & PROPERTY LINES
 - - - UNIT LINE
 - U 1 UNIT NUMBER
 - DENOTES EASEMENTS OR PORTION OF EASEMENTS BEING VACATED

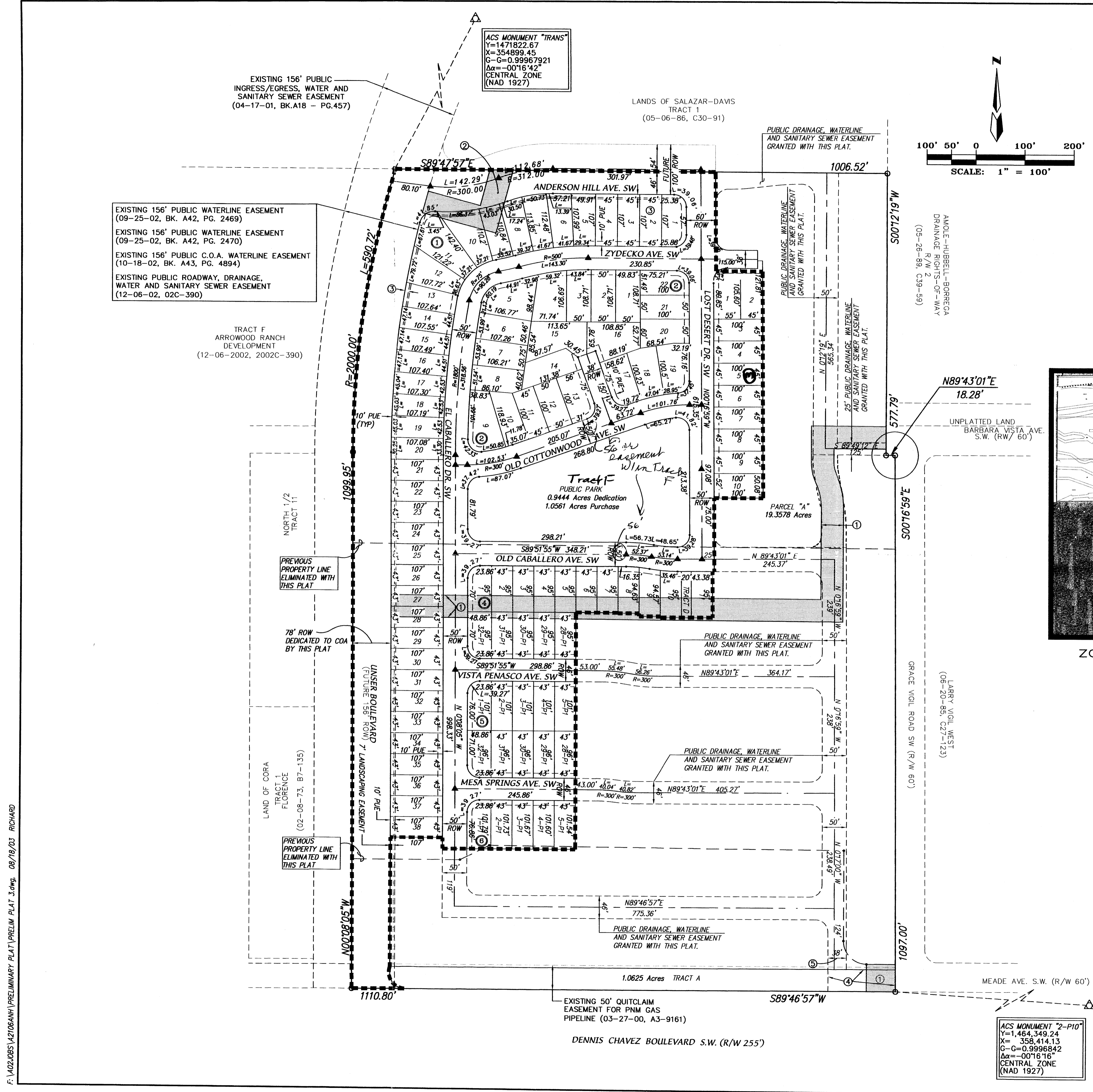
ENGINEERS
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

OWNERS
 ANDERSON HILLS, LLC
 PO BOX 12317
 ALBUQUERQUE, N.M. 87195
 (505) 822-5562

SURVEYOR
 ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190
 (505) 884-1990

REX WILSON
 REX WILSON
 Managing Member, Anderson Hills, LLC
 8/19/2003
 DATE

APPROVED FOR MONUMENTATION AND STREET NAMES
[Signature]
 City Surveyor, City of Albuquerque, N.M.
 8-19-03
 Date



ACS MONUMENT "TRANS"
 Y=1471822.67
 X=354899.45
 G-Q=0.99987921
 Δα=00°16'42"
 CENTRAL ZONE
 (NAD 1927)

ACS MONUMENT "2-P10"
 Y=1,464,349.24
 X= 358,414.13
 G-Q=0.9996842
 Δα=00°16'16"
 CENTRAL ZONE
 (NAD 1927)

F:\A02\085\A2106\AHY\PRELIM PLAT 3.dwg, 08/18/03 RICHARD

PRELIMINARY PLAT
THE MEADOWS AT ANDERSON HILLS
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 8, 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMMP
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2003

SUBDIVISION DATA

GROSS ACREAGE	19.1072 AC
ZONE ATLAS NO.	N-9-Z P-9-Z
NO. OF LOTS CREATED - UNIT 2	117 LOTS
NO. OF TRACTS CREATED	6 TRACTS
AREA DEDICATED TO CITY	3.5905 AC
PARK DEDICATION (UNIT 1)	2.0005 AC
ZONING	RLT
DATE OF SURVEY	OCTOBER 2002

- NOTES**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS \circ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED "ALS LS 7719" (TYP).
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS \blacktriangle . WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
 "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
 "DO NOT DISTURB"
 PS#7719"
 - BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 - ALL DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
 - TRACT C SHALL BE A PUBLIC WATERLINE, PUBLIC SANITARY SEWER, & LANDSCAPE EASEMENT DEEDED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION. PUBLIC SANITARY SEWER AND WATER TO BE MAINTAINED BY THE CITY OF ALBUQUERQUE.
 - TRACTS A, B, D, E, F, G, AND I SHALL BE A PUBLIC PEDESTRIAN ACCESS & LANDSCAPE EASEMENT AND DEEDED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 8, 9, and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being comprised of all of Parcel 1A, THE MEADOWS AT ANDERSON HILLS, as shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on [redacted] in Book [redacted] Page [redacted] and containing 19.1972 acres more or less.

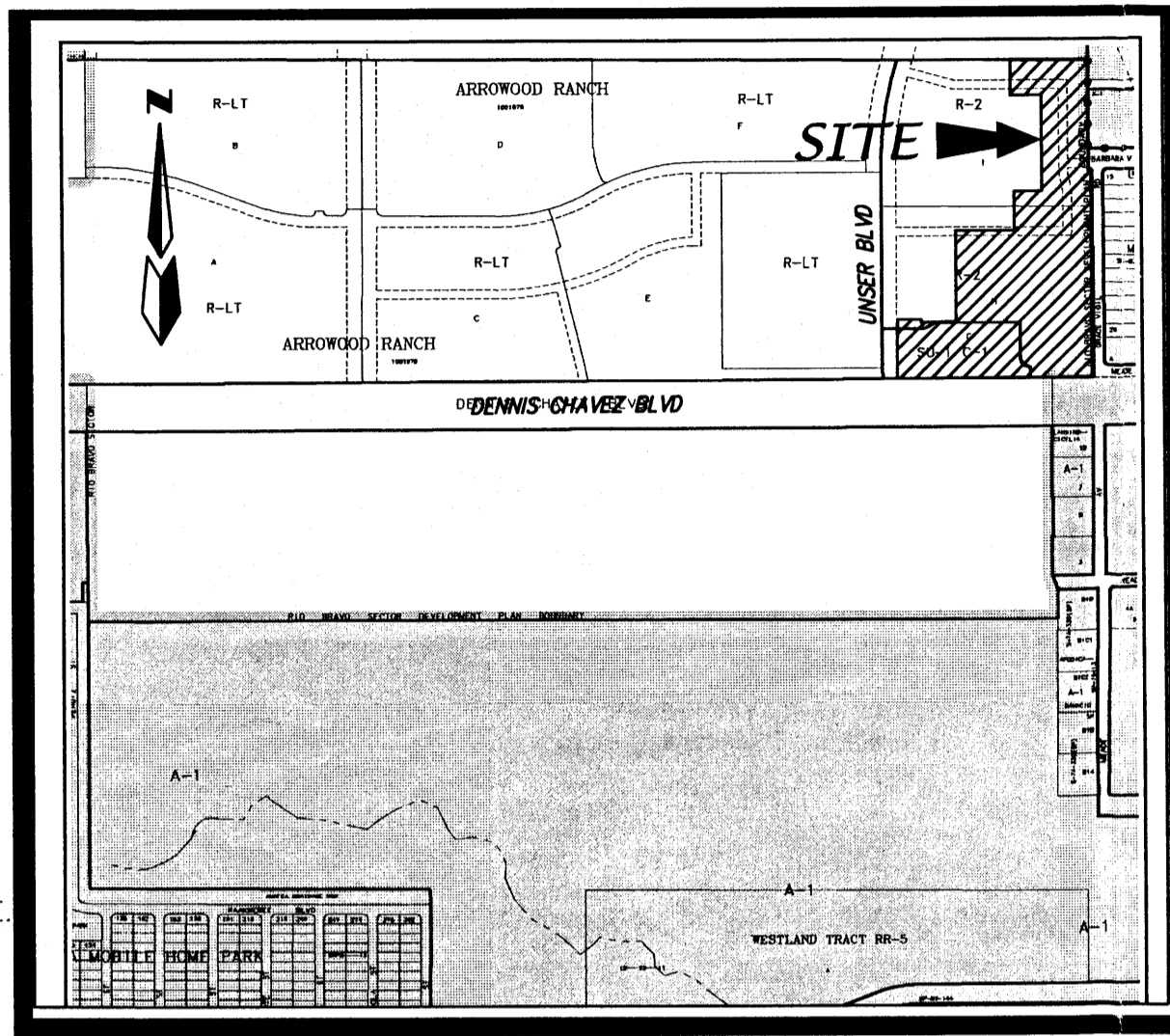
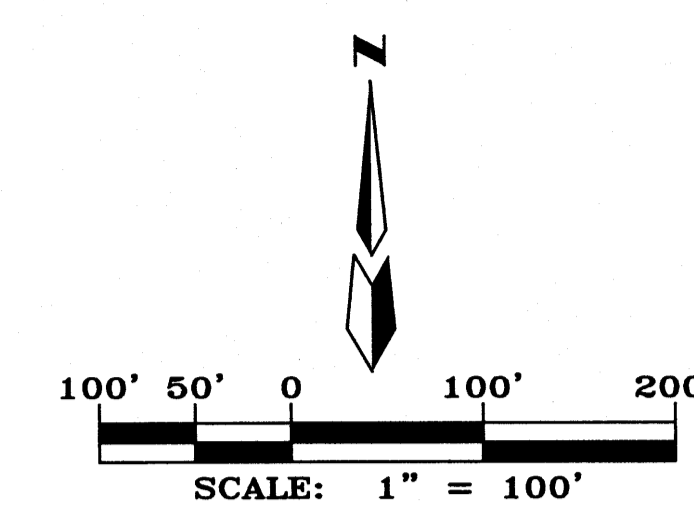
ENGINEERS	OWNERS
D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200	ANDERSON HILLS, LLC PO BOX 12317 ALBUQUERQUE, N.M. 87195 (505) 822-5562

SURVEYOR

ALDRICH LAND SURVEYING
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190
(505) 884-1990

Robert Lupton 2-19-2004
 ROBERT LUPTON DATE
 Manager, Anderson Hills, LLC

APPROVED FOR MONUMENTATION AND STREET NAMES
Robert Lupton 2-19-04
 City Surveyor, City of Albuquerque, N.M. Date

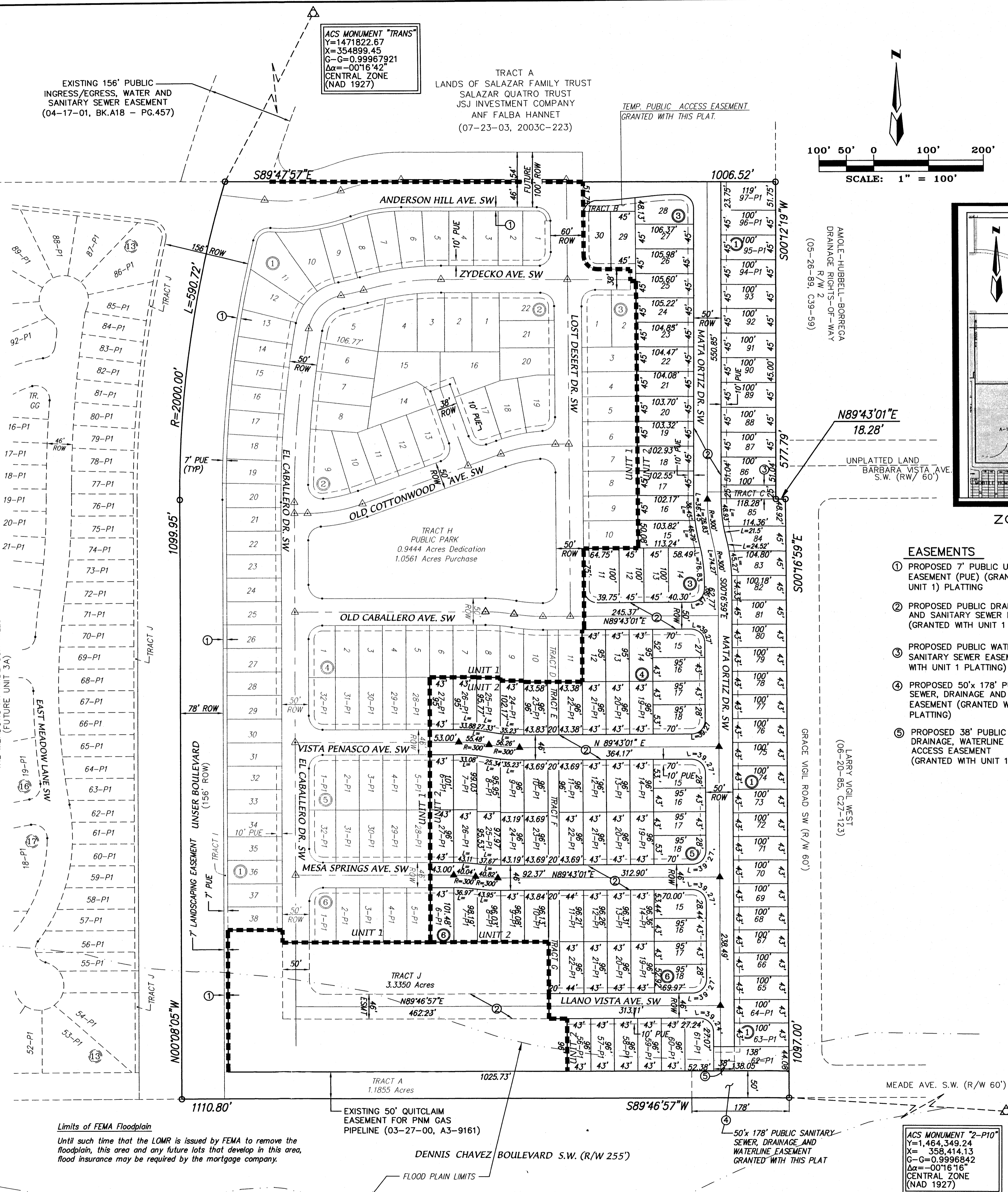


- EASEMENTS**
- PROPOSED 7' PUBLIC UTILITY EASEMENT (PUE) (GRANTED WITH UNIT 1) PLATTING
 - PROPOSED PUBLIC DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT (GRANTED WITH UNIT 1) PLATTING
 - PROPOSED PUBLIC WATERLINE AND SANITARY SEWER EASEMENT (GRANTED WITH UNIT 1) PLATTING
 - PROPOSED 50'x 178' PUBLIC SANITARY SEWER, DRAINAGE AND WATERLINE EASEMENT (GRANTED WITH UNIT 1) PLATTING
 - PROPOSED 38' PUBLIC SANITARY SEWER, DRAINAGE, WATERLINE & PEDESTRIAN ACCESS EASEMENT (GRANTED WITH UNIT 1) PLATTING

SITE BENCHMARK

ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

- LEGEND**
- 1 LOT NUMBER
 - ⊙ BLOCK NUMBER
 - ▲ CENTER LINE MONUMENT
 - △ EXISTING CENTER LINE MONUMENT
 - RIGHT-OF-WAY & PROPERTY LINES
 - - - - - UNIT LINE
 - UNIT 1 UNIT NUMBER



EXISTING 156' PUBLIC INGRESS/EGRESS, WATER AND SANITARY SEWER EASEMENT (04-17-01, BK.A18 - PG.457)

ACS MONUMENT "TRANS"
 Y=1471822.67
 X=354889.45
 C-G=0.99967921
 Δα=0°16'42"
 CENTRAL ZONE
 (NAD 1927)

TRACT A
 LANDS OF SALAZAR FAMILY TRUST
 SALAZAR QUATRO TRUST
 JSJ INVESTMENT COMPANY
 ANF FALBA HANNET
 (07-23-03, 2003C-223)

TEMP. PUBLIC ACCESS EASEMENT
 GRANTED WITH THIS PLAT.

AMOLE-HUBBELL-BORGEGA
 DRAINAGE RIGHTS-OF-WAY
 (05-26-84, C39-59)

N89°43'01"E
 18.28'

UNPLATTED LAND
 BARBARA VISTA AVE.
 S.W. (R/W 60')

LARRY VIGIL WEST
 (06-20-85, C27-123)

GRACE VIGIL ROAD SW (R/W 60')

ACS MONUMENT "2-P10"
 Y=1,464,349.24
 X= 358,414.13
 C-G=0.9996842
 Δα=0°16'16"
 CENTRAL ZONE
 (NAD 1927)

Limits of FEMA Floodplain
 Until such time that the LOMR is issued by FEMA to remove the floodplain, this area and any future lots that develop in this area, flood insurance may be required by the mortgage company.

EXISTING 50' QUITCLAIM EASEMENT FOR PNM GAS PIPELINE (03-27-00, A3-9161)

DENNIS CHAVEZ BOULEVARD S.W. (R/W 255')

50'x 178' PUBLIC SANITARY SEWER, DRAINAGE AND WATERLINE EASEMENT GRANTED WITH THIS PLAT

AMENDED PRELIMINARY PLAT
THE MESA AT ANDERSON HILLS

UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 8, 9 & 10
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM PLAT
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2005
APPROVED BY DRS

SUBDIVISION DATA

GROSS ACREAGE 20.9248 AC
ZONE ATLAS NO. N-9-Z P-9-Z
NO. OF LOTS CREATED - UNIT 2 149 LOTS
NO. OF TRACTS CREATED 6 TRACTS
R/W AREA DEDICATED TO CITY 4.2646 AC
PARK DEDICATION (UNIT 1) 2.0005 AC
ZONING R-2
DATE OF SURVEY OCTOBER 2002

NOTES

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS \odot SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED "ALS LS 7719" (TYP).

2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.S., ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS \blacktriangle , WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:

"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
PS#7719"

3. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.

4. BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.

5. ALL DISTANCES SHALL BE GROUND DISTANCES.

6. MANHOLES WILL BE OF SET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

7. TRACT C SHALL BE A PUBLIC WATERLINE, PUBLIC SANITARY SEWER, & LANDSCAPE EASEMENT DEEDED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION. PUBLIC SANITARY SEWER AND WATER TO BE MAINTAINED BY THE CITY OF ALBUQUERQUE.

8. TRACTS A, B, E, F, AND G SHALL BE A PUBLIC PEDESTRIAN ACCESS & LANDSCAPE EASEMENT AND DEEDED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

9. TRACT K IS TO PROVIDE AN ADDITIONAL 7' WIDE LANDSCAPE AREA TO BE OWNED AND MAINTAINED BY THE ANDERSON HILLS HOMEOWNERS ASSOCIATION. THIS TRACT IS ALSO ENCLUMBERED WITH A 7' WIDE PUE AND PUBLIC ACCESS AND SIDEWALK EASEMENT.

DESCRIPTION

A tract of land situated within the Town of Atrisco Grant, projected Sections 8, 9, and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being comprised of all of PARCEL "A-1" and all of TRACT "1-1", THE MESA AT ANDERSON HILLS, UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 19, 2004 in Book 2004C, Page 362 and containing 20.9248 acres more or less.

ENGINEERS
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

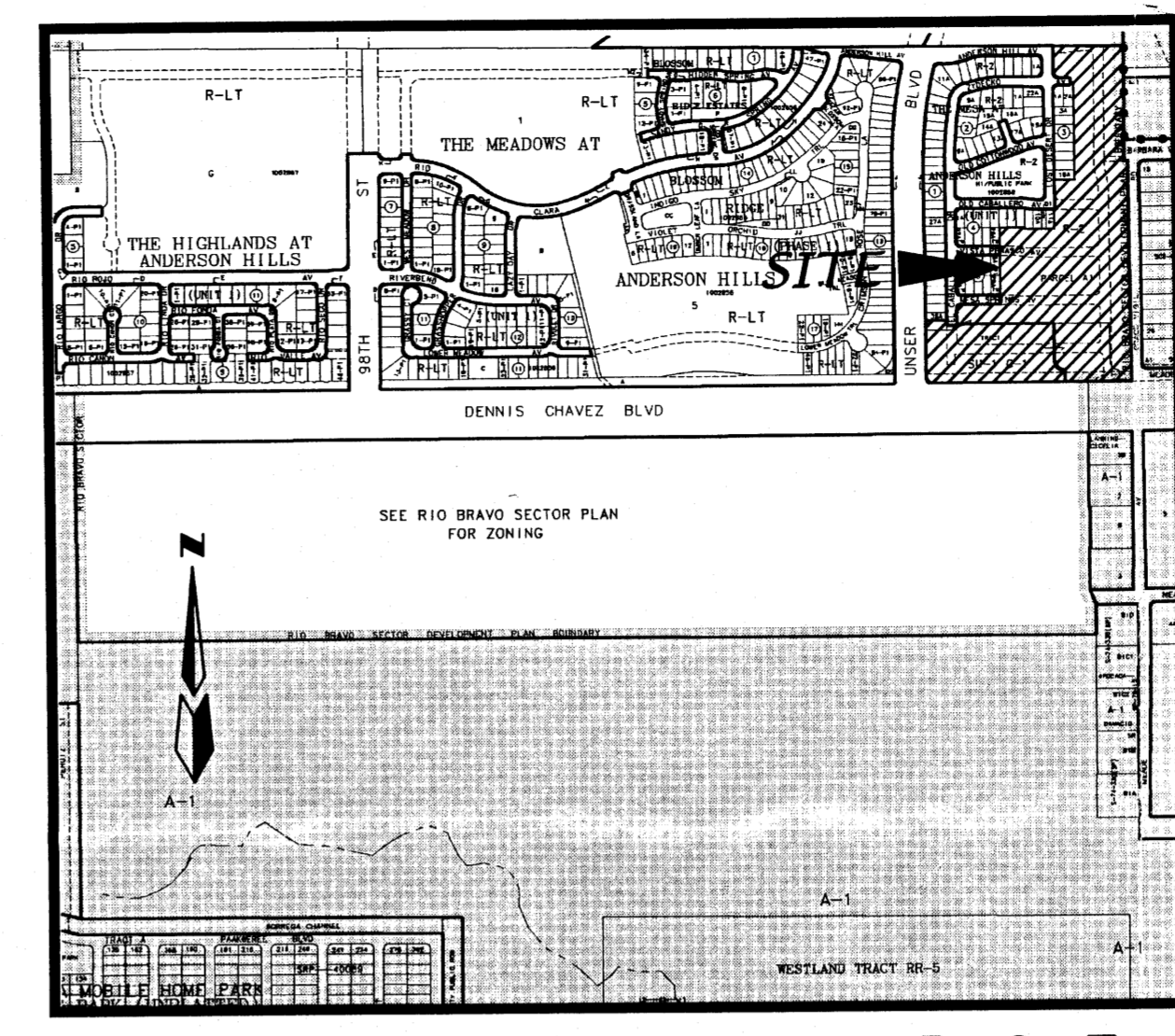
OWNERS
ANDERSON HILLS, LLC
PO BOX 12317
ALBUQUERQUE, N.M. 87195
(505) 822-5562

SURVEYOR
ALDRICH LAND SURVEYING
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190
(505) 864-1990

REX WILSON
Managing Member, Anderson Hills, LLC
02/15/05
DATE

APPROVED
City Surveyor, City of Albuquerque, N.M.
Date 2-28-05

ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990



ZONE ATLAS: N-9-Z & P-9-Z

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	47.17	30.00	90°04'58"	30.04	S45°10'34"E	42.46
C2	39.27	25.00	90°00'00"	25.00	S44°51'55"W	35.36
C3	39.06	25.00	89°30'58"	24.79	S45°02'28"E	35.21

EASEMENTS

- EXISTING 7' PUBLIC UTILITY EASEMENT (PUE) & 7' LANDSCAPE AREA (11-19-04, 04C-362)
- EXISTING PUBLIC DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT (11-19-04, 04C-362)
- EXISTING 25' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT (11-19-04, 04C-362)
- EXISTING 15' PUBLIC WATERLINE EASEMENT (11-19-04, 04C-362)
- PROPOSED 38" PUBLIC SANITARY SEWER, DRAINAGE, WATERLINE & PEDESTRIAN ACCESS EASEMENT (11-19-04, 04C-362)
- EXISTING 15'x15' PNM SWITCH GEAR EASEMENT (11-19-04, 04C-362)
- EXISTING 10'x20' QWEST EASEMENT (11-19-04, 04C-362)
- EXISTING 10' PUBLIC UTILITY EASEMENT (10' PUE) (11-19-04, 04C-362)
- EXISTING PUBLIC STORM DRAIN EASEMENT (10' PUE) (11-19-04, 04C-362)
- EXISTING 10' PUBLIC STORM DRAIN EASEMENT (10' PUE) (11-19-04, 04C-362)

LINE DATA

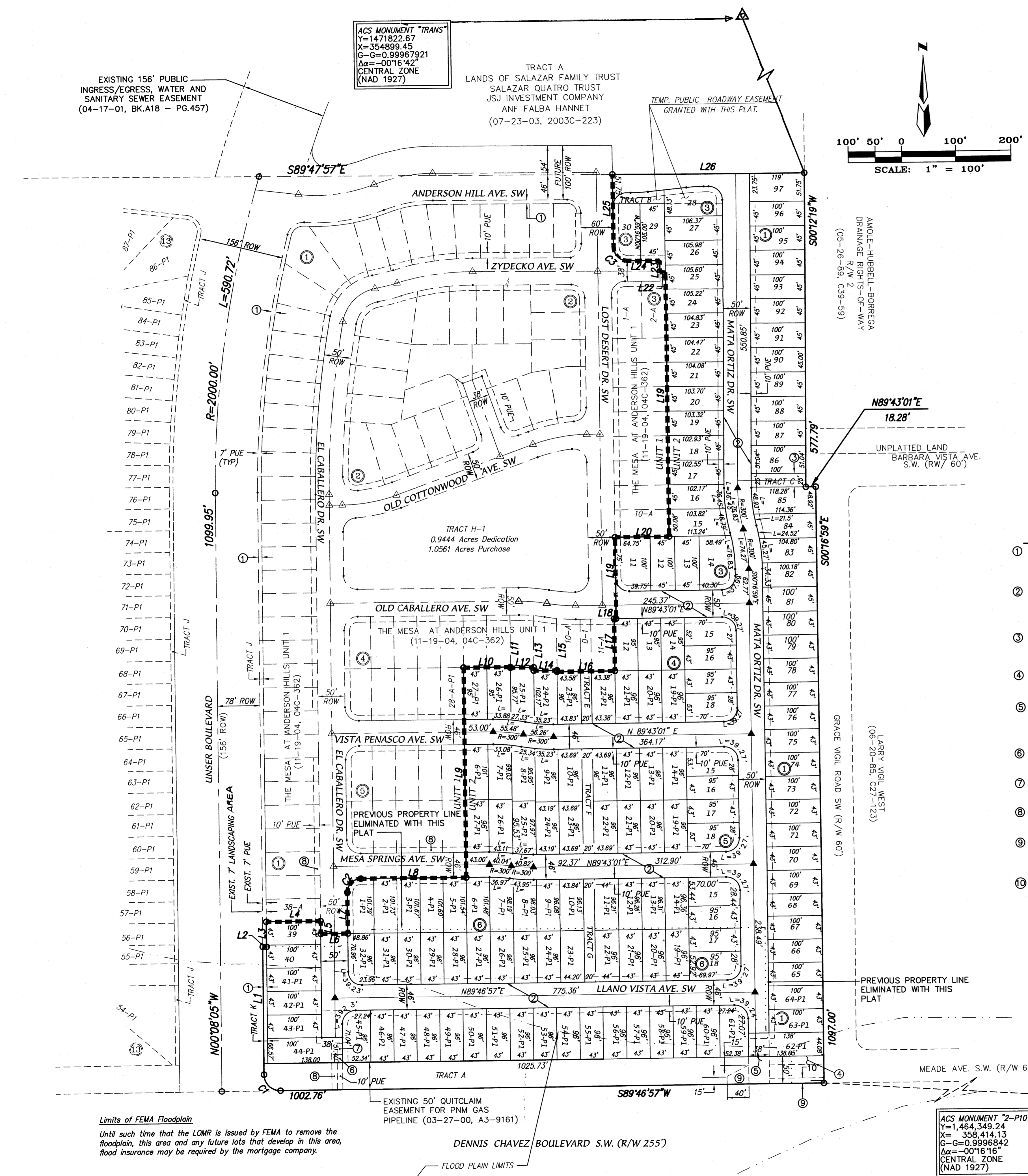
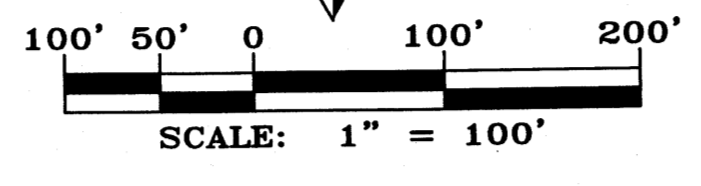
NUMBER	DIRECTION	DISTANCE
L1	N00°08'05"W	235.36
L2	N89°57'17"E	7.00
L3	N00°08'05"W	46.22
L4	N89°51'55"W	100.00
L5	N00°08'05"W	23.46
L6	N89°46'57"E	50.00
L7	N00°08'05"W	76.86
L8	S89°51'55"W	195.86
L9	N00°08'07"W	384.00
L10	S89°51'55"W	86.00
L11	S00°08'05"E	0.92
L12	S89°51'55"W	43.00
L13	S00°08'05"E	5.92
L14	N89°51'55"E	43.00
L15	S00°08'05"E	2.37
L16	N89°43'02"E	106.96
L17	N00°16'59"W	94.82
L18	N89°43'01"E	3.63
L19	S00°16'59"W	150.00
L20	N89°43'01"E	100.00
L21	N00°16'59"W	486.88
L22	N89°43'01"E	10.00
L23	N00°16'59"W	21.50
L24	S89°47'57"E	60.21
L25	N00°16'59"W	134.26
L26	S89°47'57"E	352.03

SITE BENCHMARK

ACS MONUMENT
"3-P10"
ELEVATION=4935.735
(SLD 1929)

LEGEND

- 1 LOT NUMBER
- 3 BLOCK NUMBER
- \blacktriangle CENTER LINE MONUMENT
- \triangle EXISTING CENTER LINE MONUMENT
- RIGHT-OF-WAY & PROPERTY LINES
- - - UNIT LINE
- UNIT 1 UNIT NUMBER



ACS MONUMENT "TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
A2=-0016'42"
CENTRAL ZONE
(NAD 1927)

TRACT A
LANDS OF SALAZAR FAMILY TRUST
SALAZAR QUATRO TRUST
JSJ INVESTMENT COMPANY
ANF FALBA HANNET
(07-23-03, 2003C-223)

EXISTING 156' PUBLIC
INGRESS/EGRESS, WATER AND
SANITARY SEWER EASEMENT
(04-17-01, BK.A18 - PG.457)

TEMP. PUBLIC ROADWAY EASEMENT
GRANTED WITH THIS PLAT.

AMOLF-HIBBELT-BORRERA
DRAINAGE RIGHTS-OF-WAY
(05-26-89, C39-59)

N89°43'01"E
18.28'

UNPLATTED LAND
BARBARA VISTA AVE.
S.W. (R/W 60')

LARRY VINCI, WEST
(06-20-85, C27-123)

PREVIOUS PROPERTY LINE
ELIMINATED WITH THIS
PLAT

ACS MONUMENT "2-P10"
Y=1484,349.24
X=358,414.13
G-G=0.9996842
A2=-0016'16"
CENTRAL ZONE
(NAD 1927)

Limits of FEMA Floodplain
Until such time that the LOMR is issued by FEMA to remove the floodplain, this area and any future lots that develop in this area, flood insurance may be required by the mortgage company.

DENNIS CHAVEZ BOULEVARD S.W. (R/W 255')

PRELIMINARY PLAT
THE MESA AT ANDERSON HILLS
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 8, 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2003

SUBDIVISION DATA

GROSS ACREAGE	42.1309 AC
ZONE ATLAS NO.	N-9-Z P-9-Z
NO. OF LOTS CREATED	242 LOTS
NO. OF TRACTS CREATED	5 TRACTS
AREA DEDICATED TO CITY	12.6281 AC
PARK DEDICATION	2.0005 AC
ZONING	RLT
DATE OF SURVEY	OCTOBER 2002

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED "ALS LS 7719" (TYP).
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲. WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
 "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
 "DO NOT DISTURB"
 PS#7719"
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- TRACT B SHALL BE A PUBLIC WATERLINE, PUBLIC SANITARY SEWER, PEDESTRIAN & LANDSCAPE EASEMENT AND DEEDED TO THE HOME OWNERS ASSOCIATION
- TRACTS A, C, D, E SHALL BE A PUBLIC PEDESTRIAN ACCESS & LANDSCAPE EASEMENT AND DEEDED TO THE HOME OWNERS ASSOCIATION.

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 8, 9, and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being all of TRACTS G THRU I, ARROWOOD RANCH DEVELOPMENT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 6, 2002 in Book 2002C, Page 390 and containing 42.1309 acres more or less.

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

OWNERS

ANDERSON HILLS, LLC
 PO BOX 12317
 ALBUQUERQUE, N.M. 87195
 (505) 822-5562

SURVEYOR

ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190
 (505) 884-1990

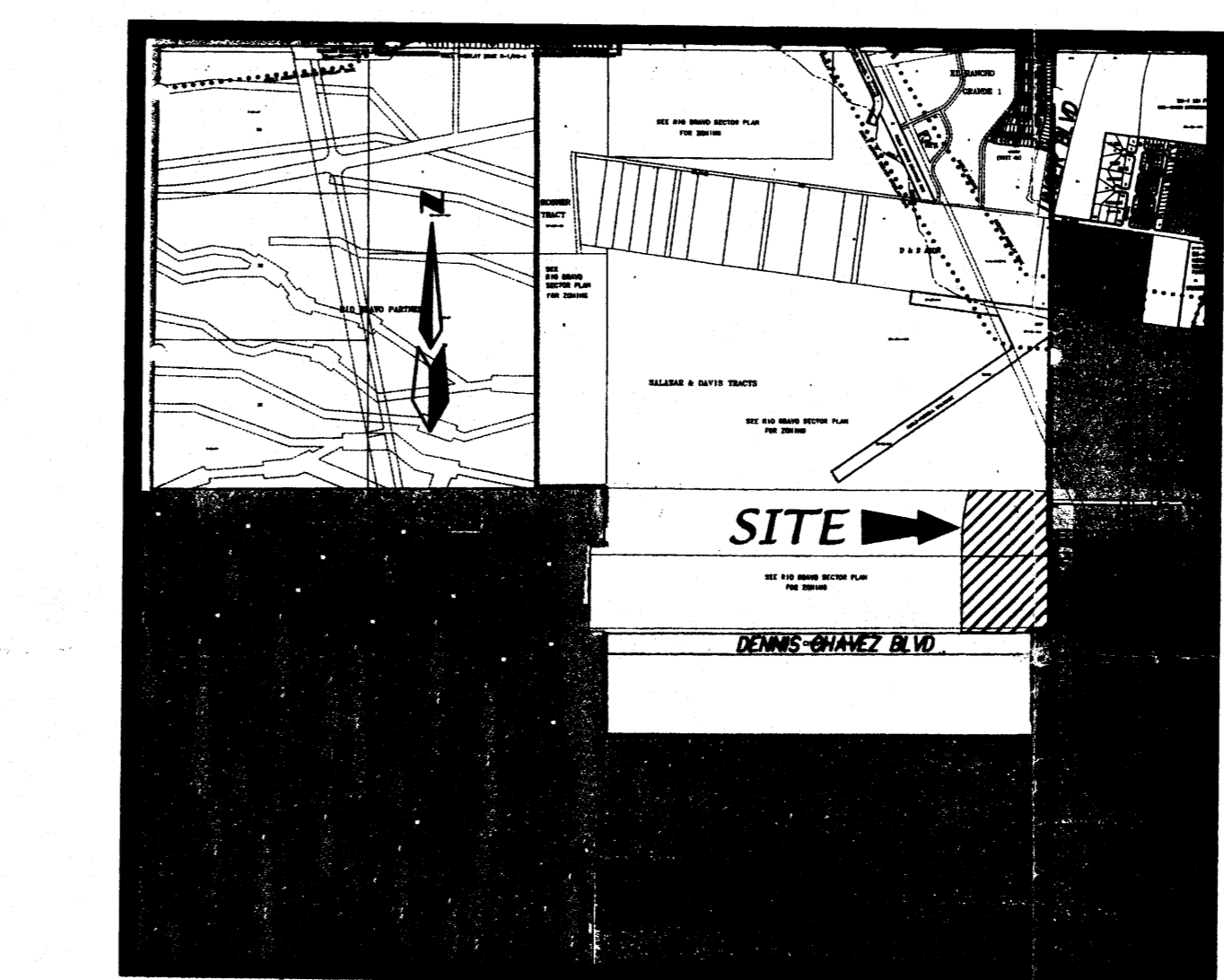
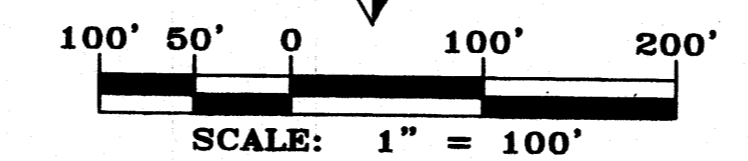
[Signature] 7/01/2003
 REX WILSON
 Managing Member, Anderson Hills, LLC
 DATE

APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 7-2-03
 City Surveyor, City of Albuquerque, N.M. Date

EASEMENTS

- EXISTING PUBLIC ROADWAY, DRAINAGE, WATER AND SANITARY SEWER EASEMENT (12-06-02, 02C-390) VACATED BY:
- EXISTING 46' PUBLIC ROADWAY EASEMENT (12-06-02, 02C-390) VACATED BY:
- 7' LANDSCAPE EASEMENT GRANTED WITH THIS PLAT



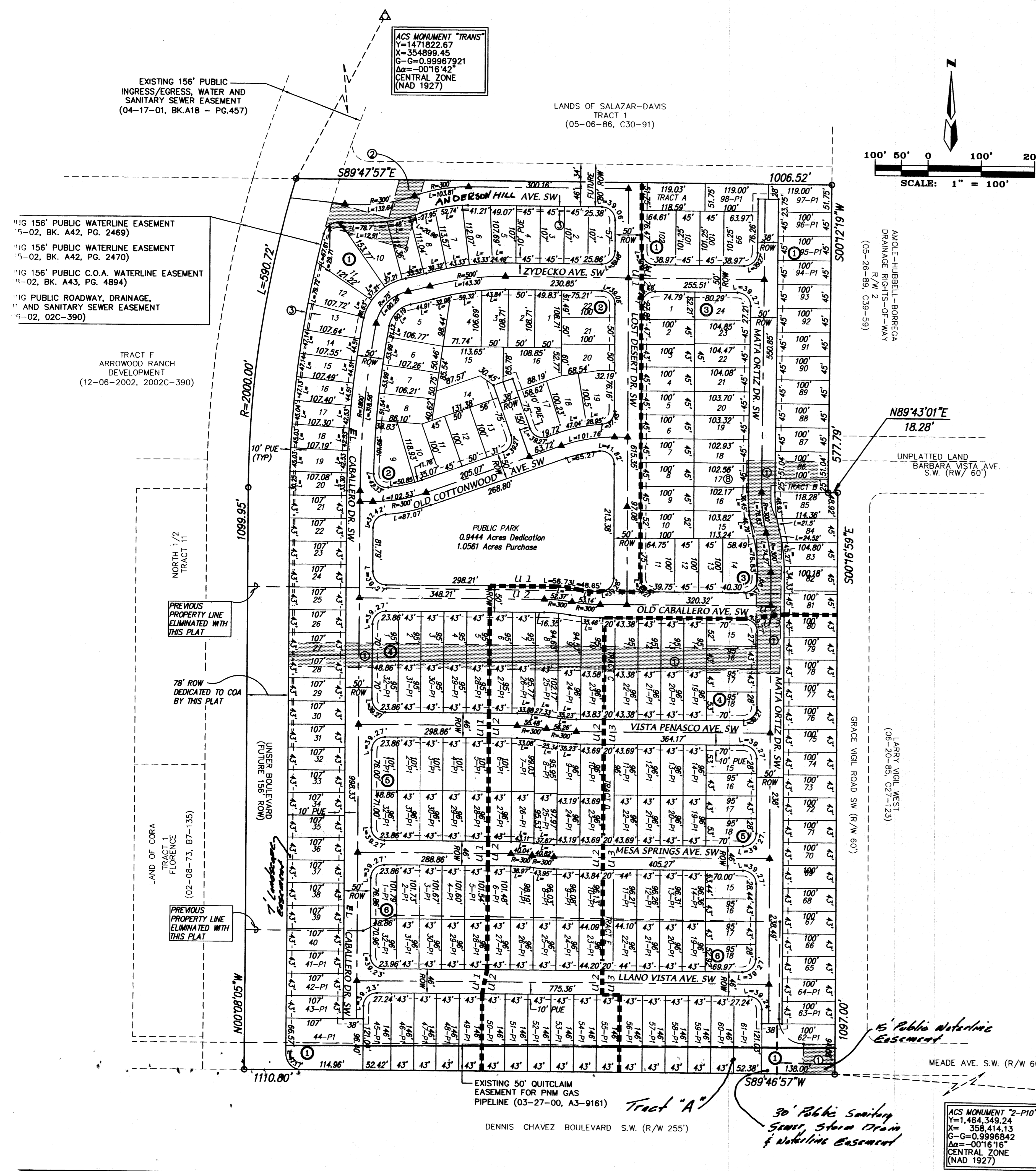
ZONE ATLAS: N-9-Z & P-9-Z

SITE BENCHMARK

ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

LEGEND

- 1 LOT NUMBER
- Ⓢ BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- RIGHT-OF-WAY
- UNIT LINE
- U 1 UNIT NUMBER
- VACATION



EXISTING 156' PUBLIC WATERLINE EASEMENT (5-02, BK. A42, PG. 2469)
 EXISTING 156' PUBLIC WATERLINE EASEMENT (5-02, BK. A42, PG. 2470)
 EXISTING 156' PUBLIC C.O.A. WATERLINE EASEMENT (5-02, BK. A43, PG. 4894)
 EXISTING PUBLIC ROADWAY, DRAINAGE, AND SANITARY SEWER EASEMENT (5-02, 02C-390)

TRACT F
 ARROWOOD RANCH
 DEVELOPMENT
 (12-06-2002, 2002C-390)

PREVIOUS PROPERTY LINE ELIMINATED WITH THIS PLAT

78' ROW DEDICATED TO COA BY THIS PLAT

LAND OF CORA
 TRACT FLORENCE
 (02-08-73, B7-135)

PREVIOUS PROPERTY LINE ELIMINATED WITH THIS PLAT

ACS MONUMENT "TRANS"
 Y=1471822.67
 X=354899.45
 G=0.99967921
 Δα=0°0'16.42"
 CENTRAL ZONE
 (NAD 1927)

LANDS OF SALAZAR-DAVIS
 TRACT 1
 (05-06-86, C30-91)

AMOLE-HUBBELL-BORRERGA
 DRAINAGE RIGHTS-OF-WAY
 (05-26-89, C39-59)

N89°43'01"E
 18.28'
 UNPLATTED LAND
 BARBARA VISTA AVE.
 S.W. (R/W 60')

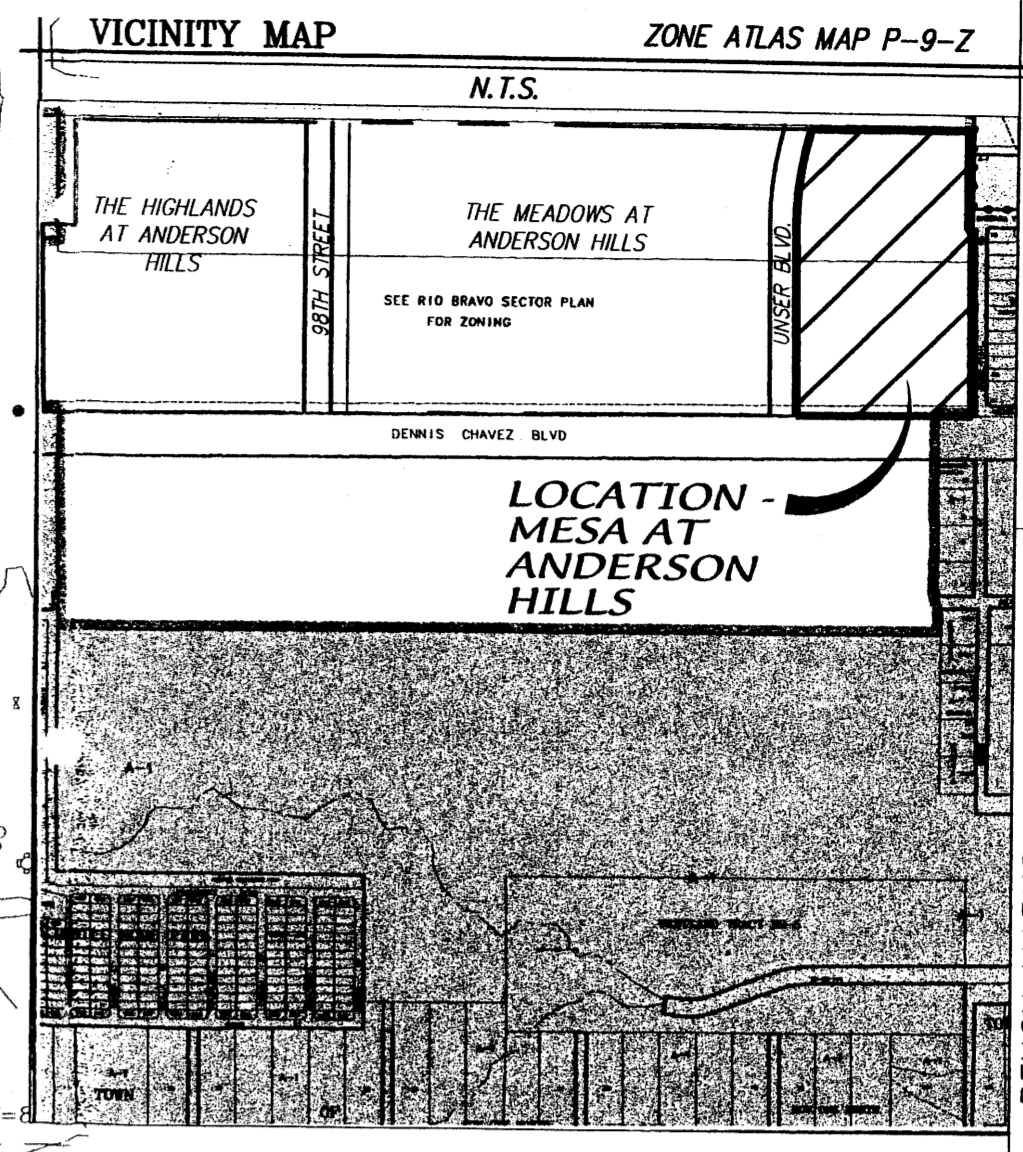
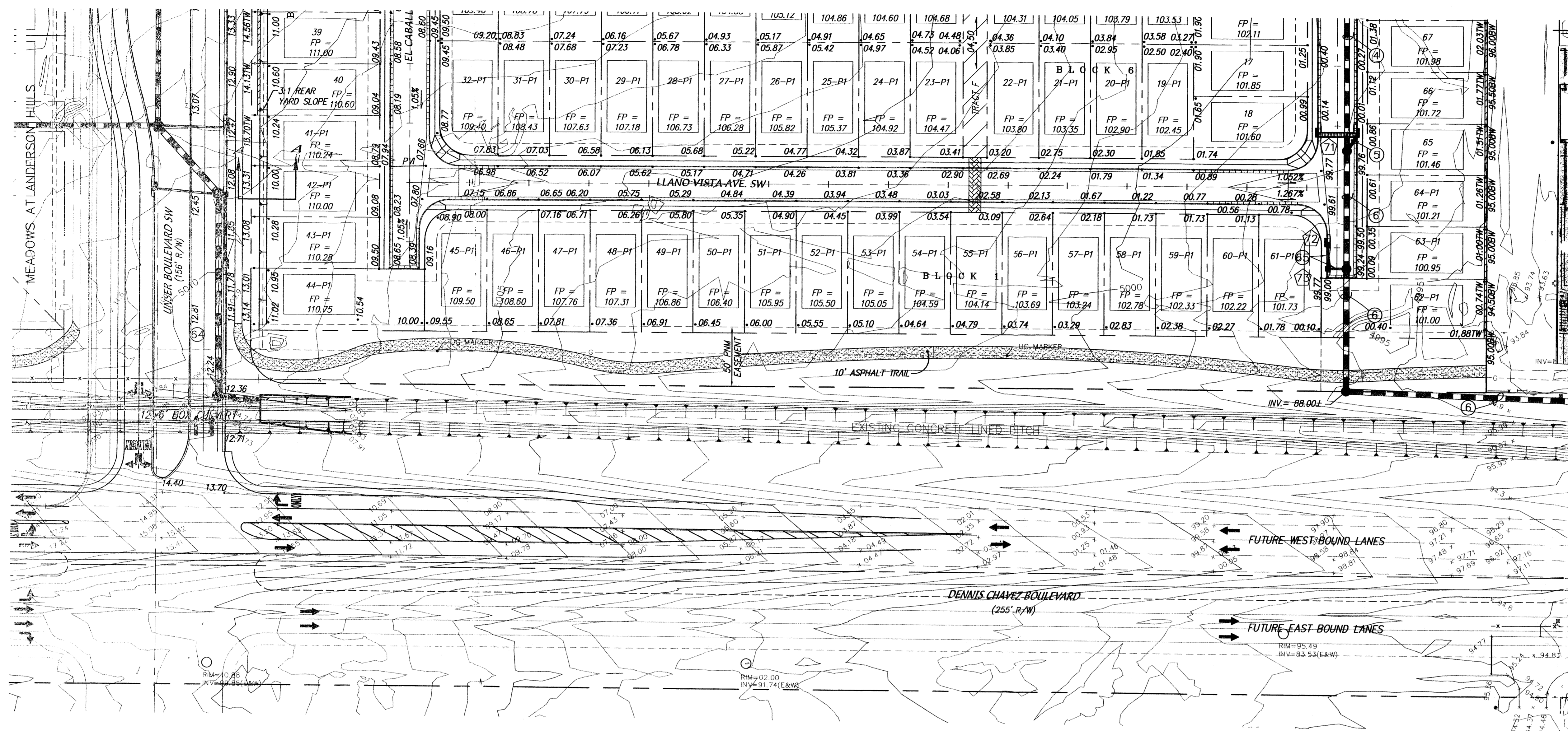
LARRY VIGIL WEST
 (06-20-85, C27-123)

EXISTING 50' QUILCLAIM
 EASEMENT FOR PNM GAS
 PIPELINE (03-27-00, A3-9161)

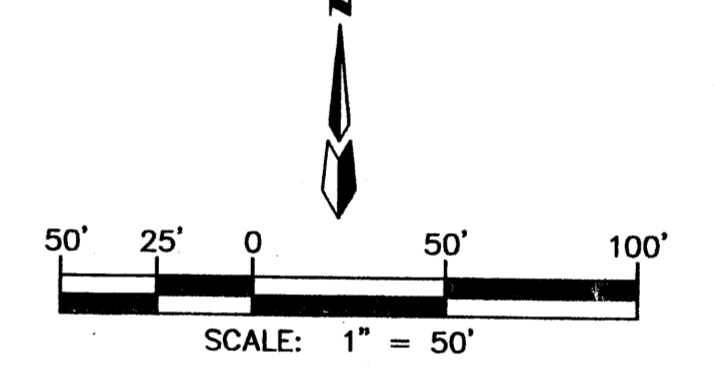
Tract "A"

30' Public Sanitary
 Sewer Storm Drain
 & Waterline Easement

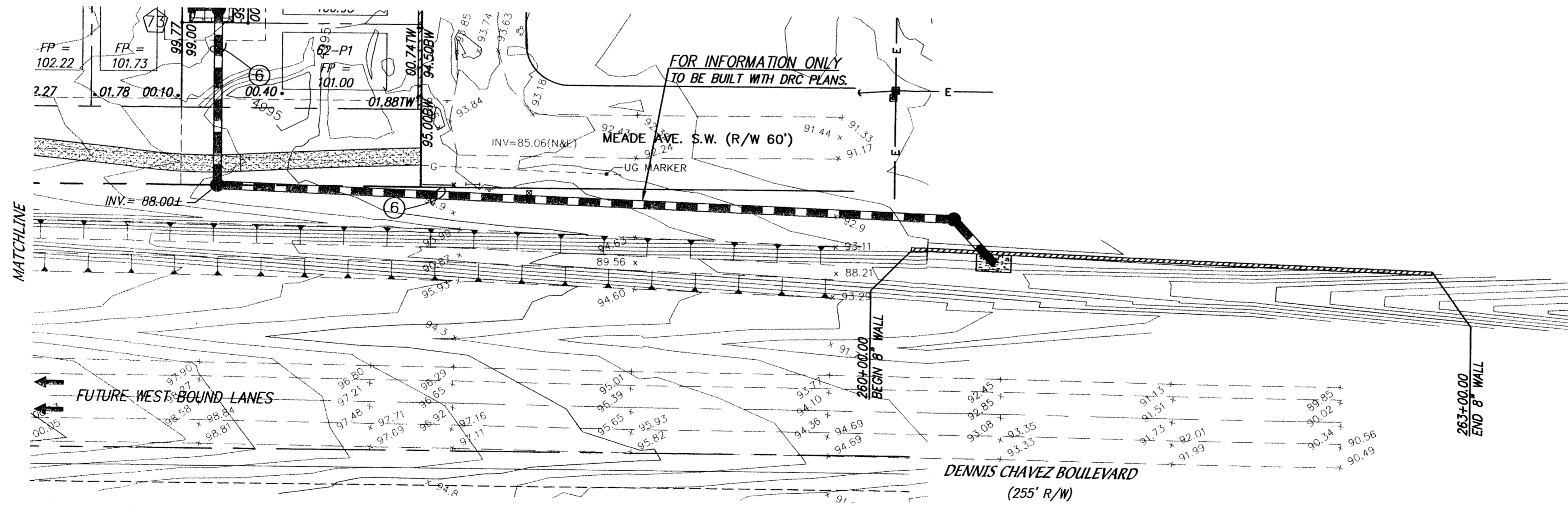
ACS MONUMENT "2-P10"
 Y=1,484,349.24
 X= 358,414.13
 G=0.9996842
 Δα=0°0'16.16"
 CENTRAL ZONE
 (NAD 1927)



- NOTES**
1. SEE REAR YARD SLOPE DETAIL SHEET 3.
 2. SEE SIDE YARD DETAIL SHEET 3.
 3. SEE DOUBLE RETAINING WALL DETAIL SHEET 3.



- LEGEND**
- PROPOSED STANDARD CURB & GUTTER
 - PROPOSED MOUNTABLE CURB & GUTTER
 - PROPOSED SIDEWALK
 - PROPOSED SPOT ELEVATION
 - PROPOSED FINISHED PAD ELEVATION
 - PROPOSED DIRECTION OF FLOW
 - PROPOSED SLOPE
 - PROPOSED RETAINING WALL
 - PROPOSED GARDEN WALL
 - PROPOSED PARK
 - EXISTING PAVEMENT
 - EXISTING CHANNEL



STORM DRAIN TABLE

RCP#	SIZE	SLOPE	Q ₁₀₀	V ₁₀₀
1	18" RCP	1.00%	8.40 cfs	4.8 fps
2	24" RCP	0.40%	14.90 cfs	4.7 fps
3	36" RCP	0.63%	53.02 cfs	7.5 fps
4	48" RCP	0.33%	82.82 cfs	5.2 fps
5	36" RCP	0.50%	46.55 cfs	6.5 fps
6	54" RCP	0.43%	129.37 cfs	8.1 fps
64	60" RCP	0.88%	245.5 cfs / FROM AHYMO	12.5 fps
65	18" RCP	1.00%	8.40 cfs	4.8 fps

STORM DRAIN INLET TABLE

INLET #	TYPE
66	A
67	A
68	C
69	C
70	CATTLE GRD INLET
71	CATTLE GRD INLET
72	A
73	C

APPROVED ROUGH GRADING ±18" CITY HYDROLOGY DATE

AS BUILT INFORMATION

CONTRACTOR	DATE
STATION 2+100' IS LOCATED 4.9 MI. SW OF DOWNTOWN ALBUQUERQUE TO REACH STATION FROM INT. OF COOPS AND DENNIS CHAVEZ BLVD. (FORMERLY RIO BRAVO), GO. N. ON COOPS 0.1 MI. TO FLORA VISTA AND GO WEST ON FLORA VISTA 0.5 MI. TO CONDERSHIRE, THEN GO S. ON CONDERSHIRE 0.4 MI. TO A POINT APPROX. 50 FT. W. OF THE STATION. STATION MARK IS AN ACS 3 1/4" ALUM CAP STAMPED 2+100, 1987. RIETIET TO A PIPE PROJECTING 0.25 FT. ABOVE THE GROUND. X=35941.13, Y=1464549.24 (NAD 87) Z=4991 (NGVD 29).	

SURVEY INFORMATION

NO.	DATE	BY



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **MESA AT ANDERSON HILLS
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

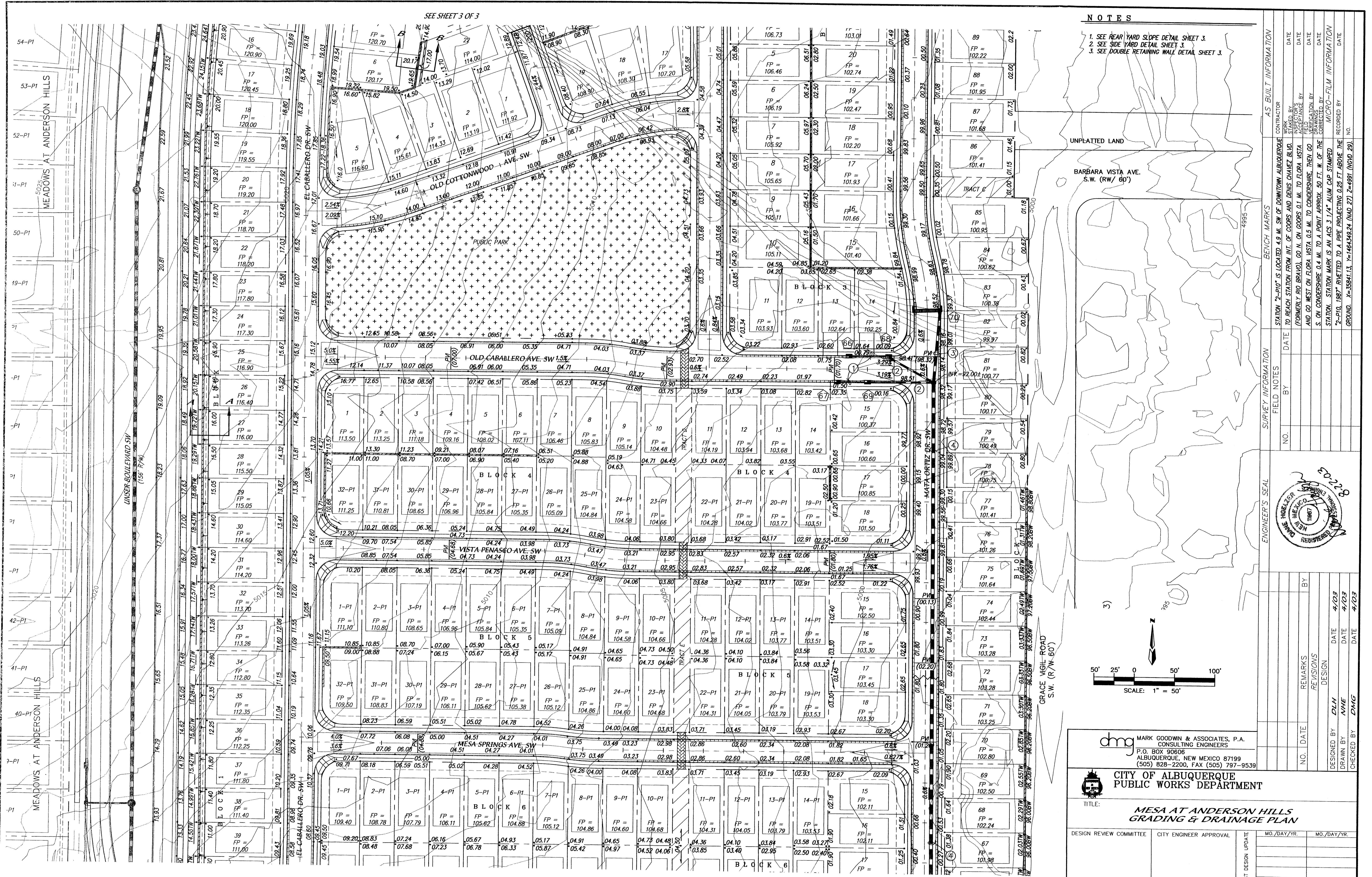
DESIGNED BY: DLH DATE: 4/03
DRAWN BY: AHE DATE: 4/03
CHECKED BY: DMG DATE: 4/03

CITY PROJECT NO. _____ ZONE MAP NO. **P-9** SHEET **1** OF **3**

SEE SHEET 3 OF 3

NOTES

- 1. SEE REAR YARD SLOPE DETAIL SHEET 3.
- 2. SEE SIDE YARD DETAIL SHEET 3.
- 3. SEE DOUBLE RETAINING WALL DETAIL SHEET 3.



SEE SHEET 1 OF 3

UNPLATTED LAND

BARBARA VISTA AVE.
S.W. (R/W/ 60')



SCALE: 1" = 50'

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 50606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **MESA AT ANDERSON HILLS
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. _____ SHEET 2 OF 3

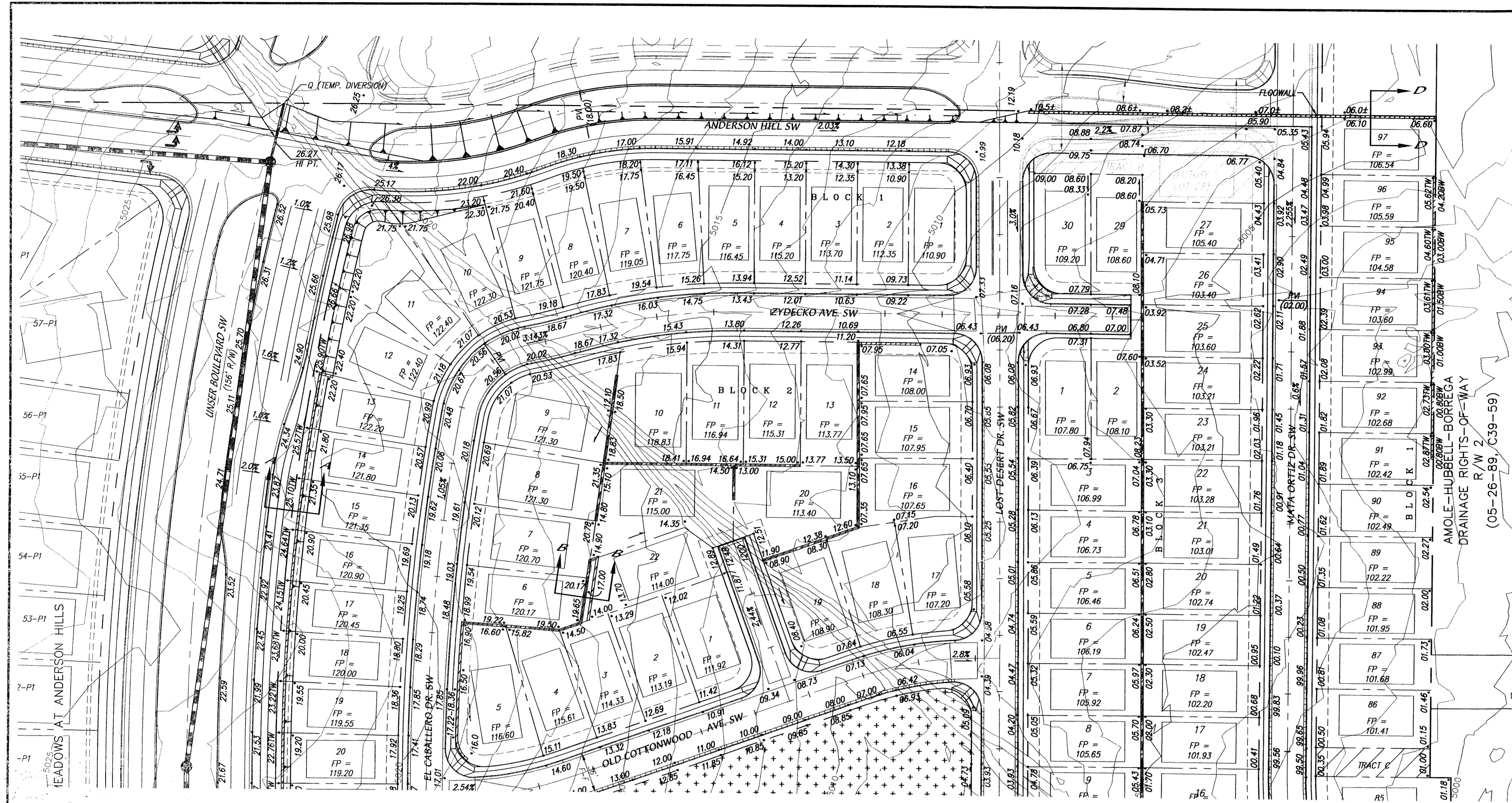
SURVEY INFORMATION		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE
FIELD NOTES		CONTRACTOR	
		STATION "2-PI0" IS LOCATED 4.9 MI. SW OF DOWNTOWN ALBUQUERQUE TO REACH STATION FROM INT. OF COORS AND DENIS CHAVEZ BLVD. (FORMERLY RIO BRAVO), GO N. ON COORS 0.1 MI. TO FLORA VISTA AND GO WEST ON FLORA VISTA 0.5 MI. TO CONDERSHIRE, THEN GO S. ON CONDERSHIRE 0.4 MI. TO A POINT APPROX. 50 FT. W. OF THE STATION. STATION MARK IS AN ACS 3 1/4" ALUM CAP STAMPED "2-PI0, 1987" RIVETED TO A PIPE PROJECTING 0.25 FT. ABOVE THE GROUND. X=55841.13 Y=1464348.24 (NAD 27) Z=4991 (NGVD 29).	

ENGINEER'S SEAL

MARK GOODWIN
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
1987

REVISIONS	
NO.	DATE
1	4/03
2	4/03
3	4/03

NOTES



SEE SHEET 2 OF 3

NOTE:

USE RETAINING WALLS:
WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE ADJACENT PADS IS 3.0' OR MORE A RETAINING WALL MUST BE CONSTRUCTED BETWEEN THE LOTS AS SHOWN ON THE PLAN AND THERE WILL BE NO PRIVATE DRAINAGE EASEMENT.

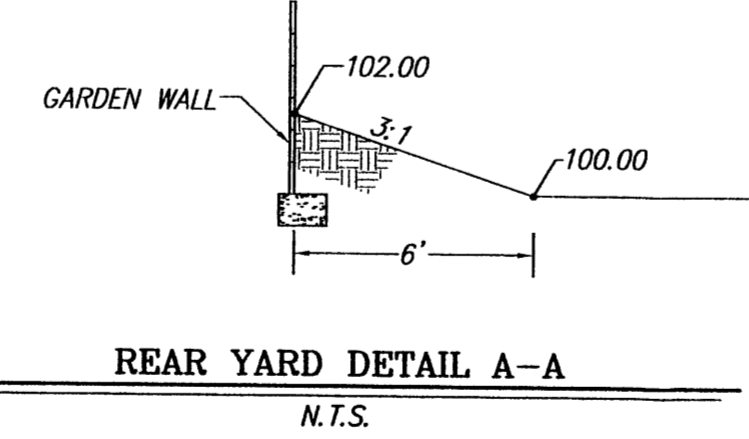
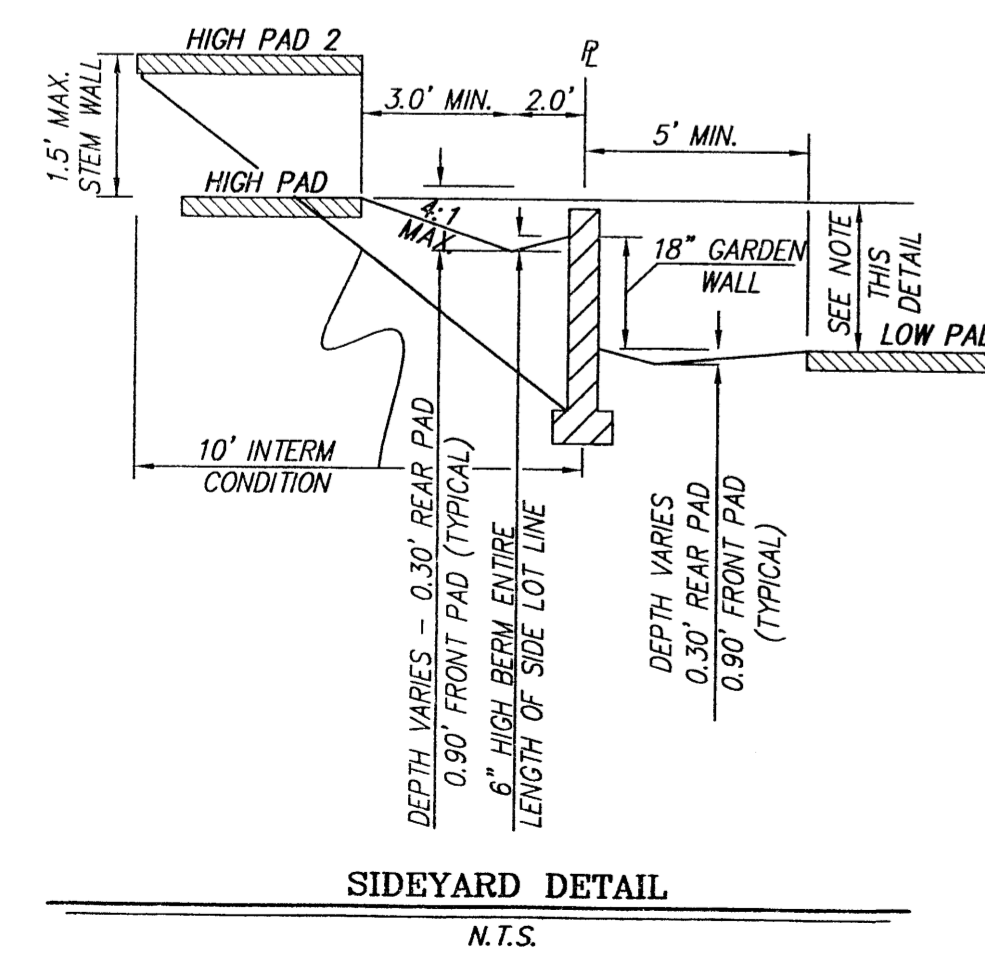
USE STEM WALLS:
WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE ADJACENT PADS IS GREATER THAN 1.5' BUT LESS THAN 3.0', A STEM WALL SHALL BE CONSTRUCTED BY THE BUILDER ON THE "HIGH SIDE" OF LOT PAD.

FOR ALL SIDE YARDS:
EACH LOT OWNER MUST CONSTRUCT, OPERATE, AND MAINTAIN HIS OWN SEPARATE DRAINAGE SWALE ALL THE WAY TO THE STREET AND CROSS LOT DRAINAGE WILL BE PREVENTED BY SOME COMBINATION OF WALLS AND BERMS ON THE COMMON LOT LINE TO BE JOINTLY MAINTAINED BY BOTH LOT OWNERS.

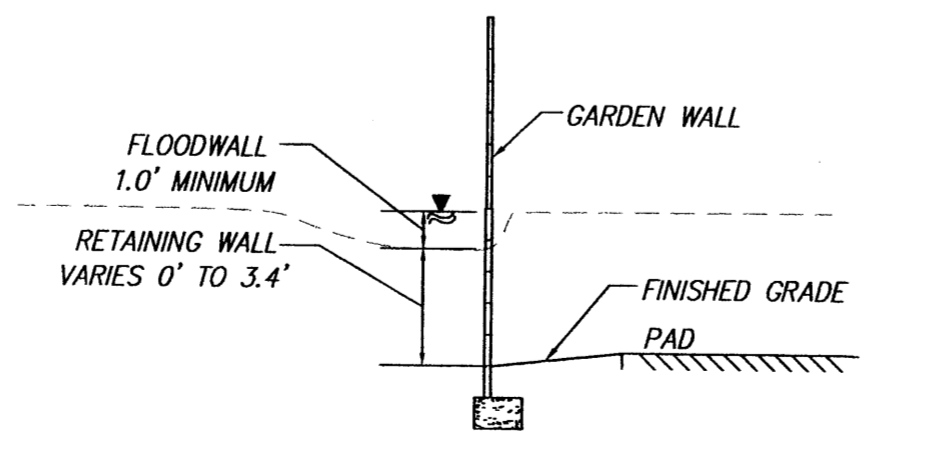
***PAD TO PAD 1.5' > 3.0', SECTION B-B CONSTRUCT STEM WALL**
N.T.S.

***PAD TO PAD < 1.5', SECTION B-B CONSTRUCT GARDEN WALL**
N.T.S.

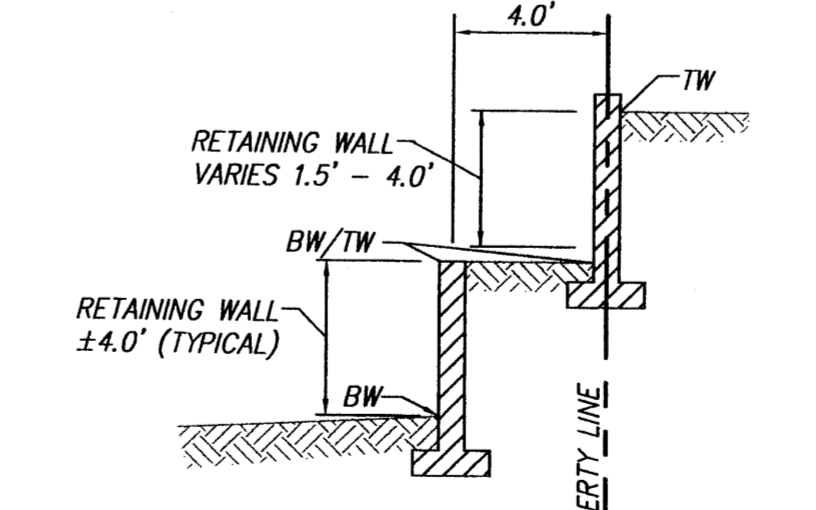
***PAD TO PAD > 3.0', SECTION B-B CONSTRUCT RETAINING WALL**
N.T.S.



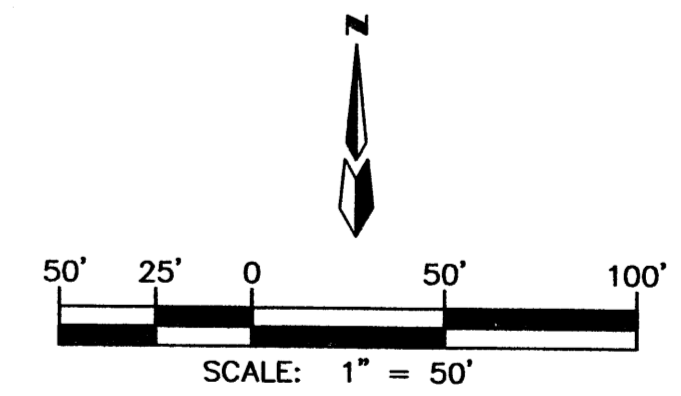
REAR YARD DETAIL A-A
N.T.S.



SECTION D-D
N.T.S.



DOUBLE RETAINING WALL DETAIL B-B
N.T.S.



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

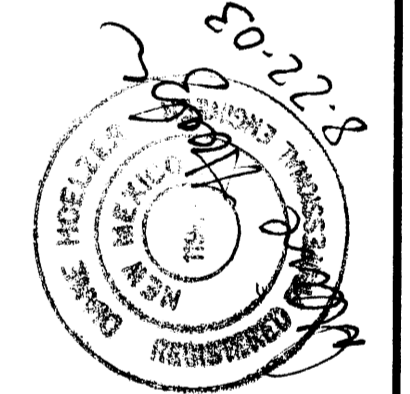
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **MESA AT ANDERSON HILLS**
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. _____ ZONE MAP NO. **P-9** SHEET **3** OF **3**

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION		
NO.	BY	NO.	DATE	CONTRACTOR	WORK STAKED BY	DATE	DATE	
				STATION "2-PI0" IS LOCATED 4.9 MI. SW OF DOWNTOWN ALBUQUERQUE TO REACH STATION FROM INT. OF COOPS AND DENIS CHAVEZ BLVD. (FORMERLY RIO BRAVO), GO N. ON COOPS 0.1 MI. TO FLORA VISTA AND GO WEST ON FLORA VISTA 0.5 MI. TO CONDERSHIRE, THEN GO S. ON CONDERSHIRE 0.4 MI. TO A POINT APPROX. 50 FT. W. OF THE STATION. STATION MARK IS AN ACS 3 1/4" ALUM CAP STAMPED "2-PI0, 1987" RIVETED TO A PIPE PROJECTING 0.25 FT. ABOVE THE GROUND. X=35841.13, Y=1464549.24 (NAD 87) Z=4991 (NGVD 29).				



3/17/04

PRELIMINARY PLAT
THE MESA AT ANDERSON HILLS
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 8, 9 & 10
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2003

SUBDIVISION DATA

GROSS ACREAGE	19.1072 AC
ZONE ATLAS NO.	N-9-Z P-9-Z
NO. OF LOTS CREATED - UNIT 2	117 LOTS
NO. OF TRACTS CREATED	6 TRACTS
AREA DEDICATED TO CITY	3.5905 AC
PARK DEDICATION (UNIT 1)	2.0005 AC
ZONING	RLT
DATE OF SURVEY	OCTOBER 2002

- NOTES**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED "ALS LS 7719" (TYP.).
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
 "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION" "DO NOT DISTURB" PS#7719"
 - BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 - ALL DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
 - TRACT C SHALL BE A PUBLIC WATERLINE, PUBLIC SANITARY SEWER, & LANDSCAPE EASEMENT DEEDED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION. PUBLIC SANITARY SEWER AND WATER TO BE MAINTAINED BY THE CITY OF ALBUQUERQUE.
 - TRACTS A, B, D, E, F, G, AND I SHALL BE A PUBLIC PEDESTRIAN ACCESS & LANDSCAPE EASEMENT AND DEEDED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

DESCRIPTION

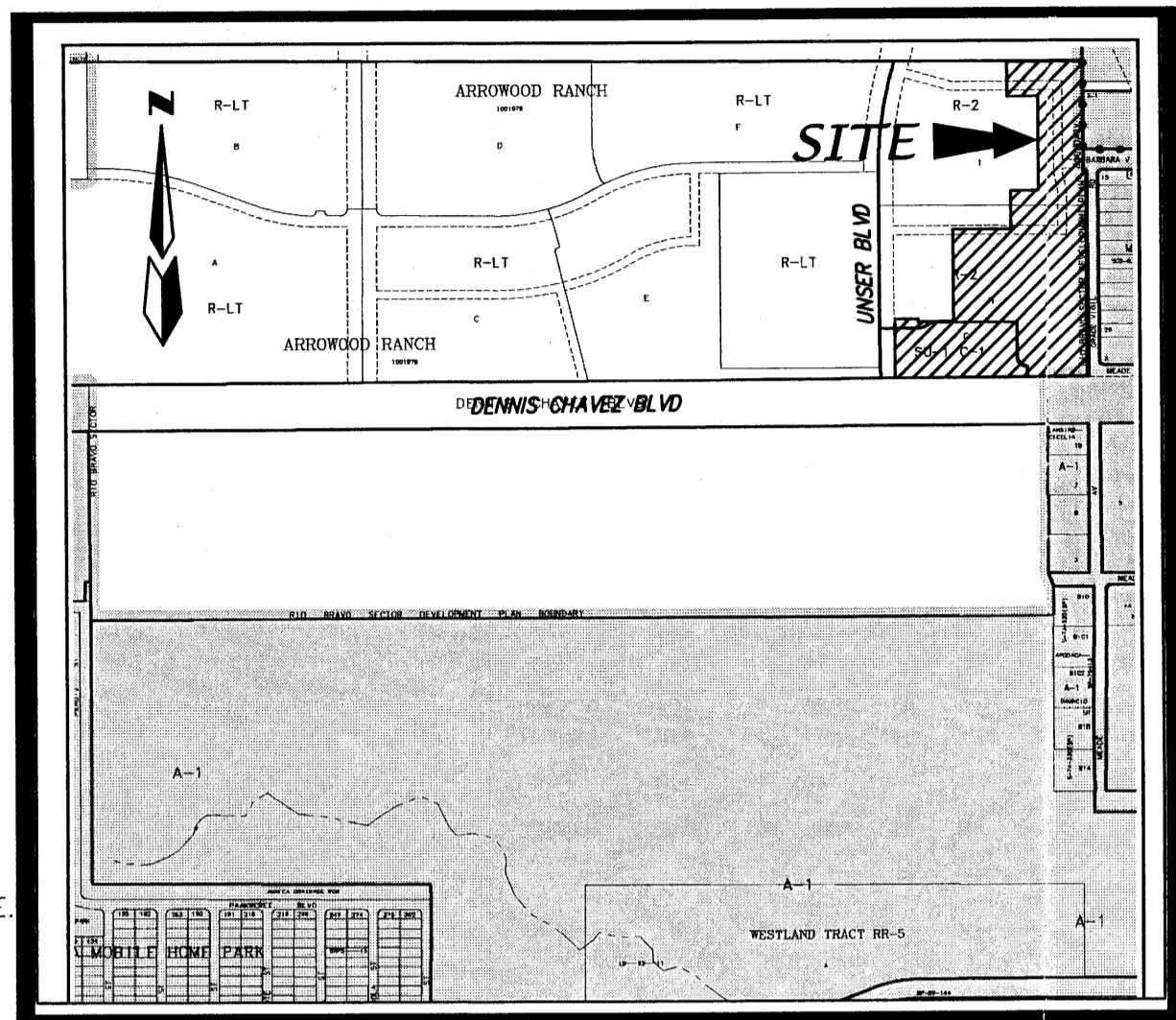
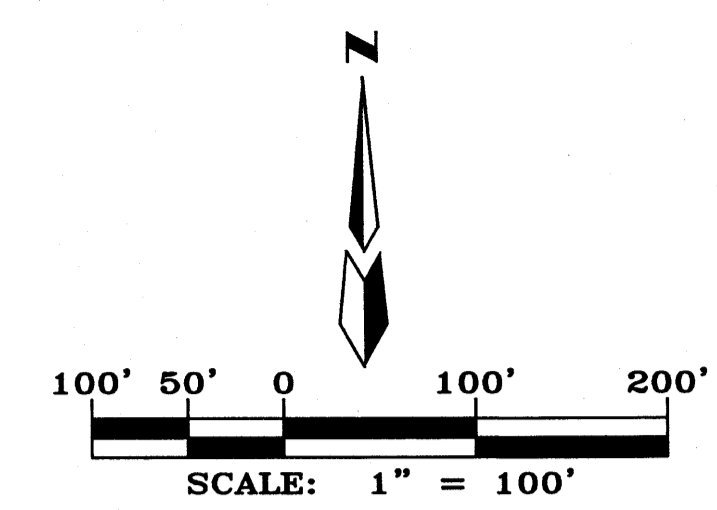
A tract of land situate within the Town of Atrisco Grant, projected Sections 8, 9, and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being comprised of all of Parcel "A", **THE MESA AT ANDERSON HILLS** UNIT 1 - same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on [] in Book [] Page [] and containing 19.1972 acres more or less.

ENGINEERS D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200	OWNERS ANDERSON HILLS, LLC PO BOX 12317 ALBUQUERQUE, N.M. 87195 (505) 822-5562
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SURVEYOR
 ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190
 (505) 884-1990

[Signature]
 ROBERT LUPTON
 Manager, Anderson Hills, LLC
 2-19-2004
 DATE

APPROVED FOR MONUMENTATION AND STREET NAMES
[Signature]
 City Surveyor, City of Albuquerque, N.M.
 2-19-04
 Date



ZONE ATLAS: N-9-Z & P-9-Z

EASEMENTS

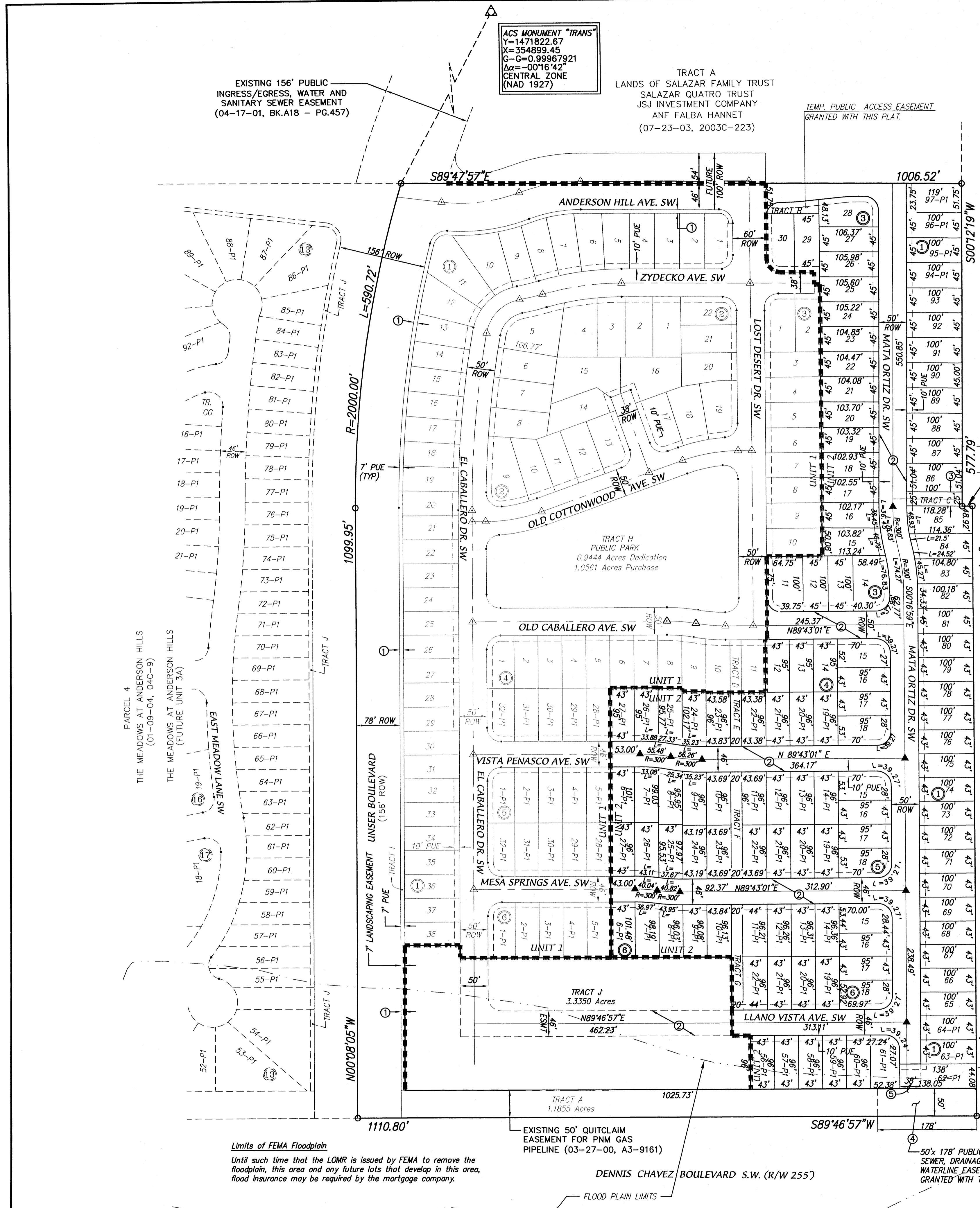
- PROPOSED 7' PUBLIC UTILITY EASEMENT (PUE) (GRANTED WITH UNIT 1) PLATTING
- PROPOSED PUBLIC DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT (GRANTED WITH UNIT 1 PLATTING)
- PROPOSED PUBLIC WATERLINE AND SANITARY SEWER EASEMENT (GRANTED WITH UNIT 1 PLATTING)
- PROPOSED 50'x 178' PUBLIC SANITARY SEWER, DRAINAGE AND WATERLINE EASEMENT (GRANTED WITH UNIT 1 PLATTING)
- PROPOSED 38' PUBLIC SANITARY SEWER, DRAINAGE, WATERLINE & PEDESTRIAN ACCESS EASEMENT (GRANTED WITH UNIT 1 PLATTING)

SITE BENCHMARK

ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

LEGEND

- 1 LOT NUMBER
- ③ BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- △ EXISTING CENTER LINE MONUMENT
- RIGHT-OF-WAY & PROPERTY LINES
- UNIT LINE
- UNIT 1 UNIT NUMBER



Limits of FEMA Floodplain
 Until such time that the LOMR is issued by FEMA to remove the floodplain, this area and any future lots that develop in this area, flood insurance may be required by the mortgage company.

EXISTING 50' QUITCLAIM EASEMENT FOR PNM GAS PIPELINE (03-27-00, A3-9161)
 DENNIS CHAVEZ BOULEVARD S.W. (R/W 255')
 FLOOD PLAIN LIMITS

50'x 178' PUBLIC SANITARY SEWER, DRAINAGE AND WATERLINE EASEMENT GRANTED WITH THIS PLAT

ACS MONUMENT "2-P10"
 Y=1,464,349.24
 X= 358,414.13
 G-G=0.9996842
 Δα=-0°16'16"
 CENTRAL ZONE
 (NAD 1927)

F:\A02\OB\SA\2106\AH\W\MESAPRELIMINARY PLAT\MESAU2R.dwg, 02/18/04 01:24:17 PM, MARK GOODWIN & ASSOCIATES, Plotted By: RDC