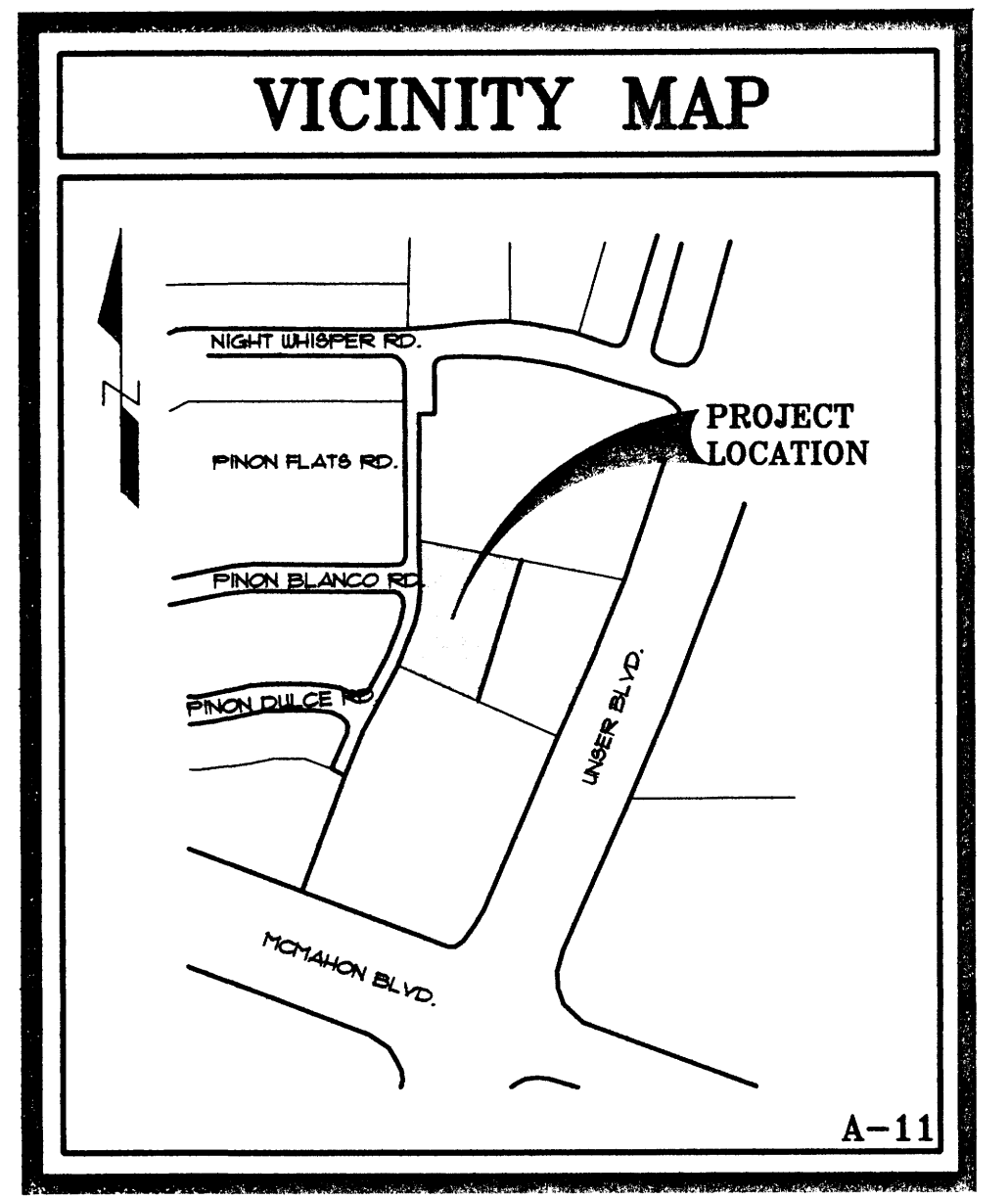



BUILDING CRITERIA
LEGAL DESCRIPTION:
 TRACTS F-1 & F-2 LANDS OF ZOLINKUNATH, TRES ESQUINAS, LLC,
 AND CURB INC. CITY OF ALBUQUERQUE, BERNALILLO COUNTY
ZONING CLASSIFICATION: EXISTING: SU-1 MIXED USE AND C-1
 PROPOSED: SU-1 FOR C-1
ZONING ATLAS MAP: A-11-Z
CASE HISTORY: 1000936, 1000893, Z-91-119, ZA-99-118,
 DRB-92-423

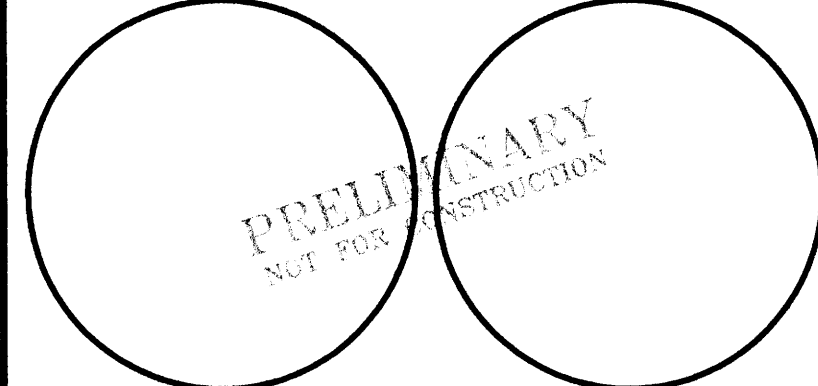


CRITERIA FOR EACH LOT
 DESIGN CRITERIA FOR ALL LOTS DESCRIBED ON THIS SITE
 DEVELOPMENT PLAN SHALL FOLLOW THE SAME DESIGN CRITERIA
 OUTLINED IN THE CURRENT EPC APPROVED SITE PLAN, THE UNSER
 MCMAHON VILLAGE CENTER DESIGN PARAMETERS AND AS FOLLOWS:
 CROSS ACCESS AGREEMENTS ARE PROVIDED FOR ALL LOTS
 MAXIMUM BUILDING HEIGHT: 26'-0"
 MINIMUM BUILDING SETBACK: 10'-0"
 MAXIMUM DWELLING UNITS: NA
 MAXIMUM FLOOR AREA RATIO: 2

Resubmitted

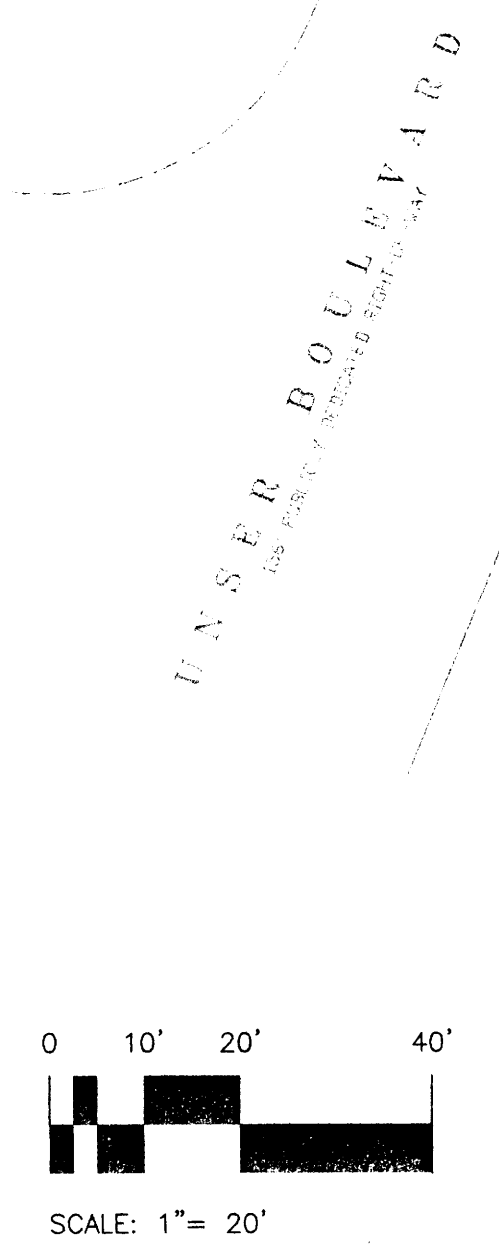
NORTH
SITE DEVELOPMENT
PLAN FOR SUBDIVISION
 DATE: SEPT 04, 2003 SCALE: 1" = 20'-0" (U.N.O)


CLAUDIO VIGIL ARCHITECTS
NORTH UNSER VET CLINIC
LINDA CONTOS AND JOHN HEIDRICH
 TRACTS F-1 & F-2
ALBUQUERQUE, NEW MEXICO

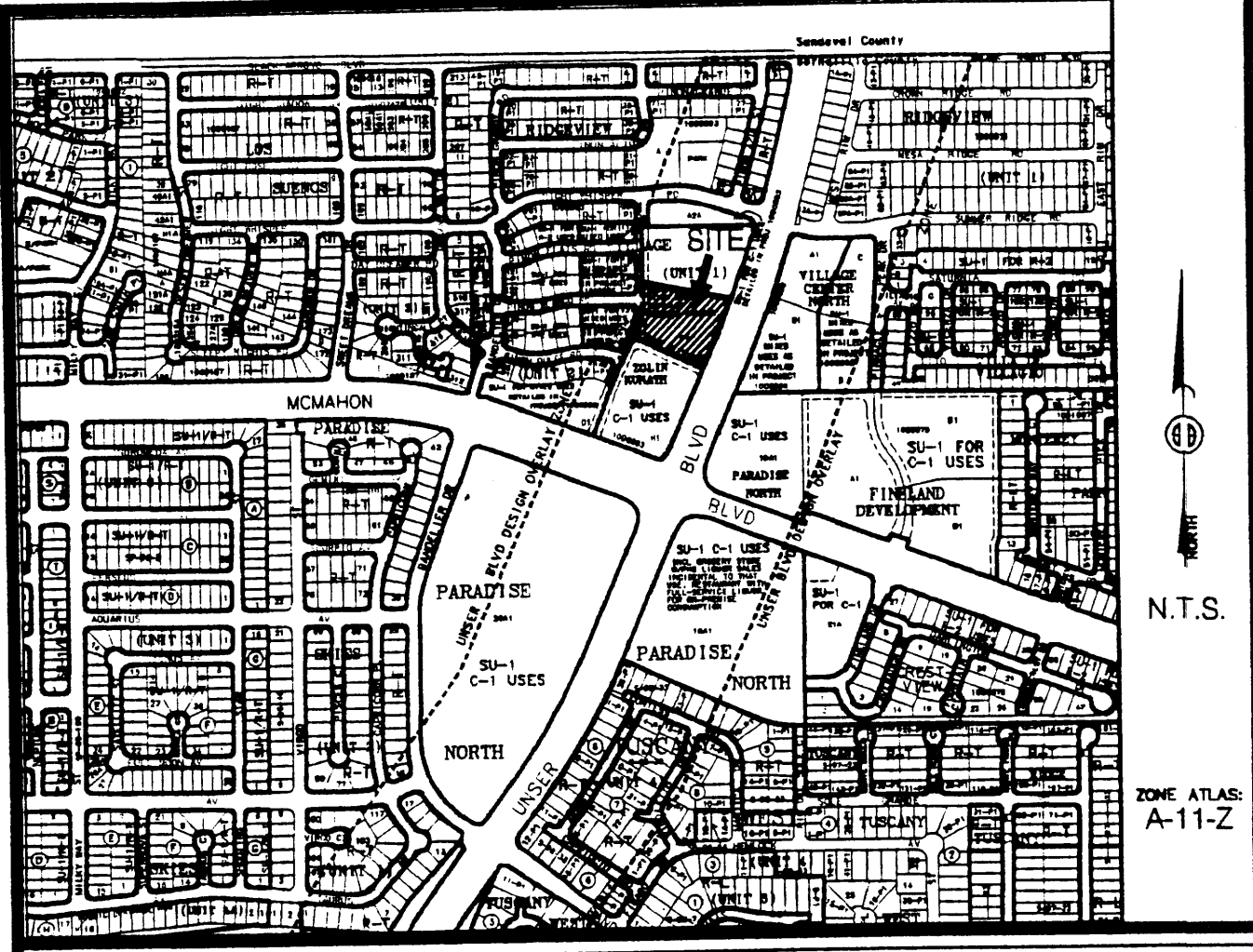

SHEET
SDP3
 PROJECT NUMBER
 03210

OWNERSHIP OF INSTRUMENTS OF SERVICE
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1801 Rio Grande NW, Albuquerque, NM 87104
 Phone: 505/842-1113 Fax: 505/842-1330



TALOS Lot # 2005-2235-04



Vicinity Map

PLAT OF TRACTS F-1-A & F-1-B LANDS OF ZOLIN/KUNATH, TRES ESQUINAS, LLC AND CURB, INC. PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M. TOWN OF ALAMEDA GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MAY 2005 SHEET 1 OF 2

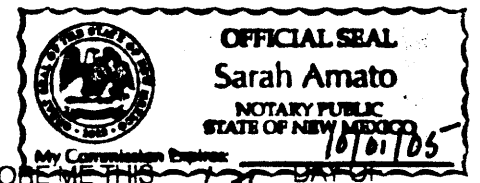
LEGAL DESCRIPTION

TRACT F-1 AND TRACT F-2 OF THE BULK LAND PLAT, LANDS OF ZOLIN / KUNATH, TRES ESQUINAS, LLC AND CURB, INC., AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 18, 2001 IN BOOK 2001C, PAGE 261.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE WITH WARRANTY COVENANTS AS SHOWN HEREON.

OWNER(S) SIGNATURE: Linda M. Contos DATE: July 4, 2005
OWNER(S) PRINT NAME: LINDA M. CONTOS
ADDRESS: 8414 FOURTH ST. NW, ALBUQUERQUE, NM 87114 TRACT:
ACKNOWLEDGMENT STATE OF NEW MEXICO) COUNTY OF BERNALILLO)
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS July 4, 2005. BY: LINDA M. CONTOS Sarah Amato NOTARY PUBLIC
MY COMMISSION EXPIRES: 10/01/05



DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO RECONFIGURE TWO (2) EXISTING TRACTS INTO TWO (2) NEW TRACTS AND TO GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND TO DEDICATE ADDITIONAL PUBLIC STREET RIGHT-OF-WAY AS SHOWN.

CITY APPROVALS: PROJECT NO.: 1002944 APPLICATION NO. 0502B-01214

CITY SURVEYOR: [Signature] 7/7/05
TRAFFIC ENGINEERING: [Signature] 8-29-05
PARKS & RECREATION DEPARTMENT: [Signature] 8/3/05
WATER UTILITIES DEVELOPMENT: [Signature] 8-3-05
A.M.A.F.C.A.: [Signature] 8/3/05
CITY ENGINEER: [Signature] 8/3/05
DRB CHAIRPERSON, PLANNING DEPARTMENT: [Signature] 8/29/05

SUBDIVISION DATA / NOTES

- 1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENT SANDBERN, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THE PLAT OF ZOLIN / KUNATH, TRES ESQUINAS, LLC AND CURB, INC., FILED IN BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 18, 2001 IN BOOK 2001C, PAGE 261.
6. GROSS AREA: 1.8859 ACRES
7. NUMBER OF EXISTING TRACTS: 2
8. NUMBER OF TRACTS CREATED: 2
9. THE 24' PRIVATE ACCESS EASEMENT AND THE 25' PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT ARE FOR THE BENEFIT AND USE, BY AND FOR THE OWNERS OF TRACT F-1-A AND TRACT F-1-B AND ARE TO BE MAINTAINED BY SAID OWNERS.
10. TRACTS F-1-A AND F-1-B ARE SUBJECT TO PRIVATE CROSS LOT DRAINAGE, SAID DRAINAGE IS TO BE MAINTAINED BY SAID OWNERS.

SURVEYOR'S CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

[Signature] Gary E. Gritsko DATE: June 6, 2005
New Mexico Professional Surveyor, 8686



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 998-0303 FAX: (505) 998-0306

T11N R2E SEC. 2

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
UPC#: 10110663504210514 10110663574110515
PROPERTY OWNER OF RECORD: H & C REAL ESTATE LLC
BERNALILLO COUNTY TREASURERS OFFICE: [Signature] 8/30/05

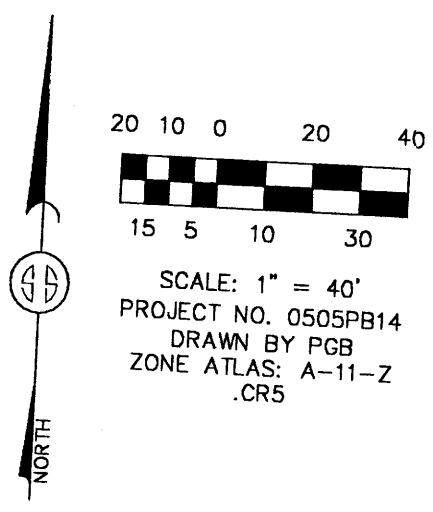
Barcode with text: 2005125559 6321699 Page: 1 of 2 08/30/2005 08:56A Bk-2005C Pg-291

**PLAT OF
TRACTS F-1-A & F-1-B
LANDS OF ZOLIN/KUNATH, TRES
ESQUINAS, LLC AND CURB, INC.
PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M.
TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 2005
SHEET 2 OF 2**

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	334.90'	32.53'	5°33'52"	N26°03'50"E	32.51'
C2	300.38'	122.52'	23°22'10"	N11°25'00"E	121.67'
C3	5651.58'	148.78'	1°30'30"	N21°29'24"E	148.78'
C4	473.08'	102.46'	12°24'31"	S17°28'41"W	102.26'
C5	25.00'	37.30'	85°29'10"	N23°11'00"W	33.94'
C6	325.38'	112.47'	19°48'19"	N09°39'25"E	111.91'
C7	25.00'	39.27'	89°59'23"	S69°04'43"W	35.35'

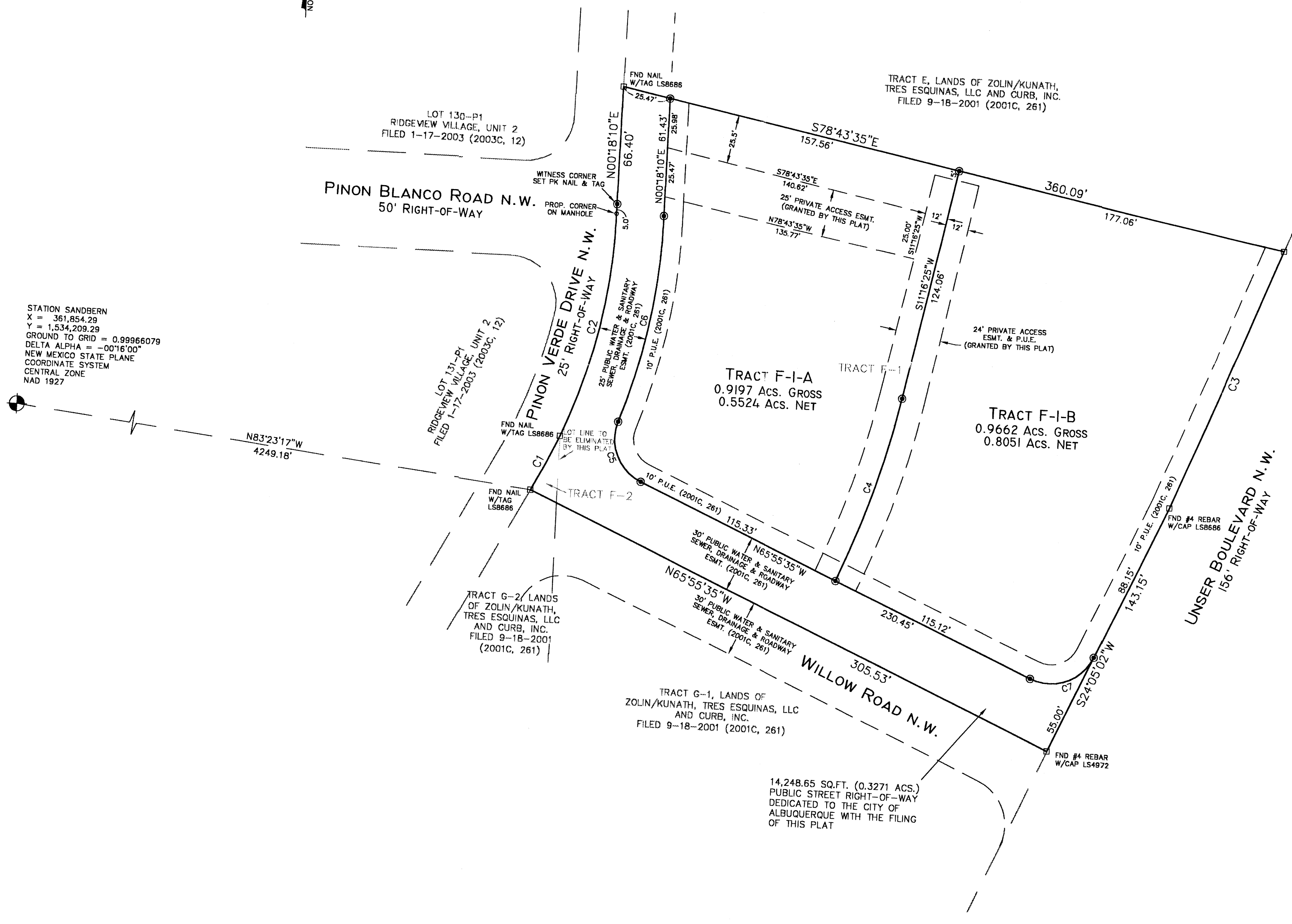
MONUMENT LEGEND

- ⊕ - FOUND CONTROL STATION AS NOTED
- ⊞ - FOUND MONUMENT AS NOTED
- ⊙ - SET 1/2" REBAR W/YELLOW PLASTIC CAP, STAMPED "GRITSKO LS8686" UNLESS OTHERWISE NOTED



DRB

**PRELIMINARY PLAT
APPROVED BY DRB
ON 8/3/05**



SURVEYS SOUTHWEST LTD.

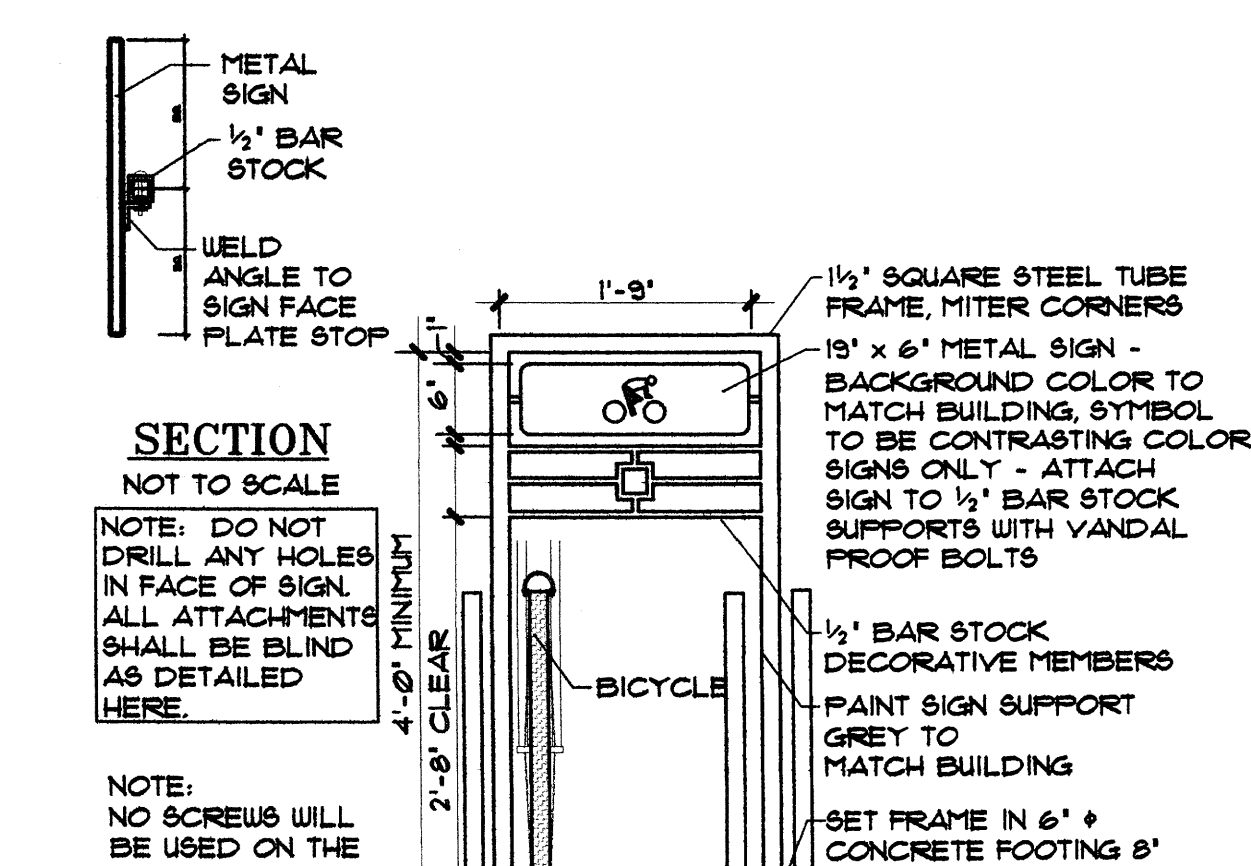
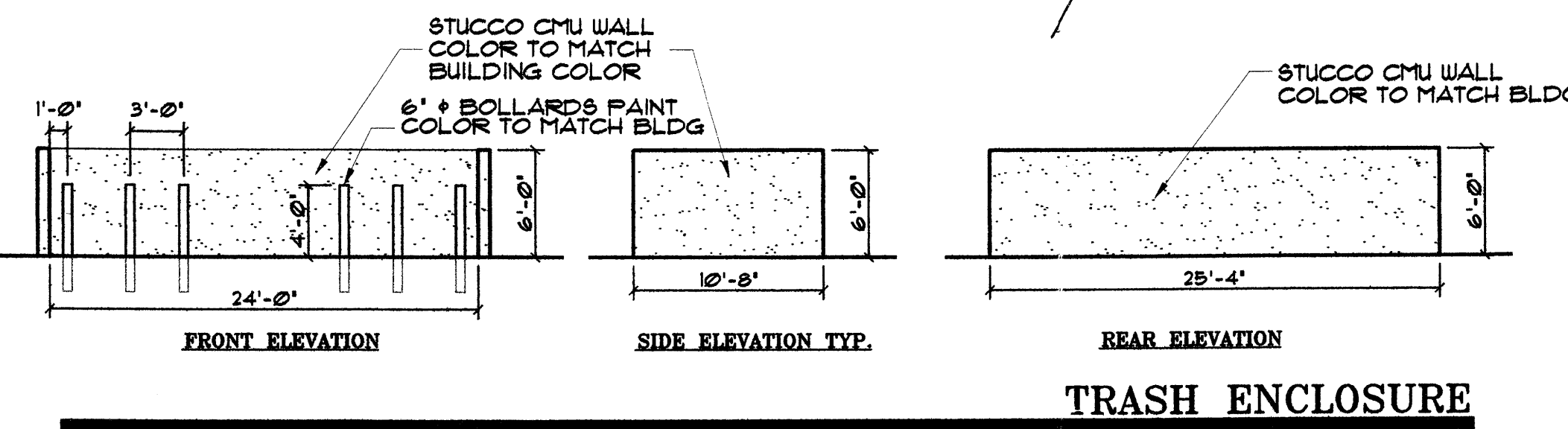
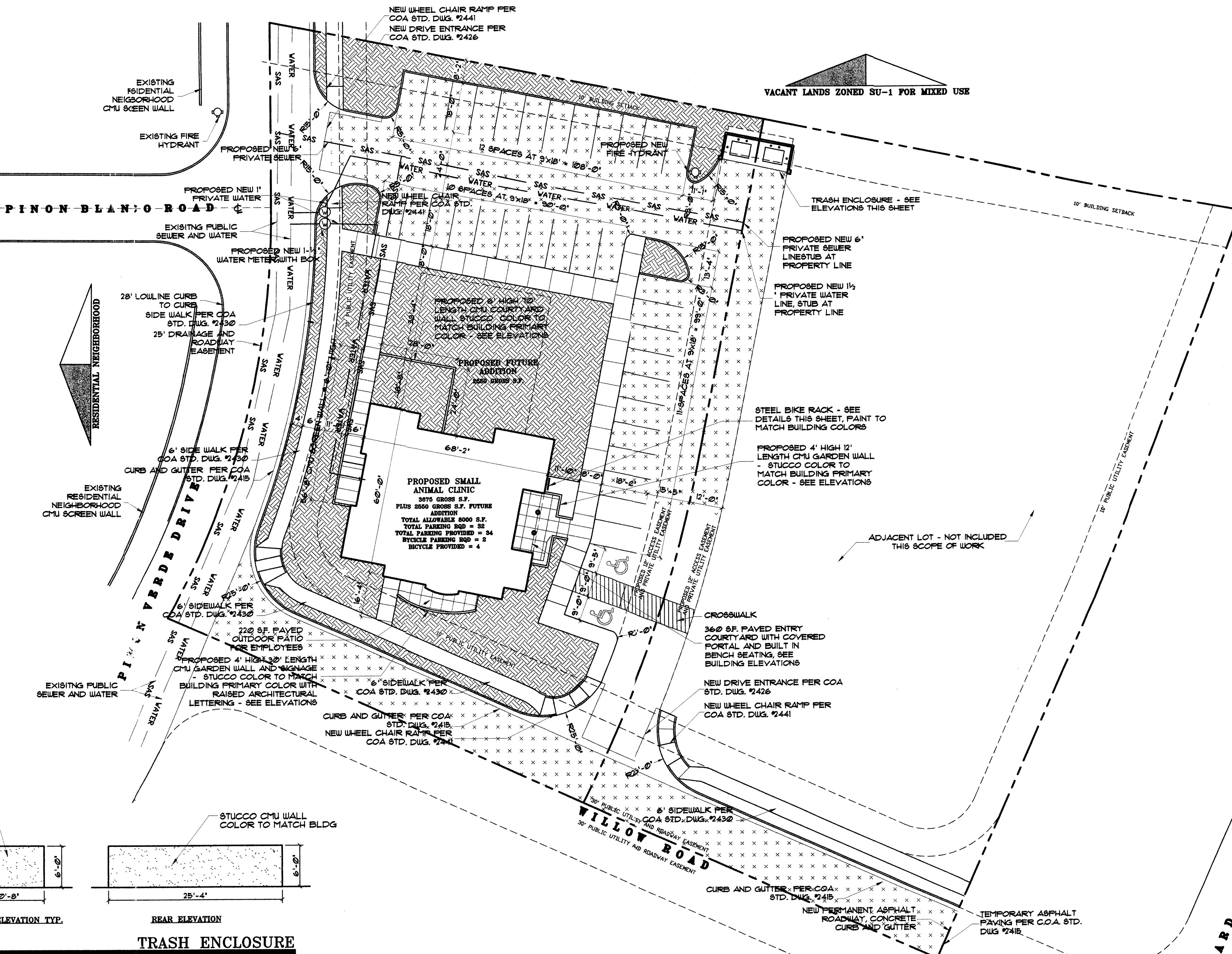
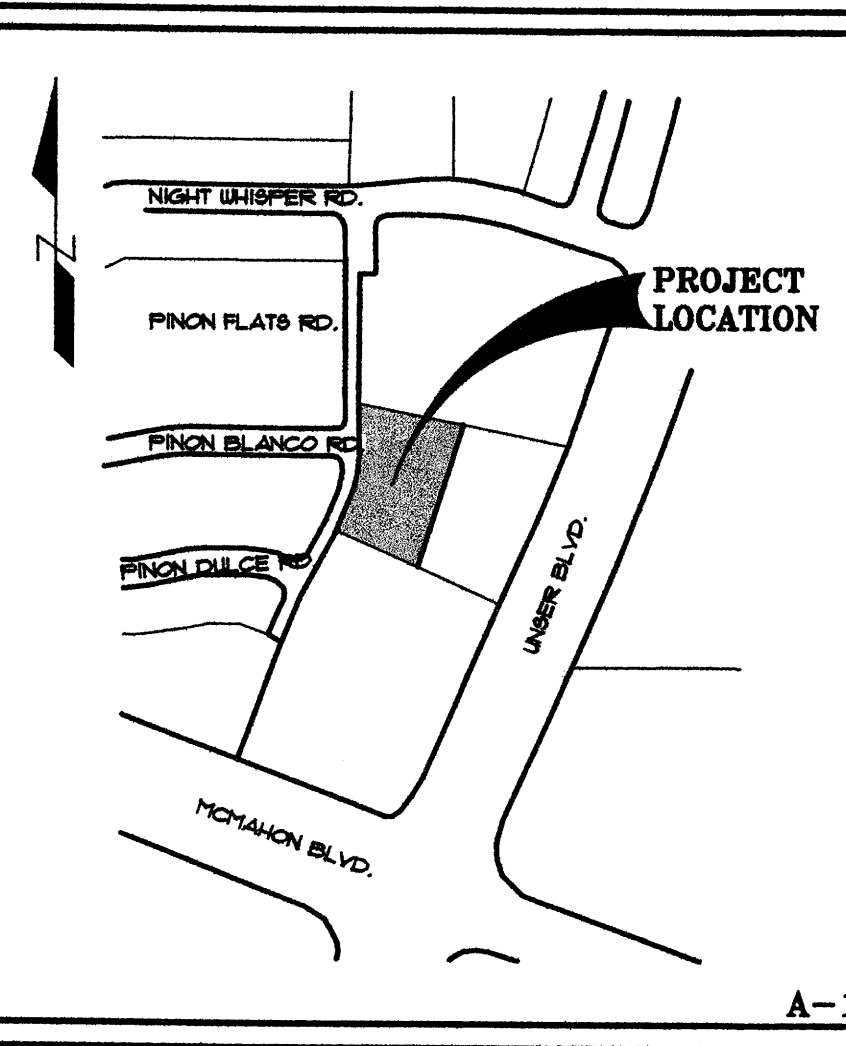
333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO
 87102

PHONE: (505) 998-0303
 FAX: (505) 998-0306

SITE PLAN LEGEND

- 9,631 SF INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA
- INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING, MINIMUM 2" OF ASPHALT OVER 4" BASE COURSE.
- INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS.
- PROPERTY LINE
- EASEMENT BOUNDARIES
- STORM DRAIN
- SAS SANITARY SEWER LINE
- WATER WATER SERVICE LINE

VICINITY MAP



SITE LIGHTING - ALL PROPOSED SITE LIGHTING SHALL BE BUILDING MOUNTED, INCANDESCENT OR COMPACT FLUORESCENT WALL sconces, AREA LIGHTING AT ENTRY AND PARKING TO BE BUILDING MOUNTED. SEE ELEVATIONS FOR LOCATIONS

AND PLANS CHECKING OFF:
 624-5611
 APPROVED/DISAPPROVED
 (HYDRAULIC) ONLY
 Signature: Michael Holton 4-26-05
 SIGNATURE & DATE

SIGNATURE BLOCK	
PROJECT NUMBER:	
APPLICATION NUMBER:	
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
Michael Holton	4-26-05
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
ENVIRONMENTAL HEALTH, IF NECESSARY	12/18/03

BUILDING CRITERIA

PROJECT: NORTH UNSER VET CLINIC
 LEGAL DESCRIPTION:
 TRACTS F-1 & F-2 LANDS OF ZOLINKUNATH, TRES ESQUINAS, LLC, AND CURE INC. CITY OF ALBUQUERQUE, BERNALILLO COUNTY
 ZONING CLASSIFICATION: EXISTING: SU-1 MIXED USE AND C-1 PROPOSED: SU-1 FOR C-1
 ZONING ATLAS MAP: A-11-Z
 CASE HISTORY: 1000236, 1000233, 7-9T-119, 2A-99-118, DRB-90-423
 BUILDING TYPE: SMALL ANIMAL CLINIC - B OCCUPANCY
 CONSTRUCTION TYPE: TYPE IIN
 GROSS SQUARE FOOTAGE: 6,220 SF including addition
 NET LEASABLE SQUARE FOOTAGE: 5,281 SF
 OCCUPANCY GROUP: GROUP B OCCUPANCY
 REQUIRED PARKING: 1 BIKE FOR EVERY 20 CAR
 PROVIDED PARKING: 31 STALLS : 3 ACCESSIBLE
 TOTAL LOT AREA: LOT 2 40,000 SQUARE FEET, 92 ACRES
 NET LOT AREA: 33,269 SQUARE FEET
 TOTAL PARKING/PAVED AREA: 14,500 SQUARE FEET
 TOTAL LANDSCAPE AREA REQUIRED: 5,000 SF.
 TOTAL LANDSCAPE AREA PROVIDED: 11,300 SF.
 LANDSCAPE TO PARKING AREA RATIO: .77 : 1 OF TR

DEVELOPMENT PLAN FOR BUILDING PERMIT
 DATE: SEPT 04, 2003 SCALE: 1" = 20'-0" (U.N.O.)

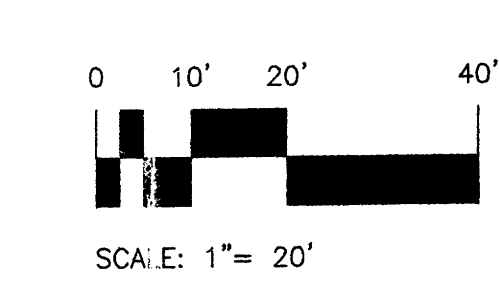
CLAUDIO VIGIL ARCHITECTS

NORTH UNSER VET CLINIC
 LINDA CONTOS AND JOHN HEIDRICH
 TRACTS F-1 & F-2
 ALBUQUERQUE, NEW MEXICO

SHEET SDP1
 PROJECT NUMBER 03210

OWNERSHIP OF INSTRUMENTS OF SERVICE
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 Phone: 505/842-1113 Fax: 505/842-1330



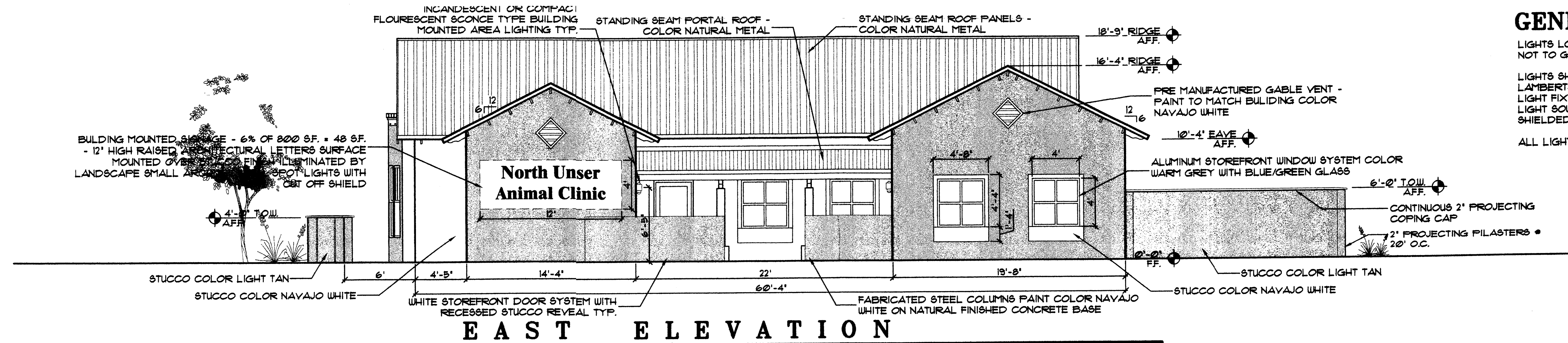
P:\2003\03210 - North Unser Animal Clinic\VPB\wp\wp\04_26_05.dwg 4/26/2005 2:12:00 PM

GENERAL NOTES

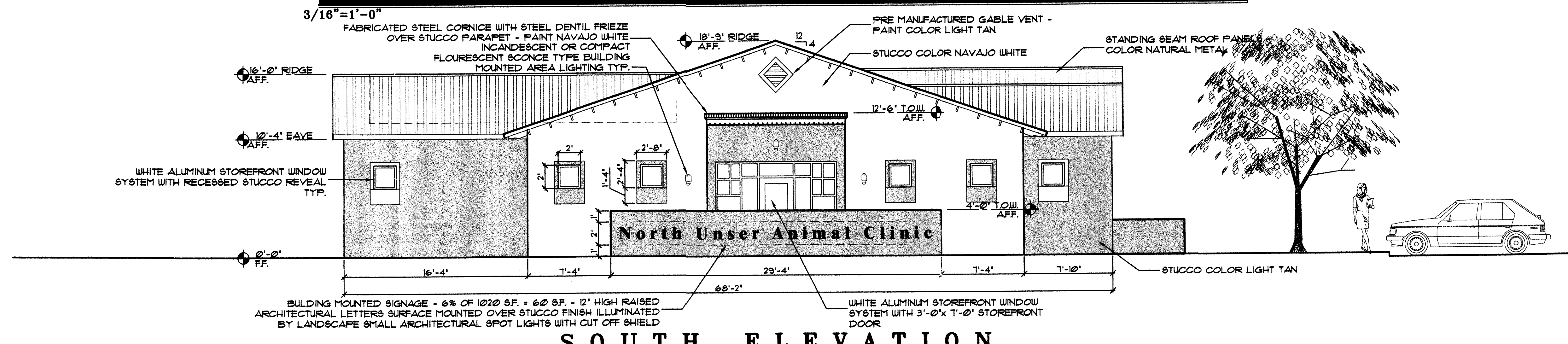
LIGHTS LOCATED ON THE SITE AND THE BUILDING SHALL BE LOCATED SO AS NOT TO GLARE ON TO ADJACENT SITES.

LIGHTS SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT LAMBERTS. LIGHT SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER, AND SHALL BE SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.

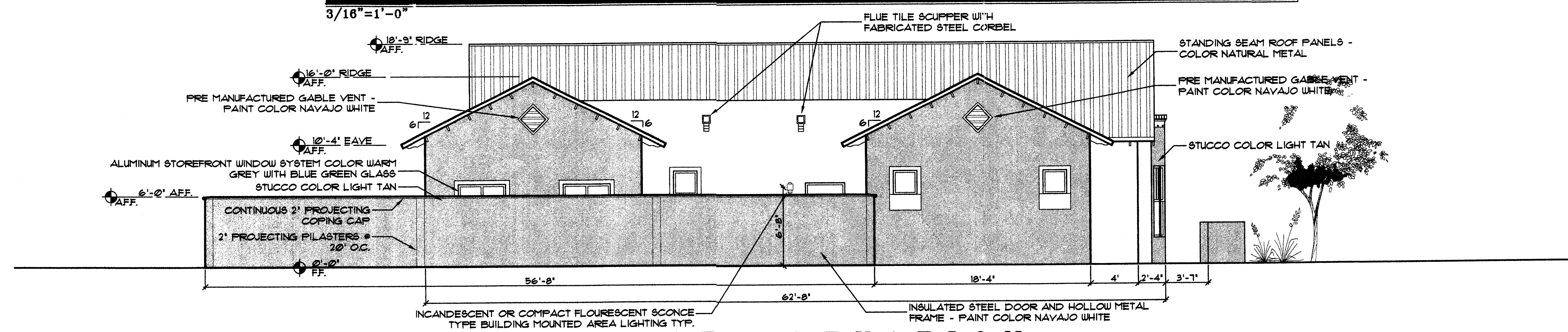
ALL LIGHTING TO COMPLY WITH THE NIGHT SKY PROTECTION ACT.



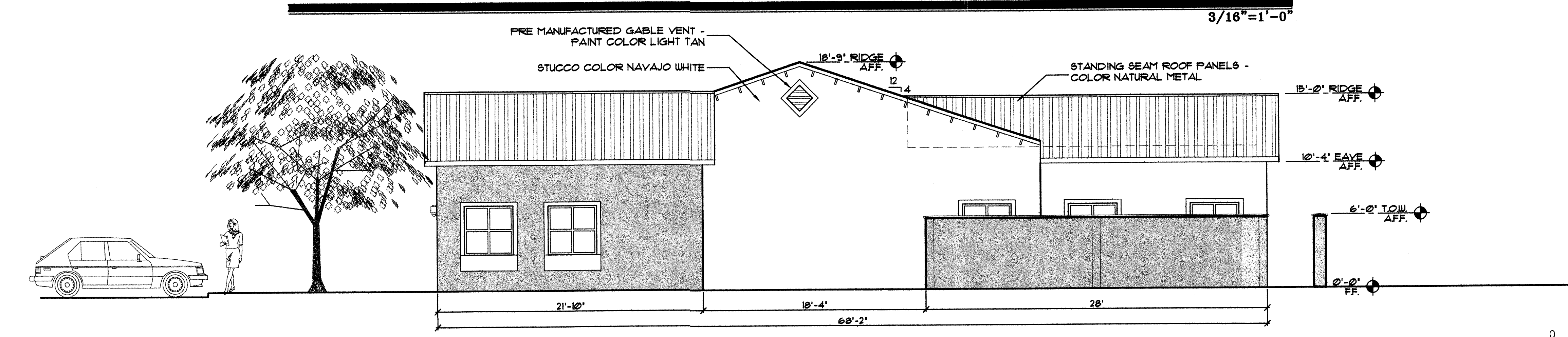
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

NORTH

EXTERIOR BUILDING ELEVATIONS
 DATE: SEPT 04, 2003 SCALE: 3/16"=1'-0" (U.N.O)

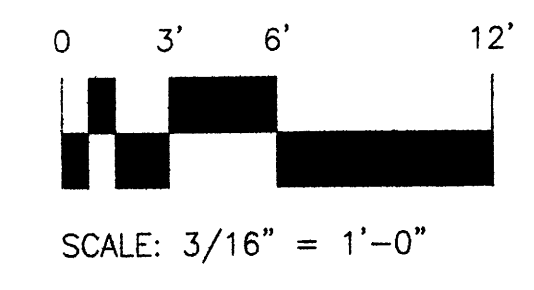
CLAUDIO VIGIL ARCHITECTS

NORTH UNSER VET CLINIC
 LINDA CONTOS AND JOHN HEIDRICH
 TRACTS F-1 & F-2
 ALBUQUERQUE, NEW MEXICO

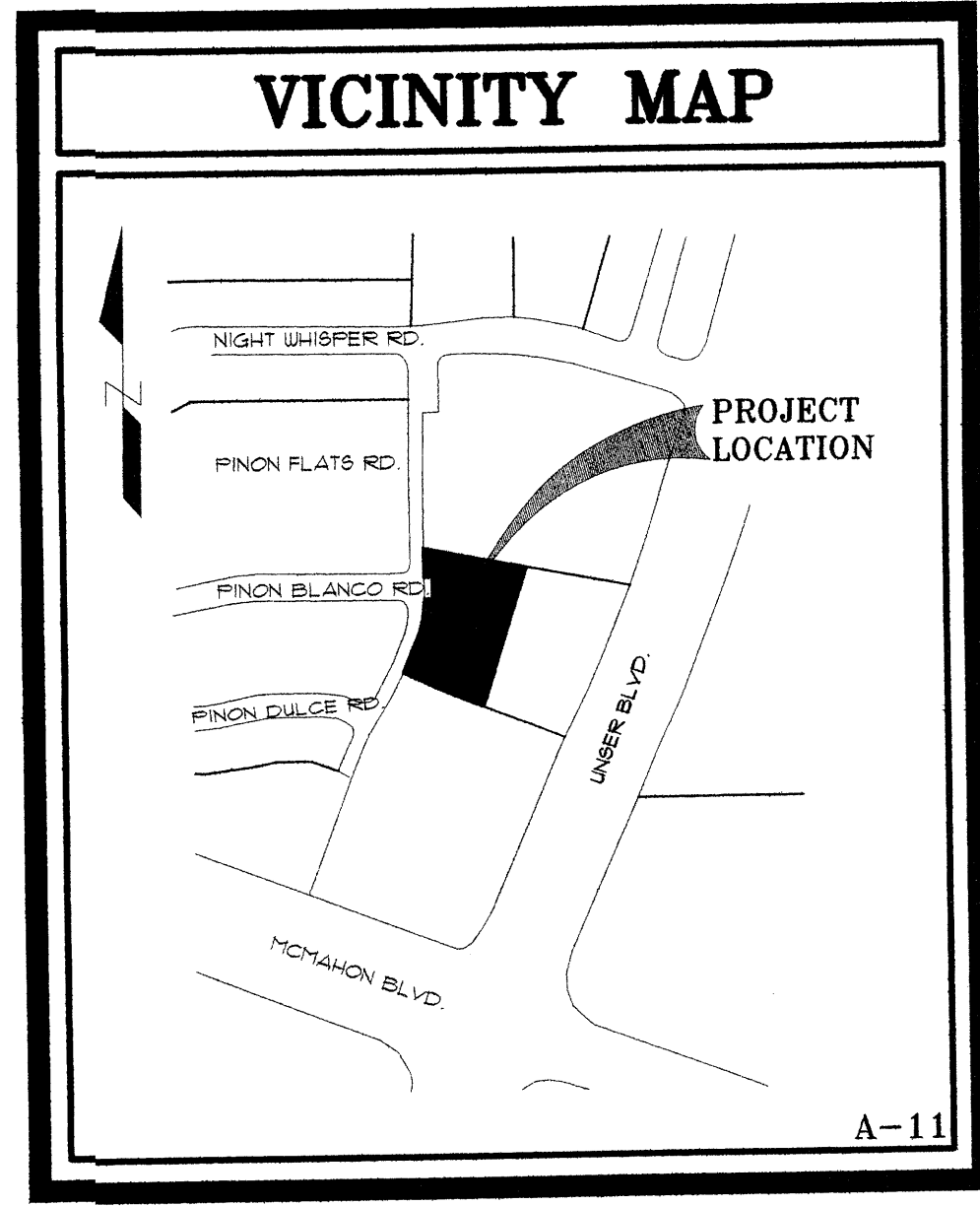
SHEET SDP4
 PROJECT NUMBER 03210

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 Phone: 505/842-1113 Fax: 505/842-1330



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SITE DATA

GROSS LOT AREA	40,089 SF
LESS BUILDING	3,900 SF
NET LOT AREA	36,189 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	5,428 SF
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	11,130 SF 30%

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE REQUIRED LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance CG-1-1-1-1 planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

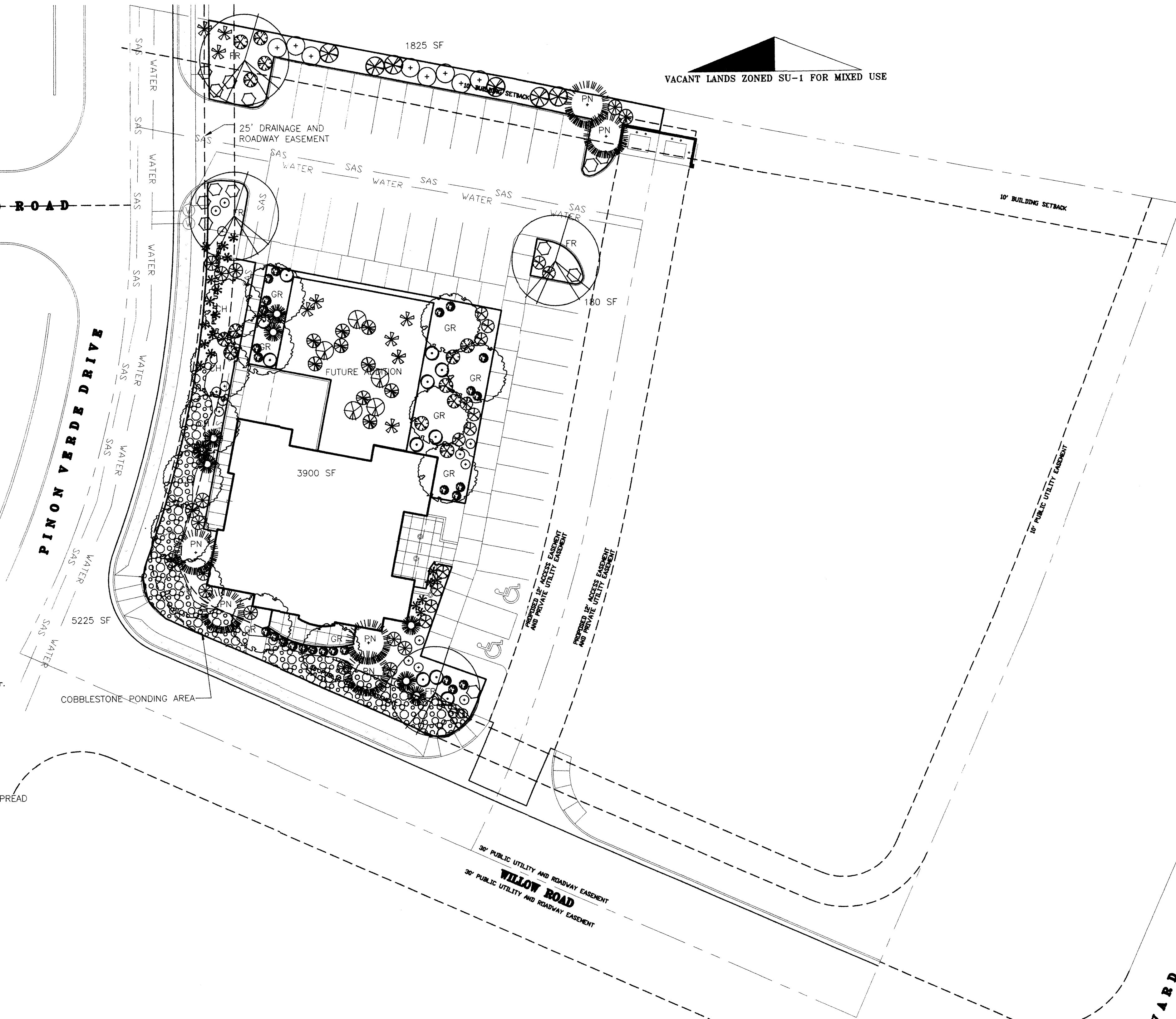
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	MATURE SPREAD
TREE				
FR	4	FRAXINUS	PATMORE ASH/2" CAL.	
GR	8	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE/ 2" CAL.	
CH	6	CHILOPSIS	DESERT WILLOW/15 GAL.	200 S.F.
EVERGREEN TREE 5'-6" HT.				
PN	6	PINUS NIGRA	AUSTRIAN PINE	
LARGE SHRUB 5 GAL				
+	8	COTONEASTER PARNEYI	CLUSTERBERRY	100 S.F.
⊗	6	BUDDLEIA	BUTTERFLY BUSH	100 S.F.
⊗	5	CHRYSOETHAMNUS	CHAMISA	25 S.F.
⊗	8	MISCANTHUS	MAIDEN GRASS	16 S.F.
⊗	15	JUNIPERUS	BUFFALO JUNIPER	
MEDIUM SHRUB 5 GAL				
⊗	9	PEROVSKIA	RUSSIAN SAGE	36 S.F.
⊗	11	ROSMARINUS	ROSEMARY	36 S.F.
⊗	13	RAPHIOLEPIS	INDIA HAWTHORN	36 S.F.
⊗	16	PRUNUS BESSEYI	SAND CHERRY	36 S.F.
⊗	9	HESPERALOE	RED YUCCA	9 S.F.
⊗	13	CARYOPTERIS	BLUE MIST	9 S.F.
SMALL SHRUB 1 GAL				
⊗	26	LAVANDULA	LAVENDER	4 S.F.
⊗	16	SALVIA GREGGII	CHERRY SAGE	8 S.F.
⊗	19	HELICTOTRICHON	BLUE AVENA GRASS	16 S.F.

□ NATIVE GRASS AND WILDFLOWER MIX PLANTED TO ENSURE 75% COVERAGE
⊗ MATURE SPREAD



LANDSCAPE PLAN

DATE: OCT 07, 2004 SCALE: 1" = 20'-0" (U.N.O)

CLAUDIO VIGIL ARCHITECTS

NORTH UNSER VET CLINIC
LINDA CONTOS AND JOHN HEIDRICH
TRACTS F-1 & F-2
ALBUQUERQUE, NEW MEXICO

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET
SDP3
PROJECT NUMBER
03210

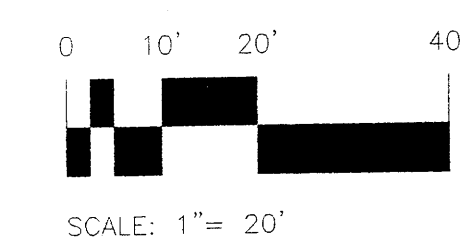
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1801 Rio Grande NW, Albuquerque, NM 87104
Phone: 505/842-1113 Fax: 505/842-1330

HeadUp

LANDSCAPE CONTRACTORS
7525 SECOND ST. NW
ALBUQUERQUE, NM
(505) 898-9815
LICENSE 18890
www.headsuplandscape.com

UNSER BOULEVARD
15' PUBLIC UTILITY AND ROADWAY EASEMENT



P:\2004\0720 - North Unser Vet Clinic (Vigil)\SCAPE.dwg, 11/29/2004, 2:25:55 PM

BUILDING CRITERIA

PROJECT: NORTH UNSER VET CLINIC
LEGAL DESCRIPTION:
 TRACTS F-1 & F-2 LANDS OF ZOLINKUNATH, TRES ESQUINAS, LLC,
 AND CURB INC. CITY OF ALBUQUERQUE, BERNALILLO COUNTY
ZONING CLASSIFICATION: EXISTING: BU-1 MIXED USE AND C-1
 PROPOSED: BU-1 FOR C-1
ZONING ATLAS MAP: A-11-Z
CASE HISTORY: 1000936, 1000993, Z-97-119, ZA-99-118,
 DRB-90-423
BUILDING TYPE: SMALL ANIMAL CLINIC - B OCCUPANCY
CONSTRUCTION TYPE: TYPE IIN
GROSS SQUARE FOOTAGE: 6,220 SF including addition
NET LEASABLE SQUARE FOOTAGE: 5,287 SF
OCCUPANCY GROUP: GROUP B OCCUPANCY
REQUIRED PARKING: 19 CAR SPACES ROAD, 1 ACCESSIBLE
PROVIDED PARKING: 31 STALLS : 3 ACCESSIBLE
TOTAL LOT AREA: LOT 2 40,000 SQUARE FEET, .92 ACRES

NET LOT AREA: 33,869 SQUARE FEET
TOTAL PARKING/PAVED AREA: 14,500 SQUARE FEET
TOTAL LANDSCAPE AREA REQUIRED: 5,000 SF.
TOTAL LANDSCAPE AREA PROVIDED: 11,130 SF.
LANDSCAPE TO PARKING AREA RATIO: .71 : 1 or .71%

UTILITY NOTES

- ALL ELECTRIC DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- TRANSFORMERS, UTILITY PADS, AND TELEPHONE BOXES SHALL BE APPROPRIATELY SCREENED WITH WALLS AND/OR VEGETATION WHEN VIEWED FROM THE PUBLIC RIGHT-OF-WAY.
- ALL INFRASTRUCTURE TO BE DESIGNED TO CITY STANDARDS INCLUDING WATER AND SEWER LINES.

SITE PLAN LEGEND

5,631 SF

INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA

INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING, MINIMUM 2" OF ASPHALT OVER 4" BASE COURSE.

INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS.

PROPERTY LINE

EASEMENT BOUNDARIES

STORM DRAIN

SAS SANITARY SEWER LINE

WATER WATER SERVICE LINE

PROPOSED NEW 1-1/2" WATER METER WITH BOX

EXISTING PUBLIC SEWER AND WATER

VICINITY MAP

NIGHT WHISPER RD.

PINON FLATS RD.

PINON BLANCO RD.

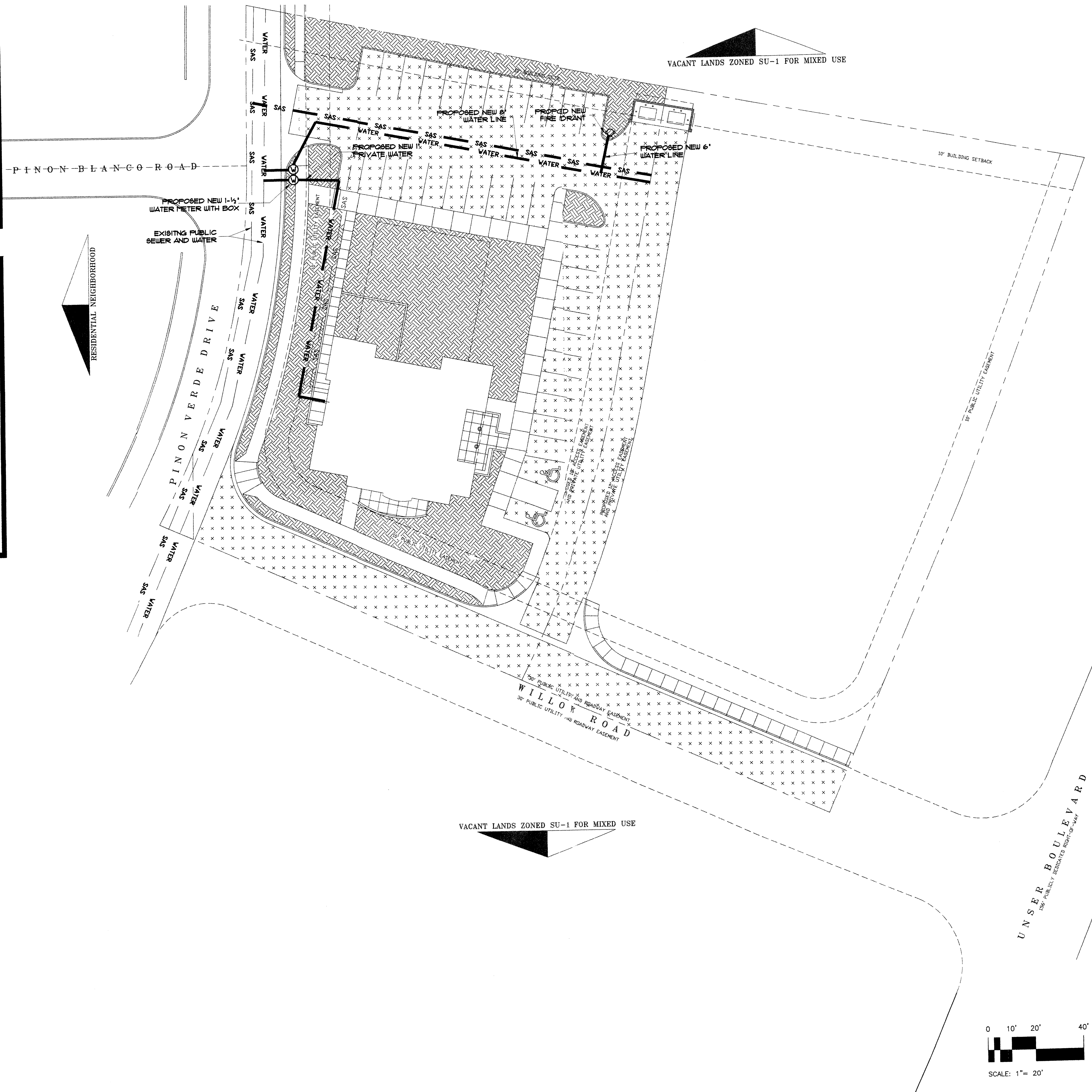
PINON PALME

MCKAY BLVD.

UNSER BLVD.

PROJECT LOCATION

A-11



SCHEMATIC UTILITY PLAN

DATE: SEPT 04, 2003 SCALE: 1" = 20'-0" (U.N.O)

CLAUDIO VIGIL ARCHITECTS

NORTH UNSER VET CLINIC
 LINDA CONTOS AND JOHN HEIDRICH
 TRACTS F-1 & F-2
 ALBUQUERQUE, NEW MEXICO

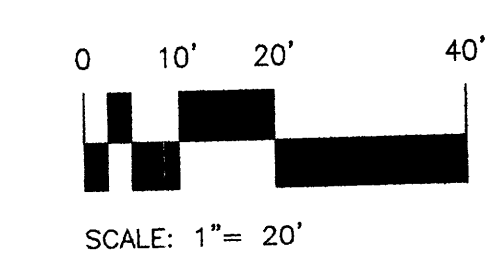
PRELIMINARY NOT FOR CONSTRUCTION

SHEET SDP3

PROJECT NUMBER 03210

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