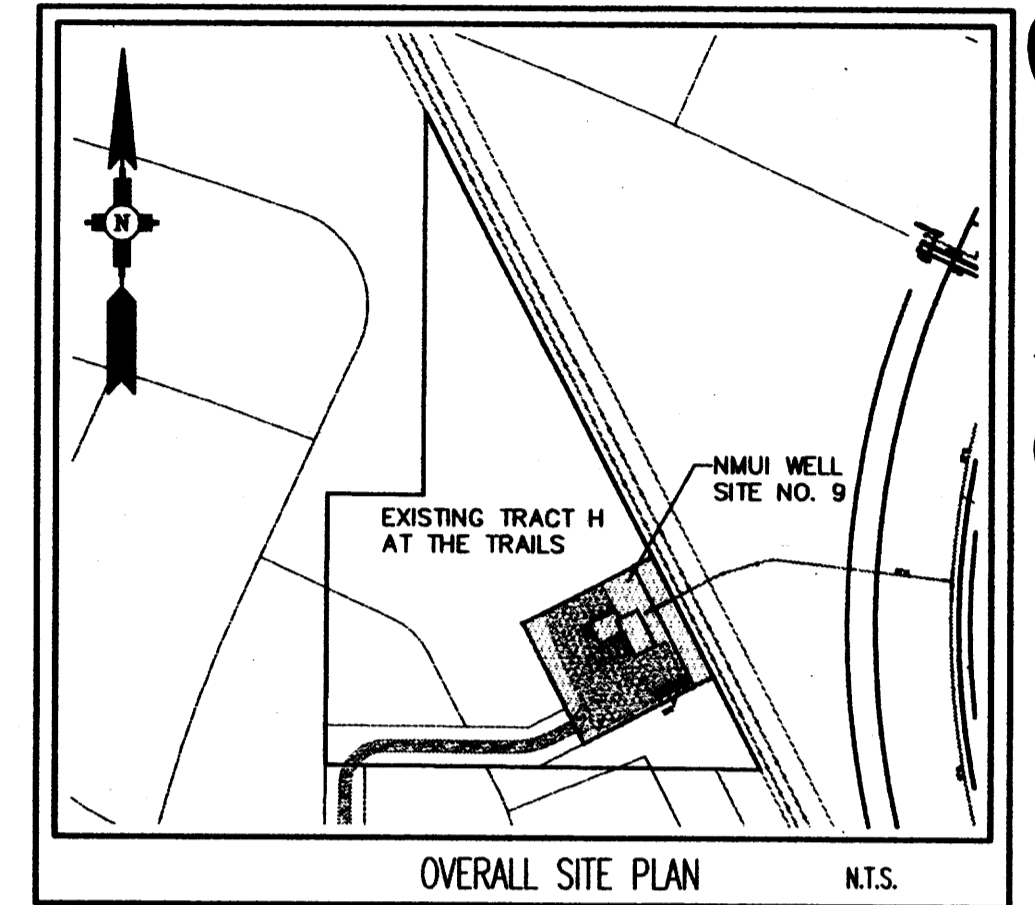


100 2962

**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**
NEW MEXICO UTILITIES, INC.
WELL SITE NO. 9
SITE PLAN



GENERAL NOTES:
A. EXISTING ZONING: R-D
B. PROPOSED USE OF BUILDING: PUBLIC UTILITY STRUCTURE - NEW MEXICO UTILITIES, INC., WELL NO. 9.

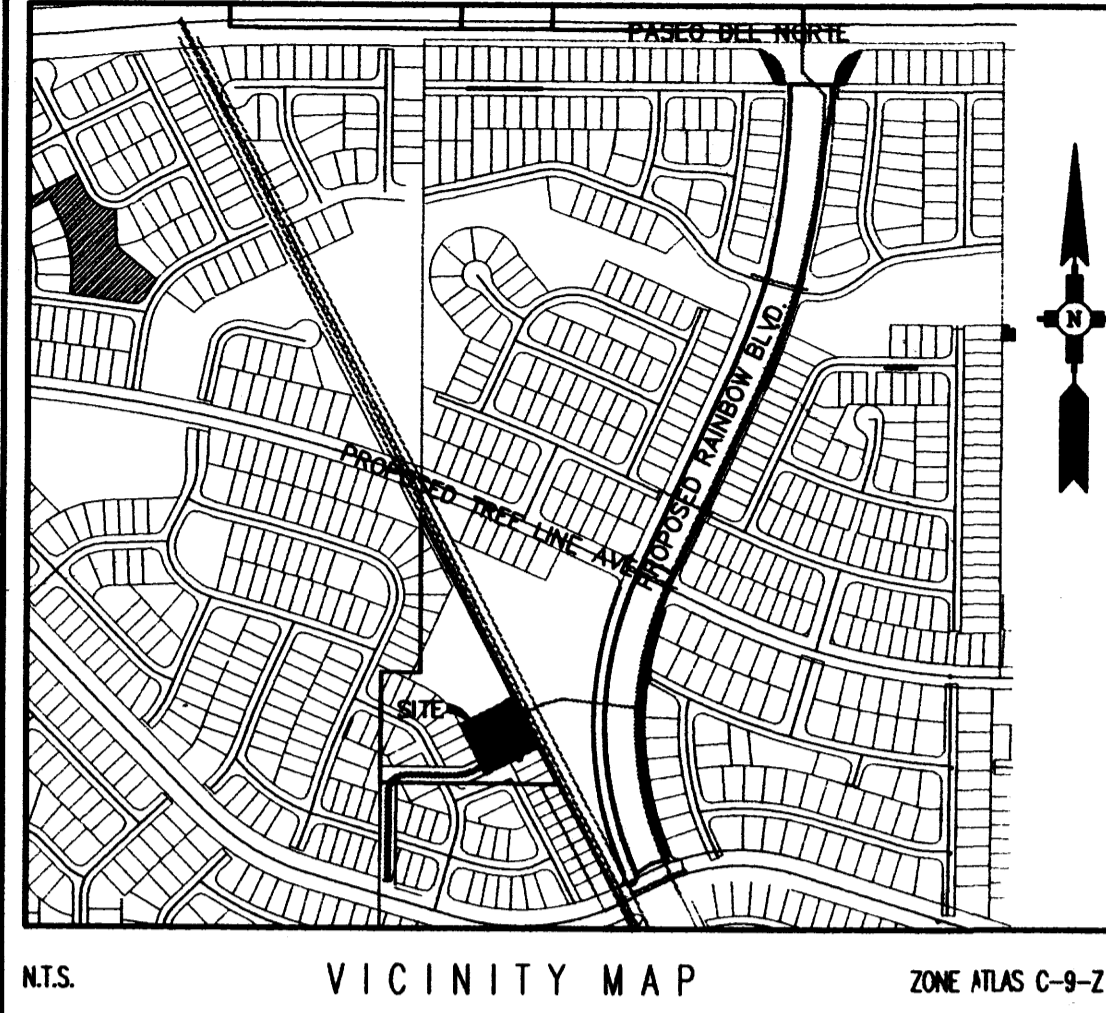
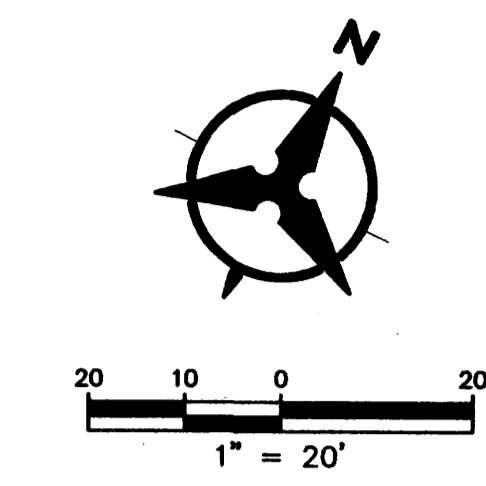
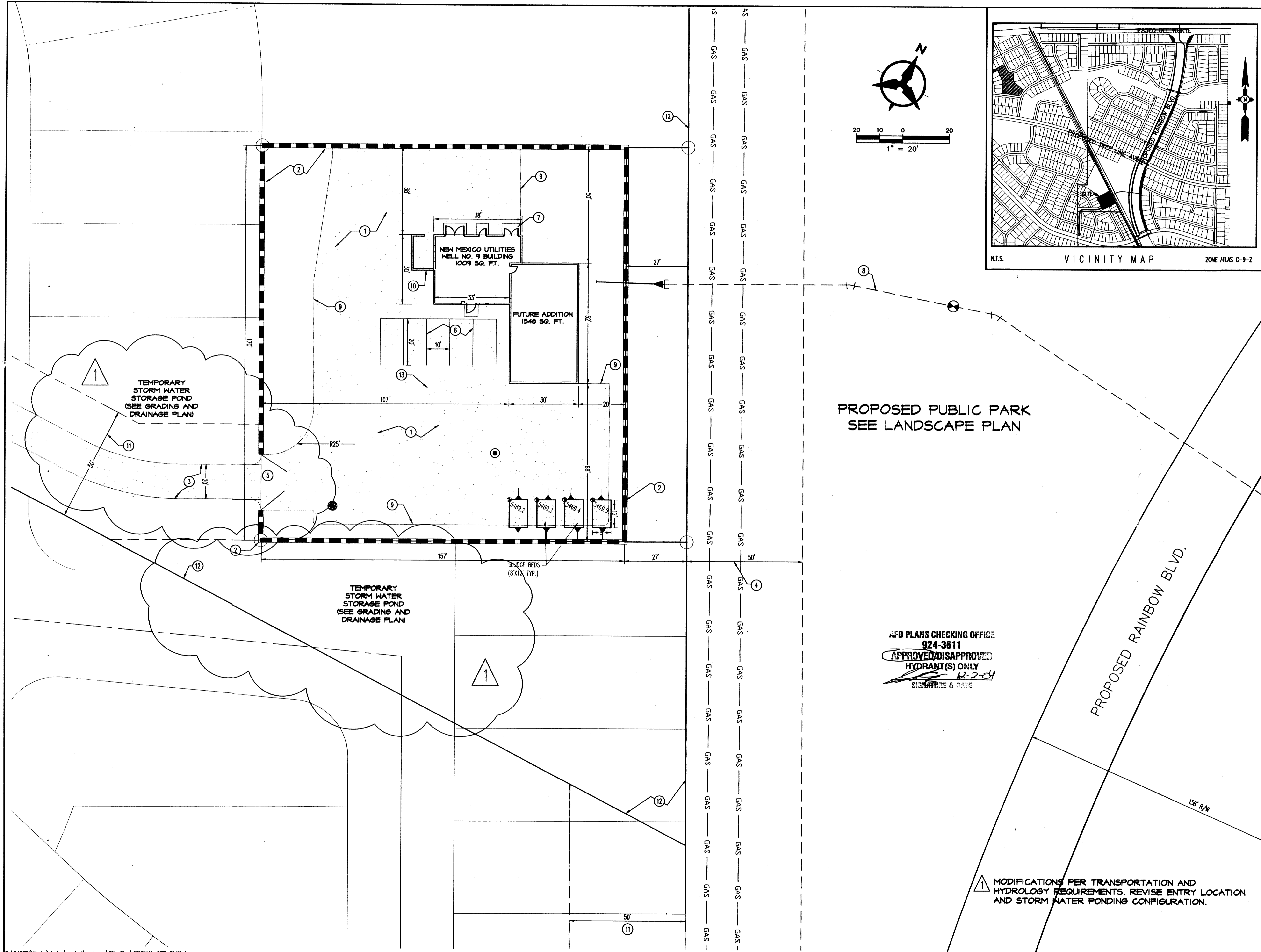
- KEYED NOTES:**
- ① GRAVEL DRIVING SURFACE.
 - ② SPLIT FACE CONCRETE BLOCK PERIMETER WALL. SEE LANDSCAPE PLAN FOR DETAILS.
 - ③ TEMPORARY GRAVEL ACCESS DRIVE. FUTURE PERMANENT ACCESS TO BE PROVIDED VIA RESIDENTIAL SUBDIVISION PAVED ROADS.
 - ④ EXISTING 50' WIDE P.N.M. GAS LINE EASEMENT.
 - ⑤ VEHICULAR ACCESS GATES.
 - ⑥ PARKING SPACES.
 - ⑦ CONCRETE SIDEWALK.
 - ⑧ 20" WATER DISTRIBUTION LINE.
 - ⑨ EDGE OF DRIVING SURFACE.
 - ⑩ SCREENED MECHANICAL EQUIPMENT ENCLOSED TO MATCH BUILDING CMU.
 - ⑪ EXISTING 50' PRIVATE ACCESS EASEMENT.
 - ⑫ TRACT H BOUNDARY. (SEE OVERALL SITE PLAN ABOVE)

SITE DEVELOPMENT PLAN APPROVAL:
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED April 16, 2004 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. E.P.C. Project 1002962/04EPC-00299.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

<i>[Signature]</i> MANAGER, TRANSPORTATION DIVISION	12-1-04 DATE
<i>[Signature]</i> UTILITIES DEVELOPMENT	12-1-04 DATE
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	12/1/04 DATE
<i>[Signature]</i> CITY ENGINEER	12/1/04 DATE
N/A ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
N/A SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i> COMMUNITY PLANNING DEPARTMENT Environmental Health, if necessary	12/16/03 DATE

Bohannon & Huston
 7000 Jefferson St. NE Albuquerque, NM 87109-0395
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

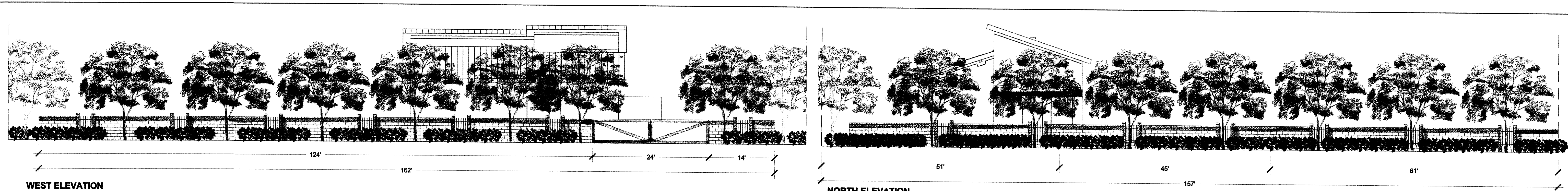


PROPOSED PUBLIC PARK
SEE LANDSCAPE PLAN

AFO PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
12-2-04
SIGNATURE & DATE

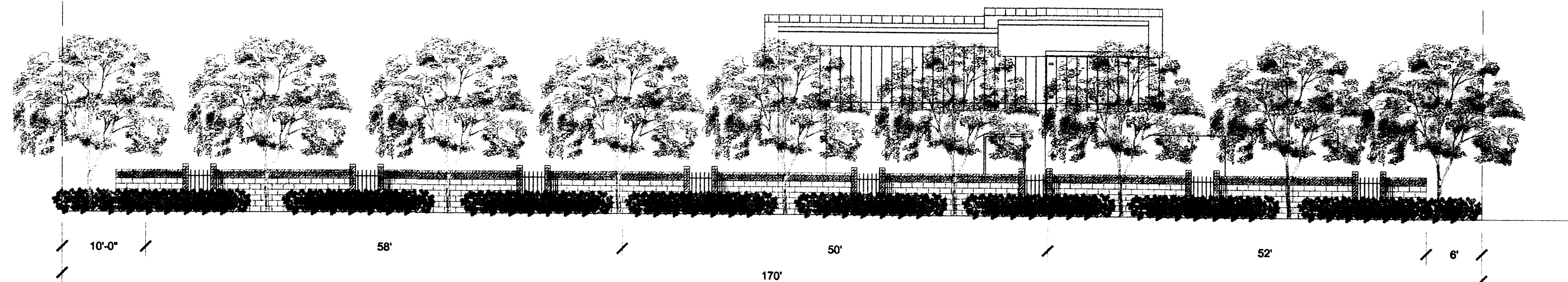
MODIFICATIONS PER TRANSPORTATION AND HYDROLOGY REQUIREMENTS. REVISE ENTRY LOCATION AND STORM WATER PONDING CONFIGURATION.

P:\040271\Hydro\design\control\workarea\Site Plan\ORIGINAL-SITE_PLAN.dwg
November 24, 2004 - 7:51am



WEST ELEVATION
SCALE 1 TO 10

NORTH ELEVATION
SCALE 1 TO 10

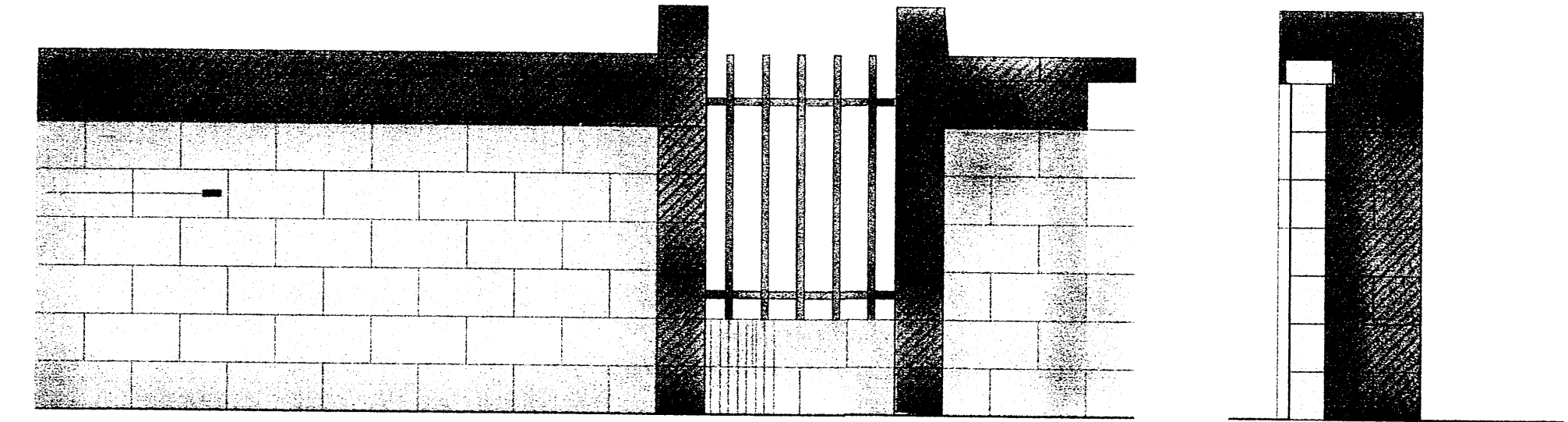


EAST ELEVATION
SCALE 1 TO 10

OPENING PILLAR DETAIL

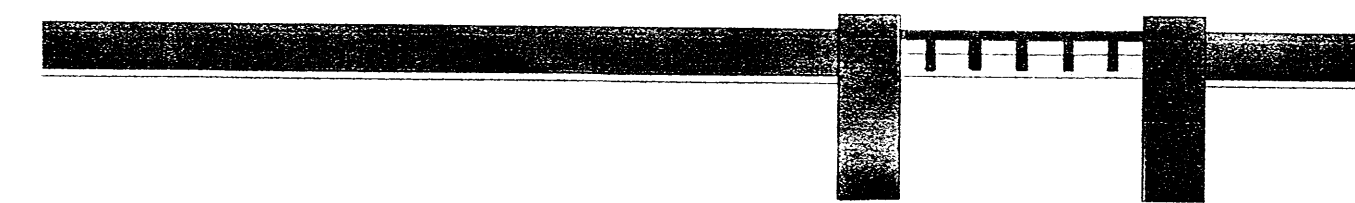
SCALE 1 TO 2

SPLIT FACE BLOCK
(DARK BROWN)
CORAL COLOR
SPLIT FACE CMU BLOCK



ELEVATION

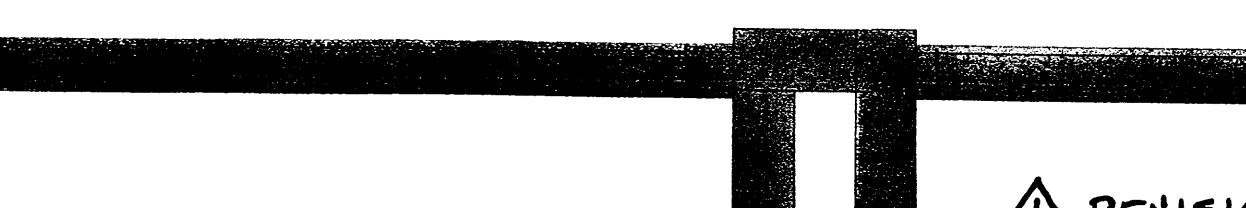
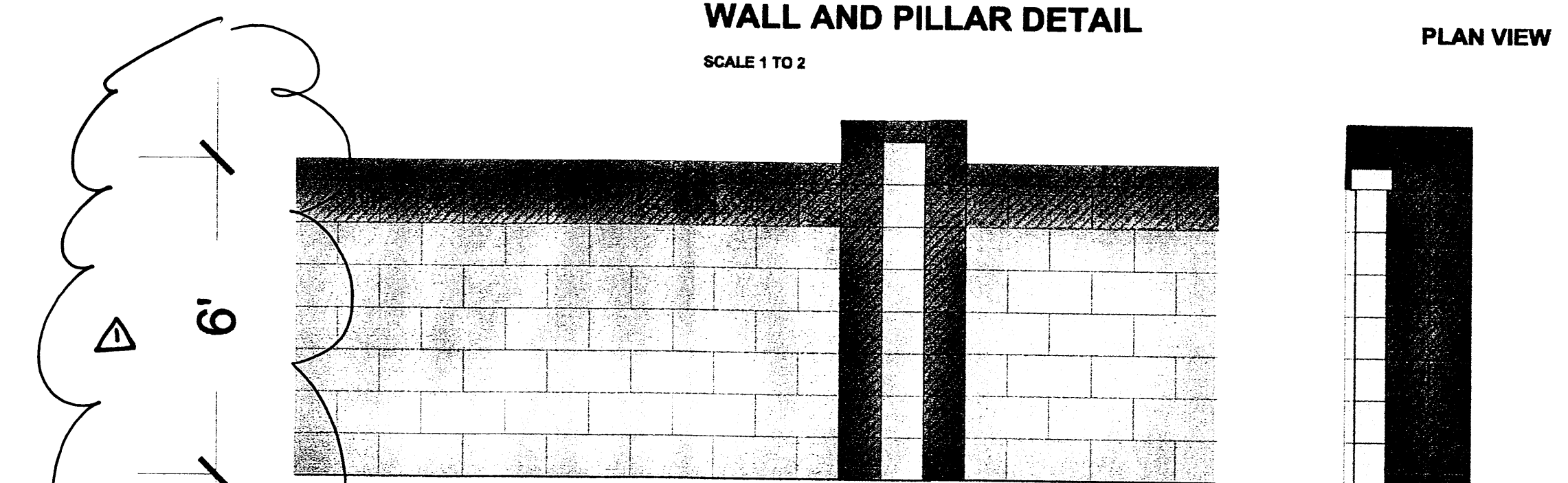
CROSS SECTION



PLAN VIEW

WALL AND PILLAR DETAIL

SCALE 1 TO 2



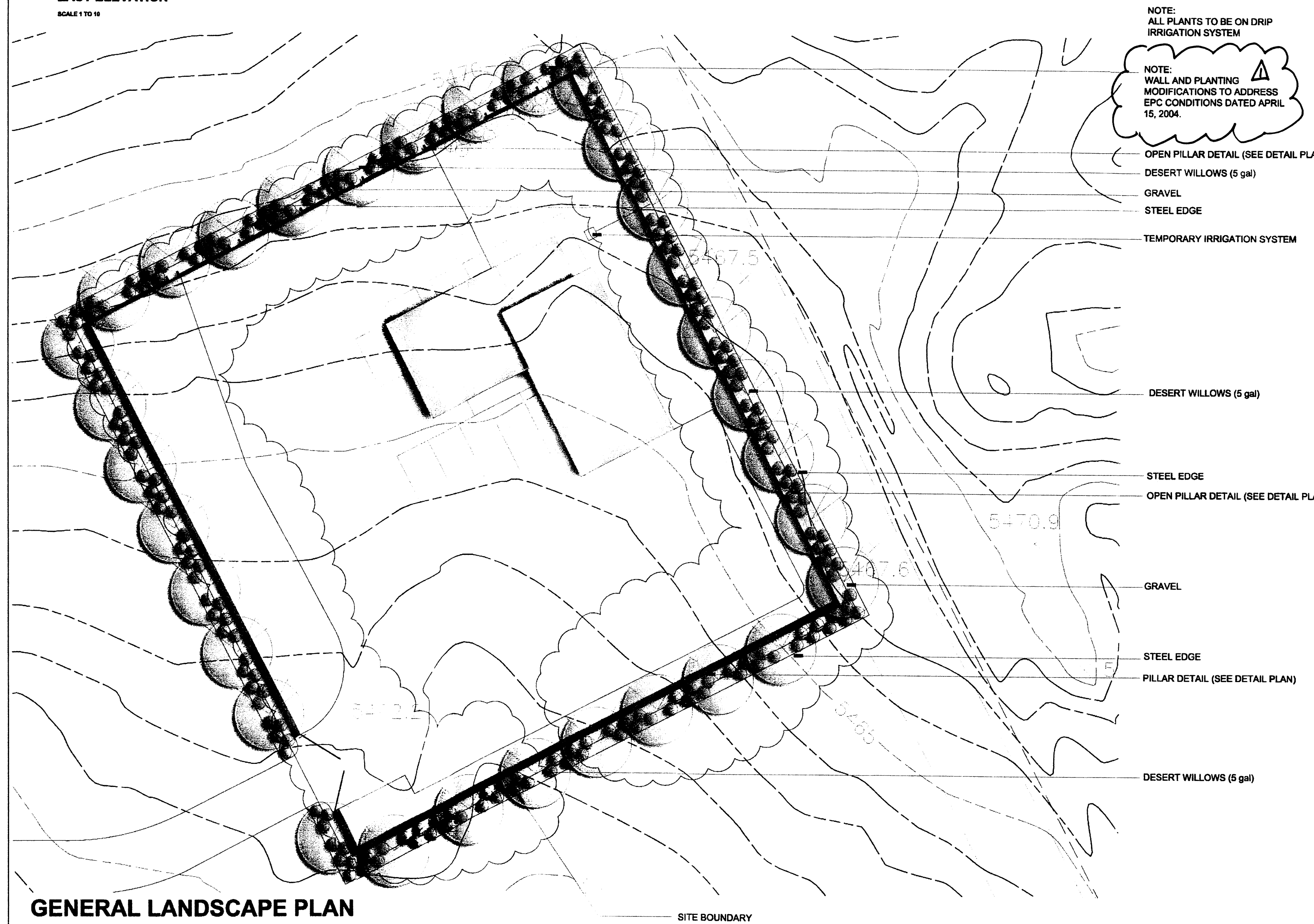
**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**

CONCEPTUAL WALL PLANS

REVISIONS PER E.P.C. OFFICIAL NOTICE
OF DECISION DATED APRIL 16, 2004.

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



NOTE:
ALL PLANTS TO BE ON DRIP
IRRIGATION SYSTEM

NOTE:
WALL AND PLANTING
MODIFICATIONS TO ADDRESS
EPC CONDITIONS DATED APRIL
15, 2004.

OPEN PILLAR DETAIL (SEE DETAIL PLAN)
DESERT WILLOWS (5 gal)
GRAVEL
STEEL EDGE
TEMPORARY IRRIGATION SYSTEM

DESERT WILLOWS (5 gal)
STEEL EDGE
OPEN PILLAR DETAIL (SEE DETAIL PLAN)

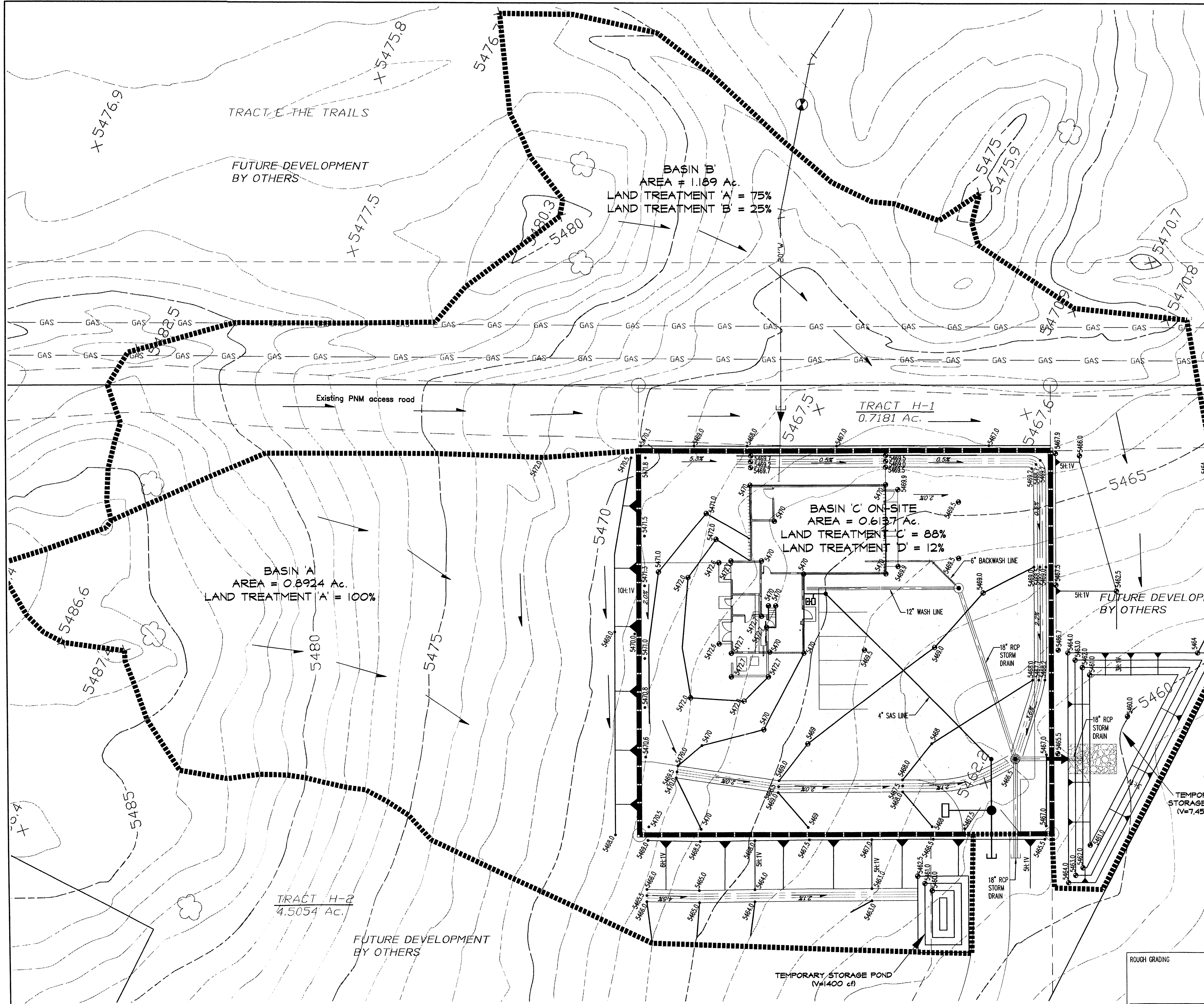
GRAVEL
STEEL EDGE
PILLAR DETAIL (SEE DETAIL PLAN)

DESERT WILLOWS (5 gal)

GENERAL LANDSCAPE PLAN

SITE BOUNDARY

F:\Projects\3080 Longfara Group\0-Cor\Rose\NMU\0411080W-3080-NMU-modelbase03_final.cad
November 12, 2004 - 3:12pm



GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT BY VINYARD & ASSOCIATES DATED 10/2004 (V&A PROJECT #04-1-362).
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
6. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE, EXCEPT FOR WALL ON EAST SIDE. THIS WALL IS APPROXIMATELY 26' WEST OF THE EASTERN PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSES ONLY.

GRADING AND DRAINAGE PLAN

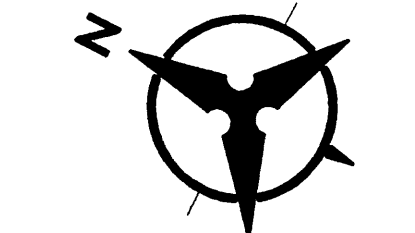
THE WELL SITE IS LOCATED ON A 0.7181 ACRE LOT WITH ONLY 0.6137 ACRES BEING AFFECTED. IT HAS TWO OFFSITE BASINS (SEE GRADING & DRAINAGE SHEET). AS CAN BE SEEN ON THE FEMA MAPPING EXHIBIT, THE SITE IS NOT SUSCEPTIBLE TO FLOODING. ALL DRAINAGE CALCULATIONS ARE DONE IN ACCORDANCE WITH THE BERNALILLO COUNTY DRAINAGE ORDINANCE (98-5) AND THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 22.2. THE DESIGN STORM IS THE 100-YEAR 6-HOUR STORM IN ZONE 1 (DFM CHAPTER 22, FIGURE A-1).

EXISTING CONDITIONS

UNDER EXISTING CONDITIONS THE PROJECT SITE IS UNDEVELOPED AND SURROUNDED BY UNDEVELOPED LAND. SINCE FUTURE OFFSITE FLOWS COMING ONTO THE SITE WOULD BE RESTRICTED TO PREDEVELOPMENT LEVELS, ONLY THE EXISTING OFFSITE BASINS ARE USED.

DEVELOPED CONDITIONS

FOR THE CONDITIONS PROPOSED IN THIS PLAN SET THERE WILL BE NO FLOW OFFSITE FROM THE 0.6137 ACRES. INSTEAD ALL FLOW, INCLUDING FROM THE OFFSITE BASINS, WILL BE DIRECTED TO THE ONSITE DETENTION POND. THE DETENTION POND IS MORE THAN ADEQUATE (7,450 CU. FT.) FOR TWICE THE 100-YR 6-HR STORM AS IT IS SIZED TO HANDLE A TWO HOUR WASH CYCLE FOR THE WELL. THE WASH CYCLE WILL ONLY HAPPEN IN THE CASE OF AN EMERGENCY. TWO COBBLE LINED SWALES ARE USED TO TRANSPORT THE FLOWS TO THE DETENTION POND AND PREVENT EROSION ON THE SITE. THESE SWALES ARE DESIGNED TO HAVE A MINIMUM CAPACITY OF 5 CFS EACH. CALCULATIONS FOR FLOWRATES, VOLUMES, AND CAPACITIES ARE SHOWN ON THE FOLLOWING SHEET.



LEGEND

- FUTURE PROPERTY BOUNDARY
- BASIN BOUNDARY
- 91.62 ● 91.62 PROPOSED SPOT ELEVATIONS
- 92.46 EXISTING SPOT ELEVATIONS
- 5470 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL
- CONCRETE FILLED TO 1-FOOT DEPTH
- ▲ PROPOSED SLOPE
- ← WALL DRAIN

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

NEW MEXICO UTILITIES, INC.

NEW MEXICO UTILITIES, INC.
 WELL NO. 9 SITE DEVELOPMENT
 GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. _____ Zone Map No. **C-9-Z** Sheet **1** Of **2**

AS-BUILT INFORMATION

CONTRACTOR	DATE
WORK BY	DATE
SUPERVISOR	DATE
APPROVED BY	DATE
DRAWING NO.	DATE
DATE	DATE
RECORDED BY	DATE
NO.	DATE

BENCH MARKS

CONTRACTOR	DATE
WORK BY	DATE
SUPERVISOR	DATE
APPROVED BY	DATE
DRAWING NO.	DATE
DATE	DATE
RECORDED BY	DATE
NO.	DATE

SURVEY INFORMATION

NO.	DATE
BY	

ENGINEER'S SEAL

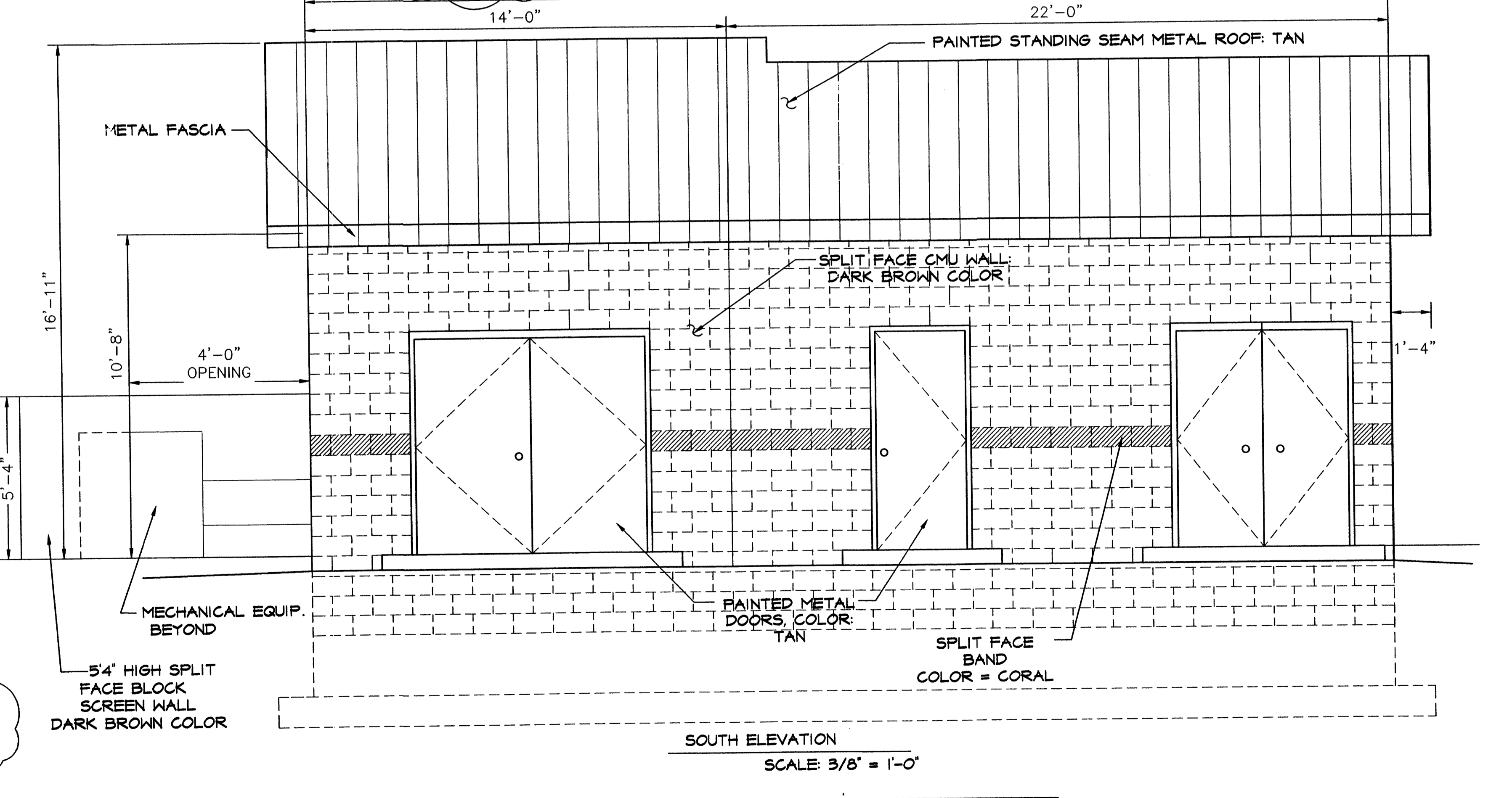
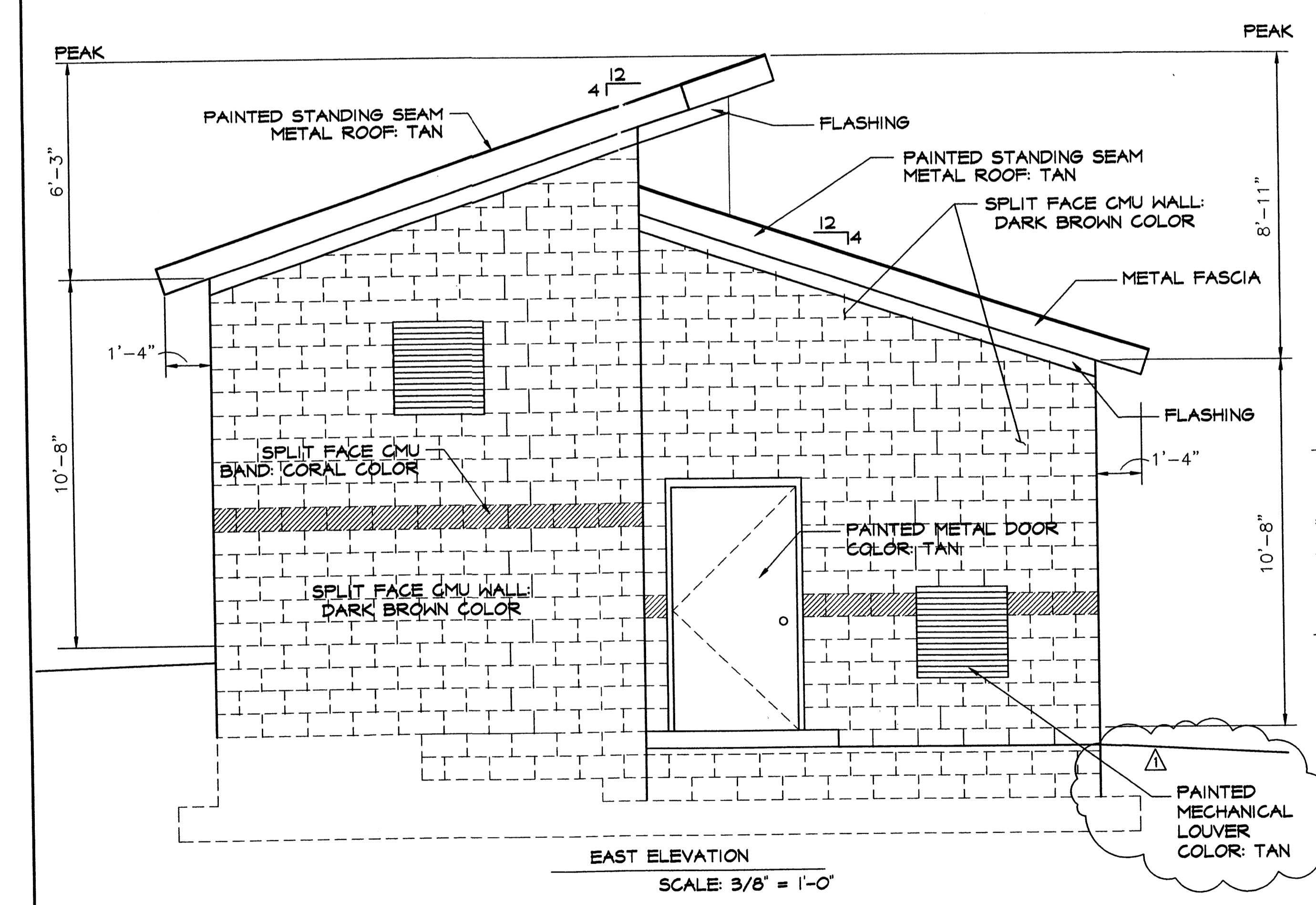
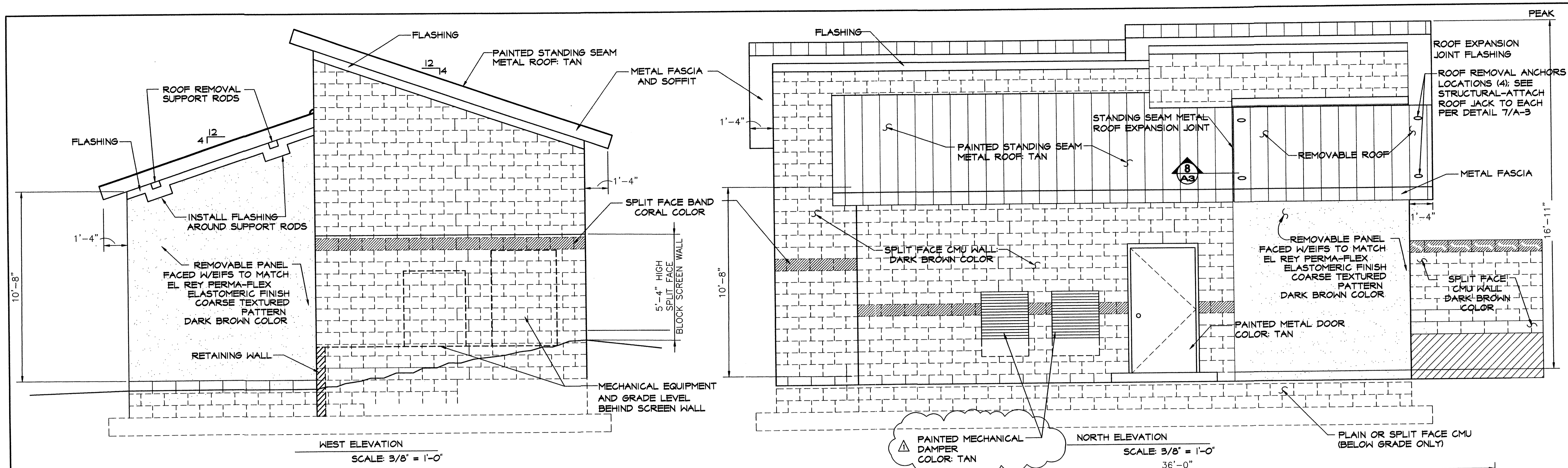
Professional Engineer Seal for **Nov 13, 2004**

REVISIONS

No.	Date	By	REMARKS

Designed By: RVH
 Drawn By: LSM
 Checked By: RVH

P:\040271\cdp\general\040271-WellGP01.dwg
 November 13, 2004 - 1:34pm



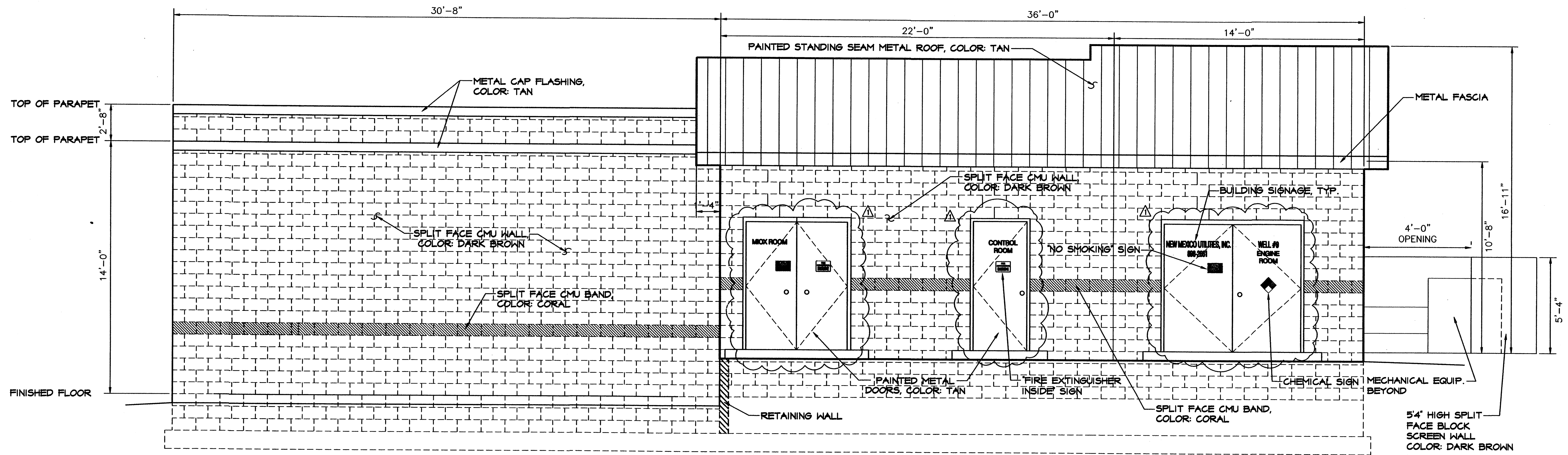
△ REVISIONS PER E.P.C. OFFICIAL NOTICE OF DECISION DATED APRIL 16, 2004.

**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**

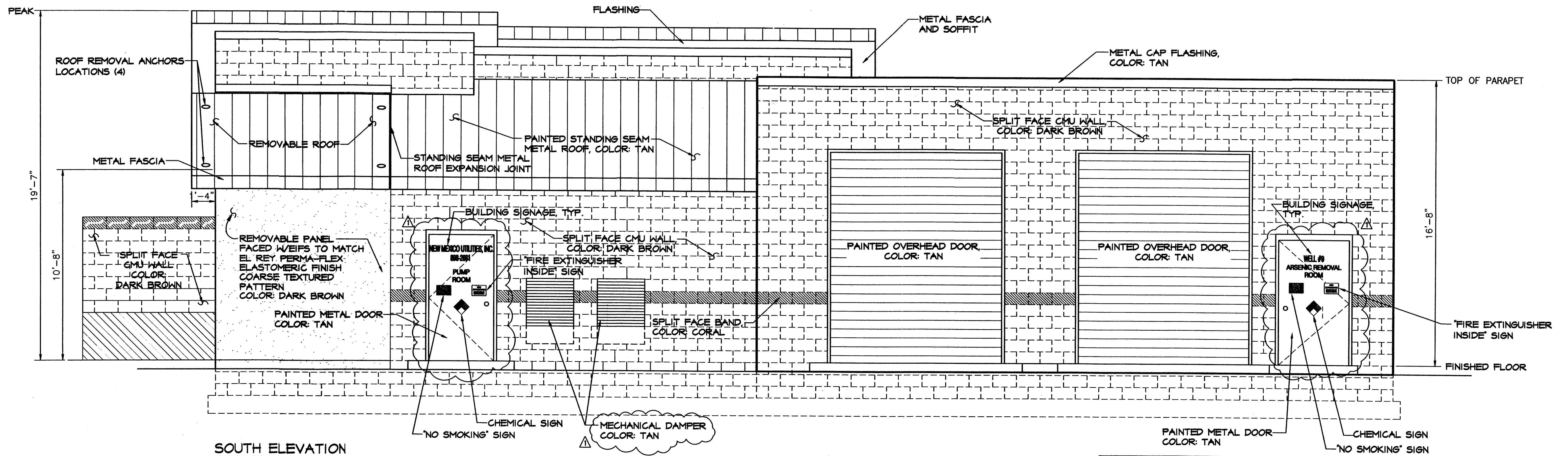
**CONCEPTUAL EXTERIOR
ELEVATIONS**

Bohannon & Huston

Courtyard I 7000 Jefferson St. NE Albuquerque, NM 87109-4395
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



NORTH ELEVATION
SCALE 3/8" = 1'-0"



SOUTH ELEVATION
SCALE 3/8" = 1'-0"

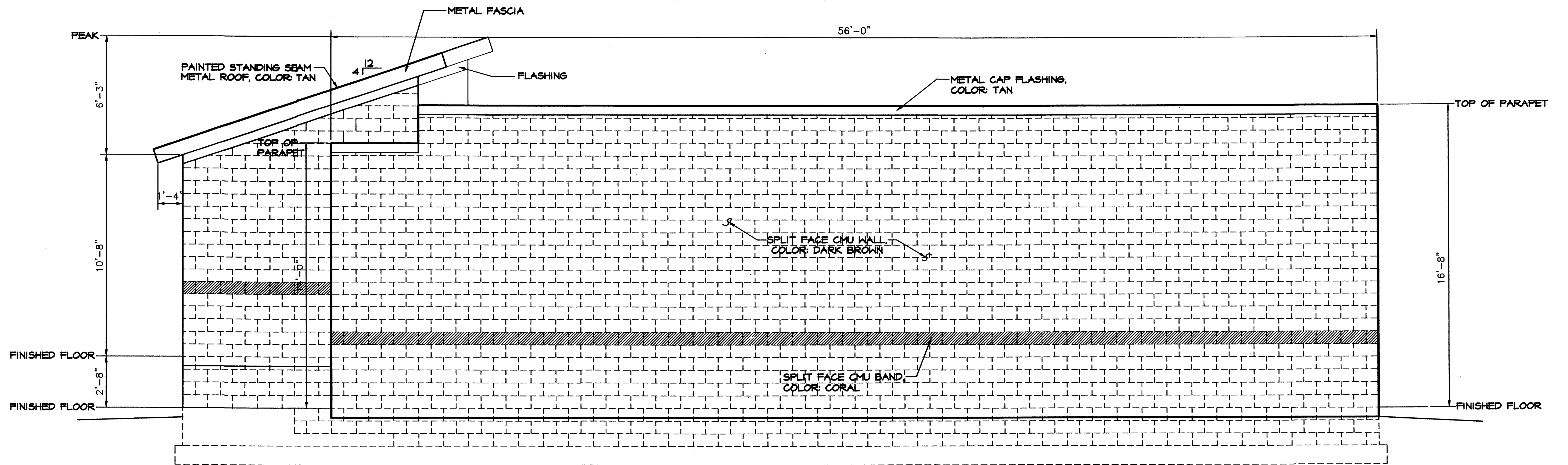
△ REVISIONS PER E.P.C. OFFICIAL NOTICE OF
DECISION DATED APRIL 16, 2004.

NOTE: ADDITIONAL MECHANICAL LOUVERS/DAMPERS
MAY BE ADDED FOLLOWING FINAL DESIGN.
PAINT COLOR: TAN.

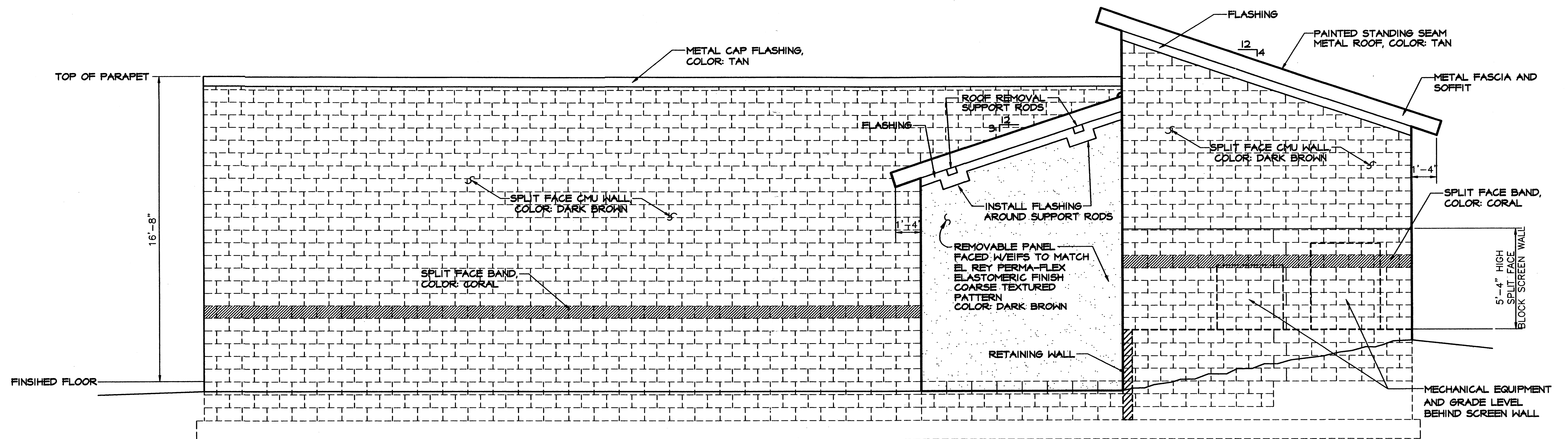
**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**

**CONCEPTUAL EXTERIOR
ELEVATIONS WITH ADDITION**

Bohannon & Huston
Courtyard | 7600 Jefferson St. NE Albuquerque, NM 87109-4396
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



WEST ELEVATION
SCALE: 3/8" = 1'-0"



EAST ELEVATION
SCALE: 3/8" = 1'-0"

△ REVISIONS PER E.P.C. OFFICIAL NOTICE OF
DECISION DATED APRIL 16, 2004.

NOTE: ADDITIONAL MECHANICAL LOUVERS/DAMPERS
MAY BE ADDED FOLLOWING FINAL DESIGN.
PAINT COLOR: TAN.

SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT

CONCEPTUAL EXTERIOR
ELEVATIONS WITH ADDITION

Bohannon & Huston

Overhead | 7000 Jefferson St. NE | Albuquerque, NM 87109-4305
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

NOVEMBER 11, 2004

SHEET 5B OF 5