

GENERAL NOTES

- EXISTING ZONING FOR: SU-2/R-LT
EXISTING ZONING FOR: R-D
PROPOSED ZONING: R-D W/USES PERMISSIVE IN R-T
PROPOSED RESIDENTIAL DEVELOPMENT:
SINGLE FAMILY DETACHED RESIDENTIAL
- TOTAL ACREAGE:
EXISTING PARCEL I = 218.85 ACRES
EXISTING TRACT A
PARKWAY SUBDIVISION = 5.79 ACRES
TOTAL AREA = 224.60 ACRES
TRACT I-1
SUNDORO SUBDIVISION = 164.60 ACRES
PUBLIC R-O-W LADERA DR. = 1.04 ACRES
TOTAL AREA = 224.60 ACRES
GROSS ACREAGE:
UNIT 1 = 16.9346 ACRES
UNIT 2 = 15.7857 ACRES
UNIT 3 = 12.2247 ACRES
UNIT 4 = 14.0550 ACRES
TOTAL GROSS ACREAGE 59.0000 ACRES
NET ACREAGE:
UNIT 1 = 11.2176 ACRES
UNIT 2 = 10.5816 ACRES
UNIT 3 = 9.6380 ACRES
UNIT 4 = 9.2947 ACRES
TOTAL NET ACREAGE 40.7319 ACRES
NUMBER OF LOTS:
UNIT 1 = 73 LOTS
UNIT 2 = 80 LOTS
UNIT 3 = 70 LOTS
UNIT 4 = 60 LOTS
TOTAL NUMBER OF LOTS: 283
PROPOSED DENSITY: 4.79 D.U./ACRE
- MINIMUM DETACHED LOT DIMENSIONS 40' x 100.00'
MINIMUM DETACHED LOT AREA 4000 S.F.
- ALL STREETS, UTILITIES AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC. TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- ALL LOTS SHOWN WITH "P1" DESIGNATION ON THIS PLAT SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA, ITEM #1 ON TABLE 23.2.1.C OF THE DPM VOLUME 11.
- LOT SETBACKS SHALL CONFORM TO R-T ZONE REGULATIONS. REQUIRES SETBACKS SHALL INCLUDE:
FRONT YARD: 20' TYP. (15' W/20' TO GARAGE MIN.)
SIDE YARD: 5' MIN.
BACK YARD: 15' MIN.

OWNER
LEROY CHAVEZ, VICE PRESIDENT OF DEVELOPMENT
WESTLAND DEVELOPMENT COMPANY INC.

SURVEY NOTES:

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "WEAVER LS 6544".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (Δ) WILL BE MARKED BY A FOUR (4) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 6544".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

CITY SURVEYOR _____ DATE _____

BOHANNAN HUSTON BRASS CAP STAMPED "BH-41"
GEOGRAPHIC POSITION (NAD 1927)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=351,455.56 Y=1,496,546.13
GROUND TO GRID FACTOR = 0.99966704
DELTA ALPHA = -00°17'08"
NGVD 1929 ELEVATION = 5398.63

BOHANNAN HUSTON BRASS CAP STAMPED "BH-40"
GEOGRAPHIC POSITION (NAD 1927)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=352,791.66 Y=1,492,346.53
GROUND TO GRID FACTOR = 0.99967105
DELTA ALPHA = -00°16'59"
NGVD 1929 ELEVATION = 5305.43

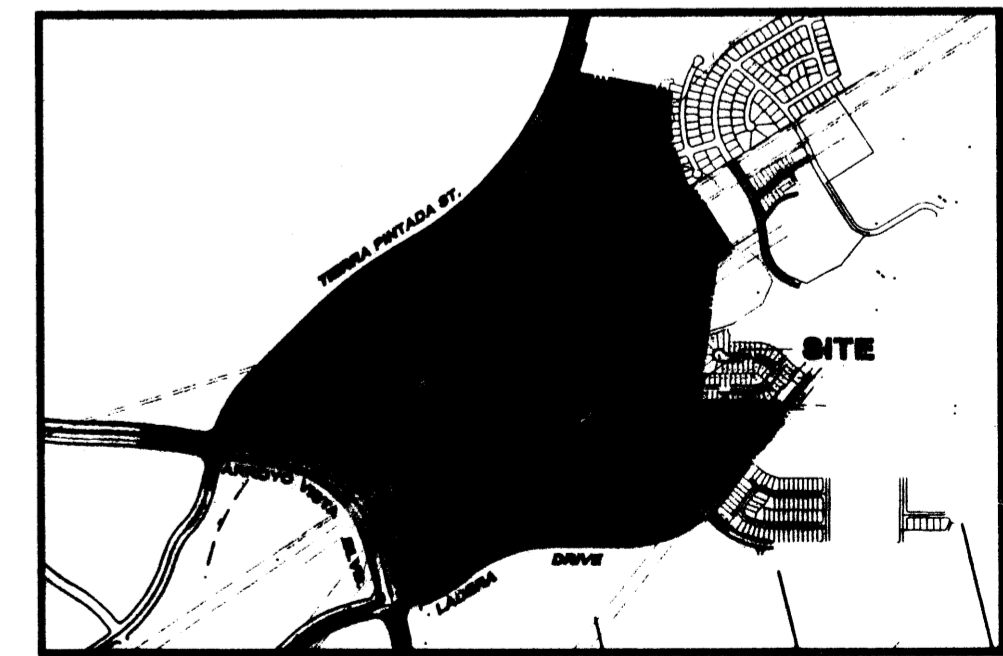
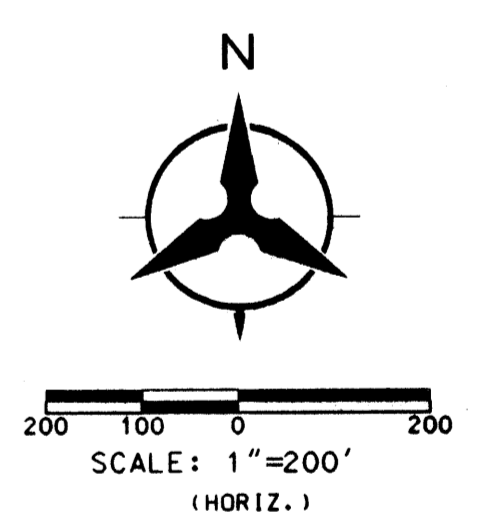
CURVE DATA			
No.	DELTA	TANGENT	ARC RADIUS
C1	91°06'25"	101.96	159.01
C2	24°10'11"	219.24	431.97
C3	40°16'30"	439.66	842.81
C4	36°24'53"	379.70	733.68
C5	23°55'02"	21.18	41.74
C6	28°08'06"	258.60	506.76
C7	01°11'52"	16.80	33.61
C8	43°20'43"	1192.19	2269.57
C9	12°19'01"	303.42	604.50
C10	19°47'16"	176.51	349.50
C11	107°28'32"	136.32	187.58
C12	66°04'29"	708.87	1257.01

TANGENT DATA		
No.	BEARING	DISTANCE
T1	S 04°17'13" W	15.06
T2	N 56°43'01" E	160.20
T3	S 57°54'25" W	52.40

PRELIMINARY PLAT
APPROVED BY E.I.
ON 10/1/03

LEGEND

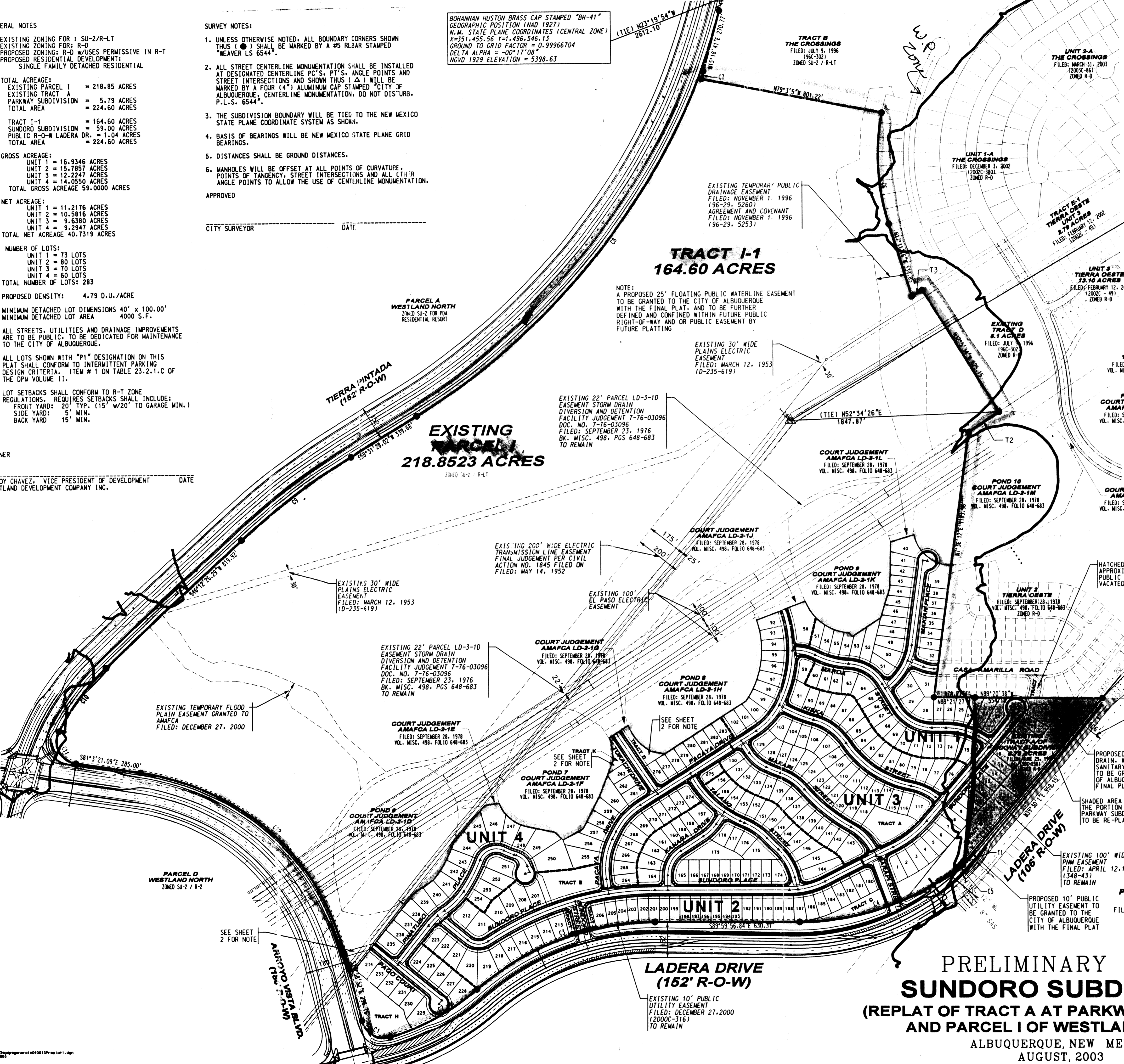
SUBDIVISION BOUNDARY LINE	=====
PHASE BOUNDARY LINE	-----
PROPOSED CURB AND GUTTER	=====
EXISTING CURB AND GUTTER	-----
PROPOSED STORM DRAIN MANHOLE	⊙
EXISTING STORM DRAIN MANHOLE	⊙
PROPOSED SANITARY SEWER MANHOLE	⊙
EXISTING SANITARY SEWER MANHOLE	⊙
EXISTING FIRE HYDRANT	⊙
EXISTING GATE VALVE	⊙
GUY WIRE	—
EXISTING ELECTRIC LINE	—
POWER POLE	⊙



PRELIMINARY PLAT
SUNDORO SUBDIVISION
(REPLAT OF TRACT A AT PARKWAY SUBDIVISION
AND PARCEL I OF WESTLAND NORTH)
ALBUQUERQUE, NEW MEXICO
AUGUST, 2003

SHEET 1

Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



14-000001 (revised) 01/04/00 15P (up to 1011) .dgn

LEGEND

- SUBDIVISION BOUNDARY LINE
- PHASE BOUNDARY LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- GUY WIRE
- EXISTING ELECTRIC LINE
- POWER POLE

TRACT I-1
164.60 ACRES

NOTE:
A PROPOSED 25' FLOATING PUBLIC WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT, AND TO BE FURTHER DEFINED AND CONFINED WITHIN FUTURE PUBLIC RIGHT-OF-WAY AND OR PUBLIC EASEMENT BY FUTURE PLATTING

EXISTING TRACT LD-2-1J
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

EXISTING POND TRACT LD-2-1K
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

EXISTING TRACT LD-2-1G
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

EXISTING 22' PARCEL LD-3-1D EASEMENT STORM DRAIN DIVERSION AND DETENTION FACILITY JUDGEMENT 7-76-03096 DOC. NO. 7-76-03096 FILED: SEPTEMBER 23, 1976 BK. MISC. 498, PGS 648-683 TO REMAIN

EXISTING POND TRACT LD-2-1H
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

EXISTING TRACT LD-2-1E
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

EXISTING POND TRACT LD-2-1F
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

EXISTING POND TRACT LD-2-1D
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

UNIT 4

UNIT 2

UNIT 3

UNIT 1

UNIT 2
TIERRA OESTE

FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683
ZONED R-D

HATCHED AREA DESIGNATES APPROXIMATELY 0.12 ACRES PUBLIC RIGHT-OF-WAY TO BE VACATED BY FINAL PLAT

PROPOSED 30' PUBLIC STORM DRAIN, WATERLINE AND SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT

CROSS HATCHED AREA DESIGNATES PROPOSED 53' WIDE PUBLIC RIGHT-OF-WAY TO BE DEDICATED TO AND MAINTAINED BY THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT

SHADED AREA DESIGNATES THE PORTION OF TRACT A PARKWAY SUBDIVISION TO BE RE-PLATTED

EXISTING 106' WIDE PUBLIC ACCESS, WATERLINE, DRAINAGE AND SANITARY SEWER EASEMENT FILED: JUNE 29, 1995 (195C-238)

UNIT 2
PARKLAND VIEW SUBDIVISION
FILED: SEPTEMBER 22, 1999 (98C-285)
ZONED R-D

PROPOSED 10' PUBLIC UTILITY EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT

EXISTING 200' WIDE ELECTRIC EASEMENT FILED: MARCH 14, 1982

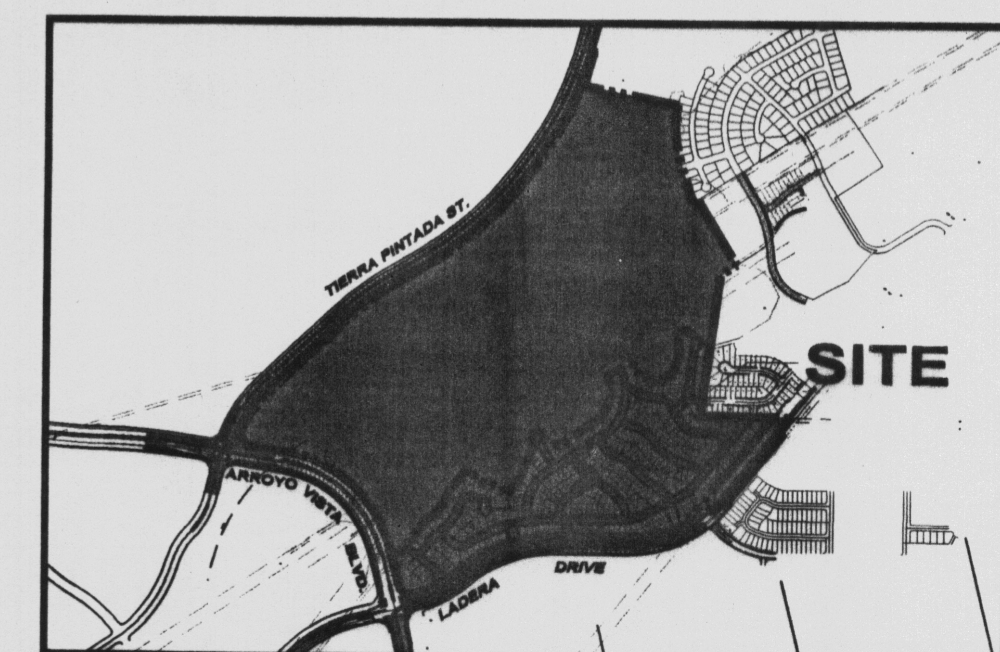
PROPOSED 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT

EXISTING 10' PUBLIC UTILITY EASEMENT FILED: DECEMBER 27, 2000 (2000C-316) TO REMAIN

3WR 2W
WATER PRESSURE ZONE BOUNDARY
ELEV=6256



SCALE: 1"=100'
(HORIZ.)



LOCATION MAP
ZONE ATLAS MAP NO. H-9, J-8, J-9
NOT TO SCALE

PRELIMINARY PLAT
SUNDORO SUBDIVISION
(REPLAT OF TRACT A AT PARKWAY SUBDIVISION
AND PARCEL I OF WESTLAND NORTH)
ALBUQUERQUE, NEW MEXICO
AUGUST, 2003

SHEET 2

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

BHT JOB NO. 040013 003

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RESIDENTIAL BUILDING DESIGN STANDARDS

THE FOLLOWING GUIDELINES ARE TO BE UTILIZED FOR HOMES DESIGNED AND BUILT AT THE SUNDORO SUBDIVISION

A. ARCHITECTURAL STYLE:
THE INTENT OF THE ARCHITECTURAL STYLE GUIDELINES IS TO DESIGN RESIDENTIAL STRUCTURES WHICH ARE COMPATIBLE WITH STRUCTURES PROPOSED TO BE BUILT WEST OF THE SITE.
ALL HOMES SHALL BE DESIGNED WITH PITCHED ROOFS. BUILDING ELEVATIONS SHALL BE ENHANCED WITH ONE OR MORE ARCHITECTURAL ACCENT FEATURES, SUCH AS DECORATIVE STUCCO RELIEF ELEMENTS IN LOCATIONS SUCH AS WINDOWS, DOORS, OR LOCATIONS WHERE THE FACADE CHANGES DIRECTION. OTHER ACCENT FEATURES ARE ALSO ACCEPTABLE, INCLUDING TRIM MATERIALS TO ENHANCE THE EXTERIOR APPEARANCE OF THE FACADE.

B. SETBACK REQUIREMENTS:
FRONT YARD: 15' MINIMUM, EXCEPT AT DRIVEWAYS, WHICH SHALL HAVE A 20' MINIMUM SETBACK.
REAR YARD: 15' MINIMUM, EXCEPT AS FURTHER DEFINED IN THE R-1 RESIDENTIAL ZONE FOR HOUSES WITH OFFSET REAR LOT LINES.
SIDE YARD: 5' MINIMUM, THERE SHALL BE 10' ON THE STREET SIDE OF CORNER, THERE SHALL BE 10' BETWEEN RESIDENTIAL BUILDINGS.

C. BUILDING HEIGHT RESTRICTIONS:
STRUCTURES SHALL NOT TO EXCEED 26' IN HEIGHT, AS DEFINED IN THE ZONING CODE, AND WITH EXCEPTION PROVIDED IN PARAGRAPH 14-16-3-3.

D. BUILDING COLOR SCHEMES:
THE FOLLOWING COLOR SCHEMES SHALL BE UTILIZED:
COLOR SCHEME # A
Roof Rustic Redwood (Red Tint) Tamko
Stucco Hacienda #127 (Tan) El Rey Stucco
Trim & Facia Dry Dock #2022 Sherwin Williams
Popouts Dry Dock #2022 Sherwin Williams
COLOR SCHEME # B
Roof Rustic Hickory (Medium Brown) Tamko
Stucco Buckskin #106 (Light Tan) El Rey Stucco
Trim & Facia Hacienda #127 Sherwin Williams
Popouts Hacienda #127 Sherwin Williams
COLOR SCHEME # C
Roof Rustic Cedar (Dark Brown) Tamko
Stucco Sandalwood #121 (Brown) El Rey Stucco
Trim & Facia Buckskin #106 Sherwin Williams
Popouts Buckskin #106 Sherwin Williams
COLOR SCHEME # D
Roof Rustic (Brown) Tamko
Stucco Driftwood #111 (Dark Brown) El Rey Stucco
Trim & Facia Sandalwood #121 Sherwin Williams
Popouts Sandalwood #121 Sherwin Williams

E. PEDESTRIAN ACCESS:
PEDESTRIAN ACCESS SHALL BE PROVIDED BY SIDEWALKS CONSTRUCTED WITHIN THE RIGHT-OF-WAY. SIDEWALK CONSTRUCTION MAY BE DEFERRED TO THE HOME BUILDER BY DRB.

F. PRIVACY FENCING:
EACH LOT SHALL BE PROVIDED WITH A WOOD OR CMU PRIVACY FENCE, LOCATED ON THE COMMON PROPERTY LINE BETWEEN ADJOINING LOTS. THE HEIGHT OF THIS FENCE SHALL CONFORM TO THE ZONING CODE.

G. A SEPARATE SITE PLAN FOR BUILDING PERMIT WILL NOT BE REQUIRED IF CONFORMANCE TO THE RESIDENTIAL BUILDING DESIGN STANDARDS (ABOVE) ARE ADHERED TO.

OPEN SPACE REQUIREMENTS

LOT	REQUIRED OPEN SPACE	USABLE OPEN SPACE PROVIDED ON THE LOT	REMAINING OPEN SPACE REQUIRED OFF SITE
9	2400 SF	2000 SF	400 SF
10	2400 SF	2000 SF	400 SF
11	2400 SF	2000 SF	400 SF
12	2400 SF	2000 SF	400 SF
13	2400 SF	2000 SF	400 SF
14	2400 SF	2000 SF	400 SF
15	2400 SF	2000 SF	400 SF
16	2400 SF	2000 SF	400 SF
17	2400 SF	2000 SF	400 SF
18	2400 SF	2000 SF	400 SF
19	2400 SF	2000 SF	400 SF
20	2400 SF	2000 SF	400 SF
21	2400 SF	2400 SF	0
22	2400 SF	2400 SF	0
23	2400 SF	2400 SF	0
24	2400 SF	2400 SF	0
75	2400 SF	2400 SF	0

"TOTAL OPEN SPACE REQUIRED OFF SITE = 4,800 SF OR 0.11 ACRES"

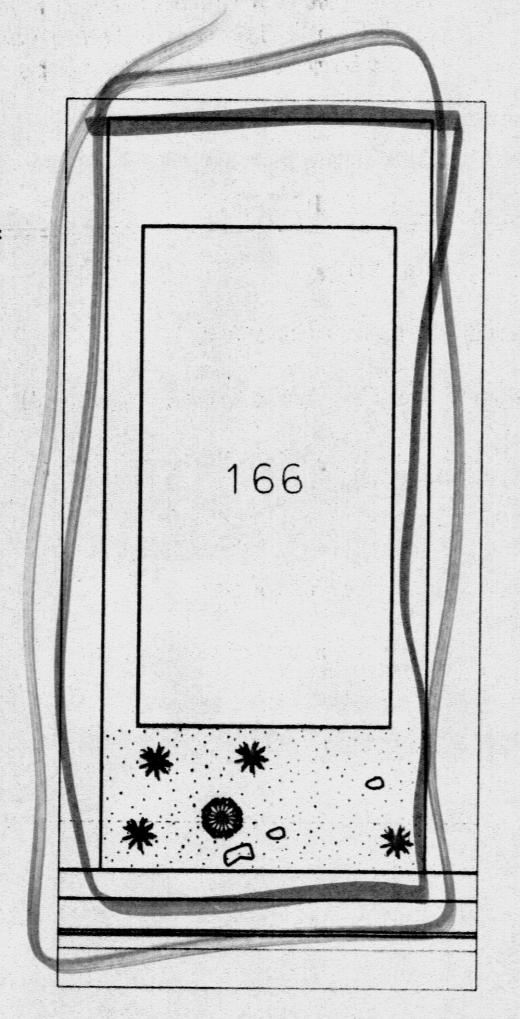
LEGEND

- NEW SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- 10' PUE
- SHADED AREA DESIGNATES TRACT A OF PARKWAY SUBDIVISION AND THE ONLY PORTION OF THE SUNDORO SUBDIVISION REQUIRED TO CONFORM TO THIS SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

LANDSCAPE STANDARDS

Landscaping install shall be:

- Southwest/Desert Package (Front Yard)
- One 15 Gallon Tree (Plum, Yucca, Cypress, or equivalent)
- Four 5 Gallon Shrubs (Desert Palm Brush, Butterfly, or equivalent)
- One Accent Boulder
- 2'-4" Accent cobblestone, as per plan
- 3/4" Gray crushed stone on plastic, as per plan

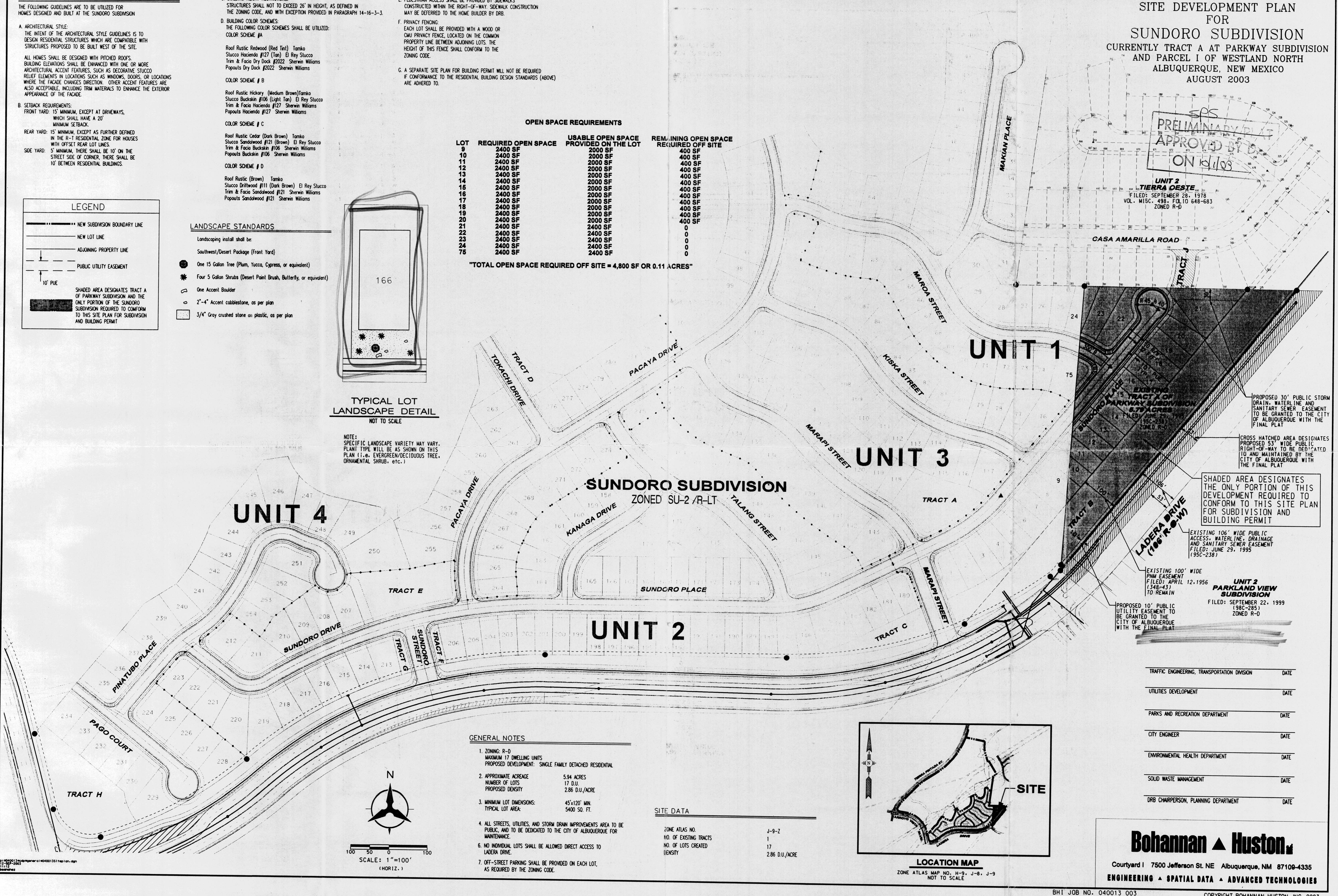


NOTE: SPECIFIC LANDSCAPE VARIETY MAY VARY. PLANT TYPE WILL BE AS SHOWN ON THIS PLAN (i.e., EVERGREEN/DECIDUOUS TREE, ORNAMENTAL SHRUB, etc.)

SITE DEVELOPMENT PLAN FOR SUNDORO SUBDIVISION
CURRENTLY TRACT A AT PARKWAY SUBDIVISION AND PARCEL I OF WESTLAND NORTH ALBUQUERQUE, NEW MEXICO
AUGUST 2003

PRELIMINARY PLAN APPROVED BY DRB ON 10/1/03

UNIT 2 TIERRA OESTE
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683
ZONED R-D



PROPOSED 30' PUBLIC STORM DRAIN, WATERLINE AND SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAN

CROSS HATCHED AREA DESIGNATES PROPOSED 53' WIDE PUBLIC RIGHT-OF-WAY TO BE DEDICATED TO AND MAINTAINED BY THE CITY OF ALBUQUERQUE WITH THE FINAL PLAN

SHADED AREA DESIGNATES THE ONLY PORTION OF THIS DEVELOPMENT REQUIRED TO CONFORM TO THIS SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

EXISTING 106' WIDE PUBLIC ACCESS, WATERLINE, DRAINAGE AND SANITARY SEWER EASEMENT FILED: JUNE 29, 1995 (195C-238)

EXISTING 100' WIDE PNM EASEMENT FILED: APRIL 12, 1956 (1348-43) TO REMAIN

PROPOSED 10' PUBLIC UTILITY EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAN

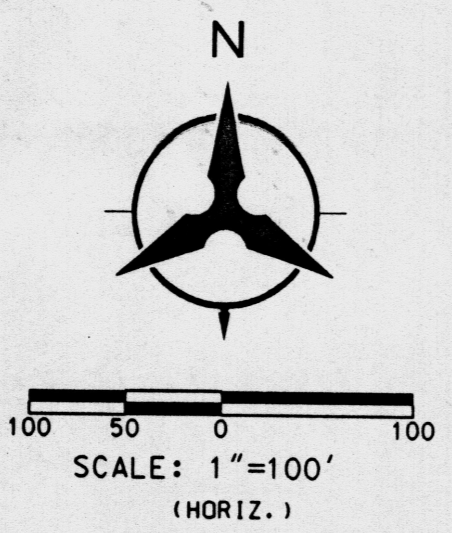
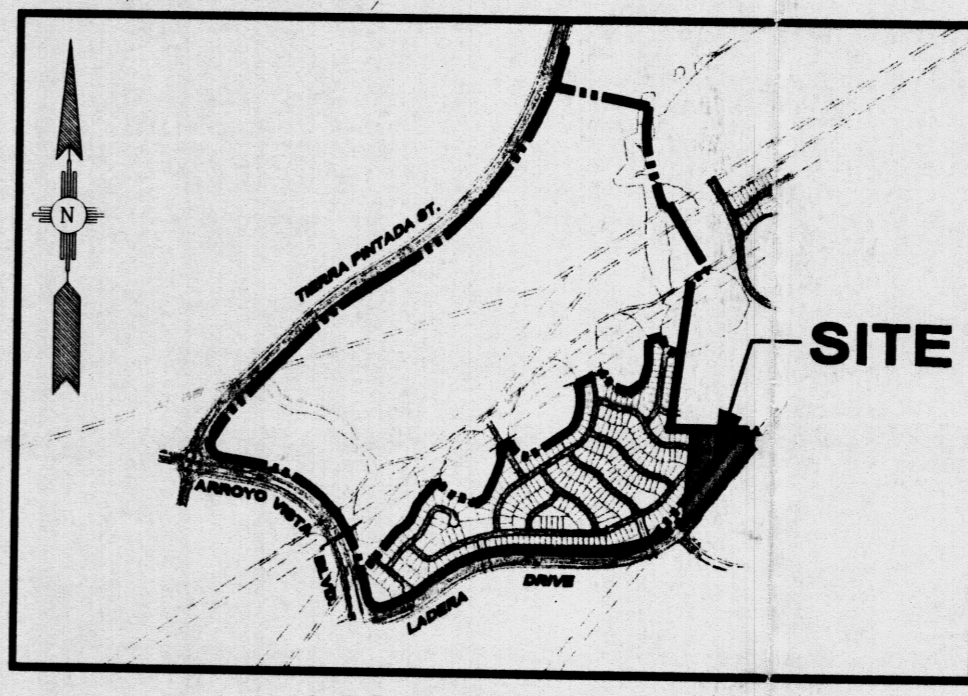
UNIT 2 PARKLAND VIEW SUBDIVISION
FILED: SEPTEMBER 22, 1999 (198C-285)
ZONED R-D

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

- GENERAL NOTES**
- ZONING: R-D
MAXIMUM 17 DWELLING UNITS
PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL
 - APPROXIMATE ACREAGE: 5.94 ACRES
NUMBER OF LOTS: 17 D.U.
PROPOSED DENSITY: 2.86 D.U./ACRE
 - MINIMUM LOT DIMENSIONS: 45'x120' MIN.
TYPICAL LOT AREA: 5400 SQ. FT.
 - ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
 - NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO LADERA DRIVE.
 - OFF-STREET PARKING SHALL BE PROVIDED ON EACH LOT, AS REQUIRED BY THE ZONING CODE.

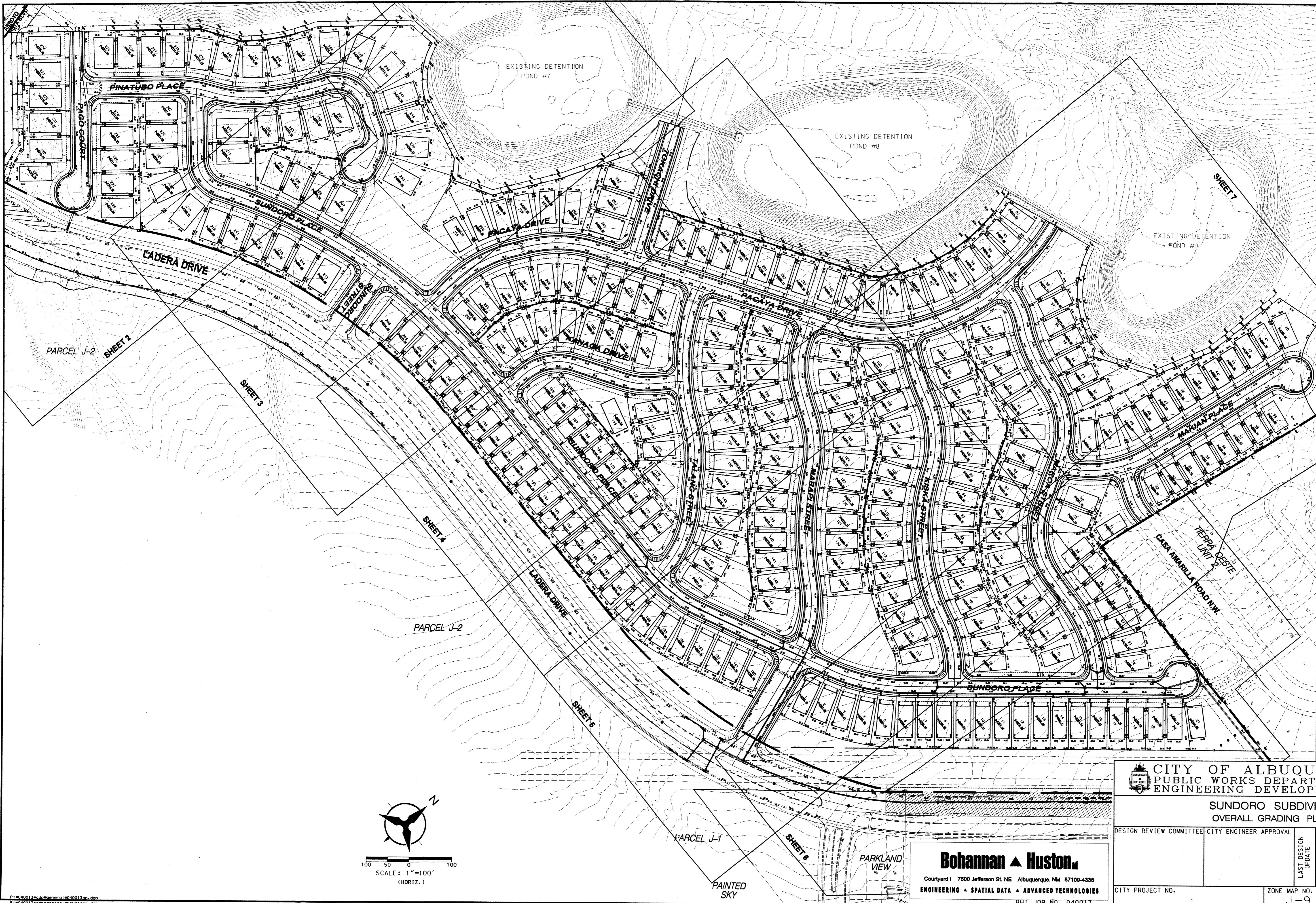
SITE DATA

ZONE ATLAS NO.	J-9-2
NO. OF EXISTING TRACTS	1
NO. OF LOTS CREATED	17
DENSITY	2.86 D.U./ACRE



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#4

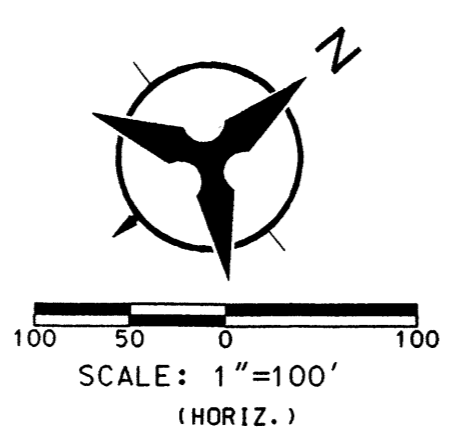


ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		NO.	DATE	ACS STATION NAMED	CONTRACTOR	NO.	DATE
		BY		4 - K6	STAKED BY	BY	DATE
NO.	DATE	BY		HV18 = 4 - K6	INSPECTOR'S	NO.	DATE
				X=1,477,665.89, Y=1,484,081.55	VERIFICATION BY		DATE
				ELEV=5733.00	DATE		DATE
				ON PASEO DEL VULCAN, 0.91 MI NORTH	CONTROLLED BY		DATE
				OF 1 - 40, 0.74 MI SOUTH OF	MICRO-FILM INFORMATION		DATE
				POWER LINES, 39.6' NW OF CENTERLINE	RECORDED BY		DATE
				OF PASEO DEL VULCAN	NO.		DATE

REVISIONS		DATE	
NO.	DATE	BY	DATE
1	08/2003	CJS	08/2003
2	08/2003	BES	08/2003
3	08/2003	CJS	08/2003

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE		CITY PROJECT NO.		ZONE MAP NO.	SHEET OF
		J-9		J-9	1 OF 8

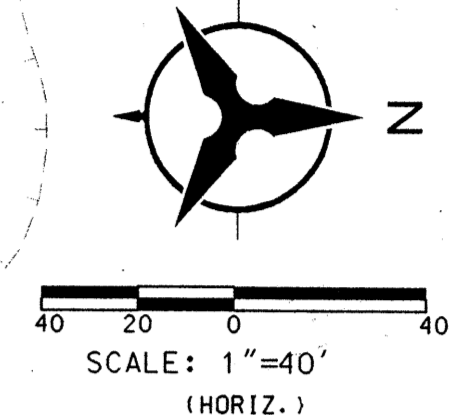
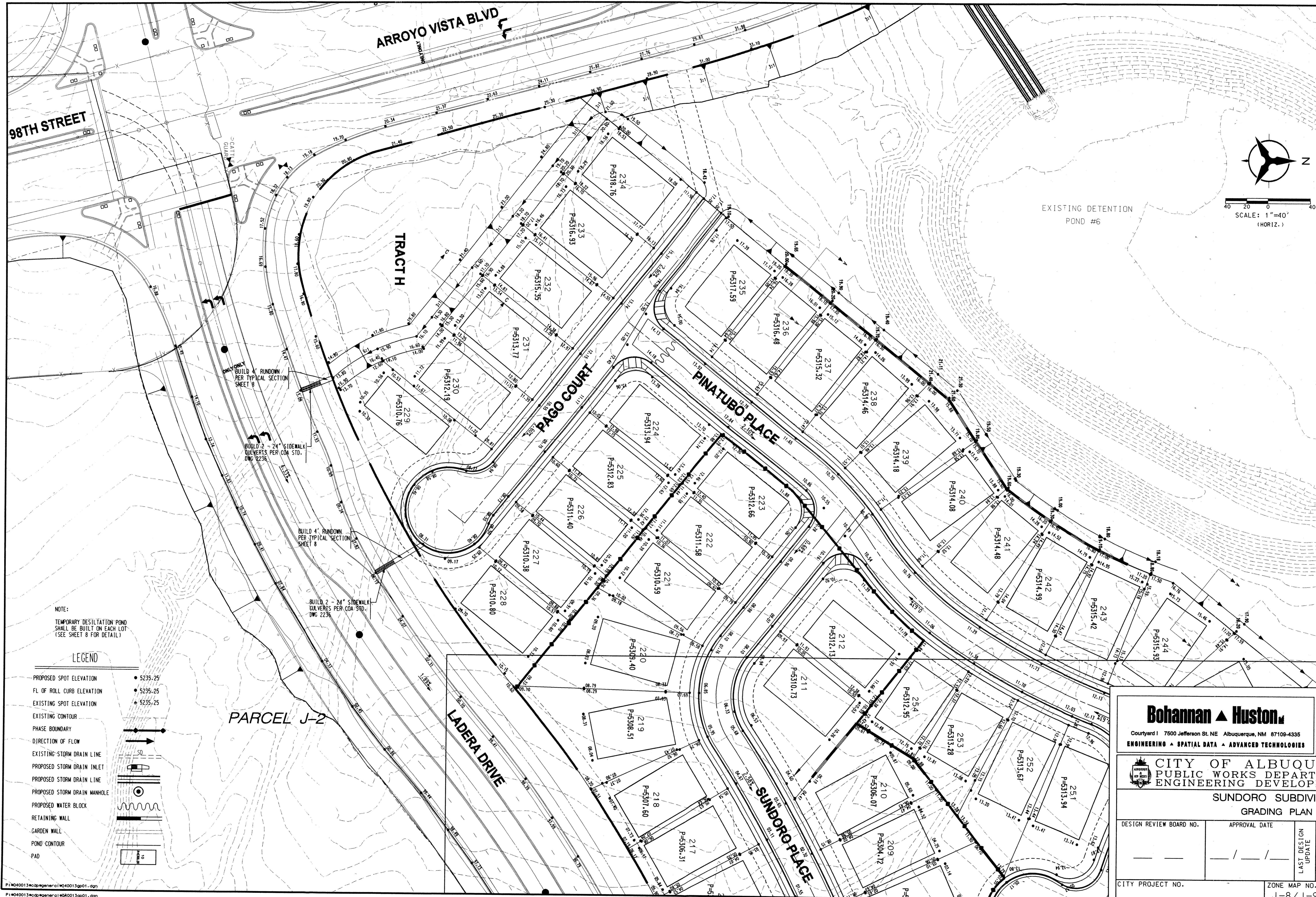
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 BHI JOB NO. 040013

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

SUNDORO SUBDIVISION
 OVERALL GRADING PLAN



EXISTING DETENTION
POND #6

NOTE:
TEMPORARY DESILTATION POND
SHALL BE BUILT ON EACH LOT
(SEE SHEET 8 FOR DETAIL)

LEGEND

PROPOSED SPOT ELEVATION	• 5235.25
FL OF ROLL CURB ELEVATION	• 5235.25
EXISTING SPOT ELEVATION	• 5235.25
EXISTING CONTOUR	---
PHASE BOUNDARY	→
DIRECTION OF FLOW	→
EXISTING STORM DRAIN LINE	---
PROPOSED STORM DRAIN INLET	⊥
PROPOSED STORM DRAIN LINE	---
PROPOSED STORM DRAIN MANHOLE	⊙
PROPOSED WATER BLOCK	⊞
RETAINING WALL	▬
GARDEN WALL	▬
POND CONTOUR	---
PAD	▭

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CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

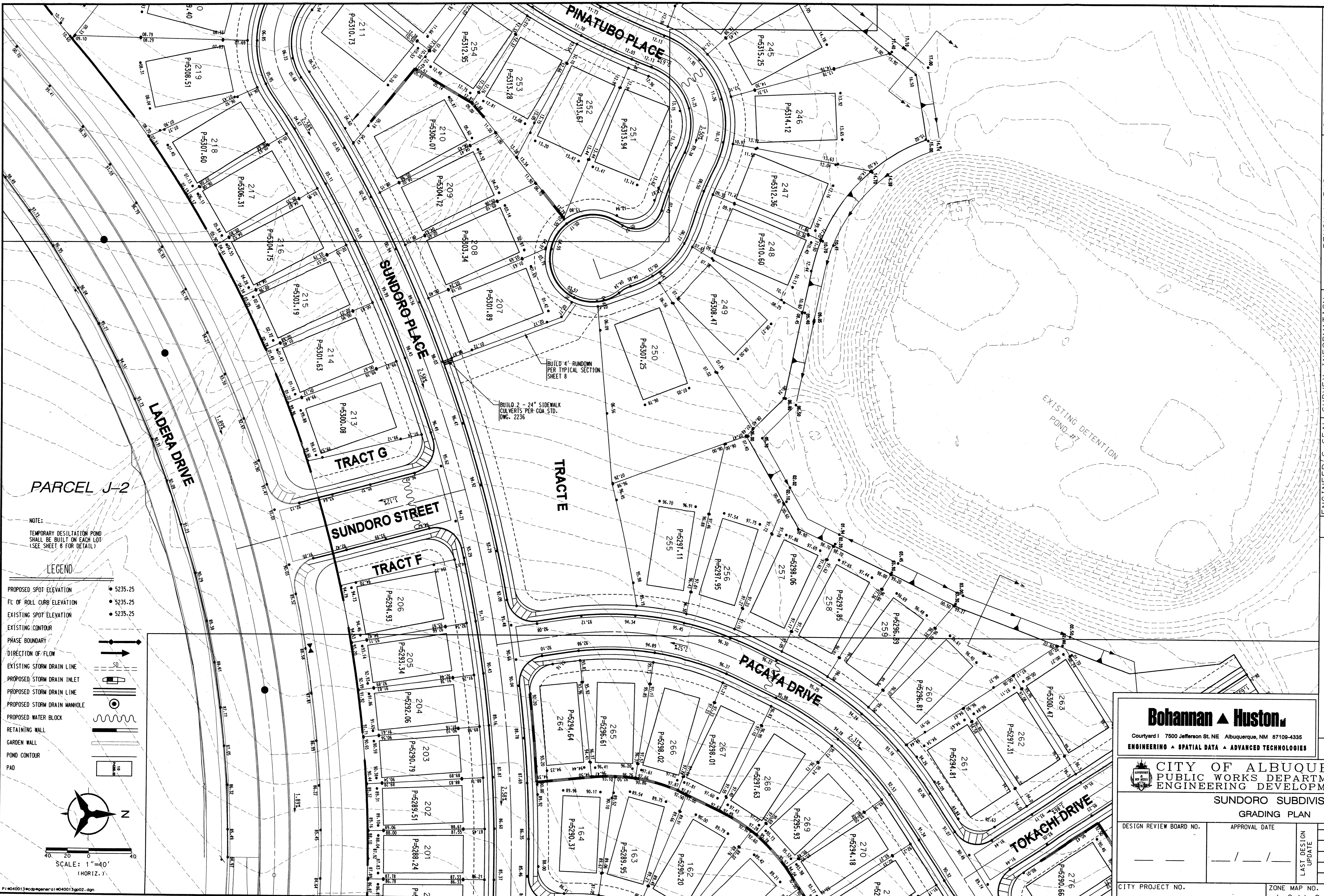
SUNDORO SUBDIVISION
 GRADING PLAN

DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	J-8/J-9	2	8

ENGINEER'S SEAL		SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
		ACS STATION NAMED 4 - K6 3 - 1/4" ALUM. CAP HV18 = 4 - K6 X=1,477,665.89, Y=1,484,081.55 ELEV=5733.00 ON PASED DEL VULCAN, 0.91 MI NORTH OF I - 40, 0.74 MI SOUTH OF POWERLINES, 39.6' NW OF CENTERLINE OF PASED DEL VULCAN		CONTRACTOR DRAWING NO. DATE MICRO-FILM INFORMATION NO.		INSPECTOR'S ACCEPTANCE BY DATE VERIFICATION BY DATE RECORDING BY DATE		REMARKS REVISIONS DESIGN CJS BS CJS DATE 08/2003 DATE 08/2003 DATE 08/2003	

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jlee

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
	NO.	BY	DATE	NO.	CONTRACTOR	NO.	DATE
	REVISIONS	BY	DATE	NO.	ACS STATION NAMED	NO.	DATE
	DESIGN	CJS	08/2003	NO.	4 - K6	NO.	DATE
DATE	DESIGNED BY	DATE	DRAWN BY	NO.	HY18 = 4 - K6	NO.	DATE
08/2003	BS	08/2003	CJS	NO.	ELEVATION BY	NO.	DATE
	CHECKED BY	DATE	CJS	NO.	X=1.477, 6665.89, Y=1.484, 081.55	NO.	DATE
		08/2003		NO.	ELEVATION BY	NO.	DATE
				NO.	ON PASEO DEL VOLCAN, 0.91 MI NORTH OF I - 40, 0.74 MI SOUTH OF	NO.	DATE
				NO.	POWER LINES - 39.6' NW OF CENTERLINE OF PASEO DEL VOLCAN	NO.	DATE

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CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

SUNDORO SUBDIVISION
 GRADING PLAN

DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	J-8/J-9	3	8

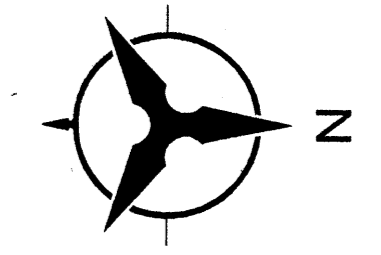
LAST DESIGN UPDATE



NOTE:
 TEMPORARY DESILTATION POND
 SHALL BE BUILT ON EACH LOT
 (SEE SHEET 8 FOR DETAIL)

LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- FL OF ROLL CURB ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● 5235.25
- EXISTING CONTOUR
- PHASE BOUNDARY
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- GARDEN WALL
- POND CONTOUR
- PAD



SCALE: 1"=40'
 (HORIZ.)

Bohannon & Huston

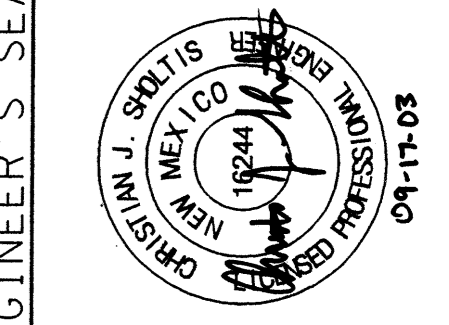
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CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

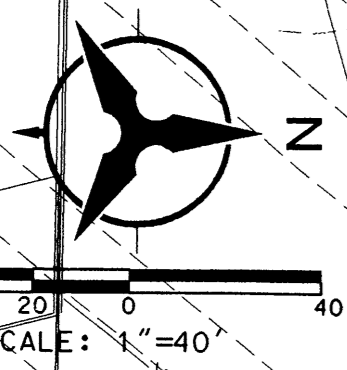
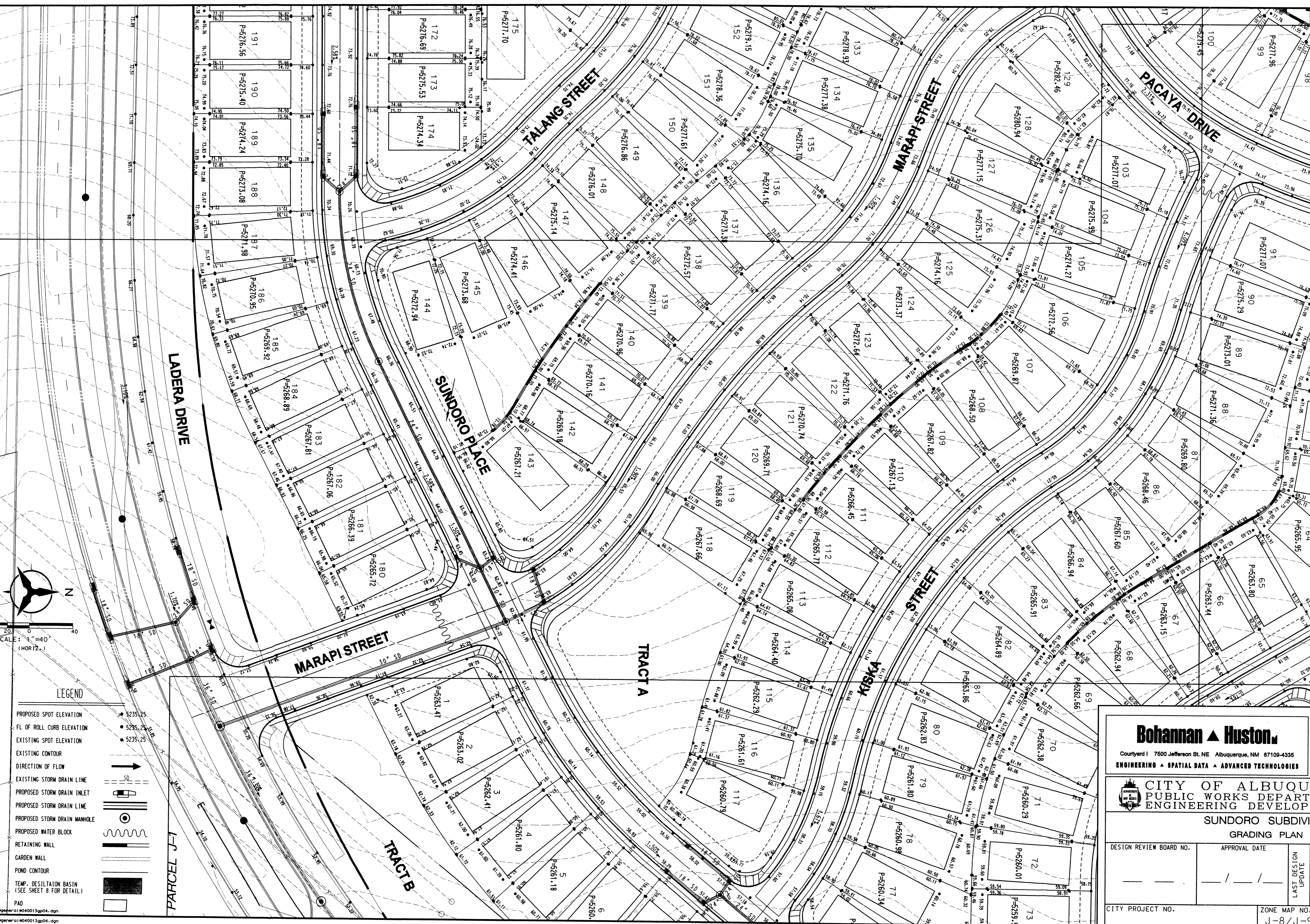
SUNDORO SUBDIVISION
 GRADING PLAN

DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	J-8/J-9	4	8

AS-BUILT INFORMATION		BENCH MARKS	
CONTRACTOR	ACS STATION NAMED	4	K6
WORKED BY	3-1/4" ALUM. CAP		
INSPECTOR'S ACCEPTANCE BY	HV18 = 4 - K6		
DATE	X=1477.665-89, Y=1484.081-55		
DATE	ELEV=5233.00		
FIELD NOTES		ENGINEER'S SEAL	
NO.	DATE	BY	REMARKS
			REVISIONS
			DESIGN
MICRO-FILM INFORMATION		DESIGNED BY	CJS
DATE	ON PASEO DEL VULCAN, 0.91 MI NORTH	DRAWN BY	BES
DATE	OF 1 - 40, 0.74 MI SOUTH OF	CHECKED BY	CJS
NO.	POWERLINES, 39.6' NW OF CENTERLINE	DATE 08/2003	
	OF PASEO DEL VULCAN	DATE 08/2003	
		DATE 08/2003	



PARCEL J-2



- LEGEND**
- PROPOSED SPOT ELEVATION
 - FL OF ROLL CURB ELEVATION
 - EXISTING SPOT ELEVATION
 - EXISTING CONTOUR
 - DIRECTION OF FLOW
 - EXISTING STORM DRAIN LINE
 - PROPOSED STORM DRAIN INLET
 - PROPOSED STORM DRAIN LINE
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED WATER BLOCK
 - RETAINING WALL
 - GARDEN WALL
 - POND CONTOUR
 - TEMP. DESILTATION BASIN (SEE SHEET 8 FOR DETAIL)
 - PAD

P:\040013\040013.dwg
17-SEP-2003 07:59
1166

CONTRACTOR ACCS STATION NAMED - K6 HV18 = - - - K6	ENGINEER'S SEAL		NO. 1	BY	DATE	REMARKS	NO. DATE	BY	DATE
	FIELD NOTES	BENCH MARKS							
WORKED BY: CHRISTIAN J. SMITH INSPECTOR'S ACCEPTANCE BY: MEYER CO. DATE: 10/11/03 DRAWINGS: 00 ELEVATION: 5518.08 TITLE: GRADING PLAN PROJECT: CITY OF ALBUQUERQUE, 0.91 MI NORTH OF I-40, 0.74 MI SOUTH OF POWERLINES, 39.6' NW OF CENTERLINE OF PASO DEL VULCAN		ENGINEER'S SEAL PROFESSIONAL ENGINEER MEYER CO. 1804 ALBUQUERQUE, NM 87102 NO. 04-11-03		DESIGNED BY: CJS	DATE: 08/20/03	REVISIONS: DESIGN	NO. 1	BY: CJS	DATE: 08/20/03
DRAWN BY: BES CHECKED BY: CJS		CITY PROJECT NO. J-8/J-9		APPROVAL DATE: _____ MO./DAY/YR.		SHEET 5 OF 8		BHI JOB NO. 040013	

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CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
 SUNDORO SUBDIVISION
 GRADING PLAN

DESIGN REVIEW BOARD NO. _____ APPROVAL DATE: _____ MO./DAY/YR. _____

CITY PROJECT NO. J-8/J-9 SHEET 5 OF 8

BHI JOB NO. 040013



PARCEL J-1
PAINTED SKY

GAVIN ROAD

PARKLAND VIEW SUBDIVISION

FAIRCROFT STREET

LADERA DRIVE

SUNDORO PLACE

SUNDORO PLACE

KISKA STREET

MAROA STREET

MAROA STREET

CASA ROJA PLACE N.W.

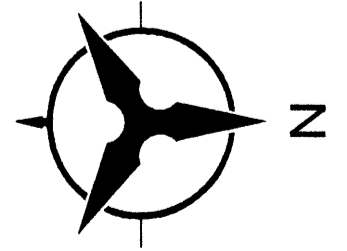
CASA AMARILLA ROAD N.W.

TERRA QESTE UNIT 2

NOTE:
TEMPORARY DESILTATION POND SHALL BE BUILT ON EACH LOT (SEE SHEET 8 FOR DETAIL.)

LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- FL OF ROLL CURB ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● 5235.25
- EXISTING CONTOUR
- PHASE BOUNDARY
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- GARDEN WALL
- POND CONTOUR
- PAD



SCALE: 1"=40'
(HORIZ.)

ENGINEER'S SEAL SURVEY INFORMATION

NO.	DATE	BY	FIELD NOTES

CONTRACTOR INFORMATION

CONTRACTOR	WORK ORDER NO.
BY	DATE
APPROVED BY	DATE
FIELD VERIFICATION BY	DATE
ELEVATION CORRECTION BY	DATE
MICRO-FILM INFORMATION	DATE

ENGINEER'S SEAL SURVEY INFORMATION

NO.	DATE	BY	FIELD NOTES

REVISIONS	DATE	BY
DESIGN	08/20/03	CJS
	08/20/03	BS
	08/20/03	CJS

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	J-8/J-9	6	8

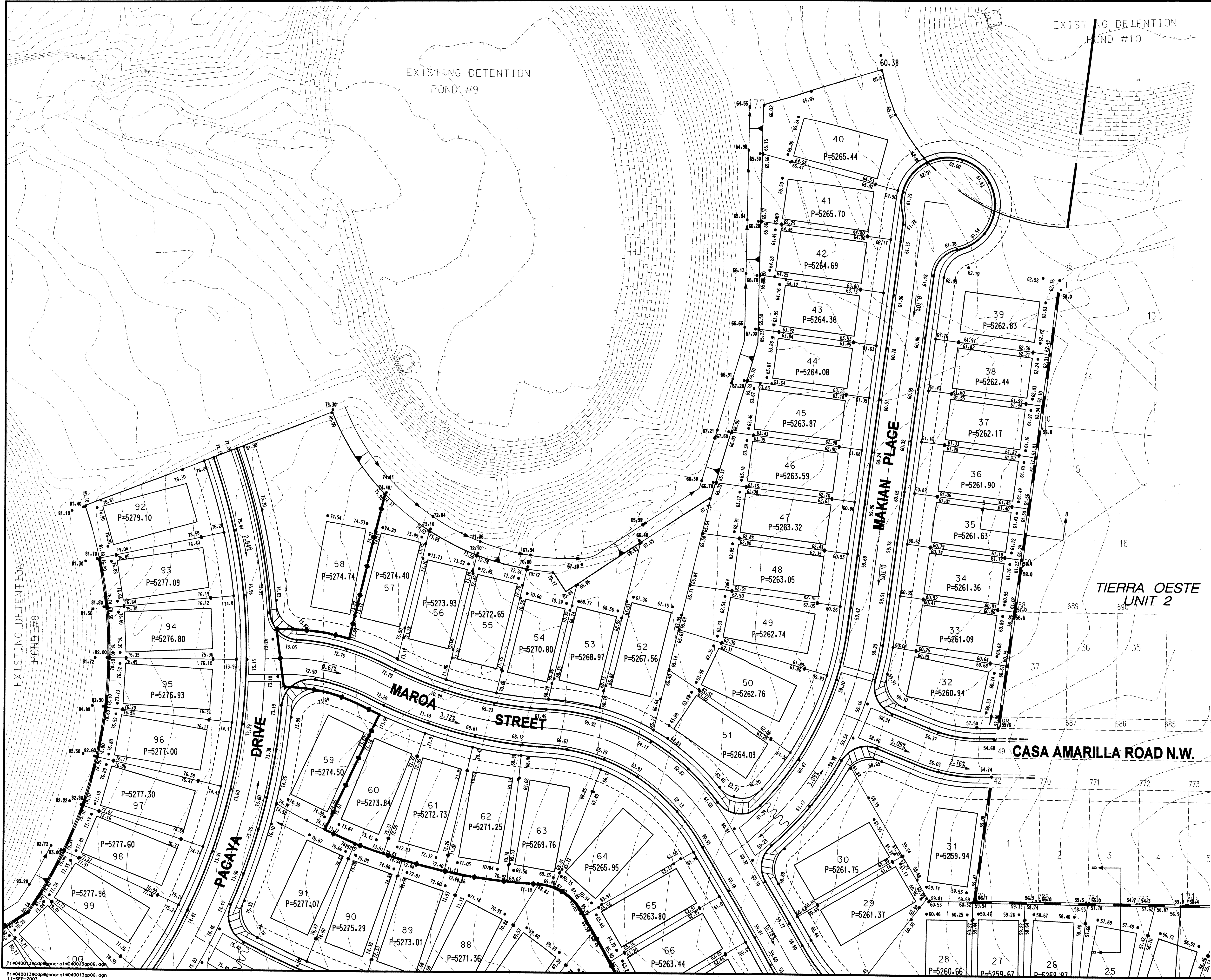
Bohannon & Huston
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CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

SUNDORO SUBDIVISION
 GRADING PLAN

DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

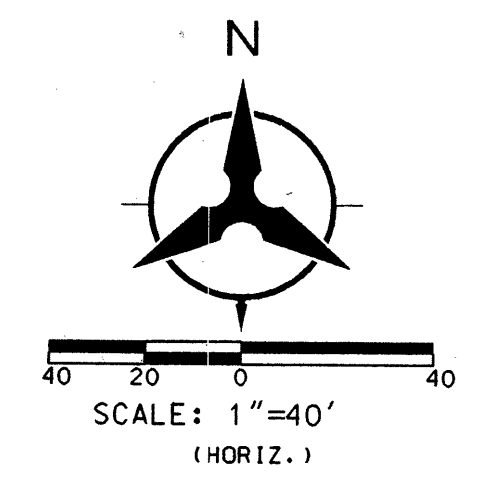
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 jlee



NOTE:
TEMPORARY DESILTATION POND
SHALL BE BUILT ON EACH LOT
(SEE SHEET 8 FOR DETAIL)

LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- FL OF ROLL CURB ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● 5235.25
- EXISTING CONTOUR ---
- PHASE BOUNDARY ———→
- DIRECTION OF FLOW ———→
- EXISTING STORM DRAIN LINE ---
- PROPOSED STORM DRAIN INLET [Symbol]
- PROPOSED STORM DRAIN LINE [Symbol]
- PROPOSED STORM DRAIN MANHOLE [Symbol]
- PROPOSED WATER BLOCK [Symbol]
- RETAINING WALL [Symbol]
- GARDEN WALL [Symbol]
- POND CONTOUR [Symbol]
- PAD [Symbol]



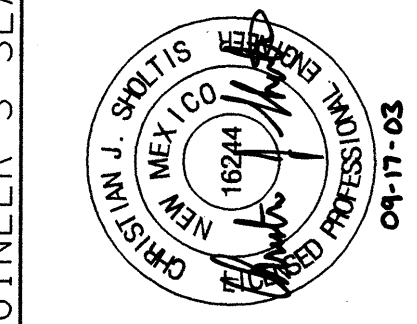
Bohannon & Huston
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 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
SUNDORO SUBDIVISION
 GRADING PLAN

DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	J-8/J-9	7	8

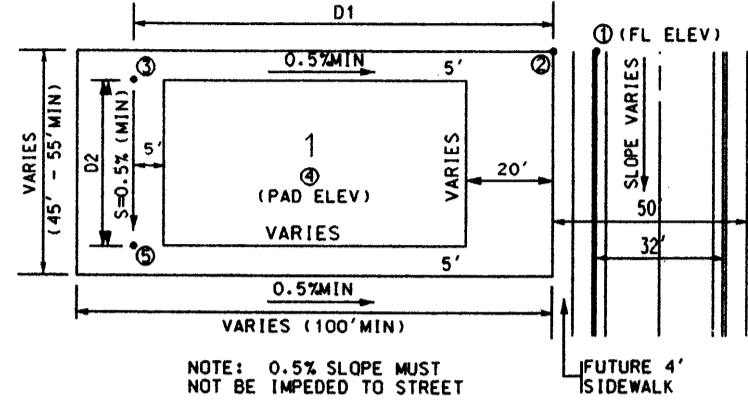
LAST DESIGN UPDATE: _____

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	BY	DATE	ACCS STATION	NAMED	NO.	DATE
				3	-1/4" ALUM. CAP		
				HY18 = 4 - 1/8"		INSPECTOR'S FIELD VERIFICATION BY	DATE
				X=11,477.665, 89. Y=1,484,081.55		FIELD VERIFICATION BY	DATE
				ELEV=5733.00		FIELD VERIFICATION BY	DATE
				ON PASEO DEL VULCAN, 0.91 MI NORTH		MICRO-FILM INFORMATION	DATE
				OF I - 40, 0.74 MI SOUTH OF		RECORDED BY	DATE
				POWERLINES, 39.6' NW OF CENTERLINE			
				OF PASEO DEL VULCAN			

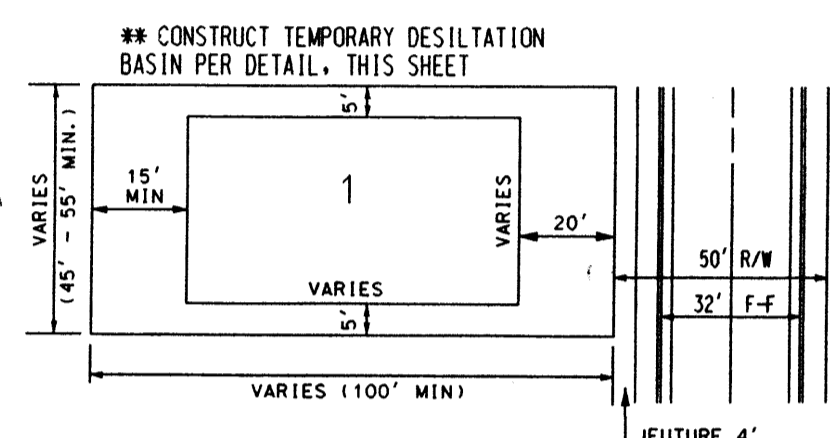


NO.	DATE	REVISIONS	BY	DATE
		DESIGN	CJS	08/2003
			BS	08/2003
			CJS	08/2003

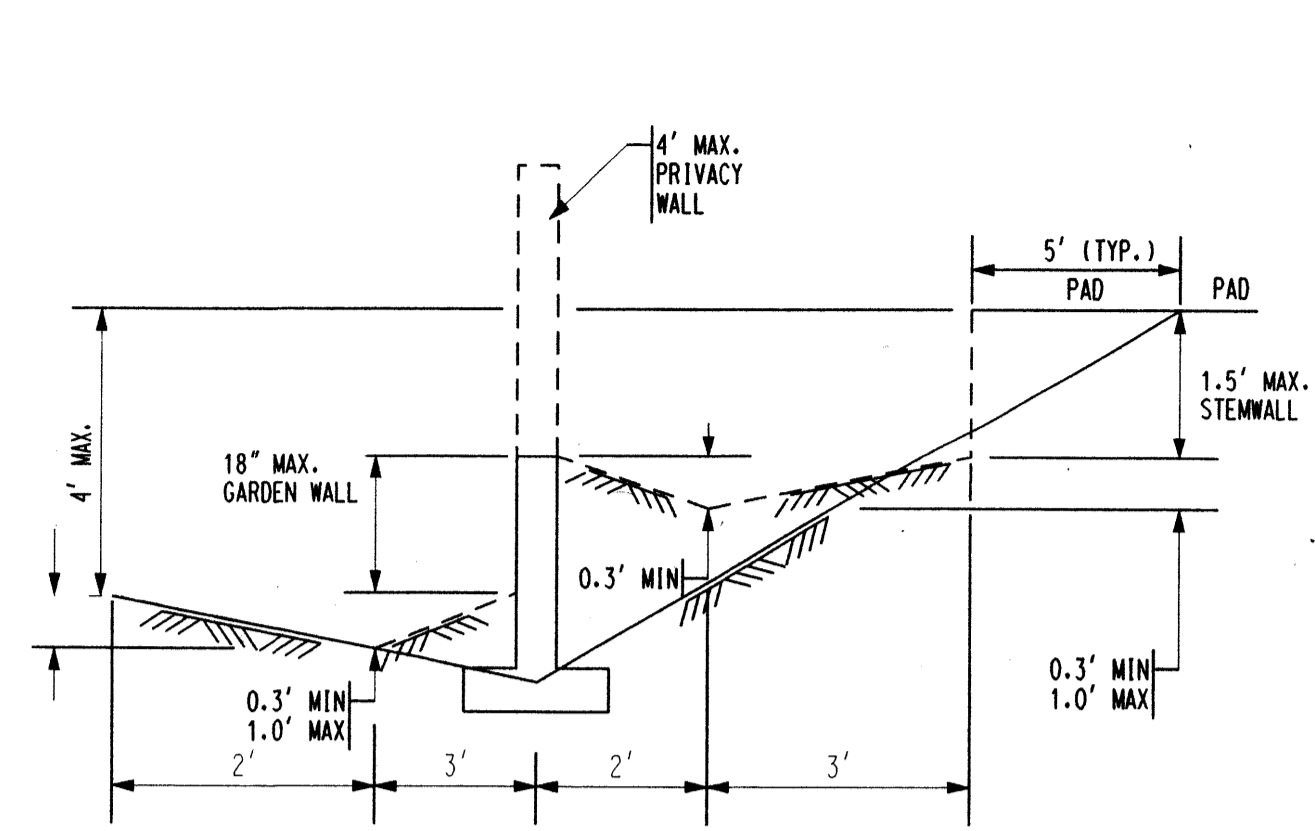
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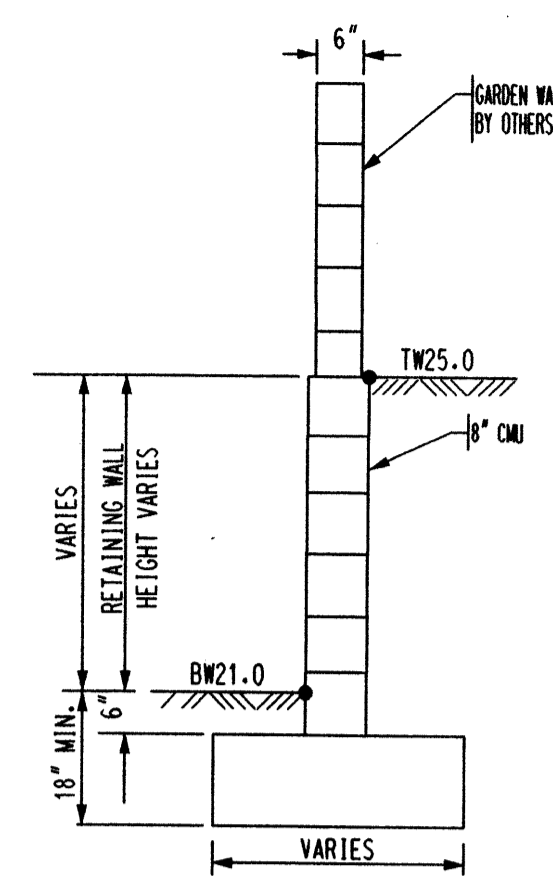
TYPICAL LOT GRADING PLAN - A
NOT TO SCALE
TO SET SPOT ① - ADD 0.85' TO SPOT ②
TO SET SPOT ② - MULTIPLY D1 BY 0.55 AND ADD TO SPOT ①
TO SET SPOT ③ - ADD 0.2' TO SPOT ①
TO SET SPOT ④ - MULTIPLY D2 BY 0.55 AND SUBTRACT FROM SPOT ①



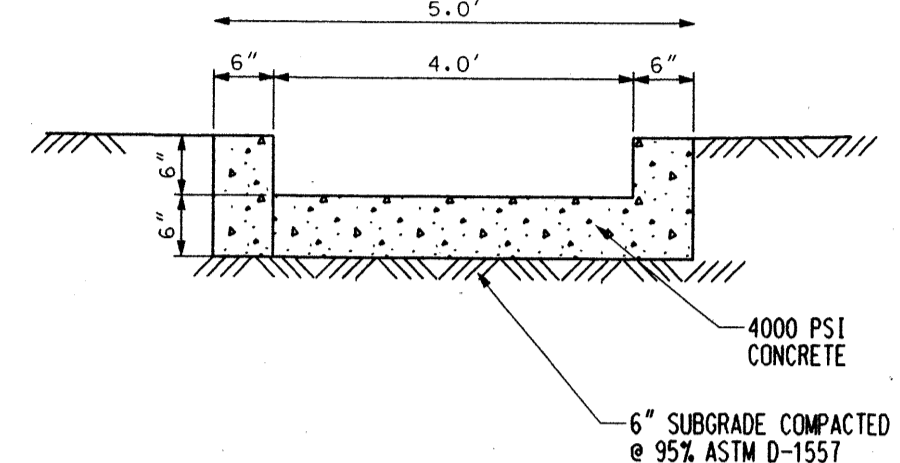
TYPICAL LOT DETAIL
NO SCALE



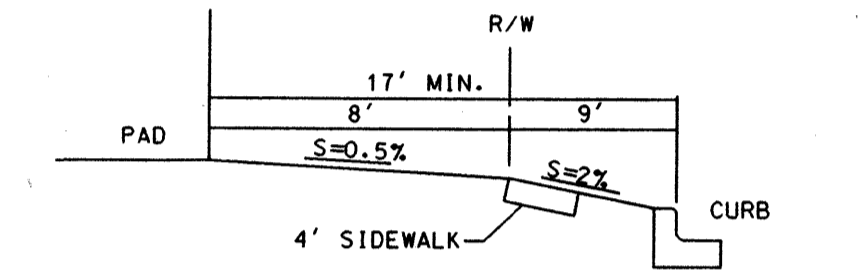
TYPICAL SIDE LOT LINE SECTION
NOT TO SCALE



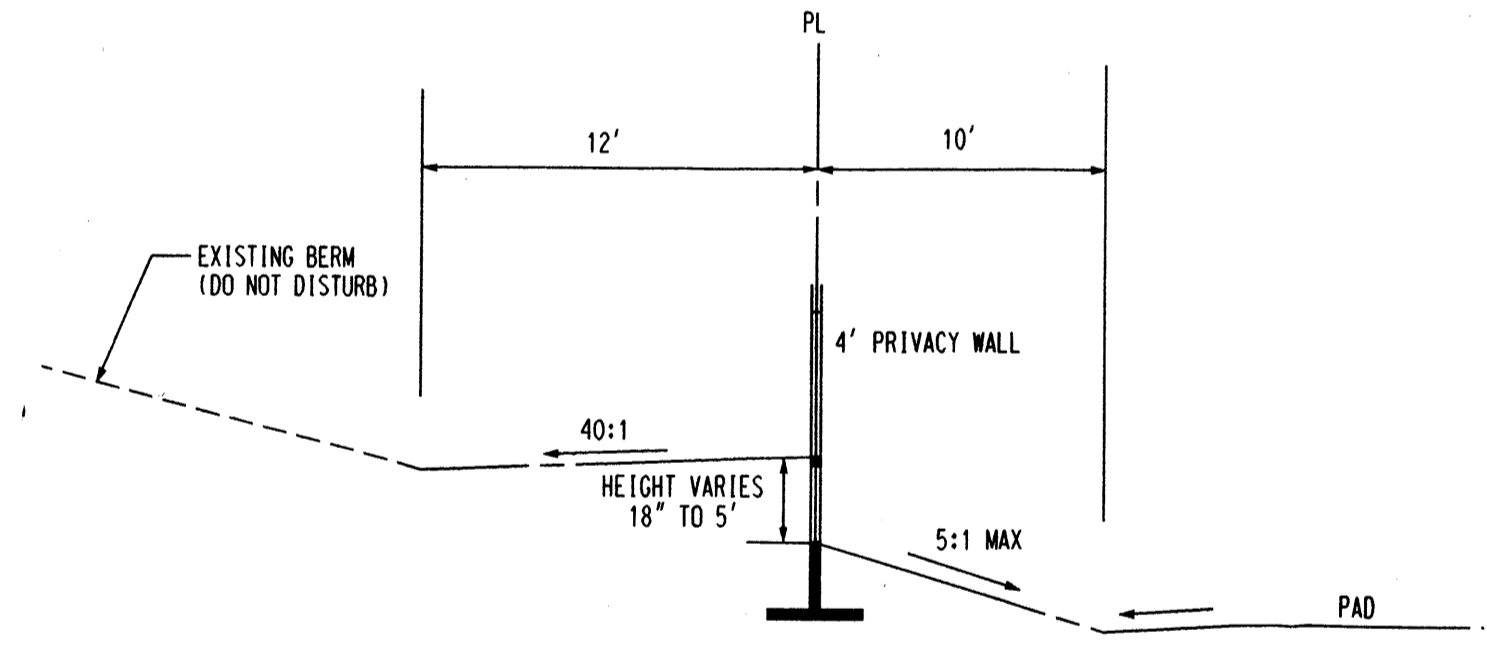
TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL
TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



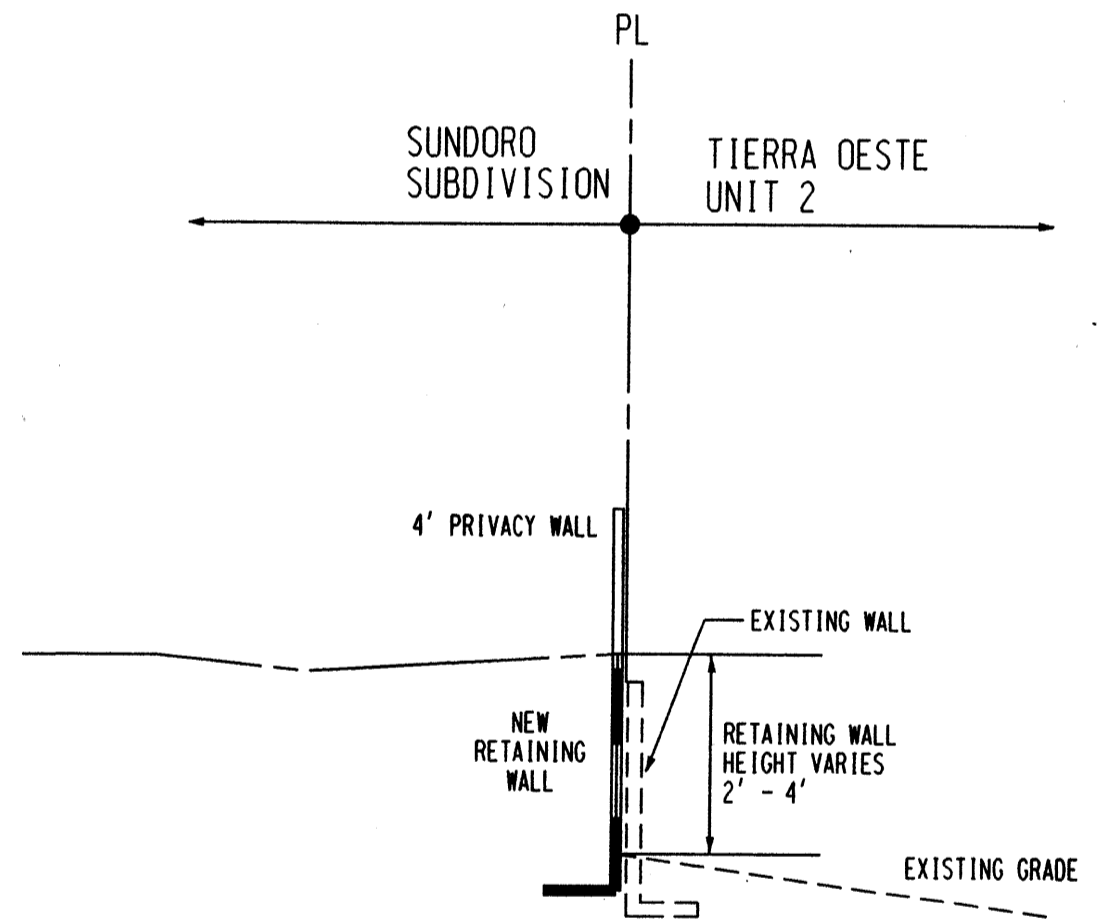
TYPICAL RUN DOWN SECTION
NOT TO SCALE



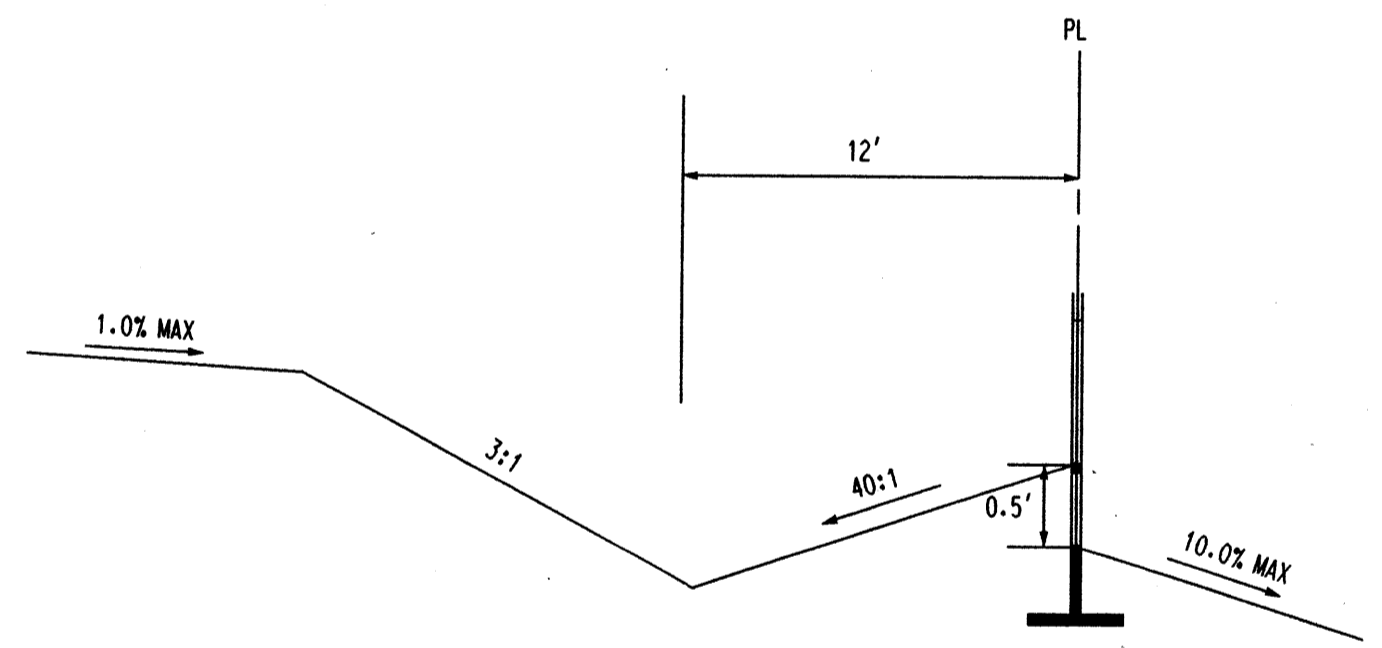
ULTIMATE FRONT YARD GRADING DETAIL
NO SCALE



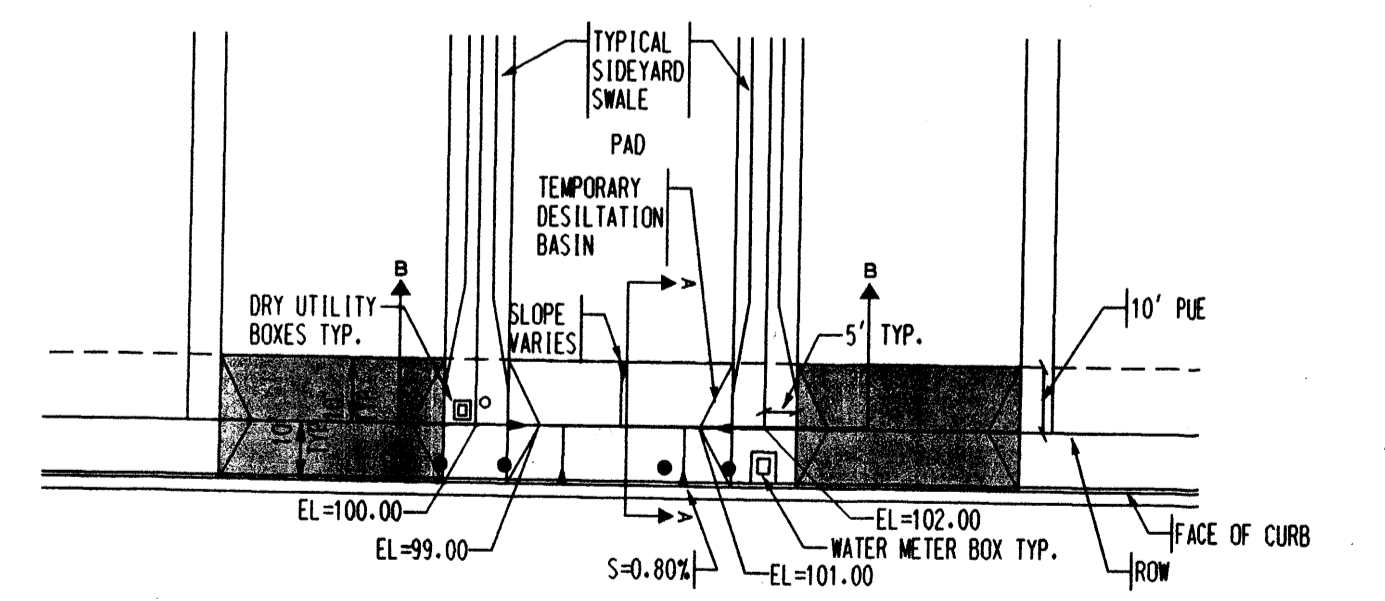
SECTION A-A
NOT TO SCALE



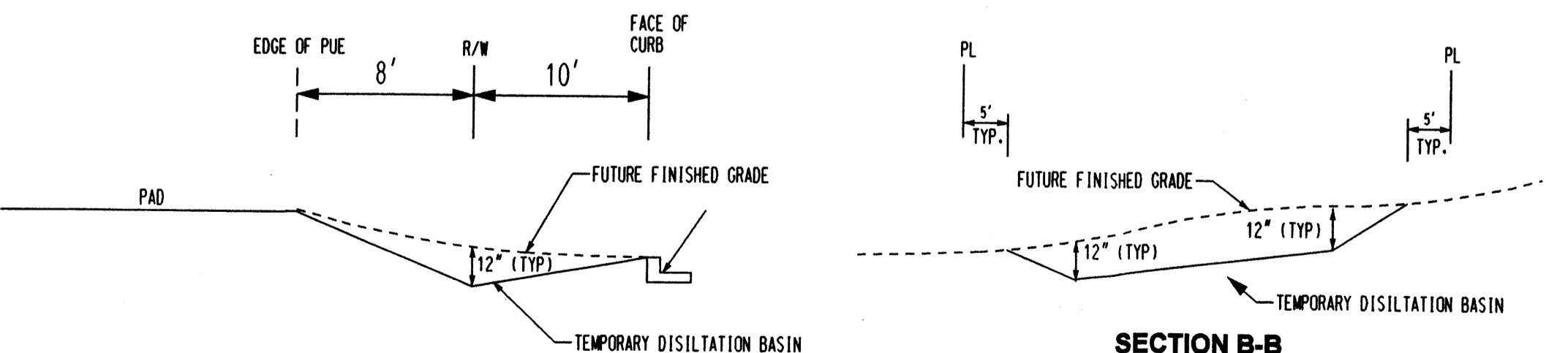
SECTION B-B
NOT TO SCALE



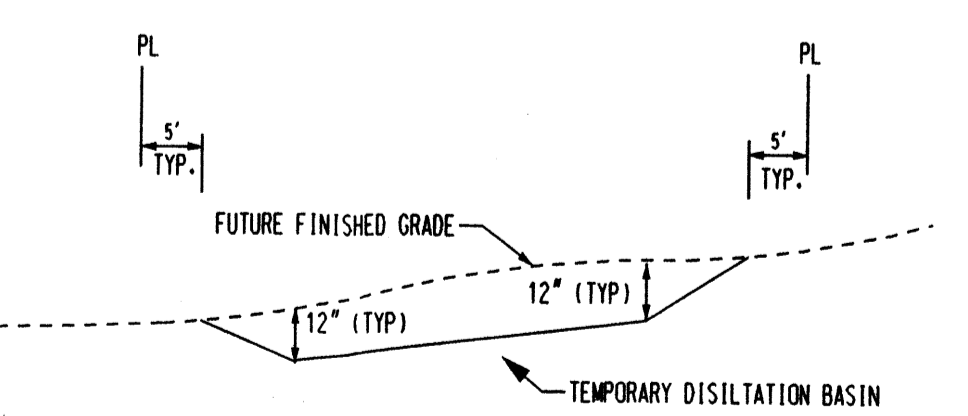
SECTION C-C
NOT TO SCALE



TEMPORARY DESILTATION BASIN
NOT TO SCALE
** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS



SECTION A-A
NOT TO SCALE



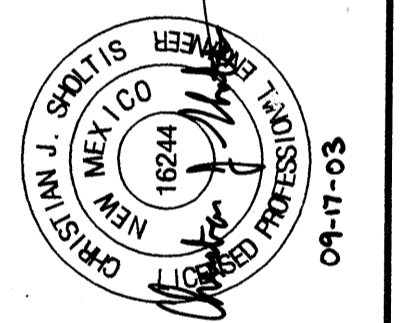
SECTION B-B
NOT TO SCALE

LEGEND

PROPOSED SPOT ELEVATION	• 5235.25
FL OF ROLL CURB ELEVATION	• 5235.25
EXISTING SPOT ELEVATION	• 5235.25
EXISTING CONTOUR	---
DIRECTION OF FLOW	→
EXISTING STORM DRAIN LINE	---
PROPOSED STORM DRAIN INLET	⊓
PROPOSED STORM DRAIN LINE	---
PROPOSED STORM DRAIN MANHOLE	⊙
PROPOSED WATER BLOCK	⊘
RETAINING WALL	▬
GARDEN WALL	▬
POND CONTOUR	---
TEMP. DESILTATION BASIN	▬
PAD	▬

- GENERAL NOTES:**
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR SUNDORO SUBDIVISION AT THE PETROLYPHS, PREPARED BY VINEYARD & ASSOCIATES, DATED JULY, 2003. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
 - TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
 - EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 - IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 - CONTRACTOR SHALL RESEED ALL DISTURBED AREAS PER COA STANDARD SPECIFICATION 1012.
 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES PER DETAIL THIS SHEET 2 OF 2 AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
 - A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 - PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
 - ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
 - ALL INTERIOR CURBS ARE ROLL CURB AND GUTTER UNLESS OTHERWISE NOTED.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	NO.	CONTRACTOR	NO.	NO.	DATE	NO.	DATE
ACS STATION NAMED 4 - K6		3 - 1/4" ALUM. CAP					
WORKED BY		HYTB = 4 - K6					
INSPECTOR'S ACCEPTANCE BY		X-1 - 477.665.89					
DATE		Y=1 - 484.081.55					
DATE		ELEV=5733.00					
DATE		ON PASSED DEL VULCAN. 0.91 MI NORTH					
DATE		OF 1 - 40.0.74 MI SOUTH OF					
DATE		POWERLINES. 39.6' NW OF CENTERLINE					
DATE		OF PASSED DEL VULCAN					



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Court yard | 7600 Jefferson St. NE | Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

SUNDORO SUBDIVISION
GRADING DETAILS AND SECTIONS

DESIGN REVIEW BOARD NO.	APPROVAL DATE	MD./DAY/YR.	MD./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	J-8/J-9	8	8

LEGEND

SUBDIVISION BOUNDARY LINE	---
PHASE BOUNDARY LINE	---
PROPOSED CURB AND GUTTER	=====
EXISTING CURB AND GUTTER	-----
PROPOSED STORM DRAIN MANHOLE	○
EXISTING STORM DRAIN MANHOLE	○
PROPOSED SANITARY SEWER MANHOLE	○
EXISTING SANITARY SEWER MANHOLE	○
EXISTING FIRE HYDRANT	○
EXISTING GATE VALVE	○
GUY WIRE	○
EXISTING ELECTRIC LINE	---
POWER POLE	---

EXISTING TRACT LD-2-1J
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

TRACT I-1
164.60 ACRES

NOTE:
A PROPOSED 25' FLOATING PUBLIC WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT, AND TO BE FURTHER DEFINED AND CONFINED WITHIN FUTURE PUBLIC RIGHT-OF-WAY AND OR PUBLIC EASEMENT BY FUTURE PLATTING

EXISTING TRACT LD-2-1G
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

EXISTING 22' PARCEL LD-3-10 EASEMENT STORM DRAIN DIVERSION AND DETENTION FACILITY JUDGEMENT 7-76-03096 DOC. NO. 7-76-03096 FILED: SEPTEMBER 23, 1976 BK. MISC. 498, PGS 648-683 TO REMAIN

EXISTING POND TRACT LD-2-1H
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

EXISTING TRACT LD-2-1E
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

A PROPOSED PUBLIC BLANKET DRAINAGE EASEMENT TO BE GRANTED TO AMAFCA WITH THE FINAL PLAT OVER TRACT K

EXISTING POND TRACT LD-2-1F
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

PROPOSED 25' PUBLIC STORM DRAIN AND WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT

EXISTING POND TRACT LD-2-1D
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683

EXISTING 200' WIDE ELECTRIC FACILITY JUDGEMENT MAY 14, 1992

PROPOSED 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT

PORTION OF 10' PUBLIC UTILITY EASEMENT TO BE VACATED, SEE EXHIBIT A.1

EXISTING 10' PUBLIC UTILITY EASEMENT FILED: DECEMBER 27, 2000 (2000C-314) TO REMAIN

3WR 2W
WATER PRESSURE ZONE BOUNDARY
ELEV=5265

PORTION OF 10' PUBLIC UTILITY EASEMENT TO BE VACATED, SEE EXHIBIT A.2

EXISTING 100' WIDE PAV EASEMENT FILED: APRIL 12, 1956 (348-43) TO REMAIN

UNIT 2 PARKLAND VIEW SUBDIVISION
FILED: SEPTEMBER 22, 1999 (98C-285)
ZONED R-D

PROPOSED 10' PUBLIC UTILITY EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT

EXISTING TRACT A OF PARKWAY SUBDIVISION 5.78 ACRES
FILED: JUNE 29, 1995 (95C-238)
ZONED R-D

PROPOSED 30' PUBLIC STORM DRAIN, WATERLINE AND SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT

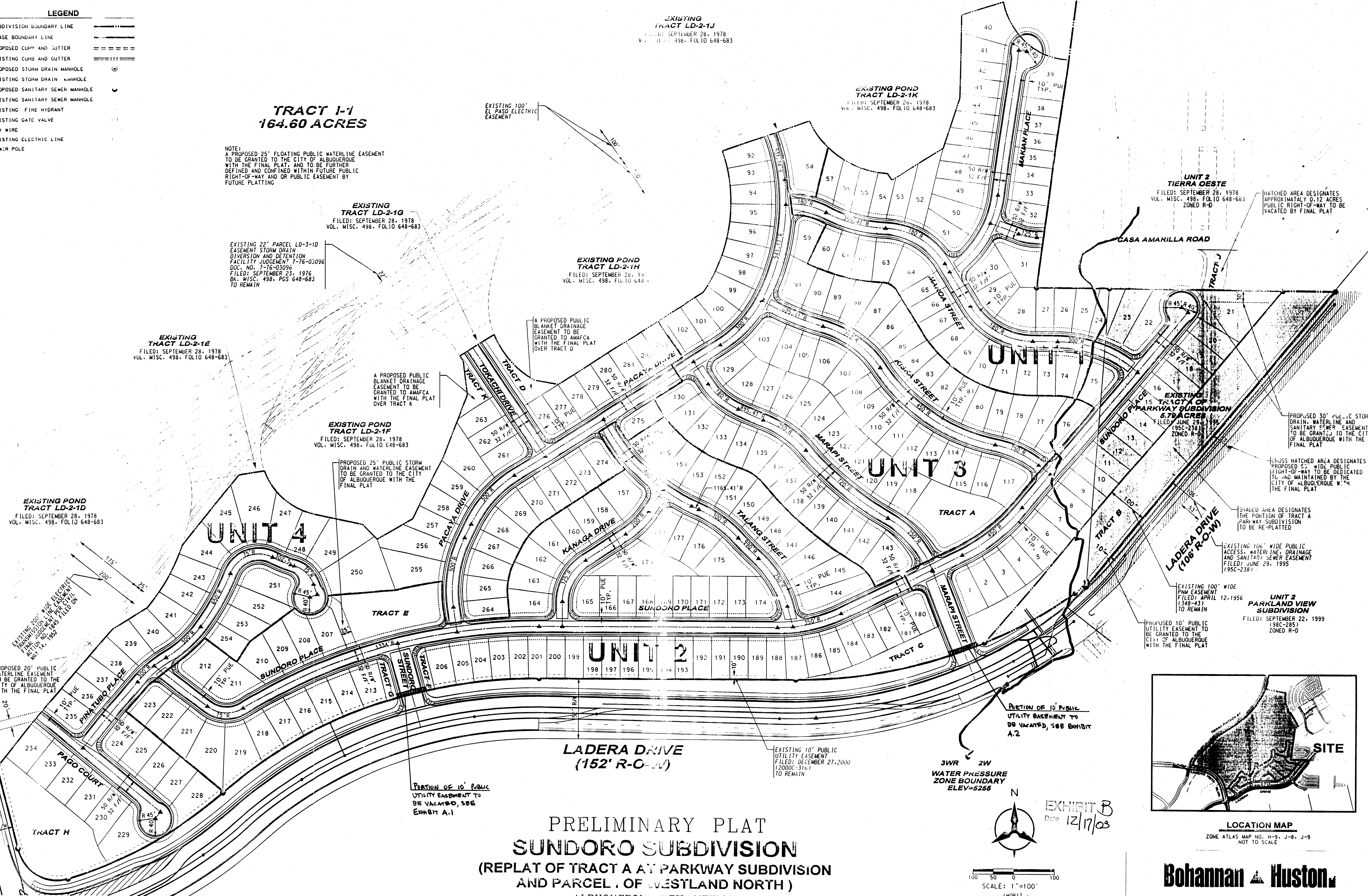
CROSS HATCHED AREA DESIGNATES PROPOSED 50' WIDE PUBLIC RIGHT-OF-WAY TO BE DEDICATED TO AND MAINTAINED BY THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT

SHALLU AREA DESIGNATES THE PORTION OF TRACT A PARKWAY SUBDIVISION TO BE RE-PLATTED

EXISTING 100' WIDE PUBLIC ACCESS, WATER LINE, DRAINAGE AND SANITARY SEWER EASEMENT FILED: JUNE 29, 1995 (95C-238)

UNIT 2 TIERRA OESTE
FILED: SEPTEMBER 28, 1978
VOL. MISC. 498, FOLIO 648-683
ZONED R-D

HATCHED AREA DESIGNATES APPROXIMATELY 0.12 ACRES PUBLIC RIGHT-OF-WAY TO BE VACATED BY FINAL PLAT



PRELIMINARY PLAT
SUNDORO SUBDIVISION
(REPLAT OF TRACT A AT PARKWAY SUBDIVISION
AND PARCEL 1 OF WESTLAND NORTH)
ALBUQUERQUE, NEW MEXICO
AUGUST, 2003

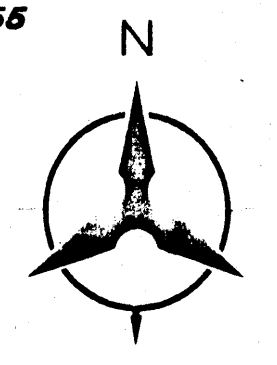
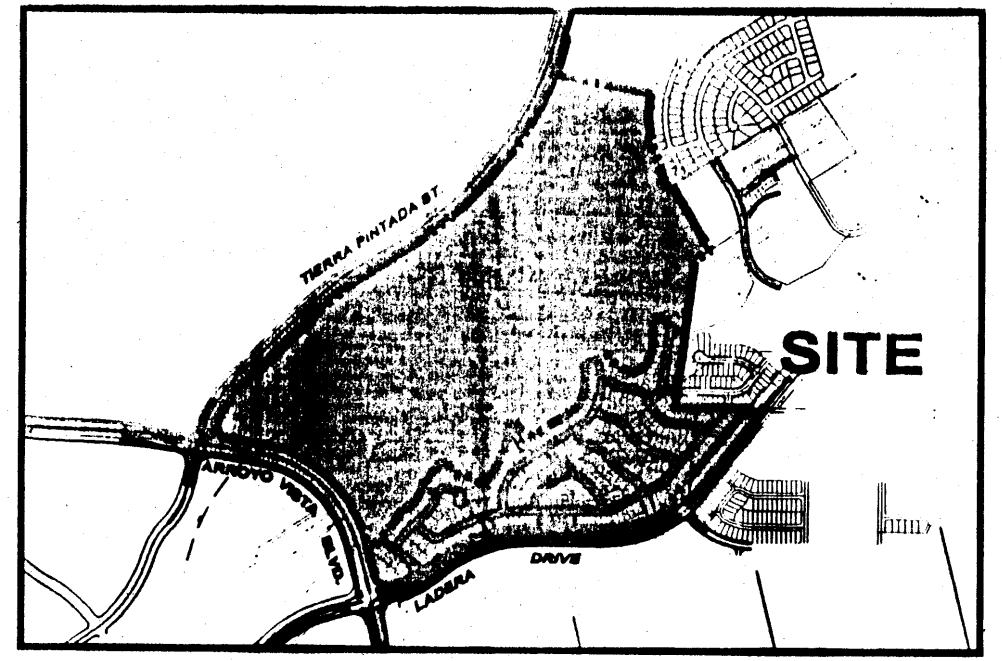


EXHIBIT B
Date 12/17/03

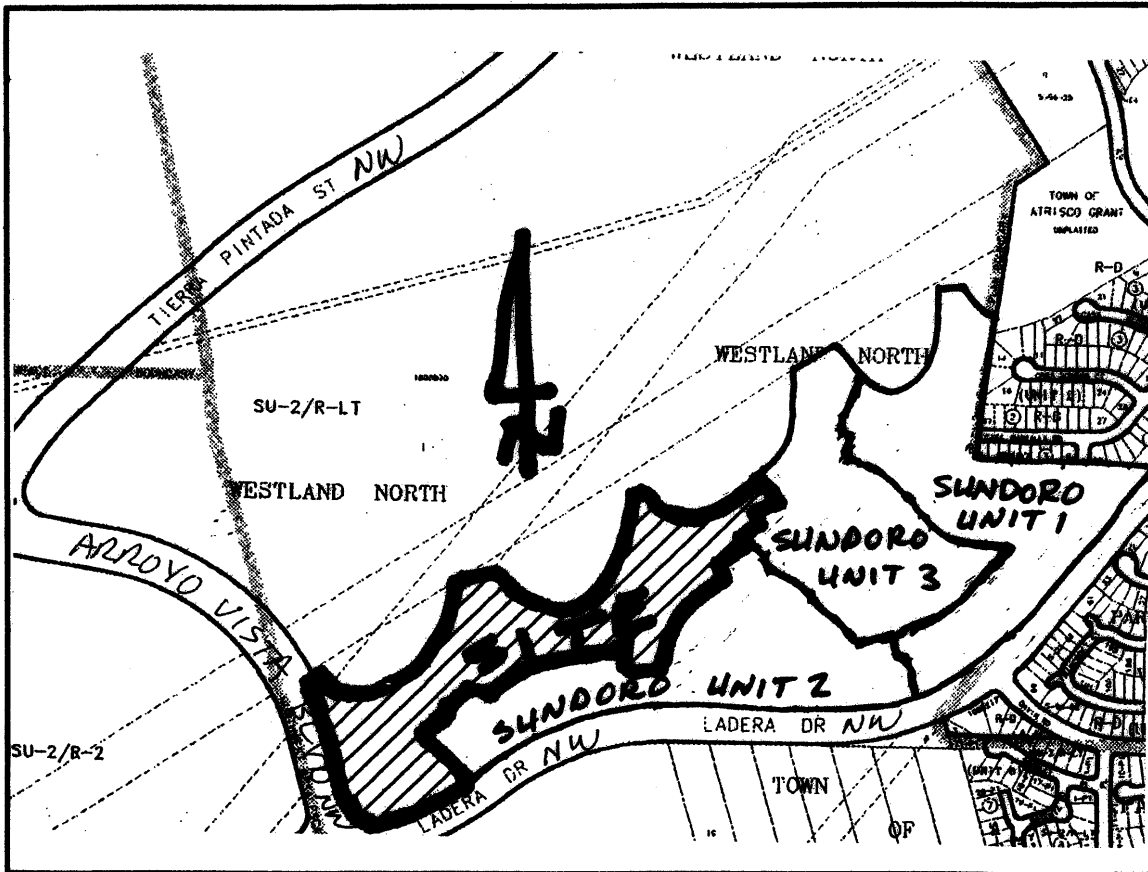
SCALE: 1"=100'
(HORIZ.)



LOCATION MAP
ZONE ATLAS MAP NO. H-9, J-8, J-9
NOT TO SCALE

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



LOCATION MAP 1"=750' J-8-Z & J-9-Z

PURPOSE OF PLAT

1. To create 60 lots and 5 tracts as shown hereon.
2. To grant easements as shown hereon.
3. To dedicate street right-of-way to the C.O.A. as shown hereon.

SUBDIVISION DATA

1. Project No.: Application No.:
2. Zone Atlas Index No.: J-8-Z & J-9-Z
3. Total Number of Existing Lots: 0
4. Total Number of Existing Tracts: 1
5. Total Number of Lots created: 60
6. Total Number of Tracts created: 5
7. Miles of Full Width Street Created: .4872
8. Gross Subdivision Acreage: 13.8442

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary is from the plats of record entitled:
 Plat Of "TIERRA OESTE, UNIT 2" (05-18-01, 01C-144)
 Plat Of "WESTLAND NORTH, PARCEL 1" (12-27-00, 2000C-316)
 "POND 10, AMAFCA LD-2-1M" (09-28-78, BK. MISC. 498, PG. 648-683)
 "POND 9, AMAFCA LD-2-1K" (09-28-78, BK. MISC. 498, PG. 648-683)
 "POND 8, AMAFCA LD-2-1H" (09-28-78, BK. MISC. 498, PG. 648-683)
 "POND 7, AMAFCA LD-2-1F" (09-28-78, BK. MISC. 498, PG. 648-683)
 "POND 6, AMAFCA LD-2-1D" (09-28-78, BK. MISC. 498, PG. 648-683)
 Plat Of "SUNDORO SUBDIVISION, UNIT 1"
 Plat Of "SUNDORO SUBDIVISION, UNIT 2"
 Plat Of "SUNDORO SUBDIVISION, UNIT 3"
 all being records of Bernalillo County, New Mexico.
5. Field Survey: performed August, 2003.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: R-D
9. Utility Council Location System Log No.: 2004251367
10. Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
11. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 16 Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of Tract I-1-A-2, SUNDORO, UNIT 3 as the same is shown and designated on said plat filed for record in the office of the County Clerk of the Bernalillo County, New Mexico on and containing 13.8442 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, communication lines, transformers, street lights and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Telecommunications for installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side as shown hereon.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in Accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 60 lots and 3 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-way to the City of Albuquerque in the fee simple with Warranty Covenants. Said owner(s) Warrants that (he/she) holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): Westland Development Co., Inc.
Fred Ambrogi, VP 7-26-2004
 Date

STATE OF NEW MEXICO)
 BERNALILLO COUNTY) SS
 On this 26 day of JULY, 2004, this instrument was Acknowledged by
Fred Ambrogi, VICE PRESIDENT OF WESTLAND DEV. CO., INC.
Guido Blair
 Notary Public

My Commission Expires
 8/5/05

PLAT OF
 SUNDORO SUBDIVISION
 UNIT 4
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 16 AND 17
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

PROJECT NUMBER: _____
 Application Number: _____

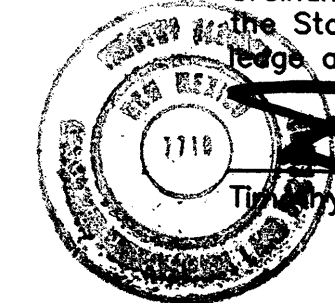
PLAT APPROVAL

Utility Approvals:

PNM Electric Services Division	_____	Date
PNM Gas Services Division	_____	Date
Qwest	_____	Date
Comcast	_____	Date
City Approvals:	<u>[Signature]</u>	7-26-04
City Surveyor	_____	Date
Real Property Division	_____	Date
Environmental Health Department	_____	Date
Traffic Engineering, Transportation Division	_____	Date
Utilities Development	_____	Date
Parks and Recreation Department	_____	Date
AMAFCA	_____	Date
City Engineer	_____	Date
DRB Chairperson, Planning Department	_____	Date

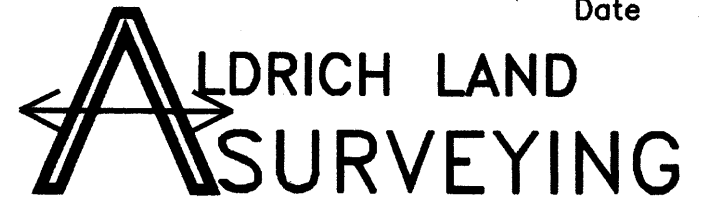
SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."



[Signature] 07-26-04
 Timothy Aldrich, P.S. No. 7719 Date

Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL4.DWG
Job No.:	03-029	Sheet:	1 of 5



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT OF
 SUNDORO SUBDIVISION
 UNIT 4
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "LS 11993" (Typ.)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (Typ.)
- FOUND 5/8" REBAR WITH CAP "LS 6544" (Typ.)

AC.S MONUMENT
 "BH-40"
 Y=1492346.53
 X=352790.66
 G-G=0.99967105
 $\Delta\alpha=-00^{\circ}16'59"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5305.43

TRAC.T LD-2-1L
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 9
 AMAFCA LD-2-1K
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRAC.T LD-2-1J
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 8
 AMAFCA LD-2-1H
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRAC.T LD-2-1G
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 7
 AMAFCA LD-2-1F
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRAC.T LD-2-1E
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 6
 AMAFCA LD-2-1D
 (09-28-78, BK.MISC. 498, PG. 648-683)

AC.S MONUMENT
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 X=351455.56
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 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5398.63

TRACT LD-2-1C

ARROYO VISTA BLVD. N.W.
 (180' R/W)

LADERA DRIVE N.W.
 (152' R/W)

LADERA DRIVE N.W.
 (106' R/W)

CASA AMARILLA ROAD N.W.

TIERRA OESTE
 UNIT 2
 (05-18-01, 01C-144)

POND 10
 AMAFCA LD-2-1M
 (09-28-78, BK.MISC. 498, PG. 648-683)

EXISTING 100' PNM EASEMENT
 (05-14-78, BK.MISC. 477, PGS. 107-110)

EXISTING 200' ELECTRIC TRANSMISSION EASEMENT
 FROM JUDGEMENT PER CIVIL
 ACTION NO. 1945 FILED 04/15/93
 (02-05-92, BK.MISC. D197, Pg. 571-573)

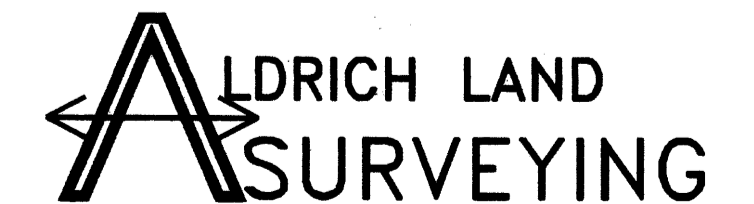
- ① EXISTING 10' PUBLIC UTILITY EASEMENT
 (12-27-00, 00C-316)
- ⑤ EXISTING 100' PNM EASEMENT
 (04-12-56, BK. MISC. D348, PG. 43-47)
- ⑪ EXISTING 20' AMAFCA DRAINAGE EASEMENT
 EXISTING 20' PUBLIC PEDESTRIAN ACCESS EASEMENT
 ()

SEE SHEET 5 OF 5 FOR
 CURVE AND LINE TABLE

[Signature]
 07-26-04

N.T.S.

Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL4.DWG
Job No.:	03-029	Sheet:	2 of 5



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

TRACT LD-2-1C
 09-28-78, BK.MISC. 498, PG. 648-683)

EXISTING 100' PNM EASEMENT
 (05-14-76, BK. MISC. 477, PGS. 107-110)

**PLAT OF
 SUNDORO SUBDIVISION
 UNIT 4
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004**

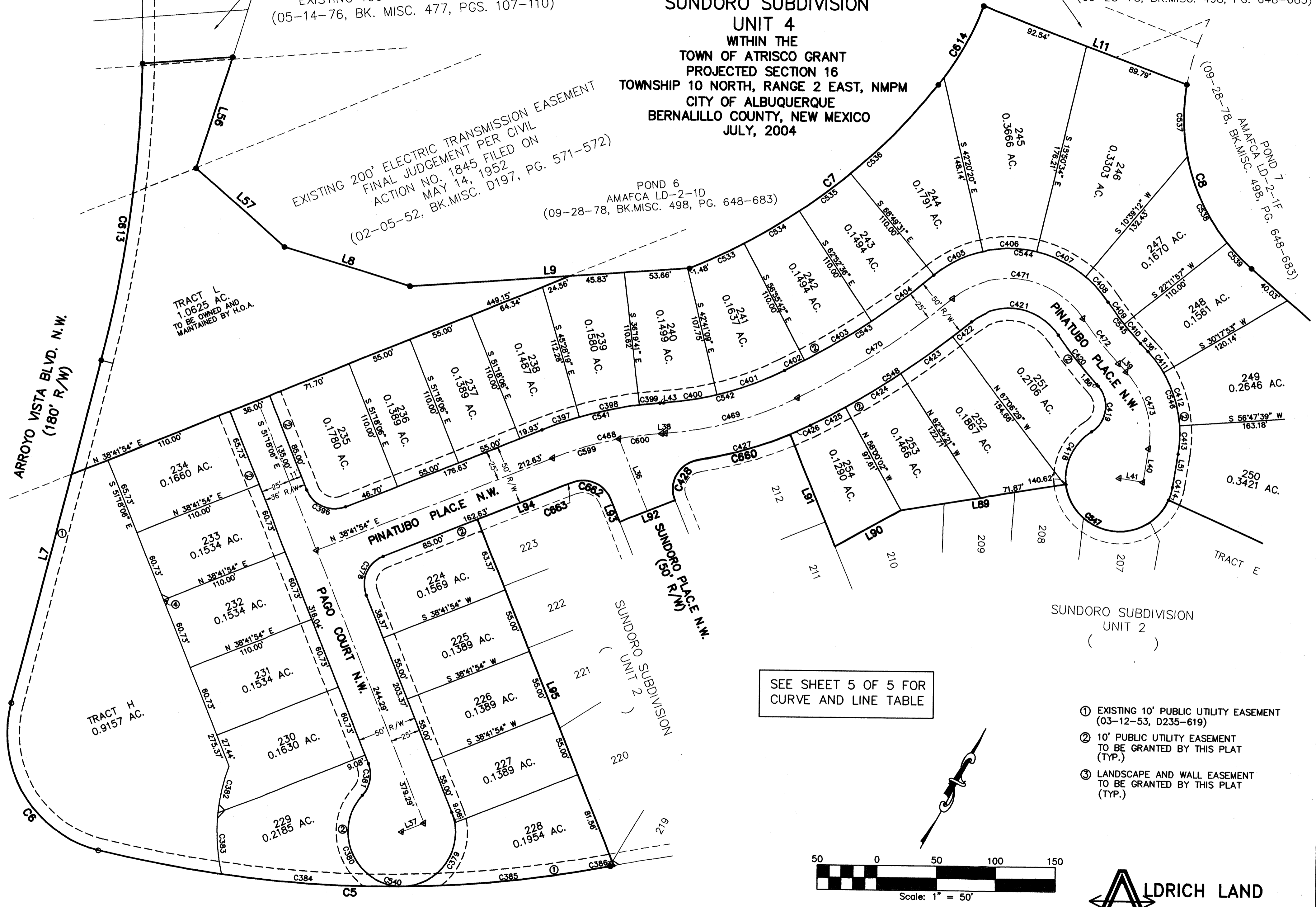
TRACT LD-2-1E
 (09-28-78, BK.MISC. 498, PG. 648-683)

EXISTING 200' ELECTRIC TRANSMISSION EASEMENT
 FINAL JUDGEMENT PER CIVIL
 ACTION NO. 1845 FILED ON
 MAY 14, 1952
 (02-05-52, BK.MISC. D197, PG. 571-572)

POND 6
 AMAFCA LD-2-1D
 (09-28-78, BK.MISC. 498, PG. 648-683)

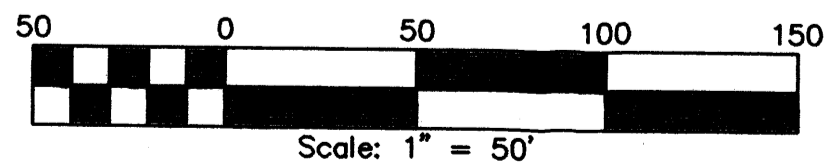
TRACT L
 1.0625 AC.
 TO BE OWNED AND
 MAINTAINED BY H.O.A.

ARROYO VISTA BLVD. N.W.
 (180' R/W)



SEE SHEET 5 OF 5 FOR
 CURVE AND LINE TABLE

- ① EXISTING 10' PUBLIC UTILITY EASEMENT
 (03-12-53, D235-619)
- ② 10' PUBLIC UTILITY EASEMENT
 TO BE GRANTED BY THIS PLAT
 (TYP.)
- ③ LANDSCAPE AND WALL EASEMENT
 TO BE GRANTED BY THIS PLAT
 (TYP.)



Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL4.DWG
Job No.:	03-029	Sheet:	3 of 5



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

LADERA DRIVE N.W.
 (152' R/W)

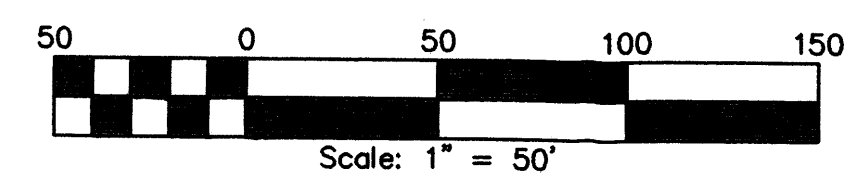
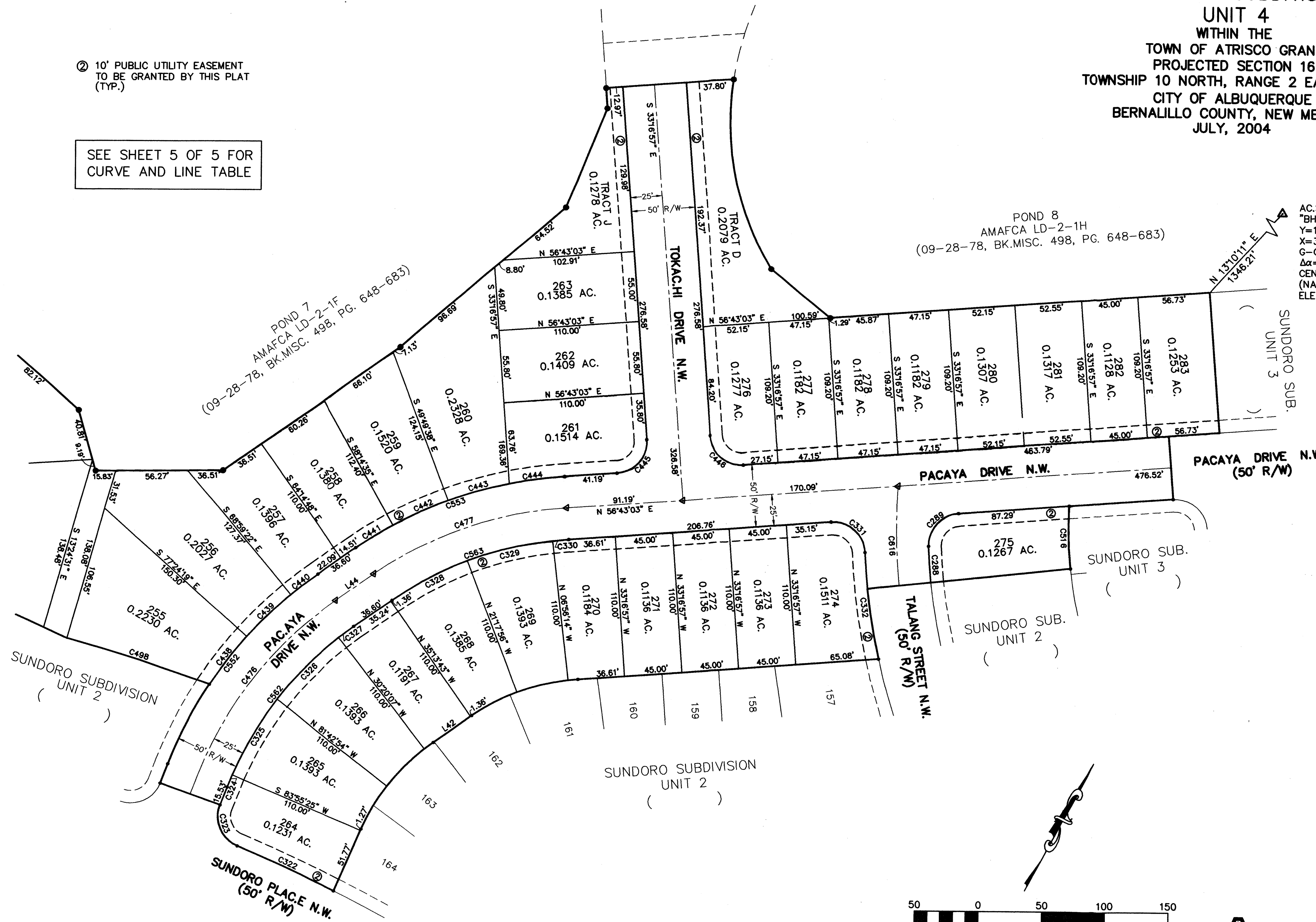
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 JULY, 2004

② 10' PUBLIC UTILITY EASEMENT
 TO BE GRANTED BY THIS PLAT
 (TYP.)

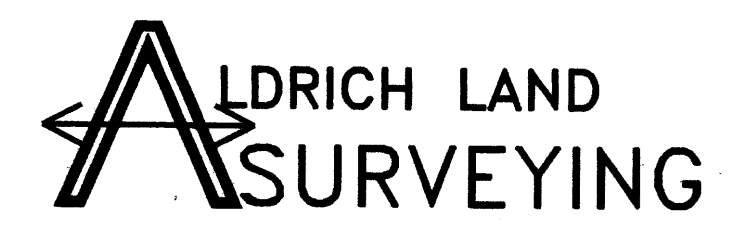
SEE SHEET 5 OF 5 FOR
 CURVE AND LINE TABLE

POND 8
 AMAFCA LD-2-1H
 (09-28-78, BK.MISC. 498, PG. 648-683)

AC.S MONUMENT
 "BH-40"
 Y=1492346.53
 X=352790.66
 G-G=0.99967105
 Δα=-00°16'59"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5305.43



Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL4.DWG
Job No.:	03-029	Sheet:	4 of 5



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 JULY, 2004

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD
C1	78°01'46"	S 48°32'18" E	135.81'	167.82'	228.26'	211.04'
C2	23°55'02"	N 41°37'39" E	21.18'	100.00'	41.74'	41.44'
C3	38°24'53"	N 71°47'37" E	378.71'	1184.38'	733.68'	721.39'
C4	40°16'30"	S 68°52'47" W	438.86'	1198.00'	842.81'	825.57'
C5	24°10'11"	N 61°48'38" E	219.24'	1024.00'	431.97'	428.77'
C6	81°08'25"	S 60°32'04" E	101.85'	100.00'	158.01'	142.78'
C7	20°01'31"	N 28°39'14" E	90.93'	918.00'	180.00'	178.06'
C8	58°08'39"	S 48°56'14" E	93.15'	167.50'	170.03'	162.82'
C9	38°47'17"	S 40°33'14" E	80.98'	223.78'	155.40'	152.30'
C10	38°38'40"	N 13°53'19" E	146.41'	408.17'	281.04'	275.47'
C11	12°48'58"	N 12°21'00" W	44.83'	388.84'	88.88'	86.70'
C12	00°48'12"	S 23°58'14" E	5.48'	833.00'	10.96'	10.96'
C13	62°08'10"	S 55°24'55" E	132.79'	220.41'	238.03'	227.48'
C288	03°52'39"	S 33°02'38" E	28.78	425.00	28.78	14.39
C289	87°48'22"	S 12°48'22" W	34.68	25.00	38.32	24.07
C322	03°31'38"	S 85°10'44" W	83.63	1398.00	83.65	41.84
C323	88°21'03"	S 82°24'32" E	34.84	25.00	38.55	24.29
C324	02°09'28"	S 07°08'18" E	10.35	275.00	10.35	5.18
C325	14°21'41"	S 01°08'18" W	88.75	275.00	88.93	34.85
C326	14°21'41"	S 15°27'57" W	88.75	275.00	88.93	34.85
C327	03°08'24"	S 24°12'00" W	14.91	275.00	14.91	7.46
C328	13°58'47"	S 32°43'08" W	86.89	275.00	86.86	33.58
C329	14°21'41"	S 46°31'48" W	88.75	275.00	88.93	34.85
C330	02°40'23"	S 58°22'82" W	12.83	275.00	12.83	6.42
C331	91°44'30"	N 77°24'42" W	36.89	25.00	40.03	25.77
C332	10°11'32"	S 38°38'13" E	84.38	475.00	84.50	42.36
C377	88°18'37"	S 84°32'38" W	34.83	25.00	38.53	24.27
C379	110°50'08"	N 04°08'57" E	74.10	45.00	87.05	85.27
C380	133°47'17"	S 53°34'21" E	82.78	45.00	105.08	105.47
C381	64°37'23"	N 16°58'24" W	26.73	25.00	28.20	15.81
C382	14°59'35"	S 16°41'41" E	40.44	155.00	40.58	20.40
C383	18°51'28"	S 33°37'11" E	90.78	155.00	51.01	25.74
C384	08°29'44"	N 63°45'52" E	151.89	1024.00	151.83	78.08
C385	09°47'28"	N 54°38'16" E	174.77	1024.00	174.99	87.71
C386	90°00'00"	N 83°41'54" E	35.36	25.00	38.27	25.00
C387	08°48'47"	S 41°38'47" W	33.05	325.00	33.07	16.55
C388	08°08'38"	S 48°08'00" W	51.81	325.00	51.87	25.99
C389	03°02'44"	S 58°11'41" W	17.27	325.00	17.28	8.64
C400	08°24'12"	N 82°00'57" E	45.08	275.00	45.13	22.82
C401	12°32'10"	N 41°02'48" E	80.05	275.00	80.17	30.21
C402	01°42'22"	N 33°55'29" E	18.61	825.00	18.61	9.31
C403	05°58'54"	N 30°05'51" E	64.88	825.00	64.89	32.47
C404	05°58'54"	N 24°08'58" E	64.88	825.00	64.89	32.47
C405	28°29'53"	S 34°24'44" W	45.84	100.00	48.25	23.54
C406	28°29'48"	S 60°54'33" W	45.83	100.00	48.24	23.54
C407	28°29'48"	S 87°24'18" W	45.83	100.00	48.24	23.54
C408	18°15'08"	N 71°13'15" W	28.27	100.00	28.36	14.28
C409	04°42'21"	S 88°28'53" E	22.79	277.50	22.79	11.40
C410	04°22'09"	S 68°58'08" E	21.16	277.50	21.16	10.99
C411	12°28'05"	N 68°58'10" W	21.72	100.00	21.78	10.92
C412	28°29'48"	N 48°27'14" W	45.83	100.00	48.24	23.54
C413	13°18'38"	N 28°33'02" W	23.18	100.00	23.23	11.67
C414	13°58'28"	N 12°54'29" W	10.95	45.00	10.98	5.51
C418	68°31'31"	S 03°44'42" E	48.70	45.00	51.46	28.98
C419	100°08'07"	N 21°02'00" W	38.33	25.00	43.88	29.85
C420	08°04'28"	S 87°37'57" E	51.82	327.50	51.87	25.99
C421	88°43'54"	S 88°02'20" W	74.16	50.00	83.54	55.27
C422	01°43'08"	N 22°01'57" E	20.25	675.00	20.25	10.13
C423	04°32'07"	N 28°08'35" E	53.42	675.00	53.43	28.73
C424	04°34'20"	N 28°42'48" E	53.85	675.00	53.88	28.95
C425	02°46'42"	N 33°23'18" E	32.73	675.00	32.73	16.37
C426	03°15'38"	N 36°24'28" E	18.48	325.00	18.49	9.25

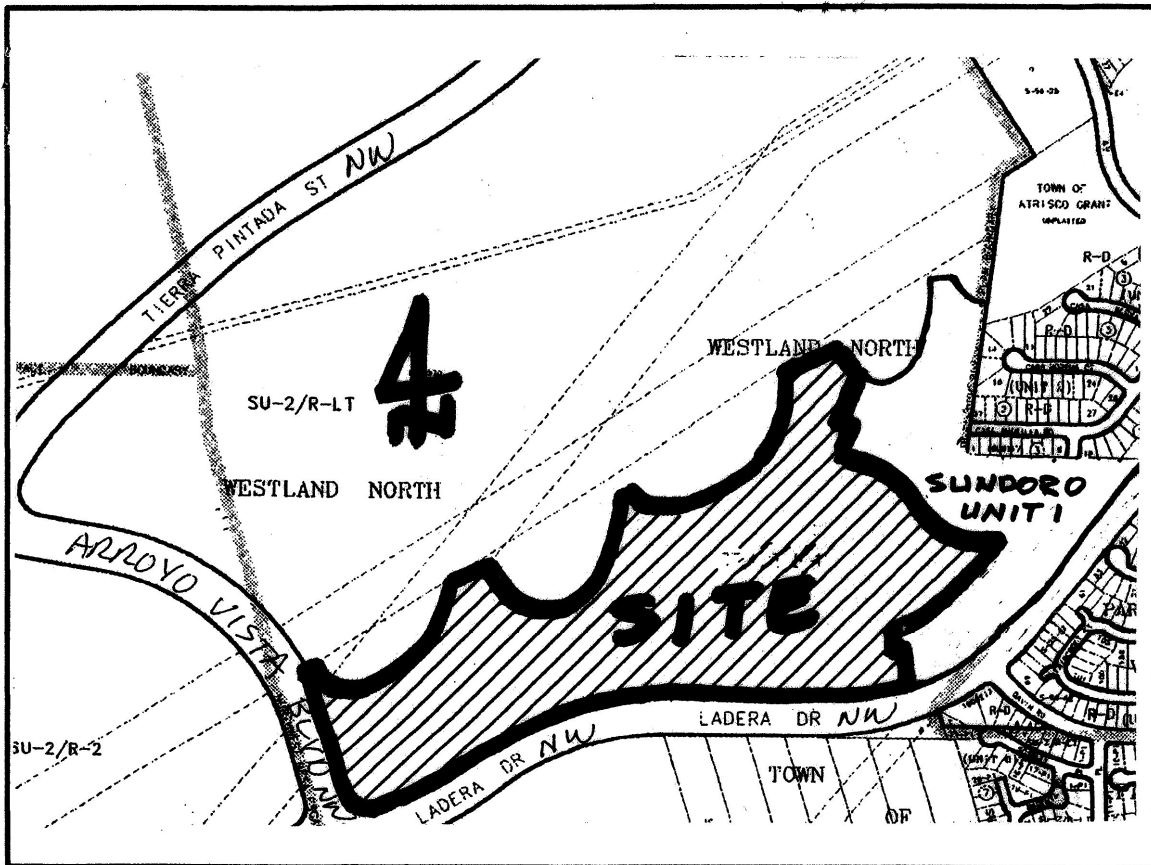
C428	103°25'33"	S 00°24'40" W	38.25	25.00	46.13	31.67
C438	08°28'47"	S 08°22'47" W	47.77	325.00	47.82	23.95
C439	08°24'57"	S 16°48'08" W	47.89	325.00	47.74	23.91
C440	04°44'34"	S 23°22'55" W	28.90	325.00	28.90	13.46
C441	08°00'13"	S 28°45'18" W	34.04	325.00	34.05	17.04
C442	08°24'57"	S 38°57'53" W	47.89	325.00	47.74	23.91
C443	08°47'48"	S 44°34'17" W	48.85	325.00	48.90	25.00
C444	07°44'52"	S 52°30'37" W	43.91	325.00	43.85	22.01
C445	80°00'00"	N 11°43'03" E	35.38	25.00	38.27	25.00
C446	90°00'00"	S 78°16'57" E	35.38	25.00	38.27	25.00
C468	18°01'09"	S47°42'29"W	93.98'	300.00'	94.35'	47.57'
C469	21°58'23"	N45°44'52"E	114.18'	300.00'	114.88'	58.15'
C470	13°38'17"	N27°58'32"E	153.95'	650.00'	154.34'	77.53'
C471	98°43'54"	S88°02'20"W	111.24'	75.00'	125.31'	82.90'
C472	09°04'28"	S87°37'57"E	47.86'	302.50'	47.91'	24.01'
C473	82°18'30"	N48°01'57"W	68.08'	75.00'	68.43'	36.80'
C478	33°58'13"	S08°48'38"W	175.36'	300.00'	177.98'	91.88'
C477	30°57'51"	S41°14'08"W	160.16'	300.00'	162.13'	83.10'
C533	05°38'41"	N36°52'08"E	50.27'	515.00'	50.28'	25.18'
C534	05°58'54"	N30°05'51"E	53.44'	515.00'	53.47'	28.78'
C535	05°58'54"	N24°08'58"E	53.44'	515.00'	53.47'	28.78'
C536	02°32'01"	N18°54'29"E	22.77'	515.00'	22.77'	11.38'
C537	20°23'13"	S30°03'01"E	58.29'	167.50'	58.80'	30.12'
C538	27°33'28"	S84°01'20"E	78.78'	167.50'	80.58'	41.08'
C539	101°30'00"	S72°54'33"E	28.83'	167.50'	29.87'	14.97'
C540	244°37'23"	N71°00'36"E	78.08'	45.00'	182.13'	71.15'
C541	18°01'09"	S47°42'29"W	101.78'	325.00'	102.21'	51.53'
C542	21°58'23"	N45°44'52"E	104.88'	275.00'	105.30'	53.30'
C543	13°38'11"	N27°58'32"E	148.04'	625.00'	148.39'	74.54'
C544	88°44'30"	S88°02'03"W	148.33'	100.00'	167.10'	110.58'
C545	09°04'28"	S87°37'57"E	43.91'	277.50'	43.95'	22.02'
C546	82°18'30"	N48°01'57"W	68.11'	100.00'	68.24'	48.07'
C547	228°54'48"	S88°28'18"E	81.82'	45.00'	178.78'	88.94'
C548	13°38'17"	N27°58'32"E	158.90'	675.00'	160.28'	80.52'
C589	11°01'31"	S44°12'39"W	57.84'	300.00'	57.73'	28.95'
C600	08°58'38"	S53°15'14"W	38.60'	300.00'	38.62'	18.33'

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N 07°38'12" E	587.42'
L2	S 88°21'27" E	178.77'
L3	N 88°20'38" W	278.19'
L4	N 38°30'01" E	888.78'
L5	S 04°17'13" W	15.08'
L6	N 88°58'57" W	630.37'
L7	N 14°58'52" W	198.57'
L8	N 38°41'54" E	448.15'
L9	N 86°43'03" E	100.97'
L10	N 38°41'54" E	221.04'
L11	N 81°00'45" E	83.94'
L12	S 78°01'03" E	122.15'
L13	S 44°58'18" E	90.00'
L14	N 80°17'51" E	100.00'
L15	N 28°45'12" E	170.00'
L16	N 20°28'03" E	170.00'
L17	N 06°47'58" W	85.00'
L18	N 33°16'57" W	15.75'
L19	N 86°43'04" E	100.77'
L20	S 78°46'57" E	80.00'
L21	N 86°43'03" E	425.00'
L22	N 88°58'21" E	228.01'
L23	S 33°16'57" E	20.00'
L24	N 86°43'03" E	150.00'
L25	N 16°43'03" E	140.00'
L26	N 01°13'03" E	208.08'
L27	N 73°08'54" E	107.04'

Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL4.DWG
Job No.:	03-029	Sheet:	5 of 5



P.O. BOX 30701, ALBUQU., N.M. 87190
 505-884-1990



LOCATION MAP 1"=750' J-8-Z & J-9-Z

PURPOSE OF PLAT

- To create 79 lots as shown hereon.
- To create 5 tracts as shown hereon.
- To grant easements as shown hereon.
- To dedicate street right-of-way to the C.O.A. as shown hereon.
- To vacate street right-of-way and easements as shown hereon.

SUBDIVISION DATA

- Project No.:
Application No.:
- Zone Atlas Index No.: J-8-Z & J-9-Z
- Total Number of Existing Lots: 0
- Total Number of Existing Tracts: 1
- Total Number of Lots created: 79
- Total Number of Tracts created: 5
- Miles of Full Width Street Created: .6106
- Gross Subdivision Acreage: 43.9505

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary is from the plats of record entitled:
Plat of "TIERRA OESTE, UNIT 2" (05-18-01, 01C-144)
Plat of "WESTLAND NORTH, PARCEL 1" (12-27-00, 2000C-316)
"POND 10, AMAFCA LD-2-1M" (09-28-78, BK. MISC. 498, PG. 648-683)
"POND 9, AMAFCA LD-2-1K" (09-28-78, BK. MISC. 498, PG. 648-683)
"POND 8, AMAFCA LD-2-1H" (09-28-78, BK. MISC. 498, PG. 648-683)
"POND 7, AMAFCA LD-2-1F" (09-28-78, BK. MISC. 498, PG. 648-683)
"POND 6, AMAFCA LD-2-1D" (09-28-78, BK. MISC. 498, PG. 648-683)
Plat of "SUNDORO, UNIT 1," all being records of Bernalillo County, New Mexico.
- Field Survey: performed August, 2003.
- Title Report: None provided.
- Address of Property: None provided.
- City of Albuquerque, New Mexico Zone: R-D
- Utility Council Location System Log No.: 2004251363
- Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 16 and 17 Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of Tract I-1, SUNDORO UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of the Bernalillo County, New Mexico on and containing 43.9505 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, communication lines, transformers, street lights and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
- PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Telecommunications for installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
- Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side as shown hereon.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 79 lots and 5 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in the fee simple with Warranty Covenants. Said owner(s) consent to the vacation of right-of-way and easements as shown hereon. Said owner(s) Warrants that (he/she) holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): Westland Development Co., Inc.
Fred Ambrogi, VP 7-26-2004
Date

STATE OF NEW MEXICO)
BERNALILLO COUNTY) SS
On this 26 day of July, 2004, this instrument was Acknowledged by
Fred Ambrogi, Vice President of Westland Dev. Co., Inc.
Andie J. Blair
Notary Public

My Commission Expires
NOTARY PUBLIC - STATE OF NEW MEXICO
Notary Bond Filed with Secretary of State
My Commission Expires 8/5/05

PLAT OF
SUNDORO SUBDIVISION
UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 16 AND 17
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2004

PROJECT NUMBER: _____
Application Number: _____

PLAT APPROVAL

- Utility Approvals:
- PNM Electric Services Division _____ Date
- PNM Gas Services Division _____ Date
- Qwest _____ Date
- Comcast _____ Date
- City Approvals: [Signature] 7-26-04
City Surveyor _____ Date
- Real Property Division _____ Date
- Environmental Health Department _____ Date
- Traffic Engineering, Transportation Division _____ Date
- Utilities Development _____ Date
- Parks and Recreation Department _____ Date
- AMAFCA _____ Date
- City Engineer _____ Date
- DRB Chairperson, Planning Department _____ Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."

[Signature] 07-26-04
Timothy Aldrich, P.S. No. 7719 Date



Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL2.DWG
Job No.:	03-029	Sheet:	1 of 6



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

PLAT OF
SUNDORO SUBDIVISION
UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "LS 11993" (Typ.)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (Typ.)
- FOUND 5/8" REBAR WITH CAP "LS 6544" (Typ.)

AC.S MONUMENT
 "BH-40"
 Y=1492346.53
 X=352790.66
 G-G=0.99967105
 $\Delta\alpha=-00^{\circ}16'59"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5305.43

TRACT LD-2-1L
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 9
 AMAFCA LD-2-1K
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRACT LD-2-1J
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 8
 AMAFCA LD-2-1H
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRACT LD-2-1G
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 7
 AMAFCA LD-2-1F
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRACT LD-2-1E
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 6
 AMAFCA LD-2-1D
 (09-28-78, BK.MISC. 498, PG. 648-683)

AC.S MONUMENT
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 G-G=0.99966704
 $\Delta\alpha=-00^{\circ}17'08"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5398.63

TRACT LD-2-1C

TRACT I-1-A
 27.9271 AC.
 TOTAL ACRES 43.9505

POND 10
 AMAFCA LD-2-1M
 (09-28-78, BK.MISC. 498, PG. 648-683)

TIERRA OESTE
 UNIT 2
 (05-18-01, 01C-144)

- ① EXISTING 10' PUBLIC UTILITY EASEMENT
 (12-27-00, 00C-316)
- ⑤ EXISTING 100' PNM EASEMENT
 (04-12-56, BK. MISC. D348, PG. 43-47)
- ⑪ 20' PUBLIC DRAINAGE EASEMENT
 (GRANTED TO AMAFCA BY THIS PLAT)
 AND PUBLIC PEDESTRIAN ACCESS EASEMENT
 (GRANTED TO C.O.A. BY THIS PLAT)

SEE SHEET 5 AND 6 FOR
 CURVE AND LINE TABLE

ALDRICH
 07-26-04

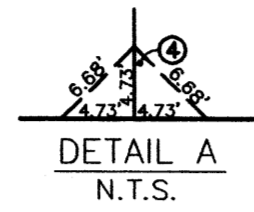


Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL2.DWG
Job No.:	03-029	Sheet:	2 of 6

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

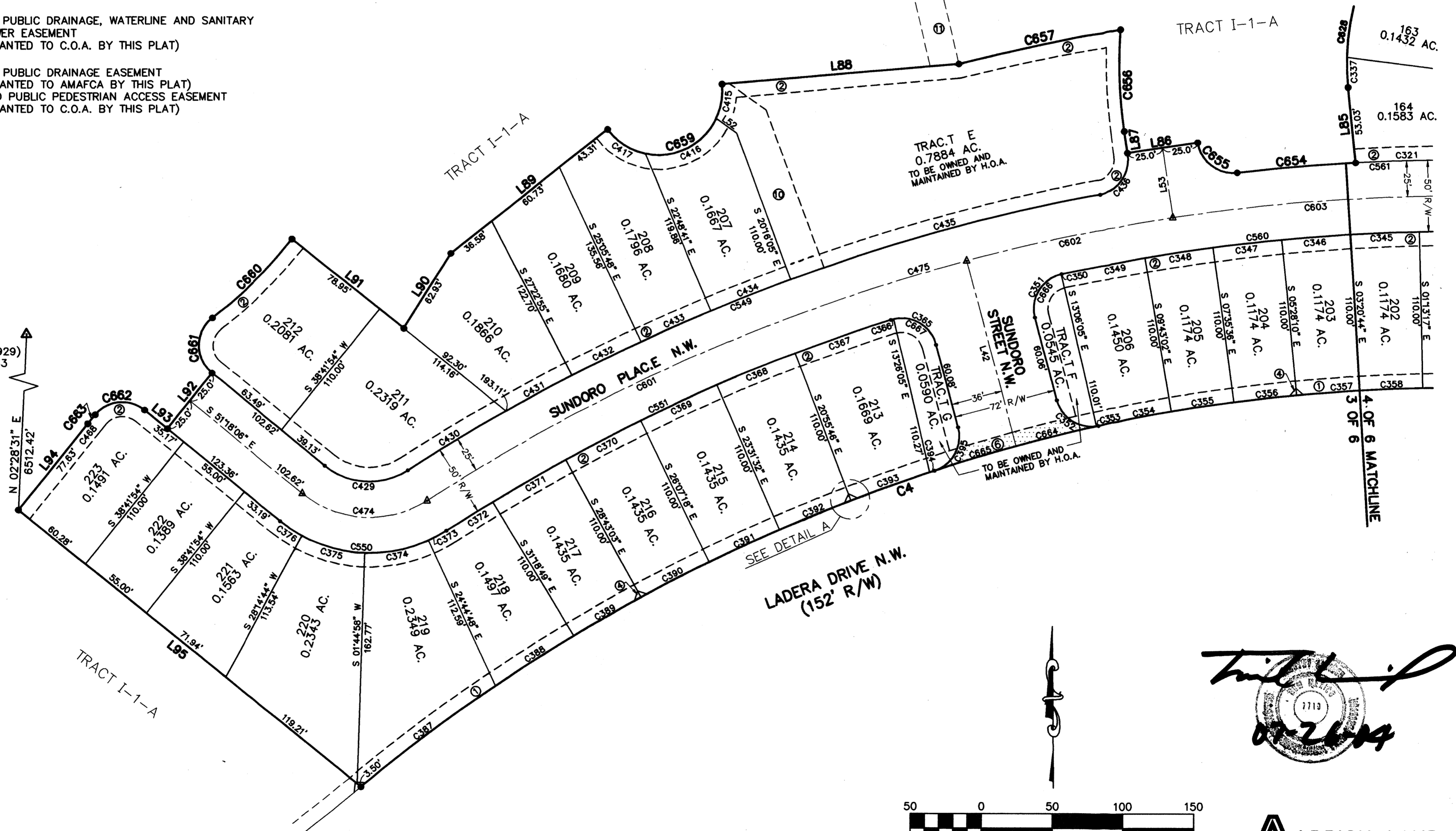
PLAT OF
 SUNDORO SUBDIVISION
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

SEE SHEET 5 AND 6 FOR
 CURVE TABLE

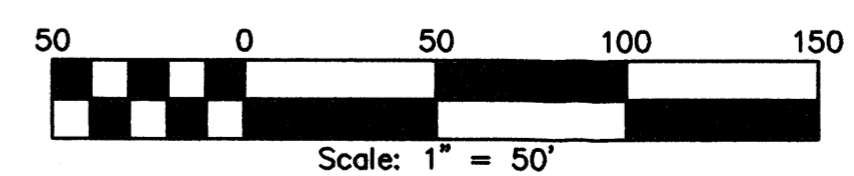


- ① EXISTING 10' PUBLIC UTILITY EASEMENT (12-27-00, 00C-316)
- ② 10' PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)
- ④ LANDSCAPE AND WALL EASEMENT (GRANTED TO H.O.A. BY THIS PLAT)
- ⑥ EXISTING 10' PUBLIC UTILITY EASEMENT VACATED BY O3DRB-01964 DATED (12-17-03)
- ⑩ 25' PUBLIC DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT (GRANTED TO C.O.A. BY THIS PLAT)
- ⑪ 20' PUBLIC DRAINAGE EASEMENT (GRANTED TO AMAFCA BY THIS PLAT) AND PUBLIC PEDESTRIAN ACCESS EASEMENT (GRANTED TO C.O.A. BY THIS PLAT)

AC.S MONUMENT
 "BH-41"
 Y=1496546.13
 X=351455.56
 G-G=0.99966704
 Δα=-00'17.08"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5398.63



Trish L. Aldrich
 07-26-04



Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL2.DWG
Job No.:	03-029	Sheet:	3 of 6

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

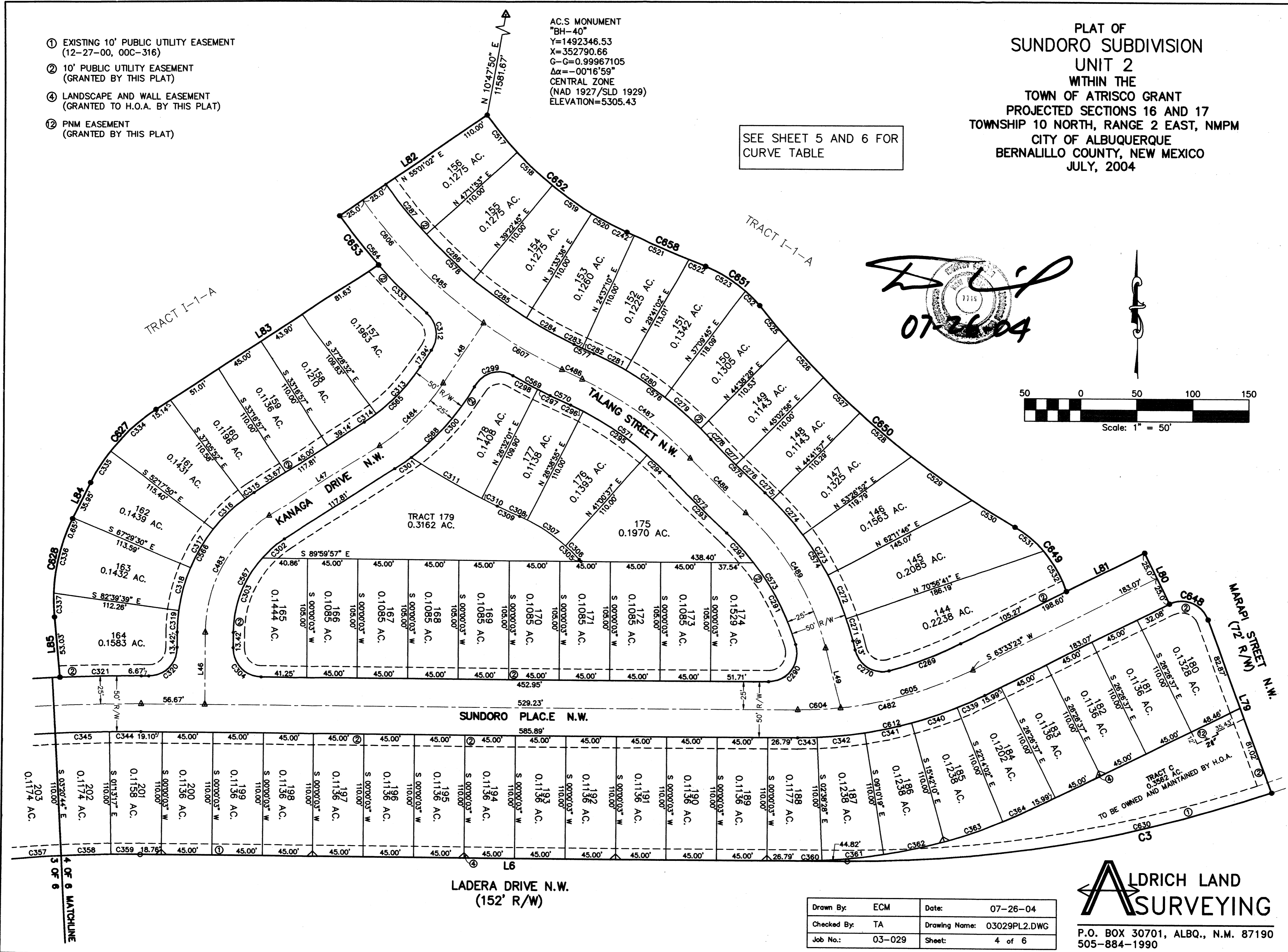
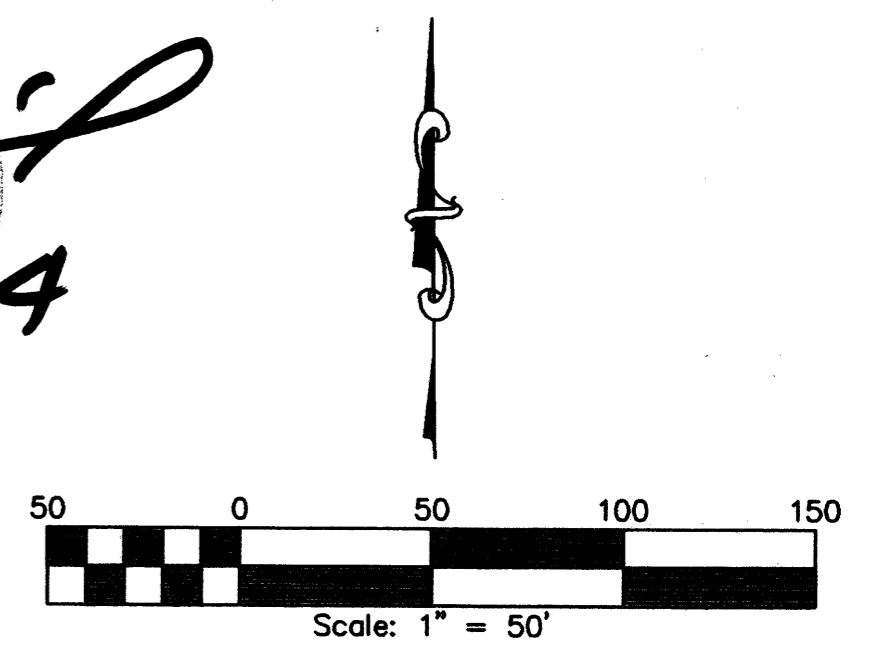
PLAT OF
SUNDORO SUBDIVISION
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 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

- ① EXISTING 10' PUBLIC UTILITY EASEMENT
(12-27-00, 00C-316)
- ② 10' PUBLIC UTILITY EASEMENT
(GRANTED BY THIS PLAT)
- ④ LANDSCAPE AND WALL EASEMENT
(GRANTED TO H.O.A. BY THIS PLAT)
- ⑫ PNM EASEMENT
(GRANTED BY THIS PLAT)

AC.S MONUMENT
 "BH-40"
 Y=1492346.53
 X=352790.66
 G-G=0.99967105
 $\Delta\alpha=-00'16''59''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5305.43

SEE SHEET 5 AND 6 FOR
 CURVE TABLE

[Handwritten Signature]
 07-26-04



Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL2.DWG
Job No.:	03-029	Sheet:	4 of 6

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

4 OF 6 MATCHLINE
 3 OF 6

PLAT OF
SUNDORO SUBDIVISION
UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 16 AND 17
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2004

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD
C1	78°01'45"	S 48°32'19" E	135.61'	167.62'	228.26'	211.04'
C2	23°55'02"	N 41°37'39" E	21.16'	100.00'	41.74'	41.44'
C3	36°24'53"	N 71°47'37" E	379.71'	1154.39'	733.66'	721.39'
C4	40'16'30"	S 69°52'47" W	439.86'	1199.00'	842.81'	825.57'
C5	24°10'11"	N 61°48'38" E	219.24'	1024.00'	431.97'	428.77'
C6	91°06'25"	S 60°32'04" E	101.95'	100.00'	159.01'	142.76'
C7	20°01'31"	N 25°39'14" E	90.93'	515.00'	180.00'	179.08'
C8	58°09'39"	S 48°56'14" E	93.15'	167.50'	170.03'	162.82'
C9	39°47'17"	S 40°33'14" E	80.96'	223.76'	155.40'	152.30'
C10	38°38'40"	N 13°53'19" E	146.41'	408.17'	281.04'	275.47'
C11	12°49'58"	N 12°21'00" W	44.63'	398.64'	86.88'	86.70'
C12	00°45'12"	S 23°58'14" E	5.48'	833.00'	10.95'	10.95'
C13	62°08'10"	S 56°24'55" E	132.79'	220.41'	239.03'	227.49'
C299	12°00'09"	N 69°33'28" E	67.96	325.00	68.08	34.17
C270	89°42'09"	S 58°35'23" E	35.26	25.00	39.14	24.87
C271	04°19'00"	N 16°53'46" W	20.71	275.00	20.72	10.36
C272	06°44'56"	N 23°25'46" W	41.95	275.00	41.99	21.04
C273	06°44'56"	N 32°10'41" W	41.95	275.00	41.99	21.04
C274	06°44'56"	N 40°55'36" W	41.95	275.00	41.99	21.04
C275	01°50'03"	N 46°13'04" W	8.80	275.00	8.80	4.40
C276	02°11'01"	S 46°02'35" E	36.78	985.00	36.78	18.39
C277	01°53'23"	S 44°00'23" E	31.83	985.00	31.83	15.92
C278	02°17'51"	N 44°12'36" W	13.03	325.00	13.03	6.52
C279	07°28'43"	N 48°06'53" W	42.39	325.00	42.42	21.24
C280	07°28'43"	N 56°34'37" W	42.39	325.00	42.42	21.24
C281	05°37'57"	N 63°07'57" W	31.94	325.00	31.95	15.99
C282	00°34'05"	S 65°38'52" E	11.31	1140.41	11.31	5.65
C283	00°24'18"	S 69°10'41" E	8.06	1140.41	8.06	4.03
C284	06°32'06"	S 61°42'28" E	48.45	425.00	48.45	24.27
C285	07°49'09"	S 54°31'50" E	57.95	425.00	58.00	29.04
C286	07°49'09"	S 48°42'41" E	57.95	425.00	58.00	29.04
C287	07°49'09"	S 38°53'32" E	57.95	425.00	58.00	29.04
C290	107°09'10"	N 38°25'28" E	40.23	25.00	46.75	33.88
C291	20°59'46"	N 27°39'00" W	81.99	225.00	82.45	41.69
C292	06°59'13"	N 42°38'29" W	35.26	225.00	35.29	17.66
C293	04°04'25"	S 46°05'53" E	72.15	1015.00	72.16	36.10
C294	05°55'42"	N 46°01'32" W	28.44	275.00	28.45	14.24
C295	14°21'41"	N 56°10'14" W	66.75	275.00	66.93	34.65
C296	02°35'30"	N 64°39'00" W	12.46	275.00	12.47	6.23
C297	01°34'31"	S 65°08'39" E	32.73	1190.41	32.73	16.37
C298	01°14'56"	S 63°44'56" E	25.94	1190.41	25.94	12.97
C299	88°26'41"	S 73°39'10" W	34.24	25.00	37.72	23.48
C300	21°42'33"	N 41°17'05" E	84.74	225.00	85.25	43.14
C301	04°34'41"	N 54°25'43" E	17.97	225.00	17.96	8.99
C302	14°56'20"	S 49°13'53" W	26.06	100.00	26.13	13.14
C303	41°44'40"	S 20°32'23" W	71.26	100.00	72.88	38.13
C304	80°00'00"	S 44°59'57" E	35.36	25.00	39.27	25.00
C305	00°07'21"	S 43°07'21" E	2.40	1125.00	2.40	1.20
C306	05°55'42"	N 46°01'32" W	17.08	165.00	17.07	8.54
C307	14°21'41"	N 56°10'14" W	41.25	165.00	41.36	20.79
C308	02°35'30"	N 64°39'00" W	7.48	165.00	7.48	3.74
C309	00°58'23"	S 65°27'43" E	22.08	1300.41	22.08	11.04
C310	01°30'33"	S 64°13'15" E	15.41	585.00	15.41	7.71
C311	07°07'47"	S 59°54'05" E	72.75	585.00	72.80	36.44
C312	82°47'46"	N 07°38'22" W	33.06	25.00	38.13	22.04
C313	18°48'56"	N 43°08'01" E	57.11	175.00	57.37	28.94
C314	04°11'35"	N 54°37'16" E	12.80	175.00	12.81	6.41
C315	03°45'55"	S 54°45'36" W	9.99	150.00	9.99	5.00
C316	15°11'59"	S 45°15'08" W	39.66	150.00	39.79	20.01
C317	15°11'40"	S 30°06'20" W	39.66	150.00	39.78	20.01
C318	15°10'09"	S 14°55'25" W	39.60	150.00	39.71	19.97
C319	07°20'16"	S 03°40'12" E	19.20	150.00	19.21	9.62
C320	90°00'00"	N 45°00'03" E	35.36	25.00	39.27	25.00

C321	03°03'31"	S 86°25'18" W	72.54	1399.00	72.55	38.28
C333	07°19'17"	S 45°23'39" E	60.66	475.00	60.70	30.39
C334	19°06'02"	S 47°10'02" W	54.75	165.00	55.01	27.76
C335	11°51'49"	S 31°41'08" W	34.10	165.00	34.16	17.14
C336	24°03'41"	S 13°43'22" W	68.78	165.00	68.29	35.16
C337	07°19'42"	S 01°56'20" E	21.09	165.00	21.10	10.57
C338	95°32'48"	N 65°30'13" W	37.12	25.00	41.84	27.71
C339	04°12'39"	N 65°39'41" E	27.55	375.00	27.55	13.76
C340	06°31'51"	N 71°01'54" E	42.72	375.00	42.74	21.40
C341	06°31'51"	N 77°33'45" E	42.72	375.00	42.74	21.40
C342	06°31'51"	N 84°05'37" E	42.72	375.00	42.74	21.40
C343	02°38'31"	N 88°40'48" E	17.29	375.00	17.29	8.65
C344	01°13'21"	S 89°23'23" W	27.93	1309.00	27.93	13.98
C345	02°07'26"	S 87°43'00" W	48.52	1309.00	48.52	24.26
C346	02°07'26"	S 85°35'33" W	48.52	1309.00	48.52	24.26
C347	02°07'26"	S 83°28'07" W	48.52	1309.00	48.52	24.26
C348	02°07'26"	S 81°20'41" W	48.52	1309.00	48.52	24.26
C350	00°44'33"	S 77°16'12" W	0.32	25.00	0.32	0.16
C350	02°38'30"	S 76°57'43" W	60.35	1309.00	60.35	30.18
C351	91°49'42"	S 30°59'04" W	35.91	25.00	40.07	25.81
C352	83°48'30"	S 58°49'02" E	33.38	25.00	36.56	22.42
C353	03°31'41"	N 78°31'53" E	1.54	25.00	1.54	0.77
C354	02°30'58"	S 79°01'30" W	52.64	1199.00	52.64	26.32
C355	02°07'26"	S 81°20'41" W	44.44	1199.00	44.45	22.23
C356	02°07'26"	S 83°28'07" W	44.44	1199.00	44.45	22.23
C357	02°07'26"	S 85°35'33" W	44.44	1199.00	44.45	22.23
C358	02°07'26"	S 87°43'00" W	44.44	1199.00	44.45	22.23
C359	01°14'20"	S 89°23'52" W	25.92	1199.00	25.92	12.96
C360	02°38'31"	N 88°40'48" E	22.36	485.00	22.36	11.18
C361	06°31'51"	N 84°05'37" E	55.25	485.00	55.26	27.67
C362	06°31'51"	N 77°33'45" E	55.25	485.00	55.26	27.67
C363	06°31'51"	N 71°01'54" E	55.25	485.00	55.26	27.67
C364	04°12'36"	N 65°39'41" E	35.63	485.00	35.64	17.63
C365	88°30'18"	N 59°10'56" W	34.99	25.00	38.62	24.36
C366	04°22'12"	S 74°22'49" W	1.91	25.00	1.91	0.95
C367	03°07'29"	S 70°57'56" W	71.39	1309.00	71.39	35.70
C368	02°35'46"	S 67°46'21" W	59.30	1309.00	59.31	29.66
C369	02°35'46"	S 65°10'35" W	59.30	1309.00	59.31	29.66
C370	02°35'46"	S 62°34'50" W	59.30	1309.00	59.31	29.66
C371	02°35'46"	S 59°59'04" W	59.30	1309.00	59.31	29.66
C372	01°40'43"	S 57°50'50" W	38.35	1309.00	38.36	19.16
C373	06°14'44"	N 61°07'50" E	14.39	100.00	14.39	7.21
C374	26°29'46"	N 78°30'05" E	45.63	100.00	46.24	23.54
C375	26°29'46"	S 75°00'09" E	45.63	100.00	46.24	23.54
C376	10°27'10"	S 85°31'41" E	18.22	100.00	18.24	9.15
C387	05°39'53"	S 82°43'08" W	118.49	1199.00	118.54	59.32
C388	03°08'09"	S 57°07'07" W	65.61	1199.00	65.62	32.82
C389	02°35'46"	S 59°59'04" W	54.32	1199.00	54.33	27.17
C390	02°35'46"	S 57°46'21" W	54.32	1199.00	54.33	27.17
C391	02°35'46"	S 55°10'35" W	54.32	1199.00	54.33	27.17
C392	02°35'46"	S 52°43'06" W	54.32	1199.00	54.33	27.17
C393	02°48'51"	S 70°25'39" W	58.89	1199.00	58.89	29.45
C394	00°10'10"	S 71°58'10" W	3.55	1199.00	3.55	1.77
C395	85°59'01"	N 28°33'44" E	34.41	25.00	37.95	23.72
C415	31°05'56"	N 09°37'42" E	24.13	45.00	24.43	12.62
C416	77°01'46"	N 63°41'32" E	58.04	45.00	60.50	35.81
C417	41°17'08"	S 57°09'01" E	31.73	45.00	32.43	16.95
C429	71°41'25"	S 87°05'49" E	58.56	50.00	62.56	36.12
C430	03°23'45"	S 58°42'22" W	80.55	1399.00	80.56	40.29
C431	02°12'49"	S 61°30'40" W	52.50	1399.00	52.51	26.26
C432	02°17'07"	S 63°45'38" W	54.20	1399.00	54.21	27.11
C433	02°17'07"	S 66°02'46" W	54.20	1399.00	54.21	27.11
C434	02°32'36"	S 68°27'37" W	60.32	1399.00	60.33	30.17
C435	08°32'34"	S 74°30'12" W	226.08	1399.00	226.34	113.43

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N 07°36'12" E	587.42'
L2	S 89°21'27" E	178.77'
L3	N 89°20'38" W	278.19'
L4	N 39°30'01" E	868.76'
L5	S 04°17'13" W	15.08'
L6	N 69°59'57" W	630.37'
L7	N 14°58'52" W	198.57'
L8	N 38°41'54" E	448.15'
L9	N 56°43'03" E	100.67'
L10	N 36°41'54" E	221.04'
L11	N 81°00'45" E	63.94'
L12	S 78°01'03" E	122.15'
L13	S 44°58'16" E	50.00'
L14	N 60°17'31" E	100.00'
L15	N 25°45'12" E	170.00'
L16	N 20°28'03" E	170.00'
L17	N 06°47'58" W	85.00'
L18	N 33°16'57" W	15.75'
L19	N 56°43'04" E	100.77'
L20	S 79°46'57" E	60.00'
L21	N 56°43'03" E	425.00'
L22	N 68°58'21" E	229.01'
L23	S 33°16'57" E	20.00'
L24	N 56°43'03" E	150.00'
L25	N 16°43'03" E	140.00'
L26	N 01°13'03" E	206.09'
L27	N 73°09'54" E	107.04'
L28	S 79°46'57" E	60.00'
L29	N 56°43'03" E	425.00'
L30	N 68°58'21" E	229.01'
L31	S 33°16'57" E	20.00'
L32	N 56°43'03" E	150.00'
L33	N 16°43'03" E	140.00'
L34	N 01°13'03" E	206.09'
L35	N 73°09'54" E	107.04'

NUMBER	DIRECTION	DISTANCE
L42	N 14°55'57" W	135.00'
L53	N 06°14'01" W	48.47'
L60	N 63°33'23" E	148.17'
L61	S 39°30'01" W	308.40'
L62	N 89°21'27" W	61.16'
L63	N 30°38'23" W	123.36'
L64	N 25°24'00	

PLAT OF
 SUNDORO SUBDIVISION
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 16 AND 17
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD
C436	87°30'30"	N 35°31'14" E	34.88	25.00	38.18	23.94
C437	12°23'55"	S 02°02'03" E	70.19	325.00	70.33	35.30
C474	71°41'28"	S 87°08'48" E	87.84'	75.00'	83.84'	54.18'
C475	32°58'35"	S 73°30'18" W	757.80'	1334.00'	788.17'	385.08'
C482	28°28'40"	N 78°48'43" E	180.11'	350.00'	181.54'	82.24'
C483	58°43'00"	S 28°21'33" W	118.75'	125.00'	123.74'	67.47'
C484	22°58'30"	N 45°13'48" E	79.88'	200.00'	80.20'	40.65'
C485	40°01'24"	S 44°57'50" E	307.88'	450.00'	314.34'	163.88'
C486	00°58'23"	S 65°27'43" E	19.79'	1185.41'	19.79'	9.90'
C487	22°53'14"	N 54°30'18" W	119.04'	300.00'	119.84'	60.73'
C488	04°04'25"	S 45°05'53" E	70.37'	890.00'	70.39'	35.21'
C489	32°23'47"	N 30°58'12" W	138.48'	250.00'	141.38'	72.82'
C517	07°48'08"	S 38°53'32" E	42.85'	315.00'	42.89'	21.53'
C518	07°48'08"	S 48°42'41" E	42.85'	315.00'	42.89'	21.53'
C519	07°48'08"	S 54°31'50" E	42.85'	315.00'	42.89'	21.53'
C520	08°32'08"	S 61°42'28" E	35.91'	315.00'	35.93'	17.88'
C521	02°57'33"	S 68°51'38" E	53.21'	1030.41'	53.22'	26.81'
C522	00°54'12"	S 68°47'29" E	18.24'	1030.41'	18.24'	8.12'
C523	20°51'01"	N 58°48'04" W	41.82'	115.00'	41.85'	21.18'
C524	08°08'48"	N 43°48'08" W	18.34'	115.00'	18.36'	9.20'
C525	02°38'44"	S 40°34'07" E	39.48'	855.00'	39.48'	19.74'
C526	03°03'35"	S 43°25'17" E	45.85'	855.00'	45.86'	22.84'
C527	03°00'38"	S 48°27'23" E	44.91'	855.00'	44.92'	22.46'
C528	04°02'18"	S 48°58'50" E	60.28'	855.00'	60.28'	30.14'
C529	04°29'43"	S 54°14'30" E	67.08'	855.00'	67.08'	33.58'
C530	03°03'54"	S 58°01'38" E	45.73'	855.00'	45.74'	22.87'
C531	18°21'17"	N 50°22'58" W	33.17'	104.00'	33.32'	16.80'
C532	22°48'08"	N 29°47'44" W	41.15'	104.00'	41.42'	20.88'
C548	22°16'01"	S 68°08'29" W	524.83'	1398.00'	528.15'	267.45'
C550	71°41'28"	S 87°08'48" E	117.12'	100.00'	125.12'	72.24'
C551	18°11'14"	S 64°38'05" W	345.98'	1308.00'	348.97'	174.51'
C560	12°21'35"	S 83°48'16" W	281.83'	1308.00'	282.37'	141.74'
C567	58°43'00"	S 28°21'33" W	95.00'	100.00'	98.98'	53.98'
C568	28°28'41"	N 43°28'12" E	103.12'	225.00'	104.04'	52.97'
C569	04°29'35"	S 62°43'44" E	37.24'	475.00'	37.25'	18.63'
C570	00°58'23"	S 65°27'43" E	20.22'	1190.41'	20.22'	10.11'
C571	22°53'14"	N 54°30'18" W	109.12'	275.00'	109.85'	56.67'
C572	04°04'25"	S 45°05'53" E	72.15'	1015.00'	72.16'	36.10'
C573	29°58'58"	N 32°08'36" W	118.40'	225.00'	117.74'	60.25'
C574	32°23'47"	N 30°58'12" W	153.43'	275.00'	155.48'	79.89'
C575	04°04'25"	S 45°05'53" E	68.59'	985.00'	68.61'	34.32'
C576	22°53'14"	N 54°30'18" W	128.98'	325.00'	129.82'	65.79'
C577	00°58'23"	S 65°27'43" E	19.37'	1140.41'	19.37'	9.68'
C578	33°52'13"	S 48°02'28" E	247.80'	425.00'	251.24'	129.41'
C584	21°52'29"	S 50°11'00" E	283.73'	685.00'	285.34'	134.31'
C585	28°58'50"	N 54°14'40" W	142.34'	275.00'	143.98'	73.68'
C586	04°16'03"	S 67°06'33" E	64.81'	870.41'	64.83'	32.43'
C587	31°41'35"	S 48°07'44" E	84.65'	155.00'	85.74'	44.00'
C601	17°54'58"	S 65°57'57" W	415.44'	1334.00'	417.14'	210.29'
C602	08°24'21"	S 78°07'37" W	148.08'	1334.00'	148.14'	74.65'
C603	08°40'18"	S 85°38'55" W	201.70'	1334.00'	201.89'	101.14'
C604	08°18'08"	N 88°52'00" E	38.27'	380.00'	38.29'	19.18'
C605	20°10'34"	N 73°38'40" E	122.61'	380.00'	123.25'	62.27'
C606	27°07'22"	S 41°04'47" E	211.04'	450.00'	213.02'	108.55'
C607	10°20'04"	S 58°48'30" E	81.08'	450.00'	81.17'	40.88'
C612	28°28'40"	N 78°48'43" E	171.55	375.00	173.08	88.11

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C647	28°28'40"	N 78°48'43" E	88.11	375.00	173.08	171.55
C648	98°32'48"	N 68°30'13" W	27.71	25.00	41.84	37.12
C652	29°58'34"	S 48°58'45" E	84.38	315.00	164.89	163.02
C653	08°45'01"	S 38°21'28" E	28.01	475.00	55.96	55.93
C654	03°31'38"	S 88°10'44" W	41.84	1398.00	83.65	83.63
C655	88°21'03"	S 52°24'32" E	24.29	25.00	38.55	34.84
C656	12°23'55"	S 02°02'03" E	35.30	325.00	70.33	70.19
C657	04°38'41"	S 78°23'08" W	58.74	1458.00	117.43	117.39
C658	04°16'03"	S 67°06'33" E	38.39	1030.41	76.74	76.73
C659	148°24'48"	N 88°08'11" E	184.57	45.00	117.35	88.81
C660	14°05'10"	N 45°04'51" E	40.15	325.00	79.90	79.70
C661	103°28'33"	S 00°24'40" W	31.87	25.00	45.13	39.25
C662	88°18'57"	S 84°32'38" W	24.27	25.00	38.53	34.83
C663	01°41'23"	S 38°32'36" W	4.06	275.00	8.11	8.11
C664	02°51'35"	S 78°20'15" W	29.83	1198.00	59.84	59.84
C665	02°51'13"	S 73°28'51" W	29.86	1198.00	59.71	59.71

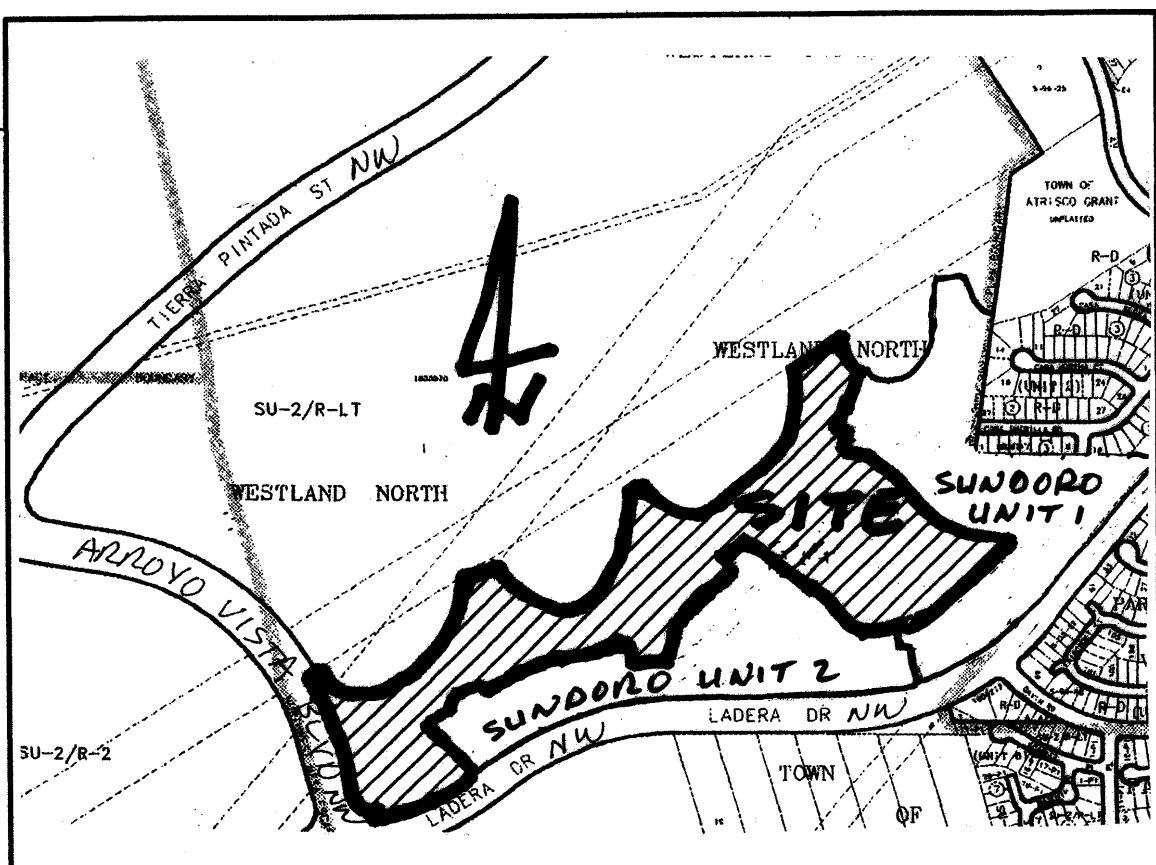
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 07-26-04

ALDRICH LAND SURVEYING

Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL2.DWG
Job No.:	03-029	Sheet:	6 of 6

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

**PLAT OF
 SUNDORO SUBDIVISION
 UNIT 3
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004**



LOCATION MAP 1"=750' J-8-Z & J-9-Z

PURPOSE OF PLAT

1. To create 70 lots and 1 tract as shown hereon.
2. To grant easements as shown hereon.
3. To dedicate street right-of-way to the C.O.A. as shown hereon.

SUBDIVISION DATA

1. Project No.: Application No.:
2. Zone Atlas Index No.: J-8-Z & J-9-Z
3. Total Number of Existing Lots: 0
4. Total Number of Existing Tracts: 1
5. Total Number of Lots created: 70
6. Total Number of Tracts created: 1
7. Miles of Full Width Street Created: 0.4399
8. Gross Subdivision Acreage: 27.9271

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary is from the plats of record entitled:
 - Plat Of "TIERRA OESTE, UNIT 2" (05-18-01, 01C-144)
 - Plat Of "WESTLAND NORTH, PARCEL 1" (12-27-00, 2000C-316)
 - "POND 10, AMAFCA LD-2-1M" (09-28-78, BK. MISC. 498, PG. 648-683)
 - "POND 9, AMAFCA LD-2-1K" (09-28-78, BK. MISC. 498, PG. 648-683)
 - "POND 8, AMAFCA LD-2-1H" (09-28-78, BK. MISC. 498, PG. 648-683)
 - "POND 7, AMAFCA LD-2-1F" (09-28-78, BK. MISC. 498, PG. 648-683)
 - "POND 6, AMAFCA LD-2-1D" (09-28-78, BK. MISC. 498, PG. 648-683)
 - Plat Of "SUNDORO SUBDIVISION, UNIT 1" ()
 - Plat Of "SUNDORO SUBDIVISION, UNIT 2" ()
 all being records of Bernalillo County, New Mexico.
5. Field Survey: performed August, 2003.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: R-D
9. Utility Council Location System Log No.: 2004251365
10. Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
11. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 16 Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of Tract I-1-A, SUNDORO, UNIT 2 as the same is shown and designated on said plat filed for record in the office of the County Clerk of the Bernalillo County, New Mexico on and containing 27.9271 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, communication lines, transformers, street lights and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Telecommunications for installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side as shown hereon.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in Accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 70 lots and 1 tract as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-way to the City of Albuquerque in the fee simple with Warranty Covenants. Said owner(s) Warrants that (he/she) holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): Westland Development Co., Inc.
Fred Ambrogi, VP 7-26-2004
 Date

STATE OF NEW MEXICO)
 BERNALILLO COUNTY) SS
 On this 26 day of JULY, 2004, this instrument was Acknowledged by
FRED AMBROGI, V.P. OF WESTLAND DEVELOPMENT CO., INC.
Linda J. Blair
 Notary Public

My Commission Expires
 LINDA J. BLAIR
 NOTARY PUBLIC - STATE OF NEW MEXICO
 Notary Bond Filed with Secretary of State
 My Commission Expires 8/5/05

PROJECT NUMBER: _____
 Application Number: _____

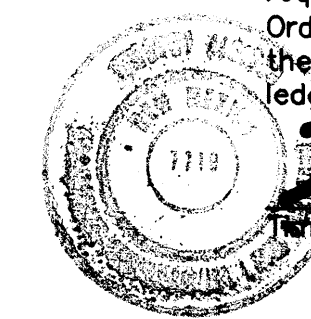
PLAT APPROVAL

Utility Approvals:

PNM Electric Services Division	Date
PNM Gas Services Division	Date
Qwest	Date
Comcast	Date
City Approvals: <u>[Signature]</u>	<u>7-26-04</u>
City Surveyor	Date
Real Property Division	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."



[Signature] 07-26-04
 Timothy Aldrich, P.S. No. 7719 Date

Drawn By: ECM	Date: 07-26-04
Checked By: TA	Drawing Name: 03029PL3.DWG
Job No.: 03-029	Sheet: 1 of 5



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT OF
 SUNDORO SUBDIVISION
 UNIT 3
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "LS 11993" (Typ.)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (Typ.)
- FOUND 5/8" REBAR WITH CAP "LS 6544" (Typ.)

AC.S MONUMENT
 "BH-40"
 Y=1492346.53
 X=352790.66
 G-G=0.99967105
 Δα=-00°16'59"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5305.43

TRAC.T LD-2-1L
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 9
 AMAFCA LD-2-1K
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRAC.T LD-2-1J
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 8
 AMAFCA LD-2-1H
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRAC.T LD-2-1G
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 7
 AMAFCA LD-2-1F
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRAC.T LD-2-1E
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 6
 AMAFCA LD-2-1D
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 10
 AMAFCA LD-2-1M
 (09-28-78, BK.MISC. 498, PG. 648-683)

TIERRA OESTE
 UNIT 2
 (05-18-01, 01C-144)

AC.S MONUMENT
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 G-G=0.99966704
 Δα=-00°17'08"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5398.63

TRACT LD-2-1C

ARROYO VISTA BLVD. N.W.
 (180' R/W)

TRACT I-1-A-2
 13.8442 AC.
 TOTAL ACRES 27.9271

LADERA DRIVE N.W.
 (152' R/W)

LADERA DRIVE N.W.
 (106' R/W)

SEE SHEET 5 OF 5 FOR
 CURVE AND LINE TABLE

- ① EXISTING 10' PUBLIC UTILITY EASEMENT
 (12-27-00, 00C-316)
- ⑤ EXISTING 100' PNM EASEMENT
 (04-12-56, BK. MISC. D348, PG. 43-47)
- ⑪ 20' PUBLIC DRAINAGE AND PUBLIC
 PEDESTRIAN ACCESS EASEMENT
 ()

N.T.S.

Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL3.DWG
Job No.:	03-029	Sheet:	2 of 5

[Signature]
 07-26-04

**ALDRICH LAND
 SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

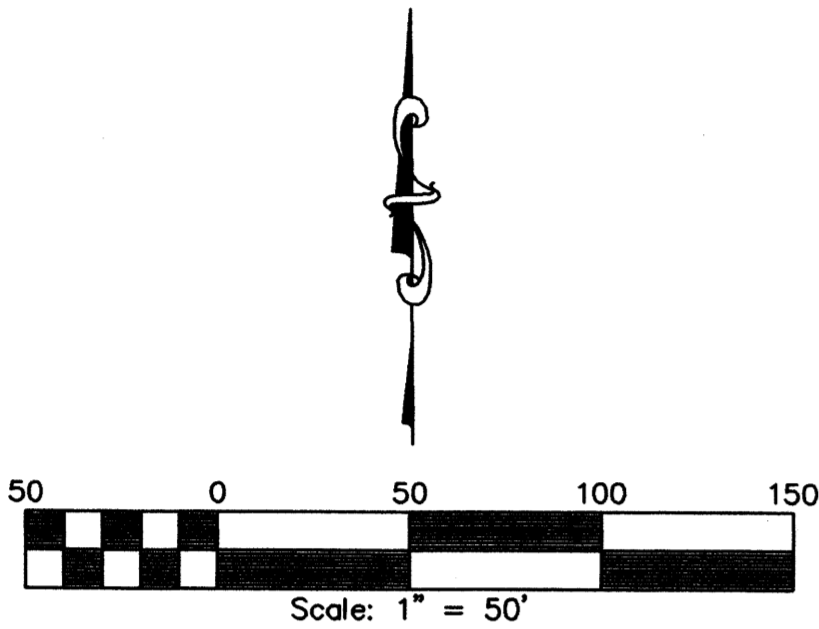
PLAT OF
 SUNDORO SUBDIVISION
 UNIT 3
 WITHIN THE
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 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

AC.S MONUMENT
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 X=352790.66
 G-G=0.99967105
 $\Delta\alpha=-00^{\circ}16'59"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5305.43

② 10' PUBLIC UTILITY EASEMENT
 (GRANTED BY THIS PLAT)

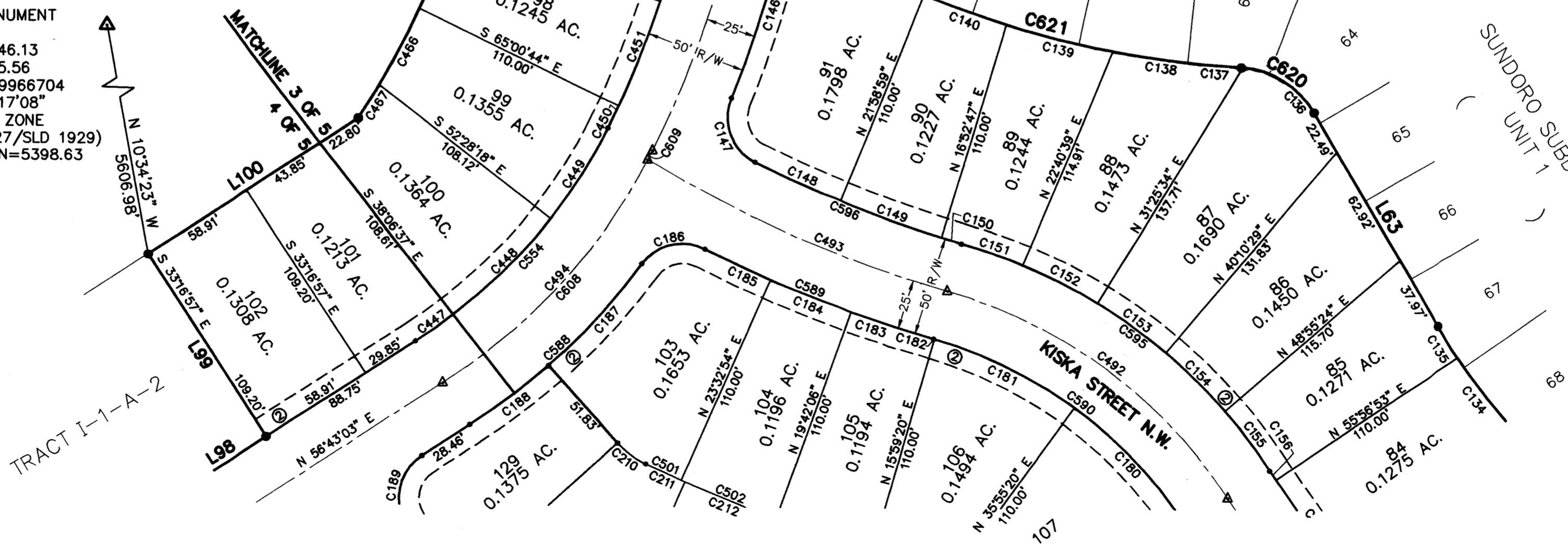
SEE SHEET 5 OF 5 FOR
 CURVE AND LINE TABLE

[Handwritten Signature]
 07-26-04



Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL3.DWG
Job No.:	03-029	Sheet:	3 of 5

AC.S MONUMENT
 "BH-41"
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 X=351455.56
 G-G=0.99966704
 $\Delta\alpha=-00^{\circ}17'08"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5398.63



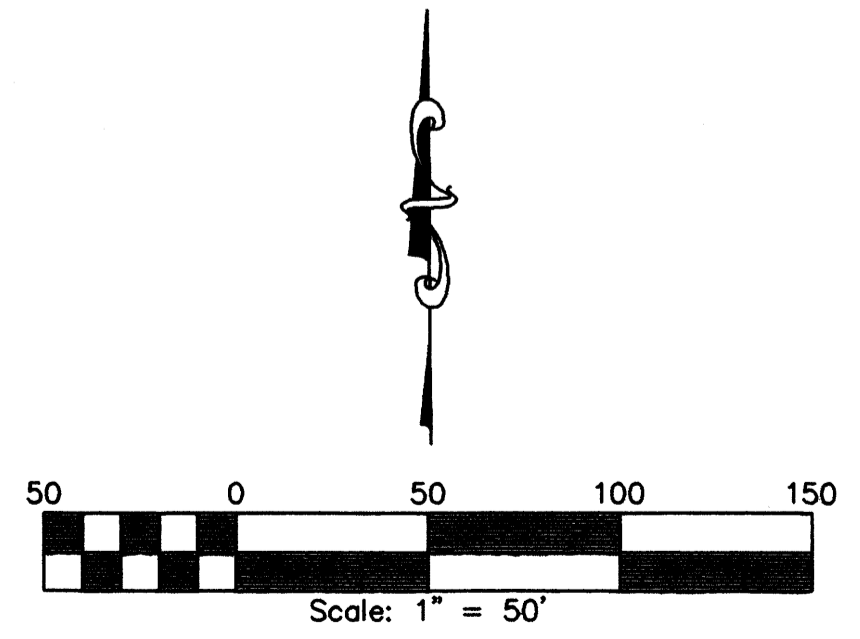
PLAT OF
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 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004



TRACT A
 0.5761 AC.
 TO BE OWNED AND
 MAINTAINED BY H.O.A.

- ⊙ 10' PUBLIC UTILITY EASEMENT
(GRANTED BY THIS PLAT)
- ⊙ 10' x 20' QWEST EASEMENT
(GRANTED BY THIS PLAT)

SEE SHEET 5 OF 5 FOR
 CURVE AND LINE TABLE



[Handwritten Signature]
 07-26-04
 [Professional Surveyor Seal]

Drawn By:	ECM	Date:	07-26-04
Checked By:	TA	Drawing Name:	03029PL3.DWG
Job No.:	03-029	Sheet:	4 of 5

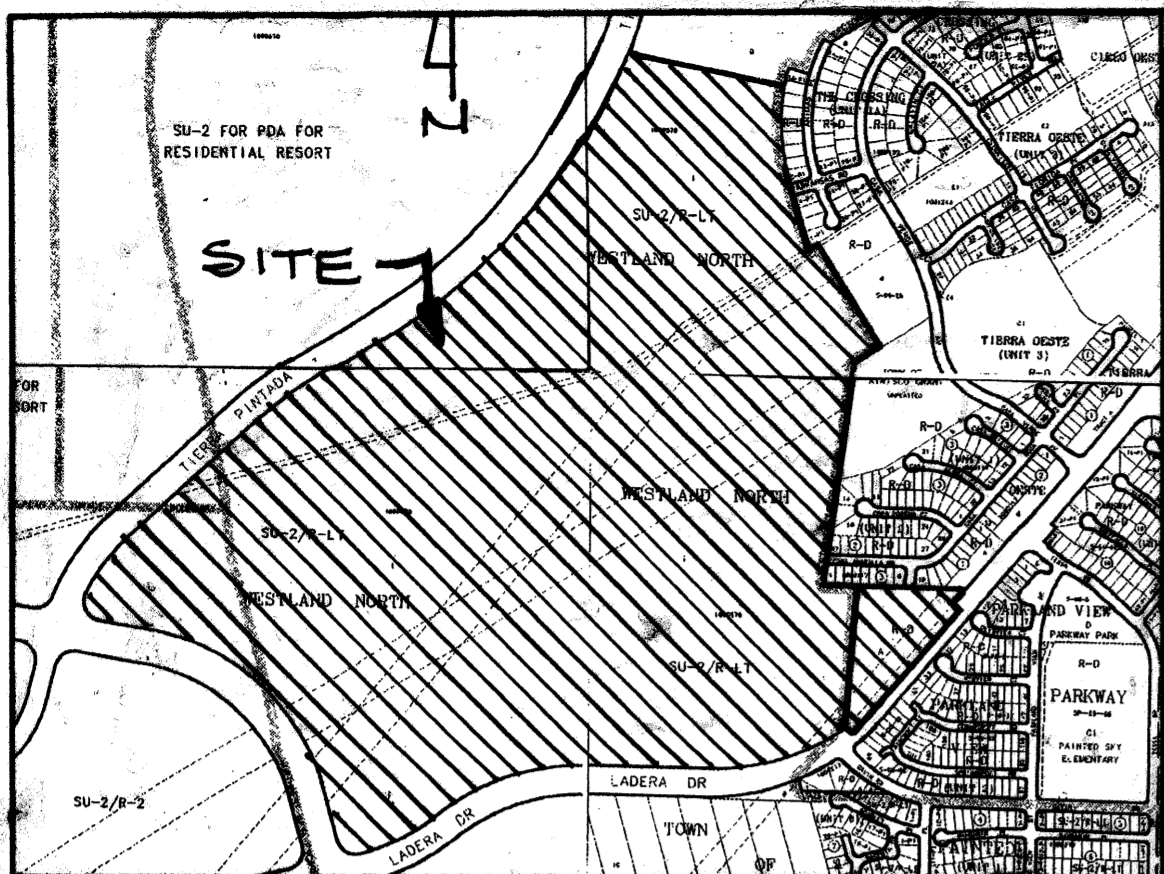
ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT OF
SUNDORO SUBDIVISION
UNIT 3
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 16
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2004

CURVE TABLE						
NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD
C1	76°01'46"	S 49°32'19" E	135.81'	167.82'	228.28'	211.04'
C2	23°55'02"	N 41°37'39" E	21.18'	100.00'	41.74'	41.44'
C3	36°24'53"	N 71°47'37" E	378.71'	1154.39'	733.88'	721.39'
C4	40'16'30"	S 89°52'47" W	438.66'	1198.00'	842.81'	825.57'
C5	24°10'11"	N 61°49'38" E	219.24'	1024.00'	431.97'	428.77'
C6	91°06'25"	S 60°32'04" E	101.95'	100.00'	198.01'	142.78'
C7	20°01'31"	N 28°38'14" E	90.93'	515.00'	180.00'	178.08'
C8	58°09'38"	S 48°56'14" E	93.15'	167.50'	170.03'	162.82'
C9	38°47'17"	S 40°33'14" E	80.98'	223.78'	155.40'	152.30'
C10	38°38'40"	N 13°53'19" E	146.41'	406.17'	281.04'	275.47'
C11	12°49'58"	N 12°21'00" W	44.83'	396.84'	88.68'	88.70'
C12	00°45'12"	S 23°58'14" E	5.48'	833.00'	10.95'	10.95'
C13	62°06'10"	S 58°24'55" E	132.79'	220.41'	239.03'	227.49'
C126	24°43'27"	N 67°32'09" W	70.85'	185.00'	71.20'	38.16'
C127	08°27'35"	N 84°37'40" W	27.21'	185.00'	27.24'	13.65'
C128	08°07'11"	S 85°17'52" E	44.80'	315.00'	44.84'	22.36'
C129	08°05'25"	S 77°11'34" E	44.44'	315.00'	44.48'	22.28'
C130	07°49'08"	S 88°14'17" E	42.95'	315.00'	42.99'	21.53'
C131	07°49'08"	S 81°25'08" E	42.95'	315.00'	42.99'	21.53'
C132	07°49'08"	S 53°35'59" E	42.95'	315.00'	42.99'	21.53'
C133	07°49'08"	S 45°46'50" E	42.95'	315.00'	42.99'	21.53'
C134	07°49'08"	S 37°57'42" E	42.95'	315.00'	42.99'	21.53'
C135	03°24'44"	S 32°20'45" E	18.76'	315.00'	18.76'	9.38'
C136	55°38'56"	N 56°27'50" W	42.01'	45.00'	43.71'	23.75'
C137	00°47'00"	N 86°40'48" W	0.62'	45.00'	0.62'	0.31'
C138	07°33'47"	S 83°17'24" E	64.89'	490.41'	64.73'	32.41'
C139	06°23'18"	S 76°18'52" E	54.85'	490.41'	54.68'	27.37'
C140	05°06'11"	S 70°34'07" E	43.68'	490.41'	43.68'	21.85'
C141	09°01'51"	S 63°30'06" E	77.22'	490.41'	77.30'	38.73'
C145	07°34'53"	N 09°20'32" E	74.88'	588.17'	74.92'	37.51'
C146	09°03'45"	N 17°38'51" E	88.48'	588.17'	88.55'	44.67'
C147	85°42'11"	S 20°38'22" E	34.01'	25.00'	37.40'	23.19'
C148	04°30'34"	S 85°48'44" E	47.24'	600.41'	47.25'	23.64'
C149	05°08'11"	S 70°34'07" E	53.48'	600.41'	53.48'	28.76'
C150	00°59'37"	S 73°37'01" E	10.41'	600.41'	10.41'	5.21'
C151	06°47'29"	N 70°43'05" W	32.58'	275.00'	32.80'	16.32'
C152	06°44'55"	N 82°58'53" W	41.95'	275.00'	41.99'	21.04'
C153	06°44'55"	N 54°11'58" W	41.95'	275.00'	41.99'	21.04'
C154	06°44'55"	N 45°27'04" W	41.95'	275.00'	41.99'	21.04'
C155	07°45'03"	N 37°12'05" W	37.17'	275.00'	37.20'	18.63'
C156	00°43'34"	S 33°41'20" E	5.39'	425.00'	5.39'	2.89'
C157	07°48'09"	S 37°57'42" E	57.95'	425.00'	58.00'	29.04'
C158	07°48'09"	S 45°46'50" E	57.95'	425.00'	58.00'	29.04'
C159	07°48'09"	S 53°35'59" E	57.95'	425.00'	58.00'	29.04'
C160	07°48'09"	S 61°25'08" E	57.95'	425.00'	58.00'	29.04'
C161	07°48'09"	S 53°35'59" E	57.95'	425.00'	58.00'	29.04'
C162	04°51'09"	S 75°34'28" E	35.98'	425.00'	35.99'	18.01'
C163	02°36'32"	N 76°40'44" W	12.68'	275.00'	12.68'	6.34'
C164	06°44'55"	N 70°59'01" W	41.95'	275.00'	41.99'	21.04'
C165	06°44'55"	N 62°14'06" W	41.95'	275.00'	41.99'	21.04'
C166	04°53'45"	N 55°24'46" W	23.49'	275.00'	23.50'	11.76'
C167	87°32'08"	N 83°16'04" E	34.99'	25.00'	38.19'	23.95'
C168	93°41'56"	N 07°20'57" W	36.48'	25.00'	40.88'	28.67'
C169	18°33'38"	N 63°26'45" W	72.57'	225.00'	72.89'	38.77'
C170	06°14'28"	N 78°22'47" W	20.57'	225.00'	20.58'	10.30'
C171	03°19'48"	S 76°20'08" E	27.80'	475.00'	27.60'	13.80'
C172	06°12'38"	S 72°03'57" E	43.18'	475.00'	43.20'	21.61'
C173	06°12'38"	S 66°51'19" E	43.18'	475.00'	43.20'	21.61'
C174	06°12'38"	S 61°38'41" E	43.18'	475.00'	43.20'	21.61'
C175	06°12'38"	S 56°26'03" E	43.18'	475.00'	43.20'	21.61'
C176	06°12'38"	S 51°13'25" E	43.18'	475.00'	43.20'	21.61'
C177	06°12'38"	S 46°00'48" E	43.18'	475.00'	43.20'	21.61'
C178	06°12'38"	S 40°48'10" E	43.18'	475.00'	43.20'	21.61'
C179	04°52'18"	S 35°45'42" E	40.37'	475.00'	40.39'	20.21'
C180	19°56'01"	N 44°06'39" W	77.88'	225.00'	78.28'	38.54'
C181	19°56'01"	N 64°02'40" W	77.88'	225.00'	78.28'	38.54'
C182	00°06'08"	N 74°03'45" W	0.40'	225.00'	0.40'	0.20'

C184	03°50'48"	S 68°22'30" E	43.88'	650.41'	43.67'	21.84'
C185	03°11'25"	S 64°51'24" E	36.21'	650.41'	36.22'	18.11'
C186	80°59'05"	S 76°14'46" W	32.47'	25.00'	35.34'	21.35'
C187	12°14'35"	N 41°52'31" E	68.31'	325.00'	69.45'	34.86'
C188	06°43'14"	N 52°21'26" E	48.42'	325.00'	48.47'	24.78'
C189	90°00'00"	S 11°43'03" W	35.36'	25.00'	38.27'	25.00'
C190	08°18'35"	S 37°56'15" E	25.16'	155.00'	25.19'	12.82'
C191	22°23'00"	S 53°47'02" E	60.17'	155.00'	60.55'	30.67'
C192	01°25'34"	N 68°31'48" W	6.84'	275.00'	6.84'	3.42'
C193	06°44'55"	N 63°26'33" W	41.95'	275.00'	41.99'	21.04'
C194	06°44'55"	N 54°41'38" W	41.95'	275.00'	41.99'	21.04'
C195	06°44'55"	N 46°56'44" W	41.95'	275.00'	41.99'	21.04'
C196	02°19'32"	N 40°24'31" W	11.16'	275.00'	11.16'	5.58'
C197	02°51'49"	S 40°40'39" E	34.73'	895.00'	34.73'	17.37'
C198	04°17'53"	S 44°15'30" E	52.12'	895.00'	52.14'	26.06'
C199	04°17'53"	S 48°33'24" E	52.13'	895.00'	52.14'	26.06'
C200	04°17'53"	S 52°51'17" E	52.13'	895.00'	52.14'	26.06'
C201	04°17'53"	S 57°09'11" E	52.12'	895.00'	52.14'	26.06'
C202	01°03'12"	S 58°48'43" E	12.78'	895.00'	12.78'	6.39'
C204	21°07'54"	N 42°18'01" W	51.30'	275.00'	101.43'	100.85'
C205	23°13'55"	N 46°00'36" W	48.25'	225.00'	91.23'	90.61'
C206	20°24'02"	N 53°21'22" E	150.53'	425.00'	151.32'	76.47'
C207	03°39'20"	N 41°18'41" E	27.11'	425.00'	27.11'	13.56'
C208	84°42'33"	S 74°05'20" E	33.69'	25.00'	36.96'	22.79'
C209	23°22'02"	N 46°02'42" W	136.95'	335.86'	136.89'	69.41'
C210	22°23'00"	S 53°47'02" E	17.47'	45.00'	17.58'	8.90'
C211	01°37'21"	S 65°47'12" E	21.53'	780.41'	21.53'	10.77'
C212	03°22'02"	S 66°16'54" E	44.68'	780.41'	44.69'	22.35'
C213	04°06'54"	S 72°02'22" E	55.04'	780.41'	55.06'	27.54'
C214	00°06'09"	N 74°03'45" W	0.21'	115.00'	0.21'	0.10'
C215	02°26'04"	N 72°47'35" W	4.89'	115.00'	4.89'	2.44'
C216	30°24'00"	N 58°22'38" W	60.30'	115.00'	61.02'	31.24'
C217	07°01'57"	N 37°39'37" W	14.11'	115.00'	14.12'	7.07'
C218	00°49'05"	N 33°44'06" W	1.64'	115.00'	1.64'	0.82'
C219	04°23'15"	S 35°31'11" E	44.79'	585.00'	44.80'	22.41'
C220	04°23'45"	S 39°54'41" E	44.87'	585.00'	44.88'	22.45'
C221	04°17'53"	S 44°15'30" E	43.88'	585.00'	43.89'	21.95'
C222	04°17'53"	S 48°33'24" E	43.88'	585.00'	43.89'	21.95'
C223	04°17'53"	S 52°51'17" E	43.88'	585.00'	43.89'	21.95'
C224	04°17'53"	S 57°09'11" E	43.88'	585.00'	43.89'	21.95'
C225	05°27'52"	S 62°02'03" E	55.77'	585.00'	55.79'	27.92'
C227	06°14'26"	N 75°22'47" W	10.51'	115.00'	10.52'	5.26'
C227	13°14'01"	S 71°23'00" E	134.82'	585.00'	135.12'	67.86'
C228	27°51'54"	N 56°49'37" W	55.38'	115.00'	55.93'	28.53'
C229	35°33'06"	N 36°09'42" W	63.50'	104.00'	64.53'	33.34'
C230	05°37'19"	N 56°44'55" W	10.20'	104.00'	10.20'	5.11'
C231	02°16'25"	S 56°25'22" E	33.93'	855.00'	33.93'	16.97'
C232	03°22'15"	S 55°38'02" E	50.29'	855.00'	50.30'	25.16'
C233	03°22'15"	S 52°13'47" E	50.29'	855.00'	50.30'	25.16'
C234	03°22'15"	S 48°51'32" E	50.29'	855.00'	50.30'	25.16'
C235	03°22'15"	S 45°29'17" E	50.29'	855.00'	50.30'	25.16'
C236	03°22'15"	S 42°07'02" E	50.29'	855.00'	50.30'	25.16'
C237	01°11'10"	S 38°50'20" E	17.70'	855.00'	17.70'	8.85'
C238	12°12'50"	N 45°21'10" W	24.47'	115.00'	24.51'	12.30'
C239	17°47'00"	N 60°21'05" W	35.55'	115.00'	35.69'	17.99'
C240	00°16'28"	S 69°08'20" E	4.94'	1030.41'	4.94'	2.47'
C241	02°44'31"	S 67°35'51" E	48.31'	1030.41'	48.31'	24.66'
C242	01°15'04"	S 65°36'04" E	22.50'	1030.41'	22.50'	11.25'
C243	06°14'23"	S 61°51'20" E	34.29'	315.00'	34.30'	17.17'
C244	11°28'42"	S 52°59'48" E	63.00'	315.00'	63.11'	31.66'
C245	11°28'42"	S 41°31'08" E	63.00'	315.00'	63.11'	31.66'
C246	08°49'40"	S 30°51'55" E	53.97'	315.00'	54.03'	27.08'
C247	90°00'00"	S 78°16'57" E	25.00'	25.00'	38.27'	35.36'
C248	02°29'48"	S 34°31'51" E	8.93'	205.00'	8.93'	4.47'
C249	11°28'42"	S 41°31'08" E	41.00'	205.00'	41.07'	20.60'
C250	11°28'42"	S 52°59'48" E	41.00'	205.00'	41.07'	20.60'
C251	06°14'23"	S 61°51'20" E	22.31'	205.00'	22.33'	11.17'
C252	01°15'04"	S 65°36'04" E	20.10'	920.41'	20.10'	10.05'
C253	02°44'31"	S 67°35'51" E	44.04'	920.41'	44.05'	22.03'

C254	00°16'28"	S 69°08'20" E	4.41'	920.41'	4.41'	2.20'
C255	17°47'00"	N 60°21'05" W	69.55'	225.00'	69.83'	35.20'
C256	12°12'50"	N 45°21'10" W	47.67'	225.00'	47.96'	24.07'
C257	01°11'10"	S 38°50'20" E	15.42'	745.00'	15.42'	7.71'
C258	03°22'15"	S 42°07'02" E	43.82'	745.00'	43.83'	21.92'
C259	03°22'15"	S 45°29'17" E	43.82'	745.00'	43.83'	21.92'
C260	03°22'15"	S 48°51'32" E	43.82'	745.00'	43.83'	21.92'
C261	03°22'15"	S 52°13'47" E	43.82'	745.00'	43.83'	21.92'
C262	03°22'15"	S 55°38'02" E	43.82'	745.00'	43.83'	21.92'
C263	03°04'10"					



LOCATION MAP 1"=750' H-8-Z, H-9-Z
J-8-Z, J-9-Z

PURPOSE OF PLAT

- To create 73 lots and 4 tracts as shown hereon.
- To grant easements as shown hereon.
- To dedicate street right-of-way to the C.O.A. as shown hereon.
- To vacate street right-of-way and easements as shown hereon.

SUBDIVISION DATA

- Project No.: _____
- Application No.: _____
- Zone Atlas Index No.: H-8-Z, H-9-Z, J-8-Z, J-9-Z
- Total Number of Existing Lots: 0
- Total Number of Existing Tracts: 3
- Total Number of Lots created: 73
- Total Number of Tracts created: 4
- Miles of Full Width Street Created: 0.5741 mi.
- Gross Subdivision Acreage: 224.7716 AC.

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary is from the plats of record entitled:
Plat Of "TIERRA OESTE, UNIT 2" (05-18-01, 01C-144)
Plat Of "WESTLAND NORTH, PARCEL 1" (12-27-00, 2000C-316)
"POND 10, AMAFCA LD-2-1M" (09-28-78, BK. MISC. 498, PG. 648-683)
"POND 9, AMAFCA LD-2-1K" (09-28-78, BK. MISC. 498, PG. 648-683)
"POND 8, AMAFCA LD-2-1H" (09-28-78, BK. MISC. 498, PG. 648-683)
"POND 7, AMAFCA LD-2-1F" (09-28-78, BK. MISC. 498, PG. 648-683)
"POND 6, AMAFCA LD-2-1D" (09-28-78, BK. MISC. 498, PG. 648-683)
all being records of Bernalillo County, New Mexico.
- Field Survey: performed August, 2003.
- Title Report: None provided.
- Address of Property: None provided.
- City of Albuquerque, New Mexico Zone: SU-2/R-LT
- Utility Council Location System Log No.: 2004251362
- Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
- All street centerline monumnetation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 8, 9, 16 & 17 Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being 2/1 OF TRACT I, Westland North as the same is shown and designated on said plat filed for record in the office of the County Clerk of the Bernalillo County, New Mexico on December 27, 2000 in Book 2000C, Page 316 and all of TRACT A, PARKWAY SUBDIVISION, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 29, 1995 in Volume 95C, Page 238 together with all of Vacated Casa Roja Place N.W. within TIERRA OESTE, UNIT 2 as the same is shown and designated on said plat filed for record in the office of of the County Clerk of Bernalillo County, New Mexico on May 18, 2001, in Volume 2001C, Page 144 and containing 224.7716 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, communication lines, transformers, street lights and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
- PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Telecommunications for installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
- Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side as shown hereon.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 73 lots and 4 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in the fee simple with Warranty Covenants. Said owner(s) consent to the vacation of right-of-way and easements as shown hereon. Said owner(s) Warrants that (he/she) holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): WESTLAND DEVELOPMENT CO., INC.
Fred Ambrogio, VP 7-26-2004
Date

STATE OF NEW MEXICO)
BERNALILLO COUNTY) SS
On this 26 day of July, 2004, this instrument was acknowledged by
Fred Ambrogio, V.P. OF WESTLAND DEVELOPMENT CO., INC
Gracie J. Blair
Notary Public

My Commission Expires 8/5/05

PLAT OF
SUNDORO SUBDIVISION
UNIT 1
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 8, 9, 16 & 17
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2004

PROJECT NUMBER: _____
Application Number: _____

PLAT APPROVAL

Utility Approvals:

Leonard D. Marks 8-2-04
PNM Electric Services Division Date

Leonard D. Marks 8-2-04
PNM Gas Services Division Date

David D. Muller 8-2-04
Qwest Date

Rita E. Hicks 8-2-09
Comcast Date

City Approvals: [Signature] 7-26-04
City Surveyor Date

Real Property Division Date

Environmental Health Department Date

Traffic Engineering, Transportation Division Date

Utilities Development Date

Parks and Recreation Department Date

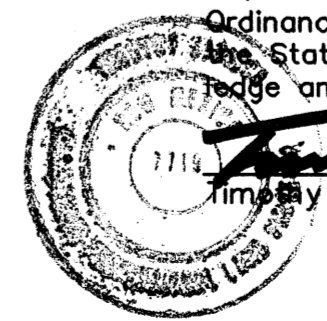
AMAFCA Date

City Engineer Date

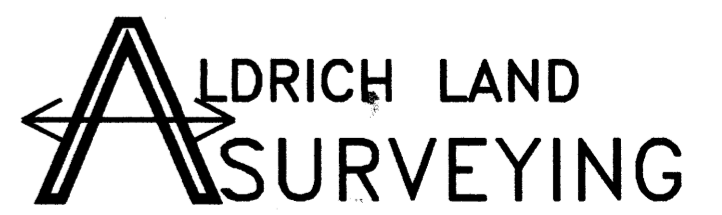
DRB Chairperson, Planning Department Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."



Timothy Aldrich 07-22-04
Timothy Aldrich, P.S. No. 7719 Date



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

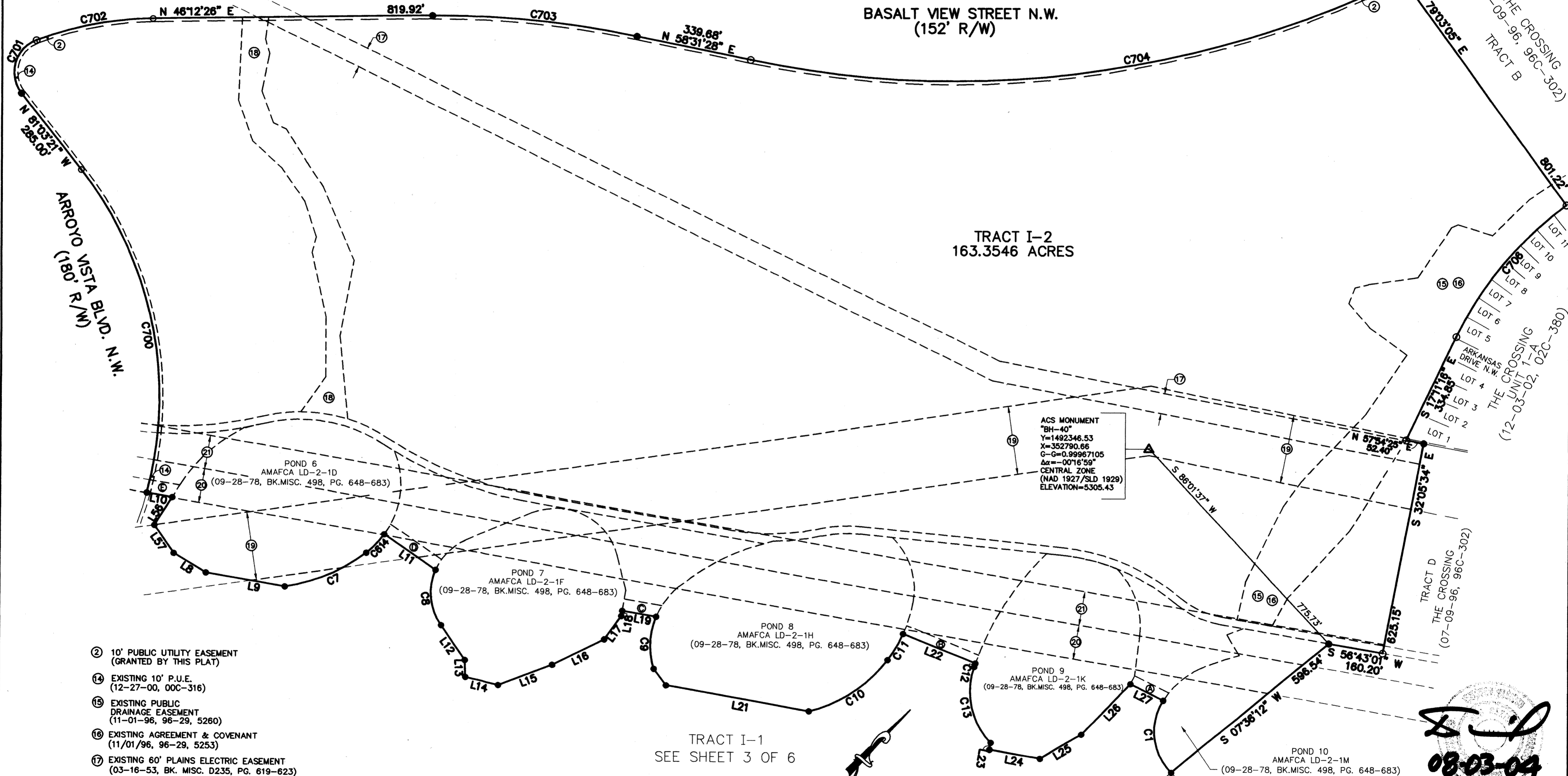
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Checked By:	TA	Drawing Name:	03029PL1.DWG
Job No.:	03-029	Sheet:	1 of 6

PLAT OF
SUNDORO SUBDIVISION
 UNIT 1
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 8, 9, 16 AND 17
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

- (A) TRACT LD-2-1L
(09-28-78, BK.MISC. 498, PG. 648-683)
- (B) TRACT LD-2-1J
(09-28-78, BK.MISC. 498, PG. 648-683)
- (C) TRACT LD-2-1G
(09-28-78, BK.MISC. 498, PG. 648-683)
- (D) TRACT LD-2-1E
(09-28-78, BK.MISC. 498, PG. 648-683)
- (E) TRACT LD-2-1C
(09-28-78, BK.MISC. 498, PG. 648-683)

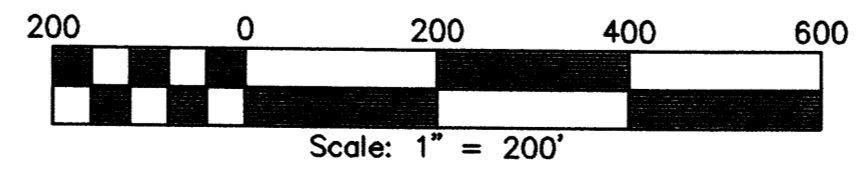
SEE SHEET 6 OF 6 FOR
 CURVE AND LINE TABLE

ACS MONUMENT
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 X=351455.56
 G=0.9996704
 Δα=-00'17"08"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5398.63




- (2) 10' PUBLIC UTILITY EASEMENT
(GRANTED BY THIS PLAT)
- (14) EXISTING 10' P.U.E.
(12-27-00, 00C-316)
- (15) EXISTING PUBLIC
DRAINAGE EASEMENT
(11-01-96, 96-29, 5260)
- (16) EXISTING AGREEMENT & COVENANT
(11/01/96, 96-29, 5253)
- (17) EXISTING 60' PLAINS ELECTRIC EASEMENT
(03-16-53, BK. MISC. D235, PG. 619-623)
- (18) EXISTING A.M.A.F.C.A. FLOOD PLAIN EASEMENT
(12-27-00, 00C-316)
- (19) EXISTING 200' ELECTRIC TRANSMISSION EASEMENT
(02-05-52, BK. MISC. D197, PG. 571-572)
- (20) EXISTING 100' PNM EASEMENT
(05-14-76, BK. MISC. 477, PG. 107-110)
- (21) EXISTING 100' EL PASO ELECTRIC COMPANY EASEMENT
DISTRICT COURT CAUSE NO. A-32886
(04-29-68, BK. MISC. 101, PGS. 644-647)

- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH
CAP "LS 11993" (Typ.)
 - SET 5/8" REBAR WITH
CAP "ALS LS 7719" (Typ.)
 - FOUND 5/8" REBAR WITH
CAP "LS 6544" (Typ.)



Drawn By:	ECM	Date:	07-22-04
Checked By:	TA	Drawing Name:	03029PL1.DWG
Job No.:	03-029	Sheet:	2 of 6


ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

TRACT I-1
 SEE SHEET 3 OF 6

ACS MONUMENT
 "BH-40"
 Y=1492346.53
 X=352790.66
 G=0.99967105
 Δα=-00'16"59"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5305.43

POND 10
 AMAFCA LD-2-1M
 (09-28-78, BK.MISC. 498, PG. 648-683)

THE CROSSING
 TRACT I-A
 (12-03-02, 02C-380)

THE CROSSING
 TRACT B
 (07-09-96, 96C-302)

TRACT D
 THE CROSSING
 (07-09-96, 96C-302)

LOT 1
 LOT 2
 LOT 3
 LOT 4
 LOT 5
 LOT 6
 LOT 7
 LOT 8
 LOT 9
 LOT 10
 LOT 11

PLAT OF
 SUNDORO SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 8, 9, 16 AND 17
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

SEE SHEET 6 OF 6 FOR
 CURVE AND LINE TABLE

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "LS 11993" (Typ.)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (Typ.)
- FOUND 5/8" REBAR WITH CAP "LS 6544" (Typ.)

ACS MONUMENT
 "BH-40"
 Y=1492346.53
 X=352790.66
 G-G=0.99967105
 $\Delta\alpha=-00^{\circ}16'59"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5305.43

TRACT LD-2-1L
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 9
 AMAFCA LD-2-1K
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRACT LD-2-1J
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 8
 AMAFCA LD-2-1H
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRACT LD-2-1G
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 7
 AMAFCA LD-2-1F
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRACT LD-2-1E
 * (09-28-78, BK.MISC. 498, PG. 648-683)

POND 6
 AMAFCA LD-2-1D
 (09-28-78, BK.MISC. 498, PG. 648-683)

ACS MONUMENT
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 X=351455.56
 G-G=0.99966704
 $\Delta\alpha=-00^{\circ}17'08"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5398.63

TRACT LD-2-1C
 *

TRACT I-2
 SEE SHEET 2 OF 6

TRACT I-1
 43.8770 AC.

TIERRA OESTE
 UNIT 2
 (05-18-01, 01C-144)

POND 10
 AMAFCA LD-2-1M
 (09-28-78, BK.MISC. 498, PG. 648-683)

SUNDORO
 UNIT 1

(HATCHED AREA)
 STREET RIGHT-OF-WAY DEDICATED TO
 THE CITY OF ALBUQUERQUE IN FEE
 SIMPLE WITH WARRANTY COVENANTS
 (1.0449 AC.)

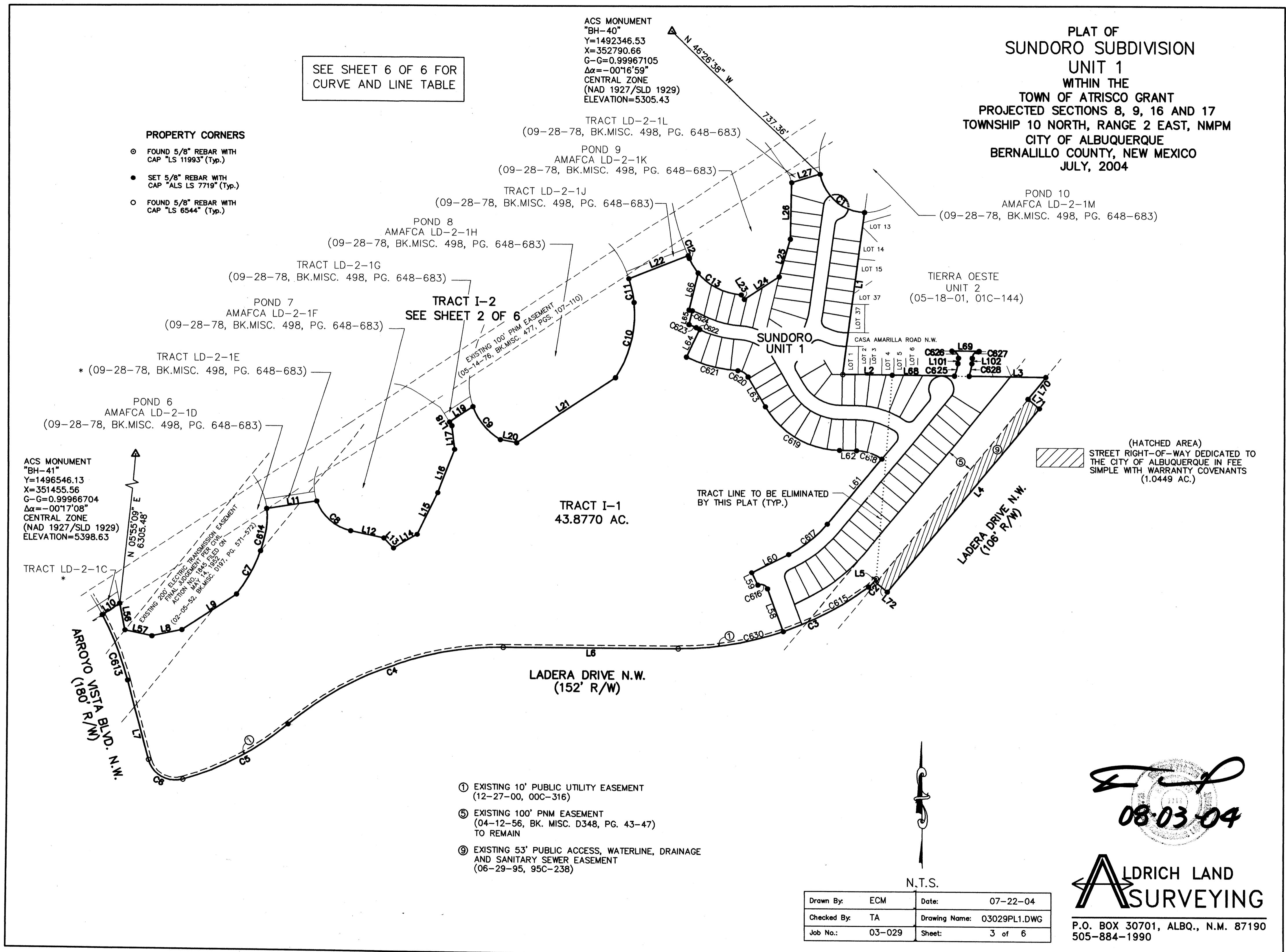
- ① EXISTING 10' PUBLIC UTILITY EASEMENT
 (12-27-00, 00C-316)
- ⑤ EXISTING 100' PNM EASEMENT
 (04-12-56, BK. MISC. D348, PG. 43-47)
 TO REMAIN
- ⑨ EXISTING 53' PUBLIC ACCESS, WATERLINE, DRAINAGE
 AND SANITARY SEWER EASEMENT
 (06-29-95, 95C-238)

Drawn By:	ECM	Date:	07-22-04
Checked By:	TA	Drawing Name:	03029PL1.DWG
Job No.:	03-029	Sheet:	3 of 6


 08-03-04

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



PLAT OF
 SUNDORO SUBDIVISION
 UNIT 1
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 TOWN OF ATRISCO GRANT
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 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

SEE SHEET 6 OF 6 FOR
 CURVE AND LINE TABLE

- ② 10' PUBLIC UTILITY EASEMENT
 (GRANTED BY THIS PLAT)
- ③ PUBLIC DRAINAGE EASEMENT
 (GRANTED TO AMAFCA BY THIS PLAT)
 PUBLIC PEDESTRIAN ACCESS EASEMENT
 (GRANTED TO C.O.A. BY THIS PLAT)

ACS MONUMENT
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 X=351455.56
 G-G=0.99966704
 $\Delta\alpha=-00^{\circ}17'08''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5398.63

POND 9
 AMAFCA LD-2-1K
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRACT K
 TO BE OWNED AND MAINTAINED BY H.O.A.
 (PRIVATE OPEN SPACE)

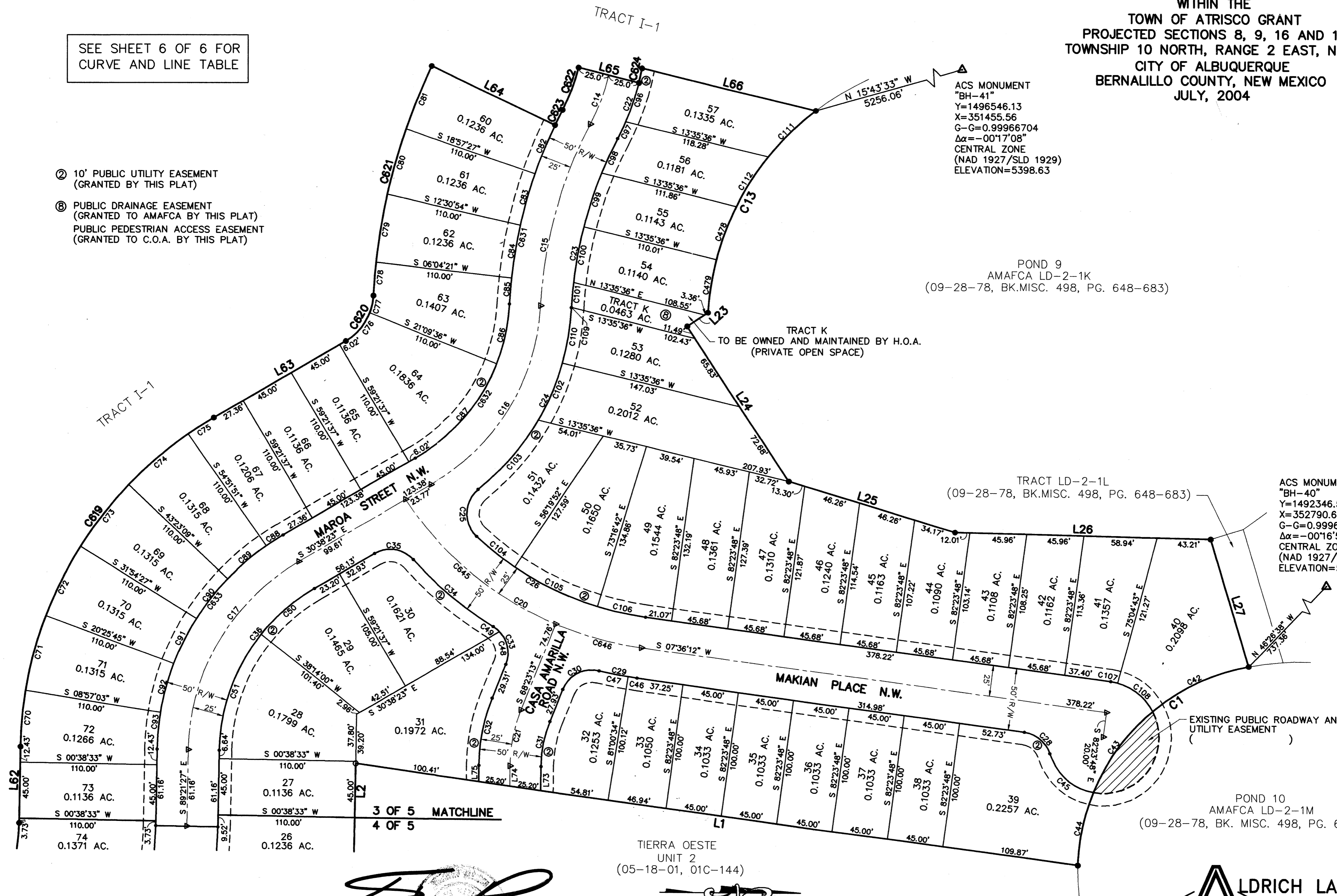
TRACT LD-2-1L
 (09-28-78, BK.MISC. 498, PG. 648-683)

ACS MONUMENT
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 $\Delta\alpha=-00^{\circ}16'59''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5305.43

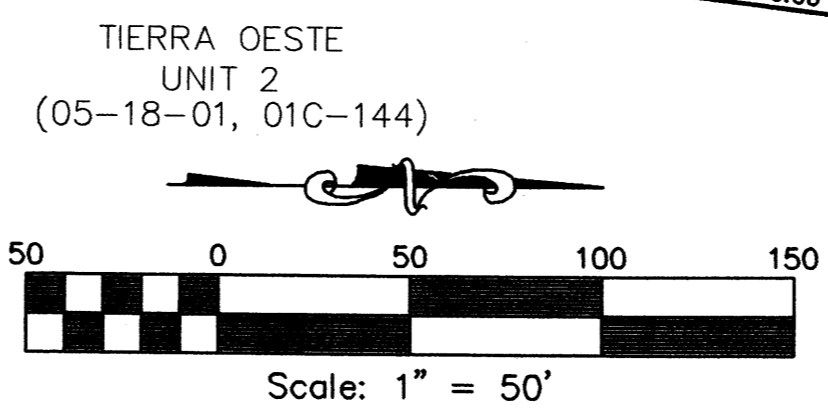
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 AMAFCA LD-2-1M
 (09-28-78, BK. MISC. 498, PG. 648-683)



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



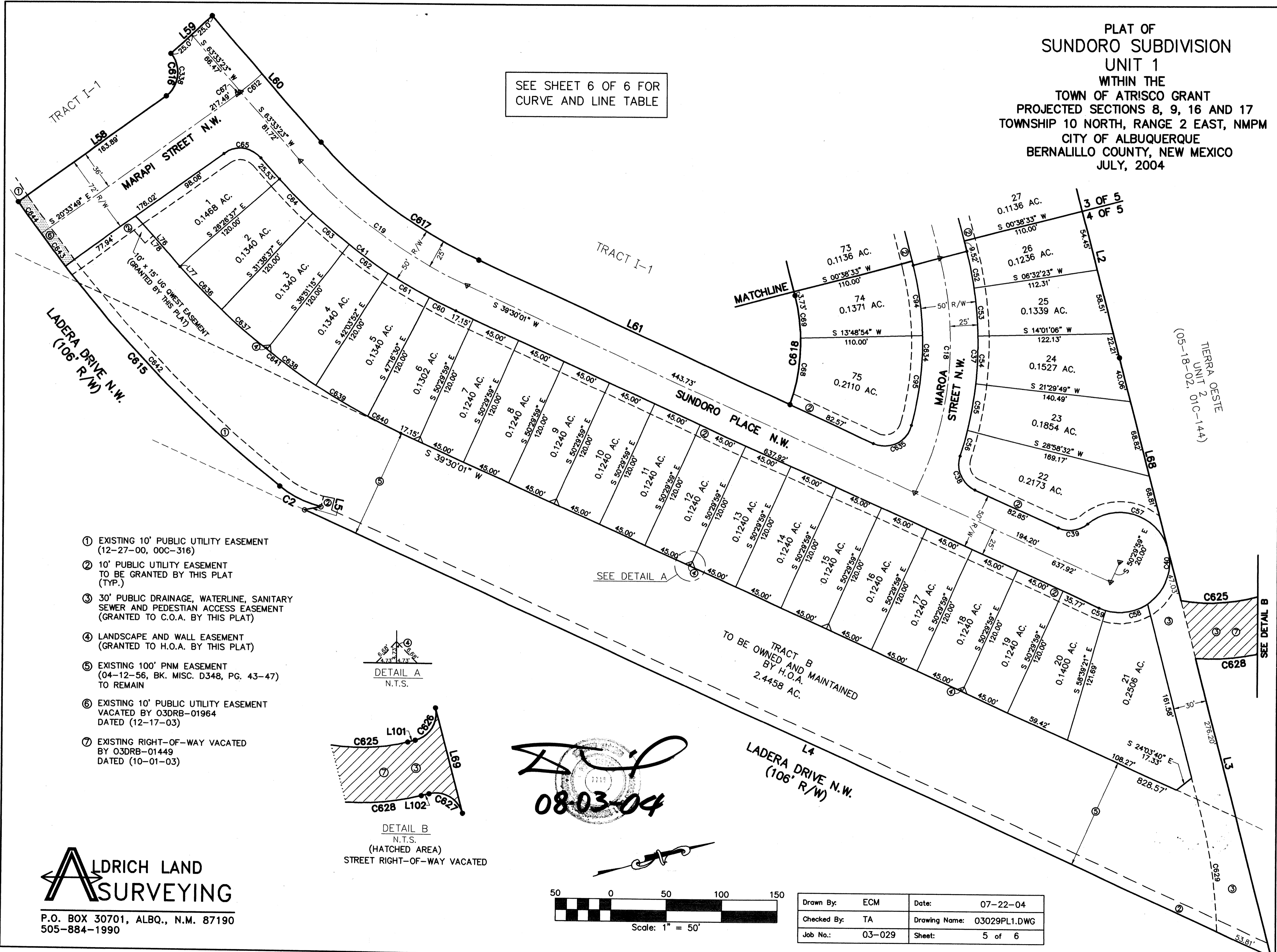
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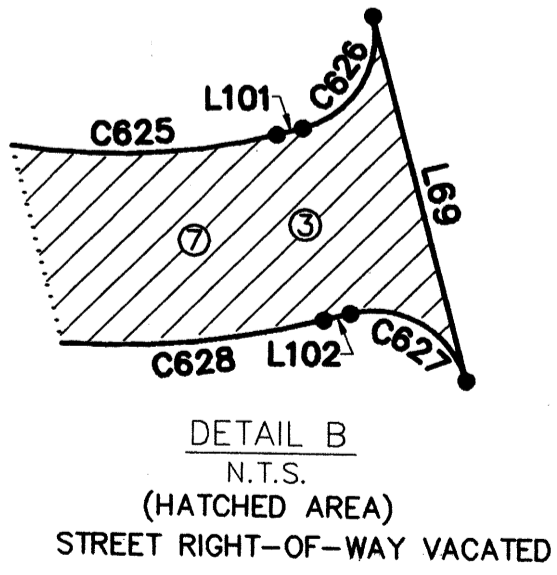
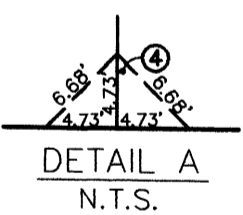
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Checked By:	TA	Drawing Name:	03029PL1.DWG
Job No.:	03-029	Sheet:	4 of 6

PLAT OF
 SUNDORO SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 8, 9, 16 AND 17
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

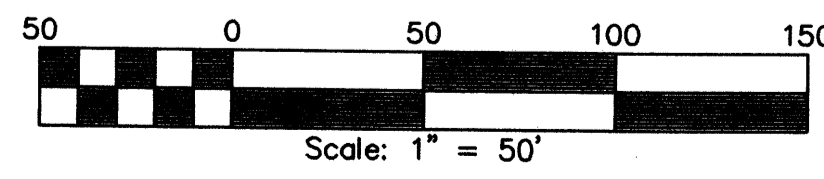
SEE SHEET 6 OF 6 FOR
 CURVE AND LINE TABLE



- ① EXISTING 10' PUBLIC UTILITY EASEMENT (12-27-00, 00C-316)
- ② 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY THIS PLAT (TYP.)
- ③ 30' PUBLIC DRAINAGE, WATERLINE, SANITARY SEWER AND PEDESTIAN ACCESS EASEMENT (GRANTED TO C.O.A. BY THIS PLAT)
- ④ LANDSCAPE AND WALL EASEMENT (GRANTED TO H.O.A. BY THIS PLAT)
- ⑤ EXISTING 100' PNM EASEMENT (04-12-56, BK. MISC. D348, PG. 43-47) TO REMAIN
- ⑥ EXISTING 10' PUBLIC UTILITY EASEMENT VACATED BY O3DRB-01964 DATED (12-17-03)
- ⑦ EXISTING RIGHT-OF-WAY VACATED BY O3DRB-01449 DATED (10-01-03)



[Signature]
 08-03-04



Drawn By:	ECM	Date:	07-22-04
Checked By:	TA	Drawing Name:	03029PL1.DWG
Job No.:	03-029	Sheet:	5 of 6

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

TERRA OESTE
 UNIT 2 (O1C-144)
 (05-18-02, 01C-144)

TRACT B
 TO BE OWNED AND MAINTAINED
 BY H.O.A.
 2.4458 AC.

L4
 LADERA DRIVE N.W.
 (106' R/W)

SEE DETAIL B

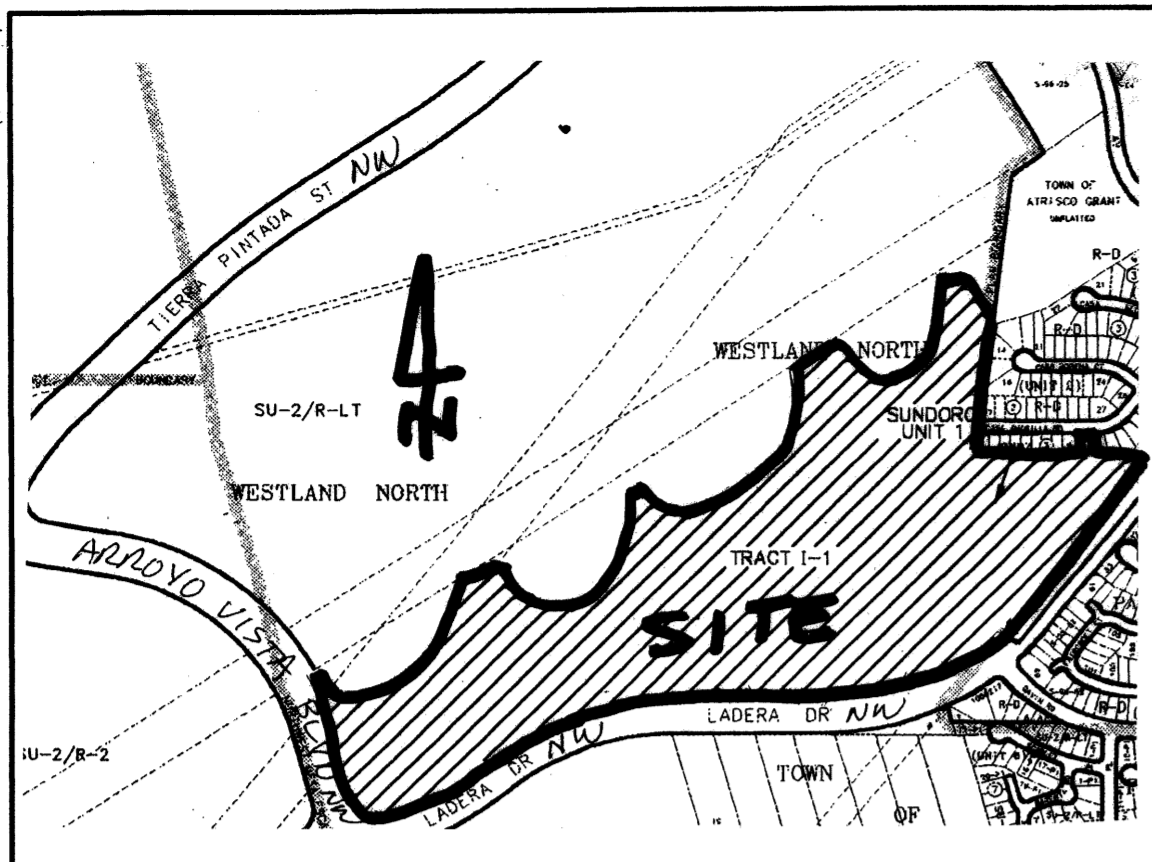
PLAT OF
SUNDORO SUBDIVISION
UNIT 1
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 8, 9, 16 AND 17
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2004

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	78°01'45"	S 49°32'19" E	135.61'	167.62'	228.26'	211.04'
C2	23°55'02"	N 41°37'39" E	21.18'	100.00'	41.74'	41.44'
C3	38°24'53"	N 71°47'37" E	379.71'	1154.39'	733.68'	721.39'
C4	40°18'30"	S 69°52'47" W	438.68'	1198.00'	842.61'	825.57'
C5	24°19'11"	N 61°49'38" E	219.24'	1024.00'	431.97'	428.77'
C6	91°08'25"	S 60°32'04" E	101.95'	100.00'	159.01'	142.78'
C7	28°04'10"	N 24°07'54" E	133.52'	515.00'	281.29'	258.50'
C8	58°09'38"	S 48°56'14" E	93.15'	167.50'	170.03'	162.82'
C9	38°47'17"	S 40°33'14" E	80.98'	223.78'	155.40'	152.30'
C10	38°38'40"	N 13°53'19" E	148.41'	408.17'	281.04'	275.47'
C11	12°49'58"	N 12°21'00" W	44.63'	396.84'	88.88'	88.70'
C12	00°45'12"	S 23°58'14" E	5.48'	633.00'	10.95'	10.95'
C13	62°08'10"	S 55°24'55" E	132.79'	220.41'	239.03'	227.49'
C14	13°29'44"	N 69°16'03" W	21.30'	180.00'	42.40'	42.30'
C15	24°33'07"	S 74°47'44" E	77.34'	355.41'	152.30'	151.14'
C16	58°25'55"	N 58°51'20" W	96.58'	180.00'	177.29'	170.21'
C17	58°43'04"	S 59°59'55" E	101.25'	180.00'	184.47'	176.50'
C18	03°28'57"	N 88°48'33" E	9.79'	300.00'	215.02'	210.46'
C19	24°03'22"	N 51°31'55" E	95.88'	450.00'	188.94'	187.53'
C20	48°07'57"	N 31°40'11" E	122.82'	275.00'	231.02'	224.29'
C21	14°04'16"	S 75°25'21" E	15.43'	125.00'	30.70'	30.62'
C22	16°49'02"	N 70°55'42" W	30.30'	205.00'	60.17'	59.95'
C23	24°31'45"	S 74°47'03" E	71.83'	330.41'	141.45'	140.38'
C24	47°38'00"	N 63°16'24" W	90.49'	205.00'	170.43'	165.56'
C25	97°54'25"	S 88°23'31" W	28.71'	25.00'	42.72'	37.71'
C26	35°03'04"	N 25°07'44" E	78.95'	250.00'	152.94'	150.57'
C27	244°37'23"	N 38°54'54" E	71.15'	45.00'	192.13'	76.06'
C28	64°37'23"	S 38°54'54" W	15.81'	25.00'	28.20'	28.73'
C29	05°58'44"	N 10°34'34" E	15.58'	300.00'	31.13'	31.12'
C30	81°58'08"	S 27°25'08" E	21.71'	25.00'	35.75'	32.78'
C31	21°09'04"	S 78°57'45" E	18.67'	100.00'	36.92'	36.71'
C32	21°09'04"	S 78°57'45" E	28.01'	150.00'	55.37'	55.06'
C33	80°21'45"	S 71°25'34" W	21.11'	25.00'	35.08'	32.28'
C34	16°08'57"	N 38°19'20" E	42.55'	300.00'	84.53'	84.25'
C35	78°02'01"	S 08°22'38" W	20.26'	25.00'	34.05'	31.48'
C36	58°43'04"	S 59°59'55" E	87.19'	155.00'	158.85'	151.99'
C37	32°33'08"	N 73°04'54" W	94.89'	325.00'	184.84'	182.17'
C38	83°41'38"	N 81°20'50" E	22.39'	25.00'	36.52'	33.36'
C39	84°37'23"	N 07°11'19" E	15.81'	25.00'	28.20'	26.73'
C40	244°37'23"	N 82°48'40" W	71.15'	45.00'	192.13'	76.06'
C41	24°03'22"	N 51°32'02" E	101.21'	475.00'	199.43'	198.06'
C42	29°29'08"	S 25°16'01" E	44.11'	167.62'	88.26'	85.31'
C43	27°31'22"	S 53°58'16" E	41.57'	167.62'	81.49'	80.89'
C44	20°41'14"	S 78°12'38" E	30.59'	167.62'	60.52'	60.19'
C45	62°27'00"	N 41°00'05" E	27.28'	45.00'	49.05'	46.86'
C46	01°23'14"	N 06°17'49" E	3.63'	300.00'	7.26'	7.26'
C47	04°33'30"	N 11°16'11" E	11.94'	300.00'	23.87'	23.86'
C48	65°32'07"	S 78°50'43" W	18.09'	25.00'	28.80'	27.06'
C49	14°49'38"	S 38°39'51" W	3.25'	25.00'	6.47'	6.45'
C50	21°07'37"	S 41°12'11" E	28.91'	155.00'	57.15'	56.83'
C51	37°36'27"	S 70°33'43" E	52.75'	155.00'	101.89'	99.88'
C52	06°53'50"	N 66°24'32" W	18.74'	325.00'	33.45'	33.44'
C53	07°28'43"	N 79°43'18" W	21.24'	325.00'	42.42'	42.39'
C54	07°28'43"	N 72°14'32" W	21.24'	325.00'	42.42'	42.39'
C55	07°28'43"	N 64°48'49" W	21.24'	325.00'	42.42'	42.39'
C56	04°13'06"	N 58°54'55" W	11.97'	325.00'	23.93'	23.92'
C57	115°46'44"	S 32°46'00" W	71.71'	45.00'	90.93'	76.23'
C58	120°41'17"	N 06°15'52" W	79.03'	45.00'	39.39'	38.14'
C59	08°08'22"	N 35°25'20" E	3.21'	45.00'	6.41'	6.40'
C60	03°13'28"	N 41°06'45" E	13.37'	475.00'	28.73'	26.73'
C61	05°12'38"	N 45°19'49" E	21.61'	475.00'	43.20'	43.18'
C62	05°12'38"	N 50°32'27" E	21.61'	475.00'	43.20'	43.18'
C63	05°12'38"	N 55°45'04" E	21.61'	475.00'	43.20'	43.18'
C64	05°12'00"	N 60°57'23" E	21.57'	475.00'	43.11'	43.18'
C65	84°07'12"	S 21°29'47" W	22.56'	25.00'	38.70'	33.50'
C66	38°47'30"	N 40°27'34" W	90.48'	250.00'	173.62'	170.16'

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C67	00°45'14"	S 20°54'07" W	1.64'	254.87'	3.67'	3.66'
C68	21°00'41"	N 65°40'45" W	30.80'	165.00'	60.51'	60.17'
C69	13°10'21"	N 82°46'16" W	19.05'	165.00'	37.93'	37.85'
C70	08°18'30"	S 85°12'12" E	22.88'	315.00'	45.68'	45.64'
C71	11°40'01"	S 75°18'36" E	32.18'	315.00'	63.11'	63.00'
C72	11°28'42"	S 63°49'54" E	31.86'	315.00'	63.11'	63.00'
C73	11°28'42"	S 52°21'12" E	31.86'	315.00'	63.11'	63.00'
C74	11°28'42"	S 40°52'30" E	31.86'	315.00'	63.11'	63.00'
C75	04°29'48"	S 32°53'16" E	12.37'	315.00'	24.72'	24.71'
C76	38°12'01"	N 48°44'24" W	15.58'	45.00'	30.00'	29.45'
C77	16°13'53"	N 77°57'21" W	7.22'	45.00'	14.32'	14.28'
C78	03°08'38"	S 85°29'59" E	13.48'	490.41'	28.91'	28.91'
C79	06°26'33"	S 80°42'23" E	27.80'	490.41'	55.14'	55.11'
C80	06°26'33"	S 74°15'50" E	27.80'	490.41'	55.14'	55.11'
C81	06°26'33"	S 67°49'16" E	27.80'	490.41'	55.14'	55.11'
C82	06°26'33"	S 67°49'16" E	21.41'	380.41'	42.77'	42.75'
C83	06°26'33"	S 74°15'50" E	21.41'	380.41'	42.77'	42.75'
C84	06°26'33"	S 80°42'23" E	21.41'	380.41'	42.77'	42.75'
C85	03°08'38"	S 85°29'59" E	10.44'	380.41'	20.87'	20.87'
C86	16°13'53"	N 77°57'21" W	24.87'	155.00'	49.32'	49.11'
C87	38°12'01"	N 48°44'24" W	53.67'	155.00'	103.34'	101.44'
C88	04°29'48"	S 32°53'16" E	8.05'	205.00'	16.09'	16.08'
C89	11°28'42"	S 40°52'30" E	20.80'	205.00'	41.07'	41.00'
C90	11°28'42"	S 52°21'12" E	20.80'	205.00'	41.07'	41.00'
C91	11°28'42"	S 63°49'54" E	20.80'	205.00'	41.07'	41.00'
C92	11°28'42"	S 75°18'36" E	20.80'	205.00'	41.07'	41.00'
C93	08°18'30"	S 85°12'12" E	14.89'	205.00'	29.73'	29.70'
C94	13°10'21"	N 82°46'16" W	31.75'	275.00'	63.22'	63.06'
C95	16°50'21"	N 67°45'55" W	40.70'	275.00'	80.82'	80.53'
C96	12°37'29"	N 73°01'26" W	22.68'	205.00'	45.17'	45.06'
C97	04°11'33"	N 64°36'57" W	7.50'	205.00'	15.00'	15.00'
C98	06°21'42"	S 65°12'02" E	15.47'	330.41'	30.92'	30.91'
C99	07°50'06"	S 71°47'55" E	22.63'	330.41'	45.18'	45.15'
C100	07°49'18"	S 79°37'37" E	22.56'	330.41'	45.11'	45.07'
C101	03°30'39"	S 85°17'36" E	10.13'	330.41'	20.25'	20.24'
C102	14°05'36"	N 67°25'20" W	25.34'	205.00'	50.43'	50.30'
C103	20°56'13"	N 49°54'25" W	37.88'	205.00'	74.91'	74.49'
C104	08°59'09"	N 38°09'42" E	19.64'	250.00'	39.21'	39.17'
C105	16°56'49"	N 25°11'43" E	37.24'	250.00'	73.95'	73.68'
C106	09°07'06"	N 12°09'45" E	19.94'	250.00'	39.79'	39.74'
C107	07°19'08"	S 11°15'45" W	2.88'	45.00'	5.75'	5.74'
C108	47°26'38"	S 38°38'05" W	19.77'	45.00'	37.25'	36.19'
C109	00°01'22"	S 67°03'37" E	0.07'	330.41'	0.13'	0.13'
C110	12°36'10"	N 80°46'13" W	22.64'	205.00'	45.09'	45.00'
C111	13°52'58"	S 44°13'34" E	28.83'	220.41'	53.40'	53.27'
C112	12°23'56"	S 57°22'01" E	23.94'	220.41'	47.70'	47.60'
C138	95°52'48"	N 68°30'13" W	37.12'	25.00'	41.84'	37.12'
C478	31°41'35"	S 69°28'05" E	98.30'	220.41'	45.41'	45.33'
C479	04°16'03"	S 80°56'39" E	66.67'	220.41'	42.78'	42.68'
C612	06°29'25"	S 23°48'32" E	14.17'	250.00'	28.32'	28.30'
C613	13°16'21"	N 21°37'02" W	128.82'	1090.00'	252.50'	251.93'
C614	16°58'30"	N 01°06'34" E	38.05'	255.00'	75.55'	75.27'
C615	17°17'26"	N 62°13'53" E	175.51'	1154.39'	348.36'	347.04'
C616	96°52'48"	N 68°30'13" W	27.71'	25.00'	41.84'	37.12'
C617	24°03'22"	N 51°31'42" E	90.55'	425.00'	178.44'	177.13'
C618	34°11'02"	N 72°15'56" W	90.74'	165.00'	98.44'	96.99'
C619	58°43'04"	S 59°59'55" E	177.20'	315.00'	322.62'	308.88'
C620	58°25'55"	N 58°51'20" W	24.14'	45.00'	44.32'	42.55'
C621	22°28'18"	S 75°50'09" E	67.42'	490.41'	192.34'	191.11'
C622	02°04'49"	S 63°33'35" E	6.91'	380.41'	13.81'	13.81'
C623	13°29'44"	N 69°16'03" W	18.34'	155.00'	36.51'	36.42'
C624	03°18'18"	N 77°40'34" W	5.94'	205.00'	11.98'	11.88'
C625	22°51'56"	N 12°05'11" E	35.39'	175.00'	69.84'	69.38'
C626	88°17'42"	N 43°29'39" W	24.27'	25.00'	38.53'	34.83'
C627	30°57'51"	S 70°15'13" W	45.70'	165.00'	88.17'	88.09'
C628	31°23'23"	S 39°04'36" W	46.36'	165.00'	90.40'	89.27'
C631	22°28'18"	S 75°50'09" E	75.57'	380.41'	149.20'	148.24'

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C632	56°25'55"	N 58°51'20" W	63.17'	155.00'	152.66'	146.57'
C633	58°43'04"	S 59°59'55" E	115.32'	205.00'	210.09'	201.01'
C634	30°00'42"	N 74°21'08" W	73.72'	275.00'	144.05'	142.40'
C635	98°50'46"	N 09°58'22" W	29.19'	25.00'	43.13'	37.98'
C636	05°12'00"	N 60°57'23" E	27.02'	595.00'	54.00'	53.98'
C637	05°12'38"	N 55°45'04" E	27.07'	595.00'	54.11'	54.08'
C638	05°12'38"	N 50°32'27" E	27.07'	595.00'	54.11'	54.08'
C639	05°12'38"	N 45°19'49" E	27.07'	595.00'	54.11'	54.08'
C640	03°13'28"	N 41°06'45" E	16.75'	595.00'	33.49'	33.48'
C641	24°03'22"	N 51°31'42" E	128.78'	595.00'	249.81'	247.98'
C642	13°42'58"	N 60°26'39" E				



LOCATION MAP 1"=750' J-8-Z & J-9-Z

PURPOSE OF PLAT

1. To create 73 lots and 3 tracts as shown hereon.
2. To grant easements as shown hereon.
3. To dedicate street right-of-way to the C.O.A. as shown hereon.
4. To vacate street right-of-way and easements as shown hereon.

SUBDIVISION DATA

1. Project No.: Application No.:
2. Zone Atlas Index No.: J-9-Z
3. Total Number of Existing Lots: 0
4. Total Number of Existing Tracts: 2
5. Total Number of Lots created: 73
6. Total Number of Tracts created: 3
7. Miles of Full Width Street Created: 0.5741
8. Gross Subdivision Acreage: 61.4176

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances are field and record.
4. Basis of boundary is from the plats of record entitled:
 Plat Of "TIERRA OESTE, UNIT 2" (05-18-01, 01C-144)
 Plat Of "WESTLAND NORTH, PARCEL 1" (12-27-00, 2000C-316)
 "POND 10, AMAFCA LD-2-1M" (09-28-78, BK. MISC. 498, PG. 648-683)
 "POND 9, AMAFCA LD-2-1K" (09-28-78, BK. MISC. 498, PG. 648-683)
 "POND 8, AMAFCA LD-2-1H" (09-28-78, BK. MISC. 498, PG. 648-683)
 "POND 7, AMAFCA LD-2-1F" (09-28-78, BK. MISC. 498, PG. 648-683)
 "POND 6, AMAFCA LD-2-1D" (09-28-78, BK. MISC. 498, PG. 648-683)
 all being records of Bernalillo County, New Mexico.
5. Field Survey: performed August, 2003.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: R-D
9. Utility Council Location System Log No.: 2004251362
10. Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
11. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 16 Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being a portion of Tract I, Westland North as the same is shown and designated on said plat filed for record in the office of the County Clerk of the Bernalillo County, New Mexico on December 27, 2000 in Book 2000C, Page 316 and all of TRACT A, PARKWAY SUBDIVISION, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 29, 1995 in Volume 95C, Page 238 together with all of Vacated Casa Roja Place N.W. within TIERRA OESTE, UNIT 2 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 18, 2001, in Volume 2001C, Page 144 and containing 61.4176 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, communication lines, transformers, street lights and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Telecommunications for installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side as shown hereon.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 73 lots and 3 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in the fee simple with Warranty Covenants. Said owner(s) consent to the vacation of right-of-way and easements as shown hereon. Said owner(s) Warrants that (he/she) holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): WESTLAND DEVELOPMENT CO., INC.

Fred Ambrogi, VP 7-26-2004
Date

STATE OF NEW MEXICO)
 BERNALILLO COUNTY) SS
 On this 26 day of JULY, 2004, this instrument was acknowledged by
Fred Ambrogi, V.P. of WESTLAND DEVELOPMENT Co., Inc
Guida J Blair
 Notary Public My Commission Expires 8/5/05

Drawn By:	ECM	Date:	07-22-04
Checked By:	TA	Drawing Name:	03029PL1.DWG
Job No.:	03-029	Sheet:	1 of 5

PLAT OF
 SUNDORO SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

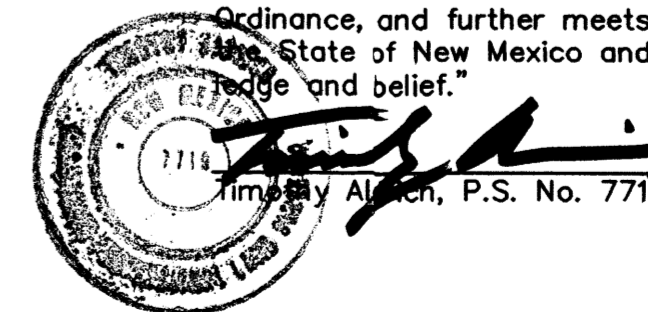
PROJECT NUMBER: _____
 Application Number: _____

PLAT APPROVAL

- Utility Approvals:
- PNM Electric Services Division _____ Date
- PNM Gas Services Division _____ Date
- Qwest _____ Date
- Comcast _____ Date
- City Approvals: JM B... 7-26-04
 City Surveyor _____ Date
- Real Property Division _____ Date
- Environmental Health Department _____ Date
- Traffic Engineering, Transportation Division _____ Date
- Utilities Development _____ Date
- Parks and Recreation Department _____ Date
- AMAFCA _____ Date
- City Engineer _____ Date
- DRB Chairperson, Planning Department _____ Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."



Timothy Aldrich 07-22-04
 Timothy Aldrich, P.S. No. 7719 Date



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT OF
SUNDORO SUBDIVISION
UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

SEE SHEET 5 OF 5 FOR
 CURVE AND LINE TABLE

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "LS 11993" (Typ.)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (Typ.)
- FOUND 5/8" REBAR WITH CAP "LS 6544" (Typ.)

ACS MONUMENT
 "BH-40"
 Y=1492346.53
 X=352790.66
 G-G=0.99967105
 $\Delta\alpha=-00^{\circ}16'59"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5305.43

TRACT LD-2-1L
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 9
 AMAFCA LD-2-1K
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRACT LD-2-1J
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 8
 AMAFCA LD-2-1H
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRACT LD-2-1G
 (09-28-78, BK.MISC. 498, PG. 648-683)

POND 7
 AMAFCA LD-2-1F
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRACT LD-2-1E
 * (09-28-78, BK.MISC. 498, PG. 648-683)

POND 6
 AMAFCA LD-2-1D
 (09-28-78, BK.MISC. 498, PG. 648-683)

ACS MONUMENT
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 Y=1496546.13
 X=351455.56
 G-G=0.99966704
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 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5398.63

TRACT LD-2-1C
 *

TRACT I-1
 43.9505 AC.

TOTAL ACRES 60.3727

LADERA DRIVE N.W.
 (152' R/W)

POND 10
 AMAFCA LD-2-1M
 (09-28-78, BK.MISC. 498, PG. 648-683)

TIERRA OESTE
 UNIT 2
 (05-18-01, 01C-144)

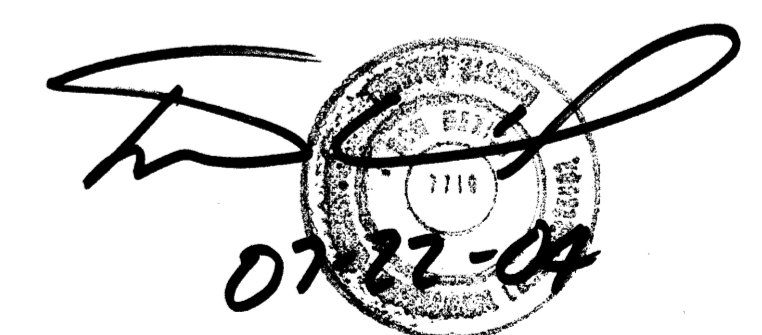
(HATCHED AREA)
 STREET RIGHT-OF-WAY DEDICATED TO
 THE CITY OF ALBUQUERQUE IN FEE
 SIMPLE WITH WARRANTY COVENANTS
 (1.0449 AC.)

- ① EXISTING 10' PUBLIC UTILITY EASEMENT
 (12-27-00, 00C-316)
- ⑤ EXISTING 100' PNM EASEMENT
 (04-12-56, BK. MISC. D348, PG. 43-47)
 TO REMAIN
- ⑧ EXISTING 53' PUBLIC ACCESS, WATERLINE, DRAINAGE
 AND SANITARY SEWER EASEMENT
 (06-29-95, 95C-238)



N.T.S.

Drawn By:	ECM	Date:	07-22-04
Checked By:	TA	Drawing Name:	03029PL1.DWG
Job No.:	03-029	Sheet:	2 of 5



**ALDRICH LAND
 SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT OF
 SUNDORO SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

SEE SHEET 5 OF 5 FOR
 CURVE AND LINE TABLE

- Ⓣ 10' PUBLIC UTILITY EASEMENT
 (GRANTED BY THIS PLAT)
- Ⓢ PUBLIC DRAINAGE EASEMENT GRANTED TO AMAFCA
 BY THIS PLAT) AND PUBLIC PEDESTRIAN ACCESS
 EASEMENT (GRANTED TO C.O.A. BY THIS PLAT)

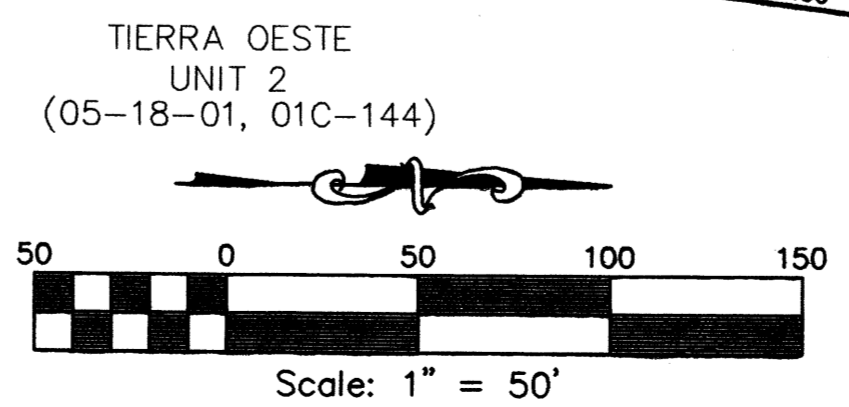
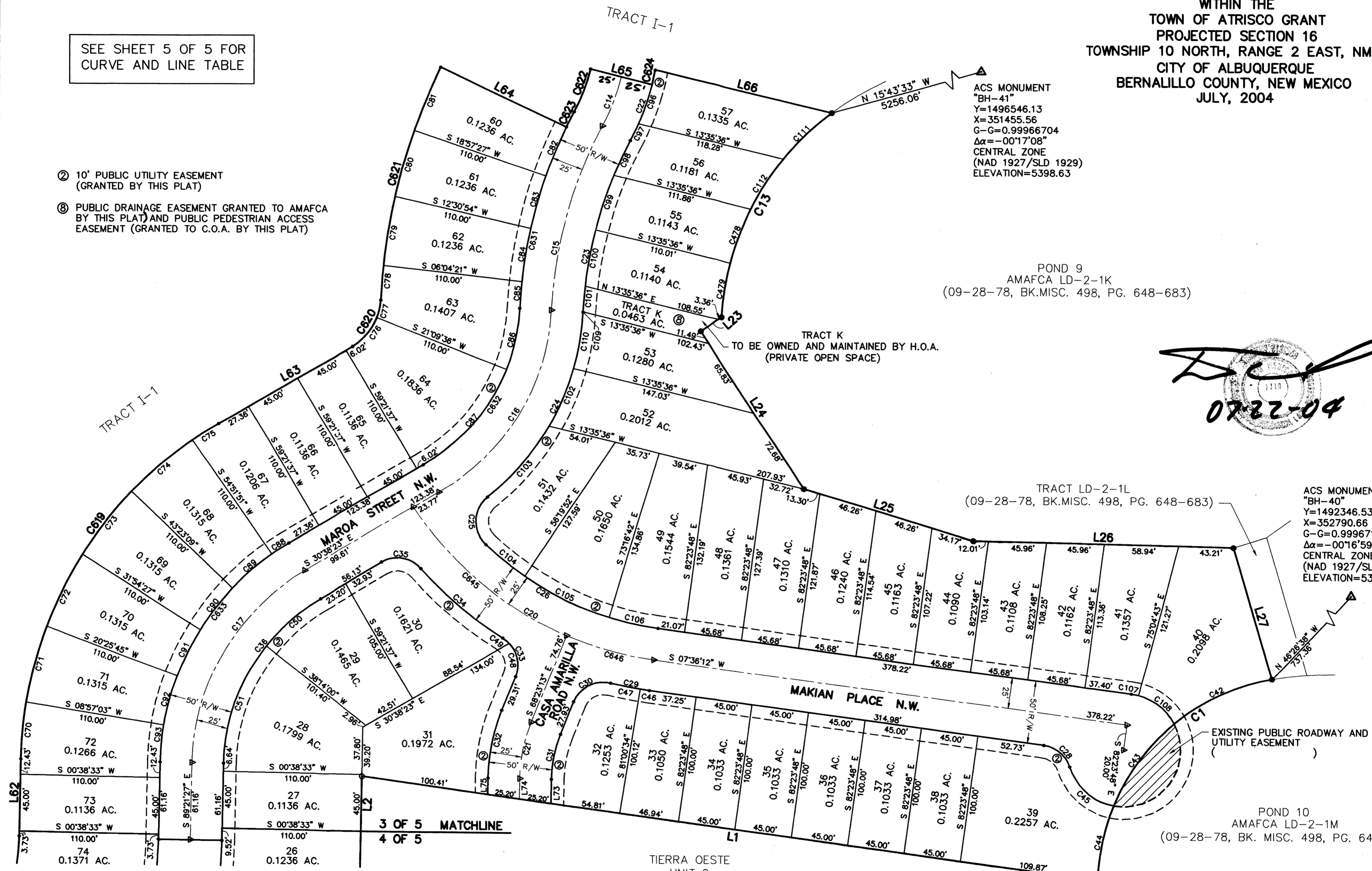
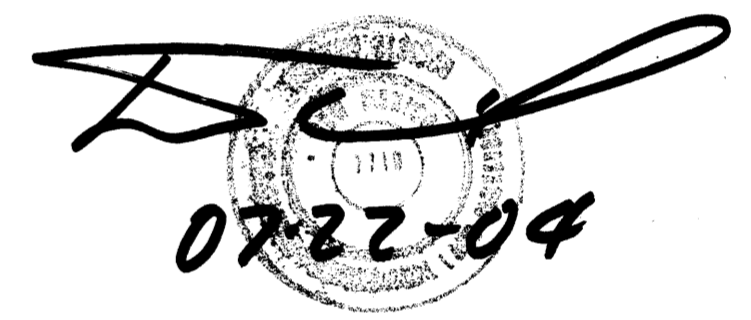
ACS MONUMENT
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 G-G=0.99966704
 $\Delta\alpha=-00^{\circ}17'08''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5398.63

POND 9
 AMAFCA LD-2-1K
 (09-28-78, BK.MISC. 498, PG. 648-683)

TRACT K
 TO BE OWNED AND MAINTAINED BY H.O.A.
 (PRIVATE OPEN SPACE)

TRACT LD-2-1L
 (09-28-78, BK.MISC. 498, PG. 648-683)

ACS MONUMENT
 "BH-40"
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 X=352790.66
 G-G=0.99967105
 $\Delta\alpha=-00^{\circ}16'59''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5305.43

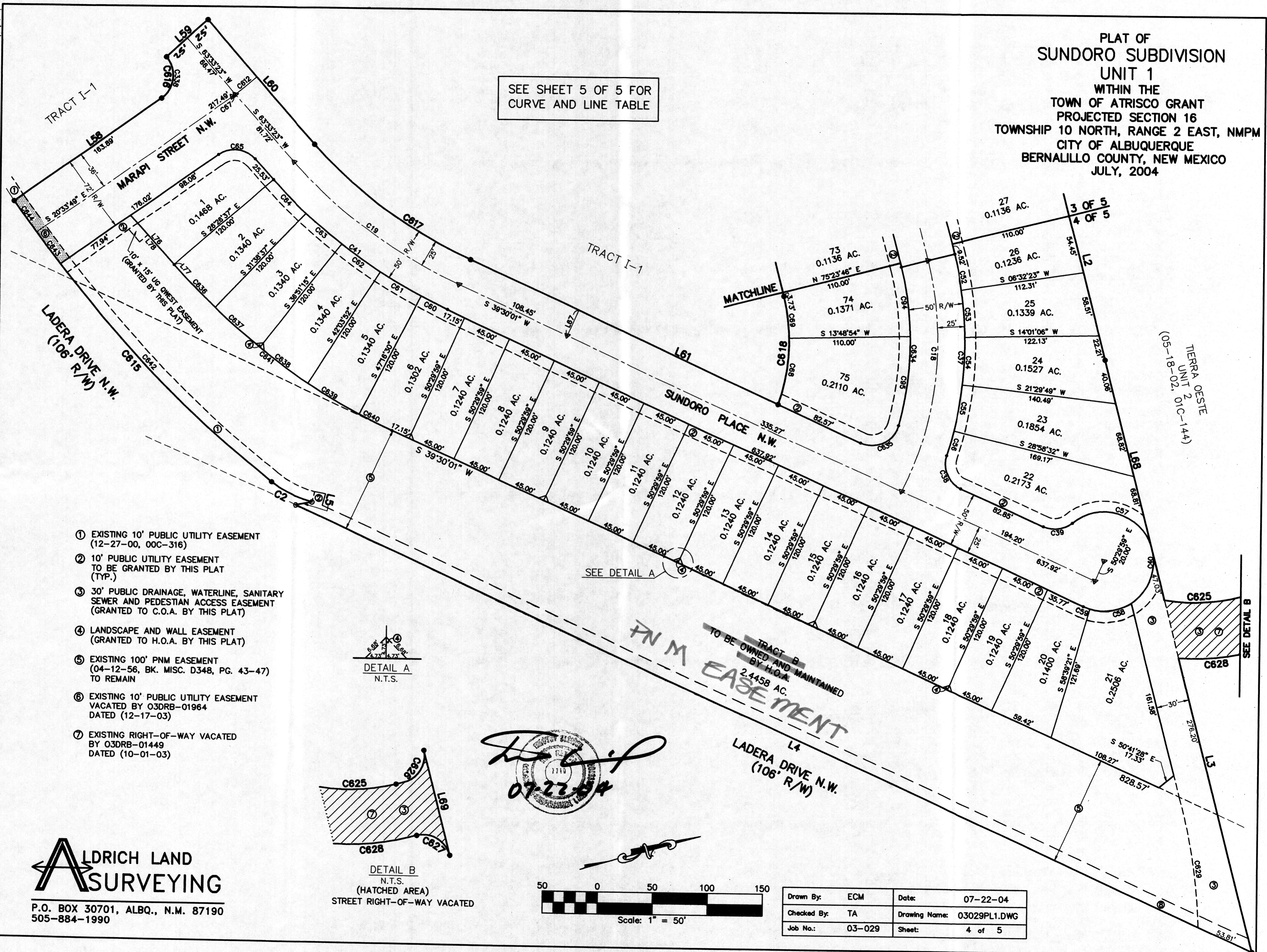


Drawn By:	ECM	Date:	07-22-04
Checked By:	TA	Drawing Name:	03029PL1.DWG
Job No.:	03-029	Sheet:	3 of 5

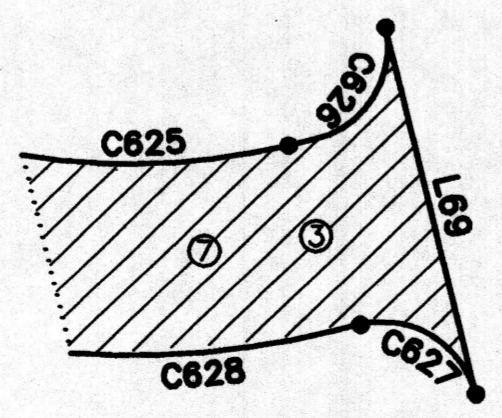
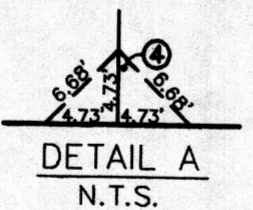
ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT OF
 SUNDORO SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

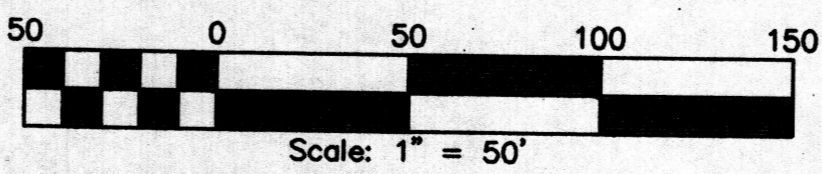
SEE SHEET 5 OF 5 FOR
 CURVE AND LINE TABLE



- ① EXISTING 10' PUBLIC UTILITY EASEMENT (12-27-00, 00C-316)
- ② 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY THIS PLAT (TYP.)
- ③ 30' PUBLIC DRAINAGE, WATERLINE, SANITARY SEWER AND PEDESTIAN ACCESS EASEMENT (GRANTED TO C.O.A. BY THIS PLAT)
- ④ LANDSCAPE AND WALL EASEMENT (GRANTED TO H.O.A. BY THIS PLAT)
- ⑤ EXISTING 100' PNM EASEMENT (04-12-56, BK. MISC. D348, PG. 43-47) TO REMAIN
- ⑥ EXISTING 10' PUBLIC UTILITY EASEMENT VACATED BY O3DRB-01964 DATED (12-17-03)
- ⑦ EXISTING RIGHT-OF-WAY VACATED BY O3DRB-01449 DATED (10-01-03)



Handwritten signature and date: 07-22-04



Drawn By:	ECM	Date:	07-22-04
Checked By:	TA	Drawing Name:	03029PL1.DWG
Job No.:	03-029	Sheet:	4 of 5

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

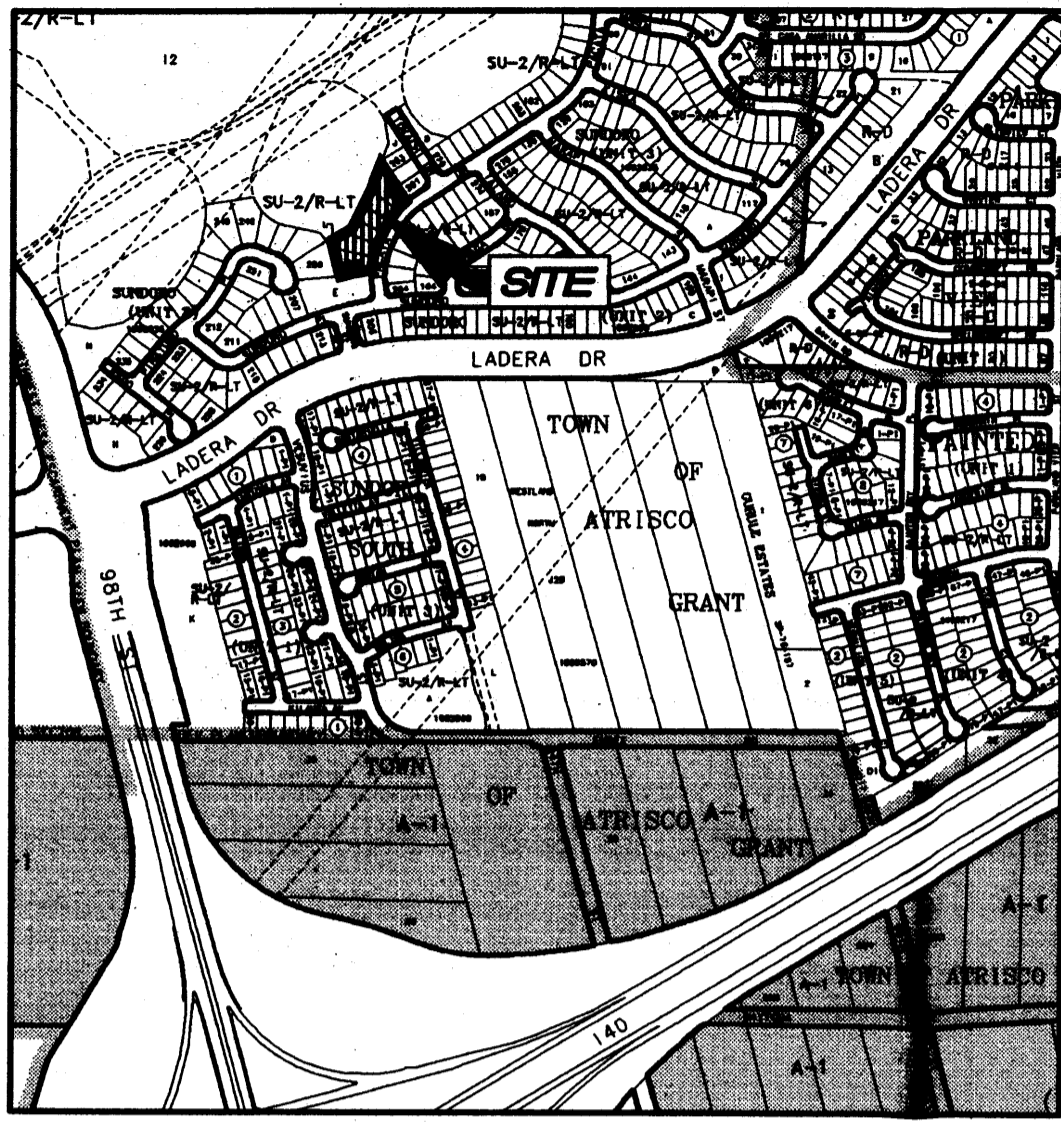
PLAT OF
 SUNDORO SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 16
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	76°01'46"	S 48°32'19" E	136.81'	167.62'	228.28'	211.04'
C2	23°55'02"	N 41°37'38" E	21.18'	100.00'	41.74'	41.44'
C3	36°24'53"	N 71°47'37" E	378.71'	1154.39'	733.88'	721.39'
C4	40'16'30"	S 69°52'47" W	438.88'	1188.00'	842.81'	825.57'
C5	24°10'11"	N 61°46'38" E	218.24'	1024.00'	431.97'	428.77'
C6	81°08'28"	S 60°32'04" E	101.95'	100.00'	188.01'	142.78'
C7	20°01'31"	N 28°38'14" E	90.93'	515.00'	180.00'	178.08'
C8	56°08'38"	S 48°58'14" E	83.15'	167.50'	170.03'	162.82'
C9	38°47'17"	S 40°33'14" E	80.98'	223.78'	155.40'	152.30'
C10	38°38'40"	N 13°53'19" E	146.41'	408.17'	281.04'	275.47'
C11	12°48'58"	N 12°21'00" W	44.63'	398.84'	88.88'	88.70'
C12	00°45'12"	S 23°58'14" E	5.48'	833.00'	10.95'	10.95'
C13	82°08'10"	S 55°24'58" E	132.78'	220.41'	238.03'	227.48'
C14	13°28'44"	N 68°16'03" W	21.30'	180.00'	42.40'	42.30'
C15	24°33'07"	S 74°47'44" E	77.34'	355.41'	182.30'	151.14'
C16	56°25'55"	N 58°51'20" W	86.58'	180.00'	177.28'	170.21'
C17	58°43'04"	S 58°58'58" E	101.25'	180.00'	184.47'	178.50'
C18	03°28'57"	N 02°22'02" E	9.78'	325.00'	19.57'	19.56'
C19	24°03'22"	N 51°31'42" E	95.88'	450.00'	188.84'	187.55'
C20	48°07'57"	N 31°40'11" E	122.82'	275.00'	231.02'	224.28'
C21	14°04'18"	S 75°25'21" E	15.43'	125.00'	30.70'	30.62'
C22	16°48'02"	N 70°55'42" W	30.30'	205.00'	60.17'	59.95'
C23	24°31'45"	S 74°47'03" E	71.83'	330.41'	141.45'	140.38'
C24	47°38'00"	N 28°44'42" E	90.48'	205.00'	170.43'	165.56'
C25	97°54'25"	S 01°38'28" W	28.71'	25.00'	42.72'	37.71'
C26	35°03'04"	N 25°07'44" E	78.95'	280.00'	152.94'	150.57'
C27	244°37'23"	N 38°54'54" E	71.15'	45.00'	192.13'	78.06'
C28	64°37'23"	S 38°54'54" W	15.81'	25.00'	28.20'	28.73'
C29	05°58'44"	N 10°34'34" E	15.88'	300.00'	31.13'	31.12'
C30	81°58'08"	S 27°28'08" E	21.71'	25.00'	35.75'	32.78'
C31	21°08'04"	S 78°57'48" E	18.67'	100.00'	38.82'	36.71'
C32	21°08'04"	S 78°57'48" E	28.01'	150.00'	55.37'	55.08'
C33	80°21'45"	S 71°26'54" W	21.11'	25.00'	35.06'	32.28'
C34	16°08'37"	N 38°18'20" E	42.58'	300.00'	84.53'	84.25'
C35	78°02'01"	S 06°22'38" W	20.28'	25.00'	34.05'	31.48'
C36	58°43'04"	S 58°58'58" E	87.19'	155.00'	188.85'	151.89'
C37	32°33'08"	N 73°04'54" W	94.88'	325.00'	184.84'	182.17'
C38	83°41'38"	N 81°20'50" E	22.38'	25.00'	36.82'	33.38'
C39	64°37'23"	N 07°11'19" E	15.81'	25.00'	28.20'	28.73'
C40	244°37'23"	N 82°48'40" W	71.15'	45.00'	192.13'	78.06'
C41	24°03'22"	N 51°31'42" E	101.21'	475.00'	198.43'	197.97'
C42	29°28'08"	S 28°18'01" E	44.11'	167.62'	88.28'	85.31'
C43	27°51'22"	S 53°58'16" E	41.57'	167.62'	81.48'	80.88'
C44	20°41'14"	S 78°12'36" E	30.58'	167.62'	80.52'	80.19'
C45	82°27'00"	N 41°00'06" E	27.28'	45.00'	48.05'	48.88'
C46	01°23'14"	N 08°17'48" E	3.63'	300.00'	7.28'	7.28'
C47	04°33'30"	N 11°16'11" E	11.84'	300.00'	23.87'	23.88'
C48	85°32'07"	S 78°50'43" W	16.08'	25.00'	28.80'	27.08'
C49	14°48'38"	S 38°38'51" W	3.25'	25.00'	6.47'	6.45'
C50	21°07'37"	S 41°12'11" E	28.91'	155.00'	57.15'	56.83'
C51	37°38'27"	S 70°33'43" E	52.78'	155.00'	101.88'	99.88'
C52	06°33'50"	N 86°24'32" W	18.74'	325.00'	33.45'	33.44'
C53	07°28'43"	N 78°43'16" W	21.24'	325.00'	42.42'	42.38'
C54	07°28'43"	N 72°14'32" W	21.24'	325.00'	42.42'	42.38'
C55	07°28'43"	N 64°45'48" W	21.24'	325.00'	42.42'	42.38'
C56	04°13'06"	N 58°54'58" E	11.97'	325.00'	23.93'	23.92'
C57	118°46'44"	S 32°48'00" W	71.71'	45.00'	80.93'	78.23'
C58	120°41'17"	N 29°00'00" W	78.03'	45.00'	94.78'	78.21'
C59	08°08'22"	N 38°25'20" E	3.21'	45.00'	6.41'	6.40'
C60	03°13'28"	N 41°06'48" E	13.37'	475.00'	28.73'	28.73'
C61	05°12'38"	N 49°18'48" E	21.81'	475.00'	43.20'	43.18'
C62	05°12'38"	N 50°32'27" E	21.81'	475.00'	43.20'	43.18'
C63	05°12'38"	N 55°45'04" E	21.81'	475.00'	43.20'	43.18'
C64	05°12'00"	N 60°57'23" E	21.57'	475.00'	43.11'	43.08'
C65	84°07'12"	S 21°29'47" W	22.56'	25.00'	38.70'	33.50'
C66	38°47'30"	N 40°27'34" W	90.48'	250.00'	173.62'	170.18'

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C68	21°00'41"	N 65°40'48" W	30.60'	185.00'	60.51'	60.17'
C69	13°10'21"	N 82°46'16" W	19.05'	185.00'	37.93'	37.88'
C70	06°18'30"	S 66°12'12" E	22.88'	315.00'	45.88'	45.64'
C71	11°40'01"	S 75°24'16" E	32.18'	315.00'	64.14'	64.03'
C72	11°28'42"	S 63°48'54" E	31.88'	315.00'	63.11'	63.00'
C73	11°28'42"	S 52°21'12" E	31.88'	315.00'	63.11'	63.00'
C74	11°28'42"	S 40°52'30" E	31.88'	315.00'	63.11'	63.00'
C75	04°29'46"	S 32°53'16" E	12.37'	315.00'	24.72'	24.71'
C76	38°12'01"	N 48°44'24" W	15.58'	45.00'	30.00'	28.48'
C77	18°13'53"	N 77°57'21" W	7.22'	45.00'	14.32'	14.28'
C78	03°08'38"	S 85°29'58" E	13.48'	480.41'	28.91'	28.91'
C79	06°28'33"	S 80°42'23" E	27.80'	480.41'	55.14'	55.11'
C80	06°28'33"	S 74°15'50" E	27.80'	480.41'	55.14'	55.11'
C81	06°28'33"	S 67°48'16" E	27.80'	480.41'	55.14'	55.11'
C82	06°28'33"	S 67°48'16" E	21.41'	380.41'	42.77'	42.75'
C83	06°28'33"	S 74°15'50" E	21.41'	380.41'	42.77'	42.75'
C84	06°28'33"	S 80°42'23" E	21.41'	380.41'	42.77'	42.75'
C85	03°08'38"	S 85°29'58" E	10.44'	380.41'	20.87'	20.87'
C86	18°13'53"	N 77°57'21" W	24.67'	155.00'	48.32'	48.11'
C87	38°12'01"	N 48°44'24" W	53.67'	155.00'	103.34'	101.44'
C88	04°29'46"	S 32°53'16" E	8.06'	205.00'	16.08'	16.08'
C89	11°28'42"	S 40°52'30" E	20.80'	205.00'	41.07'	41.00'
C90	11°28'42"	S 52°21'12" E	20.80'	205.00'	41.07'	41.00'
C91	11°28'42"	S 63°48'54" E	20.80'	205.00'	41.07'	41.00'
C92	11°28'42"	S 75°18'38" E	20.80'	205.00'	41.07'	41.00'
C93	06°18'30"	S 65°12'12" E	14.88'	205.00'	28.73'	28.70'
C94	13°10'21"	N 82°46'16" W	31.78'	275.00'	63.22'	63.08'
C95	18°50'21"	N 67°45'58" W	40.70'	275.00'	80.82'	80.53'
C96	12°37'28"	N 73°01'28" W	22.68'	205.00'	45.17'	45.08'
C97	04°11'33"	N 64°36'57" W	7.50'	205.00'	15.00'	15.00'
C98	05°21'42"	S 68°12'02" E	15.47'	330.41'	30.92'	30.91'
C99	07°00'05"	S 71°47'58" E	22.63'	330.41'	45.18'	45.15'
C100	07°48'18"	S 78°57'37" E	22.58'	330.41'	45.11'	45.07'
C101	03°30'38"	S 85°17'38" E	10.13'	330.41'	20.25'	20.24'
C102	14°06'36"	N 67°26'20" W	26.34'	205.00'	50.43'	50.30'
C103	20°58'13"	N 48°54'25" W	37.88'	205.00'	74.91'	74.48'
C104	06°58'08"	N 38°08'42" E	19.84'	250.00'	39.21'	39.17'
C105	16°58'48"	N 25°11'43" E	37.24'	250.00'	73.95'	73.68'
C106	08°07'06"	N 12°08'48" E	19.94'	250.00'	39.79'	39.74'
C107	07°19'05"	S 11°15'48" W	2.88'	45.00'	5.75'	5.74'
C108	47°25'38"	S 38°38'05" W	18.77'	45.00'	37.25'	36.19'
C109	00°01'22"	S 67°03'37" E	0.07'	330.41'	0.13'	0.13'
C110	12°38'10"	N 80°46'13" W	22.64'	205.00'	45.08'	45.00'
C111	13°52'58"	S 44°13'34" E	28.83'	220.41'	53.40'	53.27'
C112	12°23'58"	S 57°22'01" E	23.94'	220.41'	47.70'	47.60'
C113	78°01'45"	S 48°32'19" E	135.81'	167.62'	228.28'	211.04'
C114	23°55'02"	S 41°37'38" W	21.18'	100.00'	41.74'	41.44'
C115	36°24'53"	S 71°47'37" W	378.71'	1154.39'	733.88'	721.39'
C116	40'16'30"	S 69°52'47" W	438.88'	1188.00'	842.81'	825.57'
C117	24°10'11"	S 61°46'38" W	218.24'	1024.00'	431.97'	428.77'
C118	81°08'28"	N 60°32'04" W	101.95'	100.00'	188.01'	142.78'
C119	20°01'31"	N 28°38'14" E	90.93'	515.00'	180.00'	178.08'
C120	56°08'38"	S 48°58'14" E	83.15'	167.50'	170.03'	162.82'
C121	38°47'17"	S 40°33'14" E	80.98'	223.78'	155.40'	152.30'
C122	38°38'40"	N 13°53'19" E	146.41'	408.17'	281.04'	275.47'
C123	12°48'58"	N 12°21'00" W	44.63'	398.84'	88.88'	88.70'
C124	00°45'12"	S 23°58'14" E	5.48'	833.00'	10.95'	10.95'
C125	82°08'10"	S 55°24'58" E	132.78'	220.41'	238.03'	227.48'
C613	13°16'21"	N 21°37'02" W	128.82'	1080.00'	292.50'	291.83'
C614	16°58'30"	N 01°08'34" E	38.05'	255.00'	75.55'	75.27'
C615	17°17'25"	N 82°13'53" E	178.81'	1154.39'	733.88'	721.39'
C616	85°32'48"	N 68°30'13" W	27.71'	25.00'	41.84'	37.12'
C617	24°03'22"	N 51°31'42" E	90.55'	425.00'	178.44'	177.13'
C618	34°11'02"	N 72°15'58" W	50.74'	185.00'	98.44'	96.99'
C619	58°43'04"	S 58°58'58" E	177.20'	315.00'	322.82'	308.88'
C620	56°25'55"	N 58°51'20" W	24.14'	45.00'	44.32'	42.55'
C621	22°28'18"	S 78°50'09" E	97.42'	480.41'	182.34'	181.11'

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C822	02°04'48"	S 83°33'35" E	6.91'	380.41'	13.81'	13.81'
C823	13°28'44"	N 68°16'03" W	18.34'	155.00'	38.51'	38.42'
C824	03°18'18"	N 77°40'34" W	5.94'	205.00'	11.88'	11.88'
C825	22°51'58"	N 12°05'11" E	35.39'	175.00'	68.84'	68.38'
C826	88°17'42"	N 43°28'38" W	24.27'	25.00'	38.83'	34.83'
C827	30°57'51"	S 70°15'13" W	45.70'	165.00'	89.17'	88.08'
C828	31°23'23"	S 38°04'38" W	46.38'	165.00'	90.40'	89.27'
C829	14°48'15"	N 08°58'00" W	60.28'	463.48'	118.89'	118.58'
C830	18°07'28"	N 80°28'18" E	194.47'	1154.39'	733.88'	721.39'
C831	22°28'18"	S 75°50'08" E	75.57'	380.41'	148.20'	148.24'
C832	5					



VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1927) originated at the Albuquerque Control Survey Monument "BH-40".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the month of April 2005.
- Documents used in the preparation of this survey are as follows:
 - Plat entitled "PLAT OF SUNDORO SUBDIVISION UNIT 4, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 2004", filed August 19, 2004, in Volume 2004C, Folio 253, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF SUNDORO SUBDIVISION UNIT 2, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 2004", filed August 19, 2004, in Volume 2004C, Folio 251, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF SUNDORO SUBDIVISION UNIT 1, TOWN OF ATRISCO GRANT, PROJECTED SECTIONS 8, 9, 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 2004", filed August 19, 2004 in Volume 2004C, Folio 250, records of Bernalillo County, New Mexico.
 - Document entitled "LADERA DAM 7 EASEMENT A.M.A.F.C.A. LD-2-1F", filed September 28, 1976 in Book Misc. 498, Pages 648-683, records of Bernalillo County, New Mexico.
- City of Albuquerque Zone Atlas Pages: J-8-Z & J-9-Z
- U.C.L.S. Log Number 2005181992
- Total number of existing lots: 6
- Total number of new lots created: 6
- Total mileage of full width streets created: 0 miles
- Gross subdivision acreage: 1.0881 acres
- This property is currently zoned "SU-2/R-LT" per the City of Albuquerque Zone Atlas, dated February 1, 2005.

TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the following property:
 LOTS 255 THRU 260: 100805848339310101 W
Wendy Land Development Co Inc
Monroe Johnson 5/12/05
 Bernalillo County Treasurer's Office Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of :

- PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF:

The purpose of this plat is to reconfigure lot lines as shown hereon.

LOTS 255-A THRU 260-A
SUNDORO SUBDIVISION UNIT 4

(BEING A REPLAT OF LOTS 255 THRU 260, SUNDORO SUBDIVISION UNIT 4)

WITHIN
 THE TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2005

PROJECT NUMBER: 1002935
 Application Number: 05DRB-00735

FLAT APPROVAL

Utility Approvals:

<i>Lead D. Mark</i> PNM Gas & Electric Services	<u>5-06-05</u> Date
<i>Sonia Jones</i> QWest Telecommunications	<u>05-09-05</u> Date
<i>Kenneth Baker</i> Comcast	<u>5-9-05</u> Date

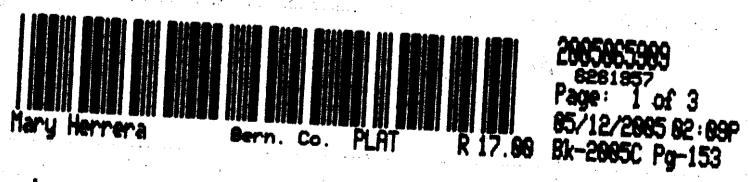
City Approvals:

<i>John B. Hunt</i> City Surveyor	<u>5-3-05</u> Date
<i>N/A</i> Real Property Division	<u>5/11/05</u> Date
<i>N/A</i> Environmental Health Department	<u>5/11/05</u> Date
<i>John D. ...</i> Traffic Engineering, Transportation Division	<u>5-8-05</u> Date
<i>Roger A. ...</i> Utilities Department	<u>5-11-05</u> Date
<i>Christina Santoval</i> Parks and Recreation Department	<u>5/11/05</u> Date
<i>Martin W. Eckert</i> AMA/CA	<u>5-9-05</u> Date
<i>Bradley D. Bigham</i> City Engineer	<u>5/11/05</u> Date
<i>Mark ...</i> DRB Chairperson, Planning Department	<u>5/11/05</u> Date

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 Russ P. Hugg
 NMPS No. 9750
 April 27, 2005



LOTS 255-A THRU 260-A
SUNDORO SUBDIVISION UNIT 4
(BEING A REPLAT OF LOTS 255 THRU 260, SUNDORO SUBDIVISION UNIT 4)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

APRIL, 2005

LEGAL DESCRIPTION

Lots 255 thru 260, Sundoro Subdivision Unit 4 within the Town of Atrisco Grant in projected Sections 16 and 17, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat of said Subdivision filed in the Office of the County Clerk of Bernalillo County, New Mexico, on August 19, 2004, in Volume 2004C, Folio 253.

Said parcel contains 1.0881 acres, more or less.

FREE CONSENT

SURVEYED and REPLATTED and now comprising LOTS 255-A, THRU 260-A, SUNDORO SUBDIVISION UNIT 4 (BEING A REPLAT OF LOTS 255, THRU 260, SUNDORO SUBDIVISION UNIT 4) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to the elimination of lot lines as shown hereon. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER: LOTS 255 THRU 260
WESTLAND DEVELOPMENT CO., INC.
401 6605 BLVD. NW.
PULTE HOMES of NEW MEXICO, INC.

Garret Price
By VICE PRESIDENT, PULTE HOMES
5/3/2005

ACKNOWLEDGEMENT

STATE OF
COUNTY OF

This instrument was acknowledged before me on this 3 day
of May, 2005, by Garret Price, vice President of Pulte Homes

Stephanie L. Stratton
Notary Public



OFFICIAL SEAL
STEPHANIE L. STRATTON
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 6-24-07

My Commission expires: 10-24-07

2885965989
6551867
Page: 2 of 3
05/12/2005 02:08P
Bk-2885C Pg-153
Mary Herrera Bern. Co. PLRT R 17.00



LOTS 255-A THRU 260-A SUNDORO SUBDIVISION UNIT 4

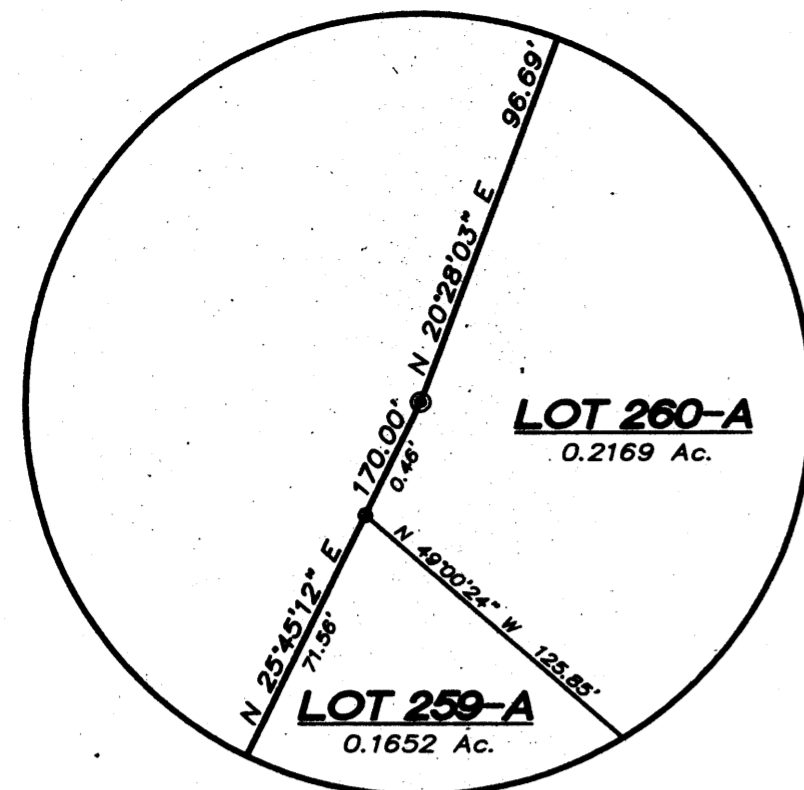
(BEING A REPLAT OF LOTS 255 THRU 260, SUNDORO SUBDIVISION UNIT 4)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

APRIL, 2005



Albuquerque Control Survey Monument
"BH-40"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1492346.53
X=352790.66
G-C=0.99967105
Delta Alpha=-00'16"59"
Elevation=5305.43 (NAVD29)
Tie=N 27°08'41" E, 1768.25



DETAIL 'A'
Not To Scale

SEE DETAIL 'A'
THIS SHEET

CURVE TABLE

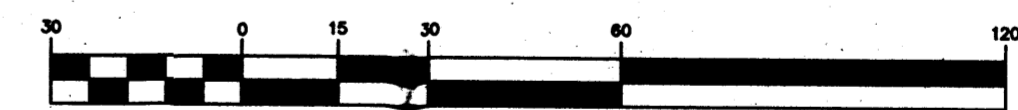
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	131.69'	325.00'	66.76'	130.79'	S37°21'42"W	231°2'59"
C2	122.46'	325.00'	61.96'	121.73'	S14°57'33"W	213°5'18"
C3	117.44'	1469.00'	58.75'	117.41'	S78°24'00"W	43°4'50"
C4	45.25'	325.00'	22.62'	45.21'	S44°58'53"W	7°58'36"
C5	51.50'	325.00'	25.81'	51.45'	S36°27'12"W	9°04'47"
C6	34.94'	325.00'	17.49'	34.93'	S28°50'00"W	6°09'36"
C7	34.14'	325.00'	17.08'	34.12'	S22°44'39"W	6°01'06"
C8	41.25'	325.00'	20.65'	41.23'	S16°05'55"W	7°16'22"
C9	47.06'	325.00'	23.57'	47.02'	S08°18'49"W	8°17'50"

TRACT 1-2
SUNDORO SUBDIVISION UNIT 1
(Filed 8/19/2004, in Vol. 250, Folio 250)

LADERA DAM 7 EASEMENT
A.M.A.F.C.A. LD-2-1F
(Filed 9/28/1976, in Book Misc. 498, Pages 648-683)

PACAYA DRIVE NW.
50' R/W

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



SURVOTEK, INC.

Consulting Surveyors
6904 Valley View Drive N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377 Phone: 505-897-3366

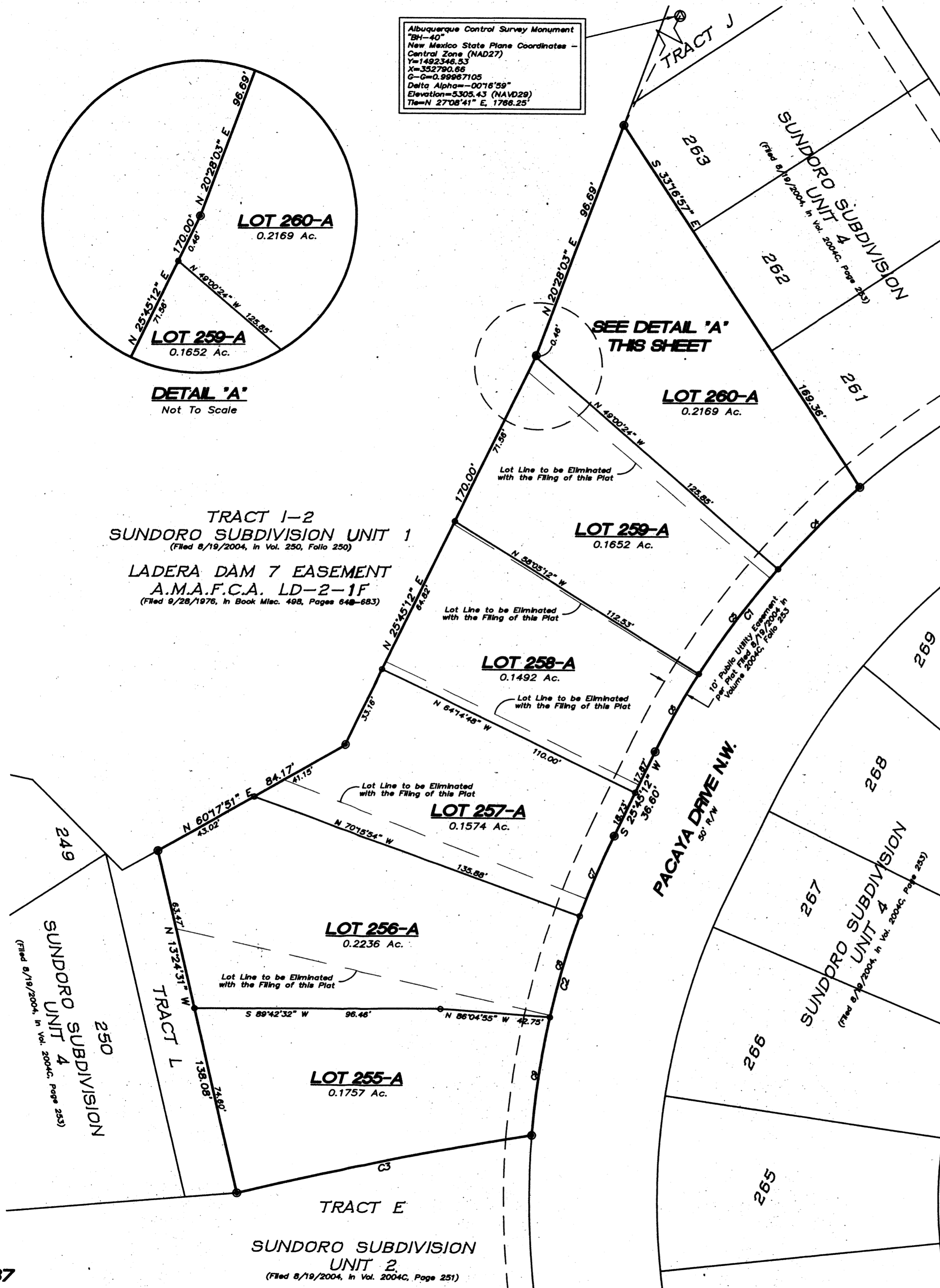
050487

SHEET 3 OF 3

TRACT E
SUNDORO SUBDIVISION
UNIT 2
(Filed 8/19/2004, in Vol. 2004C, Page 251)

TRACT L
SUNDORO SUBDIVISION
UNIT 4
(Filed 8/19/2004, in Vol. 2004C, Page 253)

TRACT J
SUNDORO SUBDIVISION
UNIT 4
(Filed 8/19/2004, in Vol. 2004C, Page 253)





VICINITY MAP
Not To Scale

GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1927) originated at the Albuquerque Control Survey Monument "BH-40".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. Field surveys were performed during the month of April 2005.
8. Documents used in the preparation of this survey are as follows:
 - A. Plat entitled "PLAT OF SUNDORO SUBDIVISION UNIT 4, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 2004", filed August 19, 2004, in Volume 2004C, Folio 253, records of Bernalillo County, New Mexico.
 - B. Plat entitled "PLAT OF SUNDORO SUBDIVISION UNIT 2, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 2004", filed August 19, 2004, in Volume 2004C, Folio 251, records of Bernalillo County, New Mexico.
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 - D. Document entitled "LADERA DAM 7 EASEMENT A.M.A.F.C.A. LD-2-1F", filed September 28, 1976 in Book Misc. 498, Pages 648-683, records of Bernalillo County, New Mexico.
9. City of Albuquerque Zone Atlas Pages: J-8-Z & J-9-Z
10. U.C.L.S. Log Number 2005181992
11. Total number of existing lots: 6
12. Total number of new lots created: 6
13. Total mileage of full width streets created: 0 miles
14. Gross subdivision acreage: 1.0881 acres
15. This property is currently zoned "SU-2/R-LT" per the City of Albuquerque Zone Atlas, dated February 1, 2005.

TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the following property:
LOTS 255 THRU 260: 100805848339310101

Bernalillo County Treasurer's Office _____ Date _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of :

- A. PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- C. QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- D. Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF:

The purpose of this plat is to reconfigure lot lines as shown hereon.

LOTS 255-A THRU 260-A
SUNDORO SUBDIVISION UNIT 4
(BEING A REPLAT OF LOTS 255 THRU 260, SUNDORO SUBDIVISION UNIT 4)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

APRIL, 2005

PRELIMINARY PLAT
APPROVED BY DRB
ON 5/11/05

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Gas & Electric Services	_____	Date	_____
QWest Telecommunications	_____	Date	_____
Comcast	_____	Date	_____
City Approvals:	_____	Date	5/3/05
City Surveyor	_____	Date	_____
Real Property Division	_____	Date	_____
Environmental Health Department	_____	Date	_____
Traffic Engineering, Transportation Division	_____	Date	_____
Utilities Development	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMAFCA	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.



Russ P. Hugg
NMPS No. 9750
April 27, 2005

SURV TEK, INC.

Consulting Surveyors
9364 Valley View Drive N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366 Fax: 505-897-3377

LOTS 255-A THRU 260-A
SUNDORO SUBDIVISION UNIT 4
(BEING A REPLAT OF LOTS 255 THRU 260, SUNDORO SUBDIVISION UNIT 4)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2005

LEGAL DESCRIPTION

Lots 255 thru 260, Sundoro Subdivision Unit 4 within the Town of Atrisco Grant in projected Sections 16 and 17, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat of said Subdivision filed in the Office of the County Clerk of Bernalillo County, New Mexico, on August 19, 2004, in Volume 2004C, Folio 253.

Said parcel contains 1.0881 acres, more or less.

FREE CONSENT

SURVEYED and REPLATTED and now comprising LOTS 255-A, THRU 260-A, SUNDORO SUBDIVISION UNIT 4 (BEING A REPLAT OF LOTS 255, THRU 260, SUNDORO SUBDIVISION UNIT 4) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to the elimination of lot lines as shown hereon. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER: LOTS 255 THRU 260
~~WESTLAND DEVELOPMENT CO., INC.~~
~~401 6605 BLVD. NW.~~
PULTE HOMES of NEW MEXICO, INC.

Garret Price
By VICE PRESIDENT, PULTE HOMES
5/3/2005

ACKNOWLEDGEMENT

STATE OF SS
COUNTY OF

This instrument was acknowledged before me on this 3 day
of May, 2005, by Garret Price, vice President of Pulte Homes

Stephanie L. Stratton
Notary Public



OFFICIAL SEAL
STEPHANIE L. STRATTON
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 6-24-07

My Commission expires: 10-24-07



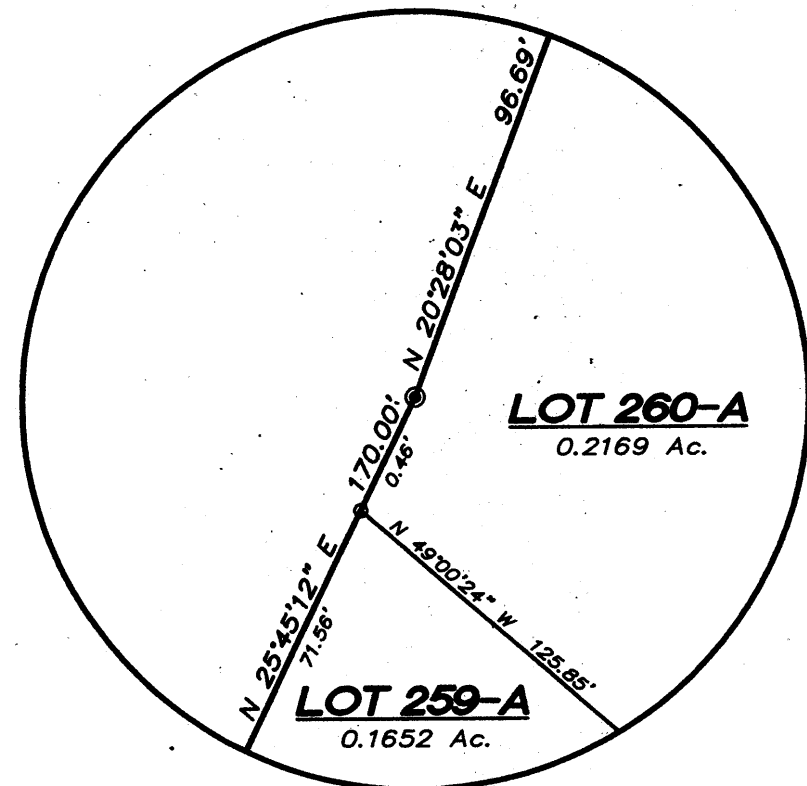
LOTS 255-A THRU 260-A
SUNDORO SUBDIVISION UNIT 4

(BEING A REPLAT OF LOTS 255 THRU 260, SUNDORO SUBDIVISION UNIT 4)

WITHIN
 THE TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

APRIL, 2005

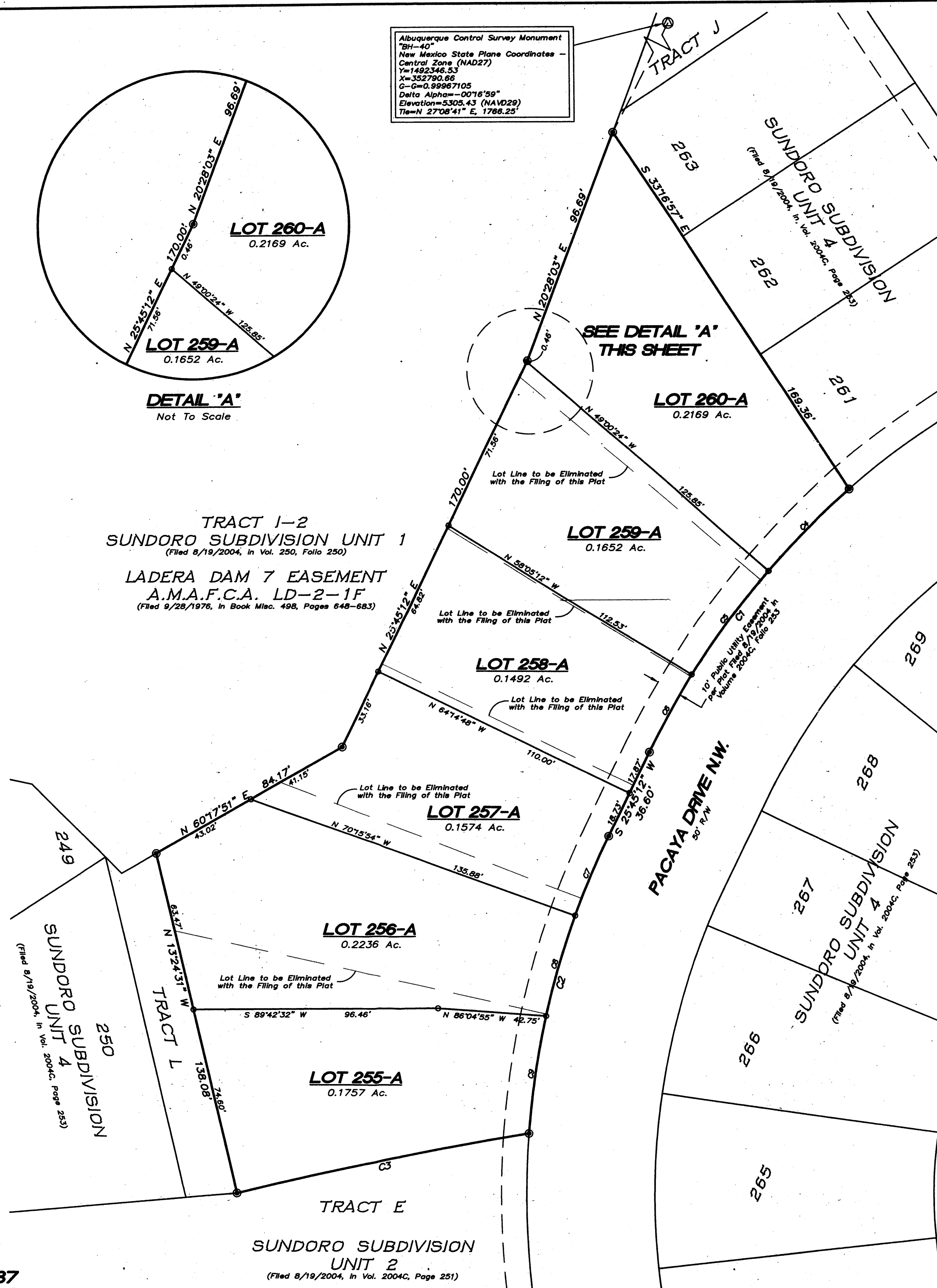
Albuquerque Control Survey Monument
 "BH-40"
 New Mexico State Plane Coordinates -
 Central Zone (NAD27)
 X=1492346.53
 Y=352790.66
 G-G=0.99967105
 Delta: Alpha=-0°16'59"
 Elevation=5305.43 (NAVD29)
 Tilt=N 27°08'41" E, 1786.25'



DETAIL 'A'
Not To Scale

TRACT I-2
 SUNDORO SUBDIVISION UNIT 1
 (Filed 8/19/2004, in Vol. 250, Folio 250)

LADERA DAM 7 EASEMENT
 A.M.A.F.C.A. LD-2-1F
 (Filed 9/28/1976, in Book Misc. 498, Pages 648-683)

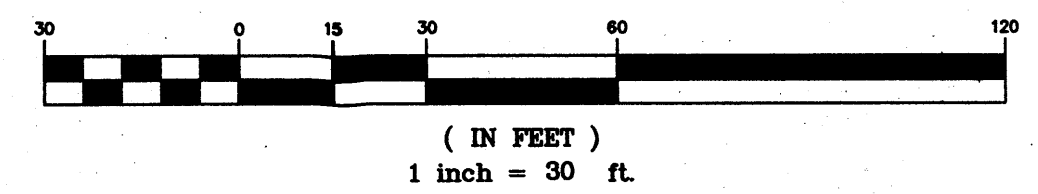


CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	131.69'	325.00'	66.76'	130.79'	S37°21'42"W	23°12'59"
C2	122.46'	325.00'	61.96'	121.73'	S14°57'33"W	21°35'18"
C3	117.44'	1469.00'	58.75'	117.41'	S78°24'00"W	4°34'50"
C4	45.25'	325.00'	22.66'	45.21'	S44°58'53"W	7°58'36"
C5	51.50'	325.00'	25.81'	51.45'	S36°27'12"W	9°04'47"
C6	34.94'	325.00'	17.49'	34.93'	S28°50'00"W	6°09'36"
C7	34.14'	325.00'	17.08'	34.12'	S22°44'39"W	6°01'06"
C8	41.25'	325.00'	20.65'	41.23'	S16°05'55"W	7°16'22"
C9	47.06'	325.00'	23.57'	47.02'	S08°18'49"W	8°17'50"



GRAPHIC SCALE



SURV TEK, INC.

Consulting Surveyors
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