



DRB CASE ACTION LOG (Preliminary & final plat)

This sheet **must** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 10DRB-70338	Project # 1002934
Project Name: <i>Walgreens addition</i>	
Agent: <i>Isaacson & Arfman</i>	Phone No.:

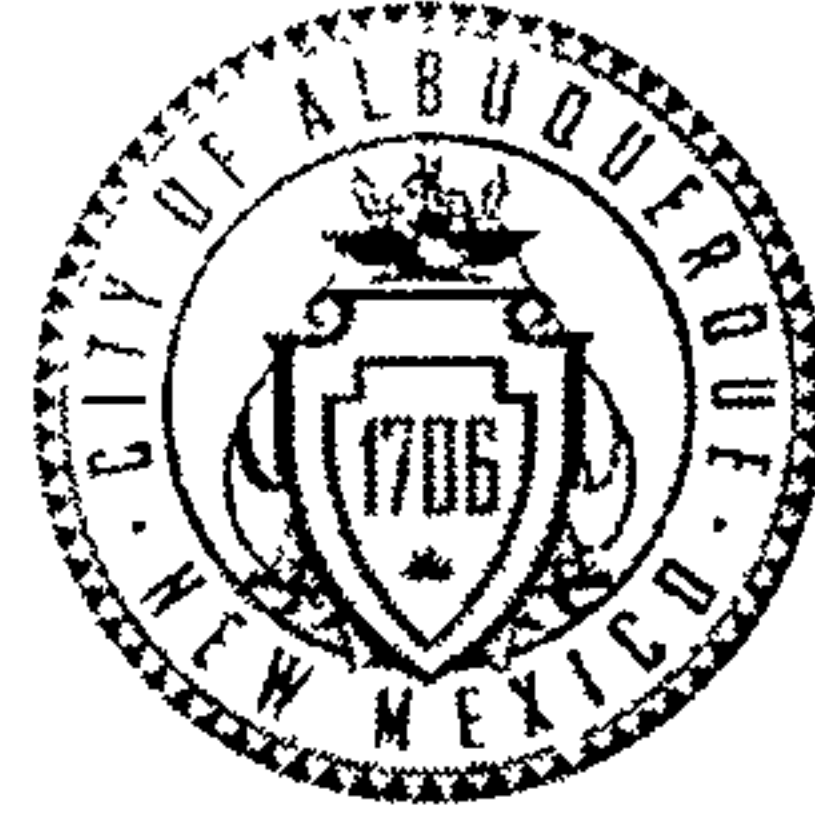
Your request was approved on 12-8-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

- TRANSPORTATION:** *Exhibit RE: R-O-W improvement*
- ABCWUA:**
- CITY ENGINEER / AMAFCA:**
- PARKS / CIP:**
- PLANNING (Last to sign):** *- need a copy of AA for file*
- dal

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**



DEVELOPMENT REVIEW BOARD
Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 8, 2010 9:00 AM
MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department
Angela Gomez, Administrative Assistant

Kristal Metro, P.E., Transportation Development **Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA**
Brad Bingham, P.E., Hydrology/ Alternate City Engineer **Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION

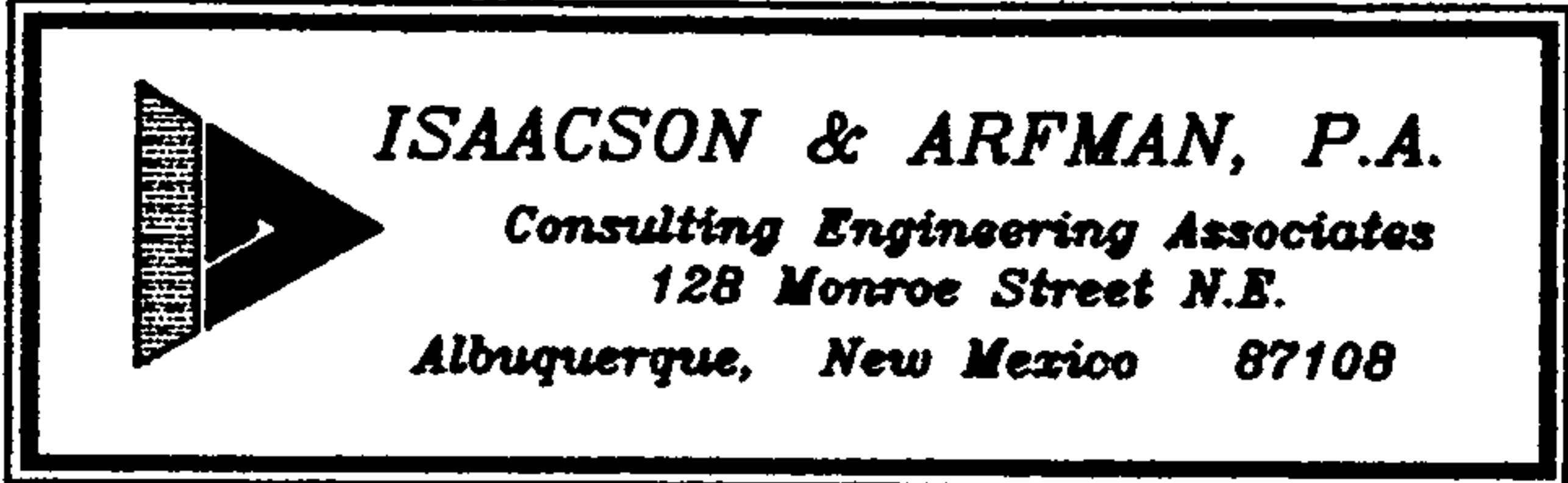
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1008575**
10DRB-70316 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DWL ARCHITECTS agent(s) for HB CONSTRUCTION request(s) the referenced/ above action(s) for all or a portion of Lot(s) B-2-C-1A, **WASHINGTON BUSINESS PARK**, zoned SU-2/ M-1, located on WASHINGTON PL NE west of WASHINGTON ST NE between ALAMEDA BLVD NE and PASEO DEL NORTE NE containing approximately .8398 acre. (C-17) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR ENFORCEMENT COMMENTS.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

- 2. Project# 1002934**
10DRB-70338 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL
ISAACSON AND ARFMAN PA agent(s) for FOURTH ST AND MENAUL, INC request(s) the above action(s) for all or a portion of Lot(s) 1A, **WALGREEN ADDITION (TBKA LOTS 1A1 &1A2, WASGREEN ADDITION)**, zoned C-2, located on MENAUL BLVD NW BETWEEN 2ND ST NW AND 4TH ST NW containing approximately 10.7027 acre(s). (H-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR EXHIBIT SHOWING RIGHT-OF-WAY IMPROVEMENTS AND TO PLANNING FOR A COPY OF ADMINISTRATIVE AMENDMENT FOR THE FILE, AND AGIS DXF.**

Letter of Transmittal



To: DRB CHAIR Date: 12.08.10
PLANNING DEPT Job No. _____
CITY OF ALBUQ.

Attn: JACK CLOUD

Reference: WALGREENS ADDITION, 10 DRB-70338
PROJ. NO. 1002934

We transmit to you 2 copy(ies) of the following:

- | | | | |
|-------------------------------------|--|--------------------------|----------------|
| <input type="checkbox"/> | _____ Plats | <input type="checkbox"/> | Specifications |
| <input checked="" type="checkbox"/> | <u>APPROVED AA (SDP) Plans (SHT 1)</u> | <input type="checkbox"/> | Submittals |
| <input type="checkbox"/> | _____ Disks | <input type="checkbox"/> | Shop Drawings |
| <input type="checkbox"/> | _____ Report | <input type="checkbox"/> | Copy of Letter |
| <input type="checkbox"/> | _____ | | |
| <input type="checkbox"/> | _____ | | |

This information is transmitted:

- | | |
|---|--|
| <input checked="" type="checkbox"/> As per your request | <input checked="" type="checkbox"/> For your files |
| <input type="checkbox"/> For your review & approval | <input checked="" type="checkbox"/> For your use |
| <input type="checkbox"/> For your information | <input type="checkbox"/> Please review & return |
| <input type="checkbox"/> For your attention | <input type="checkbox"/> For return to your files |
| <input type="checkbox"/> For your signature | <input type="checkbox"/> Please advise |
| <input type="checkbox"/> | |
| <input type="checkbox"/> | |

Remarks: JACK, I HAD THIS COPY IN MY FILE BUT
DID NOT REALIZE THAT IT WAS REDUCED.

By: FRED ARFMAN Copies to: _____

HEARING DATE: 12-8-10 (F&F)

**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 10, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:05 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000376**
04DRB-00206 Major-Two Year SIA

TIERRA WEST LLC agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) 1-117 and Lot(s) 1-35, Unit 2, **PARADISE SKIES, UNITS 1 & 2**, zoned R-T residential zone, located on BANDELIER DR NW, between MCMAHON BLVD NW and UNSER BLVD NW containing approximately 29 acre(s). [REF: DRB-94-107, 00DRB-00391, 00DRB-00908, 02DRB-00034, 03DRB-00113, 03DRB-00188] (A-11) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED. THIS WILL BE THE LAST EXTENSION. AGENT AGREED.**

2. **Project # 1000419**
04DRB-00207 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST NM 2000-02 NM, request(s) the above action(s) for all or a portion of Lot(s) 1B-1-A, 1B-1-B-1 and 1B-1-C-1, **RENAISSANCE CENTER**, zoned SU-1 FOR AUTO SALES & C-1 USE, located on RENAISSANCE BLVD NE, between MONTANO RD NE and UNION WAY RD NE containing approximately 3 acre(s). [REF: 02500-00165/00164, 02AA0-00814, 03DRB-00590] (F-16) **AN EXTENSION OF THE SIA WAS APPROVED TO JANUARY 8, 2005.**

3. **Project # 1000122**
04DRB-00174 Major-Vacation of Public Easements
04DRB-00173 Minor-Extension of Preliminary Plat
04DRB-00175 Minor-Vacation of Private Easements

KIM KEMPER, agent(s) for HIGH LONESOME RANCH request(s) the above action(s) for all or a portion of Tract(s) 1A AND 1C, EDEN LANDS (to be known as **HIGH LONESOME RANCH SUBDIVISION**, zoned RA-1 AND SU-1 for O-1 located on GABALDON RD NW, between MOUNTAIN RD NW and I-40 NW containing approximately 21 acre(s). [REF: DRB-98-146, Z-98-70, AX-98-8, 03DRB-00184, 00185 and 00186] [*Deferred from 3/3/04*] (H-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: M.R.G.C.D. SIGNATURE IS REQUIRED PRIOR TO CITY ENGINEER'S SIGN OFF. AN INFRASTRUCTURE LIST DATED 3/10/04 WAS APPROVED. VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1002711**
04DRB-00171 Major-Preliminary Plat
Approval
04DRB-00172 Minor-Temp Defer
SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-12 AND 21-26, Block(s) 27, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B, (to be known as **OAKLAND ESTATES**) zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK AVE NE, between SAN PEDRO BLVD NE and LOUISIANA BLVD NE containing approximately 11 acre(s). [REF: 03EPC-00907 & 00908, 03EPC-00915, 04DRB-00067, 1003099] *[Deferred from 3/3/04]* (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/10/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/28/04 THE PRELIMINARY PLAT WAS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1000650**
04DRB-00277 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for WALMART STORES INC request(s) the above action(s) for all or a portion of Lot(s) 1-A, **LANDS OF LAMONICA & WENK**, zoned SU-1, C-1 PERMANENT USES, located on COORS BLVD SW, between RIO BRAVO BLVD SW and LAMONICA RD SW containing approximately 21 acre(s). [REF: AX-88-7, Z-99-78, 03EPC-00905, 00907, 03DRB-01906] [**Carmen Marrone, EPC Case Planner**] *[Deferred from 3/10/04]* (P-10) **DEFERRED AT THE AGENT'S REQUEST TO 3/24/04.**

6. **Project # 1001206**
04DRB-00273 Minor-SiteDev Plan
Subd/EPC
04DRB-00272 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES, agent(s) for ENTERPRISE RENTAL CAR request(s) the above action(s) for all or a portion of Tract(s) 2-A-2B, **BLACK RANCH**, zoned SU-1 FOR C-1, located on COORS BLVD NW, between PASEO DEL NORTE NW and VALLEY VIEW PL NW containing approximately 1 acre(s). [REF: 03EPC-00697, 03EPC-00698] [Debbie Stover, EPC Case Planner] (C-13) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EPC CASE PLANNER COMMENTS. SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO PROVIDE DOCUMENT NUMBER AND PAGE FOR 30-FOOT PRIVATE EASEMENT, TO PROVIDE DIMENSIONS FOR ADA PARKING AND SIDEWALK, TO PROVIDE WIDTH FOR ENTRANCE WIDTH DETAIL FOR 8-FOOT RAISED CROSSWALK AND INFRASTRUCTURE LIST SENTENCE ON SIGNATURE BLOCK.**

7. **Project # 1002796**
03DRB-02022 Minor-SiteDev Plan
BldPermit/EPC
03DRB-02024 Minor-SiteDev Plan
Subd/EPC

RMKM ARCHITECTURE agent(s) for ALBUQUERQUE FIRE DEPARTMENT, request(s) the above action(s) for all or a portion of Lot(s) 8-11, **KAY ADDITION** and Lots 8-10, Block(s) 4, **LOMA VERDE ADDITION**, zoned SU-1 & C-1, located on DALLAS NE, between CHARLESTON ST. NE and CHICO RD. NE containing approximately 1 acre(s). [REF:03EPC01099,01100,01101] [Debbie Stover, EPC Case Planner] [*Deferred from 2/25/04 & 3/10/04*] (K-19) **DEFERRED AT THE AGENT'S REQUEST TO 3/17/04.**

8. **Project # 1003102**
04DRB-00236 Minor-SiteDev Plan
BldPermit/EPC

SM & R GROUP request(s) the above action(s) for all or a portion of Lot(s) 12 & 14, **ESQUIBEL - PALMER**, zoned SU-1 PRD, located on LA GRIMA DE ORO RD NE, between JUAN TABO NE and MORRIS NE containing approximately 2 acre(s). [REF: V 84-77, Z-85-103, Z-85-102-1, 03EPC-01925, 03EPC-01929] **[Makita Hill, EPC Case Planner]** *[Deferred from 3/3/04]* (F-21) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

9. **Project # 1002333**
04DRB-00209 Minor-SiteDev Plan
BldPermit/EPC

DEKKER/PERICH/SABATINI agent(s) for THE BARRETT FOUNDATION request(s) the above action(s) for all or a portion of Block(s) 10A, Tract(s) C-1-A-2, **BELLAMAH'S PRINCESS JEANNE PARK ADDITION**, zoned C-1, located on CONSTITUTION AVE NE, between EUBANK NE and MARY ELLEN ST NE containing approximately 2 acre(s). [REF: 1002333, 02EPC-01691, 02EPC-01693, Z-870, DRB-94-619] **[Cynthia Borrego, EPC Case Planner]** *[Deferred from 2/25/04 & 3/3/04]* (J-21) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND DELEGATED TO PLANNING FOR CYNTHIA BORREGO'S INITIALS AND INFRASTRUCTURE LIST STATEMENT ON SIGNATURE BLOCK.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1002885**
04DRB-00244 Minor-Final Plat Approval
- JEFF MORTENSEN & ASSOCIATES, INC., agent(s) for DESERT RIDGE DEVELOPMENT LLC AND JASON & CINDY LYNN DASKALOS, request(s) the above action(s) for all or a portion of Lot(s) 10-24 AND 7-16, Easterly remaining portion of Lot 16, Block(s) 18 & 20, Unit(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 1, TRACT 3, (to be known as **OCOTILLO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, 4 DU/AC, located on HOLBROOK NE, CARMEL NE & HOLLY AVE NE, between ANAHEIM AVE NE and PASEO DEL NORTE containing approximately 24 acre(s). [REF: 03DRB-01354-01356, 02EPC-01353, 03DRB-01980, 01985] *[Deferred from 3/3/04]* (C-21) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
11. **Project # 1000570**
04DRB-00270 Minor-Sidewalk Waiver
- MARK GOODWIN & ASSOCIATES agent(s) for WESTLAND DEVELOPMENT CO. request(s) the above action(s) for all or a portion of Parcel A, **PARKWAY, UNIT 7** and Tract(s) A, **PAINTED SKY, UNIT 1**, Tract 95, Town of Atrisco Grant, Parkway, Unit 10, zoned R-D residential and related uses zone, developing area, located on W. OF UNSER BLVD NW, between GAVIN RD. NW and VINEMONT PL. NW [REF: DRB-95-94, S-98-5, S-98-62, Z-99-8, AX-99-2, 00410-00162, 00931 & 00933] (J-9) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

12. **Project # 1002633**
04DRB-00276 Minor-Prelim&Final Plat
Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for JAYEFF CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 20-24 & 9-13, Block(s) 10, Tract(s) 3 (to be known as **VENTURA PLACE SUBDIVISION**) Lots 2-A & 3-A, NORTH ALBUQUERQUE ACRES, UNIT 3, zoned SU-1 special use zone, located on BARSTOW ST NE, between VENTURA ST NE and BARSTOW ST NE containing approximately 6 acre(s). [REF: 03EPC-00693, EPC-00694 , 03EPC-01323] (C-20) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

13. **Project # 1002792**
04DRB-00278 Minor-Vacation of Private
Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Lot(s) 1-6, **COTTONWOOD CROSSING, PHASE 2**, zoned SU-1 FOR C-1 & REST. AND SU-1, O-1, located on COORS BLVD NW and SEVEN BAR LOOP NW containing approximately 10 acre(s). [REF: DRB-94-358, SRP5-98-37, DRB-90-361, DRB-98-61, 03EPC-01085, 01086, 03DRB-01780, 03DRB-2084, 04DRB-00184, 04AA-00222] (B-14) **VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

14. **Project # 1003273**
04DRB-00279 Minor-Vacation of Private
Easements

TIERRA WEST LLC agent(s) for ARC INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 5A-13A, **VISTA MOBILE HOME COMMUNITY**, zoned C-2 community commercial zone, located on CENTRAL AVE SW, between 94th STREET SW and 98th STREET SW containing approximately 2 acre(s). [REF:Z-85-93, V-85-44] (K-9) **WITHDRAWN AT AGENT'S REQUEST TO BE ADVERTISED.**

15. ~~Project # 1002934~~
04DRB-00271 Minor-Prelim&Final Plat
Approval

DE LA TORRE ARCHITECTS agent(s) for FOURTH STREET & MENAUL INC request(s) the above action(s) for all or a portion of Tract(s) 1A, Block(s) O, **WALGREEN ADDITION**, zoned C-2 (SC), located on MENAUL BLVD NW, between 4th ST NW and 2nd ST NW containing approximately 11 acre(s). [REF: 03AA0413] (H-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO RELOCATE FIRE HYDRANT (2ND & PROSPECT), ADD VALVES AT MENAUL, CUT AND CAP WATER LINE AT 2ND STREET AND WEST END OF PROSPECT AND PROPERTY MANAGEMENT'S SIGNATURE.**

04DRB-00274 Minor-Prelim&Final Plat
Approval

R. JOHN MARNEY request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 46, **FRANCISCAN ADDITION**, zoned M-1 light manufacturing zone, located on 2nd ST NW and PROSPECT NW, between I-40 and MENAUL NW containing approximately 1 acre(s). (H-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO RELOCATE FIRE HYDRANTS, ADD VALVES AT MENAUL, CUT AND CAP WATER LINE AT 2ND STREET AND ON WEST END OF PROSPECT.**

16. **Project # 1003258**
04DRB-00205 Minor-Prelim&Final Plat
Approval

PHILIP W. TURNER agent(s) for SALVADOR PEREZ request(s) the above action(s) for all or a portion of Lot(s) 280 B, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned R-T residential zone, located on 55TH ST NW, between BICE RD NW and JUNIPER RD NW containing approximately 1 acre(s). [REF: DRB-97-205] [*Deferred from 2/25/04 & 3/10/04*] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 3/24/04.**

17. **Project # 1002992**
03DRB-02138 Minor- Final Plat Approval

WAYJOHN SURVEYING INC. agent(s) for WEST EIGHT LTD. request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 5, **ORIGINAL TOWNSITE OF WESTLAND**, zoned C-2 community commercial zone, located on 86th ST SW, between BRIDGE BLVD SW and CENTRAL AVE SW containing approximately 2 acre(s). [REF: 03DRB-01623] *[Final Plat was indefinitely deferred]* (K-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

18. **Project # 1001347**
04DRB-00245 Minor-Final Plat Approval

ISAACSON & ARFMAN agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Tract(s) D1B, ALBUQUERQUE SOUTH (to be known as **EL RANCHO GRANDE, UNIT 8B**) zoned R-LT residential zone, located on CARTAGENA / DE ANZA DR SW, between VALLEY VIEW DR SW and SNOW VISTA BLVD SW containing approximately 10 acre(s). [REF: 03DRB-1133 & 01134, 04DRB-00057, 04DRB-00115] *[Deferred from 3/3/04]* (M-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

19. **Project # 1002864**
04DRB-00242 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) B, LANDS OF MASSACHUSETTS GENERAL HOSPITAL, **CANTA CIELO SUBDIVISION**, zoned R-LT residential zone, located on IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 20 acre(s). [REF: 03DRB-01302, 03DRB-01487, 01488, 01490, 01491] *[Deferred from 3/3/04]* (A-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK

20. Approval of the Development Review Board Minutes for February 18, 2004. **DRB MINUTES FOR FEBRUARY 18, 2004 WERE APPROVED.**

ADJOURNED: 11:05 A.M.

AGIS ELECTRONIC PLAT APPROVAL FORM

DRB Project Case # 1002934

Subdivision Name Franciscan Addition

Surveyor Harris

Company/Agent _____

Contact Person John Marney Phone # 345-1205 email _____

DXF Received Date: 3-2-04

Hard-Copy Date: 3-2-04

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other

Barbara A. Rowen

3-2-04

Approved

Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only		
Copied cov <u>2934</u> to agiscov.	Date: <u>3-2-04</u>	Contact person Notified on: <u>on phone</u>

#15



DRB CASE ACTION LOG PART 2

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **04DRB-00274 (P&F)**

Project # **1002934**

Project Name: **FRANCISCAN ADDITION**

Agent: **R JOHN MARNEY**

Phone No.: **345-1205**

Your request for (SDP for SUB), (SDP for BP) **(FINAL PLATS)** (MASTER DEVELOP. PLAN), was approved on **3/19/04** by the DRB with delegation of signature(s) to the following departments
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____

- UTILITIES: *Relocate Fire Hydrant, add valves @ Manual cut & cap water line @ 2nd St & on W. end of Project.*
- _____
- Property Management's signature*

- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____
- _____

- PLANNING (Last to sign): _____
- _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required. OK**
- Copy of recorded plat for Planning.**

Project Number 1002934

#15



DRB CASE ACTION LOG

REVISED 2/5/04

(PART 1)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00271 (P&F)

Project # 1002934

Project Name: WALGREEN ADDITION

Agent DE LA TORRE ARCHITECTS

Phone No.: 883-7918

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3/10/04 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____

- UTILITIES: Relocate Fire Hydrant (2nd & Prospect) add Valves at Manual, Cut & Cap Water line @ 2nd & W. end of Prospect.
- _____
- Property Management's Signature

- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____
- _____

- PLANNING (Last to sign): _____
- _____
- _____
- _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1002934

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
March 10, 2004 Comments**

AGENDA ITEM # 15

PROJECT # 1002934

APPLICATION # 04-00271 & 00274

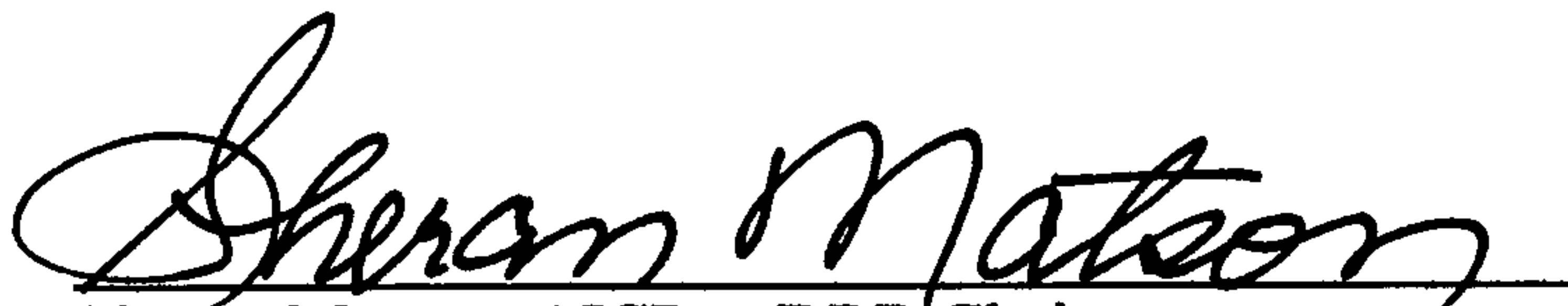
RE: Tract 1A, Block O, Walgreen Addition/2 minor plats

No objection to approval of either plat.

The Walgreen's Addition plat has not received AGIS dxf approval. This should occur before Planning signs the final plat. The Franciscan Addition plat has received this approval.

Property Management's signature is required on both plats before Planning signs the plat.

Planning will file both plats. Please contact Claire at 924-3946 to find out what documents & fees are necessary for filing to occur.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002934

AGENDA ITEM NO: 15

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: March 10, 2004



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

10-16-2003

5. Project # 1002934
03DRB-01445 Major-Vacation of Pub Right-of-Way

DE LA TORRE ARCHITECTS, agent(s) for FOURTH STREET & MENAUL INC., request(s) the above action(s) for all or a portion of Block(s) O, Tract(s) 1A, **WALGREEN ADDITION**, zoned C-2 (SC), containing approximately 11 acre(s). *[Deferred from 9/24/03 & 10/8/03]* (H-14)

At the October 15, 2003, Development Review Board meeting, the Vacation was approved as shown on Exhibit B in the Planning file, subject to these provisions:

1. The final plat will not be approved without acceptable evidence to Utilities Development showing that the existing water line across private property was either converted to private or cut and capped at 2nd Street and Menaul.
2. The public welfare is in no way served by retaining the rights-of-way and/or easements, or:
3. There is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation.
4. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.
5. Final disposition shall be through the City Real Estate Office.
6. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by October 30, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.



**OFFICIAL NOTICE OF DECISION
PAGE 2**

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Sheran Matson, AICP, DRB Chair

Cc: Fourth Street & Menaul Inc., 4446 E. Flower, Phoenix, AZ 85018
De la Torre Architects, 2400 Louisiana Blvd NE, Bldg., 3, Suite 110, 87110
R. J. Marney, 6812 Tokay St NE, 87113
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002934

AGENDA ITEM NO: 5

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

See DRB minutes/speed memo dated 9-24-03.

RESOLUTION:

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: October 15, 2003

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002934 AGENDA#: 5 DATE: 10.15

1. Name: RJ MARNEY Address: 6812 TOKAY ST NE ^{ALB} Zip: 87113

2. Name: NICK PERK Address: 2400 LOUISIANA NE
Box 3, Suite 40 Zip: 87110

3. Name: BOB POWERS Address: 4446 N. FLOWER
PH 1, AZ 85018 Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 8, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:05 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 1:20 p.m.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000131**
03DRB-01513 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, agent(s) for BROADWAY DEVELOPMENT CORPORATION, request(s) the above action(s) for all or a portion of various parcels comprising, **BROADWAY INDUSTRIAL PARK - UNIT 1**, zoned SU-2 HM, located on SAN JOSE AVE SE, between BROADWAY BLVD SE and I-25 SE containing approximately 61 acre(s). [REF: 01DRB-01559] (M-14) **A TWO-YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

2. **Project # 1002855**
03DRB-01511 Major-Vacation of Pub
Right-of-Way

JOHN A. MYERS, ESQ. agent(s) for ETG PROPERTIES, LLC request(s) the above action(s) for all or a portion of **EAST END ADDITION**, located on VERMONT ST NE, between LOMAS BLVD NE and MARBLE AVE NE containing approximately 1 acre(s). [REF: Z-98-115 A& B, 03EPC-00979 & 981, 02EPC-01676 & 77 (J-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH TWO ADDITIONAL CONDITIONS.**

3. **Project # 1002928**
03DRB-01532 Major-Preliminary Plat
Approval
03DRB-01534 Minor-Temp Defer SDWK
03DRB-01536 Minor-Sidewalk Waiver

BOHANNAN HUSTON, INC. & DENISH-KLINE ASSOCIATES, agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **Tract(s) D** (to be known as **TAOS @ THE TRAILS**, The Trails (a portion of Tract 4, Black Ranch) zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). REF: 03DRB-01429 (SK)] [*Deferred from 10/8/03*] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/5/03.**

4. **Project # 1002929**
03DRB-01531 Major-Preliminary Plat
Approval
03DRB-01533 Minor-Temp Defer SDWK
03DRB-01535 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC. & DENISH - KLINE ASSOCIATES, agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of **Tract(s) C** (to be known as **SANTA FE @ THE TRAILS**) The Trails (**portion of Tract 4, Black Ranch**) zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 17 acre(s). [*Deferred from 10/8/03*] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/5/03.**

5. **Project # 1002962**
03DRB-01527 Major-Bulk Land Variance
03DRB-01528 Minor-Prelim&Final Plat
Approval
03DRB-01529 Major-Vacation of Public
Easements
03DRB-01530 Major-SiteDev Plan Subd

BOHANNAN HUSTON INC & DENISH-KLINE ASSOCIATES, agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 4 (to be known as **TRACT 4, BLACK RANCH**, zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 100 acre(s). [REF: 03DRB-01432 (SK), 03DRB-01429 (SK)] [*Deferred from 10/8/03*] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/22/03.**

6. **Project # 1002957**
03DRB-01524 Major-Vacation of Public
Easements
03DRB-01525 Minor-Prelim&Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES, INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) 26A-1, **TAYLOR RANCH**, zoned R-T, located on TAYLOR RANCH DR NW, between MONTANO RD NW and HOMESTEAD CIRCLE NW containing approximately 14 acre(s). [REF: DRB-91-133] (D-11) **THE VACATION OF THE PUBLIC WATER LINE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO CHECK FOR REMOVAL OF VACATION (1) ON SHEETS 2 OF 3 OF THE PLAT AND TO PLANNING FOR AGIS DXF FILE.**

7. **Project # 1002960**
03DRB-01537 Major-Preliminary Plat
Approval
03DRB-01538 Major-Vacation of Pub
Right-of-Way
03DRB-01539 Major-Vacation of Public
Easements
03DRB-01540 Minor-Temp Defer SDWK
03DRB-01541 Minor-Sidewalk Waiver

MARK GOODWIN & ASSOCIATES, agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Tract(s) J-2-A (to be known as **SUNDORO SOUTH, UNITS 1, 2 & 3**) WESTLAND NORTH SUBDIVISION, zoned SU-2 / R-LT, located on 98TH ST NW, between I-40 NW and LADERA DR NW containing approximately 35 acre(s). [*Deferred from 10/8/03*] (J-8) **DEFERRED AT THE AGENT'S REQUEST TO 10/22/03.**

8. **Project # 1002934**
03DRB-01445 Major-Vacation of Pub
Right-of-Way

DE LA TORRE ARCHITECTS, agent(s) for FOURTH STREET & MENAUL INC., request(s) the above action(s) for all or a portion of Block(s) O, Tract(s) 1A, **WALGREEN ADDITION**, zoned C-2 (SC), containing approximately 11 acre(s). *[Deferred from 9/24/03 & 10/8/03]* (H-14) ~~DEFERRED AT THE AGENT'S REQUEST TO 10/15/03.~~

9. **Project # 1002645**
03DRB-01440 Major-Preliminary Plat
Approval
03DRB-01441 Minor-Temp Defer
SDWK

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Tract(s) 1-1-A (to be known as **SEVILLE UNIT 8**, zoned R-LT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA PL NW containing approximately 27 acre(s). [REF: 03DRB-00741] *[Deferred from 10/1/03]* (A-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/3/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION OF FINAL PLAT: SUBMITTAL OF CROSS SECTIONS OF PERIMETER WALLS AND THEIR APPROVAL BY PLANNING. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

10. **Project # 1002864**
03DRB-01487 Major-Preliminary Plat Approval
03DRB-01488 Major-Vacation of Public Easements
03DRB-01490 Minor-Temp Defer SDWK
03DRB-01491 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LTD PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) B, Ventana Ranch, Lands of Massachusetts General Hospital (to be known as **CANTA CIELO SUBDIVISION**) zoned R-LT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 20 acre(s). [REF:03DRB-01302] *[Deferred from 10/1/03]* (A-9/A-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/4/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: SUBMITTAL OF CROSS SECTIONS OF PERIMETER WALLS AND THEIR APPROVAL BY PLANNING. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

11. **Project # 1002948**
03DRB-01485 Major-Preliminary Plat Approval
03DRB-01486 Minor-Sidewalk Waiver
03DRB-01497 Minor-Temp Defer SDWK

ISAACSON AND ARFMAN, P.A. agent(s) for MS DEV ONE, LLC request(s) the above action(s) for all or a portion of Tract(s) A-1, Lot(s) 1 & 2, Tract(s) 171a1b2, **LANDS OF JACK CULLY**, zoned RA-2 residential and agricultural zone, located on ADOBE RD NW, between MONTANO RD NW and GUADALUPE TR NW containing approximately 6 acre(s). *[Deferred from 10/1/03]* (F-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/5/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: AN ADEQUATE EASEMENT FOR THE LATERAL SHALL BE PROVIDED AND M.R.G.C.D. SHALL SIGN THE PLAT. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

12. **Project #1002201**
03DRB-01270 Major-Preliminary Plat
Approval

TIERRA WEST LLC agent(s) for P J DEVELOPMENT COMMERCIAL CONSTRUCTION, request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2 special neighborhood zone, SU-1 AUTO SALES, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY. NE and SAN PEDRO DR NE containing approximately 7 acre(s). [REF: Z-86-8, DRB-95-74, 02DRB-01367 (VRW) 02DRB-01270 (PP)] *[Deferred from 8/20/03, 8/27/03, 9/10/03, 9/24/03, 10-1/03]* (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 THE PRELIMINARY PLAT WAS APPROVED.**

Project #1002201
03DRB-01150 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for OMEGA AUTOMOTIVE REAL ESTATE LTD request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (Vac), 03ZHE-00655] [Listed as Project #1002613 in error] *[Deferred from 7/23/03, 8/13/03, 8/27/03, 9/10/03, 9/24/03, 10/1/03]* (C-18) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CROSS LOT DRAINAGE EASEMENTS AND UTILITY DEVELOPMENT TO ADD PRIVATE SANITARY SEWER EASEMENTS FOR PRIVATE ACCESS AND TO ADD A 30-FOOT PUBLIC WATERLINE EASEMENT TO VACATED OAKLAND.**

Project #1002201
03DRB-01382 Minor-SiteDev Plan
BldPermit

TIERRA WEST, LLC agent(s) for OMEGA AUTOMOTIVE, REAL ESTATE LTD. request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, Block(s) 10, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 special neighborhood zone, IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (VRW) 03ZHE-00655] *[Deferred from 8/27/03, 9/10/03, 9/24/03, 10/1/03]* (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.**

13. **Project # 1002949**
03DRB-01492 Minor-Preliminary Plat Approval
03DRB-01493 Major-Vacation of Pub Right-of-Way
03DRB-01494 Minor-Sidewalk Waiver
03DRB-01496 Minor-Temp Defer SDWK

ISAACSON AND ARFMAN, P.A. agent(s) for JAMES CRABTREE request(s) the above action(s) for all or a portion of Tract(s) 1, Block(s) 10A, Unit(s) 3, VOLCANO CLIFFS SUBDIVISION, (to be known as **PETROGLYPH PARK**) zoned O-1 office and institution zone, located on SANTO DOMINGO NW, between UNSER BLVD NW and PIMA AVE NW containing approximately 2 acre(s). *[Deferred from 10/1/03 & 10/8/03]* (E-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/22/03.**

14. **Project # 1001523**
03DRB-01361 Major-Vacation of Public Easements
03DRB-01360 Major-Preliminary Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] *[Deferred from 9/10/03, 9/17/03, 9/24/03, 10-1-03]* (H-10) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/21/02 THE PRELIMINARY PLAT WAS APPROVED.**

- Project # 1001523**
03DRB-01458 Minor-SiteDev Plan Subd/EPC

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] *[Deferred from 9/10/03, 9/17/03, 9/24/03, 10/1/03]* [RUSSELL BRITO, EPC CASE PLANNER] (H-10) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PERIMETER WALL SUBMITTAL.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

15. **Project # 1002197**
03DRB-01648 Minor-SiteDev Plan
BldPermit/EPC
- MOLZEN CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT - WATER UTILITY DIVISION, request(s) the above action(s) for SEC. 28 T11N R2E , **WEST MESA OPEN SPACE**, zoned RO-20, located on ATRISCO NW and 81ST ST NW BETWEEN DOUBLE EAGLE AIRPORT AND I-40 WEST. [CHRIS HYER, EPC CASE PLANNER] (E-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
16. **Project # 1002455**
03DRB-01654 Minor-SiteDev Plan
Subd/EPC
03DRB-01655 Minor-Sketch Plat or
Plan
- TIMOTHY M. OTT agent(s) for JOE COTRUZZOLA request(s) the above action(s) for all or a portion of Lot(s) A3B, **J GROUP ADDITION**, zoned SU-1, C-1, located on SAN ANTONIO NE, between I-25 and SAN PEDRO NE containing approximately 10 acre(s). [DEBBIE STOVER, EPC CASE PLANNER] [Deferred from 10/8/03] (E-18) **THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE GIVEN. DEFERRED AT THE AGENT'S REQUEST TO 10/22/03.**

17. **Project # 1001104**
03DRB-00289 Minor- Final Plat
Approval

RHOMBUS PA agent(s) for TOR & RAQUEL RASMUSSEN request(s) the above action(s) for all or a portion of Lot(s) 31 and 32, Block(s) 2, Tract(s) 3, Unit 3, NORTH ALBUQUERQUE ACRES (to be known as **OAKLAND MEADOWS SUBDIVISION**) zoned R-D, located on BARSTOW ST NE, between OAKLAND AVE NE and the NORTHEAST CORNER OF THE INTERSECTION, containing approximately 2 acre(s). [REF: 01DRB-00312] [Deferred from 3/5/03, 3/26/03 & 4/9/03, the final plat was indefinitely deferred on 4/16/03] (C-20) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMENDMENTS TO THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS

18. **Project # 1000162**
03DRB-01636 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD. agent(s) for TIM WHITE - DESERT CREEK APARTMENTS request(s) the above action(s) for all or a portion of Tract(s) A, **LUECKING PARK COMPLEX**, zoned R-3, located on BRYN MAWR AVE NE, between AMAFCA NORTH DIVERSION and I-25 FRONTAGE ROAD containing approximately 16 acre(s). [REF: 1000162, 01DRB-01697, 00440-00097, 01460-00821, 03DRB-00823] (G-16) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ACCESS TO BOTH LOTS OF ADJOINING PARCEL AND UPDATES AND TO PLANNING FOR PNM ELECTRIC'S SIGNATURE AND FOR A TRAIL EASEMENT ON SOUTH END OF PROPERTY.**

19. **Project # 1000621**
03DRB-01649 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON, INC. agent(s) for JOHN Q. HAMMONS REVOCABLE TRUST request(s) the above action(s) for all or a portion of Tract(s) B & C, **GATEWAY SUBDIVISION**, zoned SU-2 special neighborhood zone, C-3, located on WOODWARD PL NE, between INTERSTATE 25 and LOMAS BLVD NE containing approximately 10 acre(s). [REF: DRB-97-466, 00DRB-00849 SK, 03DRB-01353] (J-15) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR 35-FOOT BY 35-FOOT WATER METER EASEMENT AND PLANNING FOR AGIS DXF FILE.**

20. **Project # 1001991**
03DRB-01650 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC. agent(s) for GEORGE EK request(s) the above action(s) for all or a portion of Lot(s) 9, Block(s) B, **DAVIDSON ADDITION**, zoned R-2, located on CANDELARIA ROAD NW, between 4th ST NW and 7th ST NW containing approximately 1 acre(s). [REF: Listed under Project #1002135 in error. Correct Project # is #1001991, 02ZHE 01209/01210/01211] (G-14) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

21. **Project # 1002315**
03DRB-01651 Minor-Final Plat
Approval

BOHANNAN HUSTON, INC. agent(s) for HIGH DESERT INVESTMENT CORP. request(s) the above action(s) for all or a portion of Tract(s) 13-B, **WILDERNESS VILLAGE & WILDERNESS COMPOUND @ HIGH DESERT**, zoned SU-2 HD/R-R, located on CITY OF ALBUQUERQUE OPEN SPACE, containing approximately 34 acre(s). (F-23) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO COORDINATE WITH FINAL CONSTRUCTION PLANS AND ACCESS LANGUAGE FOR SANITARY SEWER AND PLANNING FOR PERIMETER WALLS SUBMITTAL AND AGIS DXF FILE.**

22. **Project # 1002635**
03DRB-01652 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON, INC. agent(s) for CANDELARIA & TRAMWAY SW, LTD. PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) A (REPLAT OF TRACT 1) **LANDS OF CANDELARIA & AND TRAMWAY SW**, zoned SU-1 special use zone, Neighborhood Commercial, located on TRAMWAY BLVD NE AND CANDELARIA RD NE and containing approximately 3 acre(s). [REF: 03EPC-00702 ZMA, 03EPC-00703 SPS, 03EPC-0704 SBP] (H-22) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

23. **Project # 1002992**
03DRB-01623 Minor-Subd Design
(DPM) Variance

TIERRA WEST, LLC agent(s) for SOUTHWEST CONTRACTORS INC. request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 5, **ORIGINAL TOWNSITE OF WESTLAND**, zoned C-2 community commercial zone, located on 86TH ST SW, between BRIDGE BLVD SW and CENTRAL AVE SW. [Deferred from 10/8/03] (K-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/15/03.**

24. **Project # 1003006**
03DRB-01653 Minor-Prelim&Final Plat
Approval

ALBUQUERQUE SURVEYING COMPANY, INC.
agent(s) for RICHARD & NASHAUN GALLEGOS
request(s) the above action(s) for all or a portion of
Lot(s) 17 & 18, Block(s) 3, **BELMONT PLACE**
ADDITION, zoned R-1, located on 5th ST NW,
between BELLROSE AVE NW and GRIEGOS RD
NW containing approximately 1 acre(s). [REF: ZA-93-
227] (G-14) **INDEFINITELY DEFERRED AT THE**
AGENT'S REQUEST.

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLAT THIS WEEK

25. Approval of the Development Review Board Minutes September 24, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

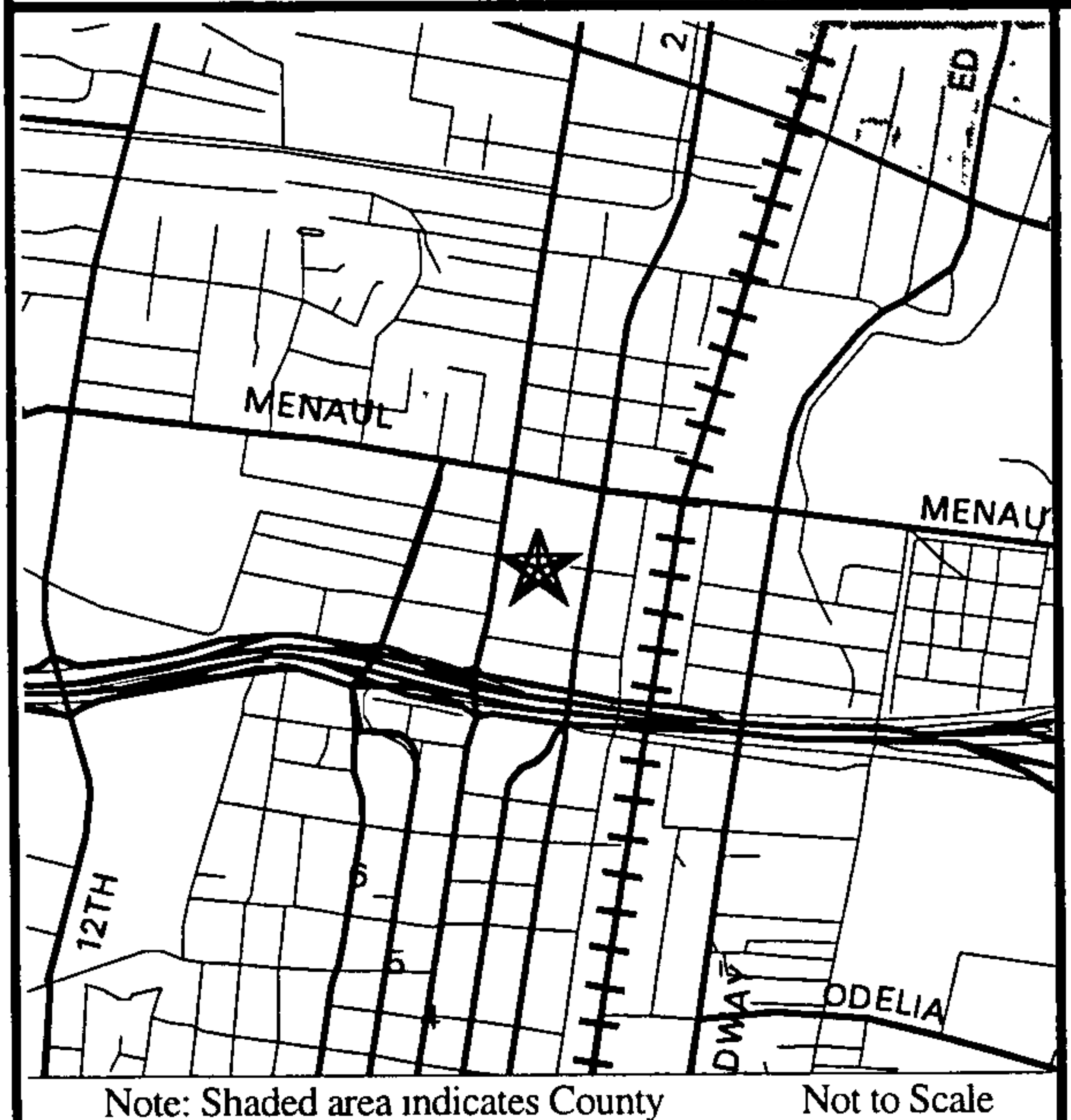
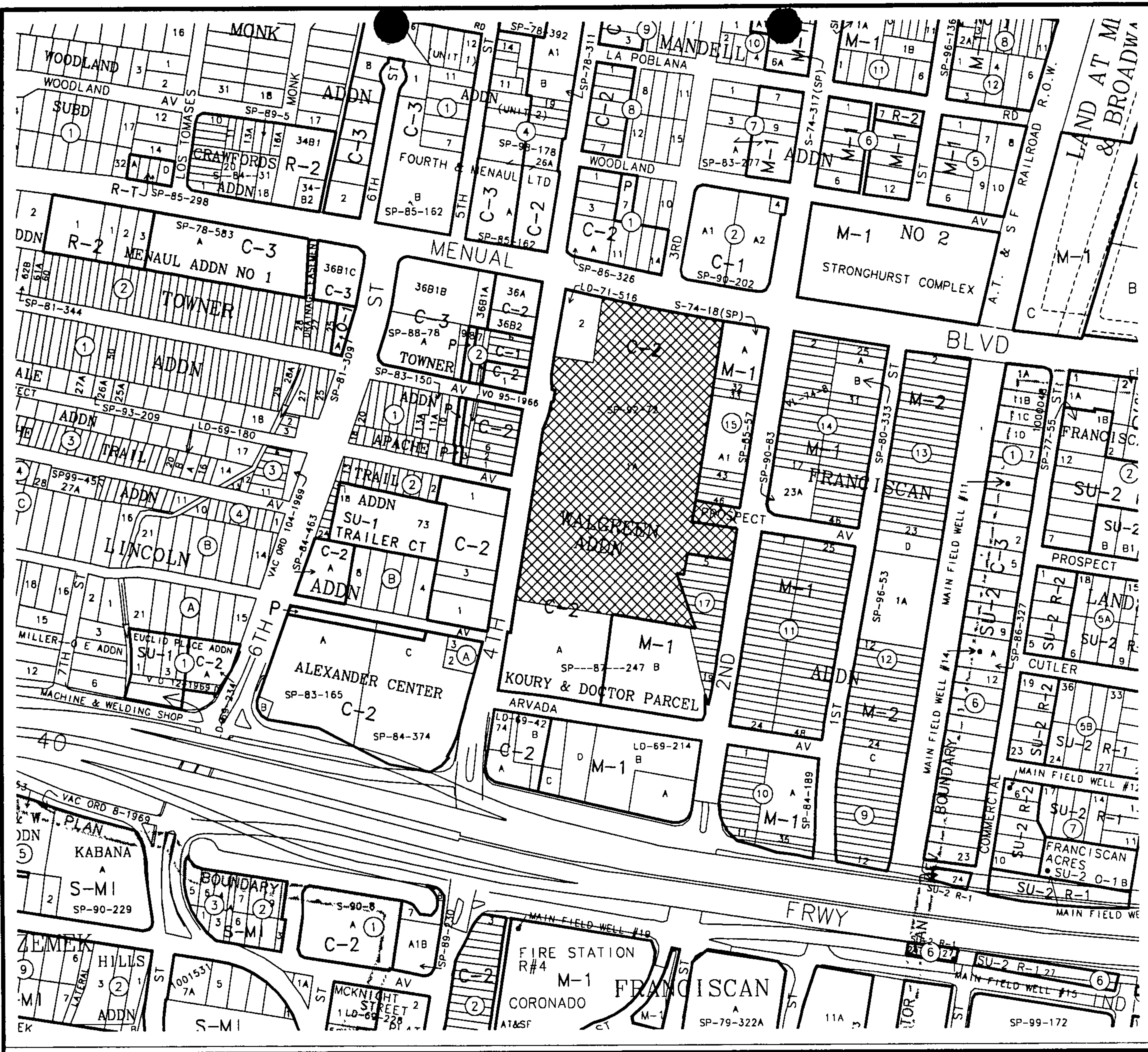
ADJOURNED: 1:20 P.M.

ITEM #8 10-8-03

I, NICK PIRKL, AGENT FOR 4th & METAL INC.

Hereby Request A deferral for 1 week. 10/8/03
10/15/03

Nick Pirk



ZONING MAP



Scale 1" = 442'

PROJECT NO.
1002934

HEARING DATE
9-24-03

MAP NO.
H-14

ADDITIONAL CASE NUMBER(S)
03DRB-01445

Note: Shaded area indicates County Not to Scale



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002934

AGENDA ITEM NO: 8

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

See DRB minutes/speed memo dated 9-24-03.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X ¹⁰⁻¹⁵⁻⁰³; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: October 8, 2003

Refer 10/15/03

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002934 AGENDA#: 8 DATE: 10.8

1. Name: NICK PIETZ Address: ^{2400 Louisiana Ave} Scdy. 2, SUITE 100 Zip: 87110

2. Name: RJ MARNEY Address: 6812 TOKAY ST ^{NE} Zip: 87113

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

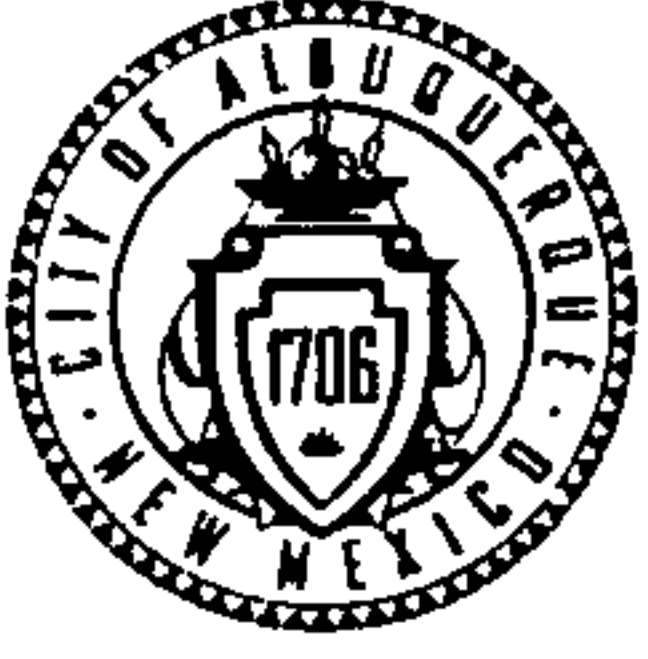
10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 24, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 10:55 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002322**
03DRB-00420 Major - Preliminary Plat Plat
Approval and Major - Final Plat Approval

MULE BARN ENTERPRISE agent(s) for ACME REAL ESTATE FUND LLC request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 23, **ORIG. SITE OF WESTLAND**, zoned SU-2 special neighborhood zone- IP, located on the westside of 90th ST SW, between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 9 acre(s). [REF: 02DRB-01666 SK, 03DRB-00420 PP, 03DRB-00349 PUFF] **[NO NEW SUBMITTAL] (L-9) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/24/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/22/03 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

2. **Project # 1002933**
03DRB-01443 Major-Vacation of Public
Easements
03DRB-01446 Minor- Preliminary & Final
Plat Approval
03DRB-01444 Minor-Sidewalk Waiver

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for HOECH REAL ESTATE CORPORATION, request(s) the above action(s) for all or a portion of Block(s) 18, Lot(s) 28, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 (to be known as **VINYARD ESTATES, UNIT IV-B**, zoned RD (5 DU/A), containing approximately 2 acre(s). (C-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/24/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/28/03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAN WAS INDEFINITELY DEFERRED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1002934**
03DRB-01445 Major-Vacation of Pub Right-of-Way

DE LA TORRE ARCHITECTS, agent(s) for FOURTH STREET & MENAUL INC., request(s) the above action(s) for all or a portion of Block(s) O, Tract(s) 1A, **WALGREEN ADDITION**, zoned C-2 (SC), containing approximately 11 acre(s). *[Deferred from 9/24/03]* (H-14) **DEFERRED AT THE AGENT'S REQUEST TO 10/8/03.**

4. **Project # 1002935**
03DRB-01447 Major-Bulk Land Variance
03DRB-01449 Major-Vacation of Pub Right-of-Way
03DRB-01450 Major-Preliminary Plat Approval
03DRB-01451 Minor-SiteDev Plan Subd
03DRB-01452 Minor-Temp Defer SDWK
03DRB-01453 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC., agent(s) for WESTLAND DEVELOPMENT CO., INC, request(s) the above action(s) for all or a portion of Tract(s) A, PARKWAY SUBDIVISION AND PARCEL 1 OF WESTLAND NORTH, (to be known as **SUNDORO UNITS 1, 2, 3 & 4**) zoned SU-2/R-LT AND R-D, containing approximately 55 acre(s). [REF: 03DRB-00736 (SK) *[Deferred from 9/24/03]*. (J-9/8 & H-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

5. **Project #1002201**
03DRB-01270 Major-Preliminary Plat
Approval

TIERRA WEST LLC agent(s) for P J DEVELOPMENT COMMERCIAL CONSTRUCTION, request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2 special neighborhood zone, SU-1 AUTO SALES, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY. NE and SAN PEDRO DR NE containing approximately 7 acre(s). [REF: Z-86-8, DRB-95-74, 02DRB-01367 (VRW) 02DRB-01270 (PP)] [Deferred from 8/20/03, 8/27/03, 9/10/03, 9/24/03] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

- Project #1002201**
03DRB-01150 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for OMEGA AUTOMOTIVE REAL ESTATE LTD request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (Vac), 03ZHE-00655] [Listed as Project #1002613 in error] [Deferred from 7/23/03, 8/13/03, 8/27/03, 9/10/03, 9/24/03] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

- Project #1002201**
03DRB-01382 Minor-SiteDev Plan BldPermit

TIERRA WEST, LLC agent(s) for OMEGA AUTOMOTIVE, REAL ESTATE LTD. request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, Block(s) 10, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 special neighborhood zone, IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (VRW) 03ZHE-00655] [Deferred from 8/27/03, 9/10/03, 9/24/03] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

6. **Project # 1001523**
03DRB-01361 Major-Vacation of Public Easements
03DRB-01360 Major-Preliminary Plat Approval
03DRB-01362 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [Deferred from 9/10/03, 9/17/03, 9/24/03] (H-10) **THE TEMPORARY DEFERRAL OF SIDEWALKS WAS WITHDRAWN. DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

- Project # 1001523**
03DRB-01458 Minor-SiteDev Plan Subd/EPC

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [Deferred from 9/10/03, 9/17/03, 9/24/03] [**RUSSELL BRITO, EPC CASE PLANNER**] (H-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1002716**
03DRB-01549 Minor-SiteDev Plan Subd/EPC
03DRB-01550 Minor-SiteDev Plan BldPermit/EPC

CLAUDIO VIGIL ARCHITECTS agent(s) for GEORGE BRUNACINI CONSTRUCTION CO request(s) the above action(s) for all or a portion of Block(s) 22, Tract(s) X-1-B, **NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A**, zoned SU-1 for O-1 incidental uses & Bank, located on WYOMING BLVD NE, between PASEO DEL NORTE NE and DOMINGO BACA DRAINAGE ROW NE containing approximately 3 acre(s). [REF: 03EPC-00936 (SPS), 03EPC-00922 (SBP)] [Deferred from 9/24/03] [**CARMEN MARRONE, EPC CASE PLANNER**] (D-19) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

8. **Project # 1002964**
03DRB-01548 Minor-SiteDev Plan BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for AVALON INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 21, **RICHFIELD PARK**, zoned IP, located on ADAMS NE, containing approximately 2 acre(s). [REF: Z-82-66, DRB-94-339] [*Deferred from 9/24/03*] (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS

9. **Project # 1002593**
03DRB-01546 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for LAS VENTANAS LTD. PARTNERSHIP request(s) the above action(s) for **VISTA DE ARENAL, UNIT II**, TRACT 29C, VENTANA RANCH, zoned R-LT residential zone, located on LAS VENTANAS RD NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 7 acre(s). [REF: 03DRB-01376 (PP)] (B-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

10. **Project # 1002738**
03DRB-01519 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST agent(s) for FRANCES MUNOZ request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) M, **EASTERN ADDITION**, zoned SU-2 special neighborhood zone, NCR, located on DAN AV SE, between JOHN ST. SE and BROADWAY BLVD. SE containing approximately 1 acre(s). [REF: 03DRB-00980 SK, Z-76-81] (L-14) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

11. **Project # 1002743**
03DRB-01544 Minor-Prelim&Final Plat
Approval

BORDENAVE DESIGNS agent(s) for OVENWEST CORP. request(s) the above action(s) for all or a portion of Lot(s) ALL, LA LUZ DEL OESTE, zoned SU-1 special use zone, PRD, located on SOUTH SIDE OF DELLYNE AVE NW, between COORS BLVD NW and VISTA DE LUZ NW containing approximately 16 acre(s). [REF: Z-77-28-1, 03DRB-00989 SK] (F-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR: LABEL NEW EASEMENTS "GRANTED BY THIS PLAT", ADD PUBLIC WATERLINE EASEMENT ON TRACT N AND CHECK FOR AGIS DXF FILE, AND TRANSPORTATION DEVELOPMENT FOR: NOTE BENEFICIARIES ON THE PLAT, DOCUMENT THE HOMEOWNER'S ASSOCIATION RULES ETC.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

12. **Project # 1001087**
03DRB-01547 Minor-Sketch Plat or Plan

STEVE HALE. agent(s) for HALE & SUN CONSTRUCTION INC. request(s) the above action(s) for all or a portion of Lot(s) 2 & 3 W.1/3, **MAJOR ACRES SUBDIVISION**, zoned SU-2 special neighborhood zone, R-T, located on 12TH ST & MAJOR ST NW, between MATTHEW AVE NW and CANDELARIA RD NW containing approximately 7 acre(s). [REF: (1002231) 02ZHE-01435, (1001087) 01DRB- 00268 SK, 01DRB-01891 SECTOR PLAN] (B-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. Approval of the Development Review Board Minutes for September 10, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 10:55 A.M.

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002934 AGENDA#: 3 DATE: 9.24.03

1. Name: RJ MARNEY Address: 6812 TOKAY^{NE} ST Zip: 87113
- ✓ 2. Name: NICK PARKL Address: 2400 LOUSEN ME Zip: 87110
- ✓ 3. Name: BOB POWERS Address: 4446 E. FLOW^{NE} RD
PHX, AZ Zip: 85018
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002934

AGENDA ITEM NO: 3

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the vacation request. Existing public storm should be converted to private.

RESOLUTION:

10-8-03

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: September 24, 2003



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 24, 2003

Project # 1002934

03DRB-01445 Major-Vacation of Pub Right-of-Way

DE LA TORRE ARCHITECTS, agent(s) for FOURTH STREET & MENAUL INC., request(s) the above action(s) for all or a portion of Block(s) O, Tract(s) 1A, **WALGREEN ADDITION**, zoned C-2 (SC), containing approximately 11 acre(s). (H-14)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No comments received.
Zoning Enforcement	Reviewed, no comment.
Neighborhood Coor.	

Letters sent to Near North Valley (R) and North Fourth Camino Real Merchants (R) Neighborhood Assn.

APS	No comments received.
Police Department	No adverse comments.
Fire Department	No adverse comments.
<u>PNM Gas</u>	

PNM Gas Services objects to Project # 1002934 because there is a 2" gas main located in right of way on Prospect Ave. west of 2nd St.

PNM Electric	PNM approves the vacation of a portion of Prospect Avenue with the Reservation of all easement rights. There is an existing overhead facility crossing the Street being vacated.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D.

No comments received.

Open Space Division

No adverse comments.

City Engineer No objection to the vacation request. Existing storm drain must be converted to private.

Transportation Development

Due to the future widening of Second Street coordination of any right-of-way vacation will need to take place with Transportation Planning.

Parks & Recreation

No objection.

Utilities Development

No objection to Vacation request with the following condition: Final plat will not be approved without evidence acceptable to Utility Development is provided showing that existing water line across private property has been either converted to private or cut and capped at 2nd street and Menaul.

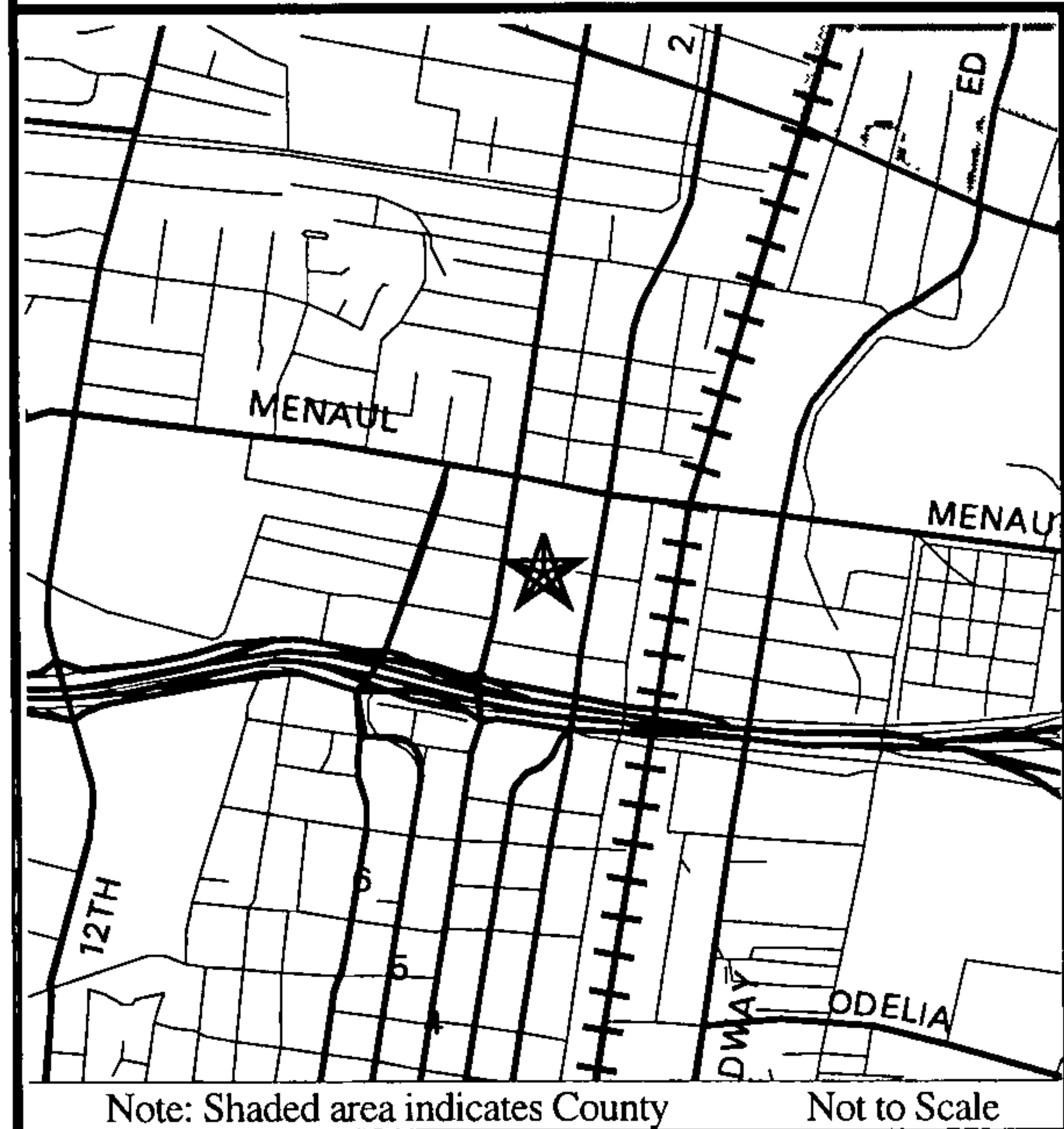
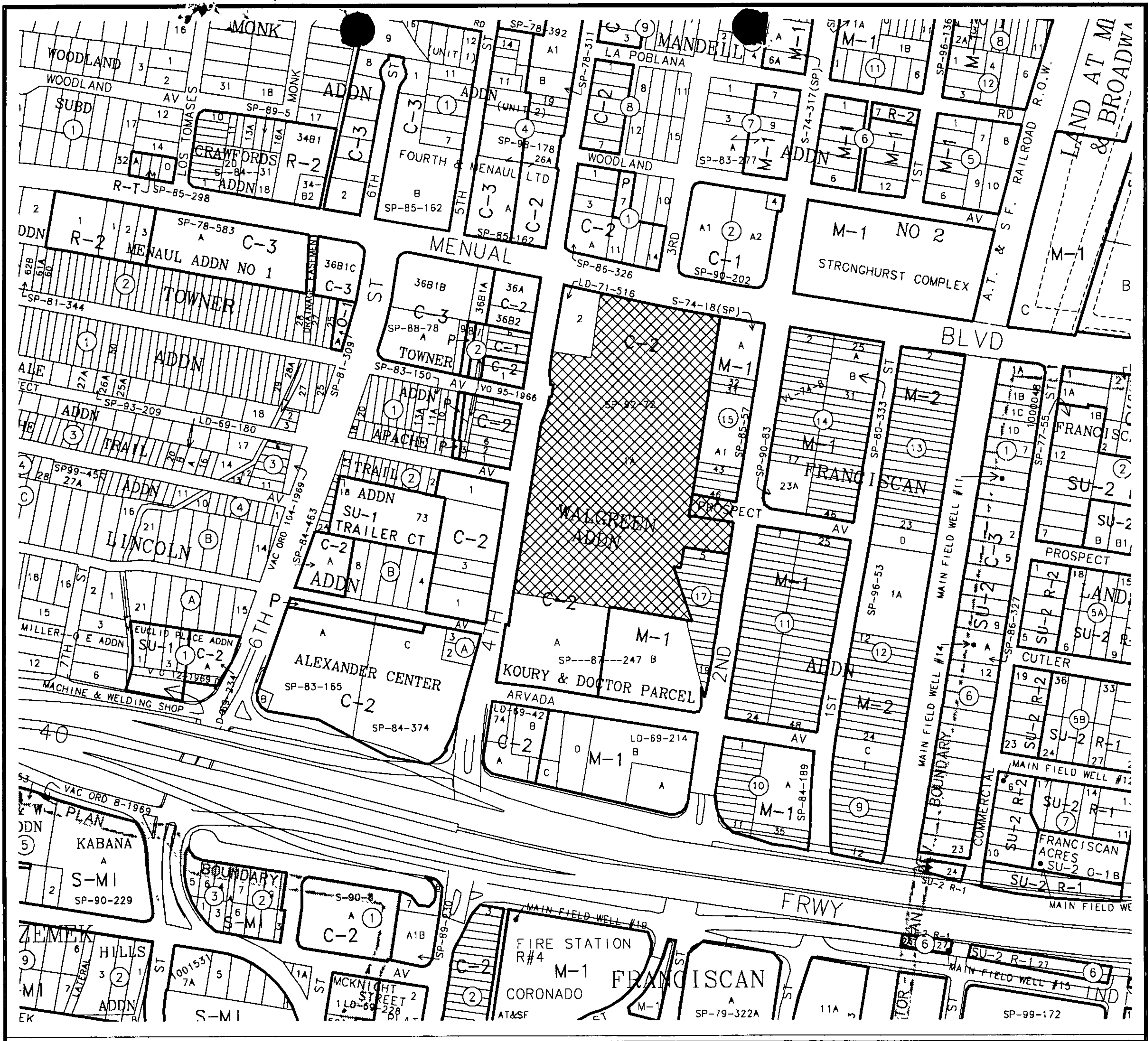
Planning Department

No objection. Defer to Transportation. Applicant has one year to file plat showing approved vacation.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc:Fourth Street & Menaul Inc., 4446 E Flower, Phoenix, AZ 85018

de la Torre Architects, 2400 Louisiana NE, Bldg., #3, Suite #110, 87110



Note: Shaded area indicates County Not to Scale

ZONING MAP



Scale 1" = 442'

PROJECT NO.

1002934

HEARING DATE

9-24-03

MAP NO.

H-14

ADDITIONAL CASE NUMBER(S)

03DRB-01445



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 24, 2003, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1002322
03DRB-00420 Major-Final Plat Approval

MULE BARN ENTERPRISE agent(s) for ACME REAL ESTATE FUND LLC request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 23, **ORIG. SITE OF WESTLAND**, zoned SU-2 special neighborhood zone- IP, located on the westside of 90th ST SW, between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 9 acre(s). [REF: 02DRB-01666 SK, 03DRB-00420 PP, 03DRB-00349 P&F] **[NO NEW SUBMITTAL]** (L-9)

Project # 1002933
03DRB-01443 Major-Vacation of Public Easements
03DRB-01446 Minor- Preliminary & Final Plat Approval
03DRB-01444 Minor-Sidewalk Waiver

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for HOECH REAL ESTATE CORPORATION, request(s) the above action(s) for all or a portion of Block(s) 18, Lot(s) 28, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 (to be known as **VINYARD ESTATES, UNIT IV-B**, zoned RD (5 DU/A), containing approximately 2 acre(s). (C-20)

Project # 1002934
~~03DRB-01445 Major-Vacation of Pub Right-of-Way~~

DE LA TORRE ARCHITECTS, agent(s) for FOURTH STREET & MENAUL INC., request(s) the above action(s) for all or a portion of Block(s) O, Tract(s) 1A, **WALGREEN ADDITION**, zoned C-2 (SC), containing approximately 11 acre(s). (H-14)

Project # 1002935
03DRB-01447 Major-Bulk Land Variance
03DRB-01449 Major-Vacation of Pub Right-of-Way
03DRB-01450 Major-Preliminary Plat Approval
03DRB-01451 Minor-SiteDev Plan Subd
03DRB-01452 Minor-Temp Defer SDWK
03DRB-01453 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC., agent(s) for WESTLAND DEVELOPMENT CO., INC, request(s) the above action(s) for all or a portion of Tract(s) A, PARKWAY SUBDIVISION AND PARCEL 1 OF WESTLAND NORTH, (to be known as **SUNDORO UNITS 1, 2, 3 & 4**) zoned SU-2/R-LT AND R-D, containing approximately 55 acre(s). [REF: 03DRB-00736 (SK) (J-9/8 & H-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Roger A. Heem
For Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, SEPTEMBER 8, 2003.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

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Project # 1002933
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Project # 1002934
03DRB-01445 Major-Vacation of Pub Right-of-Way

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for 
Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, SEPTEMBER 8, 2003.



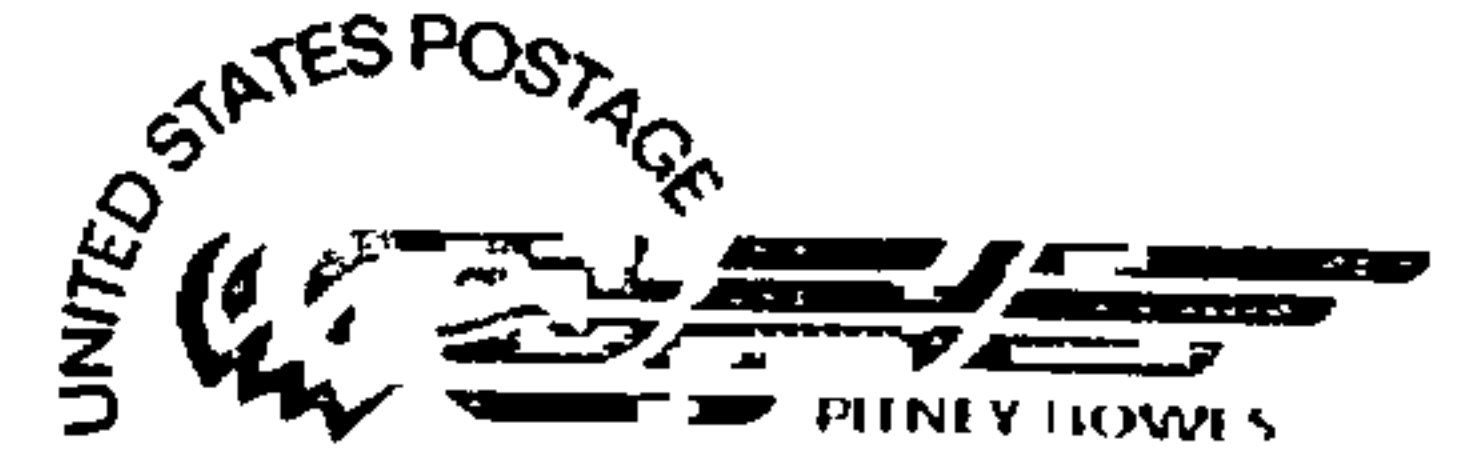
City of Albuquerque

PO. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



RETURN
TO SENDER
ATTEMPTED
NOT KNOWN



02 1A \$ 00.37⁰
C004329277 SEP 05 2003
MAILED FROM ZIP CODE 8710

VACANT

101405935623343406

SESMA LOLA
2317 2ND
ALBUQUERQUE

ST NW
NM 87107

87 10243343253



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: 9-24-03
Zone Atlas Page: H-14-Z
Notification Radius: 100 Ft.

Project# 1002934
App# 03DRB-01445

Cross Reference and Location: N/A

Applicant: FOURTH STREET & MENAUL INC
Address: 4446 E. FLOWER
PHOENIX AZ 85018

Agent: DE LA TORRA ARCHITECTS
Address: 2400 LOUISIANA NE, BLDG# 3, STE# 110
ALBUQUERQUE NM 87110

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: 9-5-03

Signature: KYLE TSETHLIKAI

RECORDS WITH LABELS

PAGE 1

101405935733610407 LEGAL: TRAC T A- 1 BLK 2 MANDELL ADDN NO 2 (REPL OF TR A BL LAND USE:
 PROPERTY ADDR: 00000 225 MENAUL NW
 OWNER NAME: DUNN-EDWARDS PROPERTIES I LLC
 OWNER ADDR: 04885 52ND PL LOS ANGELES CA 90040

101405937033410403 LEGAL: TRAC T A- 2 BLK 2 MANDELL ADDN NO 2 (REPL OF TR A BL LAND USE:
 PROPERTY ADDR: 00000 2601 2ND NW
 OWNER NAME: DRM CAPITAL L P C/O DSRMC ATTN
 OWNER ADDR: 00000 SAN ANTONIO TX 78269

101405932233310301 LEGAL: LOT A BLK 1 CORRECTED PLAT OF LOT A BLK 1 MANDELL LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: SIMONI ELIZABETH ANN
 OWNER ADDR: 01505 GOFF RD SW ALBUQUERQUE NM 87105

101405933133610302 LEGAL: * 01 1 00 1MANDELL ADDN NO2 LAND USE:
 PROPERTY ADDR: 00000 1014059 MENAUL BLV NW
 OWNER NAME: SIMONI ELIZABETH ANN
 OWNER ADDR: 01505 GOFF BL SW ALBUQUERQUE NM 87105

101405933533610303 LEGAL: * 01 2 00 1MANDELL #2 LAND USE:
 PROPERTY ADDR: 00000 305 MENAUL BLV NW
 OWNER NAME: SIMONI ELIZABETH ANN
 OWNER ADDR: 01505 GOFF BL SW ALBUQUERQUE NM 87105

101405934033510304 LEGAL: * 01 3 00 1MANDELL NO 2 LAND USE:
 PROPERTY ADDR: 00000 303 MENAUL BLV NW
 OWNER NAME: FRAIRE CRUZ
 OWNER ADDR: 07201 ISLETA BL SW ALBUQUERQUE NM 87105

101405934333410305 LEGAL: * 01 4 00 1MANDELL ADDN NO2 LAND USE:
 PROPERTY ADDR: 00000 301 MENAUL BLV NW
 OWNER NAME: FRAIRE CRUZ
 OWNER ADDR: 07201 ISLETA BL SW ALBUQUERQUE NM 87105

101405929530922241 LEGAL: MAP 36 T RS 3681A & 3682 & LOTS 3 THRU 6 BLK 2 TOWN LAND USE:
 PROPERTY ADDR: 00000 2513 FOURTH ST NW
 OWNER NAME: ARNELL DELBERT & ROSAURA
 OWNER ADDR: 04105 PITT ST NE ALBUQUERQUE NM 87111

101405932031543410 LEGAL: *000 2 WA LGREEN ADDN LAND USE:
 PROPERTY ADDR: 00000 2524 4TH NW
 OWNER NAME: PRP INC
 OWNER ADDR: 03200 BROADWAY BL SE ALBUQUERQUE NM 87105

101405933526043424 LEGAL: LT 0 NE-A PLAT OF LTS ONE-A & ONE-B WALGREEN ADDITI LAND USE:
 PROPERTY ADDR: 00000 300 MENAUL NW
 OWNER NAME: NECA/PBTF MIDWESTERN PROP INC
 OWNER ADDR: 04446 E FLOWER PHOENIX AZ 85018

101405936730110110 LEGAL: TR A IN REPL OF LTS 24 THRU 31 IN BLK 15 OF FRANCI LAND USE:
 PROPERTY ADDR: 00000 200 MENAUL ST NW
 OWNER NAME: WHATABURGER OF NEW MEXICO % HO
 OWNER ADDR: 03332 BALI DR CORPUS CHRISTI TX 78410

RECORDS WITH LABELS

PAGE 2

101405929729622240 LEGAL: LOTS 1 & 2 BLK 2 TOWNER ADD & E 7FT VACATED ALLEY LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: MASADA LTD CO
 OWNER ADDR: 03316 VISTA DEL SUR NW ALBUQUERQUE NM 87120

101405936829110109 LEGAL: * 03 2 01 5FRANCISCAN ADD REPL & L33 LAND USE:
 PROPERTY ADDR: 00000 2400 2ND ST NW
 OWNER NAME: CAND RAUL & ELSA CAMERENA C/O
 OWNER ADDR: 02916 2ND ST NW ALBUQUERQUE NM 87107

101405926627510104 LEGAL: TR A -1 B LK 15 LANDS OF COMFORT AIR SYSTEMS INC (RE LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: PADILLA RAY A & MARCIA R
 OWNER ADDR: 00525 LIVE OAK PL NE ALBUQUERQUE NM 87122

101405929528522134 LEGAL: LOTS 1&2 BLK 1 TOWNER ADD & E 7FT VACATED ALLEY AD LAND USE:
 PROPERTY ADDR: 00000 4TH
 OWNER NAME: LUJAN JOSE A SR & MARIA E
 OWNER ADDR: 01608 LA POBLANA NW ALBUQUERQUE NM 87107

101405929528122133 LEGAL: LOT 3 BLK 1 TOWNER ADD & E7FT VACATED ALLEY ADJ LAND USE:
 PROPERTY ADDR: 00000 2413 4TH NW
 OWNER NAME: COE STEVE L & LISA
 OWNER ADDR: 02411 4TH ST NW ALBUQUERQUE NM 87102

101405929427922132 LEGAL: LOT 4 BLK 1 TOWNER ADD & E 7FT VACATED ALLEY ADJ LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: DEAN RONALD R ETUX
 OWNER ADDR: 00000 ALBUQUERQUE NM 87199

101405929427522131 LEGAL: LOTS 5&6 BLK 1 TOWNER ADD & E 7FT VACATED ALLEY AD LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: DEAN RONALD R & ILENE K
 OWNER ADDR: 00000 ALBUQUERQUE NM 87199

101405929326922130 LEGAL: * 00 1 00 1APCHE TRAIL ADD X LOT 2 LAND USE:
 PROPERTY ADDR: 00000 2401 4TH NW
 OWNER NAME: DEAN RONALD R & ILENE K
 OWNER ADDR: 00000 ALBUQUERQUE NM 87199

101405938826010201 LEGAL: LT 2 3-A BLK 14 (REPL OF LTS 18 THRU 23) FRANCISCAN LAND USE:
 PROPERTY ADDR: 00000 2400 2ND ST
 OWNER NAME: JACKSON RALPH JEFFREY & SHARLA
 OWNER ADDR: 01535 HOVEDEN DR KATY TX 77450

101405936426110102 LEGAL: LOTS 43, 44, 45 AND 46, BLOCK 15 FRANCISCAN ADDITI LAND USE:
 PROPERTY ADDR: 00000 2407 02ND ST NW
 OWNER NAME: MARNEY R JOHN
 OWNER ADDR: 06812 TOKAY ST NE ALBUQUERQUE NM 87113

101405928725832827 LEGAL: * 00 1 00 2APACHE TRAIL ADD LAND USE:
 PROPERTY ADDR: 00000 2329 04TH NW
 OWNER NAME: DEAN RONALD R ETUX
 OWNER ADDR: 00000 ALBUQUERQUE NM 87199

RECORDS WITH LABELS

PAGE 3

101405927024832826 LEGAL: MAP 36 T RACT 73 LAND USE:
 PROPERTY ADDR: 00000 2315 04TH NW
 OWNER NAME: MC COMAS JACK D & HELEN
 OWNER ADDR: 00600 ALCALDE SW ALBUQUERQUE NM 87104

101405938224342714 LEGAL: * 00 1 01 1FRANCISCAN ADDN REPL & L2 LAND USE:
 PROPERTY ADDR: 00000 2322 02ND ST NW
 OWNER NAME: CHAVEZ RUDY & LOUISE
 OWNER ADDR: 02320 2ND ST NW ALBUQUERQUE NM 87102

101405938123942715 LEGAL: * 00 3 01 1FRANCISCAN ADDN REPL & L4 LAND USE:
 PROPERTY ADDR: 00000 2320 02ND ST NW
 OWNER NAME: CHAVEZ RUDY & LOUISE
 OWNER ADDR: 02320 2ND ST NW ALBUQUERQUE NM 87102

101405935723743407 LEGAL: * 00 5 01 7FRANCISCAN ADD REPL & L6 LAND USE:
 PROPERTY ADDR: 00000 2319 2ND ST NW
 OWNER NAME: HARVEL C DEAN & DORIS E & HARV
 OWNER ADDR: 00222 NATALIE NW ALBUQUERQUE NM 87107

101405938622342712 LEGAL: 11 LOTS 5 THRU 13 & 27 THRU 48 FRANCISCAN ADDN LAND USE:
 PROPERTY ADDR: 00000 2225 1ST ST NW
 OWNER NAME: RYDER TRUCK RENTAL INC
 OWNER ADDR: 00000 MIAMI FL 33122

101405928323032825 LEGAL: * 00 1 B LINCOLN ADD X LOT 2 X 3 LAND USE:
 PROPERTY ADDR: 00000 2301 4TH ST NW
 OWNER NAME: MCCOMAS JACK D
 OWNER ADDR: 00600 ALCALDE SW ALBUQUERQUE NM 87104

101405935623343406 LEGAL: * 00 7 01 7FRANCISCAN ADD REPL & L8&S10.51FTL31ALLL3 LAND USE:
 PROPERTY ADDR: 00000 2317 02ND ST NW
 OWNER NAME: SESMA LOLA
 OWNER ADDR: 02317 2ND ST NW ALBUQUERQUE NM 87107

101405935922843405 LEGAL: * 00 9 01 7FRANCISCAN ADD REPL & L10 LAND USE:
 PROPERTY ADDR: 00000 2113 2ND ST NW
 OWNER NAME: PENA SUSIE J & FRANK A
 OWNER ADDR: 05325 DON MARIANO RD SW ALBUQUERQUE NM 87105

101405931220543402 LEGAL: TR A KOU RY-DOCTOR PARCEL FORMERLY PARCEL B OF BECK LAND USE:
 PROPERTY ADDR: 00000 2222 4TH NW
 OWNER NAME: ARVADA LAND CO INC
 OWNER ADDR: 02222 4TH ST NW ALBUQUERQUE NM 87102

101405936021343403 LEGAL: * 01 1 01 7FRANCISCAN ADD REPL TO L23 LAND USE:
 PROPERTY ADDR: 00000 2113 2ND ST NW
 OWNER NAME: PENA SUSIE J & FRANK A
 OWNER ADDR: 05325 DON MARIANO RD SW ALBUQUERQUE NM 87105

101405934220043404 LEGAL: TR B KOU RY-DOCTOR PARCEL FORMERLY PARCEL B OF BECK LAND USE:
 PROPERTY ADDR: 00000 303 ARVADA ST NW
 OWNER NAME: AG PROPERTIES LLC
 OWNER ADDR: 01111 4TH ST NW ALBUQUERQUE NM 87102

RECORDS WITH LABELS

PAGE 4



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: 8-28-03

TO CONTACT NAME: Bob Powers
COMPANY/AGENCY: Fourth & Manual Inc
ADDRESS/ZIP: 4446 E. Flower
PHONE/FAX #: Phoenix, Ariz: 85018

Thank you for your inquiry of 8-28-03 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at LA Walgreens Addition @ 300 Manual NW

zone map page(s) _____

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

North Fourth Camino Real

Neighborhood Association
Contacts: Aaron Roth
1515 4th Street NW 87102
243-3889
Chris Fogel
1201 3rd Street NW 87102
766-6876 x 210

Near North Valley

Neighborhood Association
Contacts: Ingrid Biel
1012 Major NW 87107
345-3968
Mary Bilan
3800 Rio Grande NW
345-2300

See reverse side for additional Neighborhood Association Information: YES { } NO { }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

.....
Attention: Both contacts per neighborhood association need to be notified.
.....

August 28, 2003

City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102


4TH & M ENAUL
MARKETPLACE

Re: 4th & Menaul Marketplace 300 Menaul NW –
Vacation of Public Right-of-Way (Prospect west of 2nd street).

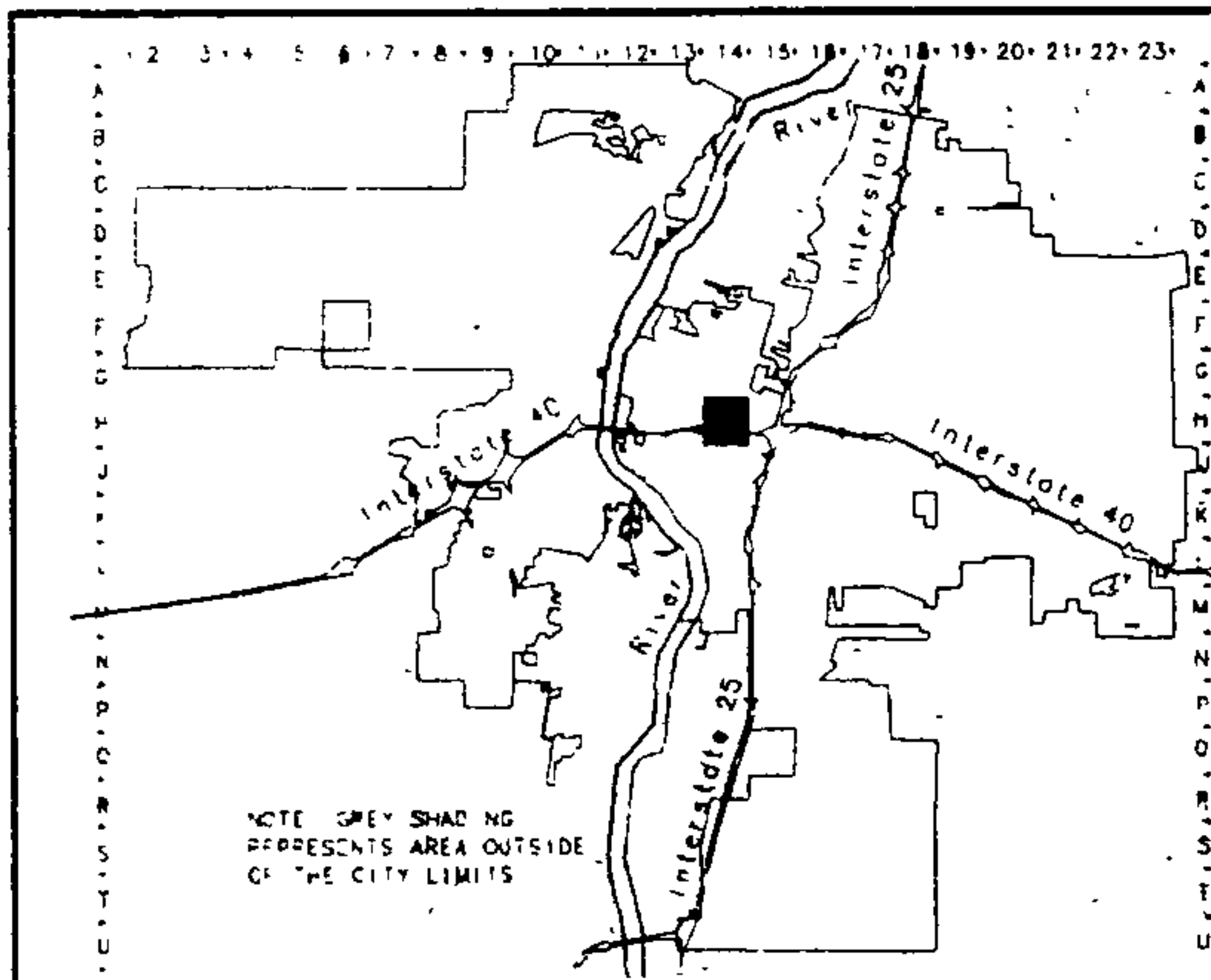
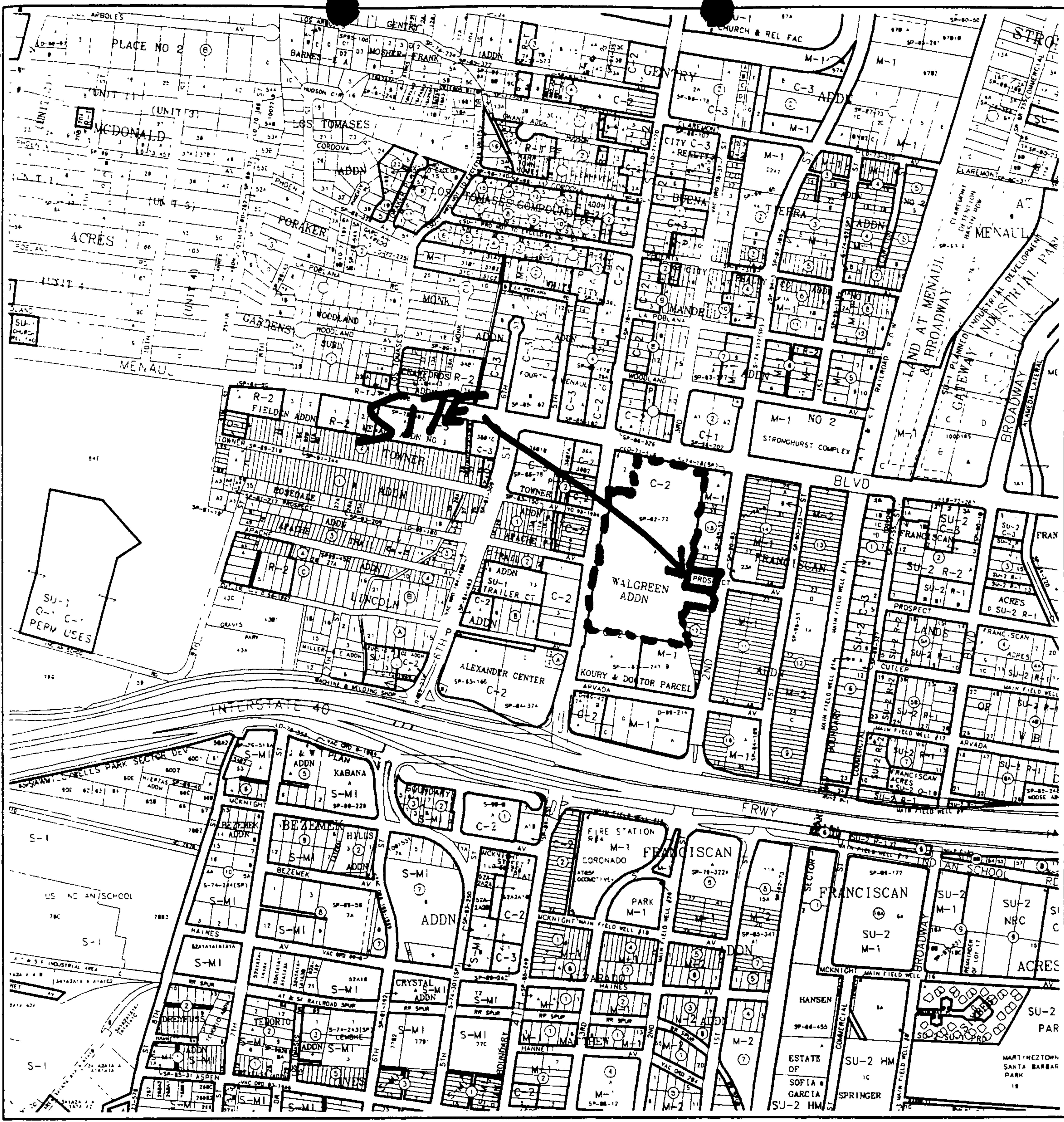
To Whom It May Concern:

This letter serves as notice that the Architectural Firm of de la Torre Architects is hereby authorized to act as our agents for the Vacation of Prospect Street west of 2nd Street.

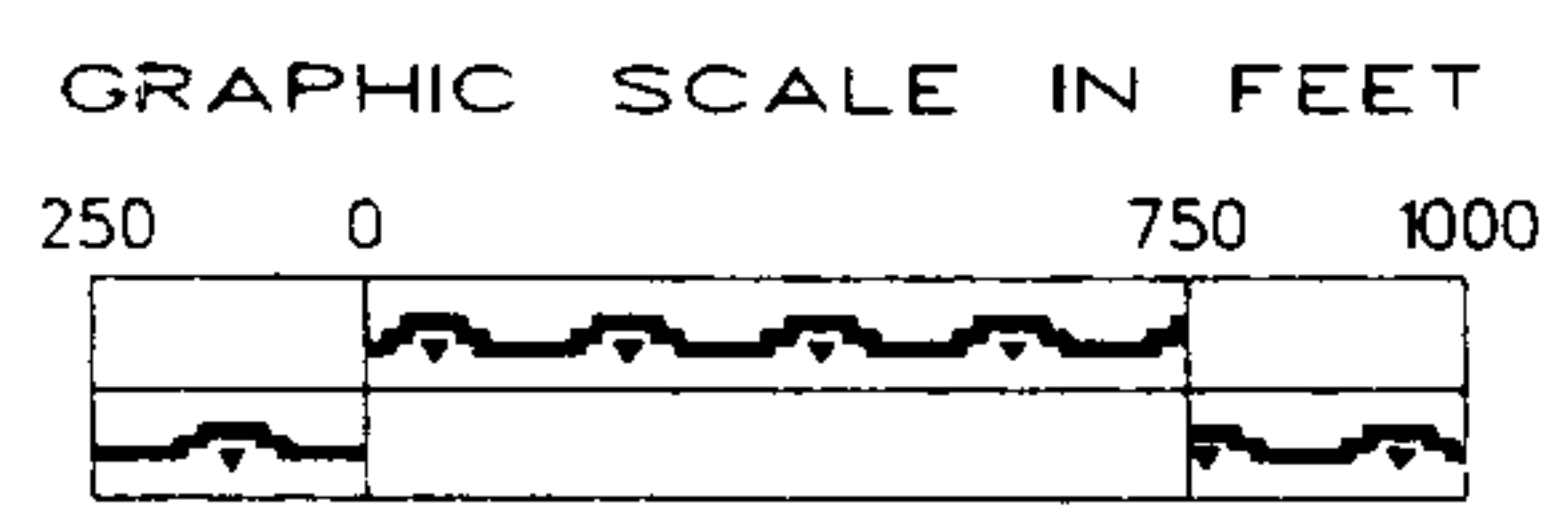
Thanks,


Bob Powers
President

Fourth Street & Menaul, Inc.
4446 E. Flower, Phoenix, AZ 85018
602-840-3931, 602-840-6365 Fax



CITY OF
Albuquerque
A G I S
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page

H-14-Z

Map Amended through January 21, 2003

NOTE: GREY SHADING REPRESENTS AREA OUTSIDE OF THE CITY LIMITS

August 28, 2003

City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Re: 4th & Menaul Marketplace 300 Menaul NW – Vacation of Public Right-of-Way (Prospect west of 2nd street).

Project #: 1002536
EPC#: none
DRB#: none
AA#: 03AA0-00413
Lot/Block/Subd: 1A,0000, Walgreen Addition.
Zoning: C-2(SC)
UPC: 101-405-933-526-043-424
Site Area: 10.7 acres.

To Whom It May Concern:

The Owner of the property desires to Vacate the remaining 140' of Prospect (60'-0" wide R.O.W.) west of 2nd Street NW. This section of Prospect dead-ends into our site and is not used by anyone. This piece was left over when the original Kmart site was put together.

If you have any questions or comments, please feel free to contact me.

Thanks,



Nick Pirkl
de la Torre Architects

Attachments: Overall site plan, Enlarge site plan of area to be vacated.



Ruth Lozano

From: Zamora, David M. [dmzamora@cabq.gov]
Sent: Wednesday, December 08, 2010 2:55 PM
To: Justin ThorSimenson
Cc: Fred Arfman; Ruth Lozano
Subject: DRB Project # 1002934

The .dxf file for Project No. 1002934 (Walgreen Addn) has been approved.

David M. Zamora
GIS Coordinator - AGIS
City of Albuquerque
Planning Department
505.924.3929 phone
505.924.3812 fax
www.cabq.gov/planning/agis/
dmzamora@cabq.gov



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson + Arfman, P.A. PHONE: 268-8828
 ADDRESS: 128 Monroe Street NE FAX: 268-2632
 CITY: ABQ STATE: NM ZIP: 87108 E-MAIL: Freda@iacivil.com

APPLICANT: Fourth Street + Menaul, Inc. PHONE: (505)400-2323
 ADDRESS: 4446 E. Flower FAX: (602)840-6365
 CITY: Phoenix STATE: AZ ZIP: 85018 E-MAIL: _____

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Minor Subdivision Preliminary/Final Plat Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 1A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Walgreen Addition (tbka Lots 1A1 + 1A2, Walgreen Addition)
 Existing Zoning: C-2 Proposed zoning: Same MRGCD Map No. NA
 Zone Atlas page(s): H-14 UPC Code: 101405933526043424

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): SP-92-72
1002536 (AA)

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NA
 No. of existing lots: 1 No. of proposed lots: 2 Total area of site (acres): 10.7027
 LOCATION OF PROPERTY BY STREETS: On or Near: Menaul Blvd. NW
 Between: 2nd St. NW and 4th St. NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE

(Print) Fred Arfman

DATE _____

Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING				
<input checked="" type="checkbox"/> All checklists are complete	<u>DRBID - 10338</u>	<u>PJF</u>		<u>\$ 285.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>December 8, 2010</u>			Total <u>\$ 305.00</u>

[Signature] 11-29-10
 Planner signature / date

Project # 1002934

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies** → See Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required. *forthcoming*

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred Artman
Applicant name (print)

Applicant signature / date



Form revised October 2007

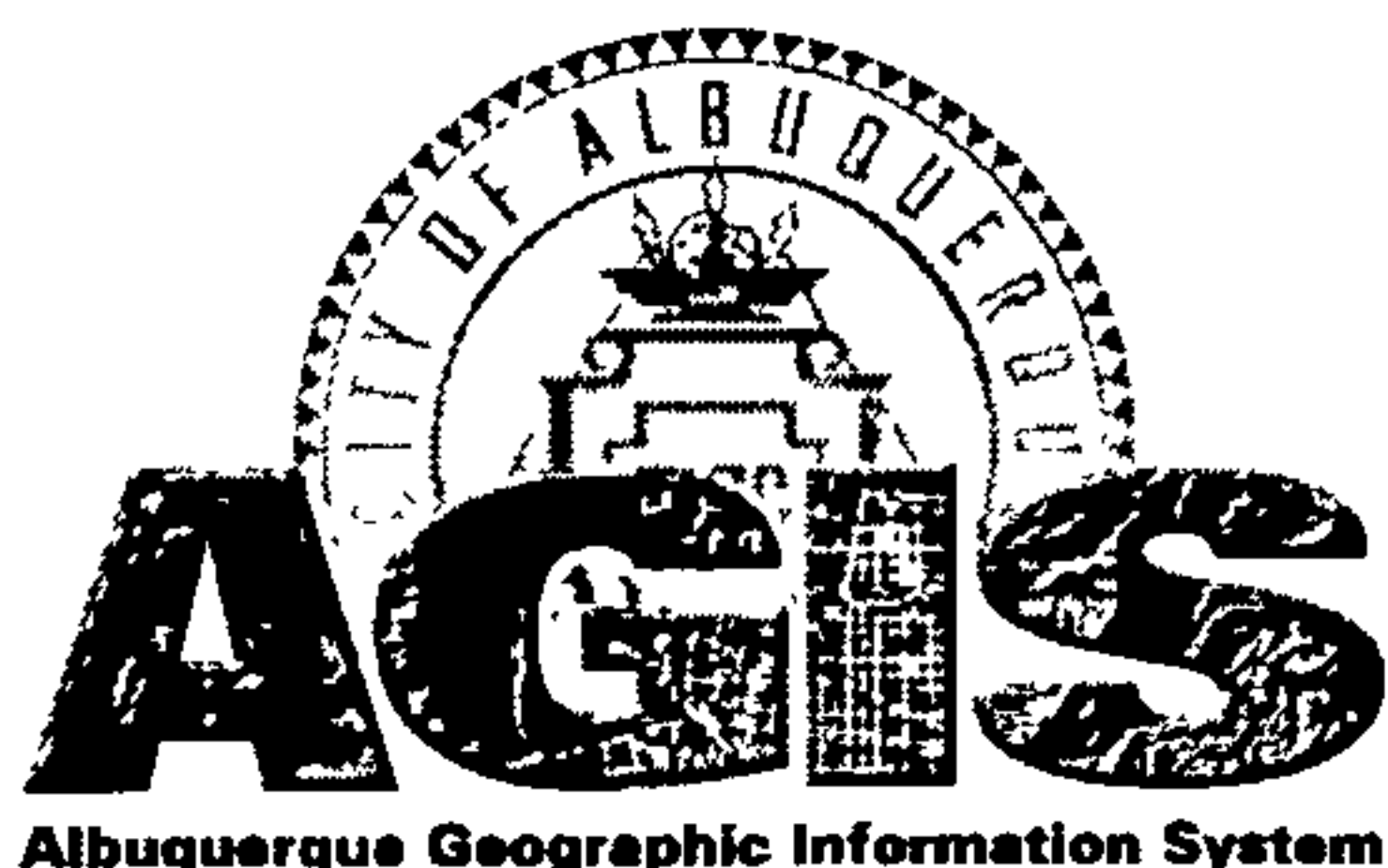
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
10DRB - 70338

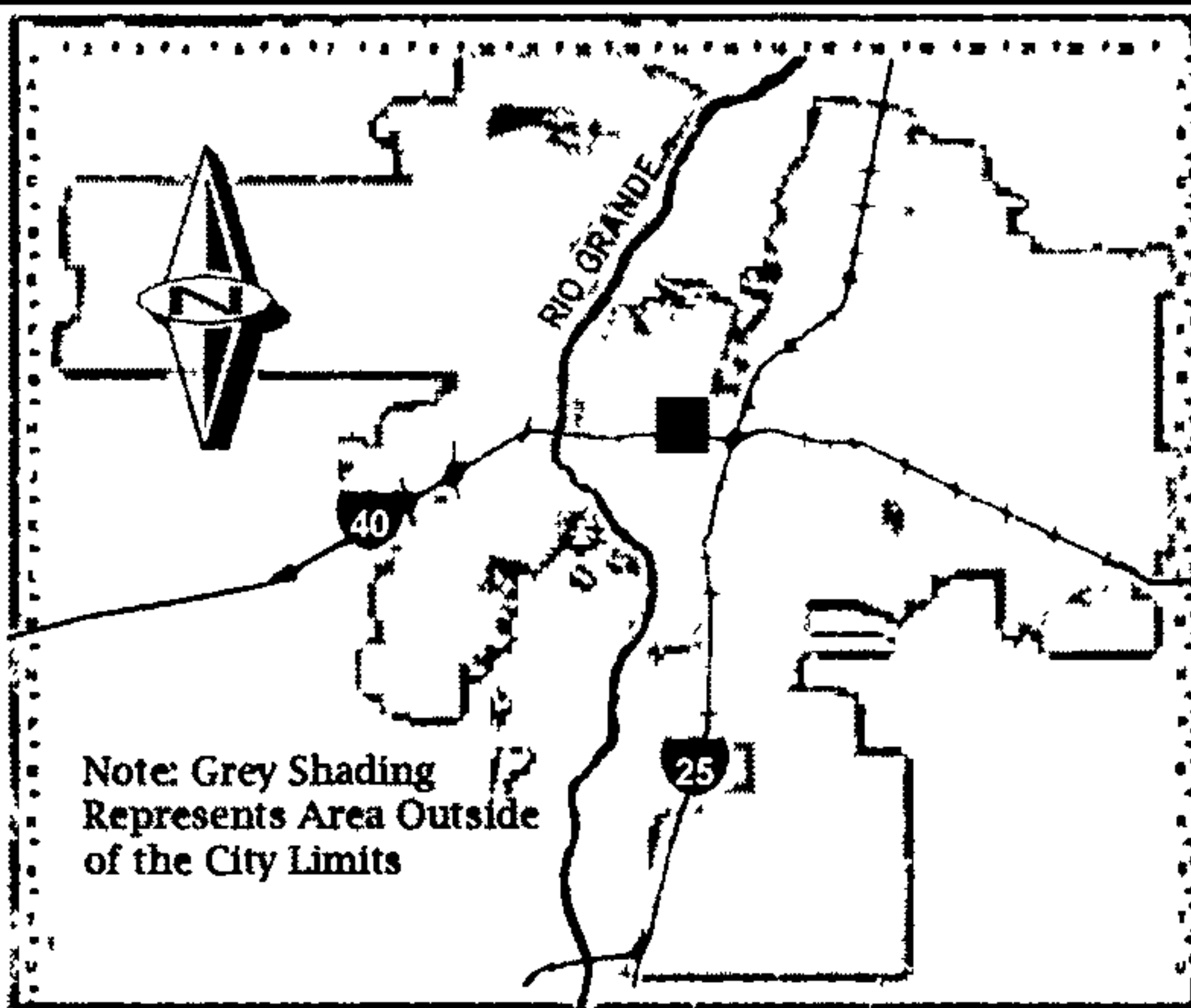
V. [Signature] 11-29-10
Planner signature / date
Project # 1002934



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 2/4/2010



Note: Grey Shading Represents Area Outside of the City Limits

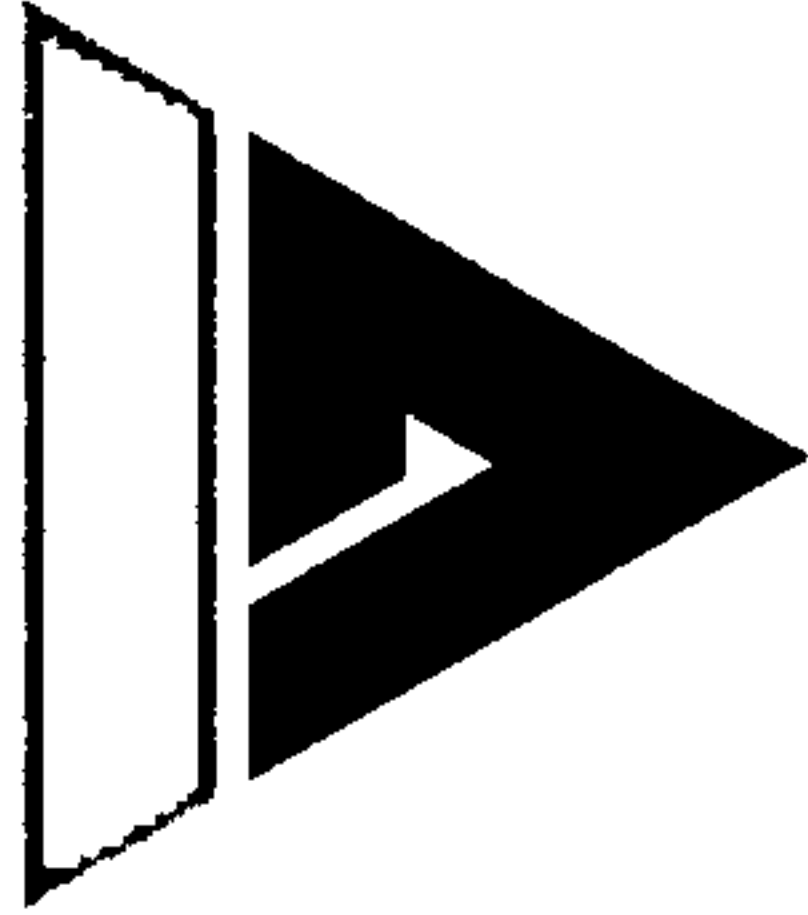
Zone Atlas Page:

H-14-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





Isaacson & Arfman, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE & LS · Fred C. Arfman, PE · Åsa Nilsson-Weber, PE

November 29, 2010

Mr. Jack Cloud, Chairman
Development Review Board
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: Clean Machine Car Wash
4th & Menaul Marketplace
COA Project No.**

Subject: DRB Submittal

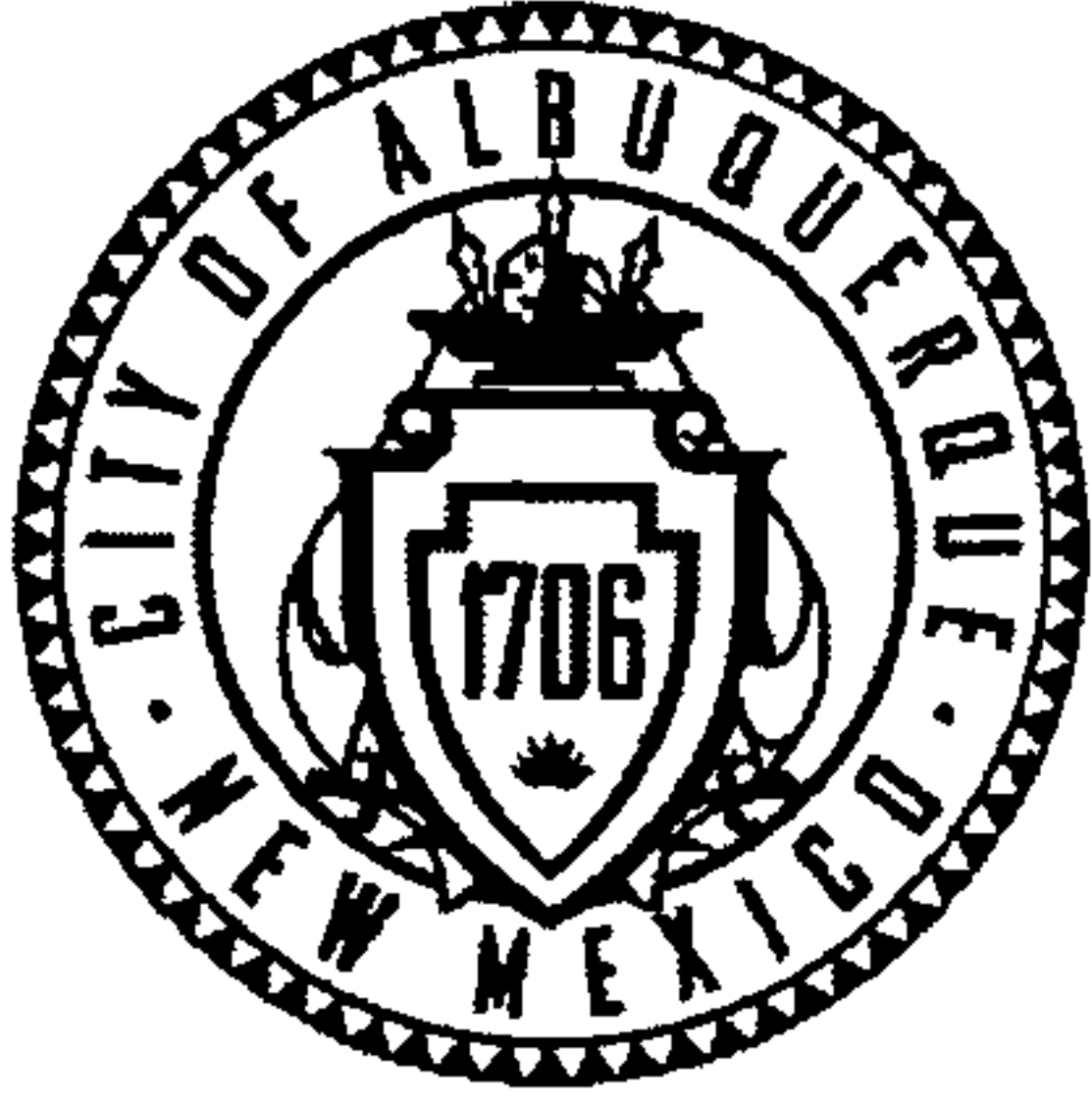
Dear Mr. Cloud:

Isaacson & Arfman, P.A., agent for the Owner, hereby request that the accompanying submittal be placed on the December 8, 2010 DRB Agenda. The required Administrative Amendment has been approved and a copy will be provided to your office prior to the hearing date.

Thank you for your attention to this matter and we are available to answer any project related questions.

Respectfully,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE
FCA/rtl



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Deborah Stover, Director

Richard J. Berry, Mayor
CAO
September 28, 2010

David S. Campbell,

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Project Number(s):

Case Number(s):

Agent: Isaacson & Arfman, P.A.

Applicant: Fourth Street & Menaul, Inc.

Legal Description: Lot 1A, Walgreen Addition, City of Albuquerque

Zoning: C-2

Acreage: 10.06 Acres (0.998 acres will be developed at this time)

Zone Atlas Page: H-14

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

TREATMENT PLAN REVIEW:
DISCOVERY:

SUPPORTING DOCUMENTATION:
2008 AGIS Aerial Photograph

SITE VISIT: n/a

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(2)—extensive previous land disturbance) .***

SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist



LOT 1A, WALGREEN ADDITION
EXISTING SCREEN WALL
(SEE SITEPLAN FOR ELEVATIONS)

LOT 1A, WALGREEN ADDITION
EXISTING SCREEN WALL
(SEE SITE PLAN FOR ELEVATIONS)



LOT 1A, WALGREEN ADDITION
EXISTING SCREEN WALL
(SEE SITEPLAN FOR ELEVATIONS)

FIRE LANE

ROOF

EX

WALGREEN

WALGREEN

WALGREEN

WALGREEN

PROJECT INFORMATION

ADDRESS: 300 MENAUL N.W.
ALBUQUERQUE, NEW MEXICO 87110

OWNER: CLEAN MACHINE, LLC.
1448 EAST FLOWER
PHOENIX, ARIZONA 85018
(602) 400-2323

ARCHITECT: CORE ARCHITECTURE, LLC.
8824 ANAHEIM AVE. N.E. SUITE A
ALBUQUERQUE, NEW MEXICO 87118
(505) 796-0884

BUILDING CODES: 2006 I.B.C., 2006 I.E.C., 2006 I.R.C.
2006 I.E.C.C., 2006 A.I.E.C.C., 2006 I.M.C.
2006 I.P.C., 2006 N.E.C. A.D.A.A.G.

OCCUPANCY GROUP: S

CONSTRUCTION TYPE: I-B

BUILDING AREA: 16,780 SQ. FT.
(ALLOWABLE)

BUILDING AREA: CARWASH TUNNEL - 4,142 SQ. FT.
(ACTUAL) KITCHEN - 240 SQ. FT.
EQUIPMENT ROOM - 1,393 SQ. FT.
TOTAL - 5,775 SQ. FT.
VACUUM CANOPIES - 7,448 SQ. FT.

USE: AUTOMATED CARWASH

EXISTING ZONING: C-2/8C

GROSS SITE AREA: 513,878 S.F. = 11.79 ACRES (ENTIRE SITE)

NET SITE AREA: 467,072 S.F. = 10.72 ACRES (ENTIRE SITE)

SITE COVERAGE: 88.57% (ENTIRE SITE)

LANDSCAPE AREA: 62,736 S.F. (ENTIRE SITE)

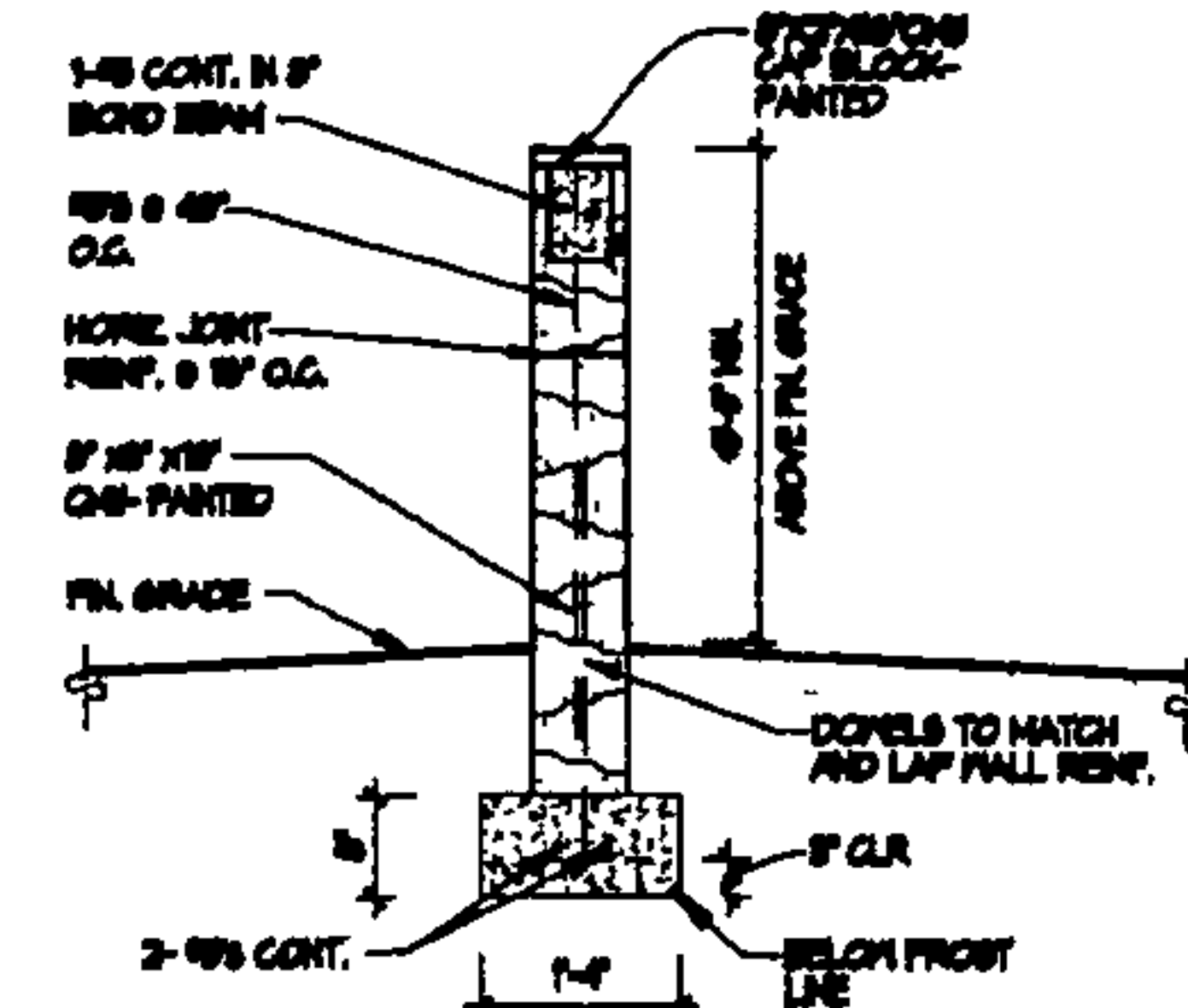
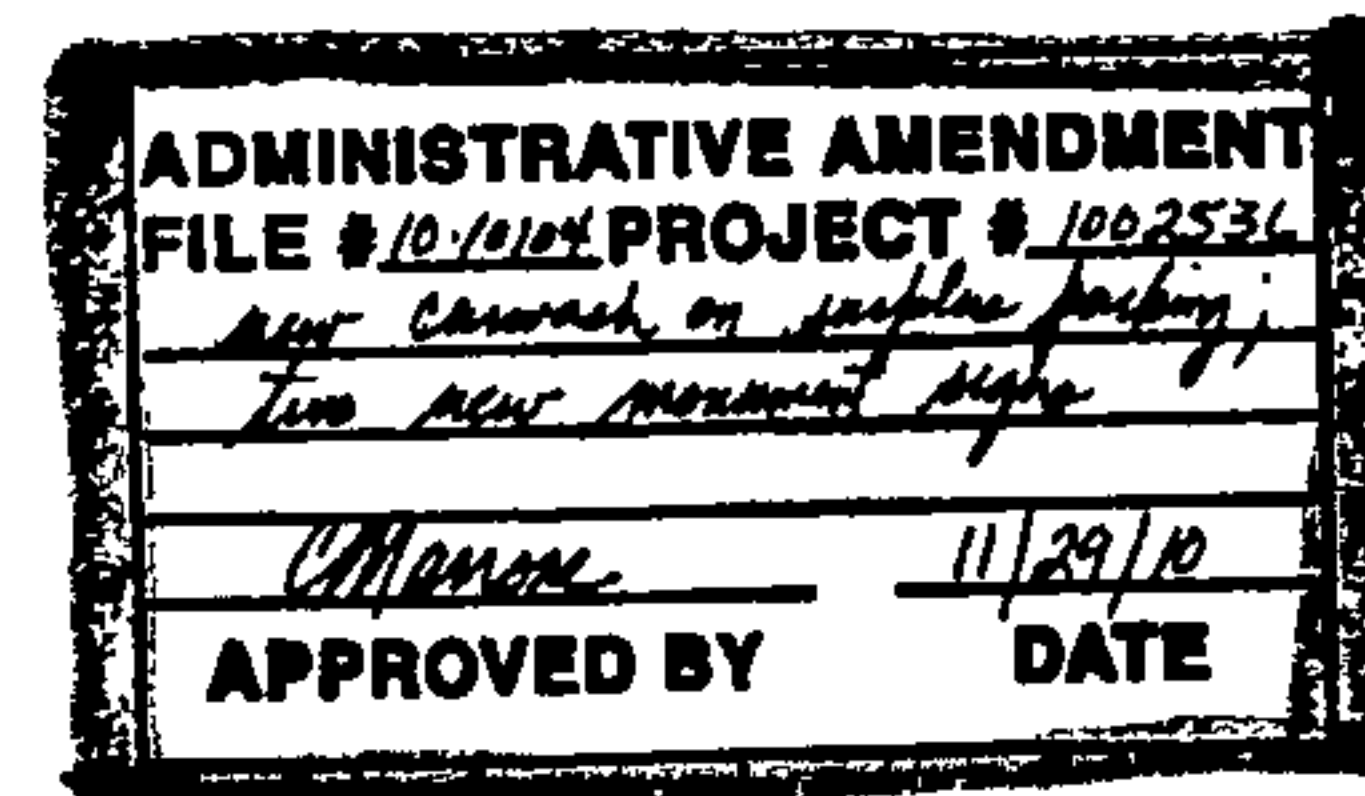
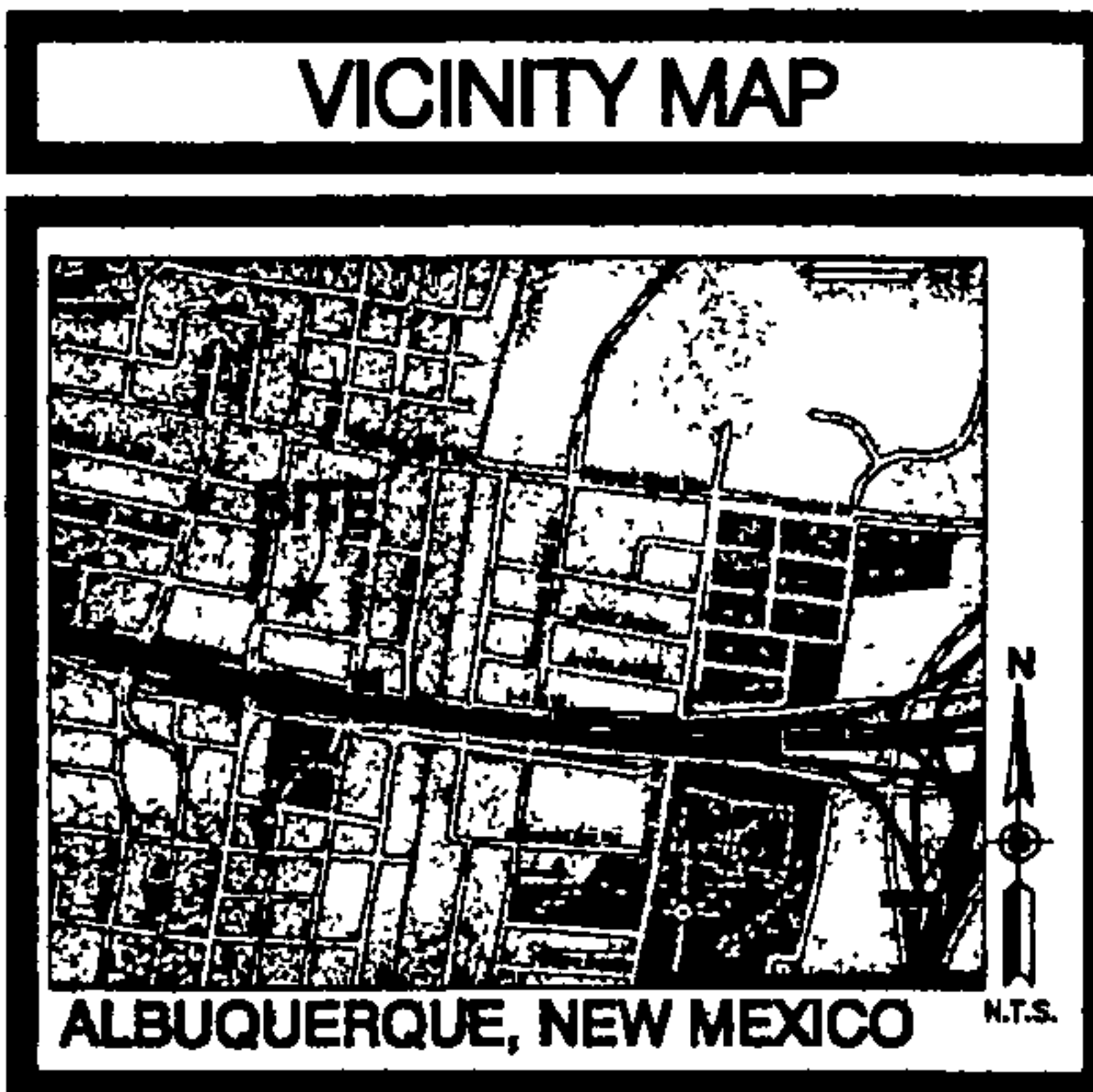
LANDSCAPE COVERAGE: 13.43% (ENTIRE SITE)

PARKING CALCULATIONS:

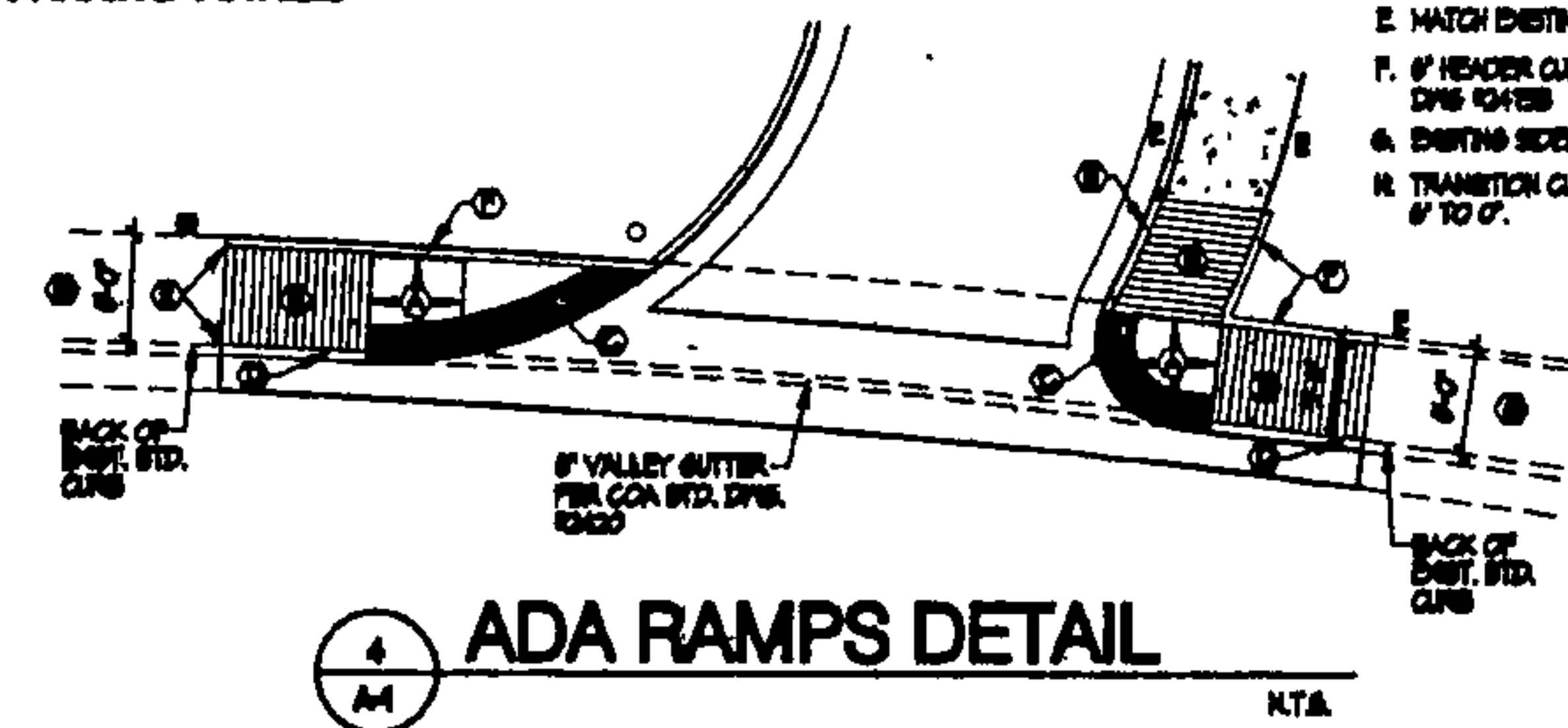
REQUIRED:
CAR WASH (1 SPACE/200 SQ. FT.)
4,892 S.F./200
TOTAL: 22 STALLS

PROVIDED:
24 STALLS
2 HANDICAPPED STALLS
BIKE PARKING 4 STALLS

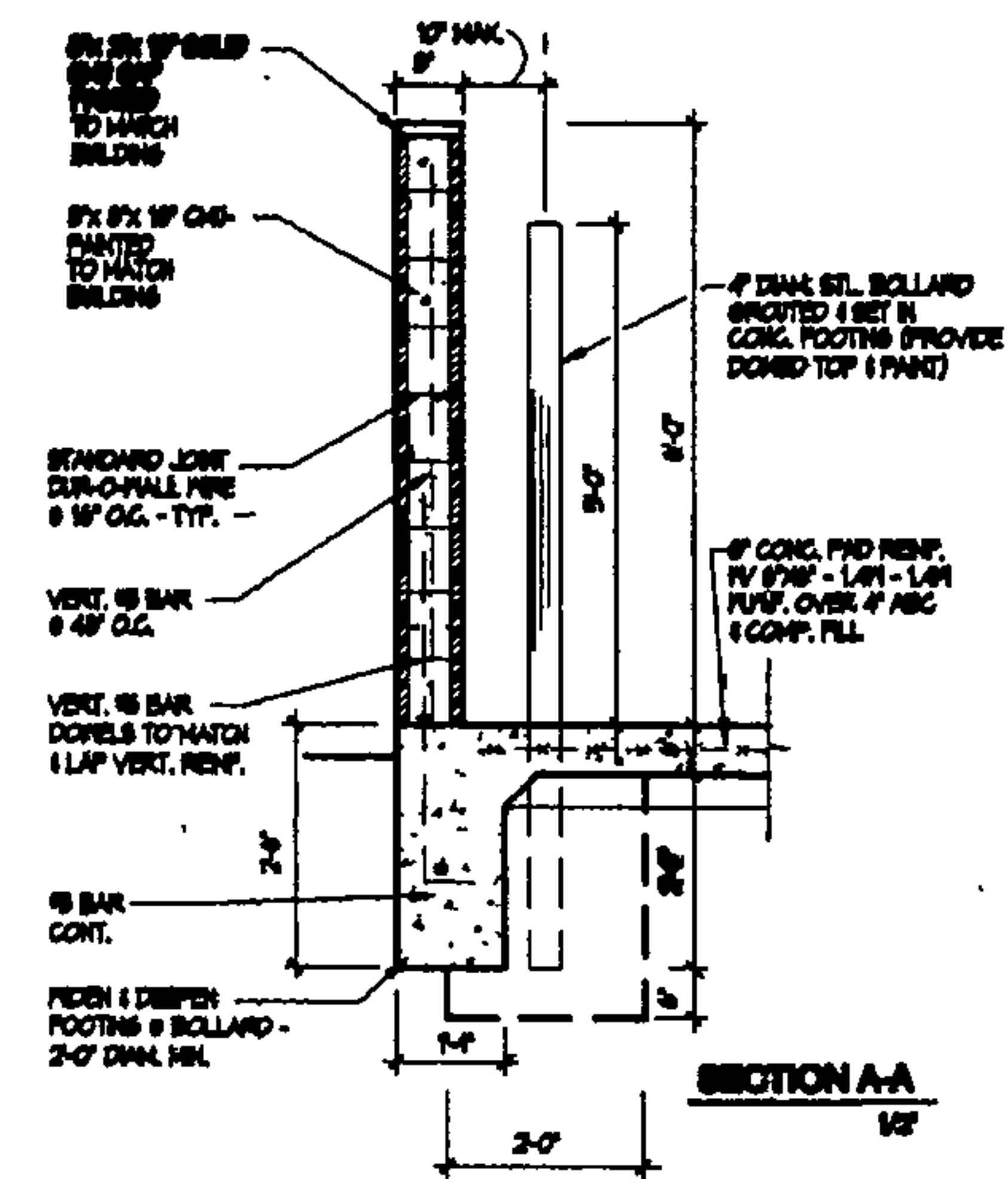
- KEYED NOTES:**
- 8'-0" x 7'-0" LANDING AREA AT 2ND FLOOR (240)
 - RAMP AT 2ND FLOOR WITH 8'-0" MIN. WIDTH (240)
 - 2'-0" DEEP. FINISH SURFACE (TRUNCATED CONES)
 - TRANSITION CURB HEIGHT FROM 8" TO 2"
 - HATCH DETAIL SIDEWALK
 - IF HATCH CURB PER G.O.A. STD. DIM. 10" x 8"
 - DETAIL SIDEWALK
 - TRANSITION CURB HEIGHT FROM 8" TO 2"



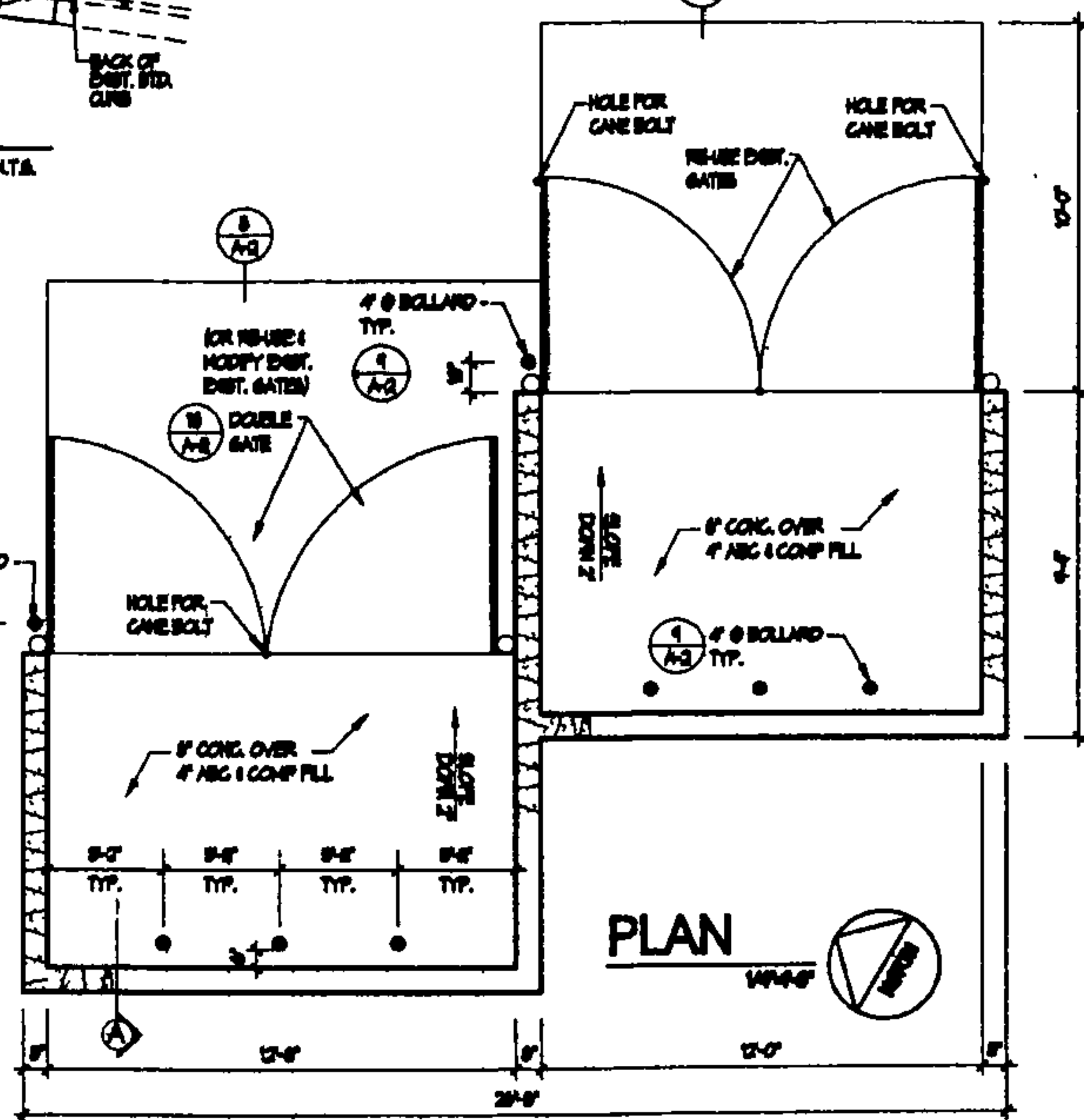
CMU SCREEN WALL



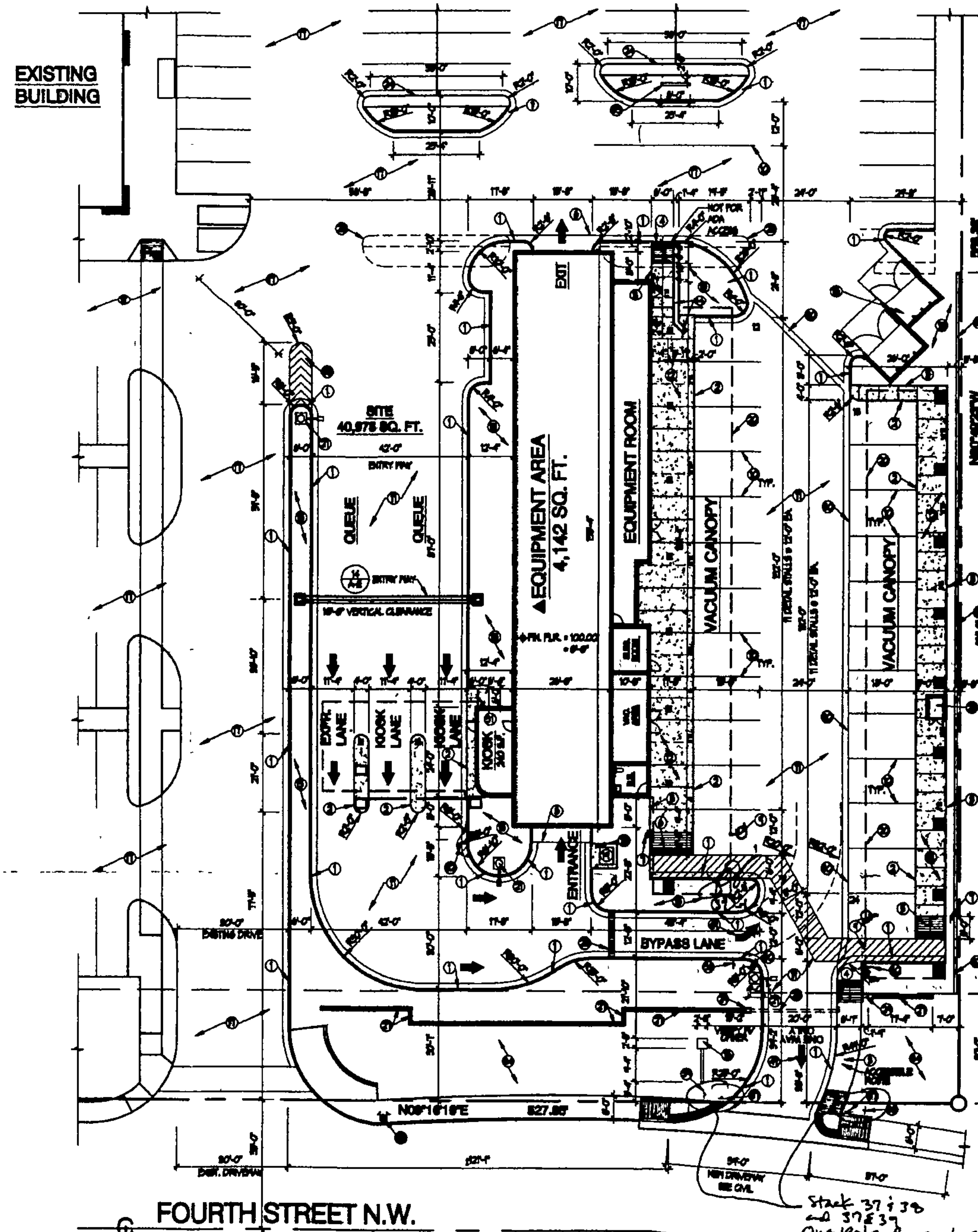
ADA RAMPS DETAIL



DUMPSTER ENCLOSURE DETAIL



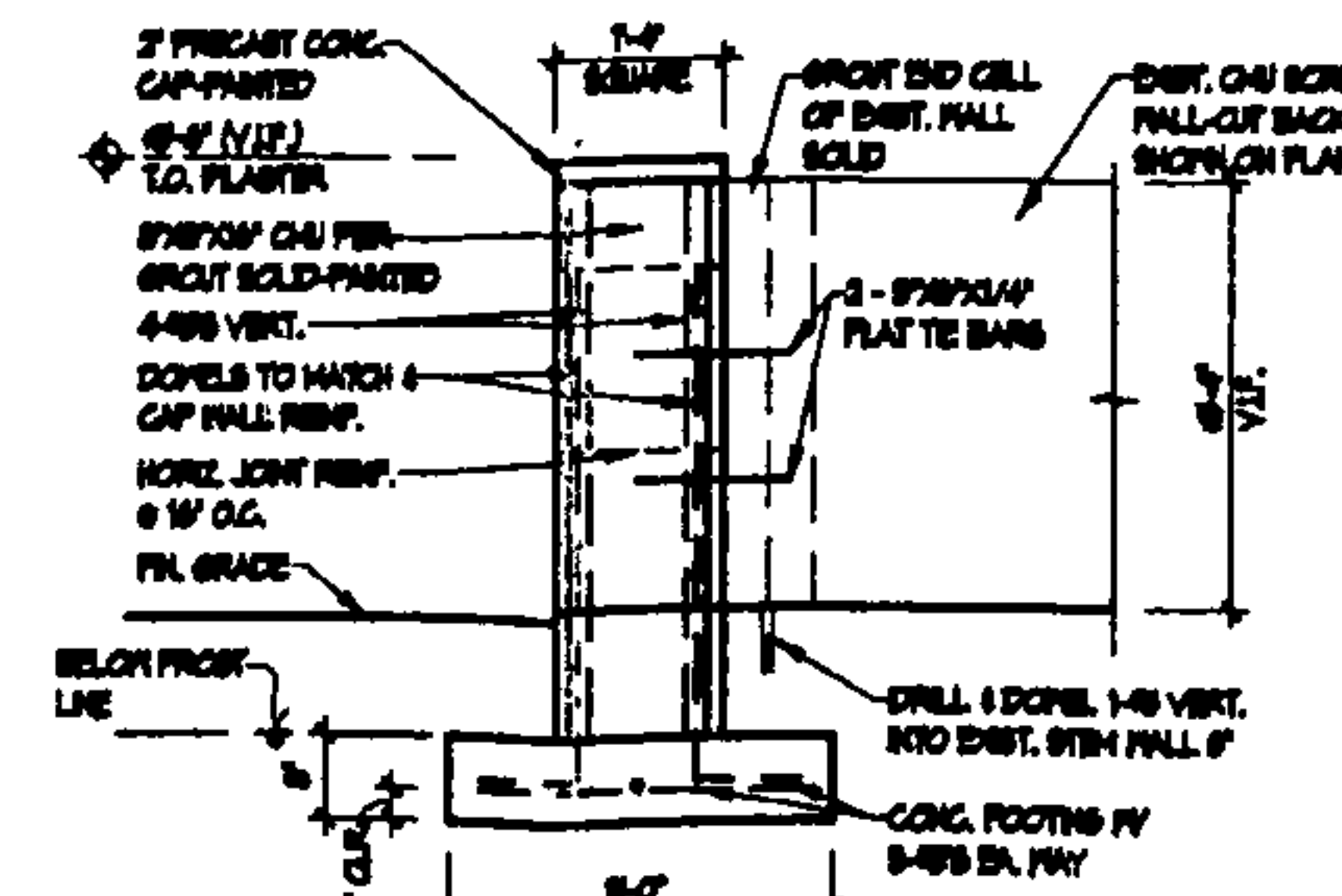
PLAN



FOURTH STREET N.W.

SITE PLAN

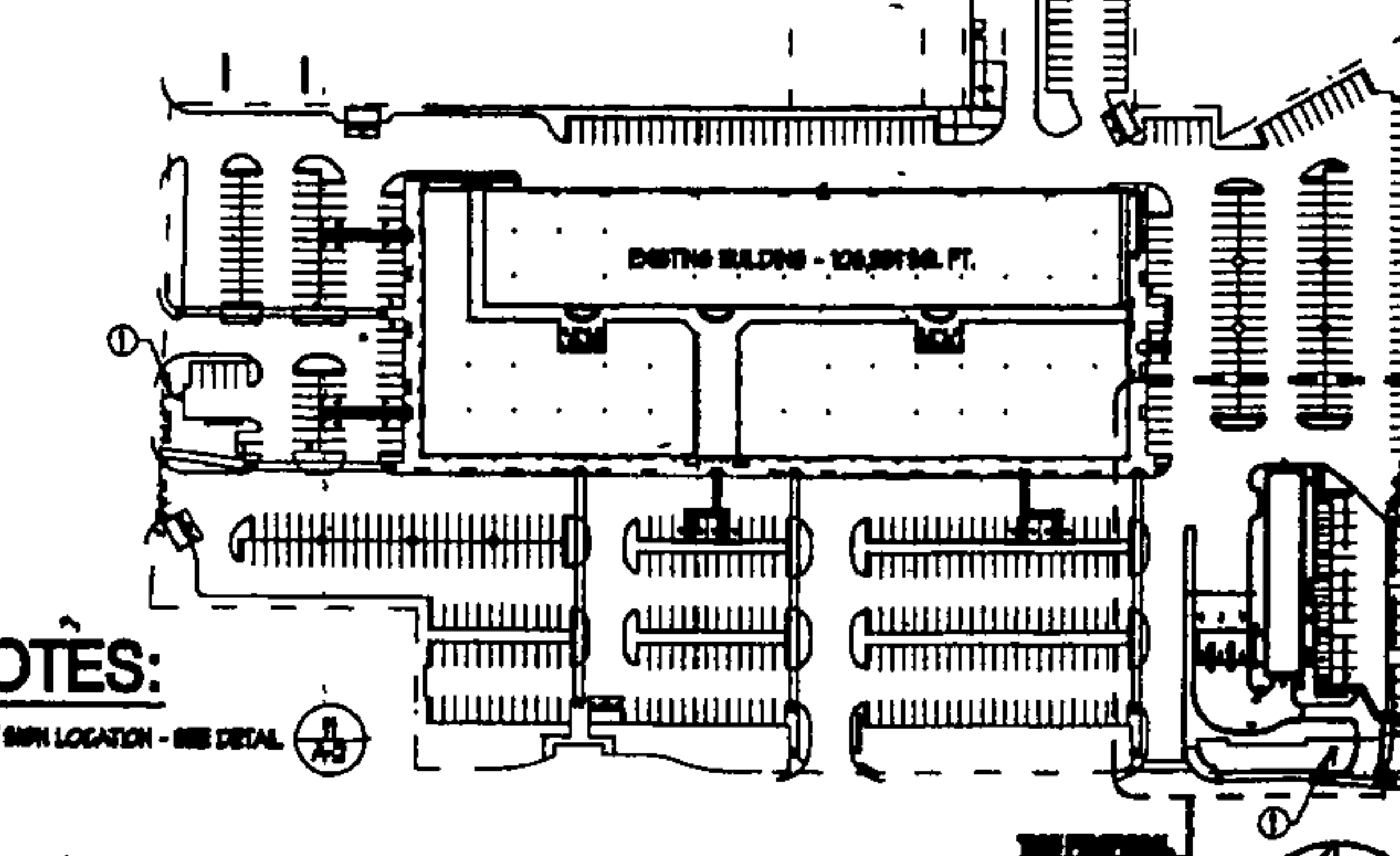
NOTE:
SEE CIVIL DRAWINGS FOR EXISTING ASPHALT TO BE REMOVED FOR NEW STRUCTURES
- - - INDICATES FIBER BROADCAST JOINTS, CALLS CONTINUOUSLY.
- - - INDICATES TOOLED CONTROL JOINT



SCREEN WALL PILASTER

SITE PLAN KEY NOTES:

- CONC. CURB & GUTTER - SEE DETAIL
- CONCRETE FINISH AT ASPHALT - SEE DETAIL
- FINISH & GRADE - SEE DETAIL
- RAMP - SEE DETAIL
- NO RAMP - SEE DETAIL
- NO RAMP - SEE DETAIL
- NO RAMP - SEE DETAIL
- CONCRETE FINISH - SEE DETAIL
- PAINTED FINISH PER ADA STANDARDS
- 2" DEEP FINISH DETAIL
- NEW ASPHALT OVER ABC 1 COMP. FILL - SEE CIVIL DRAWING ENCLOSED CONC. & FINISH DETAIL
- CONCRETE OVER ABC 1 COMP. FILL
- BOLLARD - SEE DETAIL
- 3'-0" HIGH SCREEN WALL - SEE DETAIL
- NEW LANDSCAPE AREA
- SEE DETAIL FOR COMPOSITE SITE PLAN FOR BSH LOCATIONS AT OTHER STRUCTURES
- DETAIL ASPHALT TO FINISH
- NEW DETAIL ENCLOSEURE
- TRANSFORMER - SEE ELECTRICAL
- DETAIL CANOPIES - SEE DETAIL
- ELECTRICAL LIGHT POLE - SEE DETAIL
- NOT USED
- DETAIL FINISH TO BE REMOVED
- NEW FINISH
- THE SPINE
- VACUUM ENCLOSURE - SEE SHEET A-4
- DETAIL CHU SCREEN WALL TO FINISH
- PORTION OF DETAIL CHU SCREEN WALL TO BE REMOVED
- NEW DETAIL CHU FINISH
- CONC. VALLEY GUTTER - SEE CIVIL DRAWING
- SEE DETAIL
- NEW DETAIL CHU FINISH - 8'-0" HIGH
- NEW DETAIL CHU FINISH - 8'-0" HIGH
- DETAIL LANDSCAPING TO FINISH
- CHECK ON SYSTEMS
- NO FINISH DETAIL - SEE CIVIL
- DO NOT DETAIL - SEE CIVIL
- ONE FINISH - (8'-0")
- ONE FINISH - (8'-0")
- ONE FINISH ONLY FINISH DETAIL
- PROPOSED FIRE HYDRANT



COMPOSITE SITE PLAN

KEY NOTES:

- NEW HORIZONTAL BSH LOCATION - SEE DETAIL

A NEW CARWASH FOR
CLEAN MACHINE
300 MENAUL N.W. ALBUQUERQUE, NEW MEXICO 87110

PROJECT NO.	1002534
DATE	11/29/12
SCALE	AS SHOWN
CITY	ALBUQUERQUE, NM
CLIENT	CLEAN MACHINE
ARCHITECT	ASSOCIATED ARCHITECTS, INC.
PROJECT	NEW CARWASH
SHEET NO.	A-1
TOTAL SHEETS	3

ASSOCIATED ARCHITECTS, INC.
1356 E. McCall Blvd., Ste. 101 Mesa, Arizona 85203
Phone: 480.964.8451 Fax: 480.964.1787
WWW.ASSOCIATED-ARCHITECTS.COM



SHEET NO. 1
A-1
of 3



Wilfred A. Gallegos
06/17/04 08:42 AM

To: Kevin J. Curran/LEGAL/CABQ@COA, Sheran A. Matson/PLN/CABQ@COA
cc:
Subject: Re: 4TH & Menaul Vacation & plat

Kevin,

If Mr. Marney purchases the entire right-of-way, or his half, will he have to give an easement since Mr. Powers is replacing the street to its original configuration and using it as access to the site? Almost seems to me that if either one buys vacated right-of-way, they will be required to encumber it with an easement.

Wilfred



Kevin J. Curran
06/16/2004 07:50 PM

To: Roger A. Green/PWD/CABQ@COA
cc: Brad L. Bingham/PWD/CABQ@COA, Christina M. Sandoval/DMD/CABQ@COA, Richard H. Dourte/PWD/CABQ@COA, Sheran A. Matson/PLN/CABQ@COA, Wilfred A. Gallegos/PLN/CABQ@COA
Subject: Re: 4TH & Menaul Vacation & plat

Property management needs to send out a certified letter to both property owners. If a property owner does not respond within 30 days the City is free to do whatever it wants.

Kevin J. Curran
Assistant City Attorney
600 2nd Street NW
Albuquerque, NM 87102
Phone (505) 924-3995
Fax (505) 924-3440
kcurran@cabq.gov



Roger A. Green
06/16/04 03:52 PM

To: Sheran A. Matson/PLN/CABQ@COA
cc: Brad L. Bingham/PWD/CABQ@COA, Christina M. Sandoval/DMD/CABQ@COA, Kevin J. Curran/LEGAL/CABQ@COA, Richard H. Dourte/PWD/CABQ@COA, Wilfred A. Gallegos/PLN/CABQ@COA
Subject: Re: 4TH & Menaul Vacation & plat

The street location is 2nd Street, not 4th.

Roger A. Green, PE
Principal Engineer
Utility Development Section



Sheran A. Matson

To: Kevin J. Curran/LEGAL/CABQ@COA, Roger A.



06/16/2004 03:49 PM

Green/PWD/CABQ@COA, Brad L. Bingham/PWD/CABQ@COA,
Christina M. Sandoval/DMD/CABQ@COA, Richard H.
Dourte/PWD/CABQ@COA, Wilfred A. Gallegos/PLN/CABQ@COA
cc: Richard H. Dourte/PWD/CABQ@COA
Subject: 4TH & Menaul Vacation & plat



Kevin

There is a short portion of Prospect Avenue that extends west from 4th Street close to Menaul into what was the old Kmart at this location. In March the vacation of this stub was approved at DRB. We required the two adjacent property owners, Bob Powers & RJ Marney, to simultaneously submit a plat with each incorporating half of the vacated right of way into a plat. Both plats were approved by DRB. Both plats were signed off & delegated to Utilities to relocate the fire hydrant, add valves, etc & to get property management's signature. Neither has received Roger's signature to day, according to him.

In the meantime, Mr Powers got angry with Mr Marney & decided to let his plat die. Now Mr Marney wants to know if he can incorporate the entire right of way into a new plat. He claims Powers is restoring Prospect to the way it was before the vacation was granted. He would have to do this if he intended not to plat his half into his plat.

Mr Marney has gotten a price from Property Management to buy the whole right of way which was vacated last March. His question is, does he need to get Mr. Powers signature agreeing to Mr Marney incorporating the entire vacation into his plat? Since we have already approved the vacation which both parties agreed to I wasn't sure. It would definitely be the best situation, but the two men are no longer on speaking terms. Doesn't Property Management have to contact Mr Powers to see if he wants his half of the right of way?

I don't want to get in the middle of a feud for sure. However, Marney had an attorney before. So I want to give him the legally correct answer.

The Project # 1002934.

Mr. Marney's phone number: 345-1205.

Please let me know what you tell him.

Thanks!!



SUBDIVISION	Supplemental form S	ZONING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation & Zone Establishment	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> Sector Plan	
<input checked="" type="checkbox"/> Vacation	V	<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Text Amendment	
SITE DEVELOPMENT PLAN	P	APPEAL / PROTEST of...	A
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal	
<input type="checkbox"/> ...for Building Permit			
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>FOURTH STREET & MENAUL, INC.</u>	PHONE: <u>602-840-3931</u>
ADDRESS: <u>4446 E. Flower</u>	FAX: <u>602-840-6365</u>
CITY: <u>Phoenix</u> STATE <u>AZ</u> ZIP <u>85018</u>	E-MAIL: _____
Proprietary interest in site: <u>Owner</u>	
AGENT (if any): <u>de la Torre Architects</u>	PHONE: <u>505-883-7918</u>
ADDRESS: <u>2400 Louisian NE, Bldg. 3, Suite 110</u>	FAX: <u>505-883-5975</u>
CITY: <u>Albuquerque</u> STATE <u>NM</u> ZIP <u>87110</u>	E-MAIL: <u>dltarch@qwest.net</u>

DESCRIPTION OF REQUEST: Preliminary and Final Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1A Block: 0 Unit: _____

Subdiv. / Addn. Walgreen Addition

Current Zoning: C-2(SC) Proposed zoning: Same

Zone Atlas page(s): H-14-z No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 10.7 Density if applicable: dwellings per gross acre: n/a dwellings per net acre: n/a

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? no

UPC No. 101-405-933-526-043-424 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 300 Menaul NW
Between: 4th Street NW and 2nd Street NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1002536, 03AA0-00413

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 3-2-04

(Print) _____ Applicant Agent

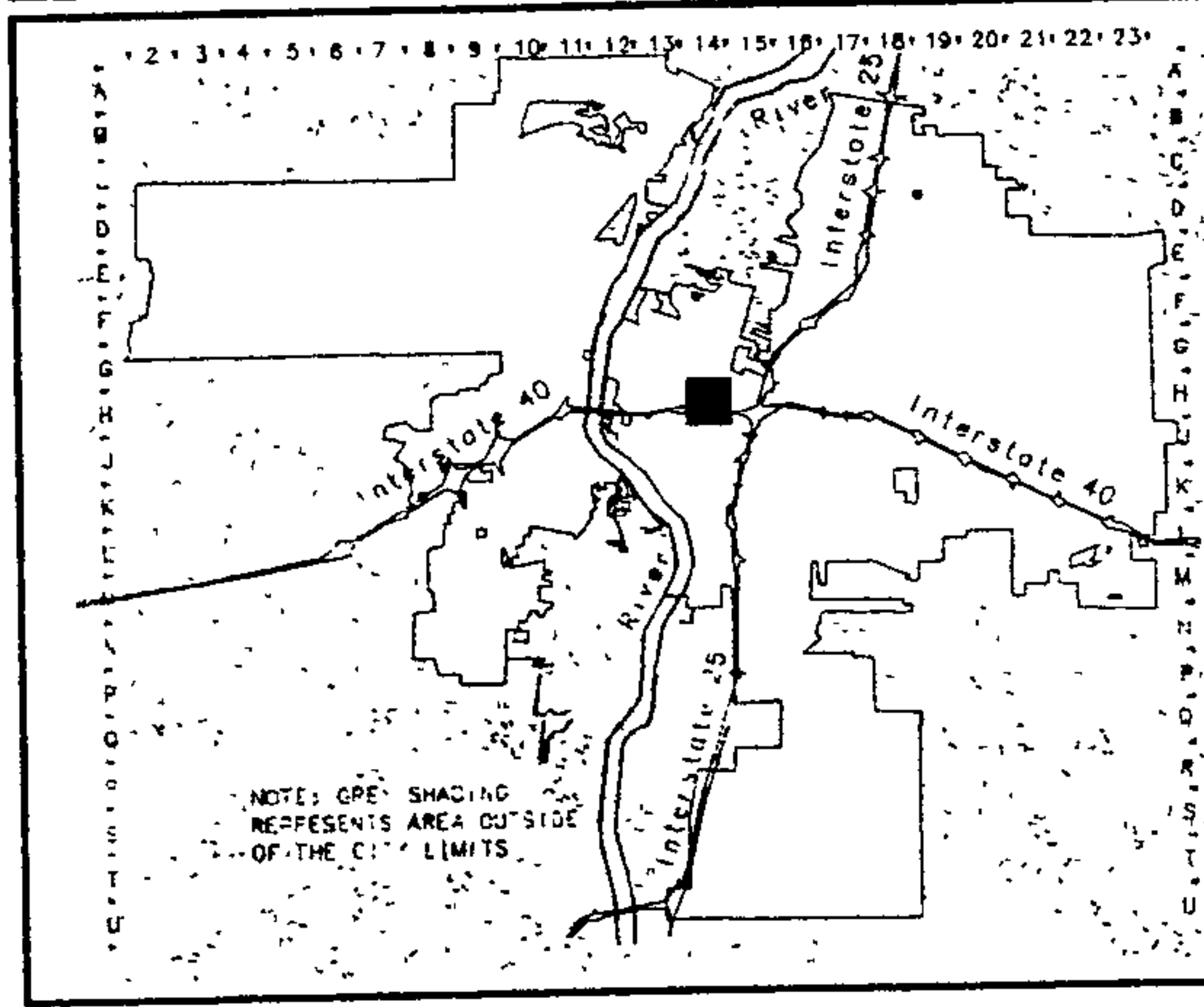
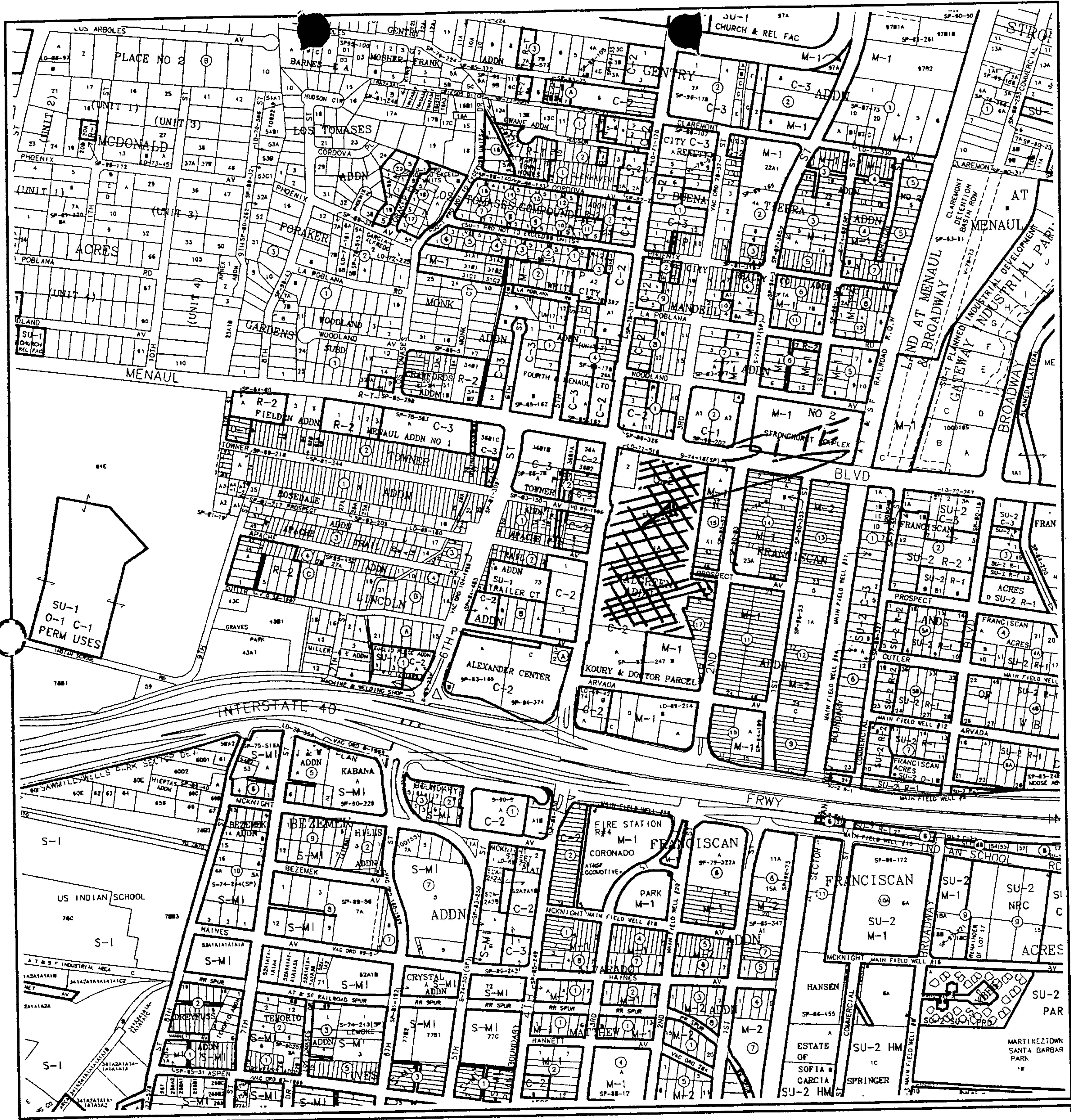
FOR OFFICIAL USE ONLY

Form revised September 2001

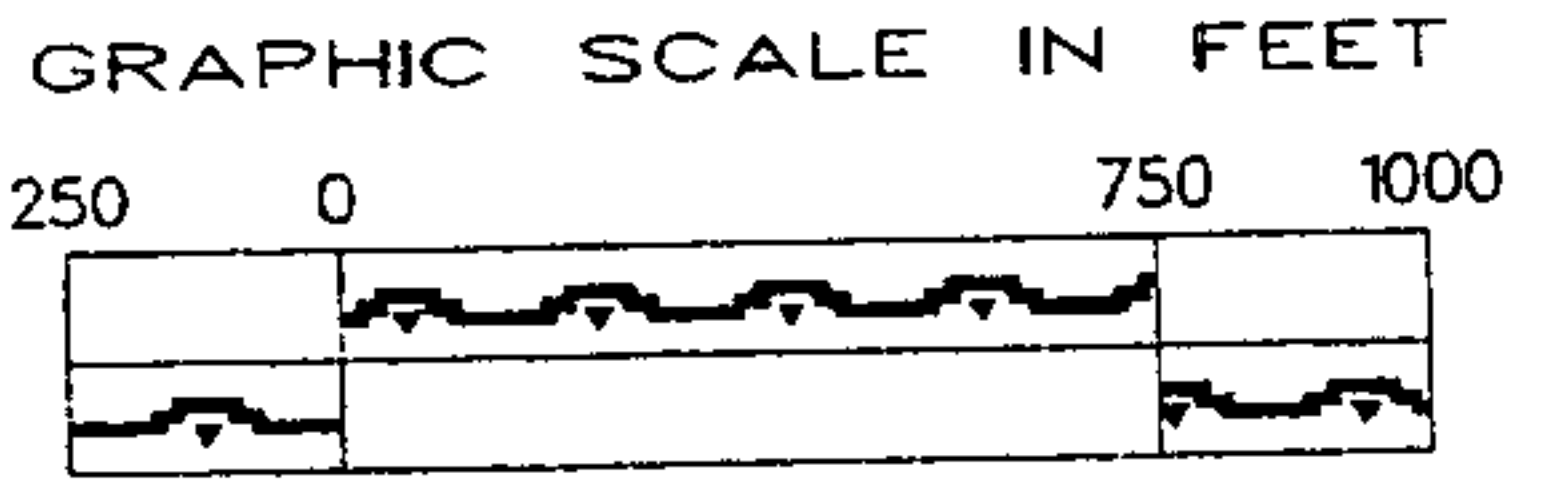
<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 00271</u>	<u>P&F</u>	<u>5(3)</u>	\$ <u>215.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CFM</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>3.10.04</u>			\$ <u>235.00</u>

[Signature] 3/2/04
Planner signature / date

Project # 1002934



CITY OF
Albuquerque
A Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page
H-14-Z
Map Amended through July 10, 2003

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer)

NO INTERNAL ROUTING

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED. WILL BRING IN.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Bob Pownas
Applicant name (print)
HL
3-2-04
Applicant signature / date



Form revised 3/03, 8/03 and 11/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB-00271

Olga Senora 3/2/04
Planner signature / date
Project # 1002934

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME

4th Street & Menaul Dr

AGENT

de la Torre Architects

ADDRESS

PROJECT & APP #

1002934 - 04DRB - 00271

PROJECT NAME

Walgreen Addition

\$ 20.00 469099/4916000 Conflict Management Fee

\$ 215.00 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 235.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
 City of Albuquerque
 Treasury Division
 03/02/2004 9:25AM LOC: ANNX
 RECEIPT# 00021359 WS# 007 TRANS# 0014
 ACCOUNT 441006 FUND 0110 TRSLJS
 ACTIVITY 4983000 \$235.00
 TRANS AMT \$235.00
 J24 MISC \$20.00

Thank You

DUPLICATE
 City Of Albuquerque
 Treasury Division

03/02/2004 9:25AM LOC: ANNX
 RECEIPT# 00021359 WS# 007 TRANS# 0014
 Account 441006 Fund 0110
 Activity 4983000 TRSLJS
 Trans Amt \$235.00
 J24 Misc \$215.00
 CK \$235.00
 CHANGE \$0.00

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST of...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: R. JOHN MARNEY PHONE: 345-1205
 ADDRESS: 6812 TOKAY ST NE FAX: 345-1205
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: _____
 Proprietary interest in site: OWNER
 AGENT (if any): NONE PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: PRELIMINARY AND FINAL PLAT APPROVAL FOR STREET VACATION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 46 (+ADJOINING PROSPECT AVE NW) Block: 15 Unit: _____
 Subdiv. / Addn. FRANCISCAN ADDITION
 Current Zoning: M-1 Proposed zoning: M-1
 Zone Atlas page(s): H-14 No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): .1730 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 101405936426110102 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: INTERSECTION OF 2ND + PROSPECT NW
 Between: I-40 and MENAU NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

PROJECT # 1002934

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre application Review Team . Date of review: _____

SIGNATURE R. John Marney DATE 03/02/04
 (Print) R JOHN MARNEY Applicant Agent

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>04DRB - .00274</u>	<u>P&F</u>		\$ <u>215.00</u>
<input type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input type="checkbox"/> All case #s are assigned				\$ _____
<input type="checkbox"/> AGIS copy has been sent				\$ _____
<input type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>3.10.04</u>			Total \$ <u>235.00</u>

Clare Senora 3/2/04
 Planner signature / date

Project # 1002934

8

Part 3

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- ___ Preliminary Plat reduced to 8.5" x 11"
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Copy of previous D.R.B. approved infrastructure list
- ___ Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- ___ Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Design elevations & cross sections of perimeter walls
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing
- ___ SIA financial guaranty verification
- ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- ___ Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- ✓ Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, ~~4 copies for internal routing.~~
- ✓ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ✓ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ✓ Letter briefly describing, explaining, and justifying the request
- ✓ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- ✓ Property owner's and City Surveyor's signatures on the Mylar drawing
- ✓ ~~WA~~ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- ✓ Fee (see schedule)
- ✓ Any original and/or related file numbers are listed on the cover application

Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
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- ___ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- ___ Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

R JOHN MARNEY
Applicant name (print)
R John Marney 03/02/04
Applicant signature / date



Form revised 3/03, 8/03 and 11/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB - 00274

Oliver Senora 3/2/04
Planner signature / date
Project # 1002934

R. John Marney
6812 Tokay St NE
Albuquerque, NM 87113
505-345-1205

March 2, 2004

City of Albuquerque
Development Review Board
600 2nd St NW
Albuquerque, NM 87102

Re: Preliminary and Final Plat Approval for Street
Vacation.
Project #1002536

I am asking for vacation of this street because it no longer serves the public interests. And secondly, because it is a dead end without a cul-de-sac. This results in vehicles being trapped without a way to turn around except to use the adjoining private properties which has resulted in several vehicles backing into my fence and shop building causing damage.

Thank You

R John Marney

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME

R. John Marney

AGENT

Same

ADDRESS

PROJECT & APP #

1002934 - 04DRB.00274

PROJECT NAME

\$ 20⁰⁰ 469099/4916000 Conflict Management Fee

\$ 215⁰⁰ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 235⁰⁰ TOTAL AMOUNT DUE

DUPLICATE
City Of Albuquerque
Treasury Division

03/02/2004 11:13AM LOC: ANN
 X
 RECEIPT# 00021379 WSH 007 TRANS# 0023
 Account 469099 Fund 0110
 Activity 4916000 TRSLJS
 Trans Amt \$235.00
 J24 Misc \$20.00

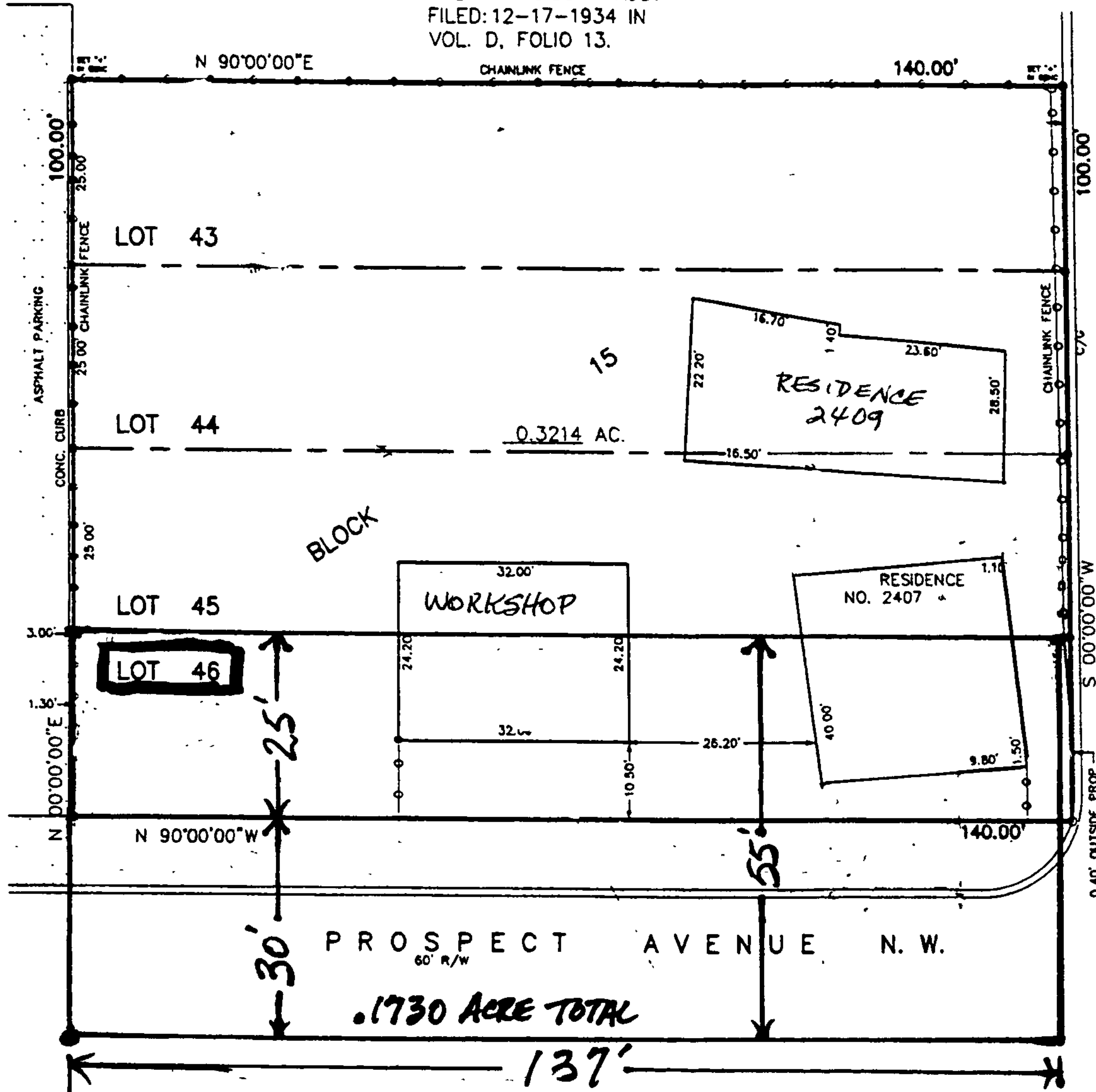
Thank You

DUPLICATE
City Of Albuquerque
Treasury Division

03/02/2004 11:13AM LOC: ANN
 X
 RECEIPT# 00021380 WSH 007 TRANS# 0023
 Account 441006 Fund 0110
 Activity 4983000 TRSLJS
 Trans Amt \$235.00
 J24 Misc \$215.00
 CK \$235.00
 CHANGE \$0.00

SITE SKETCH

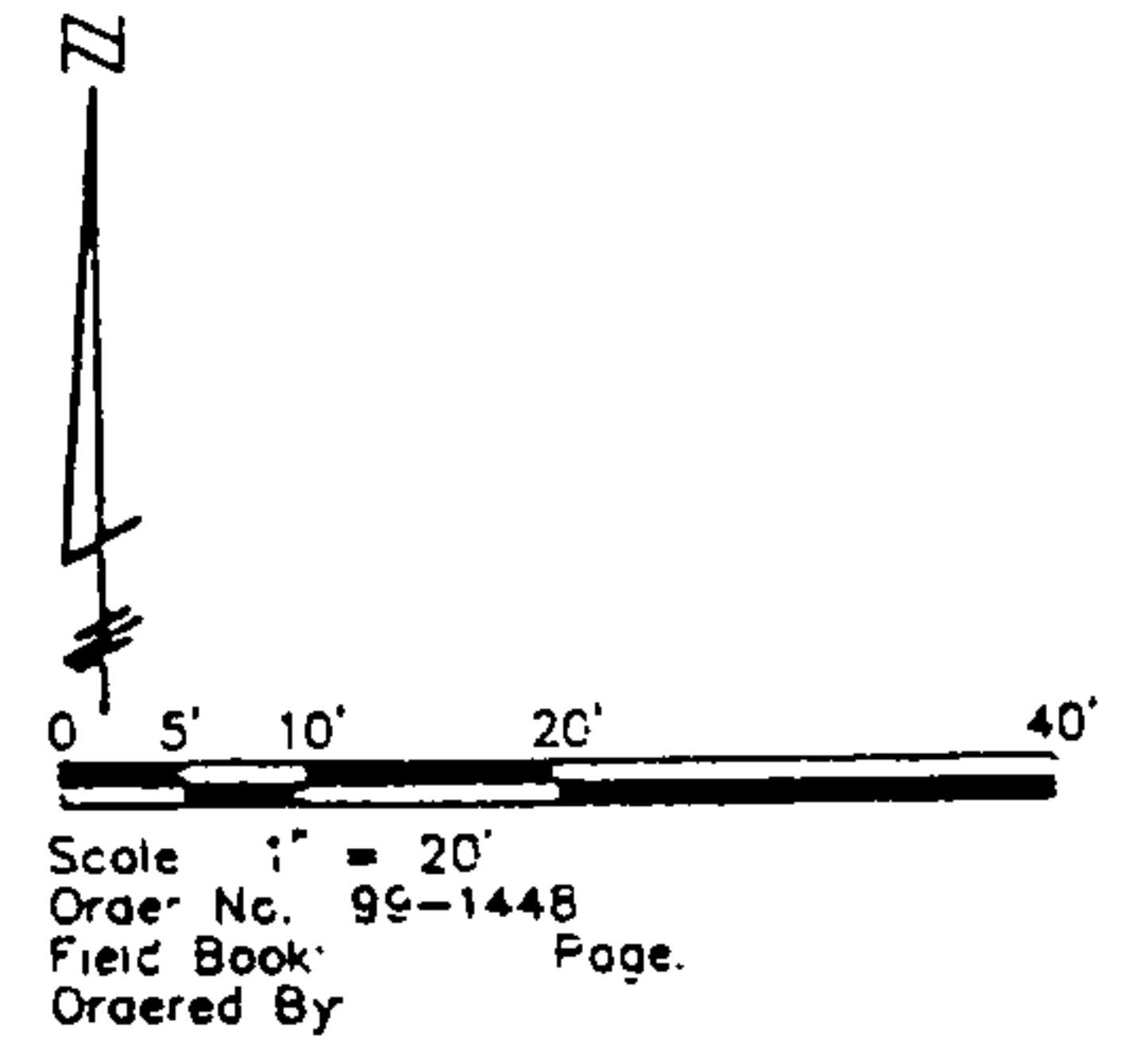
LOT 42, BLOCK 15
THE FRANCISCAN ADD.
FILED: 12-17-1934 IN
VOL. D, FOLIO 13.



LEGAL DESCRIPTION:

LOT NUMBERED FORTY-THREE (43), FORTY-FOUR (44), FORTY-FIVE (45) IN BLOCK NUMBERED FIFTEEN (15), OF THE FRANCISCAN ADDITION, TO NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN PLAT BOOK D, FOLIO 13.

SECOND STREET N.W.
60' R/W



The property shown hereon is not w
100 year flood plain. Zone "X". FIRM
#350010332D Dated. 9-20

SURVEYOR'S CERTIFICATE:

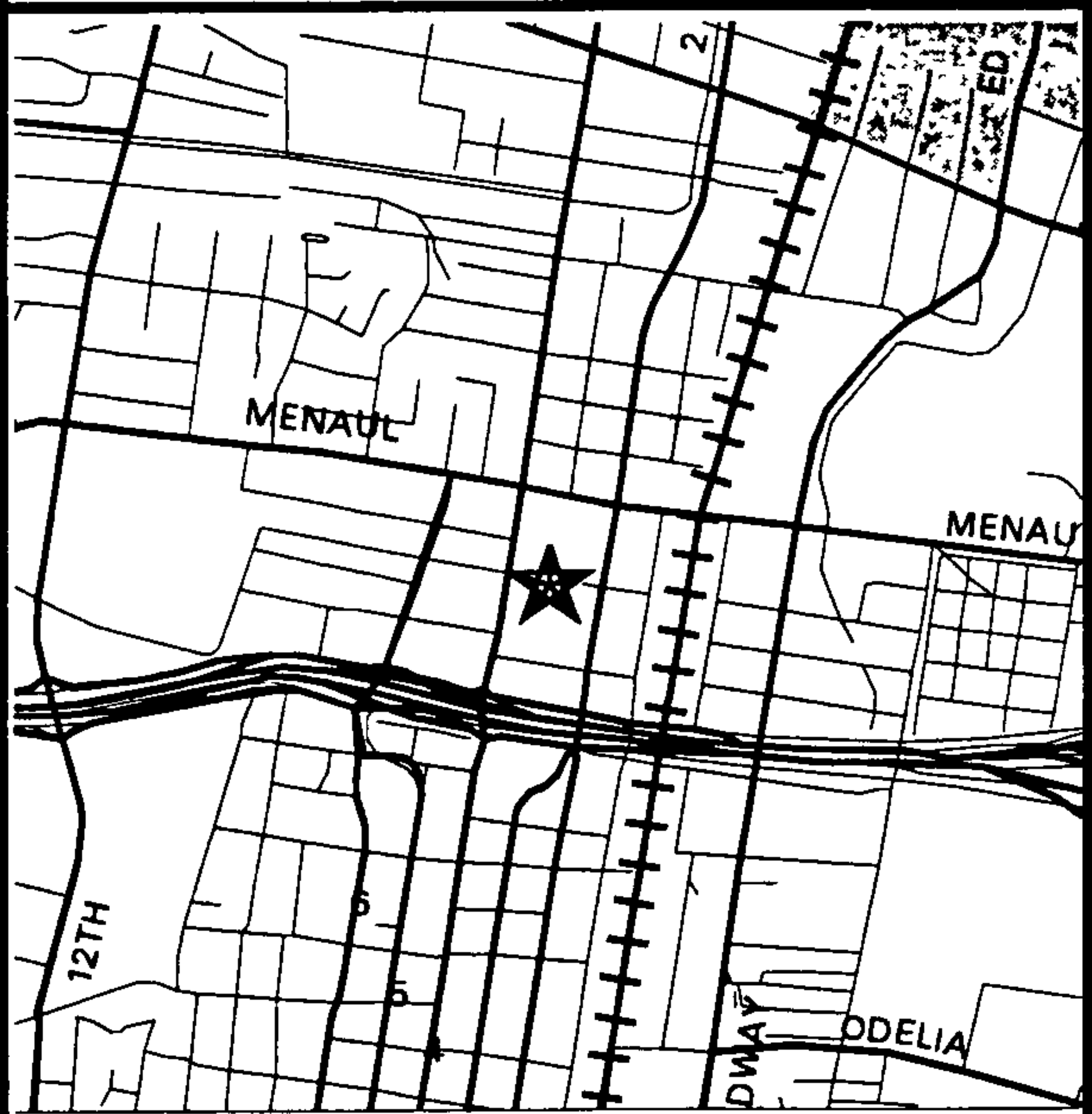
State of New Mexico)
County of Bernalillo) S.S.

I, Anthony L. Harris, a Professional Surveyor, licensed under the laws of the State of New Mexico, certify that the above described property and that the plat hereon drawn is a true and correct representation of the same, based on my knowledge and belief, and meets the minimum standards for land surveys in the State of New Mexico. The boundaries shown hereon are based on the Plat or Deed of Record, unless otherwise indicated herein that they are not of record; that there are no encroachments from the said property onto adjoining properties on that it shows the location of all improvements pertinent to the said survey.

Given under my hand and seal of Albuquerque, New Mexico, this 06TH day of SEPTEMBER

Anthony L. Harris, M.P.S. #11468
2412-D Monroe Street, Albuquerque, New Mexico 87110
Telephone (505) 889-8000





Note: Shaded area indicates County Not to Scale

ZONING MAP



Scale 1" = 442'

PROJECT NO.
1002934

HEARING DATE
9-24-03

MAP NO.
H-14

ADDITIONAL CASE NUMBER(S)
03DRB-01445

WIGGINS, WILLIAMS & WIGGINS
A PROFESSIONAL CORPORATION
LAWYERS

Copy

TELEPHONE (505) 764-8400
FACSIMILE (505) 764-8586

1505 RIO GRANDE NW
ALBUQUERQUE, NEW MEXICO 87104

MAILING ADDRESS
P O BOX 1305
ALBUQUERQUE NM 87103-1305

October 7, 2003

VIA FACSIMILE

Nick Pirkl
de la Torre Architects
Building 3, Suite 110
2400 Louisiana, N.E.
Albuquerque, New Mexico 87110

Bob Powers
505-400-2323

4^d
V:
WE

Dear Mr. Pirkl:

We are in receipt of the draft letter you sent us October 2, 2003 outlining your clients' responses to the concerns our client has regarding the vacation of Prospect Avenue.

My client will not oppose your application to vacate on the following conditions:

First, your client will bear all costs related to the water main and ~~the entire costs of the survey, appraisal and platting of the property to be vacated.~~ *provide a copy of documents showing the status of the main.*

Second, if my client does not acquire the vacated parcel directly adjacent to his property, you will provide a drainage easement, which will allow the developed flow to cross that parcel to the inlet of the storm sewer before being directed to Second Street.

Third, a grant of a gas main easement for the main line and the lateral taps must be made by your client, as, described in Point 2 of your draft letter.

Fourth, ~~the final plat will grant my client a cross access easement as you note in Point 5 of your draft letter~~ *property owners will share the cost of maintaining the storm sewer & shown on the plat.*

Finally, because ~~three~~ *two existing gas* easements must be noted on the plat, which is not the subject of public hearings, my client must be provided copies of the preliminary and final plats before those documents are submitted to the City in order to verify the easements are included and adequate.

Nick Pirkl
October 7, 2003
Page 2

My client does not feel the perimeter wall issue needs to be addressed at this stage in development.
Thank you in advance for your cooperation.

Very truly yours,

WIGGINS, WILLIAMS & WIGGINS
A Professional Corporation

By Patricia G. Williams
Patricia G. Williams

PGW:cir

cc: R J Marney

C:\EX\LIB\PW\Clients\Marney\Pirkl Ltr.wpd

I agree to the above terms
R J Marney 10/15/03
RJM 10-15-03

9/24/03

Mr. Munnery 345-1205

adjoining property owners
4 entrances

1 home

2 commercial uses

H₂O + Sewer ^{service} off 2nd

Transportation Planning

10/15/03

4TH & M^{ENNAUL}
MARKETPLACE

MIXED USE DEVELOPMENT

RETAIL
OFFICE
OFFICE/WAREHOUSE

BOB POWERS
(505) 400-2323

bpowers@4thandmenaulmktpl.com

City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

SUBDIVISION	Supplemental form S	ZONING	Supplemental form Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation & Zone Establishment	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> Sector Plan	
<input checked="" type="checkbox"/> Vacation	V	<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Text Amendment	
SITE DEVELOPMENT PLAN	P	APPEAL / PROTEST of...	A
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal	
<input type="checkbox"/> ...for Building Permit			
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>FOURTH STREET & MENAUL, INC.</u>	PHONE: <u>602-840-3931</u>
ADDRESS: <u>4446 E. Flower</u>	FAX: <u>602-840-6365</u>
CITY: <u>Phoenix</u> STATE <u>AZ</u> ZIP <u>85018</u>	E-MAIL: _____
Proprietary interest in site: <u>Owner</u>	
AGENT (if any): <u>de la Torre Architects</u>	PHONE: <u>505-883-7918</u>
ADDRESS: <u>2400 Louisian NE, Bldg. 3, Suite 110</u>	FAX: <u>505-883-5975</u>
CITY: <u>Albuquerque</u> STATE <u>NM</u> ZIP <u>87110</u>	E-MAIL: <u>dltarch@qwest.net</u>

DESCRIPTION OF REQUEST: The owner wishes to vacate the remaining portion of Prospect Ave. west of 2nd Street.
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1A Block: 0 Unit: _____
 Subdiv. / Addn. Walgreen Addition
 Current Zoning: C-2(SC) Proposed zoning: Same
 Zone Atlas page(s): H-14-z No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 10.7 Density if applicable: dwellings per gross acre: n/a dwellings per net acre: n/a
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? no
 UPC No. 101-405-933-526-043-424 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 300 Menaul NW
 Between: 4th Street NW and 2nd Street NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1002536, 03AA0-00413

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Nick A. Pirkl DATE 8-28-03
 (Print) Nick A. Pirkl Applicant Agent

FOR OFFICIAL USE ONLY

Form revised September 2001

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>03DRB - 01445</u>	<u>VROW</u>	<u>S</u>	\$ <u>300.-</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #'s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #'s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	<u>Notice</u>	_____	\$ <u>75.-</u>
<input type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>Sept 24 2003</u>	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Project # <u>1002934</u>	_____	_____	\$ <u>375.-</u>

8/29/03 JAN
 Planner signature / date

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE (Public Hearing Case)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. Variance and subdivision should be applied for simultaneously. (24 copies)
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

NICK A ARCEL
Applicant name (print)

[Signature]
Applicant signature / date



Form revised April 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
03DRD- - 01445

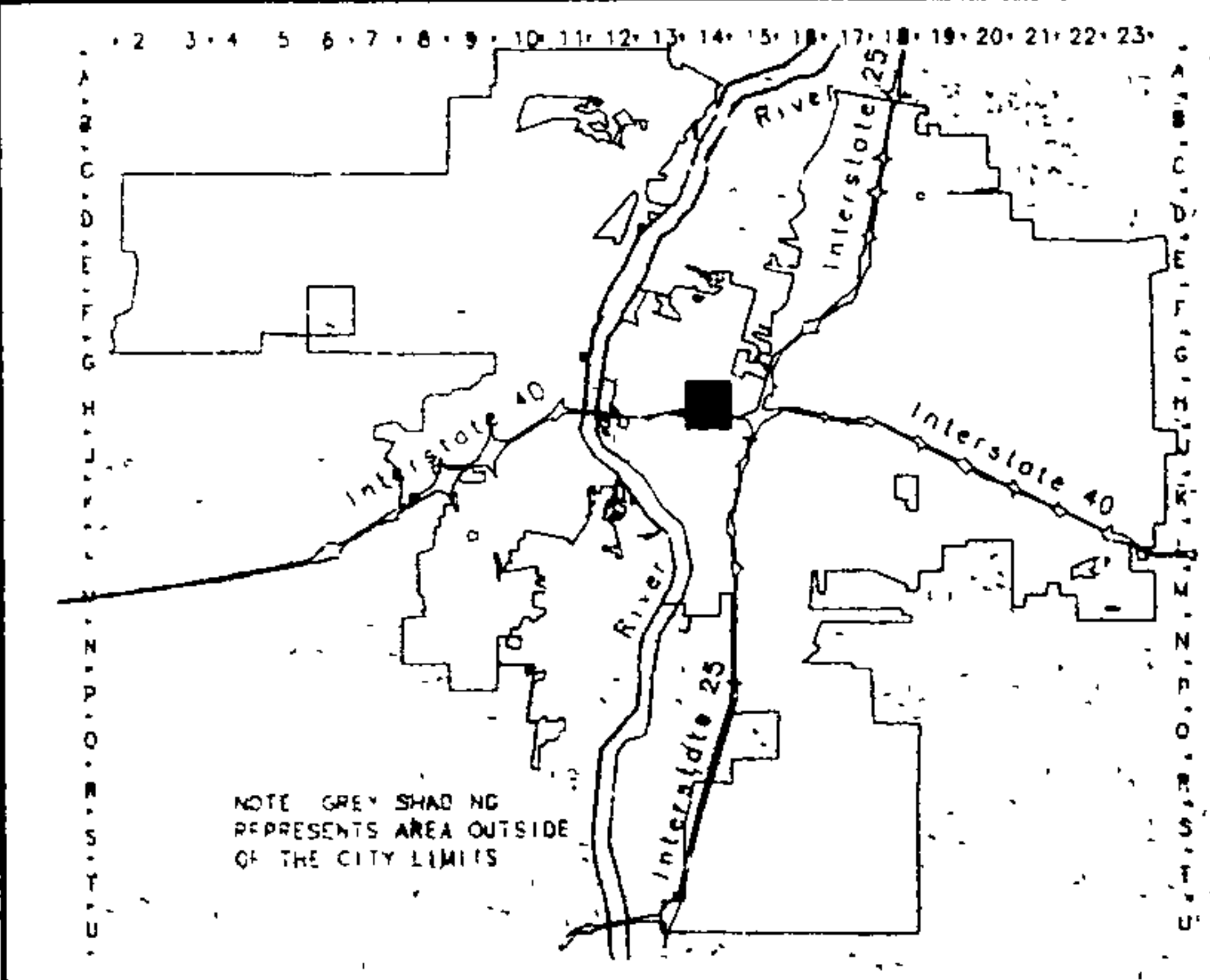
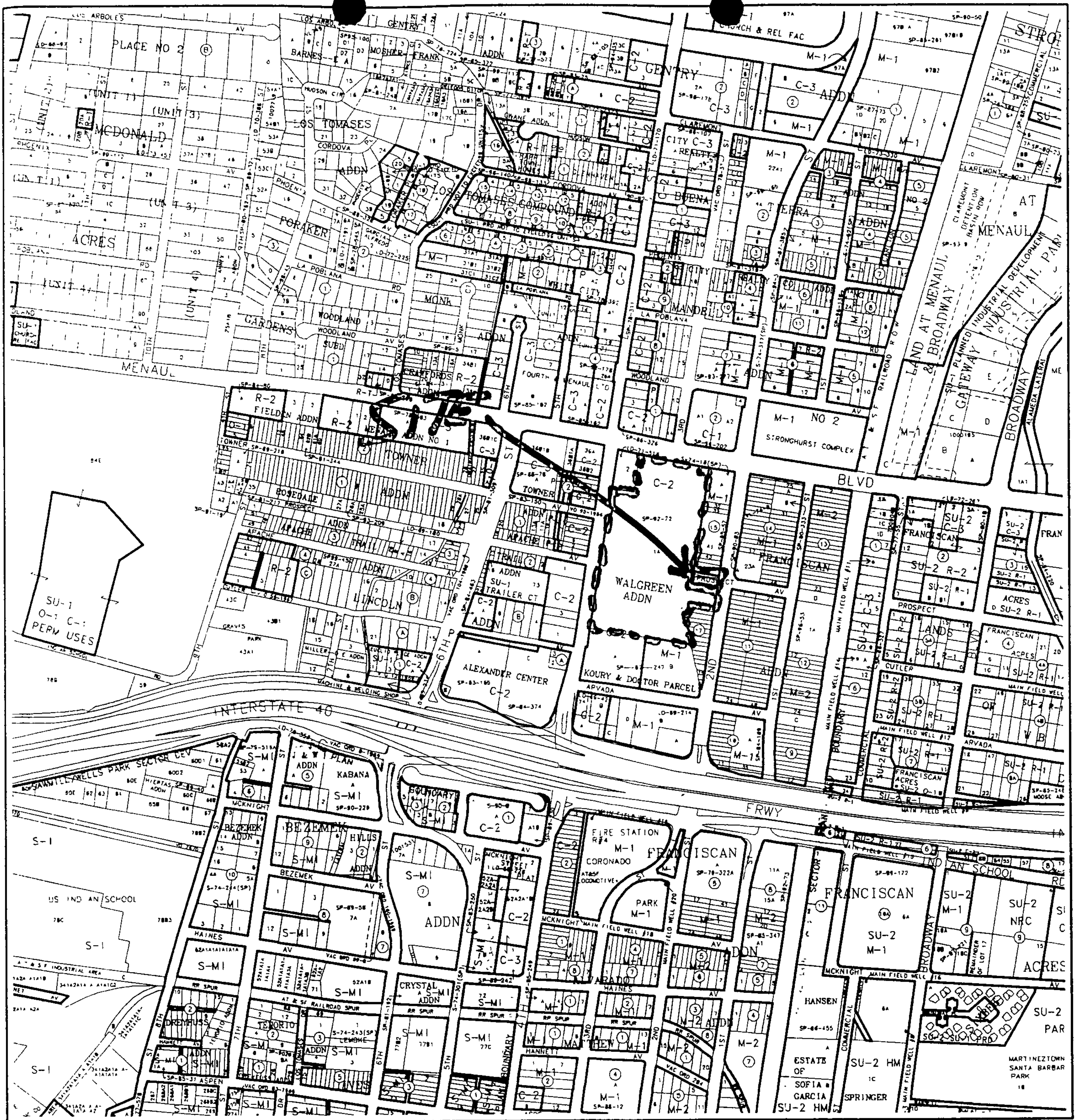
AM 8/29/03
Planner signature / date

Project # 1002934

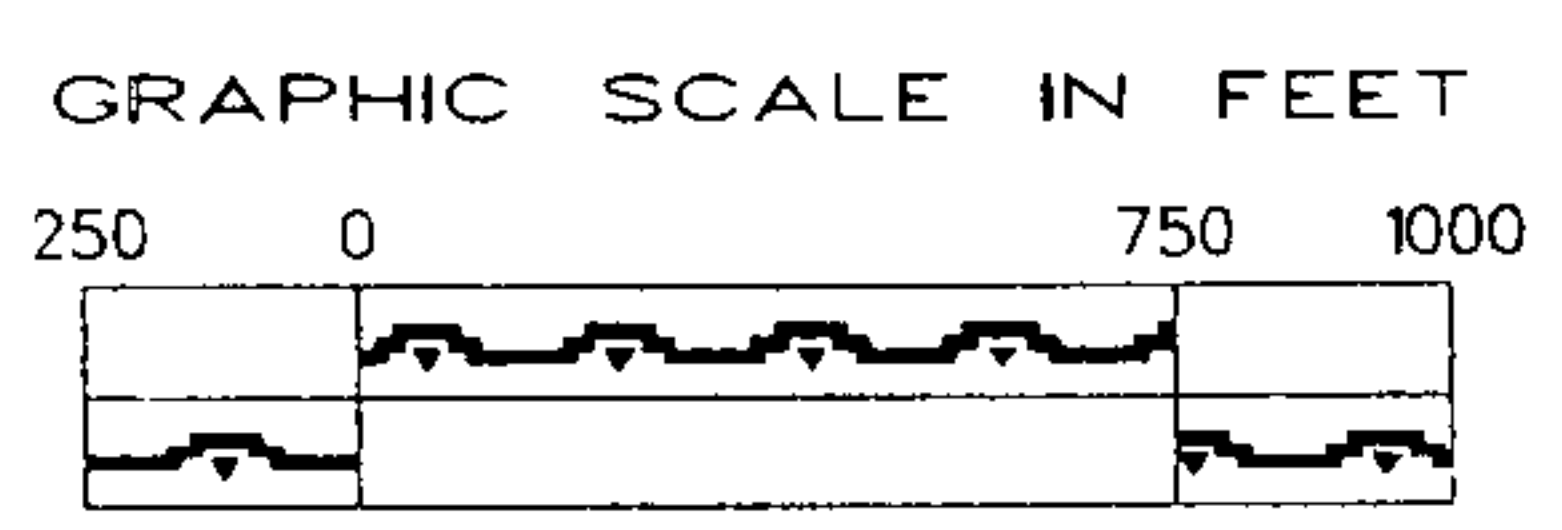
R J Manney

1002934

345-1205



CITY OF
Albuquerque
 Geographic Information System
PLANNING DEPARTMENT
 © Copyright 2003



Zone Atlas Page

H-14-Z

Map Amended through January 21, 2003

August 28, 2003

City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Re: 4th & Menaul Marketplace 300 Menaul NW – Vacation of Public Right-of-Way (Prospect west of 2nd street).

Project #: 1002536
EPC#: none
DRB#: none
AA#: 03AA0-00413
Lot/Block/Subd: 1A,0000, Walgreen Addition.
Zoning: C-2(SC)
UPC: 101-405-933-526-043-424
Site Area: 10.7 acres.

To Whom It May Concern:

The Owner of the property desires to Vacate the remaining 140' of Prospect (60'-0" wide R.O.W.) west of 2nd Street NW. This section of Prospect dead-ends into our site and is not used by anyone. This piece was left over when the original Kmart site was put together.

If you have any questions or comments, please feel free to contact me.

Thanks,



Nick Pirkl
de la Torre Architects

Attachments: Overall site plan, Enlarge site plan of area to be vacated.



August 28, 2003

City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102



Re: 4th & Menaul Marketplace 300 Menaul NW –
Vacation of Public Right-of-Way (Prospect west of 2nd street).

To Whom It May Concern:

This letter serves as notice that the Architectural Firm of de la Torre Architects is hereby authorized to act as our agents for the Vacation of Prospect Street west of 2nd Street.

Thanks,

A handwritten signature in black ink, appearing to read "BP" followed by "8-28-03".

Bob Powers
President

Fourth Street & Menaul, Inc.
4446 E. Flower, Phoenix, AZ 85018
602-840-3931, 602-840-6365 Fax



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: 8-28-03

TO CONTACT NAME: Bob Powers
COMPANY/AGENCY: Fourth & Manual Inc
ADDRESS/ZIP: 4446 E. Flower
PHONE/FAX #: Phoenix, Ariz. 85018

Thank you for your inquiry of 8-28-03 (date) requesting the names of Recognized

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at 1 A Walgreens Addition @ 300 Manual NW

zone map page(s)

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

North Fourth Camino Real
Neighborhood Association
Contacts: Aaron Roth
1515 4th Street NW 87102
243-3889
Chris Fogel
1201 3rd. Street NW 87102
766-6876 x 810

Near North Valley
Neighborhood Association
Contacts: Ingrid Biel
1012 Major NW 87107
345-3968
Mary Bilan
3800 Rio Grande NW
345-2308

See reverse side for additional Neighborhood Association Information: YES { } NO { }

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

[Handwritten signature]

OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.

Additional Neighborhood Association Information

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

As a common courtesy you may notify the surrounding NA(s) for your project.

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

August 28, 2003

North Fourth Camino Real Neighborhood Association
Attn: Aaron Roth
1515 4th St. NW
Albuquerque, NM 87102

Re: 4th & Menaul Marketplace 300 Menaul NW – Vacation of Public Right-of-Way (Prospect west of 2nd street).

Project #: 1002536
EPC#: none
DRB#: none
AA#: 03AA0-00413
Lot/Block/Subd: 1A,0000, Walgreen Addition.
Zoning: C-2(SC)
UPC: 101-405-933-526-043-424
Site Area: 10.7 acres.

To Whom It May Concern:

The Owner of the property desires to Vacate the remaining 140' of Prospect (60'-0" wide R.O.W.) west of 2nd Street NW. This section of Prospect dead-ends into our site and is not used by anyone. This piece was left over when the original Kmart site was put together.

If you have any questions or comments, please feel free to contact me.

Thanks,



Nick Pirkl
de la Torre Architects – Agent
2400 Louisiana NE
Building 3, Suite 110
Albuquerque, NM 87110
505-883-7918 off

Bob Powers
Fourth & Menaul Inc. – Owner
4446 E. Flower
Phoenix, Arizona 85018
505-400-2323 cell

Attachments: Overall site plan, Enlarge site plan of area to be vacated.

2400 Louisiana n.e. building 3, suite 110 albuquerque nm. 87110
505-883-7918 fax 505-883-5975



de la Torre architects p.a. did

August 28, 2003

North Fourth Camino Real Neighborhood Association
Attn: Chris Fogel
1201 3rd St. NW
Albuquerque, NM 87102

Re: 4th & Menaul Marketplace 300 Menaul NW – Vacation of Public Right-of-Way (Prospect west of 2nd street).

Project #: 1002536
EPC#: none
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2400 Louisiana n.e. building 3, suite 110 albuquerque nm 87110
505 883-7918 fax 505-883 5975



de la Torre Architects P.A. did

August 28, 2003

Near North Valley Neighborhood Association
Attn: Ingrid Biel
1012 Major NW
Albuquerque, NM 87107

Re: 4th & Menaul Marketplace 300 Menaul NW – Vacation of Public Right-of-Way (Prospect west of 2nd street).

Project #: 1002536
EPC#: none
DRB#: none
AA#: 03AA0-00413
Lot/Block/Subd: 1A,0000, Walgreen Addition.
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2400 Louisiana n.e. building 3, suite 110 albuquerque n.m. 87110
505-883-7918 fax 505-883-5975



de la Torre architects pa. dia

August 28, 2003

Near North Valley Neighborhood Association
Attn: Mary Bilan
3800 Rio Grande NW
Albuquerque, NM 87107

Re: 4th & Menaul Marketplace 300 Menaul NW – Vacation of Public Right-of-Way (Prospect west of 2nd street).

Project #: 1002536
EPC#: none
DRB#: none
AA#: 03AA0-00413
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505-883-7918 fax 505-883-5975

de la Torre architects p.a. did



SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from Sept 9 2003 To Sept 24 2003

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] (Applicant or Agent) 8/29/03 (Date)

I issued 2 signs for this application, 8/29/03 (Date), [Signature] (Staff Member)

03 DRB - 01445
DRB PROJECT NUMBER: 1002934

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4th Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME 4th St + Menaul Inc
AGENT de la Torre Arch
ADDRESS _____
PROJECT NO. 1002934
APPLICATION NO. _____

\$ 300 441006 / 4983000 (DRB Cases)
\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ 75 441018 / 4971000 (Notification)

\$ 375.- **Total amount due**

14400

DE LA TORRE ARCHITECTS, PA, AIA
2400 LOUISIANA BLVD NE
BUILDING 3, SUITE 110
ALBUQUERQUE, NEW MEXICO 87110

FIRST STATE BANK
TAOS, SANTA FE, ALBUQUERQUE
95-145-1070

08/28/2003

PAY TO THE ORDER OF City of Albuquerque

\$ 400.00

four Hundred and no/100

DOLLARS

City of Albuquerque

DUPLICATE
City Of Albuquerque
Treasury Division

DUPLICATE
City Of Albuquerque
Treasury Division

Autolar A. P.

MEMO #23002

08/29/03 14400 1010700 1052 001046624
X
RECEIPT# 00013965 WSH# 008 TRANSH 0006
Account 441006 Fund 0110
Activity 4983000 TRSDMM
Trans Amt \$400.00
J24 Misc \$300.00

08/28/2003 1013800 1052 001046624
X
RECEIPT# 00013966 WSH# 008 TRANSH 0006
Account 441018 Fund 0110
Activity 4971000 TRSDMM
Trans Amt \$400.00
J24 Misc \$75.00

counterreceipt.doc

Thank You

Thank You

Security Features Included Details on Back



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 24, 2003, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1002322
03DRB-00420 Major-Final Plat Approval

MULE BARN ENTERPRISE agent(s) for ACME REAL ESTATE FUND LLC request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 23, **ORIG. SITE OF WESTLAND**, zoned SU-2 special neighborhood zone- IP, located on the westside of 90th ST SW, between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 9 acre(s). [REF: 02DRB-01666 SK, 03DRB-00420 PP, 03DRB-00349 P&F] **[NO NEW SUBMITTAL]**. (L-9)

Project # 1002933
03DRB-01443 Major-Vacation of Public Easements
03DRB-01446 Minor- Preliminary & Final Plat Approval
03DRB-01444 Minor-Sidewalk Waiver

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for HOECH REAL ESTATE CORPORATION, request(s) the above action(s) for all or a portion of Block(s) 18, Lot(s) 28, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 (to be known as **VINYARD ESTATES, UNIT IV-B**, zoned RD (5 DU/A), containing approximately 2 acre(s). (C-20)

Project # 1002934
03DRB-01445 Major-Vacation of Pub Right-of-Way

DE LA TORRE ARCHITECTS, agent(s) for FOURTH STREET & MENAUL INC., request(s) the above action(s) for all or a portion of Block(s) O, Tract(s) 1A, **WALGREEN ADDITION**, zoned C-2 (SC), containing approximately 11 acre(s). (H-14)

Project # 1002935
03DRB-01447 Major-Bulk Land Variance
03DRB-01449 Major-Vacation of Pub Right-of-Way
03DRB-01450 Major-Preliminary Plat Approval
03DRB-01451 Minor-SiteDev Plan Subd
03DRB-01452 Minor-Temp Defer SDWK
03DRB-01453 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC., agent(s) for WESTLAND DEVELOPMENT CO., INC, request(s) the above action(s) for all or a portion of Tract(s) A, PARKWAY SUBDIVISION AND PARCEL 1 OF WESTLAND NORTH, (to be known as **SUNDORO UNITS 1, 2, 3 & 4**) zoned SU-2/R-LT AND R-D, containing approximately 55 acre(s). [REF: 03DRB-00736 (SK) (J-9/8 & H-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Foe

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, SEPTEMBER 8, 2003.

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4th Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME

418 St & Menaul

AGENT

De La Torre

ADDRESS

PROJECT NO.

1002934

APPLICATION NO.

03DRB - 01445

\$ 110.- 441006 / 4983000 (DRB Cases)
\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ _____ 441018 / 4971000 (Notification)
\$ 110.- Total amount due

FOURTH STREET & MENAUL INC.
6301 E NAUMANN DRIVE
PARADISE VALLEY, AZ 85253

Date 10-6-03

1158

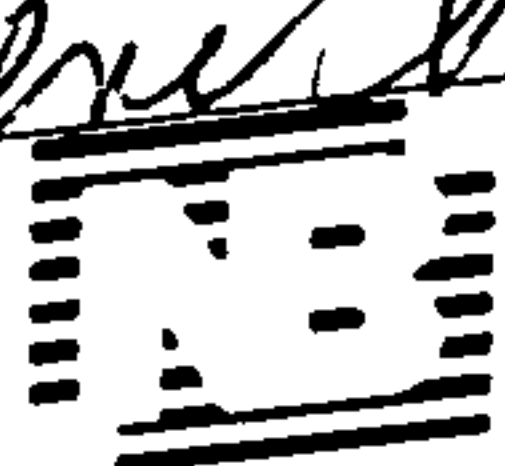
91-532/1221
6

Pay to the
Order of

DEPT OF PLANNING & ZONING

\$ 110 ^{00/100}
Dollars

One hundred ten dollars



National Bank
OF ARIZONA

3101 N. Central Avenue Phoenix, AZ 85012
www.nbartz.com

DUPLICATE

City of Albuquerque
Treasury Division

For

⑆ 2221053201 ⑆ 1158 0040004540 ⑆

10/09/003
X

10:40AM

MARCOON SHEFFIELD DPMSE

DC: ANN

RECEIPT# 00015293 WS# 008 TRANS# 0003
Account 441006 Fund 0110
Activity 4963000 TRSDMM
Trans Amt \$110.00
J24 Misc \$110.00
CK 10/28/02 \$110.00
CHANGE \$0.00

SITE PLAN

SCALE: 1"=100'-0"

300 MENAUL BOULEVARD N.W.
(EXISTING 100' RIGHT-OF-WAY)

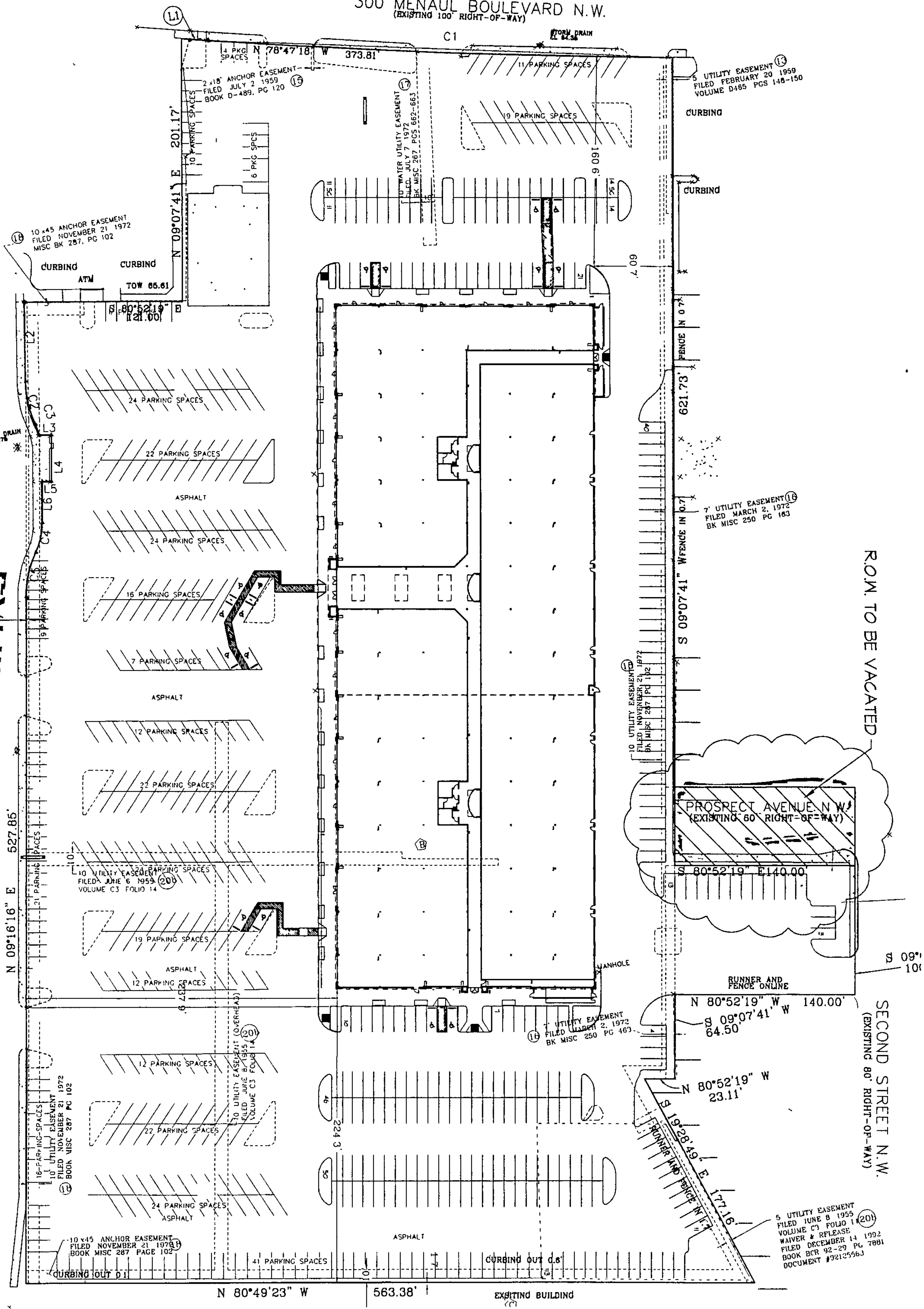
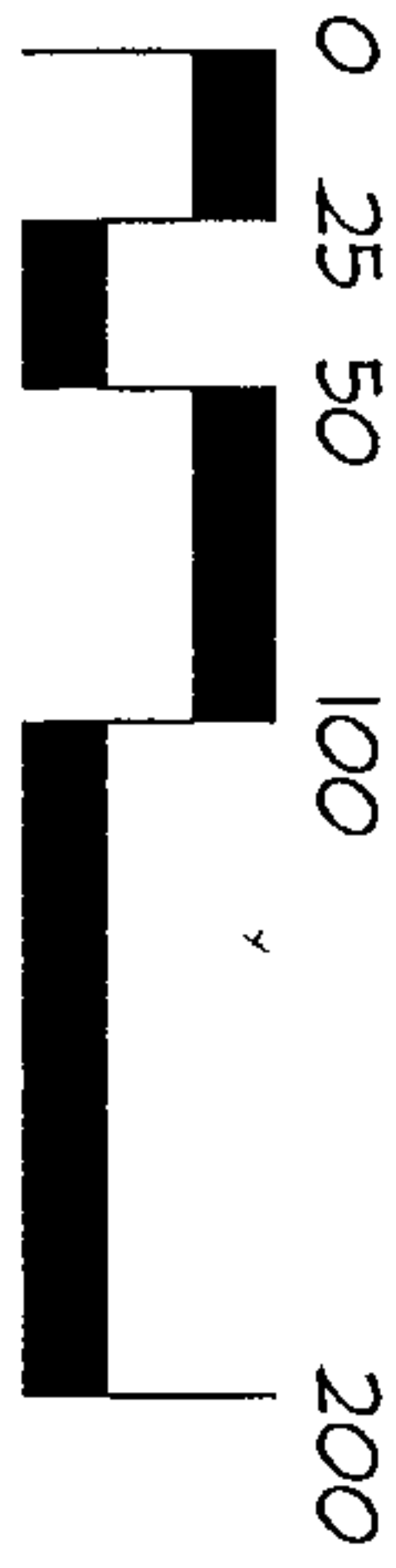


EXHIBIT B
Date 9/24/08
400 FOURTH STREET N.W.
(RIGHT-OF-WAY VARIES)



R.O.W. TO BE VACATED

SECOND STREET N.W.
(EXISTING 80' RIGHT-OF-WAY)

5 UTILITY EASEMENT
FILED JUNE 8 1955
VOLUME C3 FOLIO 1 (20)
WAIVER & RELEASE
FILED DECEMBER 14 1992
BOOK BCR 92-29 PG 7881
DOCUMENT #32125563

7' UTILITY EASEMENT
FILED MARCH 2, 1972
BK MISC 250 PG 163

5 UTILITY EASEMENT
FILED FEBRUARY 20 1959
VOLUME D485 PGS 148-150

10 x 45 ANCHOR EASEMENT
FILED NOVEMBER 21 1972
MISC BK 287, PG 102

10 x 45 ANCHOR EASEMENT
FILED NOVEMBER 21 1972
BOOK MISC 287 PAGE 102

10 UTILITY EASEMENT
FILED JUNE 6 1955
VOLUME C3 FOLIO 14

10 UTILITY EASEMENT (OVERHEAD)
FILED JUNE 8 1955
VOLUME C3 FOLIO 14

10 UTILITY EASEMENT
FILED MARCH 2, 1972
BK MISC 250 PG 463

10 UTILITY EASEMENT
FILED NOVEMBER 21 1972
BK MISC 287 PG 192

10 WATER UTILITY EASEMENT
FILED JULY 7 1972
BK MISC 287 PGS 662-663

2 x 18' ANCHOR EASEMENT
FILED JULY 2 1959
BOOK D-489, PG 120

0 25 50 100 200