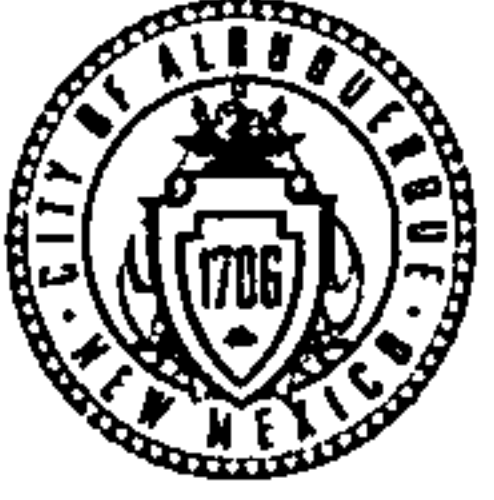


#11



Completed 6/15/05
LOT 10A

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-00712 (SBP)
Project Name: JOURNAL CENTER LOT 10A
Agent: John Klee

Project # 1002865
Phone No.: 1-602-323-7441

Project Number 1002865

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/11/05 by the DRB-with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Stall dimensions
sidewalk reflagation *AK*

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): 3 copies
See file for comments
John 6/15/05

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

#11



Completed
6/15/05

LOT 10B

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-00711 (SBP)
Project Name: JOURNAL CENTER LOT 10B
Agent: John Kell

Project # 1002865
Phone No.: 1-602-323-7441

Project Number 1002865

Your request for (~~SDP for SUB~~), (~~SDP for BP~~), (~~FINAL PLATS~~), (~~MASTER DEVELOP. PLAN~~), was approved on 5/11/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: stall dimensions
alignment of drives ok
sidewalk configuration 6-2-05

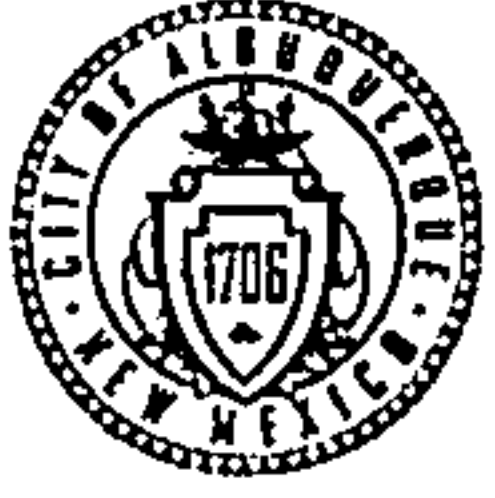
UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 3 copies
see file for comments
6/15/05

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.



LOT 10A

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-00712 (SBP)

Project # 1002865

Project Name: JOURNAL CENTER LOT 10A

Agent: John Klee

Phone No.: 1-602-323-7441

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/11/05 by the DRB-with delegation of signature(s) to the following departments. OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

Project Number 1002865

TRANSPORTATION: *Stall dimensions*
sewer relocation

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): *3 copies*
See file for comments

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.



LOT 10B

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-00711 (SBP)

Project # 1002865

Project Name: JOURNAL CENTER LOT 10B

Agent: John Kell

Phone No.: 1-602-323-7441

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN); was approved on 5/11/05 by the DRB with delegation of signature(s) to the following departments. OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: stall dimensions, alignment of drives, sidewalk verification

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): 3 copies, see file for comments

- Planning must record this plat. Please submit the following items: -The original plat and a mylar copy for the County Clerk. -Tax certificate from the County Treasurer. -Recording fee (checks payable to the County Clerk). -Tax printout from the County Assessor. Include 3 copies of the approved site plan along with the originals. County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk. Property Management's signature must be obtained prior to Planning Department's signature. AGIS DXF File approval required. Copy of recorded plat for Planning.

Project Number 1002865



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 11, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 1:10 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002885**
05DRB-00631 Major-Vacation of Pub
Right-of-Way
05DRB-00633 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES INC agent(s) for LA SIERRA CONSTRUCTION CO AND AMAFCA request(s) the above action(s) for all or a portion of Lot(s) 35, **OCOTILLO SUBDIVISION**, zoned R-D, located on SAND VERBENA TRAIL NE, between EUBANK BLVD NE and HOLBROOK ST NE containing approximately 1 acre(s).[REF:04DRB00244, 03DRB01355, 03DRB01356, 03DRB01354, 03DRB01980, 03DRB01981, 03DRB01983, 03DRB01984, 03DRB01985] (C-21) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

2. **Project # 1002457**
05DRB-00651 Major-Vacation of
Public Easements
05DRB-00650 Major-Preliminary Plat
Approval
05DRB-00654 Minor-Temp Defer
SDWK
05DRB-00652 Minor-Subd Design
(DPM) Variance
05DRB-00653 Minor-Sidewalk Waiver

MARK GOODWIN & ASSOCIATES agent(s) for MAINSTREET PROPERTIES LLC request(s) the above action(s) for all or a portion of Block(s) 2, Tract(s) X-1-A & X-1-B, GLENWOOD HILLS, UNIT 1, (to be known as **GLENWOOD LOFTS SUBDIVISION**) zoned SU-1 PRD, located on MONTGOMERY NE, between TRAMWAY BLVD NE and SUNSET CANYON DR NE containing approximately 2 acre(s). [REF: 05DRB00529] (G-23) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/11/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/6/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: AN APPROVED PUBLIC WORKS DESIGN IS REQUIRED PRIOR TO FINAL PLAT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE SUBDIVISION DESIGN VARIANCE WAS APPROVED AS SHOWN ON EXHIBIT D IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT D IN THE PLANNING FILE.**

05DRB-00649 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for KENNY HINKES, RE/MAX ELITE request(s) the above action(s) for all or a portion of Block(s) 2, Tract(s) X1A & X2A, **GLENWOOD HILLS, UNIT 1**, zoned C-1, located on TRAMWAY BLVD NW, between MONTGOMERY BLVD NW and COMANCHE RD NW containing approximately 3 acre(s). [REF: 03EPC00157, 03EPC00156, 03EPC00180, 05EPC00177, 05EPC00178] [David Stallworth, EPC Case Planner] [Deferred from 4/27/05] (G-23) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

3. **Project # 1003364**
05DRB-00656 Major-Vacation of
Public Easements
05DRB-00657 Minor-Vacation of
Private Easements

TIERRA WEST LLC agent(s) for CIRCLE K STORES INC request(s) the above action(s) for all or a portion of Tract(s) 1-A-1 & 1-A-3, **NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3**, zoned SU-2 MIXED USES, located on LOUISIANA BLVD NE, between PASEO DEL NORTE NE and HOLLY AVE NE containing approximately 3 acre(s). [REF: 04DRB01409] (C-19) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1004138**
05DRB-00658 Major-Vacation of
Public Easements

PRECISION SURVEYS INC agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 5D-1, **JOURNAL CENTER**, zoned IP, located on JEFFERSON ST NE, between TIBURON AVE NE and SUN AVE NE containing approximately 7 acre(s). (D-17) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1003655**
05DRB-00661 Major-Vacation of
Public Easements
05DRB-00660 Major-Vacation of Pub
Right-of-Way
05DRB-00659 Major-Preliminary Plat
Approval
05DRB-00663 Minor-Temp Defer
SDWK
05DRB-00662 Minor-Sidewalk Waiver

DAVID A AUBE agent(s) for ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 15, 16, 17 and a portion of 18, Block(s) 1, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, (to be known as **LA VISTA @ DESERT RIDGE TRAILS**) zoned R-D, located on WYOMING NE, between EAGLE ROCK NE and MODESTO NE containing approximately 3 acre(s). [REF: 04DRB01373] [*Deferred from 5/11/05*] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 5/18/05.**

6. **Project # 1004071**
05DRB-00511 Major-Bulk Land
Variance
05DRB-00512 Major-Vacation of
Public Easements
05DRB-00513 Minor-Prelim&Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for ALBUQUERQUE PUBLIC SCHOOLS & NEW MEXICO STATE LAND OFFICE, request(s) the above action(s) for **GOVERNMENT LOTS 1-4, SECTION 16, 11N, R2E AND THE SOUTH 1/2 OF THE SOUTH 1/2 OF SECTION 16, 11N, R2E**, zoned RO-20, located on RAINBOW BLVD NW, between COMPASS DR NW and PETROGLYPH NATIONAL MONUMENT containing approximately 289 acre(s). *[Deferred from 4/20/05 & 5/11/05]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/1/05.**

7. **Project # 1000692**
05DRB-00407 Major-SiteDev Plan
BldPermit

BDA ARCHITECTS agent(s) for SIVAD ENTERPRISES request(s) the above action(s) for all or a portion of Tract(s) A1A, Block(s) 1, **BEAR CANYON VILLAGE, UNIT 2**, zoned SU-1 FOR C-1, located on Burlison NE & Wyoming NE between San Antonio NE and Academy NE containing approximately 5 acre(s). *[Deferred from 4/6/05 & 4/20/05]* (E-19) **AN INFRASTRUCTURE LIST DATED 5/11/05 WAS APPROVED. THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND 15-DAY APPEAL PERIOD AND TO TRANSPORTATION DEVELOPMENT FOR TRAFFIC IMPROVEMENTS.**

8. **Project # 1003011**
05DRB-00439 Major-Vacation of Pub
Right-of-Way

CITY OF ALBUQUERQUE agent(s) for BRAKE MASTERS, INC. request(s) the above action(s) for all or a portion of Block(s) 4 & 5, Tract(s) A, **INEZ ADDITION**, zoned C-2, located on WYOMING BLVD NE, between PROSPECT AVE NE and MENAUL BLVD NE containing approximately 5 acre(s). [REF: 03DRB02088, 03DRB02089] *[Deferred from 4/13/05 & 5/11/05]* (H-19) **DEFERRED AT THE AGENT'S REQUEST TO 5/25/05.**

9. **Project # 1003634**
05DRB-00409 Major-Vacation of Pub
Right-of-Way

GARCIA KRAEMER & ASSOCIATES agent(s) for GREATER ALBUQUERQUE HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 6B, Block(s) 12, **EASTERN ADDITION**, zoned SU-2 MR, located on HIGH STREET SE, between CROMWELL SE and PACIFIC SE containing approximately 1 acre(s). [REF: 04ZHE01162, 01ZHE01165, 01ZHE01166, 04DRB01297] [Deferred from 4/6/05 & 4/13/05 & 5/11/05] (K-14) **DEFERRED AT THE AGENT'S REQUEST TO 6/1/05.**

10. **Project # 1003813**
05DRB-00590 Major-Preliminary Plat
Approval
05DRB-00591 Minor-Temp Defer
SDWK

THOMPSON ENGINEERING & CONSULTING INC agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, Lot(s) 24 & 25, Tract(s) B, GURULE ESTATES, TOWN OF ATRISCO GRANT, PAINTED SKY SUBDIVISION, UNIT 1 (to be known as **SUNDORO SOUTH, UNIT 8**), zoned SU-2/RLT, located on LADERA DR NW, between 98TH ST NW and GAVIN RD NW containing approximately 15 acre(s). [REF: 04DRB01869] (Deferred from 5/4/05) (J-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/11/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/3/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT, TO REARRANGE THE LOTS ON MOLTEN PRIOR TO FINAL PLAT APPROVAL. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

11. **Project # 1002865**
05DRB-00712 Minor-SiteDev Plan
BldPermit

JOHN KLEE agent(s) for CRAIG CORPORATION request(s) the above action(s) for all or a portion of Lot (s) 10-A, JOURNAL CENTER, PHASE 2, UNIT 1, zoned IP, located on RUTLEDGE NE, between BARTLETT NE and WASHINGTON NE containing approximately 1 acre(s). [REF: 03DRB01304] (D-17) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR STALL DIMENSIONS AND SIDEWALK VERIFICATION AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN AND OUTSTANDING COMMENTS.

05DRB-00711 Minor-SiteDev Plan
BldPermit

JOHN KLEE agent(s) for CRAIG CORPORATION request(s) the above action(s) for all or a portion of Lot (s) 10-B, JOURNAL CENTER, PHASE 2, UNIT 1, zoned IP, located on RUTLEDGE NE, between BARTLETT NE and WASHINGTON NE containing approximately 1 acre(s). [REF: 03DRB01304] (D-17) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR STALL DIMENSIONS, ALIGNMENT OF DRIVES AND SIDEWALK VERIFICATION AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN AND OUTSTANDING COMMENTS.

12. **Project # 1003212**
05DRB-00729 Minor-SiteDev Plan
BldPermit/EPC

JOHN A MENICUCCI agent(s) for GRAND AVENUE PARTNERS, A NM LTD PARTNERSHIP request(s) the above action(s) for all or a portion of Block(s) 34, Tract(s) A-1-A-1, BROWNEWELL & LAIIS HIGHLAND ADDITION, zoned SU-2 MC, located on DR MARTIN LUTHER KING JR AVE NE, between UNIVERSITY BLVD NE and PINE STREET NE containing approximately 1 acre(s). [REF: V-94-43, 04ZHE-00086, 04EPC000699] [Russell Brito, EPC Case Planner for Debbie Stover] [Deferred from 5/11/05] (K-15) DEFERRED AT THE AGENT'S REQUEST TO 5/18/05.

13. **Project # 1004159**
05DRB-00736 Minor-SiteDev Plan BldPermit

TATE FISHBURN ARCHITECTS agent(s) for BRUNACINI DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 20, **JOURNAL CENTER 2, UNIT 2**, zoned IP, located on RUTLEDGE NE, between JEFFERSON NE and NORTH DIVERSION CHANNEL containing approximately 4 acre(s). [REF: 03DRB-00996] (D-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BUILD NOTES AND SIDEWALK ALONG SNAPROLL AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN, APPROVAL OF REPLAT AND INFRASTRUCTURE LANGUAGE ON THE SIGNATURE BLOCK.**

14. **Project # 1004138**
05DRB-00667 Minor-SiteDev Plan
BldPermit

DEKKER/PERICH/SABATINI agent(s) for JCC-ONE LLC request(s) the above action(s) for all or a portion of Tract(s) 5D-1 AND ALBUQUERQUE WELL SITE, **JOURNAL CENTER, TRACT 5**, zoned IP industrial park zone, located on JEFFERSON ST NE, between MASTHEAD NE and SUN NE containing approximately 6 acre(s). [REF: Z-79-80-2, S-80-26] [Deferred from 4/27/05 & 5/11/05] (D-17) **DEFERRED AT THE AGENT'S REQUEST TO 5/18/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

15. **Project # 1003778**
05DRB-00738 Minor-Amnd Prelim Plat
Approval

ADIL RIZVI agent(s) for SAHAR DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 21 & 22, Block(s) 2, Tract(s) 2, **SHAHEEN SUBDIVISION, NORTH ALBUQUERQUE, ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 2 acre(s). [REF: 04DRB01750, 04DRB01751, 04DRB01752, 04DRB01753] (C-19) **WITH THE SIGNING OF THE AMENDED INFRASTRUCTURE LIST DATED 5/11/05 AND APPROVAL OF THE AMENDED GRADING PLAN ENGINEER STAMP DATED 3/1/05 THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

16. **Project # 1003861**
05DRB-00731 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for GARY & MELODIE EYSTER request(s) the above action(s) for all or a portion of Tract(s) 60-A-2, 60-B & 86-A, M.R.G.C.D. MAP 35, (to be known as **THE BOULEVARD @ RIO GRANDE**) zoned R-1, located on RIO GRANDE BLVD NW, between ZICKERT NW and INDIAN SCHOOL RD NW containing approximately 2 acre(s). [REF: ZA-29-251] (H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/11/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/8/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT, SUBMIT AN APPLICATION FOR WAIVER OF SIDEWALKS AND TEMPORARY DEFERRAL OF SIDEWALK PRIOR TO FINAL PLAT APPROVAL. AN APPROVED PERIMETER WALL DESIGN SHALL OCCUR PRIOR TO FINAL PLAT APPROVAL. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

17. **Project # 1001031**
05DRB-00734 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for BUILD NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) E-1 & E-2, **SANDIA SCIENCE & TECHNOLOGY PARK**, zoned IP, located on INNOVATION PARKWAY SE, between RESEARCH RD SE and GIBSON AVE SE containing approximately 11 acre(s). [REF: DRB-95-523, Z-80-96, AX-80-21, Z-95-69] (M-21) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

18. **Project # 1002935**
05DRB-00735 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for PULTE HOME OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 255A through 260A, **SUNDORO SUBDIVISION, UNIT 4**, zoned SU-2 RLT, located on PACAYA DR SW, between LADERA DR SW and SUNDORO PL SW containing approximately 2 acre(s). *[Listed under Project #1002644 in error]* (J-8) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

19. **Project # 1003585**
05DRB-00737 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for THE MONTANA GROUP request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3 & 4, Block(s) 4, GRANADA HEIGHTS ADDITION, (to be known as **SILVER STREET TOWNHOMES**) zoned O-R, located on SILVER AVE SE, between MORNINGSIDE ST SE and ALISO ST SE containing approximately 2 acre(s). [REF: 04DRB00168, 04DRB01958, 05DRB00087 & 00088] (K-17) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND TO PLANNING FOR AGIS DXF FILE, APPLICATION NUMBERS ON VACATIONS CALLED OUT AND ADDITION OF NOTE 10 FOR DEDICATION OF PUBLIC WATER/SEWER EASEMENTS.**

20. **Project # 1004158**
05DRB-00732 Minor-Prelim&Final Plat Approval

RHOMBUS PA INC agent(s) for BARBARA SPORLEDER request(s) the above action(s) for all or a portion of Lot(s) 20, 21 & 22, Block(s) 16, **ELDER HOMESTEAD ADDITION**, zoned R-3, located on LOUISIANA BLVD SE, between ANDERSON SE and ROSS SE containing approximately 1 acre(s). (L-19) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

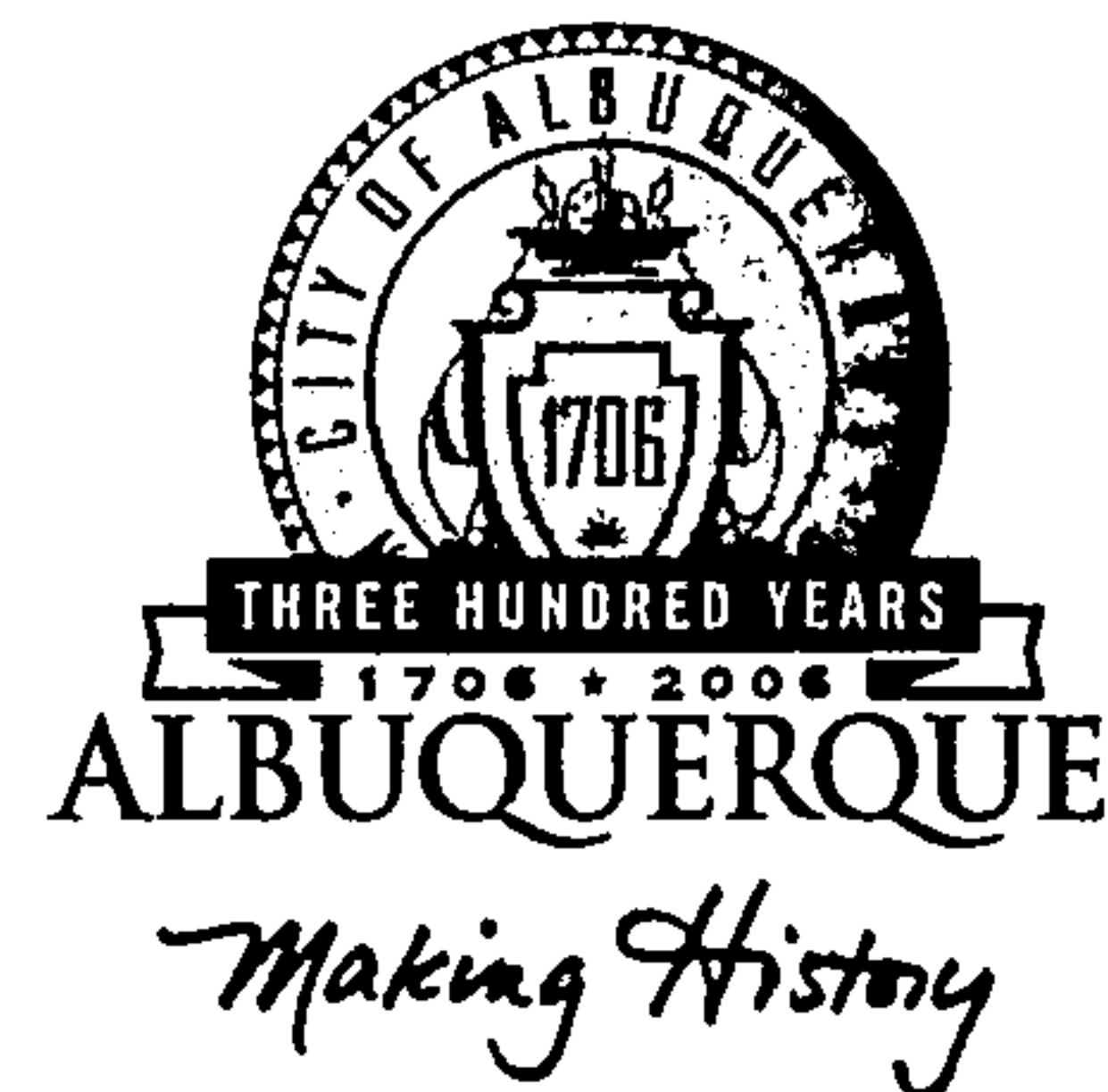
21. **Project # 1001945**
05DRB-00733 Minor-Sketch Plat or Plan

MADELINE DUNN request(s) the above action(s) for all or a portion of Tract(s) 297 and 298, **M.R.G.C.D. MAP 38**, zoned RLT, located on CARSON RD NW, between RIO GRANDE BLVD NW and ALAMEDA DRAIN containing approximately 1 acre(s). [REF: 04EPC01666] (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Approval of the Development Review Board Minutes for April 27, 2005. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR APRIL 27, 2005 WERE APPROVED.**

ADJOURNED: 1:10 P.M.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002865

AGENDA ITEM NO: 11

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: May 11, 2005

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
May 11, 2005
DRB Comments**

ITEM # 11

PROJECT # 1002865

APPLICATION # 05-00711 & 00712

RE: Lots 10A & 10B, Journal Center/SPBPs

1. The Journal Center ARC approval letters are needed for Planning approval.
2. The property lines are not clearly indicated on the Landscape Plans as required.
3. All of the existing easements are not show on the site plans. For example, the 10' PUE on the plat is missing from both site plans.
- ✓4. Several items on the checklist are neither checked nor marked with an "n/a" and explanation as to why they are "n/a".
5. Easements are missing on the Landscape Plans as well.
6. Location arrows indicating which landscaped area the square footage is for are needed.
7. Overall building width dimensions are missing on the Elevations sheets.



Sheran A Matson, AICP
924-3880 Fax 924-3864
smatson@cabq.gov

Handwritten marks: // and X



Completed 8-15-03

RA

DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>03.01304</u>	Project # <u>1002865</u>
Project Name: <u>Journal Center</u>	EPC Application No.: <u>03-01304</u>
Agent: <u>Shannon Justice</u>	Phone No.: <u>823.1000</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/13/03 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- _____

Project Number 1002865

X

- PLANNING (Last to sign) Correction of Note 4 from U.P.
- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- Copy of final plat AND a DXF File for AGIS is required.**
- Copy of recorded plat for Planning.**

X

2865

AGIS ELECTRONIC SUBMITTAL CHECKLIST

Lots 10A 10B 15A

DRB Project# 1002865 Subdivision Name Journal Center Ph 2 Unit 2 15

Surveyor A DWAIN Weaver Company Bohannon Huston

Contact person Stephanie Stratton Phone # 798-7965 email _____

Colleen G. Anney _____ 8/14/03
Approved *Not Approved Date

DXF RECEIVED 8/14/03 DATE
 HARD-COPY RECEIVED 8/14/03 DATE
 DISCLOSURE STATEMENT

NAD 27 grid bearings ground distances

*Not Approved for one or more of the following reasons:

File Format and naming

- 1) Format is not DXF file in ASCII format
- 2) No hard copy of the final plat submitted
- 3) <DRB Project #>.dxf not used as a standard naming convention

Coordinate System

- 4) Submittal does not include a disclosure of the datum (NAD27 or NAD83)
- 5) Submittal does not specify if coordinates are based on ground or grid distances
- 6) Submittal does not include information necessary to rotate from ground to grid
- 7) Lines cannot be projected/converted to correct location in NAD83 NMSP coordinate system

Content

- 8) Submittal is not single drawing in model space showing only parcel and easement lines
- 9) Digital submittal does not match final plat
- 10) Parcel lines are not in one separate layer
- 11) Access easement lines and all other easements that are 20 feet wide or greater are not in a second separate layer
- 12) All other easement lines are not in a third separate layer

Comments:

AGIS Use Only: Copied cov 2865 to agiscov on 8/14/03 Client Notified _____



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 13, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE: 1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 12:28 P.M.

B. Changes and/or Additions to the Agenda: Carmen Marrone sat in for Planning. Roger Green was Acting Chair.

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000363**
03DRB-01184 Major-Vacation of Pub
Right-of-Way
03DRB-01185 Major-Vacation of
Public Easements

BOHANNAN HUSTON INC agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for Tract(s) G-2-A, **BALLOON FIESTA PARK**, zoned SU-2 special neighborhood zone, located on BALLOON MUSEUM DR NE, between ALAMEDA BLVD NE and JEFFERSON ST NE containing approximately 7 acre(s). (B-17) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

2. **Project # 1001306**
03DRB-01179 Major-Preliminary Plat
Approval
03DRB-01182 Minor-Temp Defer SDWK

SURV-TEK agent(s) for CURB WEST INC request(s) the above action(s) for all or a portion of Tract(s) B-2-A and 1-B-1-F, **SEVILLE, UNIT 7**, zoned R-LT, located on KAYENTA BLVD NW, between RIO SEGURA NW and PARSONS BLVD NW containing approximately 17 acre(s). [Deferred from 8/13/03] (A-10) **DEFERRED AT THE AGENT'S REQUEST TO 8/20/03.**

3. **Project # 1002593**
03DRB-01186 Major-Preliminary Plat
Approval
03DRB-01188 Minor- Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) 29C, **VISTA DE ARENAL UNIT 2 @ VENTANA RANCH**, zoned R-LT residential zone, located on LAS VENTANAS RD NW, between IRVING BLVD NW and RAINBOW BLVD NW containing approximately 7 acre(s). [REF: 1001101 - 02DRB-01009, 1002593 - 03DRB-00624, 03DRB-01158] (B-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/13/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/7/03 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

4. **Project # 1002821**
03DRB-01189 Major-Preliminary Plat
Approval
03DRB-01191 Major-Vacation of Pub
Right-of-Way
03DRB-01192 Minor-Temp Defer SDWK

RAY HENSLEY agent(s) for ESMAIL HAIDARI request(s) the above action(s) for all or a portion of Lot(s) 14, 15, & 16, Block(s) 14, **NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 2**, (to be known as **TALEA COURT SUBDIVISION**) zoned R-D, located on CORONADO NE, between EUBANK NE and HOLBROOK NE containing approximately 3 acre(s). [REF: SD-89-1, AX-92-114, Z-89-114] (D-21) **THE ABOVE REQUEST WAS DEFERRED AT THE AGENT'S REQUEST 8/20/03.**

5. **Project # 1002819**
03DRB-01180 Major-Bulk Land Variance
03DRB-01183 Minor-Prelim&Final Plat
Approval

ALDRICH LAND SURVEYING, INC. agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Tract(s) 1, **SALAZAR-DAVIS TRACTS AND** Tract(s) E-5-A AND E-6-A, **ALBUQUERQUE SOUTH, UNIT 3**, zoned C-2 community commercial zone & SU-1 (R-2 & R-T), located on SNOW VISTA CHANNEL SW, between DE ANZA DR SW and BLAKE RD SW containing approximately 37 acre(s). [REF: SP-86-111, 02DRB-00608 (west of Proj. area)] (M-9/N-9) **THE BULK LAND VARIANCE WAS APPROVED. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA AND 15-DAY APPEAL PERIOD.**

6. **Project # 1002822**
03DRB-01190 Major-Bulk Land Variance
03DRB-01193 Minor-Prelim&Final Plat
Approval

ALDRICH LAND SURVEYING, INC. agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Tract(s) A, **EL RANCHO GRANDE, UNIT 5A, PARCEL 5, TRACT 12-B AND TRACT 12-C, EL RANCHO GRANDE**, zoned SU-1 special use (MIXED USE) zone, located on GIBSON BLVD SW, between SNOW VISTA CHANNEL, SW and BARBADOS AVE SW containing approximately 27 acre(s). [REF: 01EPC-00422, 01EPC-01443, 01EPC-01443, 02DRB-01395, PRJ. # 1000152](M-9/N-9) **THE BULK LAND VARIANCE WAS APPROVED. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA AND 15-DAY APPEAL PERIOD.**

7. **Project # 1002050**
03DRB-01059 Major – Preliminary Plat
Approval
03DRB-01060 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA, agent(s) for MEL FAMIE LLC, request(s) the above action(s) for all or a portion of Tract(s) B-2, **LAS MARCADAS SUBDIVISION**, zoned R-LT, located on GOLF COURSE RD NW, between MARNA LYNN AVE NW and JILL PATRICIA ST NW containing approximately 7 acre(s). [REF: V-89-95, 03EPC-00146, 03DRB-00573] [*Deferred from 7/30/03 & 8/13/03*] (C-12) **DEFERRED AT THE AGENT'S REQUEST TO 8/27/03**

8. **Project # 1002856**
03DRB-01194 Major-Preliminary Plat Approval
03DRB-01195 Major-Vacation of Public Easements
03DRB-01196 Major-Vacation of Public Easements
03DRB-01197 Minor-Sidewalk Waiver
03DRB-01198 Minor-Temp Defer SWK

MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Lot(s) C-F, Tract(s) 1 & 11-14, ARROWOOD RANCH DEVELOPMENT, **THE MEADOWS @ ANDERSON HILLS, UNITS 1, 2 AND 3**, zoned R-LT residential zone, located on DENNIS CHAVEZ BLVD SW, between DENNIS CHAVEZ BLVD SW and UNSER BLVD SW containing approximately 107 acre(s). [REF: SD-78-4-1, Z-99-58, SPR-95-2-2] *[Deferred from 8/13/03]* (P-9) **DEFERRED AT THE AGENT'S REQUEST TO 8/27/03.**

9. **Project # 1002857**
03DRB-01200 Major-Preliminary Plat Approval
03DRB-01201 Major-Vacation of Public Easements
03DRB-01202 Major-Vacation of Public Easements
03DRB-01203 Major-Vac Pub RW
03DRB-01204 Minor-Sidewalk Waiver
03DRB-01205 Minor-Temp Defer SWK

MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) A - B ARROWOOD RANCH DEVELOPMENT, **THE HIGHLANDS @ ANDERSON HILLS, UNITS 1, 2 AND 3**, zoned R-LT residential zone, located on DENNIS CHAVEZ BLVD SW, between DENNIS CHAVEZ BLVD SW and UNSER BLVD SW containing approximately 62 acre(s). [REF: SD-87-4-1, Z-99-58, SPR-95-2-2] *[Deferred from 8/13/03]* (P-9) **DEFERRED AT THE AGENT'S REQUEST TO 8/27/03.**

10. **Project # 1002858**
03DRB-01206 Major-Preliminary Plat Approval
03DRB-01209 Major-Vacation of Public Easements
03DRB-01207 Minor-Temp Defer SDWK
03DRB-01208 Minor-Sidewalk Waiver

MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) G-1, ARROWOOD RANCH DEVELOPMENT, **THE MESA @ ANDERSON HILLS, UNITS 1, 2 AND 3**, zoned R-LT residential zone, located on DENNIS CHAVEZ BLVD SW, between DENNIS CHAVEZ BLVD SW and UNSER BLVD SW containing approximately 43 acre(s). [REF: SD-87-4-1, Z-99-58, SPR-95-2-2] [Deferred from 8/13/03] (P-9) **DEFERRED AT THE AGENT'S REQUEST TO 8/27/03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

THERE ARE NO SITE PLANS THIS WEEK

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1002865**
03DRB-01304 Minor-Prelim&Final Plat Approval

BOHANNAN HUSTON INC., agent(s) for TIBURON INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Lot(s) 10-A, 10-B, 15-A and 15-B, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP industrial park zone, located on BARTLETT ST NE, between RUTLEDGE RD NE and MASTHEAD ST NE containing approximately 3 acre(s). [REF: DRB-95-268, 1000633, 02DRB-01598, 01440-00277] (D-17) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CORRECTION OF NOTE 4 AND THE AGIS DXF FILE.**

12. **Project # 1002859**
03DRB-01296 Minor-Prelim&Final Plat
Approval

PHILIP W. TURNER, P. S., agent(s) for JOHN & MARY BLAIR, request(s) the above action(s) for all or a portion of Lot(s) 8, 9, 10 and 11, Block(s) 3, **ANDERSON ADDITION**, zoned M-1, located on 3RD ST NW, between CONSTITUTION NW and ASPEN NW containing approximately 1 acre(s). [REF: DRB-99-278] (J-14) **INDEFINITELY DEFERRED FOR FRONT COUNTER ROUTING FOR TRANSPORTATION ISSUES.**

13. **Project # 1000658**
03DRB-01303 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES, PA, agent(s) for OTONO PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) F-1-A, LOOP INDUSTRIAL DISTRICT - UNIT 1, (to be known as **OTONO PLAZA**) zoned SU-1, M-1, located on ALAMEDA BLVD NE, between JEFFERSON NE and SAN MATEO NE containing approximately 5 acre(s). (C-17) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR EASEMENT CORRECTIONS AND TO PLANNING FOR AGIS DXF FILE.**

14. **Project # 1000610**
03DRB-00984 Minor- Final Plat Approval

CONSENSUS PLANNING, agent(s) for WEST MESA MINI STORAGE, request(s) the above action(s) for all or a portion of Tract(s) 334/SLY, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned SU-1 special use zone, OFFICE, located on the NORTHWEST CORNER OF MIAMI ST NW AND 57TH ST NW containing approximately 6 acre(s). [REF: 03EPC-00312, 03EPC-00314, 03EPC-00315] [MAKITA HILL, EPC CASE PLANNER] [*Deferred from 6/25/03, 7/9/03 & 7/16/03 & 7/23/03. The final plat was Indefinitely deferred on a no show 7/23/03 & 7/30/03*] (H-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD. A CONDITION OF FINAL PLAT APPROVAL IS THAT THE CITY WILL RECORD THIS PLAT CONCURRENTLY WITH ITEM 15, PROJECT**

15. **Project # 1002862**
03DRB-01300 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC. agent(s) for DAPHNE L CALABAZA & CARLOS F ANGULO request(s) the above action(s) for all or a portion of Lot(s) 34-P1 and 35-P1, **CHAMISA COVE SUBDIVISION**, zoned RD, 10DU/Ac, located on FORESTAL CT NW, between MAIDENGRASS RD NW and POTENTILLA CT NW containing approximately 1 acre(s). [REF: DRB 1000610] (H-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING TO RECORD. A CONDITION OF FINAL PLAT APPROVAL IS THAT THE CITY WILL RECORD THIS PLAT CONCURRENTLY WITH ITEM #14 PROJECT #1000610.**

16. **Project # 1002849**
03DRB-01272 Minor-Prelim&Final Plat
Approval

JASON BUCKNER request(s) the above action(s) for all or a portion of Tract(s) A & B, **VAN CLEAVE ACRES**, zoned RA-2 residential and agricultural zone, located on VAN CLEAVE RD NW, between SAN YSIDRO RD NW and GRANDE RD NW containing approximately 2 acre(s). *[Deferred from 8/6/03]* (G-13) **THIS REQUEST TO BE ROUTED THROUGH THE FRONT COUNTER AT THE BOARD'S REQUEST.**

17. **Project # 1002201**
03DRB-01150 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for OMEGA AUTOMOTIVE REAL ESTATE LTD request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, **NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, PREMIER MOTORCARS**, zoned SU-2 IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (Vac), 03ZHE-00655] [Listed as Project #1002613 in error] *[Deferred from 7/23/03 and 8/13/03]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/27/03.**

18. **Project # 1000501**
03DRB-00546 Minor-Prelim&Final Plat
Approval

BRASHER & LORENZ INC agent(s) for NEW MEXICO VIETNAMESE BUDDHIST ASSOCIATION request(s) the above action(s) for all or a portion of Lot(s) 5, 6, 17 and 18, Tract(s) A, Block(s) 8, **CASAS SERENAS SUBDIVISION**, zoned SU-1 for Church, located on PENNSYLVANIA SE, between BELL AVE SE and TRUMBELL AVE SE containing approximately 1 acre(s). [Deferred from 4/16/03].*[Was Indefinitely Deferred on 4/30/03 & 8/13/03.]* (L-19) **INDEFINITELY DEFERRED ON A NO SHOW.**

19. **Project # 1001374**
03DRB-00740 Minor- Final Plat Approval

TIERRA WEST LLC agent(s) for RIDGEFIELD WEST LLC request(s) the above action(s) for all or a portion of Block(s) 31, Tract(s) 21A1, NORTH ALBUQUERQUE ACRES, (to be known as **HERITAGE HILLS NORTH, UNIT 3**) zoned R-LT residential zone, located on PALOMAR AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). [REF: DRB-98-130, 03DRB-00667 (VPE) 03DRB-00666 (VRW)] *[The Final Plat was Indefinitely Deferred on 5/21/03]* (D-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

20. **Project # 1002861**
03DRB-01299 Minor-Sketch Plat or Plan

CHRISTOPHER CALOTT request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15 and 16, Block(s) 46 and Lot 16 / Blk 14 wn company's Original Townsite), NM TOWN COMPANY'S ORIGINAL TOWNSITE, (to be known as **SILVER AVENUE LIVE-WORK LOFTS**) zoned SU-3, located on SILVER AVE SW, between 8TH ST SW and 9TH ST SW containing approximately 1 acre(s). (K-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS**

21. **Project # 1002864**
03DRB-01302 Minor-Sketch Plat or Plan

BOHANNAN HUSTON INC. agent(s) for LAS VENTANAS LTD. PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) B, **LANDS OF MASSACHUSETTS GENERAL HOSPITAL**, zoned R-LT residential zone, located on NO. OF IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 20 acre(s). [REF:AX-99-9, Z-99-98](A-9/A-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1002632**
03DRB-01306 Minor-Sketch Plat or Plan

TIERRA WEST LLC, agent(s) for BUILDERS INVESTMENT CO. OF NM, request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, **PARAGON RESOURCES INC.**, zoned SU-1 special use zone, IP USES, located on the south side of PARADISE BLVD NW, between UNIVERSE BLVD NW and LYON BLVD NW containing approximately 103 acre(s). [REF:DRB-93-401, Z-94-58, AX-85-20, Z-85-84, Z-85-144, 03EPC-00690 (B-11)] **THE ABOVE REQUEST WAS REVIEWED AND**

23. Approval of the Development Review Board Minutes for July 30, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 12:28 P.M.



DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>03.01304</u>	Project # <u>1002865</u>
Project Name: <u>Jurnal Center</u>	EPC Application No.: <u>03-01304</u>
Agent: <u>Shanna Jester</u>	Phone No.: <u>823.1000</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/13/03 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign) Correction of Note 4 from U.P.

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- Copy of final plat AND a DXF File for AGIS is required.**
- Copy of recorded plat for Planning.**

Project Number 1002865



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1002865

Item No. 11

Zone Atlas D-17

DATE ON AGENDA 8-13-03

INFRASTRUCTURE REQUIRED () YES (x) NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT (x) PRELIMINARY PLAT (x) FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- () SITE PLAN FOR BUILDING PERMIT

No.	Comment
<input type="checkbox"/> No adverse comment.	

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002865

AGENDA ITEM NO: 11

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: August 13, 2003

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
August 13, 2003 Comments**

Item # 11

Project # 1002865

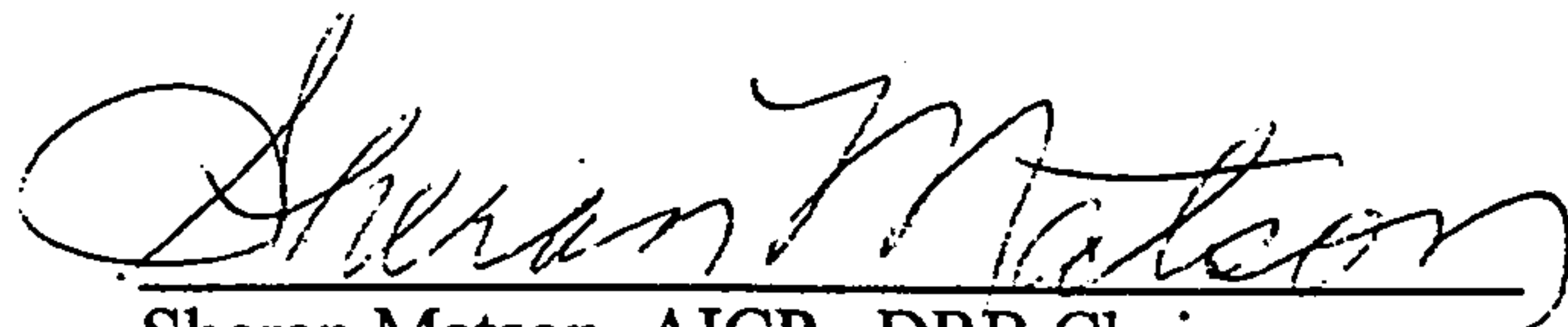
Application # 03DRB-01304

RE: Journal Center, Phase 2, Unit 2, Lots 10-a,10-b,15-A, 15-B

No objection to the platting action. Please be sure to provide Planning a copy of the plat when recorded.

AGIS dxf file approval is required before Planning can sign the plat.

When development is proposed on these lots, separate site development plans for subdivision are required for each lot and approval of the Journal Center & Journal Center 2 ARCs is required per the Journal Center Master Plan. DRB is authorized to act on the site plans at a public hearing, also per the Journal Center Master Plan. A specific signature block is required on the site plans as shown on the Master Plan.



Sheran Matson, AICP DRB Chair

924-3880 Fax 924-3864



June 14, 2005

VIA EMAIL ONLY – scotthauq@msn.com

Scott Hauquitz
Craig Corporation
P. O. Box 94084
Albuquerque, NM 87199

Re: Lot 10 B, Unit 2 Journal Center 2 Design Review Approval by Journal Center 2 Architectural Review Committee

Dear Scott:

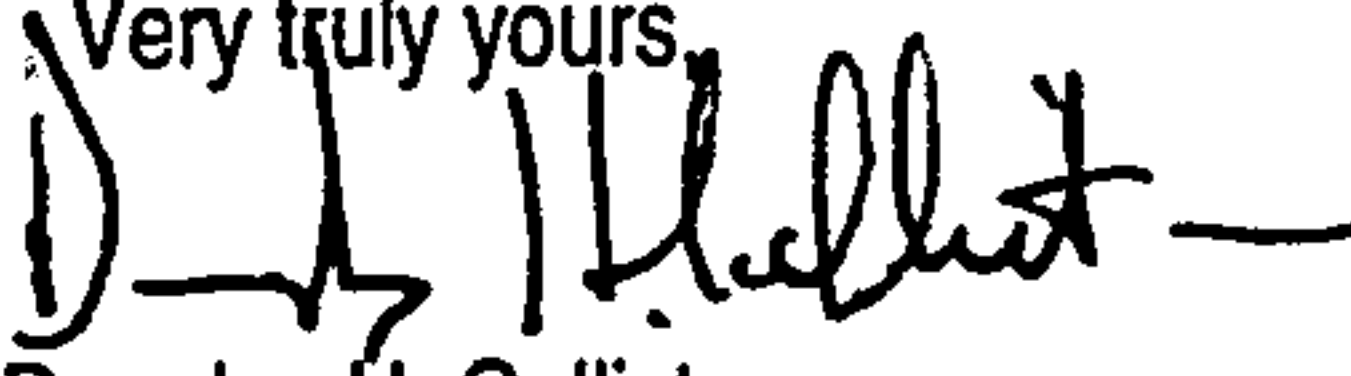
We reviewed your submittal for the above referenced lot and approve plans, colors, materials and specifications, with the following conditions:

1. All handicap ramps must be directional ramps, not the unidirectional detail specified on your plans and sidewalks across driveways at parking lot entrances can be a maximum of 2% slope.
2. Handicap signs shall all be on sign posts.
3. Stucco color for building is El Ray – River Rock – 1565.
4. Elevated and inset portion of the building, both at the entry and on Bartlett Street side shall be Harristone – Drystack LedgeStone, color Chardonney.
5. A note should be added to the Landscape Plan: "At the time common area irrigation is connected to Journal Center 2 common area irrigation system you must contact the developer, Tiburon Investment LLC."
6. Modesto Ash on Landscape Plan should be replaced with Brenda Ash and Winter Jasmine is not an approved plant.
7. You must prepare and implement a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under an National Pollutant Discharge Elimination System (NPDES) General Permit.
 - Under the provisions of the Clean Water Act federal law prohibits storm water discharges from certain construction activities to waters of the U.S. unless that discharge is covered under a NPDES Permit.
 - You may obtain additional information regarding NPDES and submit your NOI electronically at: www.epa.gov/npdes/stormwater/cgp, or telephone Storm Water Notice Processing Center at 866-352-7755.

This approval constitutes approval of the above referenced plans, colors, materials and specifications for reliance by the City of Albuquerque Development Review Board.

By copy of this letter we are transmitting the plans, colors/material board and specifications to the Journal Center Architectural Review Committee for their review. We will advise you of their action as soon as they review the plans.

Thank you for the submittal.

Very truly yours,

Douglas H. Collister
Administrative Manager

Copy Journal Center Architectural Review Committee – Attention: Mike Callahan
Journal Center 2 Architectural Review Committee

TIBURON INVESTMENT, LLC

3791 Southern Blvd SE Suite 202 Rio Rancho, NM 87124



June 14, 2005

VIA EMAIL ONLY – scotthauq@msn.com

Scott Hauquitz
Craig Corporation
P. O. Box 94084
Albuquerque, NM 87199

Re: Lot 10 A, Unit 2 Journal Center 2 Design Review Approval by Journal Center 2 Architectural Review Committee

Dear Scott:

We reviewed your submittal for the above referenced lot and approve plans, colors, materials and specifications, with the following conditions:

1. All handicap ramps must be directional ramps, not the unidirectional detail specified on your plans and sidewalks across drivepads at parking lot entrances can be a maximum of 2% slope.
2. Handicap signs shall all be on sign posts.
3. Stucco color for the main areas of the building is El Ray – Pottery – 1566, accent stucco at recessed areas is El Ray – Buffalo - 806.
4. Steel canopy will be painted Hartford Green to match window trim.
5. Detail on parapet detail is stucco.
6. A note should be added to the Landscape Plan: "At the time common area irrigation is connected to Journal Center 2 common area irrigation system you must contact the developer, Tiburon Investment LLC."
7. Modesto Ash on Landscape Plan should be replaced with Brenda Ash and Winter Jasmine is not an approved plant.
8. You must prepare and implement a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under an National Pollutant Discharge Elimination System (NPDES) General Permit.
 - Under the provisions of the Clean Water Act federal law prohibits storm water discharges from certain construction activities to waters of the U.S. unless that discharge is covered under a NPDES Permit.
 - You may obtain additional information regarding NPDES and submit your NOI electronically at: www.epa.gov/npdes/stormwater/cgp, or telephone Storm Water Notice Processing Center at 866-352-7755.

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By copy of this letter we are transmitting the plans, colors/material board and specifications to the Journal Center Architectural Review Committee for their review. We will advise you of their action as soon as they review the plans.

Thank you for the submittal.

Very truly yours,

Douglas H. Collister
Administrative Manager

Copy Journal Center Architectural Review Committee – Attention: Mike Callahan
Journal Center 2 Architectural Review Committee INVESTMENT, LLC

3791 Southern Blvd SE Suite 202 Rio Rancho, NM 87124

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO	3381
CONNECTION TEL	916026679101
SUBADDRESS	
CONNECTION ID	
ST. TIME	05/06 09:14
USAGE T	00'46
PGS.	2
RESULT	OK

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
FAX FORM**

TO: John Klee FAX# 1-602-667-9101

PAGES (INCLUDING COVER SHEET) 2

FROM: Sheran Matson, DRB Chair FAX # 924-3864 PHONE # 924-3880

COMMENTS:

Comments on Journal Center
SPBs - mixed only.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**May 11, 2005
DRB Comments**

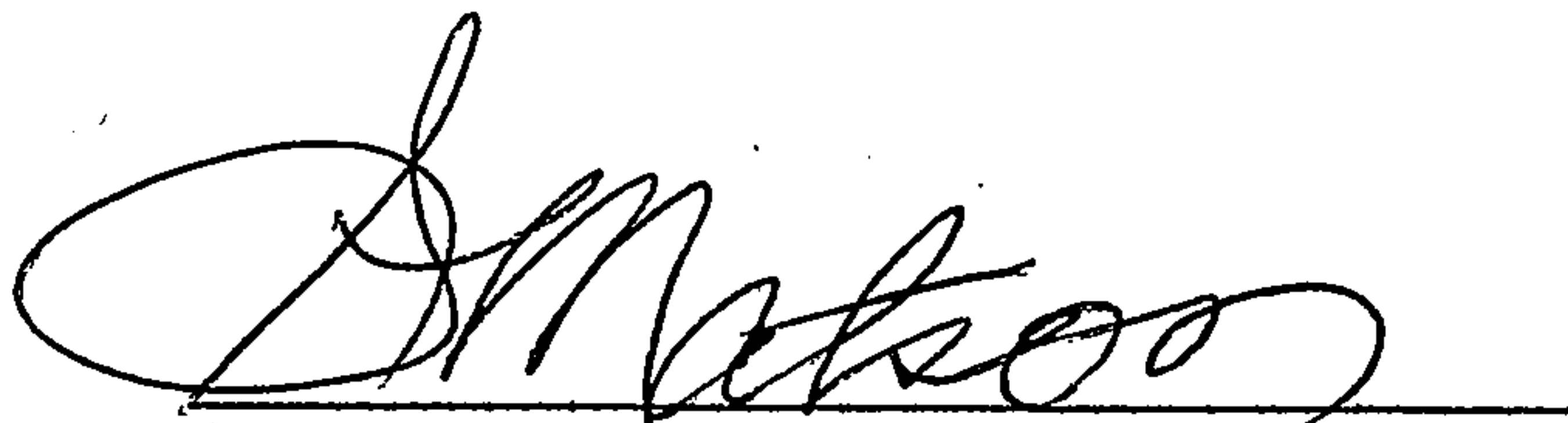
ITEM # 11

PROJECT # 1002865

APPLICATION # 05-00711 & 00712

RE: Lots 10A & 10B, Journal Center/SPBPs

1. The Journal Center ARC approval letters are needed for Planning approval.
2. The property lines are not clearly indicated on the Landscape Plans as required.
3. All of the existing easements are not show on the site plans. For example, the 10' PUE on the plat is missing from both site plans.
4. Several items on the checklist are neither checked nor marked with an "n/a" and explanation as to why they are "n/a".
5. Easements are missing on the Landscape Plans as well.
6. Location arrows indicating which landscaped area the square footage is for are needed.
7. Overall building width dimensions are missing on the Elevations sheets.



Sheran A Matson, AICP
924-3880 Fax 924-3864
smatson@cabq.gov

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

[Handwritten Signature]
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
 1.0 - 5.0 acres 1" = 20'
 Over 5 acres 1" = 50'
 Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT *CHECKLIST* Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures
- B. Square footage of each structure and building footprint (if different from total square footage)
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type) *Building lighting*
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, including location.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: _____ provided: _____
 Handicapped spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: _____ provided: _____
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Bus facilities, including routes, bays and shelters existing or required

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST *Revised: 1/10/2005*

4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Method for meeting Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT *CHECKLIST* Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and "common name" colors of all building elements and structures
- N/A. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

City of Albuquerque



DEVELOPMENT/PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: CRAIG CORP. PHONE: 821-3379
 ADDRESS: 5610 SAN FRANCISCO NE FAX: 821-3178
 CITY: ALBUQ STATE NM ZIP 87109 E-MAIL: SCOTT HAU4 @ MSN.COM
 Proprietary interest in site: OWNER List all owners: CRAIG CORP.
 AGENT (if any): JOHN HLEG PHONE: 1-602-323-7991
 ADDRESS: 4222 EAST THOMAS, SUITE 250 FAX: 1-602-667-9101
 CITY: PHOENIX STATE AZ ZIP 85018 E-MAIL: HLEG DESIGN & ESTABLISHING

DESCRIPTION OF REQUEST: SITE PLAN APPEAL FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No: LOT 10-A Block: _____ Unit: #1
 Subdiv. / Addn. JOURNAL CENTER PHASE 2
 Current Zoning: IP Proposed zoning: IP
 Zone Atlas page(s): VICINIA MAP D-17 No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): .526 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within-city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. _____ MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: INTERSECTION OF RUTLEDGE & BARTLITT
 Between: (ADDRESS 3731 RUTLEDGE NE) and _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z-, V-, S-, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE DANIEL R. BARNUM DATE 4/19/05
 (Print) DANIEL R. BARNUM 362-6584 Applicant Agent
PROJECT MANAGER CRAIG CORP

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>OSDRB 00712</u>	<u>SBP</u>	<u>(P3)</u>	<u>\$ 385.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>5-11-05</u>	_____	_____	<u>\$ 405.00</u>

[Signature] 4-27-05
 Planner signature / date

Project # 1002865

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Scott C Haugwitz
 Applicant name (print)
[Signature] 4-19-05
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

05DRB 00712

Form revised October 2004
[Signature] 4-27-05
 Planner signature / date
 Project # 1002865

Klee Design Collaborative, Inc. *The Art and Science of Modern Buildings*

4222 E. Thomas Rd. Ste. 250, Phoenix, Arizona 85018
602-667-9700 Toll free 1-800-667-9700
FAX (602) 667-9101

April 18, 2005

City of Albuquerque
DRB
600 2nd. Street N.W.
Albuquerque, New Mexico 87103

Re: 3731 Rutledge Road N.E.

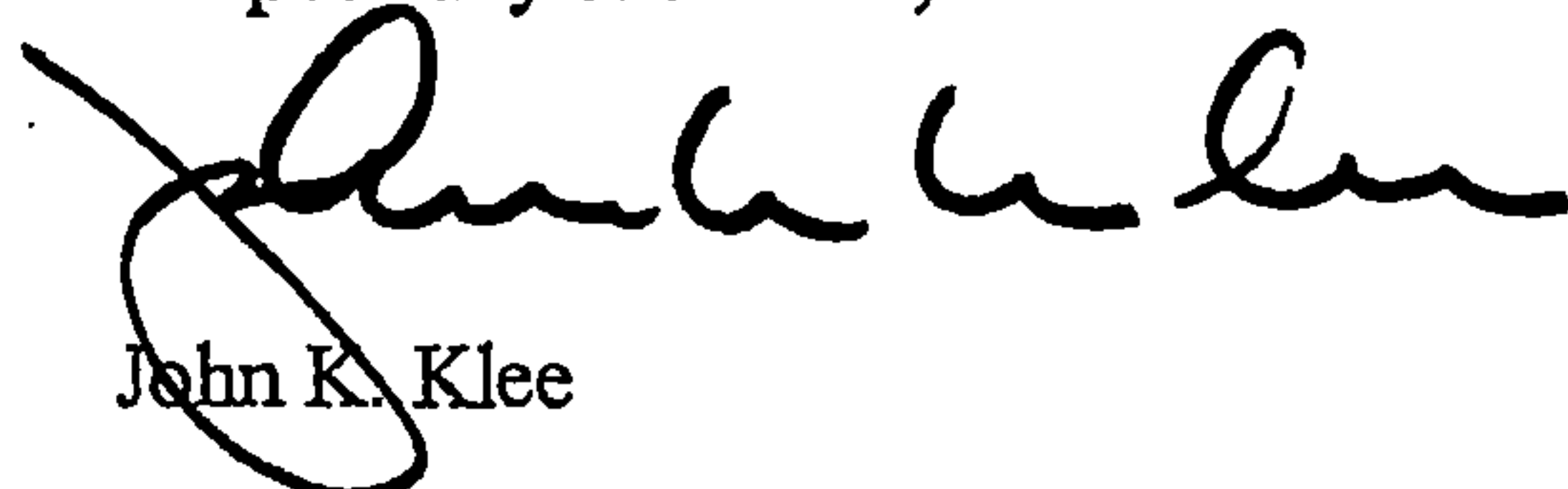
Dear DRB Member

This submittal is for the sole purpose to obtain a building permit for a new office/warehouse facility at the above stated address.

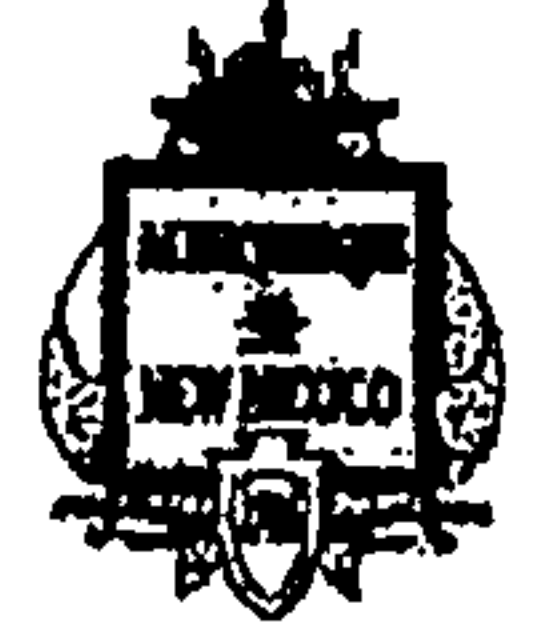
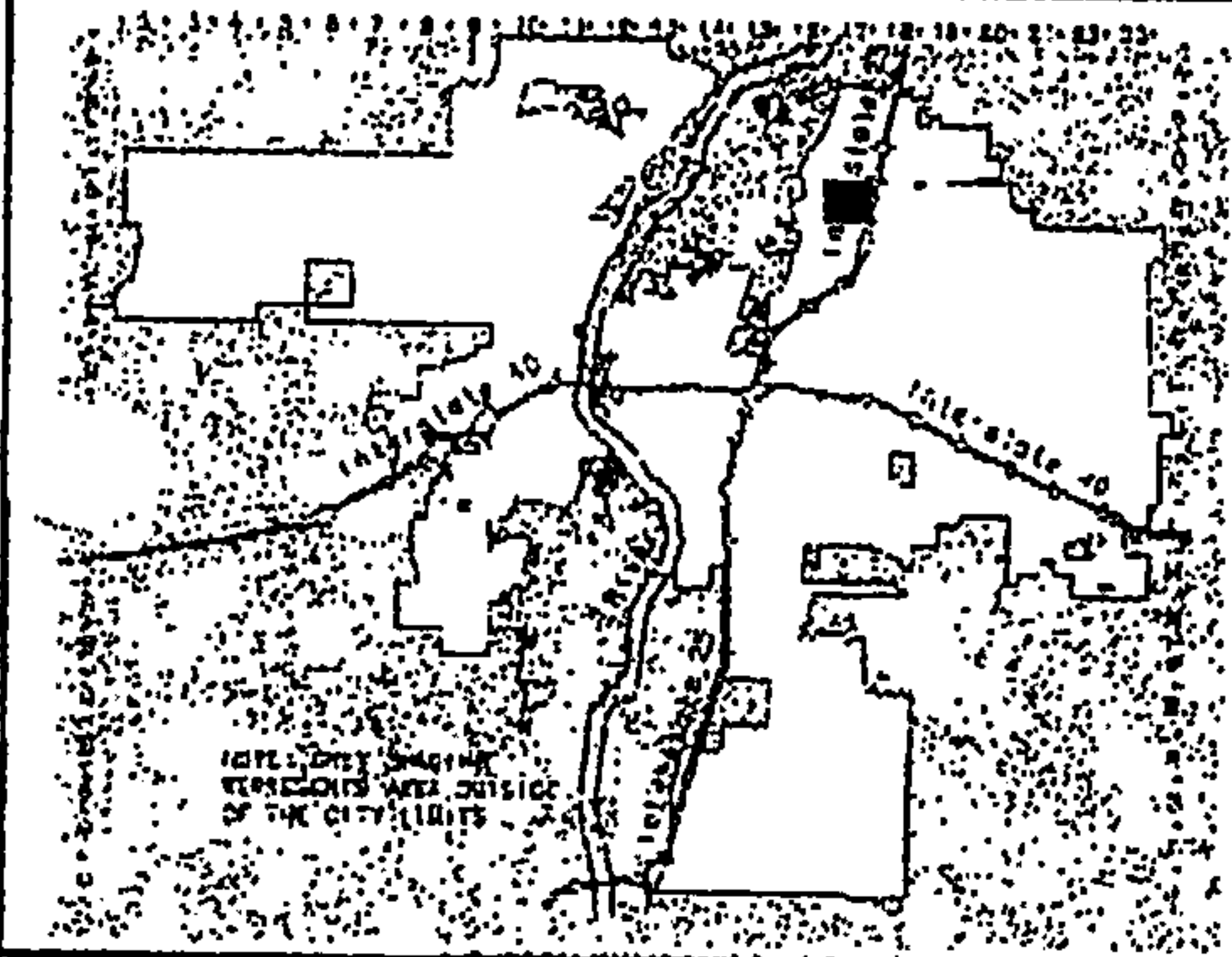
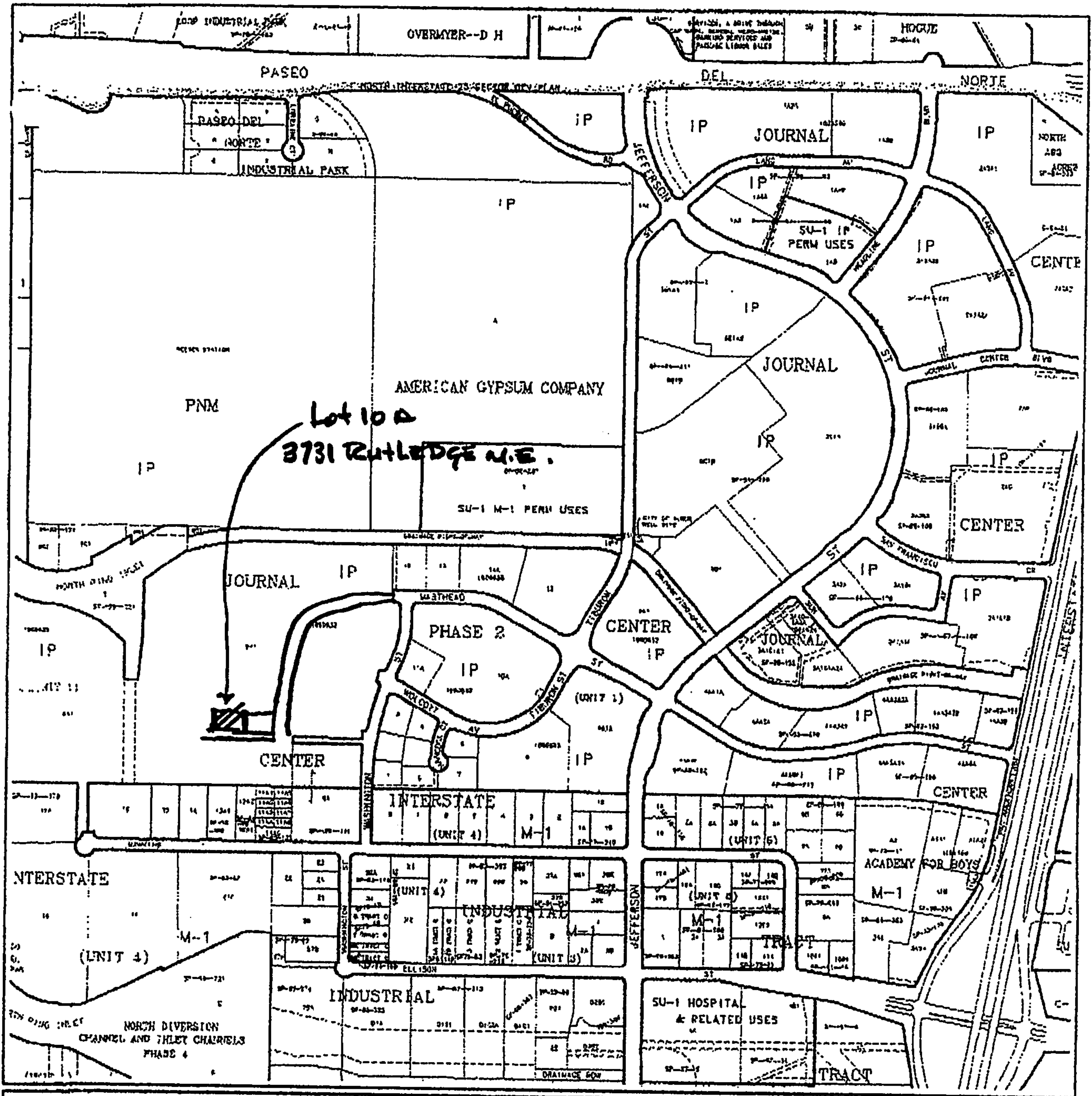
Please find included with this package a copy of the fire hydrant and flow requirements obtained after a site/building review with the fire marshals office and a site plan with Michael Hilton's signature to satisfy the refuse review prior to submittal to the DRB.

Thank you in advance for your attention to this most important matter.

Respectfully submitted,



John K. Klee



CITY OF
Albuquerque
Advanced Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page
D-17-Z
Map Amended through January 21, 2003

Craig Corporation

P.O. BOX 94030 • ALBUQUERQUE, NEW MEXICO 87199-4030
(505) 821-3379

April 19, 2004

City Of Albuquerque, NM
Development Review Board

Dear Board Members:

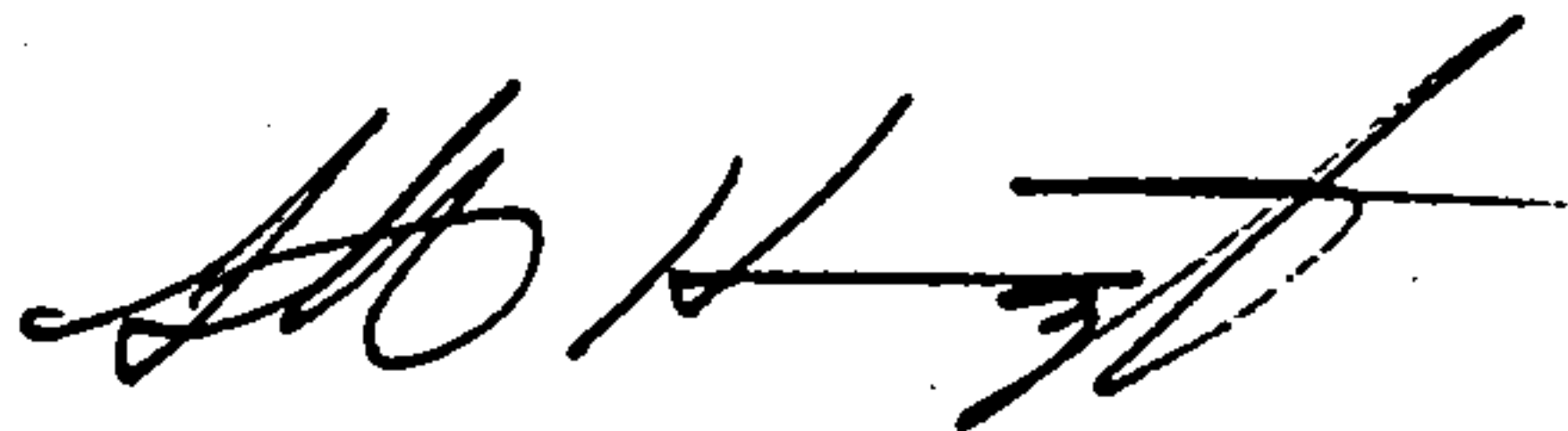
Please let this letter serve as authorization for Mr. John Klee of Klee Design Collaborative to serve as the agent for Craig Corp. in the development review process for the following properties:

7400 Washington, NE Lot 01 Journal Center Phase 2, unit 1

3731 Rutledge, NE Lot 10-A Journal Center Phase 2, Unit 1 ✓

3741 Rutledge, NE Lot 10-B Journal Center Phase 2, Unit 1

Sincerely,



Scott Hauquitz
President, Craig Corp.

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W.; 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER D-17

REFERRAL # _____

SITE ADDRESS _____

LEGAL DESCRIPTION: SUBJECT TRACT Journal Center Phase 2
Unit 1 lot 10A

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 2

INSTANTANEOUS FLOW REQUIRED 2336 GPM

SQUARE FOOTAGE -- LARGEST BUILDING _____

TYPE CONSTRUCTION I-B

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2

DATE: 4-13-05

FIRE DEPARTMENT INSPECTOR: Raymond C. Sanchez

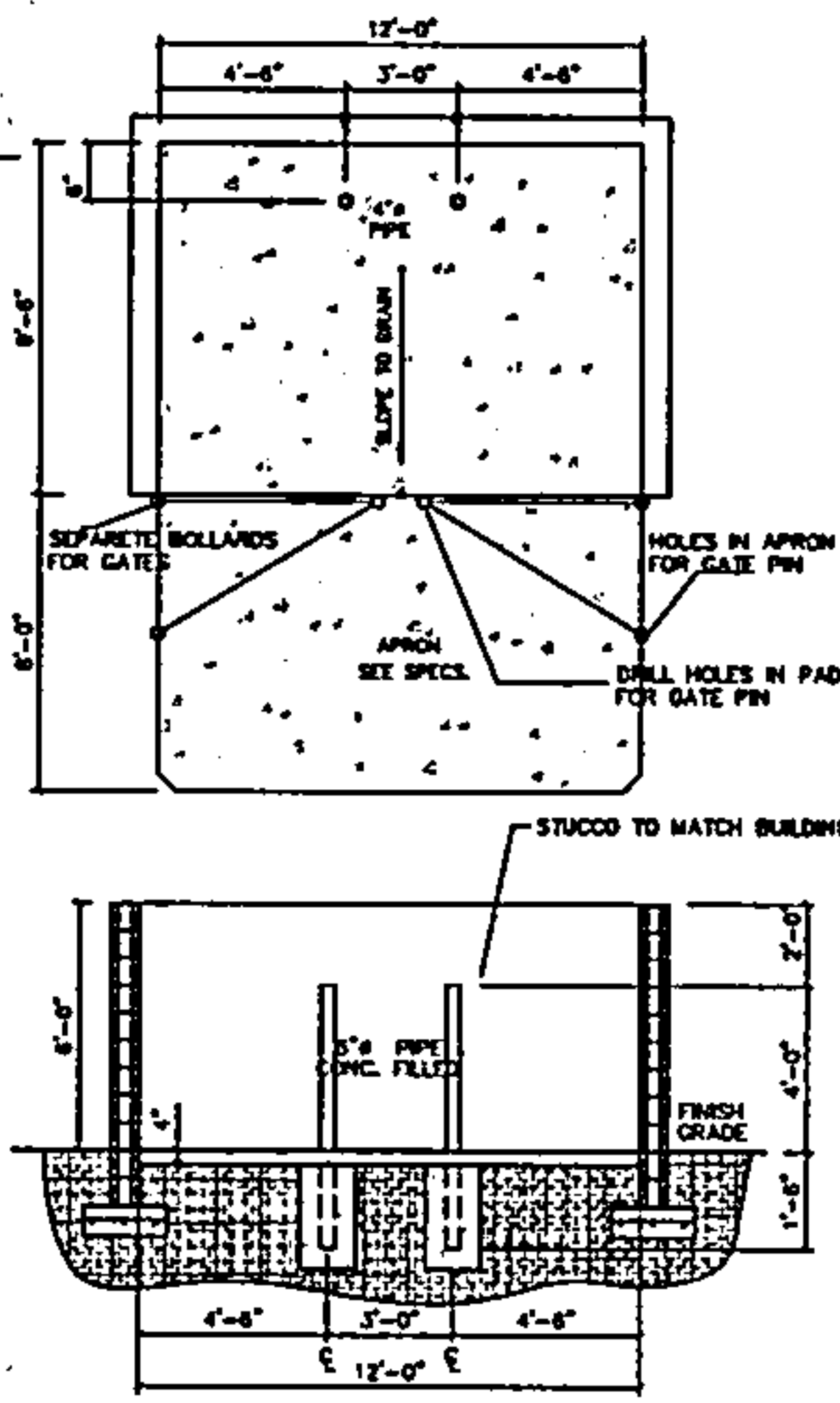
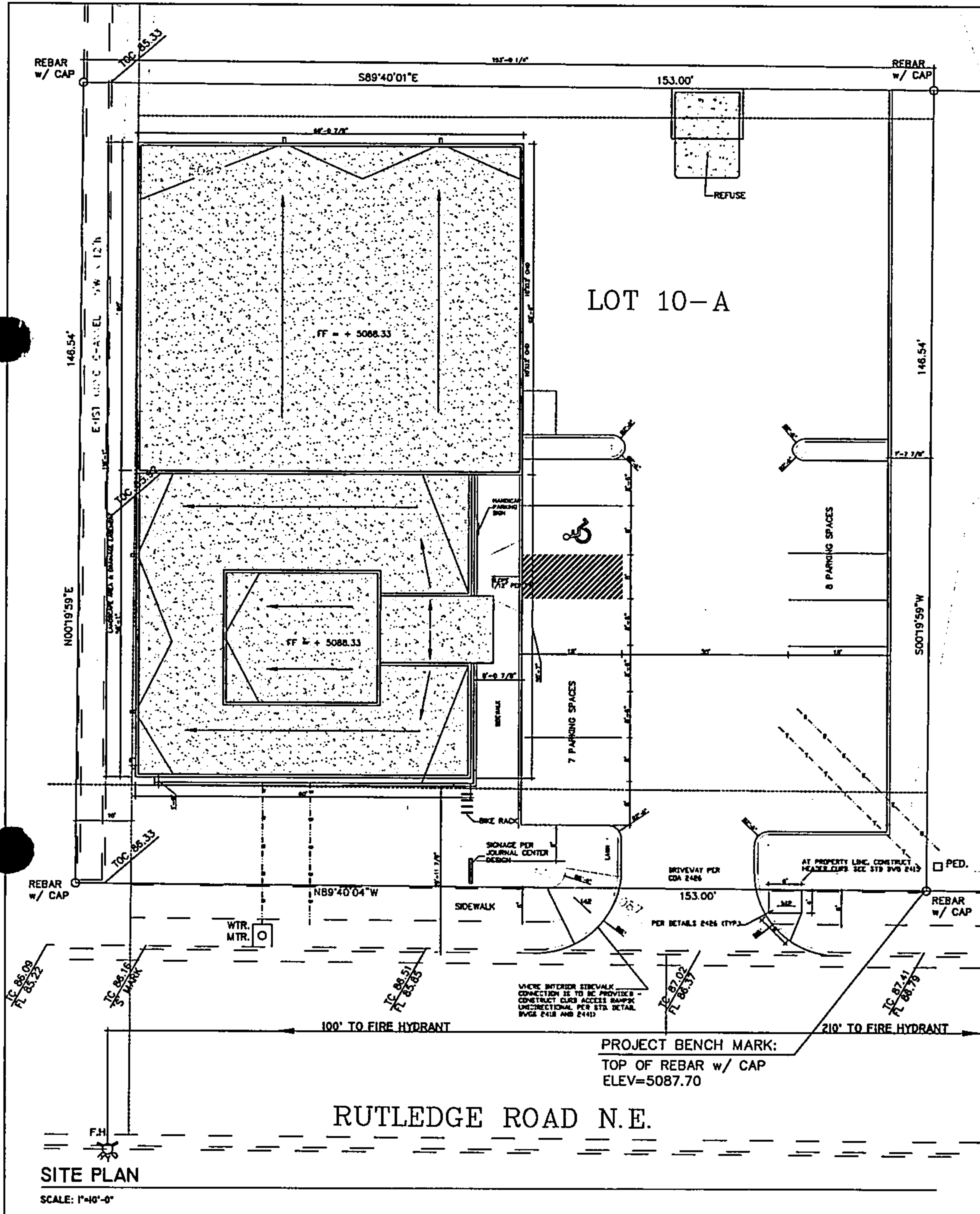
RECEIVED BY: [Signature] TELEPHONE: 602-323-7441

NOTES:

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPASITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL.

YELLOW - FILE



SPECIFICATIONS

CONC SLAB: 4" THICK, 3000 PSI, 3/4" AGG, W/6X6-IN/18W/1 OR EQ. SLOPE TO DRAIN 1/8" PER FOOT.

APRON: 6" THICK, 3000 PSI, 3/4" AGG W/6X6-IN/18W/1 OR EQ. 1/2" X 1/2" WITH 1/2" EXPANSION JOINT

FOOTING: AS REQUIRED PER DESIGN

BOLLARDS: 4" O.D. CONC. FILLED PIPE SHALL BE ENCASED IN 6" CONC. ALL AROUND AND EMBEDDED 2'-0"

PROJECT NUMBER: _____

Application Number: _____

In an Introduction List section? () Yes () No If yes, file a set of approved CPC plans with a north arrow is required for any construction within Public Right of Way or for construction of public improvements.

DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	_____
Urban Development	_____
Parks and Recreation Department	_____
City Engineer	_____
Environmental Health Department (optional)	_____
Solid Waste Management	_____
City Commissioner, Planning Department	_____

BUILDING DATA

JOURNAL CENTER PHASE 2
UNIT 1, LOT 10A
3731 RUTLEDGE RD
ALBUQUERQUE, NM 87109

DESIGN DATA

I. APPLICABLE CODES AND REGULATIONS.
INTERNATIONAL BUILDING CODE, 2003
ANSI
GUIDELINES, 1998

II. BUILDING FLOOR AREA

OFFICE B	3325 SF
WAREHOUSE S-1	4164 SF
TOTAL BUILDING AREA	7489 SF

III. OCCUPANCY GROUP (IBC CHAPTER 3)
OFFICE B
WAREHOUSE S1

IV. EXTERIOR WALLS AND OPENINGS
IBC TABLE 602

V. BUILDING HEIGHT
BUILDING 1 - ONE STORY 24'-0"

VI. TYPE OF CONSTRUCTION
IBC TABLE 503: OFFICE-TYPE V-B
WAREHOUSE-TYPE V-B

VII. BASIC ALLOWABLE FLOOR AREA
IBC TABLE 503: OFFICE-B-9,500 S.F.
WAREHOUSE-S1-9,000 S.F.

VIII. FIRE RESISTIVE REQUIREMENTS
IBC TABLE 601: TYPE V-B

IX. OCCUPANT LOAD
OFFICE: 3,325 S.F. / 100 = 33
OFFICE: 4,164 S.F. / 500 = 8

X. EXIT REQUIREMENTS
NUMBER OF EXITS: IBC TABLE 1014.1
EXIT REQUIREMENTS OCCUPANT LOAD LESS THAN 50 = 1 EXIT REQ. 2 PROVIDED

XI. PLUMBING REQUIREMENTS: IBC TABLE 2902.1
OFFICE: W.C. 1 PER 25 FOR THE FIRST 50 REQ. 2 W.C. PROVIDED
OFFICE: LAVATORY 1 PER 40 FOR THE FIRST 50 REQ. 2 LAVATORY PROVIDED
WAREHOUSE: 1 PER 100 REQ. 1 W.C. & 1 LAVATORY PROVIDED

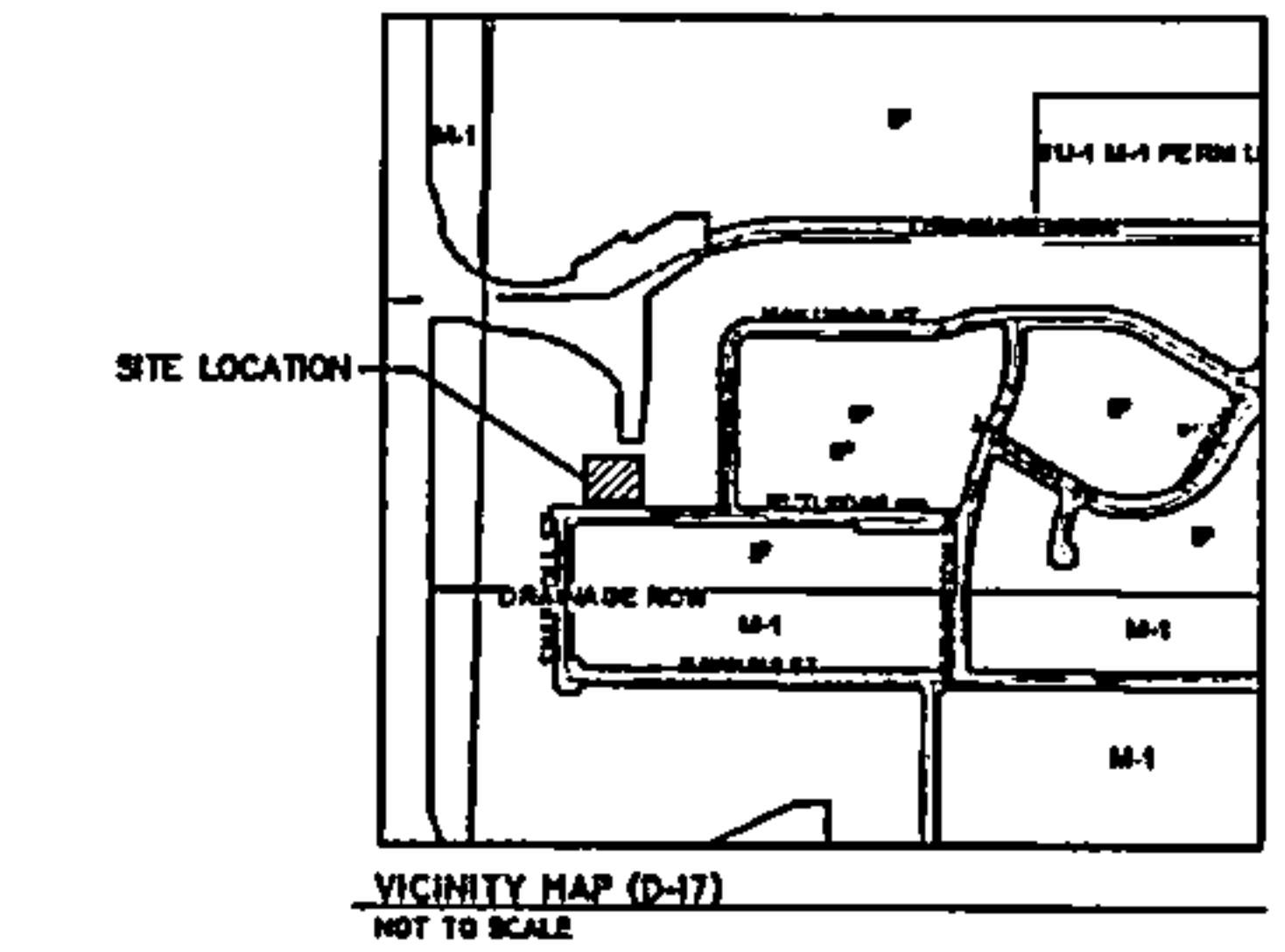
XII. SEISMIC ZONE: D, CATEGORY II BLDG.

XIII. WIND SPEED: 75 MPH

XIV. EXPOSURE: C 1500 PSF

XV. SOIL BEARING CAP. 40 PSF

XVI. ROOF LOAD(TOTAL)



SHEET INDEX

A-1 SITE PLAN & DESIGN DATA
L-1 LANDSCAPE PLAN
C-1 GRADING PLAN
A-3 ELEVATIONS

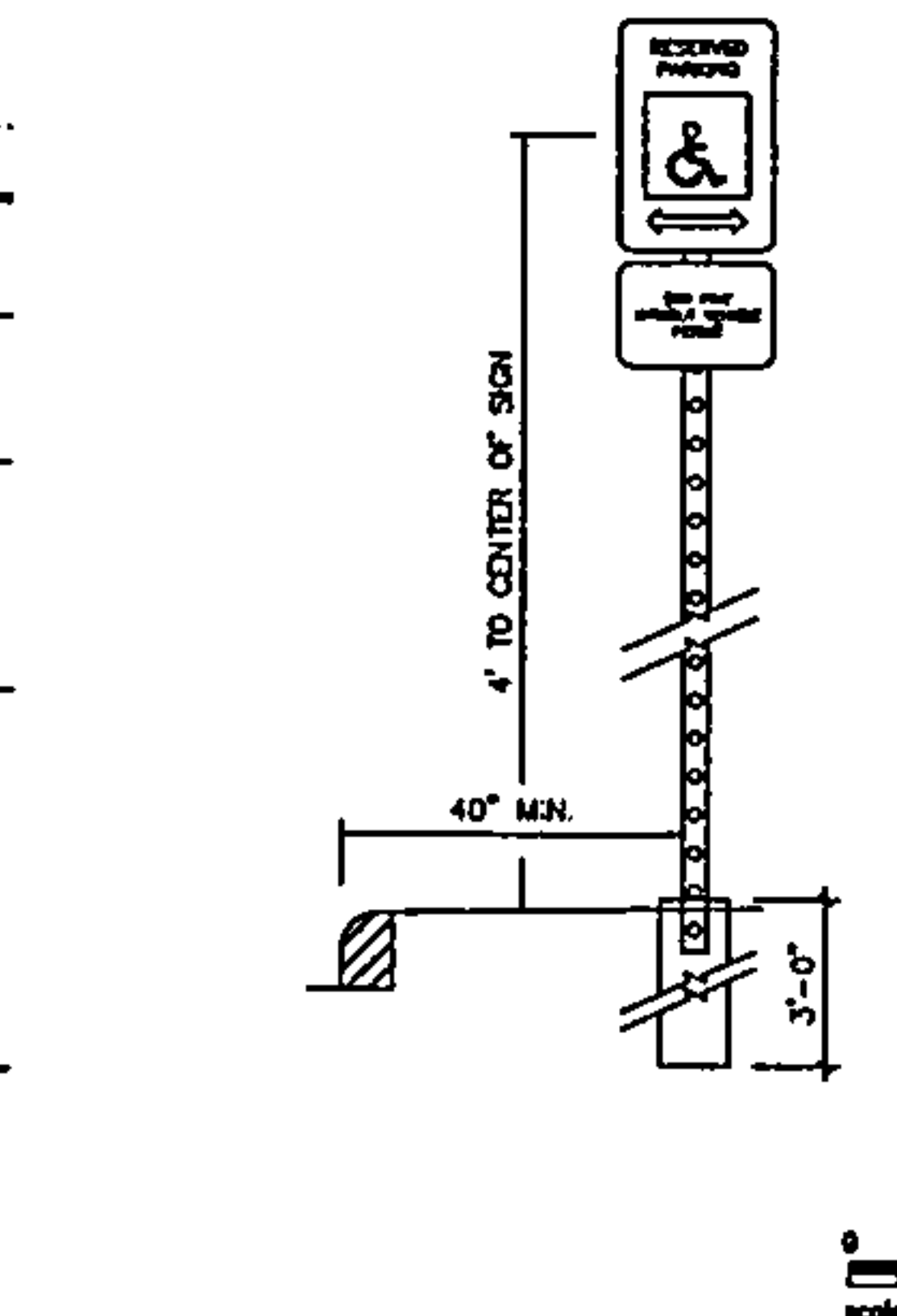
PARKING REQUIREMENTS (CALC'S)

NET OFFICE:	3220 SF
2300/200 = 12	
NET WAREHOUSE:	3975 SF
3975/2000 = 2	
= 2 REQUIRED PARKING SPACES	

PARKING PROVIDED:
CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE

SURFACE PARKING:

HANDICAPPED	1 CAR
REGULAR AND COMPACT	14 CARS
TOTAL ON SITE PARKING PROVIDED	15 CARS
TOTAL REQUIRED PARKING:	14 CARS



- ### NOTES:
- 1) SIGNS SHALL CONFORM TO THE STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - 2) SIGN SHALL BE SET DIRECTLY FACING THE DIRECTION OF TRAVEL FOR THE VEHICLES ENTERING THE STALL (DOT < 40').
 - 3) SIGNS SHALL BE MOUNTED ON A STURDY POST AT A HEIGHT SPECIFIED HERE IN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
 - 4) EACH SPACE SHALL BE POSTED WITH A SIGN CENTERED ON THE STALL, HOWEVER, ONE SIGN MAY BE USED BETWEEN THE TWO SPACES WITH THE APPROPRIATE APPROVAL.
 - 5) 10' MIN. FROM FACE OF ADJACENT CURB OR BUFFER BLOCK.



KCC DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE:
JOURNAL CENTER LOT 10A

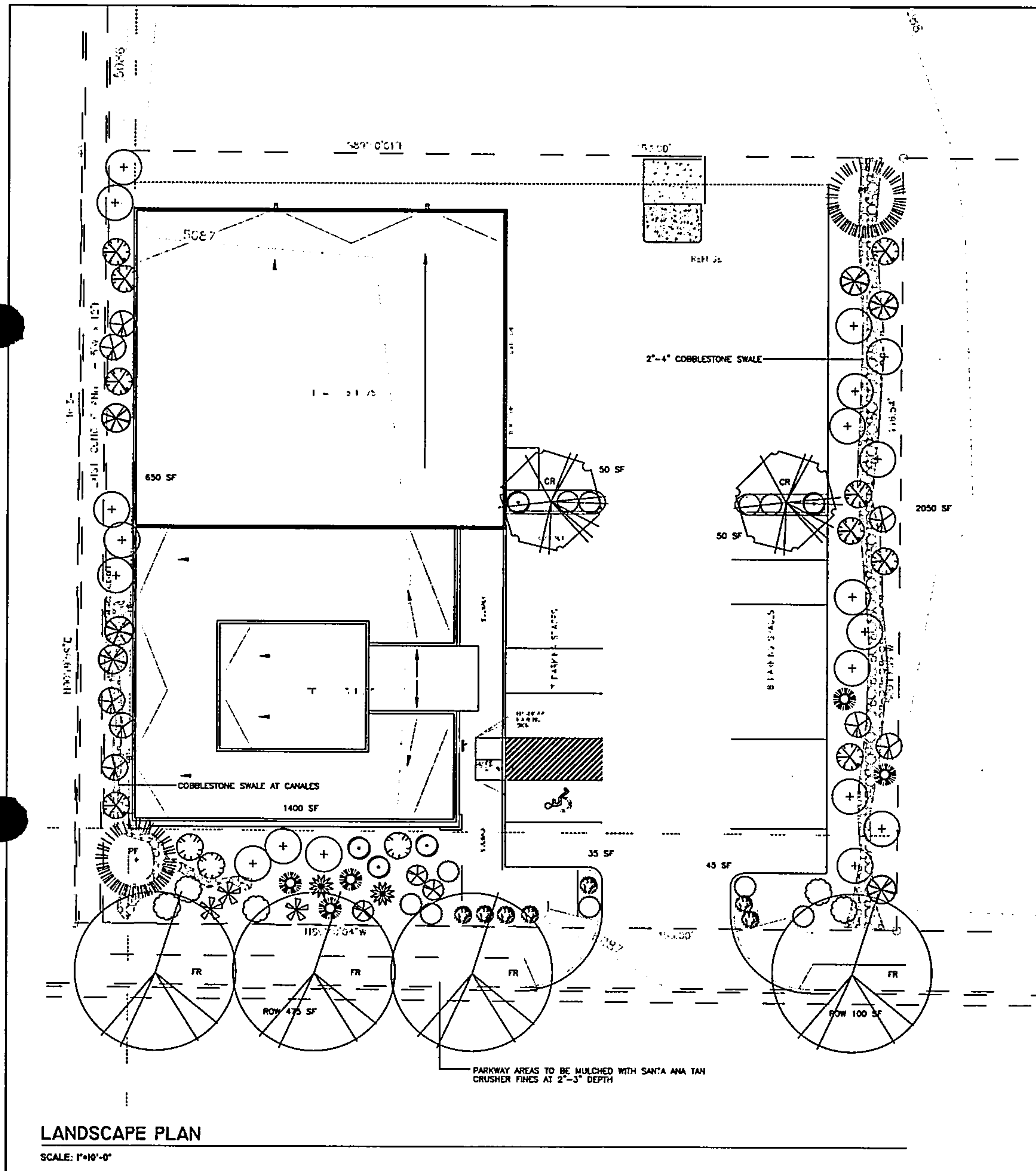
REVISION:	FILE NAME	JOB NO.	DATE
			06-14-05

SHEET TITLE:
SITE PLAN FOR SUBDIVISION

DRAWN BY:
M



SITE PLAN
SCALE: 1"=40'-0"



PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
FR	4	FRAXINUS VELUTINA	MODESTO ASH	2" CAL	H
CR	2	CRATAEGUS CRUS-GALLI INERMIS	THORNLESS HAWTHORN	2" CAL	H
PF	2	PINUS FLEXILIS	LIMBER PINE	6'	M
+	19	ELAEAGNUS PUNGENS	SILVERBERRY	5 GAL	M
○	10	RHUS TRILOBATA PROSTRATA	CREeping SUMAC	5 GAL	M
⊗	3	ARCTOSTAPHYLOS	MANZANITA	5 GAL	M
⊗	8	CERCOCARPUS LEDIFOLIUS	CL. MTN. MAHOGANY	5 GAL	L
⊗	6	FALLUGIA	APACHE PLUME	5 GAL	M
○	5	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL	M
⊗	3	LEUCOPHYLLUM	RAISAGE	5 GAL	M
⊗	5	COTONEASTER BUXIFOLIUS	GRAY COTONEASTER	5 GAL	M
⊗	9	RHUS TRILOBATA	3 LEAF SUMAC	5 GAL	M
⊗	3	YUCCA BACCATA	BANANA YUCCA	5 GAL	M
⊗	5	HOLUNA	BEARGRASS	5 GAL	M
⊗	7	LAVANDULA	LAVENDER	1 GAL	M
⊗	2	JASMINUM	WINTER JASMINE	5 GAL	M

SITE DATA

GROSS LOT AREA	22,420 SF
LESS BUILDING(S)	7,489 SF
NET LOT AREA	14,931 SF
REQUIRED LANDSCAPE	
15% OF NET LOT AREA	2,240 SF
PROPOSED LANDSCAPE	4,280 SF
PERCENT OF NET LOT AREA	28%
REQUIRED PARKING LOT TREES	
1 PER 10 SPACES (15 SPACES)	2
REQUIRED TREES	2
PROPOSED TREES	2

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH RP BACKFLOW PREVENTER
 PLANTINGS IN ROW TO BE IRRIGATED BY CONNECTING TO JC2 COMMON AREA IRRIGATION SYSTEM
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH 3/4" SANTA ANA TAN GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

LANDSCAPE PLAN
 SCALE: 1"=10'-0"

HeadUp
 LANDSCAPE CONTRACTORS
 7325 SECOND ST. NW
 ALBUQUERQUE, NM
 (505) 898-9613
 LICENSE 18690
 www.headuplandscape.com



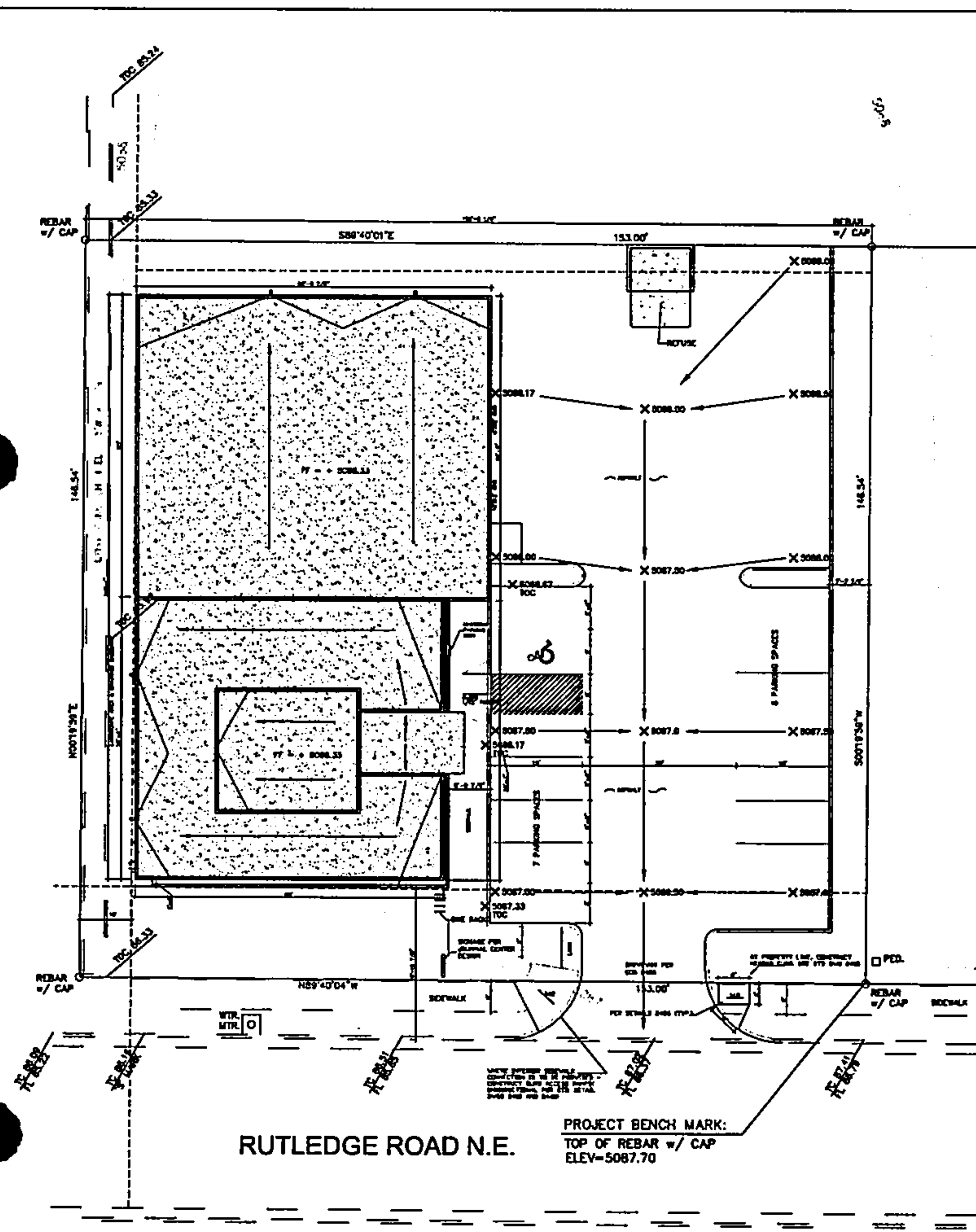
KCC FINAL APPROVAL SET
 DESIGN COLLABORATIVE
 THE ART AND SCIENCE OF MODERN BUILDINGS



HLB
 HAROLD L. BENNETT
 P.E.

JOB TITLE:			L-1
JOURNAL CENTER LOT 10A			
REVISION:	FILE NAME	JOB NO. DATE	
SHEET TITLE:			DRAWN BY
LANDSCAPE PLAN			JC

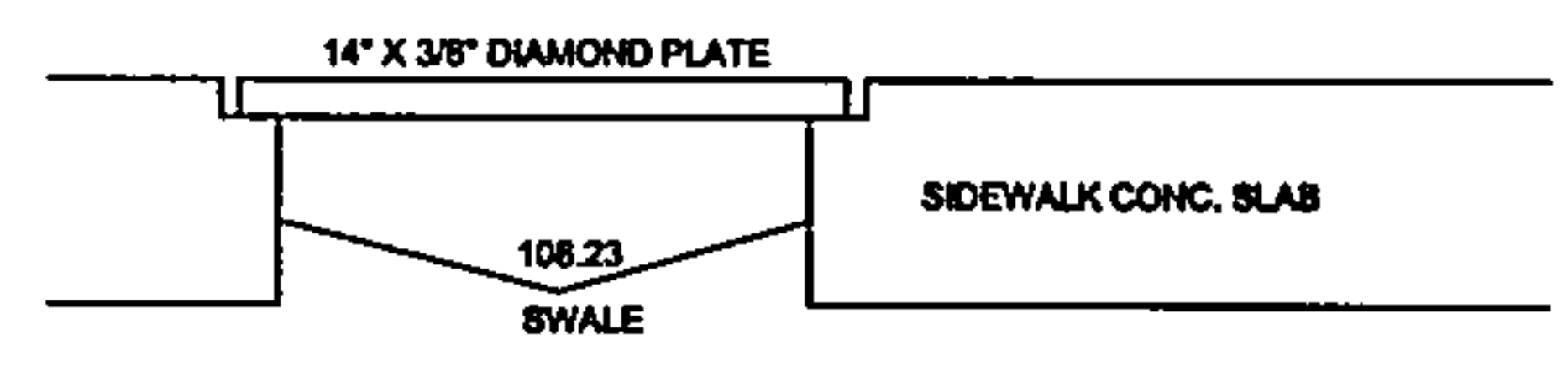




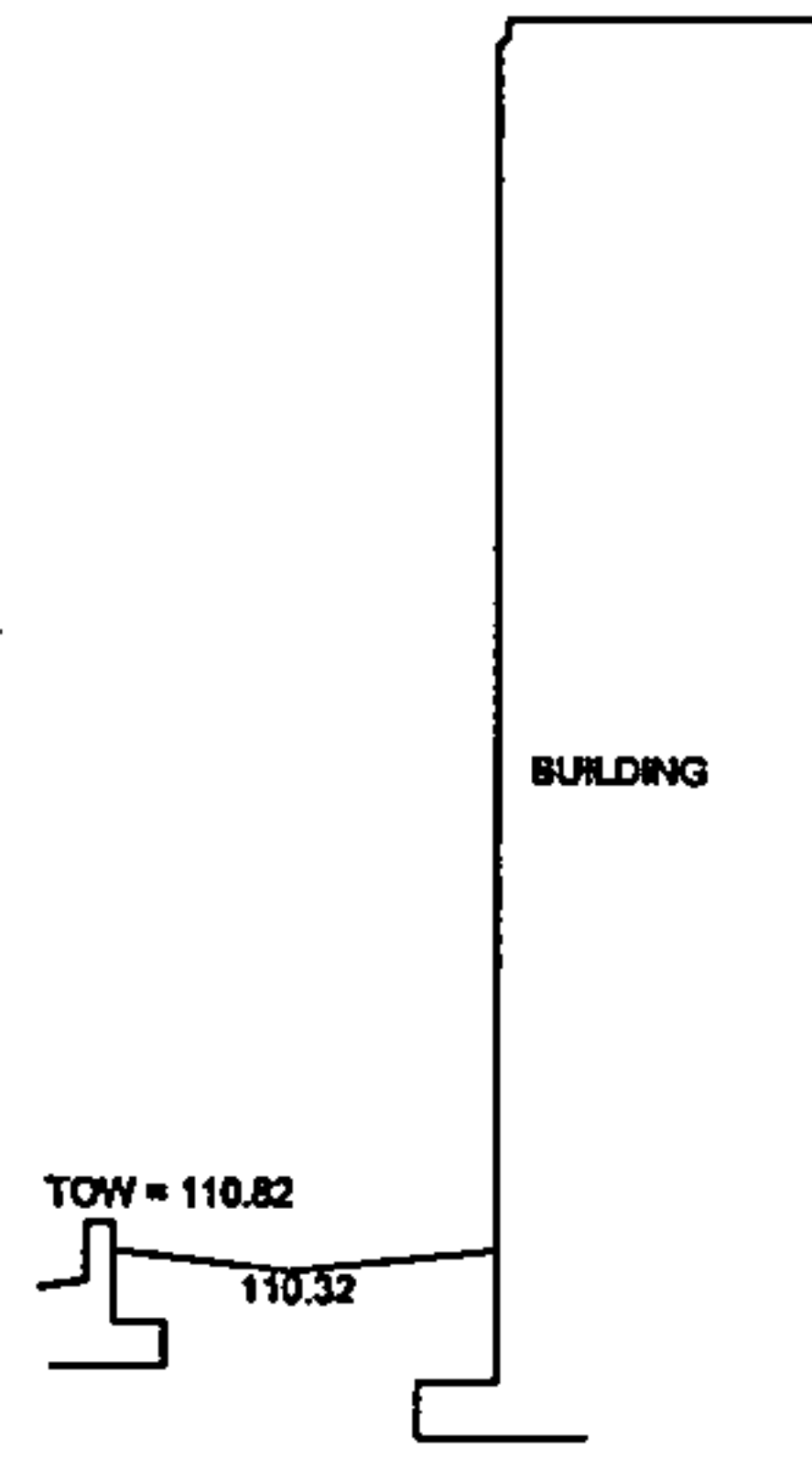
GRADING PLAN

SCALE: 1"=10'-0"

NOTE:
FF 100'-0" = +5111.75' AMSL



SIDEWALK SECTION W/DIAMOND PLATE
SCALE: NTS



TYP. SWALE DETAIL
SCALE: 3/16" = 1'-0"

GENERAL NOTES

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMAL AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER. OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING JOURNAL CENTER PHASE 2 ARE CONTAINED HEREON:

1. VICINITY MAP
2. DRAINAGE CALCULATIONS

JOURNAL CENTER LOT 10-A

BUILDING AREA = 0.17 ACRES (7,488SF)
LANDSCAPE AREA = 0.088 ACRES (4,202SF)
PARKING/SEWALY AREA = 0.241 ACRES (12,242SF)
TOTAL SITE = 0.51 ACRES (22,428SF)

PRECIPITATION: 300 = 2.36 IN.
100A = 3.65 IN.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A 0.08 AC.	0 AC.
TREATMENT B 0 AC.	0.178 AC.
TREATMENT C 0 AC.	0 AC.
TREATMENT D 0 AC.	0.422 AC.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 IN.	CFBAC: 1.38
TREATMENT B 0.18 IN.	CFBAC: 2.28
TREATMENT C 1.13 IN.	CFBAC: 3.14
TREATMENT D 2.12 IN.	CFBAC: 4.87

EXISTING EXCESS PRECIPITATION:

WEIGHTED E = (0.53 x 0) + (0.18 x 1.78) + (1.13 x 0) + (2.12 x 4.22) = 1.004 IN.
V100 = 1.04(0.812) = 0.817 AC.F.T.

EXISTING DISCHARGE:

WEIGHTED E = 0.8(0.53) = 0.4 CFB
V100 = 4(0.812) = 0.818 AC.F.T.

PROPOSED PEAK DISCHARGE

Q100 = 0 + 0.178(2.28) + 0 + 4.22(4.7) = 2.36 CFB

BENCHMARK

PROJECT BENCHMARK OF 87.78 LOCATED ON CURB @ SOUTHEAST CORNER OF PROPERTY

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
A. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
B. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.80 ACRES AND IS LOCATED EAST OF BARTLETT ST. N.E. AND NORTH OF RUTLEDGE RD. N.E. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

PROJECT TO DRAIN DIRECT DISCHARGE SOUTH TO RUTLEDGE RD. DISCHARGE GOES TO CITY STORM DRAINS AND AMAPCA STORM DRAINS, LOCATED WEST OF SUBJECT PROPERTY ON NORTH SIDE OF RUTLEDGE RD.

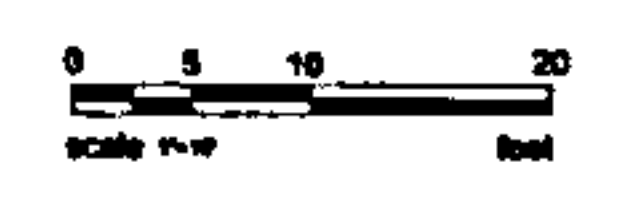
NO OFFSITE FLOWS

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY
2. ALL WORK DETAILED ON THE BE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1998.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 786-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMAL AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

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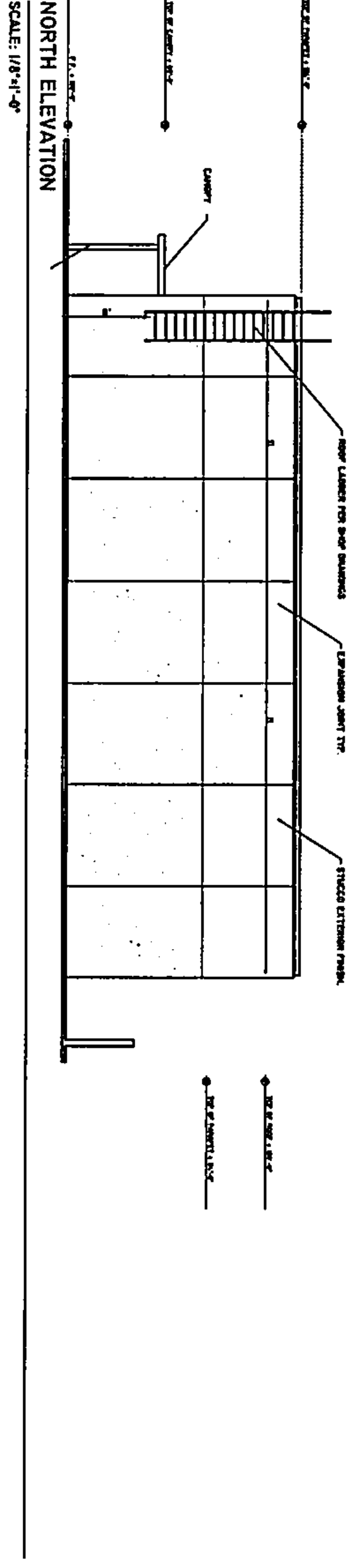
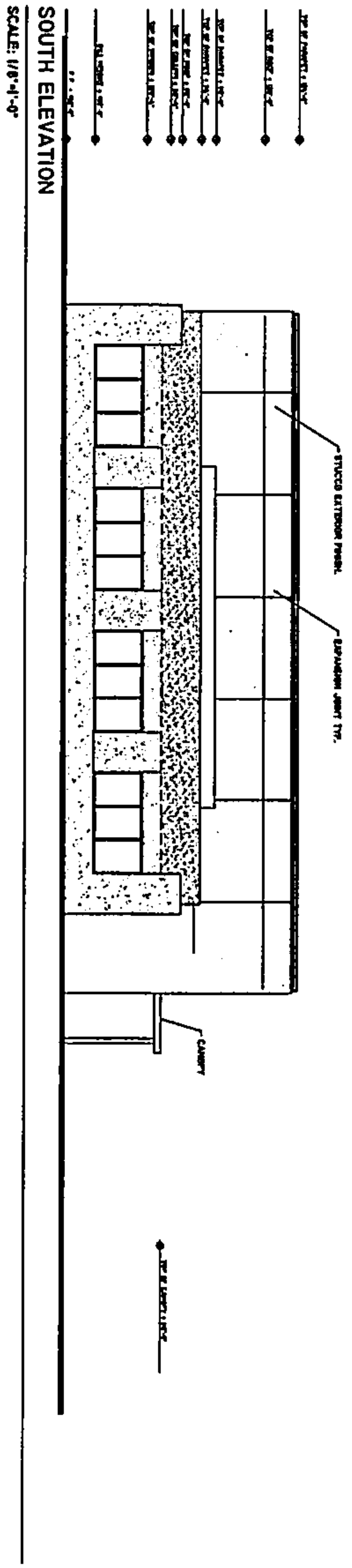
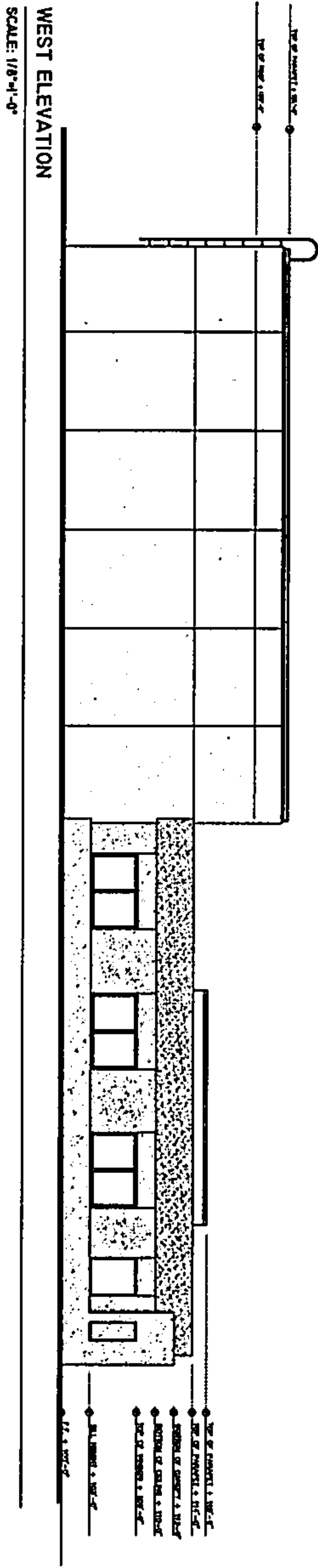
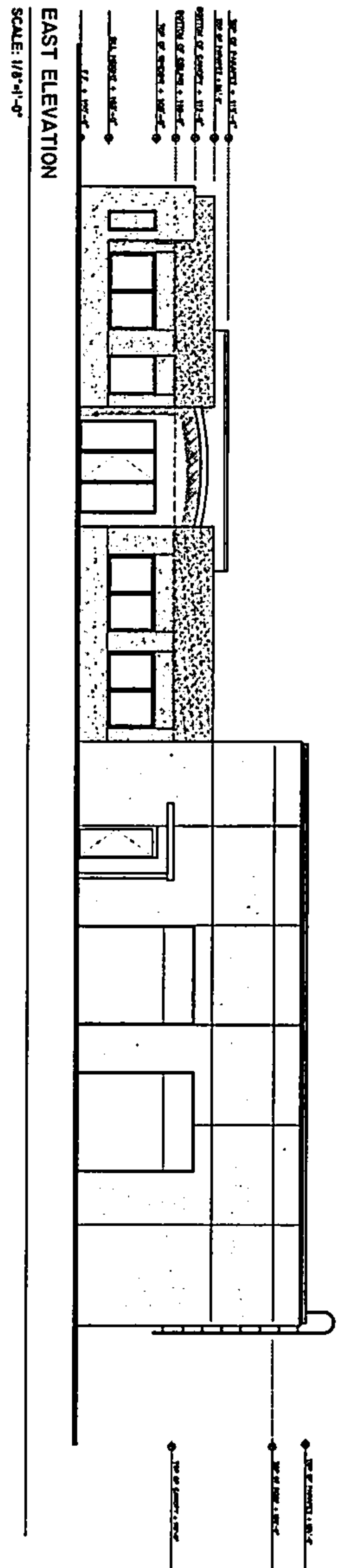
HLB
HAROLD L. BENNETT
P.E.

JOB TITLE:
JOURNAL CENTER LOT 10A

REVISION:	FILE NAME	JOB NO.	DATE
01			04-18-04

SHEET TITLE:
GRADING PLAN

C-1



JOB TITLE:		JOURNAL CENTER LOT 04A	
REVISION:		DATE	BY
1	04-24-09	04-24-09	04-24-09
SHEET TITLE:		SCHEMATIC ELEVATIONS	



KCC
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

FINAL APPROVAL SET

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME CRAIG CORP

AGENT John N Lee

ADDRESS _____

PROJECT & APP # 1002865/05DRB 00712

PROJECT NAME Journal Cntr Ph 2

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 385.00 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 405.00 TOTAL AMOUNT DUE

*****NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

CRAIG CORPORATION		3708	
KEYSTONE HOMES		95-7242/3070	
P.O. BOX 94030		DATE April 19, 2005	
ALBUQUERQUE, NEW MEXICO 87199-4030		***DUPLICATE***	
(505) 821-3379		City of Albuquerque	
City of Albuquerque		Treasury Division	
****Four hundred and 00/00****		DOLLARS	
CHARTER BANK		4/27/2005 11:45AM	
FOR SAVINGS FSB		RECEIPT# 00039706	
2130 EUBANK N.E.		WS# 008 TRANS# 0014	
ALBUQUERQUE, NM 87112		Account 441032 Fund 0110	
Journal Center Lot 10A		Activity 3424000	
LOC: ANNEX		Trans Amt 405.00	
LOC: ANNEX		J24 Misc 20.00	
LOC: ANNEX		Thank You	

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...
- D Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: CRAIG CORP PHONE: 821-3379
 ADDRESS: 5610 SAN FRANCISCO NE FAX: 821-3178
 CITY: ALBUQ STATE NM ZIP 87109 E-MAIL: SCOTT HAUG @ MSN.COM
 Proprietary interest in site: OWNER/BUILDER List all owners: CRAIG CORP
 AGENT (if any): JOHN HLEE PHONE: 1-602-323-7991
 ADDRESS: 4222 EAST THOMAS SUITE 250 FAX: 1-602-667-9101
 CITY: PHOENIX STATE AZ ZIP 85018 E-MAIL: HLEE DESIGN & CONSULTING

DESCRIPTION OF REQUEST: SITE PLAN APPROVAL FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 10-B Block: _____ Unit: #1
 Subdiv. / Addn. JOURNAL CENTER PHASE 2
 Current Zoning: IP Proposed zoning: IP
 Zone Atlas page(s): VICINITY MAP D-17 No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 0.526 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? N/A
 UPC No. _____ MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: INTERSECTION OF RUTLEDGE & BAATLOTT
 Between: ADDRESS 3741 RUTLEDGE NE and _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 03-DRB 01304

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE DANIEL R. BRUMLEY DATE _____
 (Print) DANIEL R. BRUMLEY 362-6504 Applicant Agent
PROJECT MANAGER CRAIG CORP.

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB 00711</u>	<u>SBP</u>	<u>PL3</u>	<u>\$ 385.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> All case #'s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #'s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>5-11-05</u>	_____	_____	<u>\$ 405.00</u>

[Signature] 4-27-05
 Planner signature / date

Project # 1002865

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist *NOT SIGNED*
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Scott C Haugwitz
 Applicant name (print)
[Signature] 4-19-05
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 05 DRB - 00711

[Signature] 4-27-05
 Planner signature / date
 Project # 1002865

405

MA
 MB
 [Handwritten notes and arrows pointing to checklist items]

Klee Design Collaborative, Inc. *The Art and Science of Modern Buildings*

4222 E. Thomas Rd. Ste. 250, Phoenix, Arizona 85018
602-667-9700 Toll free 1-800-667-9700
FAX (602) 667-9101

April 18, 2005

City of Albuquerque
DRB
600 2nd. Street N.W.
Albuquerque, New Mexico 87103

Re: 3741 Rutledge Road N.E.

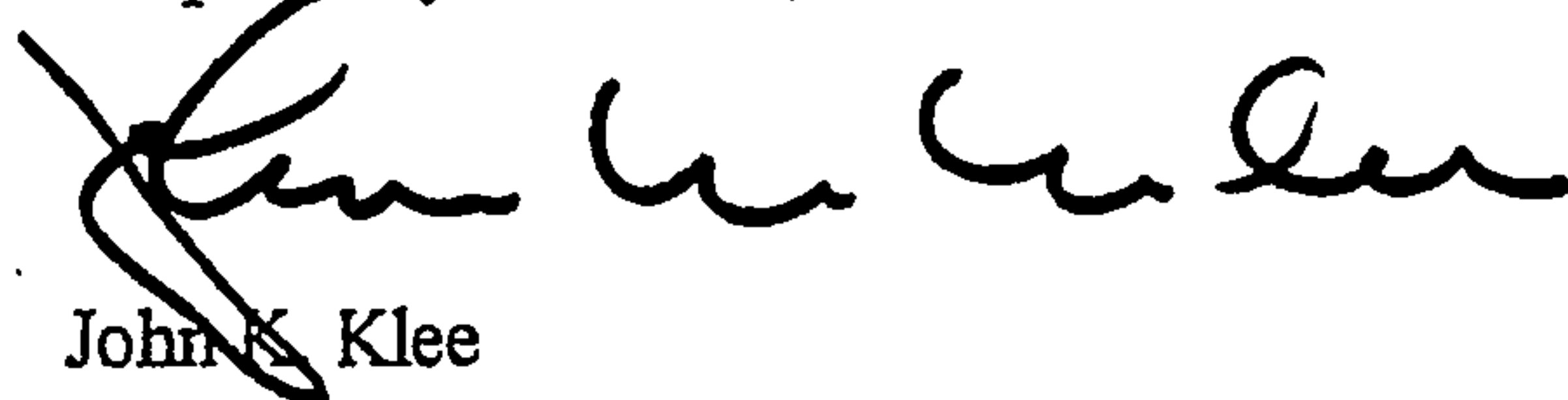
Dear DRB Member

This submittal is for the sole purpose to obtain a building permit for a new office building at the above stated address.

Please find included with this package a copy of the fire hydrant and flow requirements obtained after a site/building review with the fire marshals office and a site plan with Michael Hilton's signature to satisfy the refuse review prior to submittal to the DRB.

Thank you in advance for your attention to this most important matter.

Respectfully submitted,



John K. Klee

Craig Corporation

P.O. BOX 94030 • ALBUQUERQUE, NEW MEXICO 87199-4030
(505) 821-3379

April 19, 2004

City Of Albuquerque, NM
Development Review Board

Dear Board Members:

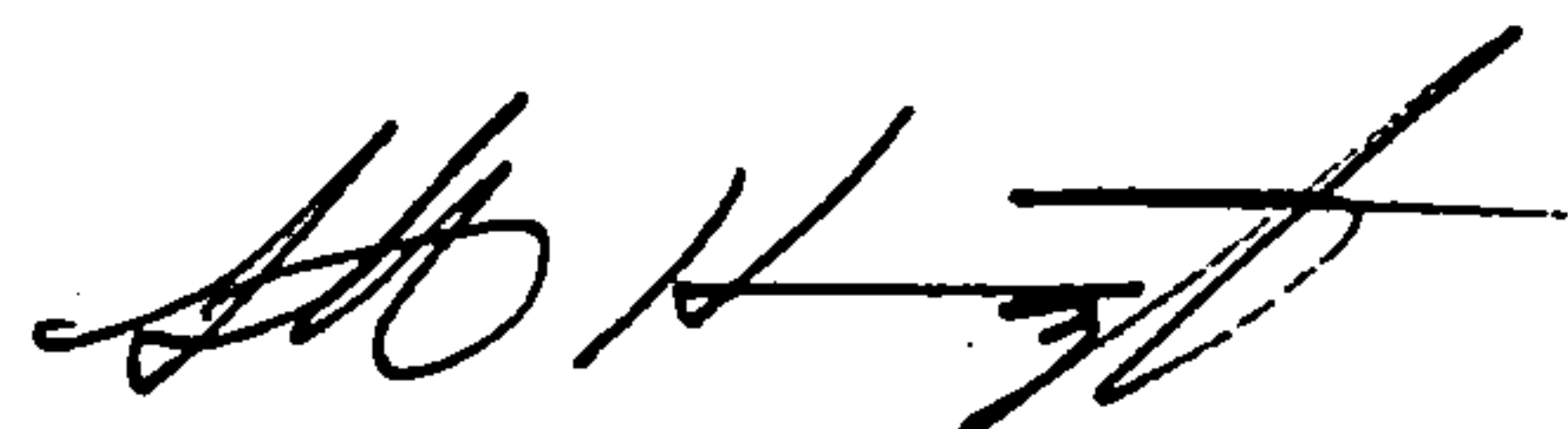
Please let this letter serve as authorization for Mr. John Klee of Klee Design Collaborative to serve as the agent for Craig Corp. in the development review process for the following properties:

7400 Washington, NE Lot 01 Journal Center Phase 2, unit 1

3731 Rutledge, NE Lot 10-A Journal Center Phase 2, Unit 1

3741 Rutledge, NE Lot 10-B Journal Center Phase 2, Unit 1

Sincerely,



Scott Hauquitz
President, Craig Corp.

Craig Corporation

P.O. BOX 94030 • ALBUQUERQUE, NEW MEXICO 87199-4030
(505) 821-3379

April 19, 2004

City Of Albuquerque, NM
Development Review Board

Dear Board Members:

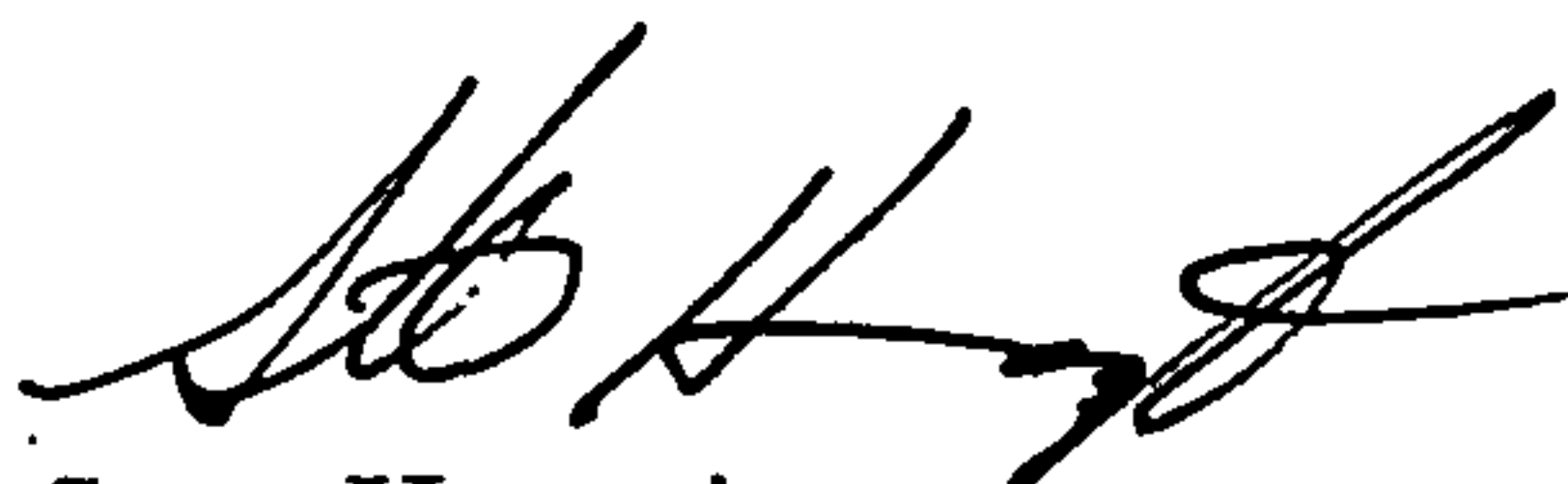
Please let this letter serve as authorization for Mr. Daniel R. Bromley to serve as the agent for Craig Corp. in submitting applications to the development review Board for the following properties:

7400 Washington, NE Lot 01 Journal Center Phase 2, unit 1

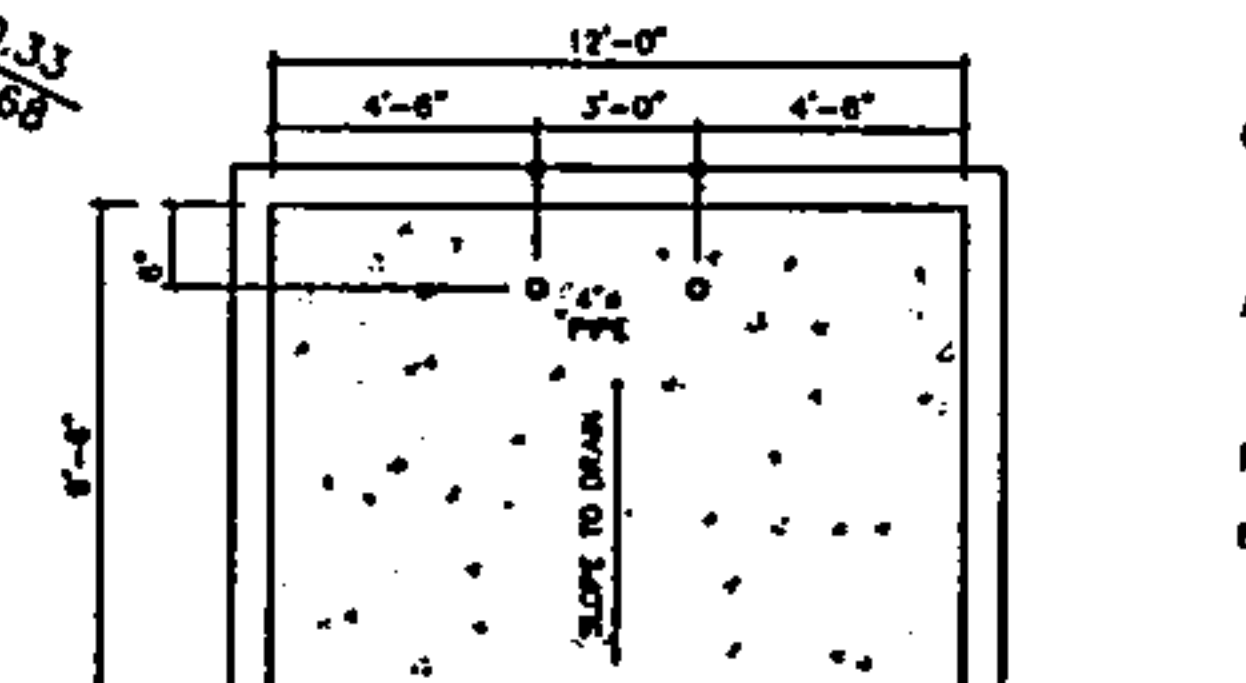
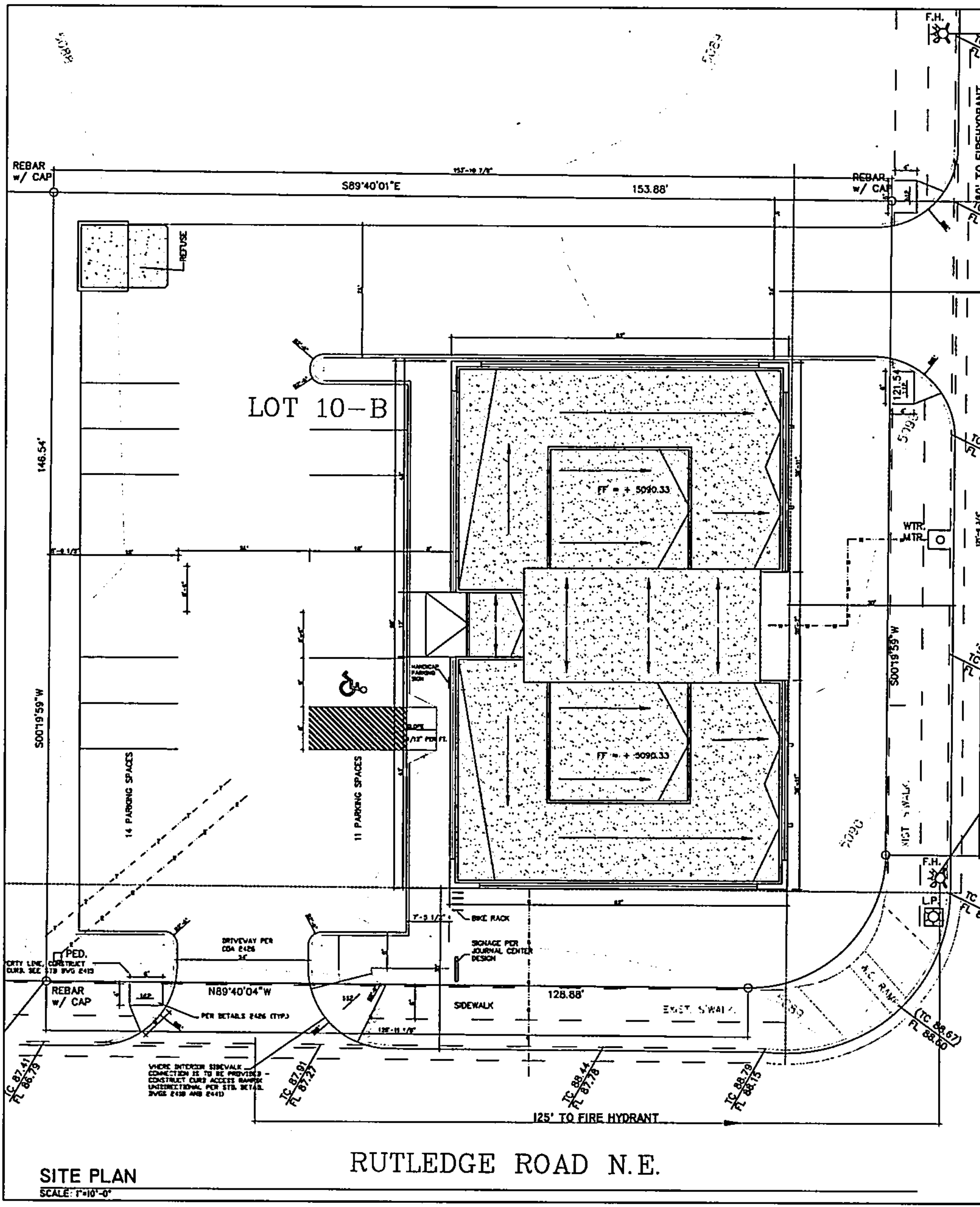
3731 Rutledge, NE Lot 10-A Journal Center Phase 2, Unit 1

3741 Rutledge, NE Lot 10-B Journal Center Phase 2, Unit 1

Sincerely,



Scott Hauquitz
President, Craig Corp.



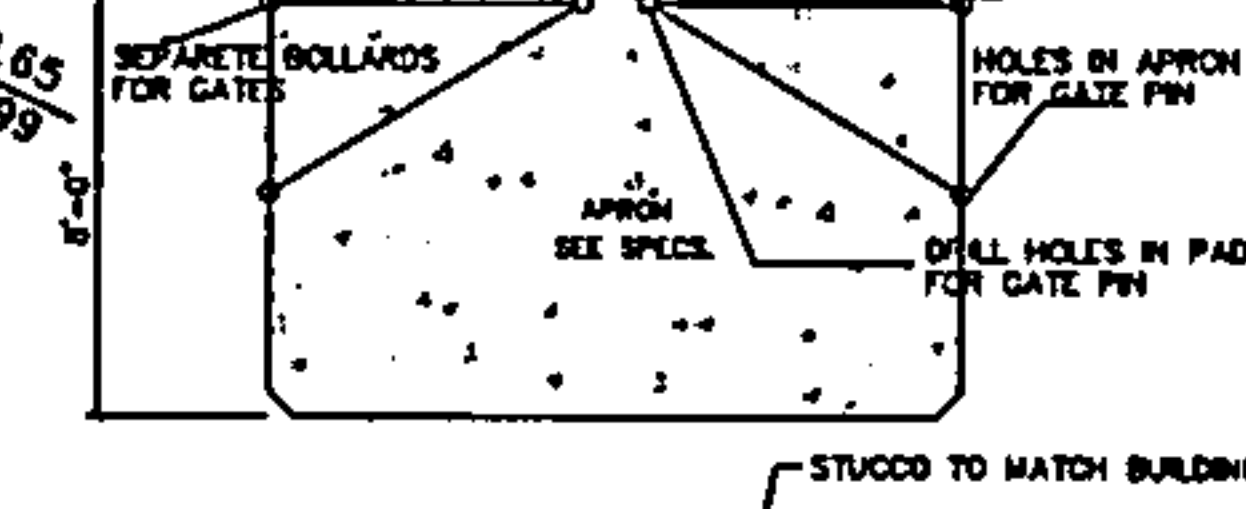
SPECIFICATIONS

CONC SLAB: 4" THICK, 3000 P.S.I. 3/4" AGG. W/6X6-10@10W/M OR EQ., SLOPE TO DRAIN 1/8" PER FOOT.

APRON: 4" THICK, 3000 P.S.I. 3/4" AGG. W/6X6-10@10W/M OR EQ. 12" X 18" X 6" WITH 1/2" EXPANSION JOINT

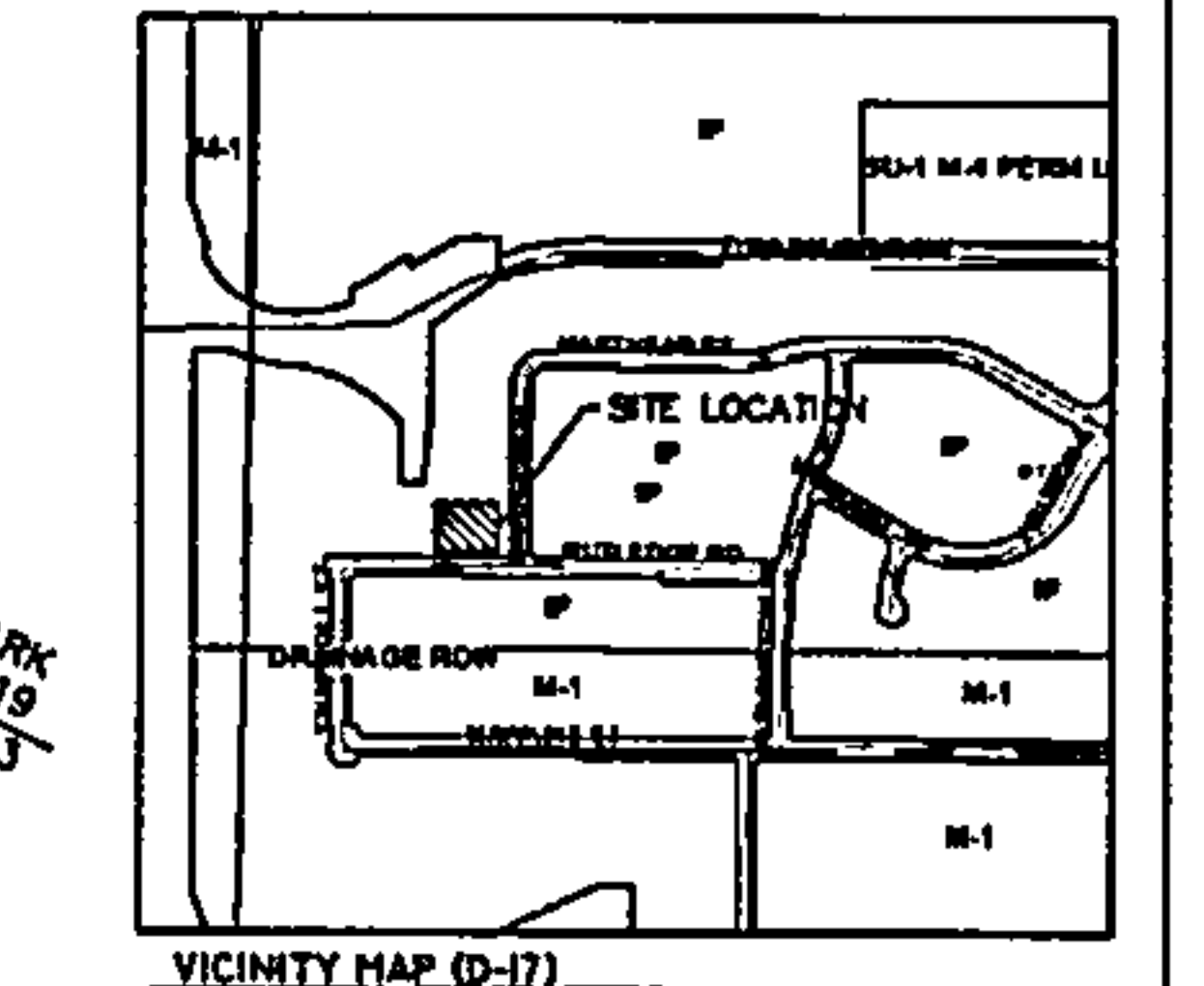
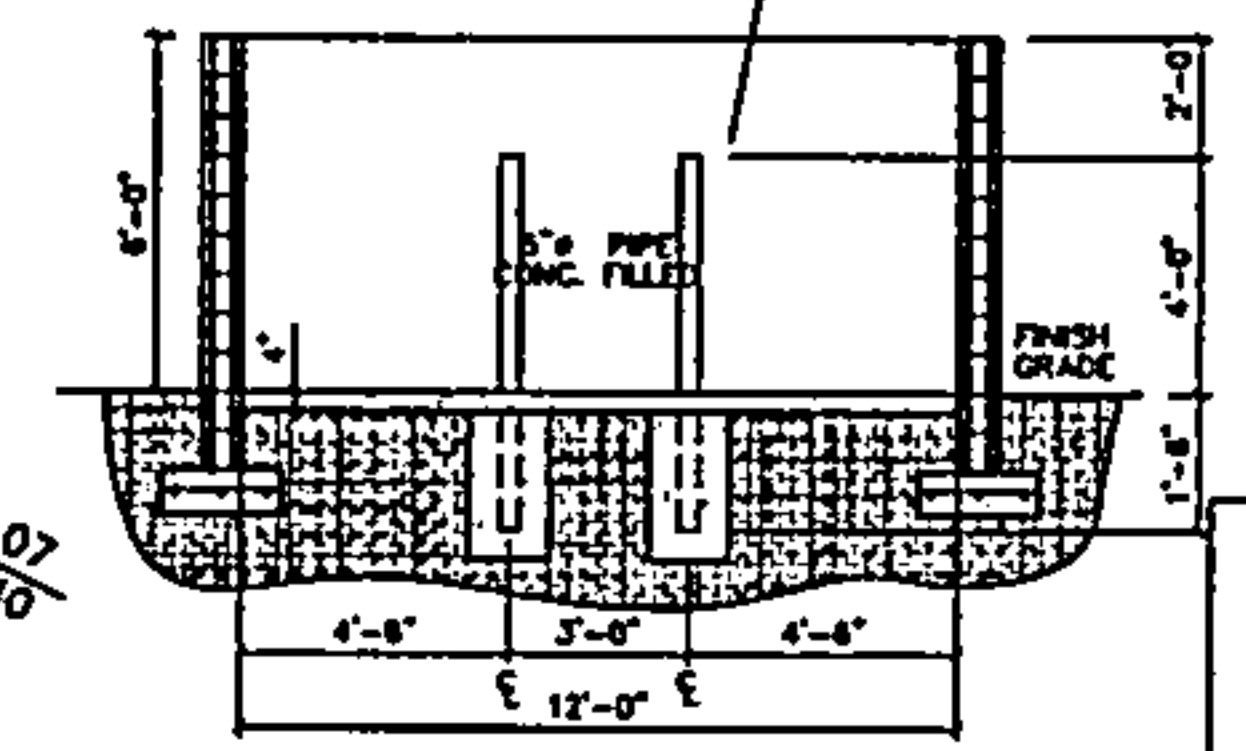
FOOTING: AS REQUIRED PER DESIGN

BOLLARDS: 4" O.D. CONC. FILLED PIPE SHALL BE ENCASED IN 4" CONC. ALL AROUND AND EMBEDDED 2'-0"



SHEET INDEX

A-1 SITE PLAN & DESIGN DATA
 L-1 LANDSCAPE PLAN
 C-1 GRADING PLAN
 A-3 ELEVATIONS



PROJECT NUMBER: _____

Application Number: _____

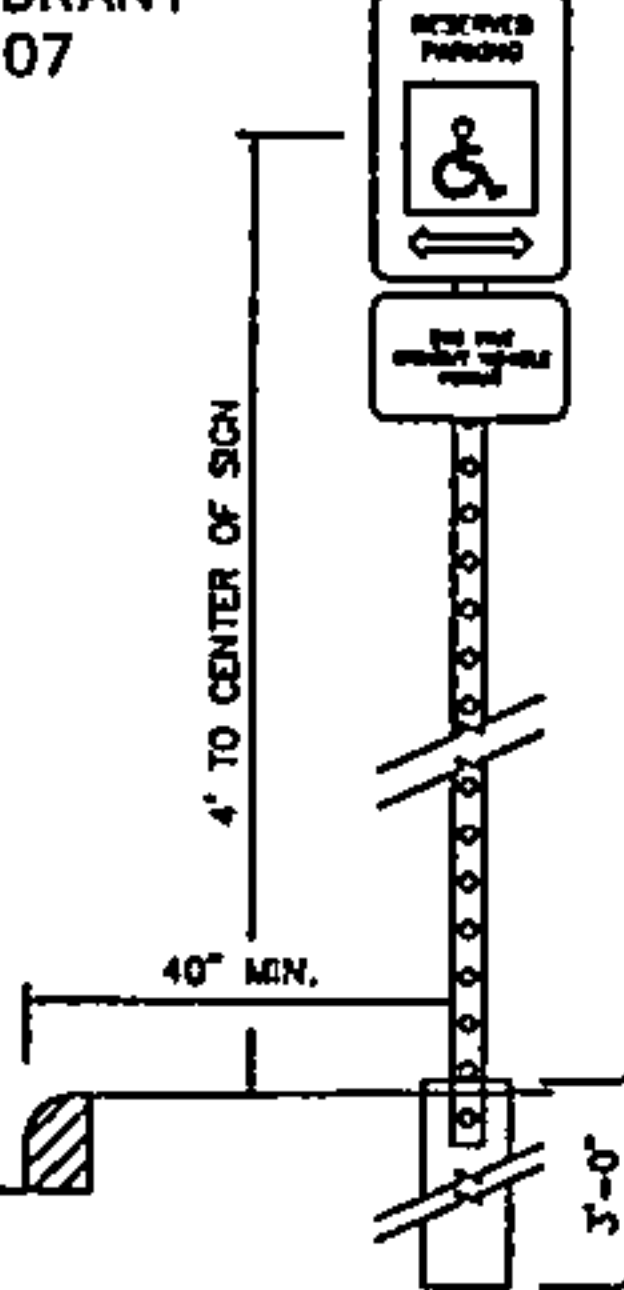
In an Instrumentation List resolution (1) the (1) No. If you have a set of approved SPEC plans with a work order to construct for any construction within the right-of-way or for construction of public improvements.

REQUIRE SIGNATURES/PLAN APPROVALS:

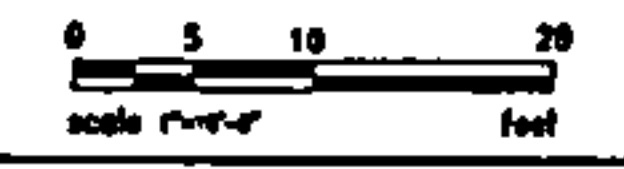
City Engineering, Transportation Division	Date
Urban Development	Date
Police and Fire Department	Date
City Engineer	Date
Environmental Health Department (sanitation)	Date
State Vehicle Management	Date
DES Chairperson, Planning Department	Date

PROJECT BENCH MARK:
 WEST BONNET BOLT
 ON FIRE HYDRANT
 ELEV=5092.07

BARTLETT ST. N.E.



- NOTES:**
1. SIGNS SHALL CONFORM TO THE STANDARDS OF "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"
 2. SIGN SHALL BE SET DIRECTLY FACING THE DIRECTION OF TRAVEL FOR THE VEHICLES ENTERING THE STALL (NOT < 45°)
 3. SIGNS SHALL BE MOUNTED ON A STURDY POST AT A HEIGHT SPECIFIED HERE IN, OR MAY BE SECURELY BOLDED TO AN ADJACENT WALL.
 4. EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE SHARED BETWEEN THE TWO SPACES WITH THE APPROPRIATE ARROWS.
 5. 40" MIN. FROM FACE OF ADJACENT CURB OR BARRIER BLOCK.



BUILDING DATA

JOURNAL CENTER PHASE 2
 UNIT 1, LOT 10B
 3741 RUTLEDGE RD
 ALBUQUERQUE, NM 87109

DESIGN DATA

- I. APPLICABLE CODES AND REGULATIONS.
 INTERNATIONAL BUILDING CODE, 2003
 ANSI
 GUIDELINES, 1998
- II. BUILDING FLOOR AREA

OFFICE B	UNITA	2,828 SF
OFFICE B	UNITB	2,828 SF
TOTAL BUILDING AREA		5656 SF
- III. OCCUPANCY GROUP (IBC CHAPTER 3)
 OFFICE B
- IV. EXTERIOR WALLS AND OPENINGS
 IBC TABLE 602
- V. BUILDING HEIGHT
 BUILDING 1 - ONE STORY 24'-0"
- VI. TYPE OF CONSTRUCTION
 IBC TABLE 503: OFFICE-TYPE V-B
- VII. BASIC ALLOWABLE FLOOR AREA
 IBC TABLE 503: OFFICE-B-9,500 S.F.
- VIII. FIRE RESISTIVE REQUIREMENTS
 IBC TABLE 601: TYPE V-B
- IX. OCCUPANT LOAD
 OFFICE UNIT A : 2,828 S.F. / 100 = 28
 OFFICE UNIT B : 2,828 S.F. / 100 = 28
- X. EXIT REQUIREMENTS
 NUMBER OF EXITS: IBC TABLE 1014.1
 EXIT REQUIREMENTS OCCUPANT LOAD LESS THAN 50
 = 1 EXIT REQ. 2 PROVIDED
- XI. PLUMBING REQUIREMENTS: IBC TABLE 2902.1
 OFFICE: W.C. 1 PER 25 FOR THE FIRST 50 REQ.
 2 W.C. PROVIDED
 OFFICE: LAVATORY 1 PER 40 FOR THE FIRST 50 REQ.
 2 LAVATORY PROVIDED
- XII. SEISMIC ZONE: D, CATEGORY II BLDG.
- XIII. WIND SPEED: 75 MPH
- XIV. EXPOSURE: C 1500 PSF
- XV. SOL. BEARING CAP. 40 PSF
- XVI. ROOF LOAD(TOTAL)

PARKING REQUIREMENTS (CALC'S)

NET OFFICE:	UNIT A	2000 SF
2000 / 200	= 10	
NET OFFICE:	UNIT B	2000 SF
2000 / 200	= 10	
= 20 REQUIRED PARKING SPACES		

PARKING PROVIDED:
 CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE

SURFACE PARKING:	
HANDICAPPED	1 CAR
REGULAR AND COMPACT	24 CARS
TOTAL ON SITE PARKING PROVIDED	25 CARS
TOTAL REQUIRED PARKING:	20 CARS

KCC
 DESIGN COLLABORATIVE
 THE ART AND SCIENCE OF MODERN BUILDINGS

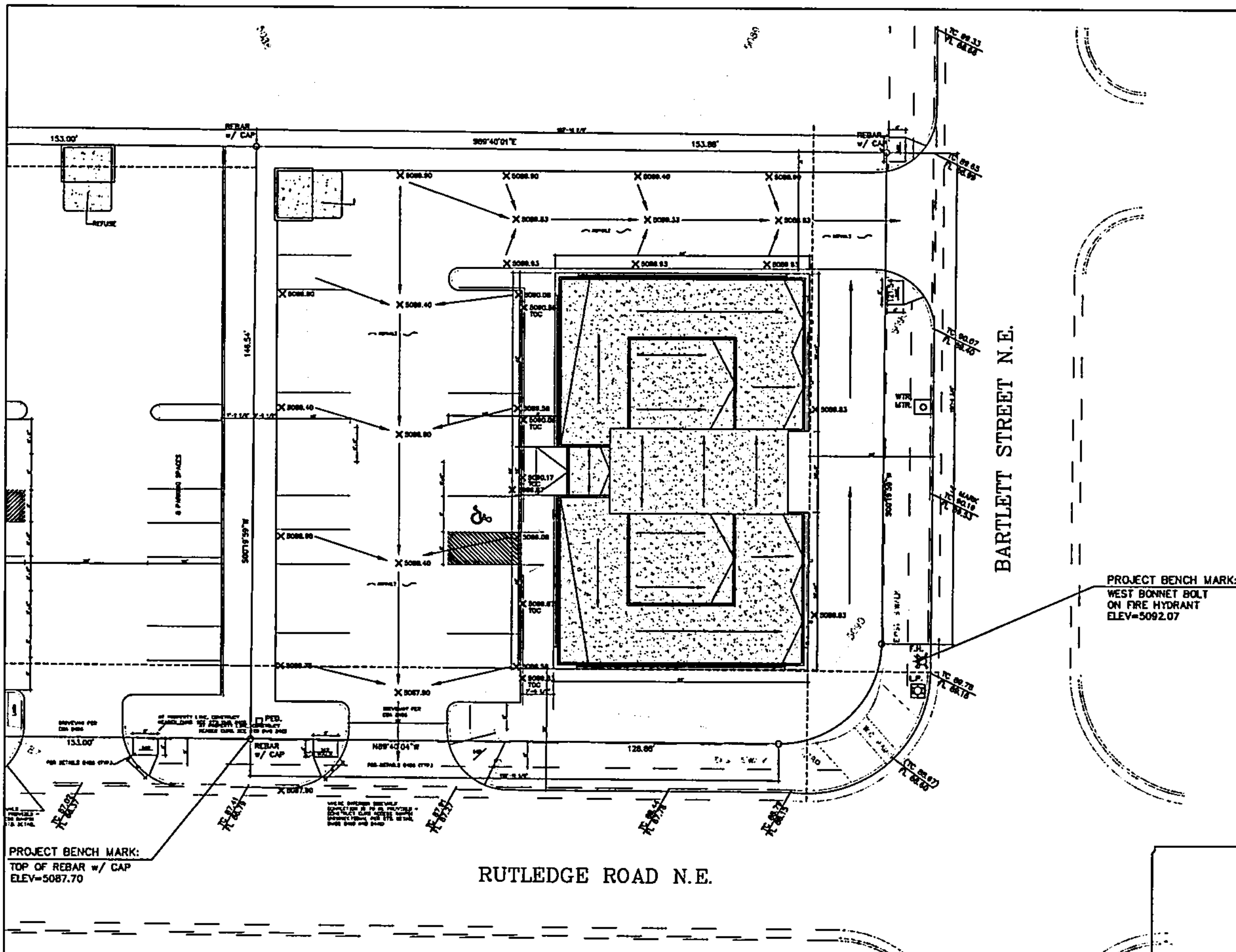


JOB TITLE: JOURNAL CENTER LOT 10B	
REVISION:	FILE NAME JOB NO. DATE
	8A-08-09
SHEET TITLE: SITE PLAN FOR SUBDIVISION	DRAWN BY R



SITE PLAN
 SCALE: 1"=10'-0"

RUTLEDGE ROAD N.E.



PROJECT BENCHMARK:
TOP OF REBAR w/ CAP
ELEV=5087.70

PROJECT BENCHMARK:
WEST BONNET BOLT
ON FIRE HYDRANT
ELEV=5092.07

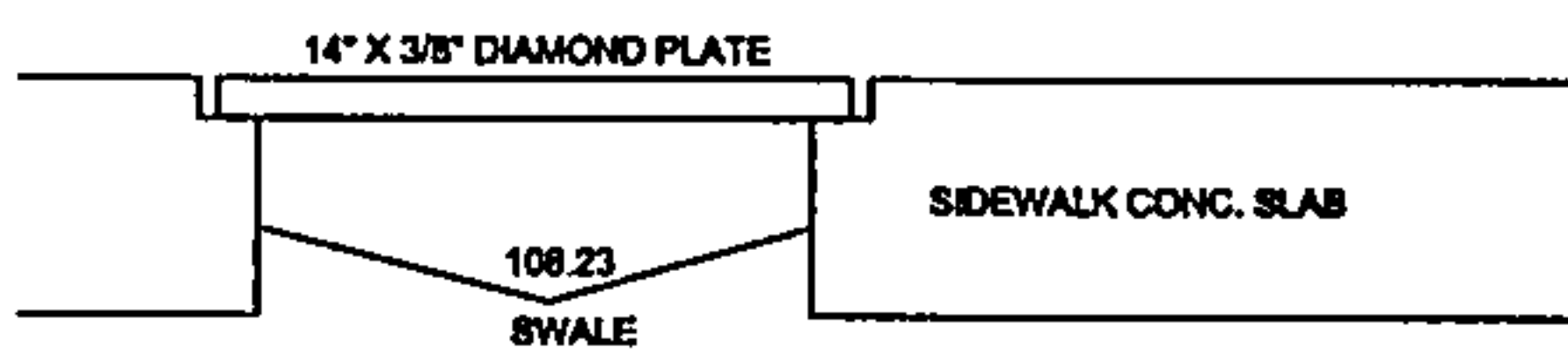
RUTLEDGE ROAD N.E.

BARTLETT STREET N.E.

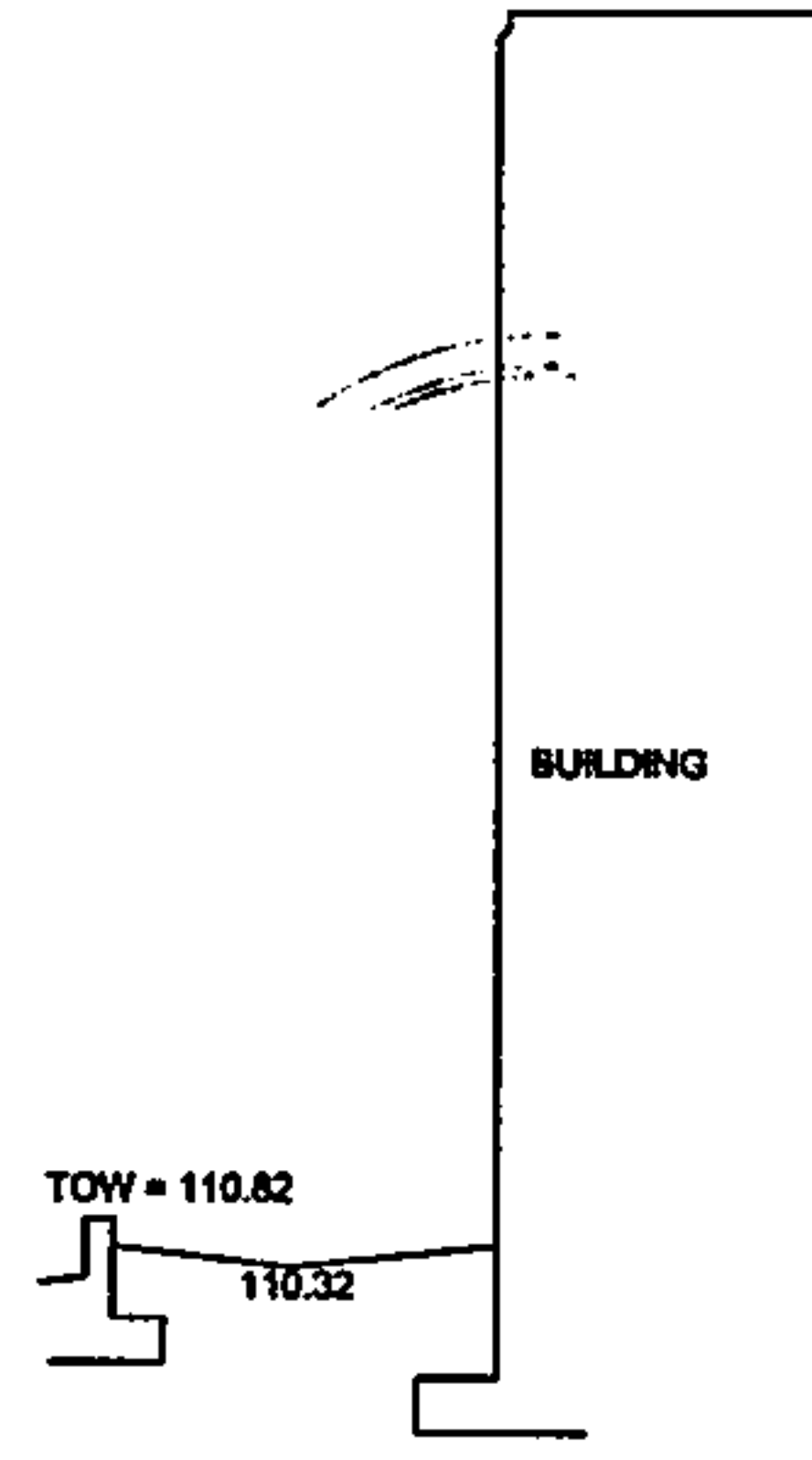
GRADING PLAN

SCALE: 1"=10'-0"

NOTE:
FF 100'-0" = +5111.75' AMSL



SIDEWALK SECTION W/DIAMOND PLATE
SCALE: NTS



TYP. SWALE DETAIL
SCALE: 3/16" = 1'-0"

GENERAL NOTES

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER, OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS. LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL INSURE THAT NO SOIL ENDS FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING

- JOURNAL CENTER PHASE 2 ARE CONTAINED HEREON:
1. VICINITY MAP
 2. DRAINAGE CALCULATIONS

JOURNAL CENTER LOT 10-B

BUILDING AREA = 0.13 ACRES (5688SF)
LANDSCAPE AREA = 12 ACRES (52308SF)
PARKING/ASPHALT AREA = 0.20 ACRES (8749SF)
TOTAL SITE = 0.51 ACRES (22436SF)

PRECIPITATION:
200 = 2.26 IN.
100 = 2.74 IN.
50 = 3.55 IN.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A 0.08 AC.	0 AC.
TREATMENT B 0 AC.	0.178 AC.
TREATMENT C 0 AC.	0 AC.
TREATMENT D 0 AC.	0.422 AC.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.03 IN.	CFM/AC 1.08
TREATMENT B 0.78 IN.	CFM/AC 2.28
TREATMENT C 1.13 IN.	CFM/AC 3.14
TREATMENT D 2.12 IN.	CFM/AC 4.57

EXISTING EXCESS PRECIPITATION:
WEIGHTED E = 0.03 X 0.08 X 178 + 0.78 X 0.178 X 178 + 1.13 X 0.178 X 178 + 2.12 X 0.422 X 178 = 1.04
V100 = 1.04 X 0.817 = 0.8517 AC.FT.

EXISTING DISCHARGE:
WEIGHTED E = 0.03 X 0.08 X 178 + 0.78 X 0.178 X 178 + 1.13 X 0.178 X 178 + 2.12 X 0.422 X 178 = 1.04
V100 = 1.04 X 0.817 = 0.8517 AC.FT.

PROPOSED PEAK DISCHARGE
Q100 = 0 + 0.178 X 2.28 = 0.40584 = 0.41 CFS
Q50 = 0 + 0.178 X 3.55 = 0.63051 = 0.63 CFS

BENCHMARK:
PROJECT BENCHMARK OF 87.70 LOCATED ON CURB @ SOUTHWEST CORNER OF PROPERTY

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION. HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
 - A. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DICES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO BEDMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.40 ACRES AND IS LOCATED EAST OF BARTLETT ST. N.E. AND NORTH OF RUTLEDGE RD. N.E. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

PROJECT TO DRAIN DIRECT DISCHARGE SOUTH TO RUTLEDGE RD. DISCHARGE GOES TO CITY STORM DRAINS AND AMAFCA STORM DRAINS, LOCATED WEST OF SUBJECT PROPERTY ON NORTH SIDE OF RUTLEDGE RD.

NO OFFSITE FLOWS

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THE SE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 786-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

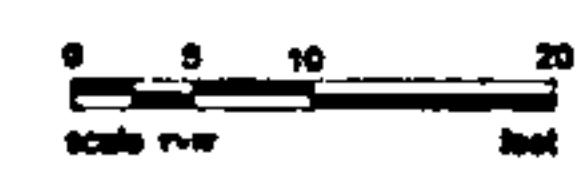
APPROVAL	NAME	DATE
INSPECTOR		

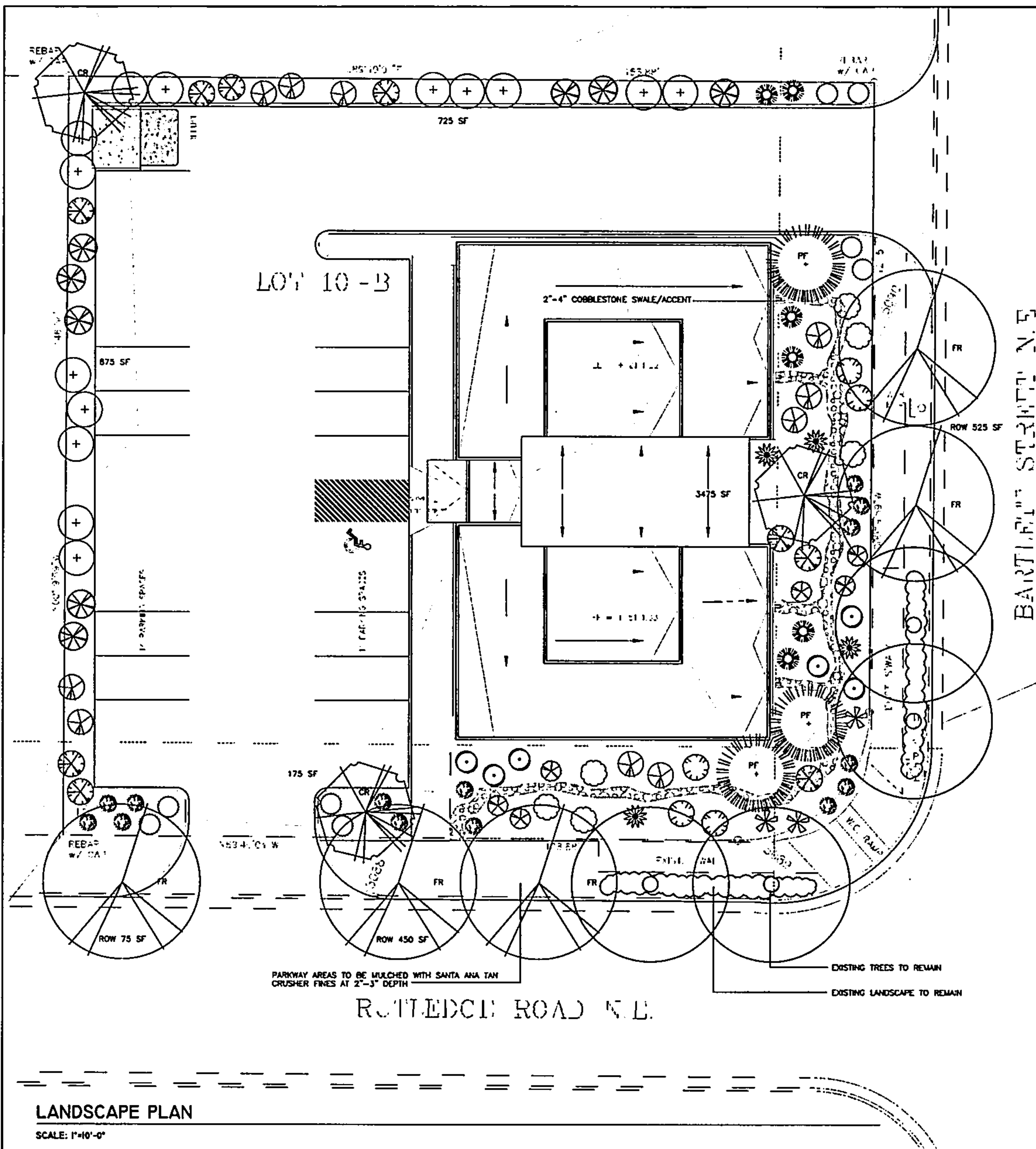
KCC
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

HLB
HAROLD L. BENNETT
P.E.

JOB TITLE: JOURNAL CENTER LOT 10B		
REVISION:	FILE NAME	JOB NO.
01		04-19-06
SHEET TITLE: GRADING PLAN		DRAWN BY: PW

C-1





PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
FR	5	FRAXINUS VELUTINA	MODESTO ASH	2" CAL	H
CR	3	CRATAEGUS CRUS-GALLI INERMIS	THORNLESS HAWTHORN	2" CAL	H
PF	3	PINUS FLEXILIS	LUMBER PINE	8'	M
+	14	ELAEAGNUS PUNGENS	SILVERBERRY	5 GAL	M
○	8	RHUS TRILOBATA PROSTRATA	CREEPING SUMAC	5 GAL	M
⊗	6	ARCTOSTAPHYLOS	MANZANITA	5 GAL	M
⊗	10	CERCOCARPUS LEDIFOLIUS	CL. MTN. MAHOGANY	5 GAL	L
⊗	8	FALLUGIA	APACHE PLUME	5 GAL	M
○	6	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL	M
⊗	5	LEUCOPHYLLUM	RAISAGE	5 GAL	M
⊗	6	COTONEASTER BUDIFOLIUS	GRAY COTONEASTER	5 GAL	M
⊗	9	RHUS TRILOBATA	3 LEAF SUMAC	5 GAL	M
⊗	3	YUCCA BACCATA	BANANA YUCCA	5 GAL	M
⊗	6	NOLINA	BEARGRASS	5 GAL	M
⊗	14	LAVANDULA	LAVENDER	1 GAL	M
⊗	4	JASMINUM	WINTER JASMINE	5 GAL	M

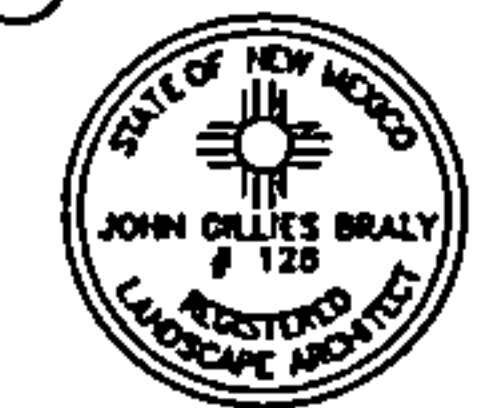
SITE DATA

GROSS LOT AREA	22,420 SF
LESS BUILDING(S)	5,656 SF
NET LOT AREA	16,764 SF
REQUIRED LANDSCAPE	
15% OF NET LOT AREA	2,515 SF
PROPOSED LANDSCAPE	5,250 SF
PERCENT OF NET LOT AREA	31%
REQUIRED PARKING LOT TREES	
1 PER 10 SPACES (25 SPACES)	3
REQUIRED TREES	3
PROPOSED TREES	3 MIN.

PLANTING RESTRICTIONS APPROACH
 A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE
 MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH RP BACKFLOW PREVENTER
 PLANTINGS IN ROW TO BE IRRIGATED BY CONNECTING TO JC2 COMMON AREA IRRIGATION SYSTEM
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH 3/4" SANTA ANA TAN GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

HeadsUp
 LANDSCAPE CONTRACTORS
 7525 SECOND ST. NW
 ALBUQUERQUE, NM
 (505) 898-9615
 LICENSE 18690
 www.headsuplandscape.com



KCC FINAL APPROVAL SET
 DESIGN COLLABORATIVE
 THE ART AND SCIENCE OF MODERN BUILDINGS



HLB
 HAROLD L. BENNETT
 P.E.

JOB TITLE:
JOURNAL CENTER LOT 10B

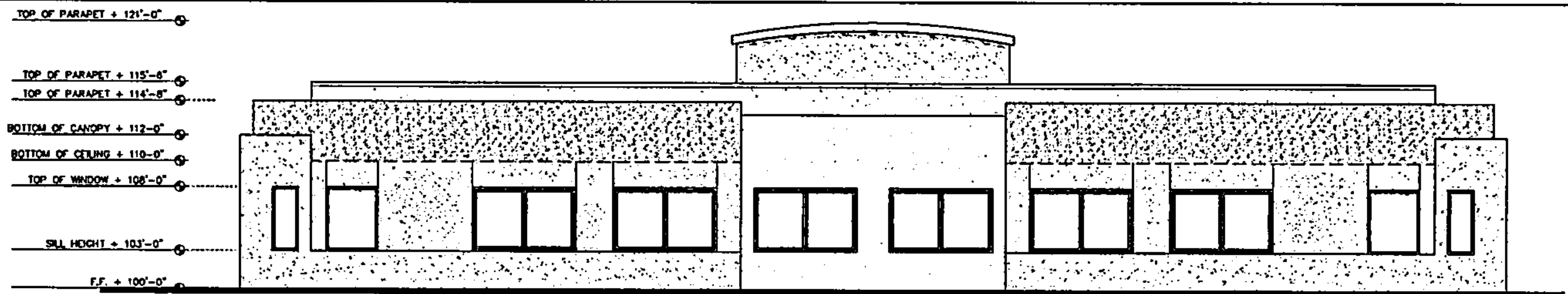
REVISION:	FILE NAME	JOB NO.	DATE
			03-04-05

SHEET TITLE:
 LANDSCAPE PLAN

DRAWN BY
J.C.

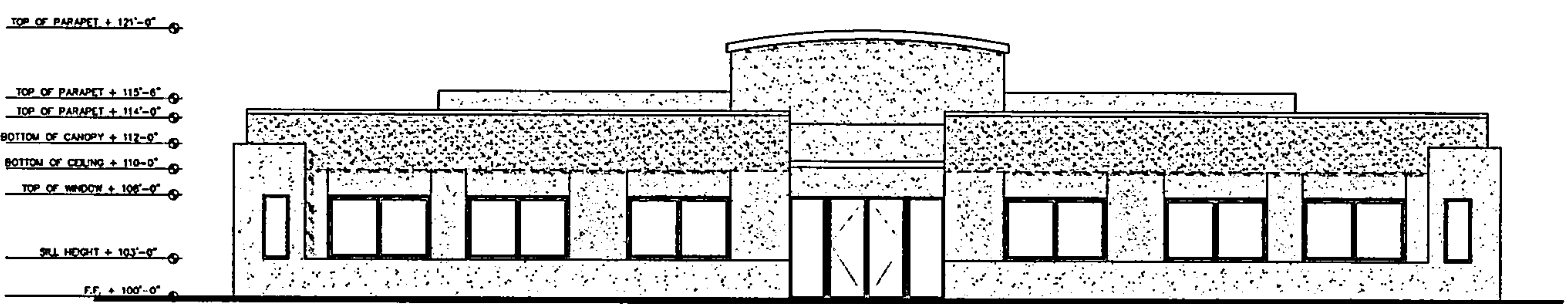


LANDSCAPE PLAN
 SCALE: 1"=10'-0"



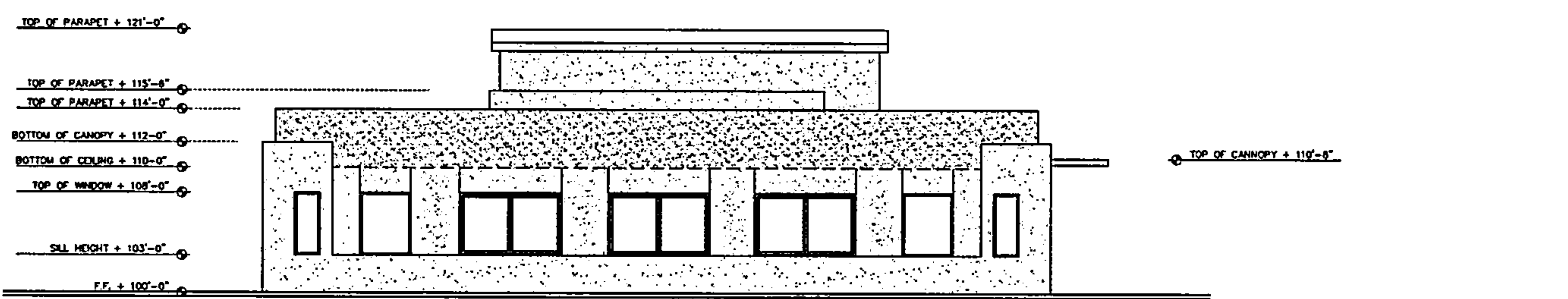
EAST ELEVATION

SCALE: 3/16"=1'-0"



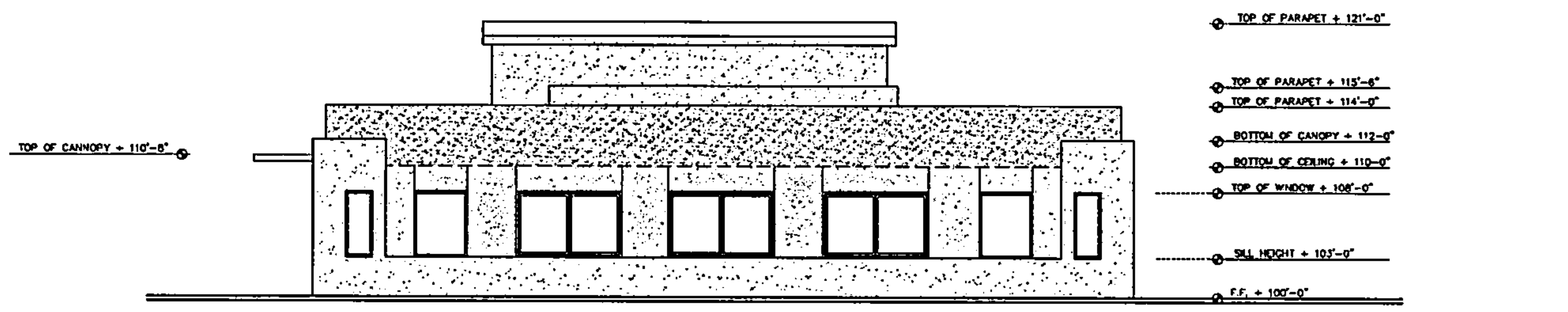
WEST ELEVATION

SCALE: 3/16"=1'-0"



NORTH ELEVATION

SCALE: 3/16"=1'-0"



SOUTH ELEVATION

SCALE: 3/16"=1'-0"

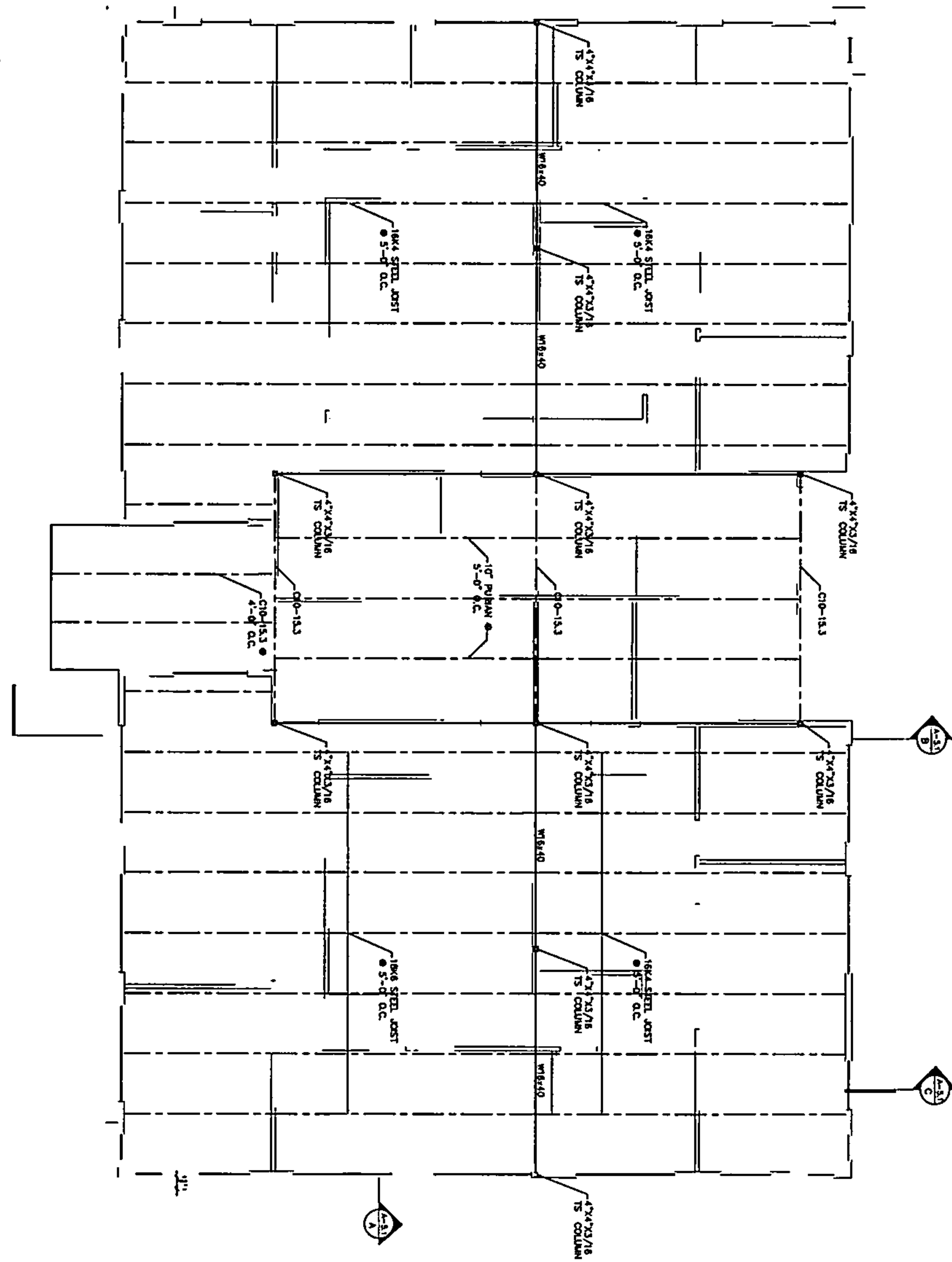
FINAL APPROVAL SET

KCC DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

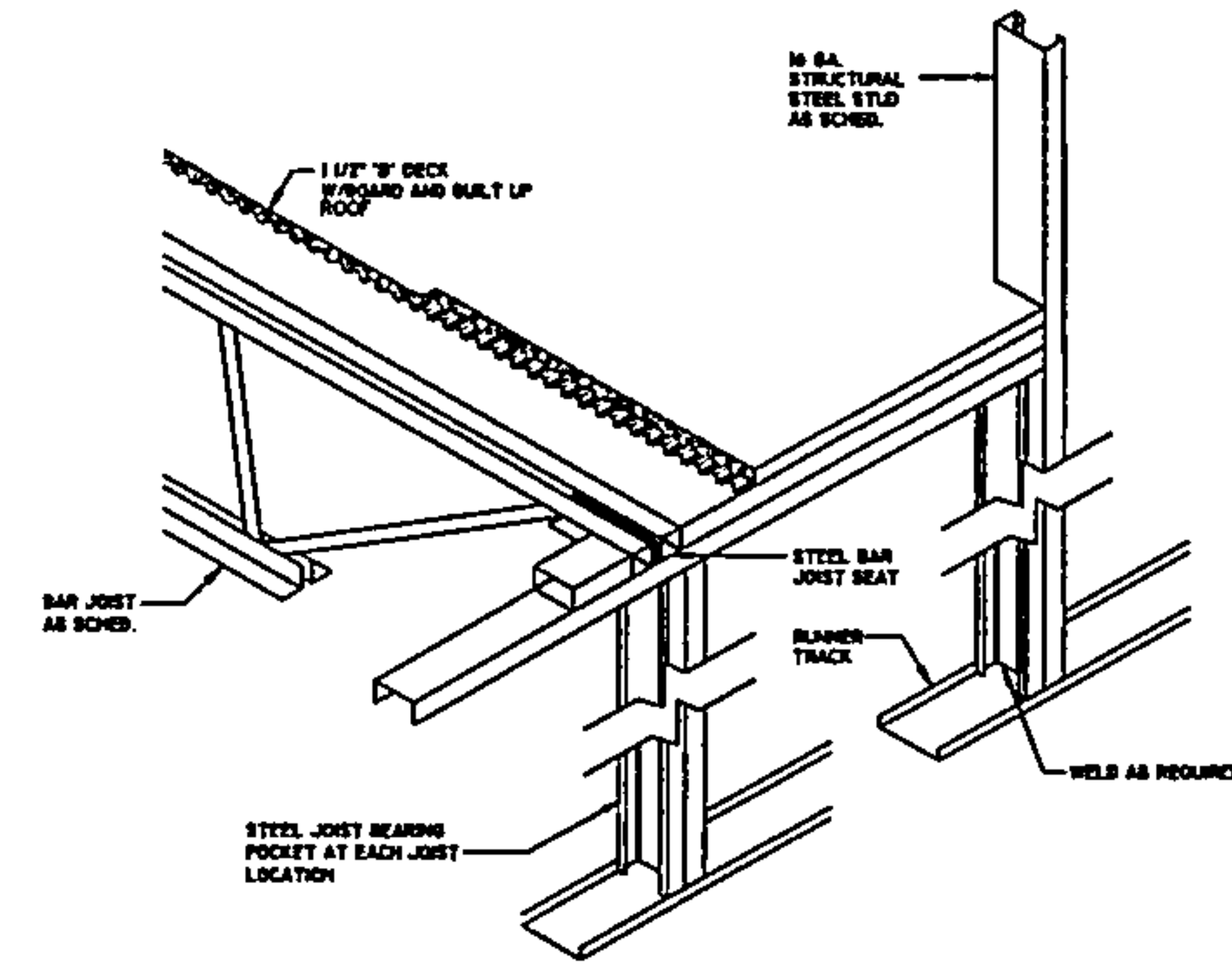
JOB TITLE: JOURNAL CENTER LOT 108		
REVISION:	FILE NAME	JOB NO.
		03-8-08
SHEET TITLE: SCHEMATIC ELEVATIONS		DRAWN BY: R

A-3

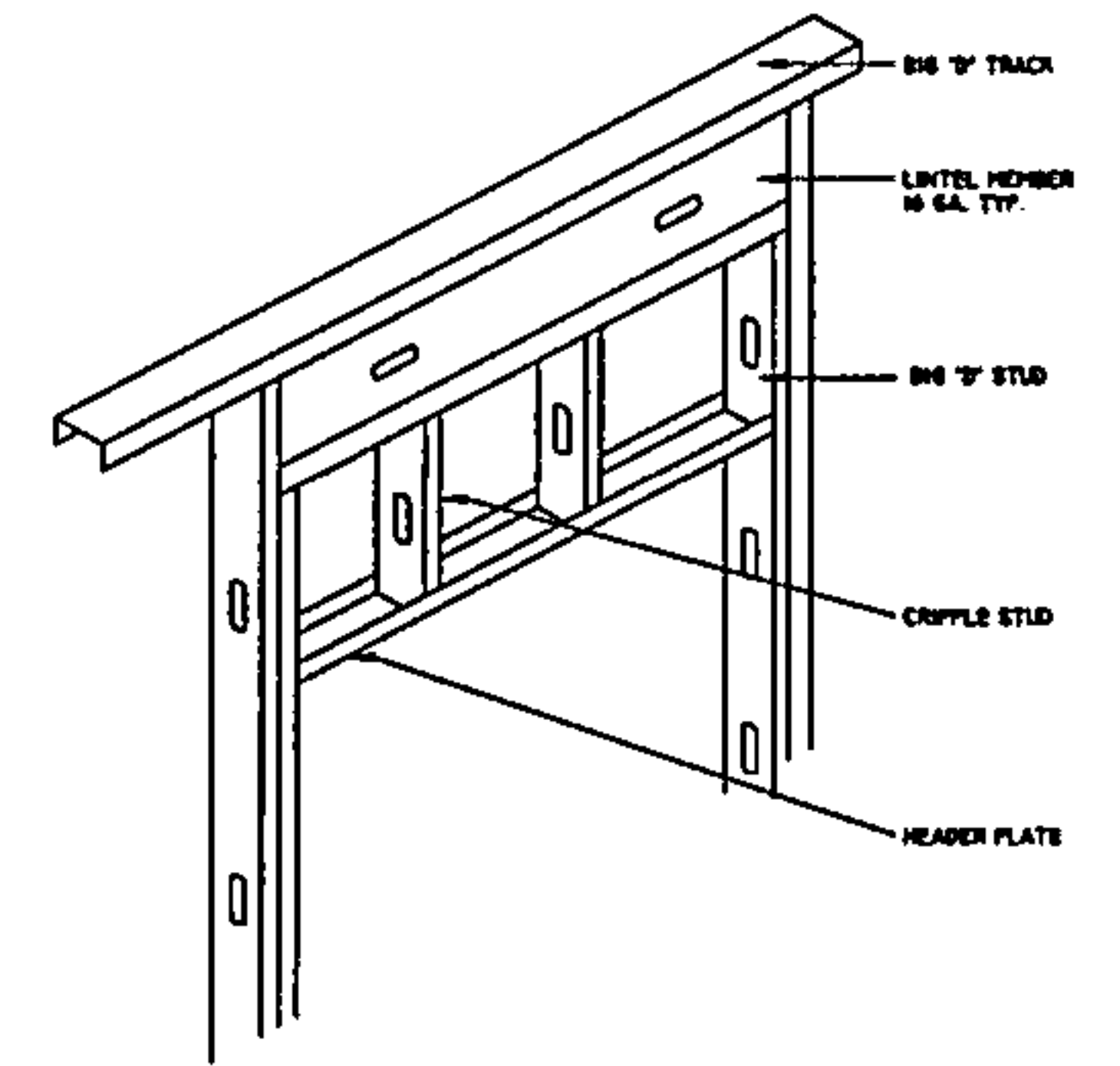




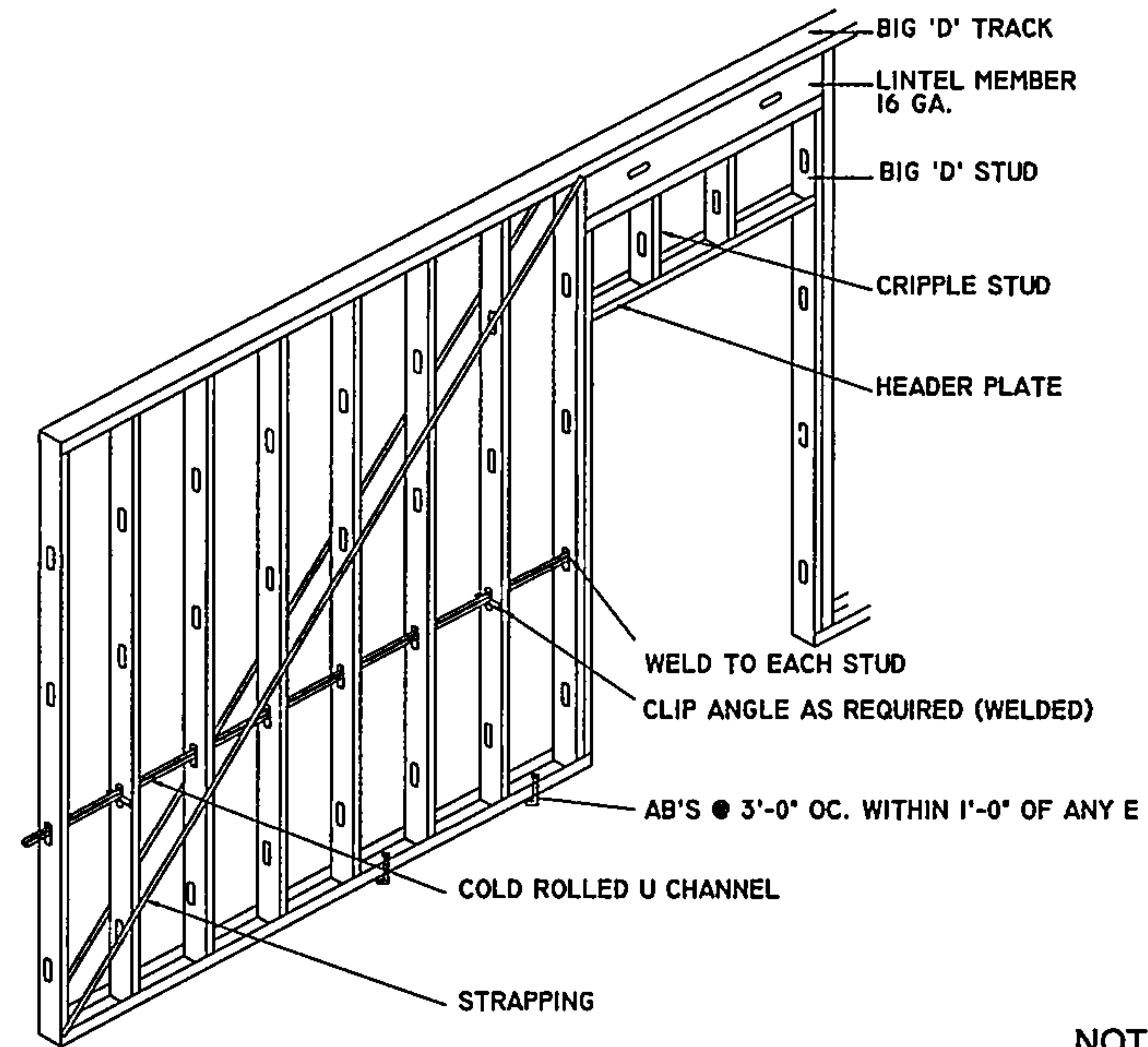
FRAMING PLAN
SCALE: 3/16"=1'-0"



EXTERIOR STEEL FRAME BEARING DETAIL
SCALE: 1/2"=1'-0"



LOAD BEARING HEADER DETAIL. TYP.
SCALE: 1/2"=1'-0"



LOAD BEARING HEADER DETAIL. TYP.
SCALE: 1/2"=1'-0"

NOT FOR CONSTRUCTION
NOTE: FF + 100'-0" • EL. +38.75 ANSL.

KICC
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

HLB
HAROLD L. BENNETT
P.E.

JOB TITLE: JOURNAL CENTER LOT 108			
REVISION: 02-07-09	FILE NAME S-PAGE	JOB NO. 02-07-09	DATE 02-07-09
SHEET TITLE: FRAMING PLAN		DRAWN BY JD	

S-3

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W, 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER D-17

REFERRAL # _____

SITE ADDRESS _____

LEGAL DESCRIPTION: SUBJECT TRACT Journal Center Phase 2
Unit 1 lot 10 B

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 2

INSTANTANEOUS FLOW REQUIRED 2030 GPM

SQUARE FOOTAGE - LARGEST BUILDING 5741

TYPE CONSTRUCTION V-B

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2

DATE: 4-13-05

FIRE DEPARTMENT INSPECTOR: Ronald C. Sanchez

RECEIVED BY: [Signature] TELEPHONE: 602-323-7441

NOTES:

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPACITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPONSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL YELLOW - FILE

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print)

Applicant signature / date



Form revised October 2004

Checklists complete Application case numbers

Fees collected _____

Case #s assigned _____

Related #s listed _____

Project #

Planner signature / date

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME CRAIG Corp
 AGENT John Klee
 ADDRESS _____
 PROJECT & APP # 1002865/05DRB00711
 PROJECT NAME Journal Cntr Ph 2

\$ 20.00 441032/3424000 Conflict Management Fee
 \$ 385.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 405.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

CRAIG CORPORATION KEYSTONE HOMES P.O. BOX 94030 ALBUQUERQUE, NEW MEXICO 87199-4030 (505) 821-3379		3709 95-7242/3070 DATE <u>April 19, 2005</u>
CHANGED TO THE ORDER OF J24 Misc CK Trans Amt Activity Account Receipt # 4/27/2005 11:39AM	City of Albuquerque City of Albuquerque CHARTER BANK FOR SAVINGS FSB 2130 ELBANK, N.E. ALBUQUERQUE, NM 87112	\$*405.00* ***DUPLICATE*** City of Albuquerque Treasury Division 4/27/2005 11:39AM LOC: ANNX RECEIPT# 00039/04 WSH 008 TRANS# 0013 Account 441032 Fund 0112 Activity 3424000 TRSCCS Trans Amt \$405.00 J24 Misc \$20.00
FOR \$405.00 \$385.00 \$405.00 \$0.00	***DUPLICATE*** City of Albuquerque Treasury Division 4/27/2005 11:39AM LOC: ANNX RECEIPT# 00039/04 WSH 008 TRANS# 0013 Account 441032 Fund 0112 Activity 3424000 TRSCCS Trans Amt \$405.00 J24 Misc \$20.00	\$*405.00* ***DUPLICATE*** City of Albuquerque Treasury Division 4/27/2005 11:39AM LOC: ANNX RECEIPT# 00039/04 WSH 008 TRANS# 0013 Account 441032 Fund 0112 Activity 3424000 TRSCCS Trans Amt \$405.00 J24 Misc \$20.00

Thank You

JOB

Revised: 1/10/2005

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

[Handwritten Signature]
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
 1.0 - 5.0 acres 1" = 20'
 Over 5 acres 1" = 50'
 Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT *CHECKLIST* Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures
- B. Square footage of each structure and building footprint (if different from total square footage)
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, including location.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: _____ provided: _____
 Handicapped spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: _____
 provided: _____
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Bus facilities, including routes, bays and shelters existing or required

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT *CHECKLIST* Revised: 1/10/2005

4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Method for meeting Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT *CHECKLIST* Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and "common name" colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

<p style="text-align: right;">Supplemental form</p> <p>SUBDIVISION S</p> <p><input type="checkbox"/> Major Subdivision action</p> <p><input checked="" type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation V</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN P</p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC) L</p>	<p style="text-align: right;">Supplemental form</p> <p>ZONING & PLANNING Z</p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Subdivision Regulations)</p> <p>APPEAL / PROTEST of... A</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: TIBURON INVESTMENTS, LLC PHONE: 823-9360

ADDRESS: 13000 ACADEMY NE FAX: 823-9611

CITY: ALBUQUERQUE STATE NM ZIP 87111 E-MAIL: _____

Proprietary interest in site: OWNER

AGENT (if any): BOHANNAN HUSTON INC. PHONE: 823-1000

ADDRESS: 7500 JEFFERSON NE FAX: 798-7988

CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: PRELIMINARY/FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 10-A, 10-B, 15-A, 15-B Block: _____ Unit: _____

Subdiv. / Addn. JOURNAL CENTER PHASE 2 UNIT 2

Current Zoning: IP Proposed zoning: _____

Zone Atlas page(s): D-17 No. of existing lots: 2 No. of proposed lots: 4

Total area of site (acres): 2.2008 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. 101706310220830120 101706310220830120 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: RUTLEDGE ROAD NE

Between: MASTHEAD ST. NE and BARTLETT ST NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): DRB-95-268
1000633/02DRB-01598, 01440-00277

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE Bruce Stidworthy DATE 8/5/03

(Print) BRUCE STIDWORTHY Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

<p><input checked="" type="checkbox"/> INTERNAL ROUTING</p> <p><input type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input checked="" type="checkbox"/> F.H.D.P. density bonus</p> <p><input type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>03DRB - 01304</u> Action <u>PaFP</u> S.F. <u>513</u> Fees <u>\$425⁰⁰</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Hearing date <u>Aug. 13th 03</u></p>	<p>Total <u>\$425⁰⁰</u></p>
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Baker 8/5/03
Planner signature / date

Project # 1002865

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT **YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule) $425.00 \quad 45 + 70 \times 4 = 425$
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes) **Your attendance is required.**

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

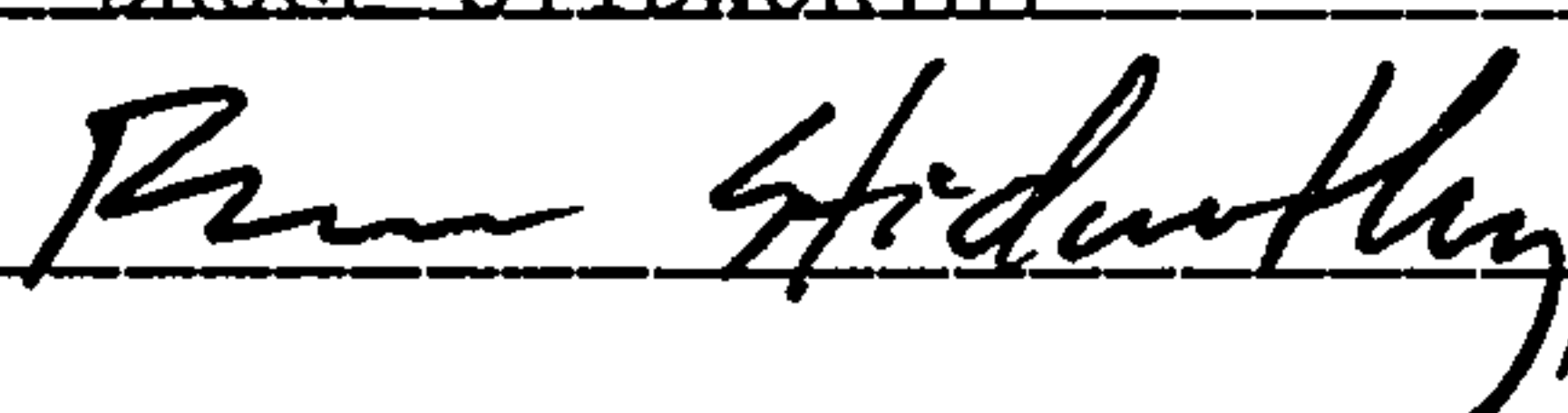
AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

BRUCE STIDWORTHY
 Applicant name (print)

 Applicant signature / date

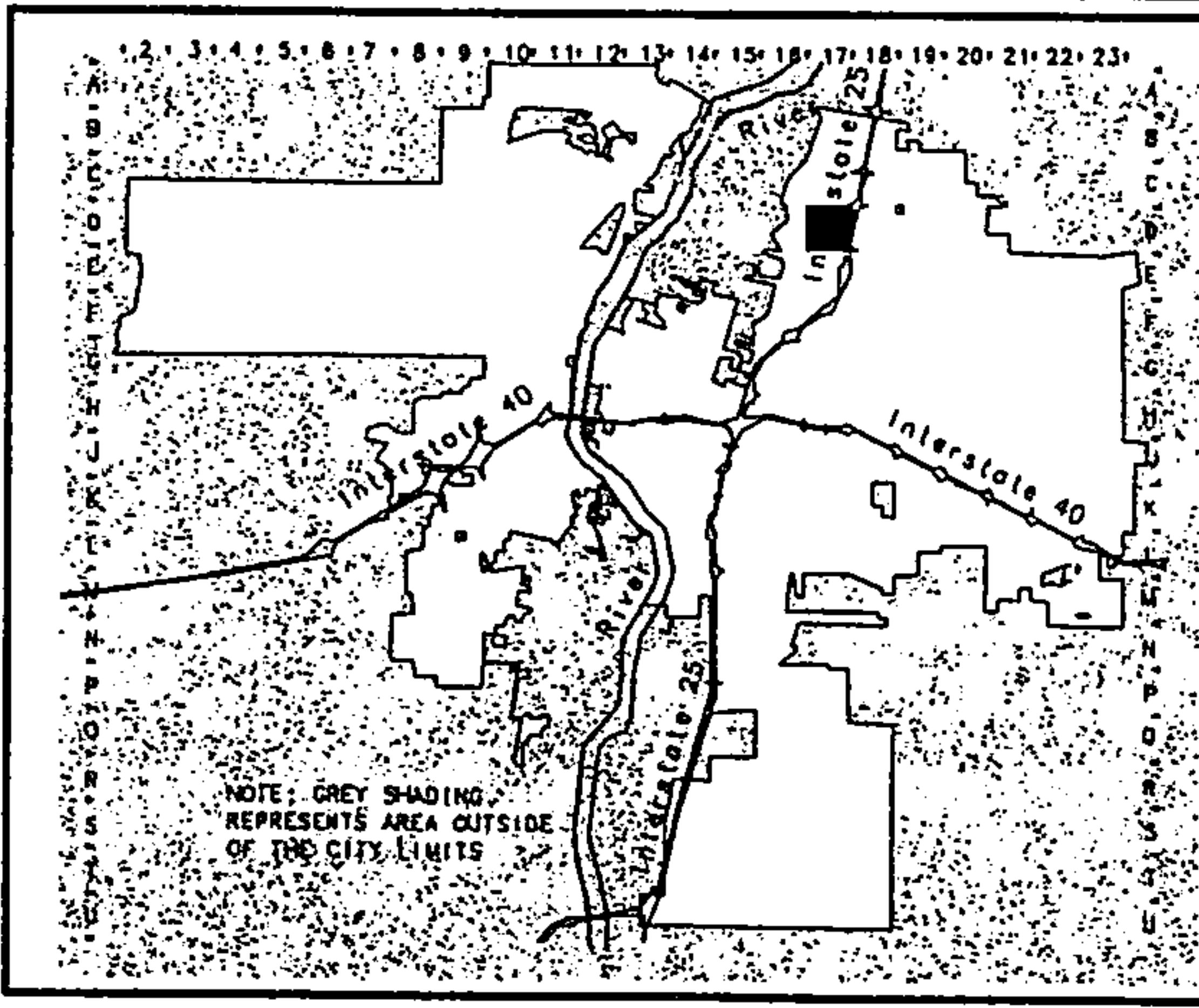
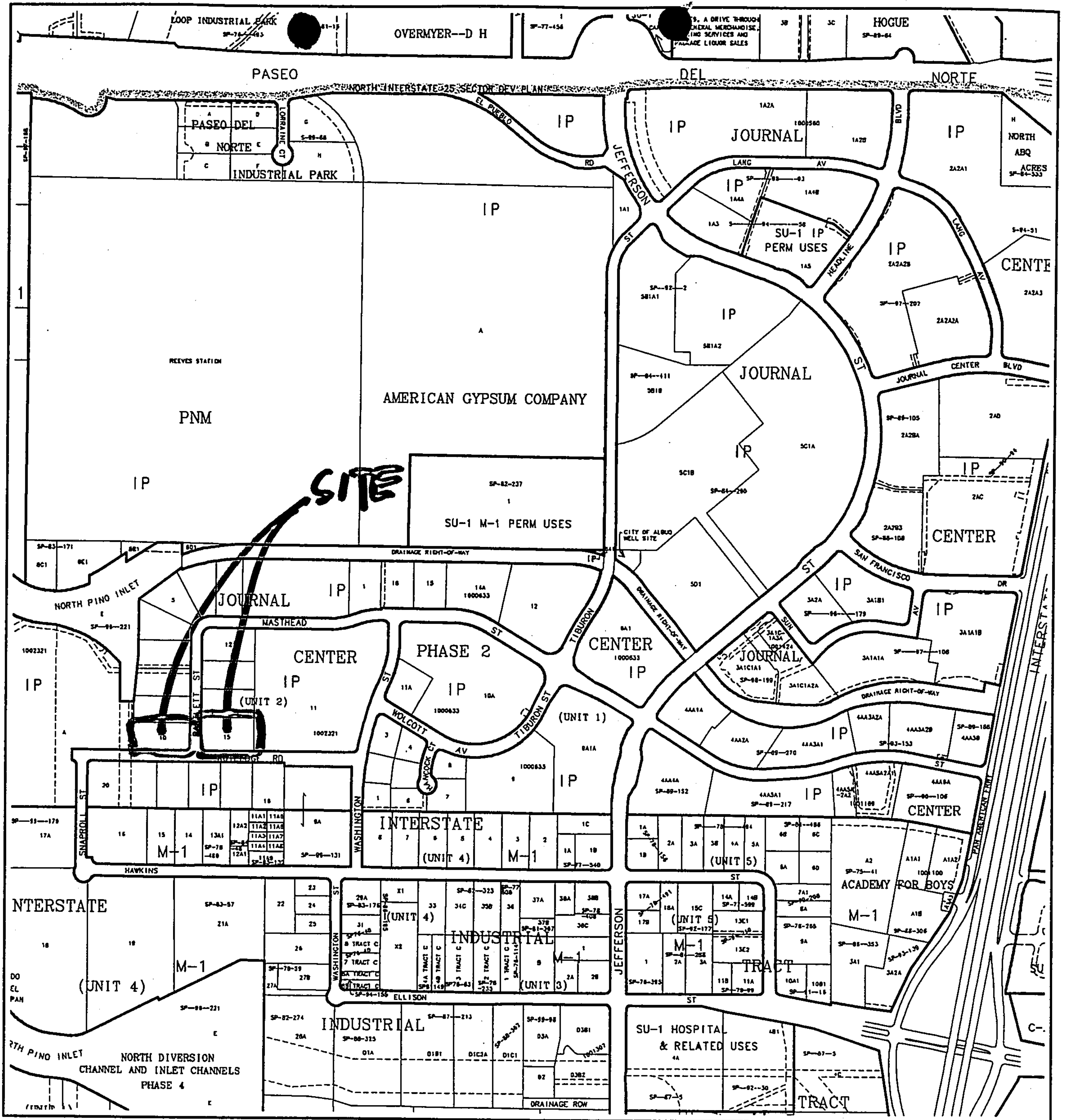


Form revised MARCH 2003

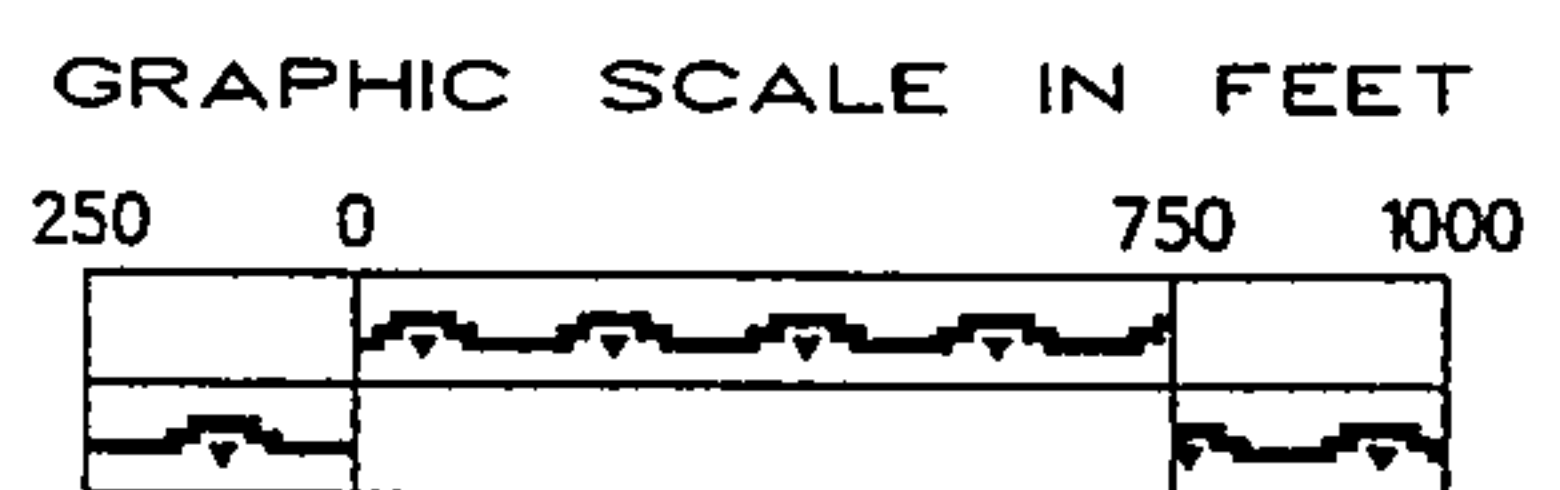
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
03DRB-01304

Beal West 8/5/03
 Planner signature / date
Project # 1002865



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
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Zone Atlas Page
D-17-Z
Map Amended through July 10, 2003

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

August 5, 2003

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Preliminary/Final Plat Approval
Journal Center Phase 2, Unit 2 Lots 10-A, 10-B, 15-A, 15-B
DRB#1000633

Dear Sheran:

Enclosed for review and approval by the Development Review Board (DRB) are copies of the following information:

- Development Review Applications
- Fee on the amount of \$ 425.00
- Six (6) copies of the Preliminary/Final Plat, and
- Zone Atlas Map showing the location of the property
- Letter briefly describing the request

The purpose of this plat is to subdivide lots 10 & 15 to create 4 smaller lots. This subdivision is being made to respond to market conditions.

Please place this item on the DRB Agenda to be heard on August 13, 2003. If you have any questions or require additional information, please contact me.

Sincerely,



Bruce Stidworthy, P.E.
Project Manager
Community Development and Planning Group

Cc: Jack Eichorn

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol -2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME TIBURON INVEST, LLC
AGENT BOHANNAN HUSTON INC.
ADDRESS 7500 JEFFERSON ST. NE.
PROJECT NO. 1002865
APPLICATION NO. 03DRB-01304

\$ 425⁰⁰ 441006 / 4983000 (DRB Cases)
\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ _____ 441018 / 4971000 (Notification)

\$ 425⁰⁰ **Total amount due**

Bohannan  Huston INC.

COURTYARD I, 7500 JEFFERSON STREET NE
ALBUQUERQUE, NM 87109-4335
505.823.1000

BANK OF AMERICA
ALBUQUERQUE, NEW MEXICO

95-32 / 1070

127673

8/5/2003

NO. 127673

PAY *****425 DOLLARS & *****00 CENTS \$ *****425.00

BOHANNAN-HUSTON INC
City Of Albuquerque
Treasury Division

TO THE ORDER OF
CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE, NM 87103 US

08/07/2003 AUTHORIZED SIGNATURE
X 1032811 LUC: ANN
RECEIVED 00010162 AUTHORIZED SIGNATURE

⑈ 127673 ⑈ ⑆ 107000327⑆ 002865399404⑈ Fund 0000
Activity 4983000 TSSLJS
Trans Amt \$425.00
J24 Misc 10/28/02 \$425.00
CX \$425.00
CHANGE \$0.00