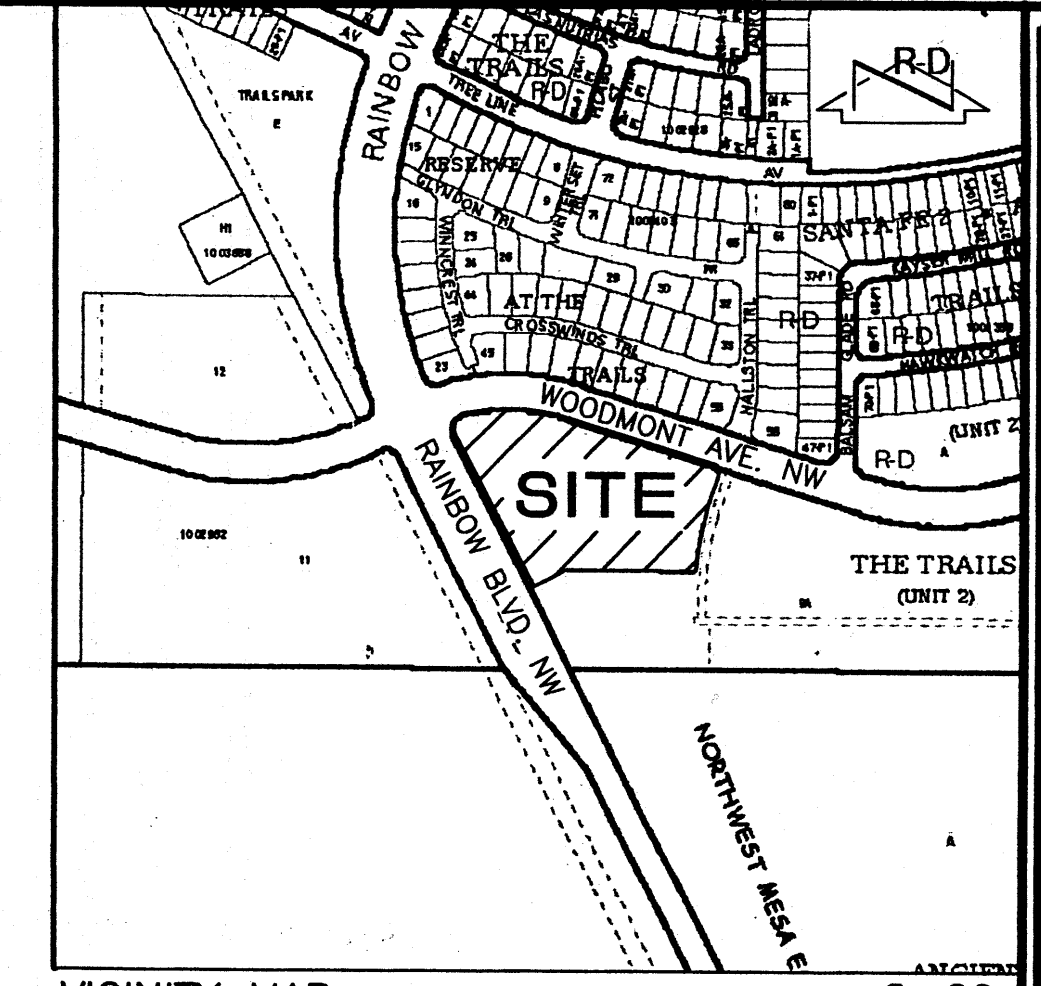
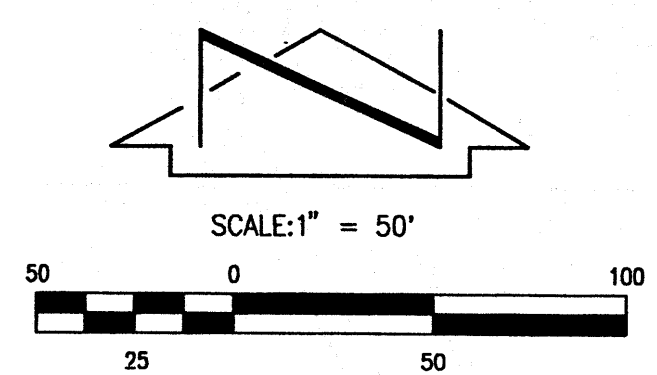
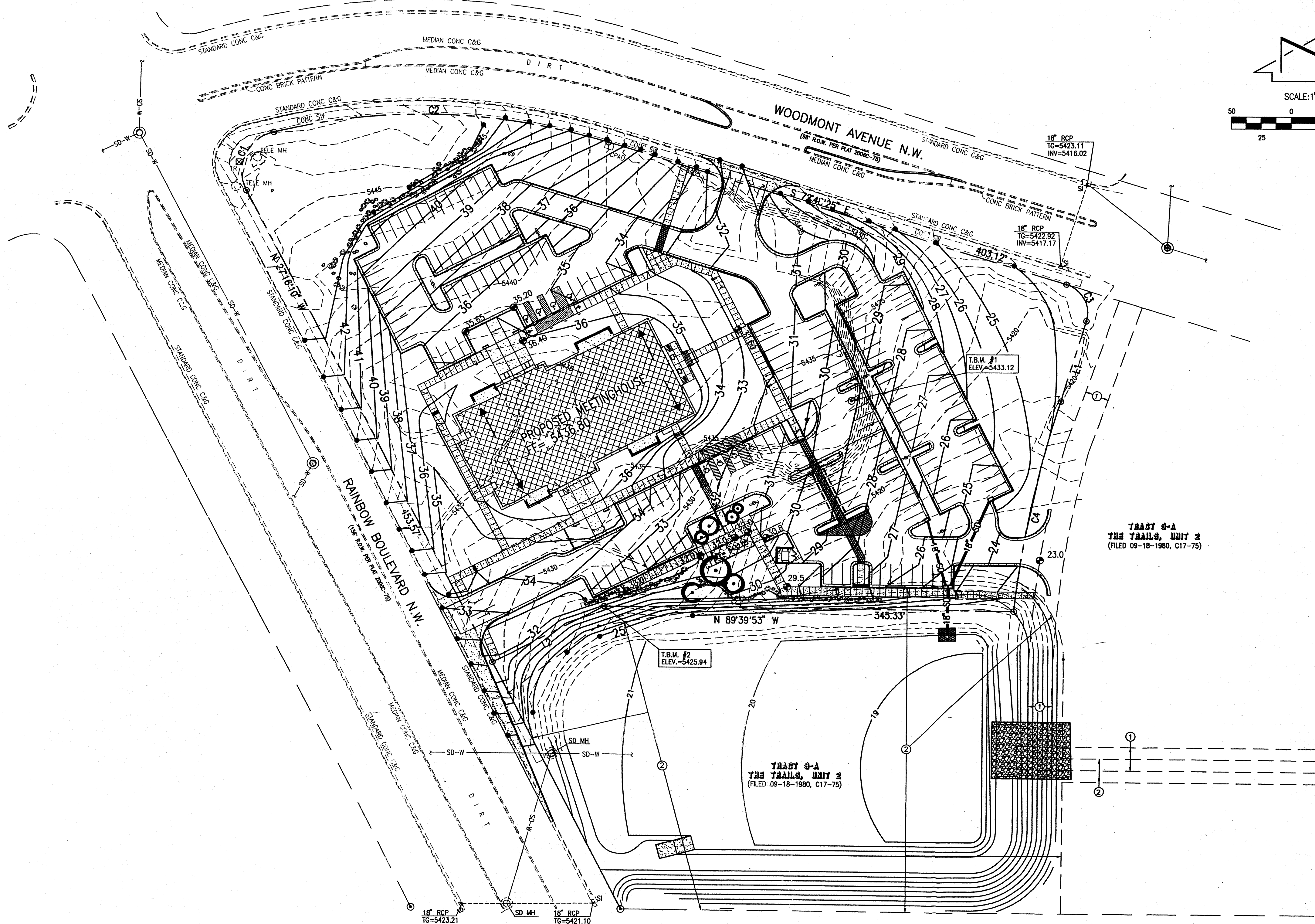


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 Plot Time: 8:10 pm

THIS SUBMITTAL REPLACES THE PREVIOUSLY APPROVED PLAN DATED 11/01/2005 AND IS REVISED TO REFLECT CHANGED CONDITIONS AND THE REVISED SITE PLAN.



VICINITY MAP
 SCALE: 1" = 750'

- EROSION CONTROL MEASURES:**
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
 4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

LEGAL DESCRIPTION
 TRACT 10-A, THE TRAILS, UNIT 2

LEGEND

x 5422.5	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
C&G	CURB AND GUTTER
CONC	CONCRETE
CPAD	CONCRETE PAD
FL	FLOWLINE
INV	INVERT ELEVATION
MH	MANHOLE
RCP	REINFORCED CONCRETE PIPE
S&S-W	SANITARY SEWER DESIGN BY WILSON & COMPANY
SD	STORM DRAIN
SD-W	STORM DRAIN DESIGN BY WILSON & COMPANY
SI	STORM INLET
SI	STORM INLET
SW	SIDEWALK
TA	TOP OF ASPHALT
TC	TOP OF CURB
TCO	TOP OF CONCRETE
TELE	TELEPHONE
TG	TOP OF GRATE
TR	TELEPHONE RISER
WCR	WHEELCHAIR RAMP
W-W	WATERLINE DESIGN BY WILSON & COMPANY
32	PROPOSED CONTOUR
+	HIGH POINT
---	FLOWLINE
■	PROPOSED CONCRETE
● 34.5	PROPOSED SPOT ELEVATION

PROJECT BENCHMARK
 STANDARD GLO BRASS TABLET STAMPED "TA, S15, S16", SET IN TOP OF A CONCRETE POST LOCATED 8 MILES NW OF DOWNTOWN ALBUQUERQUE, IN A ROLLING HILLS PRAIRIE.
 ELEVATION = 5417.80 FEET (NAVD 1988)

T.B.M. #1
 REBAR #5 WITH JMA RED CAP.
 ELEVATION = 5433.12 FEET (NAVD 1988)

T.B.M. #2
 REBAR #5 WITH CAP STAMPED "PLS #9750",
 ELEVATION = 5425.94 FEET (NAVD 1988)

NOTE:
 THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM THE "BOUNDARY SURVEY, TRACT 10-A, THE TRAILS, UNIT 2" PREPARED BY JEFF MORTENSEN & ASSOC., INC. AND DATED 09-25-2006, NMP5 11184. TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM THE "TOPOGRAPHIC SURVEY, TRACT 10-A, THE TRAILS, UNIT 2" PREPARED BY JEFF MORTENSEN & ASSOC., INC. AND DATED 09-25-2006, NMP5 11184.

KEYED NOTES

- EASEMENTS**
- ① 20' NEW MEXICO UTILITIES, INC. PUBLIC SANITARY SEWER GRANTED BY PLAT 2004C-332 (OFFSITE)
 - ② CITY OF ALBUQUERQUE PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2006C-75

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	S 17°11'35" W	71.18'

CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA
C1	35.00'	63.27'	55.00'	N 24°30'53" E	103°34'06"
C2	530.00'	285.78'	282.33'	S 8°15'22" E	30°53'40"
C3	25.00'	39.27'	35.36'	S 27°48'25" E	90°00'00"
C4	825.00'	184.27'	183.89'	S 12°08'45" W	12°47'51"

JMA JOB NO. 2005.049.3

Jma JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. NE.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (505) 345-4250
 FAX: 505 345-4254 ESTABLISHED 1977

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Stamp:

 JAMES MEANS
 13676
 PROFESSIONAL ENGINEER
 STATE OF NEW MEXICO

Ventana Ward Meetinghouse
 SEC Rainbow Blvd. & Woodmont Ave. Albuquerque, NM

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Project Number:	***
Plan Series:	HER-TRA-98-13
Property Number:	589-1196

Sheet Title:
GRADING PLAN

Sheet:
C-1

1002962

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED LDS PARADISE HILLS MEETING HOUSE IS LOCATED IN A RAPIDLY DEVELOPING AREA OF ALBUQUERQUE'S NORTHWEST MESA. THE PROPOSED SITE LIES WITHIN THE LONGFORD HOMES TRAILS DEVELOPMENT WHICH IS PROGRAMMED TO DISCHARGE TO THE BOCA NEGRA SYSTEM SUBJECT TO DISCHARGE RESTRICTIONS ACCOMPLISHED BY A SERIES OF REGIONAL DETENTION PONDS. ALL FRONTING INFRASTRUCTURE HAS BEEN CONSTRUCTED BY LONGFORD HOMES EXCEPT FOR TURN LANES. OFFSITE FLOWS DO NOT IMPACT THE SITE. THE PURPOSE OF THIS SUBMITTAL IS TO OBTAIN SITE DEVELOPMENT PLAN APPROVAL AND TO DOCUMENT THE PROPOSED DRAINAGE CONCEPT FOR THE SITE. A SEPARATE SUBMITTAL WILL BE REQUIRED FOR BUILDING PERMIT APPROVAL.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP C-9, THE PROPOSED SITE IS LOCATED AT THE SOUTHEAST CORNER OF RAINBOW BLVD NW AND WOODMONT AVENUE NW, BOTH OF WHICH WERE CONSTRUCTED BY LONGFORD HOMES AS PART OF THE TRAILS, UNIT II SUBDIVISION (CPN 730084). THE 5 ACRE TRACT WAS SPLIT OUT OF THE MUCH LARGER BULK LAND PARCEL, TRACT 10, THE TRAILS, UNIT 2. THE PROPERTY TO THE NORTH IS CURRENTLY UNDER CONSTRUCTION AS A SINGLE FAMILY RESIDENTIAL SUBDIVISION, THE PRESERVE AT THE TRAILS (CPN 738483). THE SITES TO THE WEST AND SOUTH ARE DEVELOPED AS A DETENTION POND BY CPN730084.

REQUIRES EPC SITE PLAN REVIEW AND DRB APPROVAL. AS SHOWN BY PANEL 111 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED NOVEMBER 19, 2003, THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE. EXISTING SITE RUNOFF ULTIMATELY DRAINS TO THE BOCA NEGRA ARROYO WHICH HAS A ZONE A FLOOD HAZARD DESIGNATION.

III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

A. BOCA NEGRA - MARIPOSA ARROYO DRAINAGE MANAGEMENT PLAN DATED APRIL, 2005, PREPARED FOR AMAFCA BY RESOURCE TECHNOLOGY, INC. (RTI). THIS PLAN, ADOPTED BY AMAFCA, PRESENTS AN OVERALL DRAINAGE MANAGEMENT PLAN FOR THE BOCA NEGRA WATERSHED INCLUDING THE DESIGN AND CONSTRUCTION OF THE BOCA NEGRA DAM TO BE LOCATED NEAR THE INTERSECTION OF UNSER BLVD NW AND RAINBOW (ATRISCO) BLVD NW. THIS DAM, TO BE MAINTAINED BY AMAFCA, IS THE DESIGNATED OUTFALL FOR DEVELOPED RUNOFF FROM THE TRAILS SITE AND IS CURRENTLY IN THE FINAL STAGES OF DESIGN. DAM CONSTRUCTION IS PLANNED TO BEGIN IN 2006 UNDER A COST-SHARING AGREEMENT BETWEEN AMAFCA AND PRIVATE DEVELOPERS THAT WILL BENEFIT FROM THE PROJECT.

B. PRELIMINARY CONSTRUCTION PLANS FOR THE TRAILS OFFSITE STORM DRAIN (CPN 761281) BY WILSON & COMPANY DATED JULY, 2005. THIS PLAN SET (NOT YET APPROVED AT THE TIME THIS REPORT WAS PREPARED) ADDRESSES THE PUBLIC (CITY OF ALBUQUERQUE) UNIVERSE STORM DRAIN THAT WILL RUN FROM THE ALAMEDA GRANT LINE AT THE SOUTHEAST CORNER OF THE TRAILS PROJECT SOUTH TO THE AFOREMENTIONED BOCA NEGRA DAM (REF. A). THE STORM DRAIN WILL SERVE AS THE OUTFALL FOR THE TRAILS PROJECT.

C. AMENDMENT TO THE TRAILS SUBDIVISION MASTER DRAINAGE STUDY PREPARED FOR LONGFORD HOMES BY WILSON & COMPANY, INC. DATED JULY 29, 2004. THE ORIGINAL PLAN FOR THE TRAILS WAS PREPARED BY BOHANNON-HUSTON, INC (BHI). THE AMENDMENT BY WILSON & COMPANY REVISED THE DRAINAGE CONCEPT FOR THE TRAILS TO ONE WHEREBY STORMWATER WOULD BE DETAINED IN PONDS DISCHARGING TO THE PROPOSED UNIVERSE STORM DRAIN (REF. B). THE PROPOSED LDS MEETINGHOUSE SITE IS LOCATED WITHIN BASIN H WHICH IS IDENTIFIED FOR FREE DISCHARGE TO A PROPOSED 36 INCH STORM DRAIN THAT OUTFALLS TO THE UNIVERSE STORM DRAIN (REF. B).

D. CONSTRUCTION PLANS FOR THE TRAILS, UNIT 2 (CPN 730084) BY WILSON AND COMPANY DATED MAY, 2005. THESE PLANS, RECENTLY CONSTRUCTED INCLUDED THE DESIGNS FOR THE FRONTING STREET AND UTILITY IMPROVEMENTS OF THE FRONTING PARTS OF RAINBOW AND WOODMONT, AS WELL AS THE STORM DRAIN AND POND SERVING BASIN H THAT IS THE DESIGNATED OUTFALL FOR THE LDS MEETINGHOUSE SITE. THESE PLANS INCLUDE AN OVERALL POND AND DRAINAGE BASIN MAP FOR THE TRAILS THAT SHOWS WOODMONT DRAINING TO BASIN G WHICH DRAINS TO A DETENTION POND CONSTRUCTED WITH CPN 738483, THE RESERVE AT THE TRAILS, ALSO BY WILSON & COMPANY AND CURRENTLY UNDER CONSTRUCTION.

E. CONCEPTUAL G&D BY JMA DATED 11/01/2005. THIS CONCEPTUAL PLAN FOR THIS SAME SITE WAS APPROVED FOR SITE PLAN DRB ACTION. SINCE THAT TIME, THE PROPOSED SITE PLAN HAS CHANGED, AND THE DETENTION POND TO THE SOUTH HAS BEEN ADDED. THE ORIGINAL PLAN IDENTIFIED AN OUTFALL TO A STORM DRAIN. THE NEW OUTFALL IS TO THE POND. THIS PREVIOUS PLAN (C9/D8) IS REPLACED BY THIS CURRENT SUBMITTAL.

IV. EXISTING CONDITIONS:

THE SITE IS UNDEVELOPED WITH A SPARSE GROUND COVER OF NATIVE VEGETATION. THE SITE GENERALLY SLOPES FROM NORTHWEST TO SOUTHEAST AND EXISTING SITE RUNOFF EVENTUALLY DRAINS TO THE UNDEVELOPED BOCA NEGRA ARROYO. THE SITE IS SURROUNDED BY VARIOUS PHASES OF THE TRAILS SUBDIVISION CURRENTLY UNDER CONSTRUCTION. PHASE 2 (REF. D) CONSTRUCTED THE FULL WIDTH PUBLIC STREET IMPROVEMENTS FOR RAINBOW AND WOODMONT WHICH INCLUDE PUBLIC STORM DRAINS. THESE STREETS WILL PREVENT OFFSITE FLOWS FORM IMPACTING THE SITE. THE REMAINING FRONTAGE LIES TOPOGRAPHICALLY LOWER AND IS INCAPABLE OF GENERATING OFFSITE FLOWS.

V. DEVELOPED CONDITIONS

THE PROPOSED SITE WILL BE A MEETINGHOUSE FOR THE JESUS CHRIST CHURCH OF LATTER DAY SAINTS (LDS). THE SITE WILL INCLUDE THE MEETINGHOUSE BUILDING WITH ASSOCIATED PAVED PARKING AND LANDSCAPING IMPROVEMENTS. THE SITE WILL DRAIN VIA INTERNAL STORM DRAIN TO AN EXISTING PUBLIC DRAINAGE POND WITHIN A PUBLIC EASEMENT THAT LIES TO THE SOUTH OF THE SITE AND IS SIZED FOR THIS DISCHARGE. OFFSITE SLOPE GRADING WILL REQUIRE PERMISSION FROM THE ADJACENT PROPERTY OWNER (LONGFORD HOMES).

VI. CONCEPTUAL GRADING PLAN

THE CONCEPTUAL GRADING PLAN ON SHEET C-1 SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT, 0 IN INTERVALS AS SHOWN BY THE REFERENCED JMA TOPO, 2) PROPOSED BOUNDARY FOR THE ADJACENT TRACTS AS PROVIDED BY WILSON & COMPANY, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED SURVEY AND SUPPLEMENTED WITH PROPOSED RAINBOW AND WOODMONT UTILITY IMPROVEMENTS BY LONGFORD HOMES TO SUPPORT THE TRAILS PROJECTS (REF D.), AND 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR AT RIGHT, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

VIII. CONCLUSIONS

- 1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY PREVIOUSLY APPROVED PLANS FOR THIS SITE (BOCA NEGRA DMP, TRAILS MDP) AND WITH THE PROPOSED CONCEPTS FOR OTHER AREA PLANS THAT ARE NOT YET APPROVED (UNIVERSE STORM DRAIN, BOCA NEGRA DAM).
- 2) LONGFORD HOMES CONSTRUCTED THE FRONTING STREETS AND DOWNSTREAM STORM DRAINAGE IMPROVEMENTS.
- 3) THIS SUBMITTAL SUPPORTS THE SITE DEVELOPMENT PLAN FOR THE SUBJECT PROJECT. A SEPARATE SUBMITTAL WILL BE REQUIRED TO SUPPORT BUILDING PERMIT APPROVAL.
- 4) THERE ARE NO DPM DESIGN VARIANCES, PUBLIC OR PRIVATE DRAINAGE EASEMENTS PROPOSED BY THIS PROJECT OTHER THAN THE OFFSITE STORM DRAIN EASEMENT PREVIOUSLY PLATTED BY THE SELLER.
- 5) THIS PROJECT WILL REQUIRE CONSTRUCTION OF PUBLIC TURN LANES.
- 6) OFFSITE SLOPE GRADING WILL REQUIRE PERMISSION FROM THE ADJACENT PROPERTY OWNER (LONGFORD HOMES).

SITE CHARACTERISTICS

1. PRECIPITATION ZONE = 1

2. $P_{k,100} = P_{360} = 2.20$

3. TOTAL PROJECT AREA (Ar) = 221,650SF
5.09 AC

4. EXISTING LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
A	221,650 / 5.09	100

5. DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
B	75,760 / 1.74	34
C	28,480 / 0.65	13
D	117,410 / 2.70	53

6. EXISTING CONDITION

1. VOLUME

$$E_w = (E_{Aa} + E_{Ba} + E_{Ca} + E_{Da}) / A_r$$

$$E_w = (0.44)(5.09) / 5.09 = 0.44 \text{ IN}$$

$$V_{100} = (E_w / 12) A_r = (0.44 / 12)(5.09)(43,560) = 8,130 \text{ CFS}$$

2. PEAK DISCHARGE

$$Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}$$

$$Q_p = Q_{100} = (1.29)(5.09) = 6.6 \text{ CFS}$$

7. DEVELOPED CONDITION

1. VOLUME

$$E_w = (E_{Aa} + E_{Ba} + E_{Ca} + E_{Da}) / A_r$$

$$E_w = [(0.67)(1.74) + (0.99)(0.65) + (1.97)(2.70)] / 5.09 = 1.40 \text{ IN}$$

$$V_{100} = (E_w / 12) A_r = (1.40 / 12)(5.09)(43,560) = 25,870 \text{ CFS}$$

2. PEAK DISCHARGE

$$Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}$$

$$Q_p = Q_{100} = (2.03)(1.74) + (2.87)(0.65) + (4.37)(2.70) = 17.2 \text{ CFS}$$

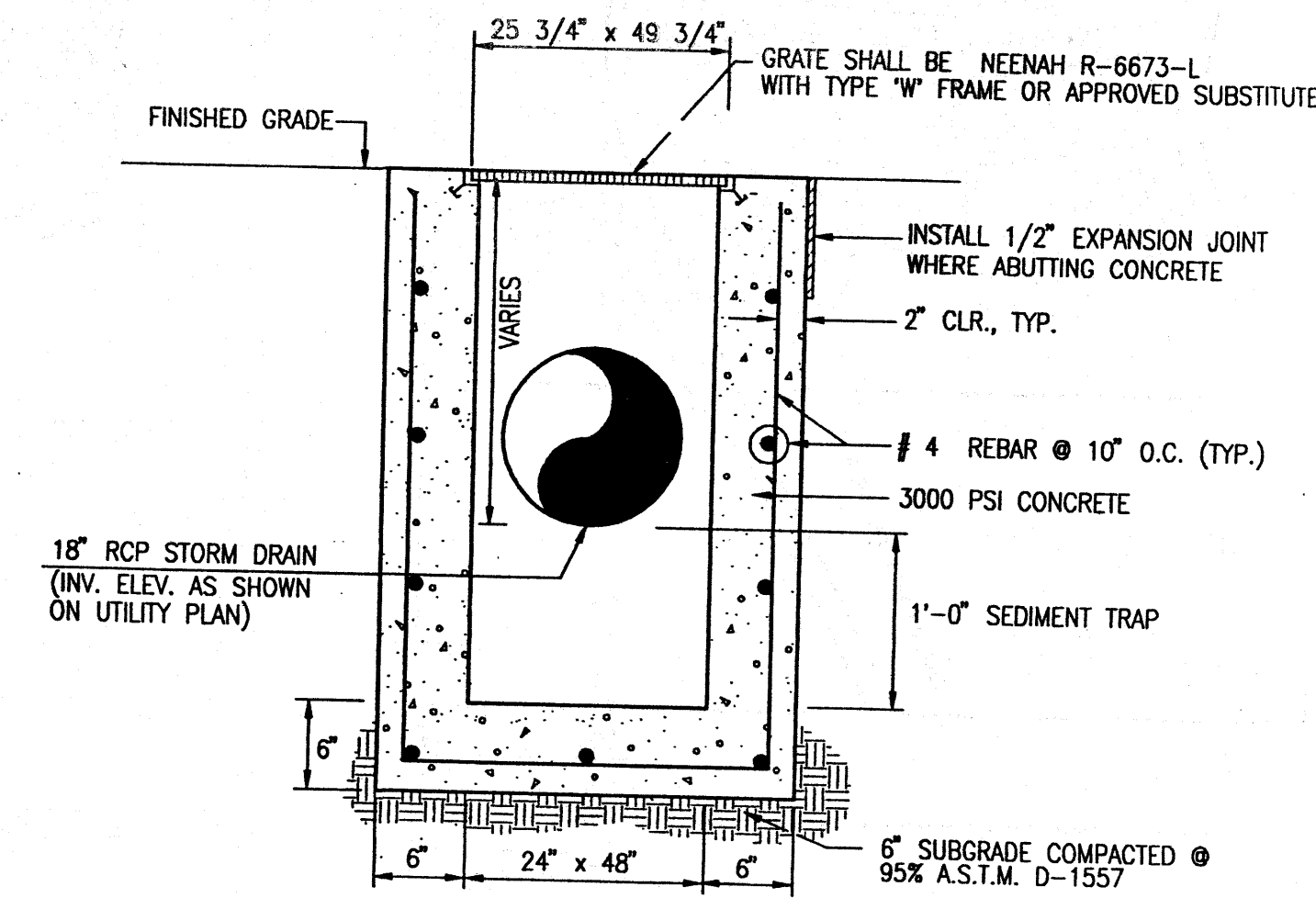
8. COMPARISON

1. VOLUME

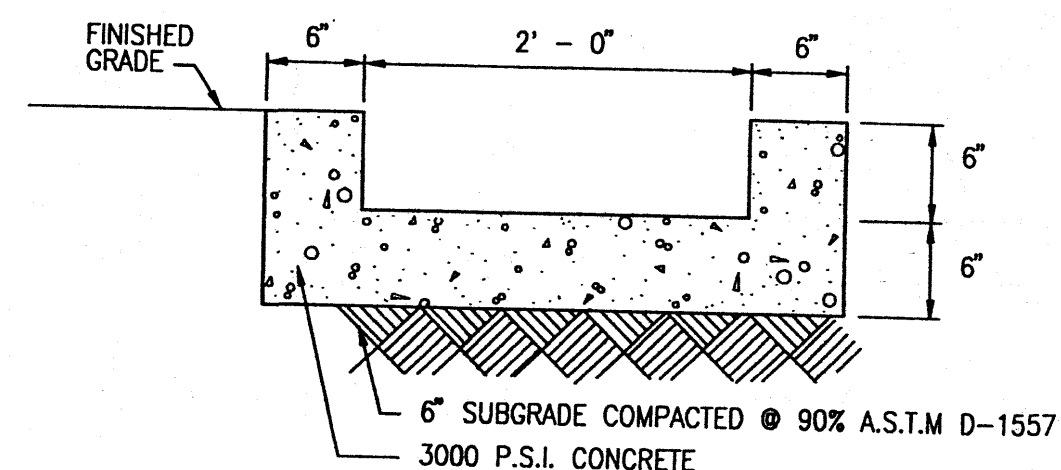
$$V_{100} = 25,870 - 8,130 = 17,740 \text{ CFS (INCREASE)}$$

2. PEAK DISCHARGE

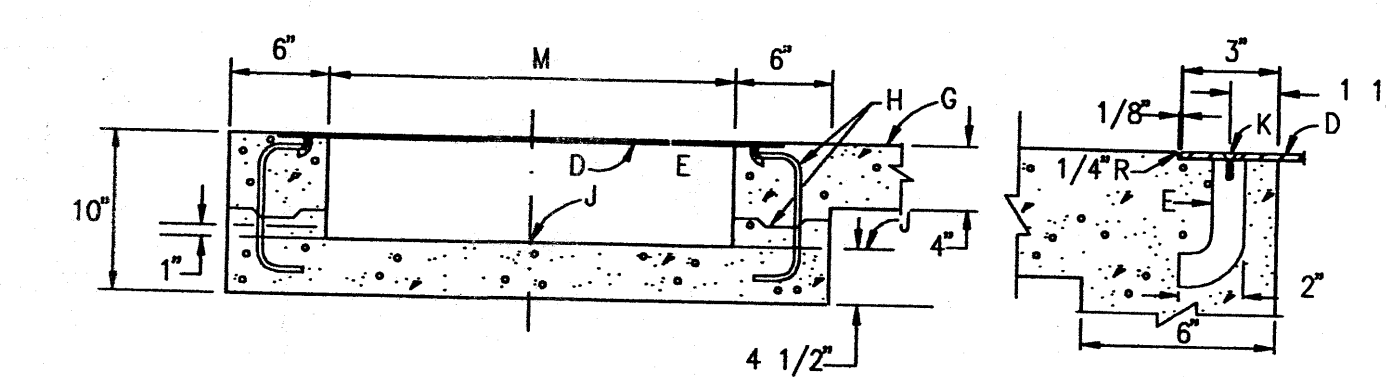
$$Q_{100} = 17.2 - 6.6 = 10.6 \text{ CFS (INCREASE)}$$



TYPICAL STORM INLET SECTION
SCALE: 1" = 1' - 0"

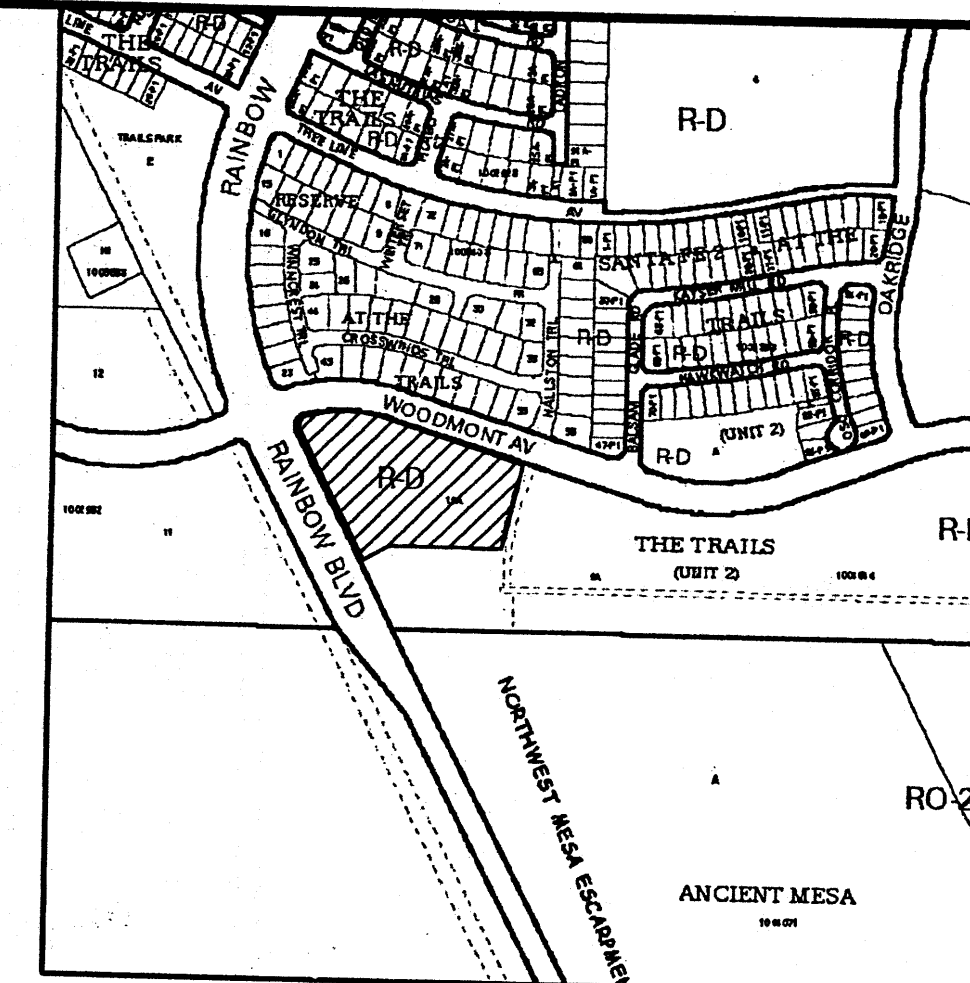


TYPICAL RUNDOWN SECTION
SCALE: 1" = 1' - 0"

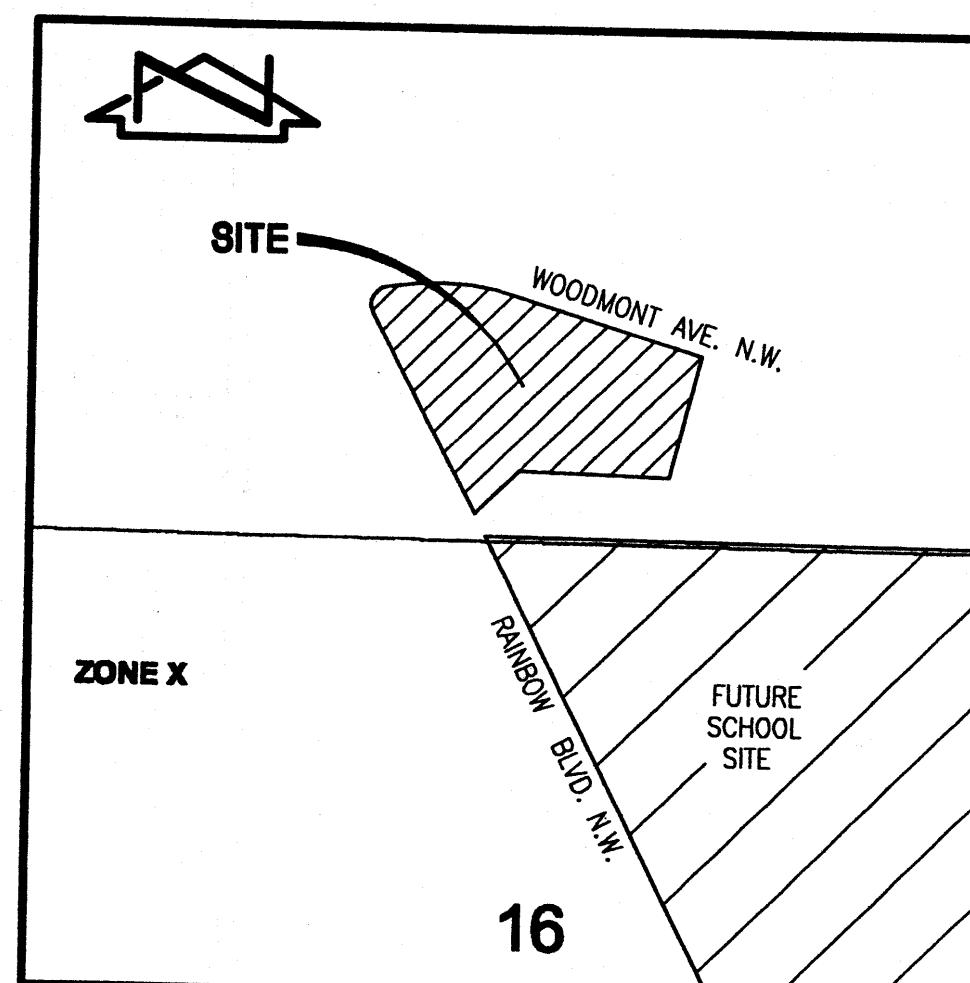


- CONSTRUCTION NOTES:
- C. 3" RADIUS, (TYPICAL).
 - D. 3/8" CHECKERED STEEL PLATE.
 - E. ROD ANCHOR 1" x 5"
 - G. SIDEWALK GRADE
 - H. DOWEL AND JOINT, (OPTIONAL).
 - J. GUTTER FLOWLINE ELEV.
 - K. 3/8" x 1" F.H. C'SUNK STAINLESS STEEL MACHINE SCREW.
 - M. DRAIN WIDTH, 24" MAX. 12" MIN.

TYPICAL SIDEWALK CULVERT DETAILS
NOT TO SCALE

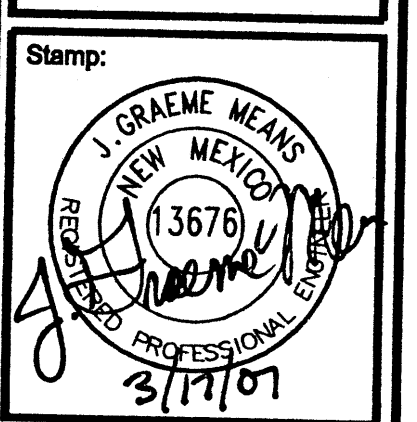


VICINITY MAP
SCALE: 1" = 750'



F.I.R.M. PANEL 111 OF 825
SCALE: 1" = 500'
11/19/2003

Architect / Engineer:
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Ventana Ward Meetinghouse
SEC Rainbow Blvd. & Woodmont Ave.
Albuquerque, NM

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

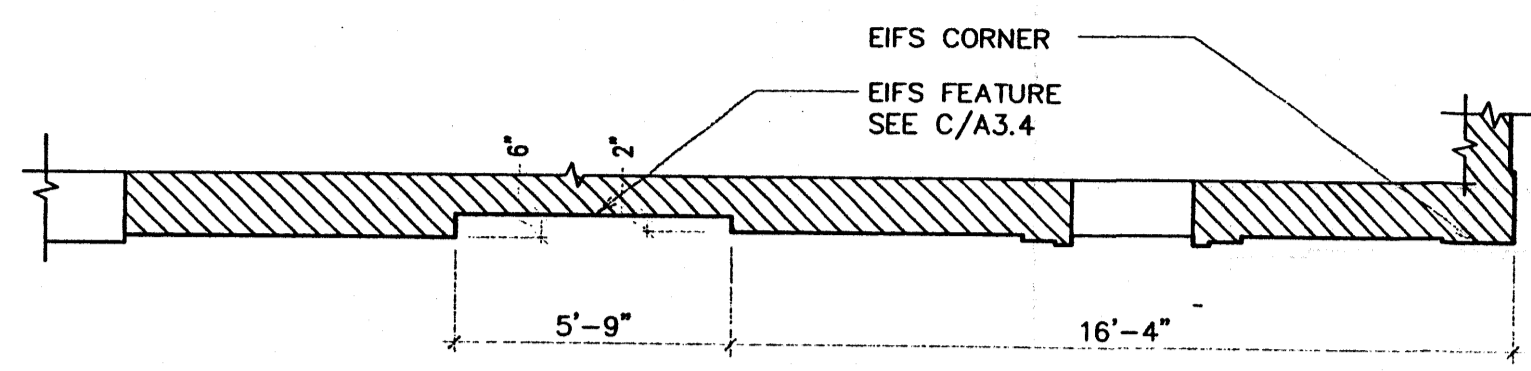
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Plan Series: HER-TRA-98-13
Property Number: 589-1196
Sheet Title: NARRATIVE CALCULATIONS DETAILS

Sheet:
C-2

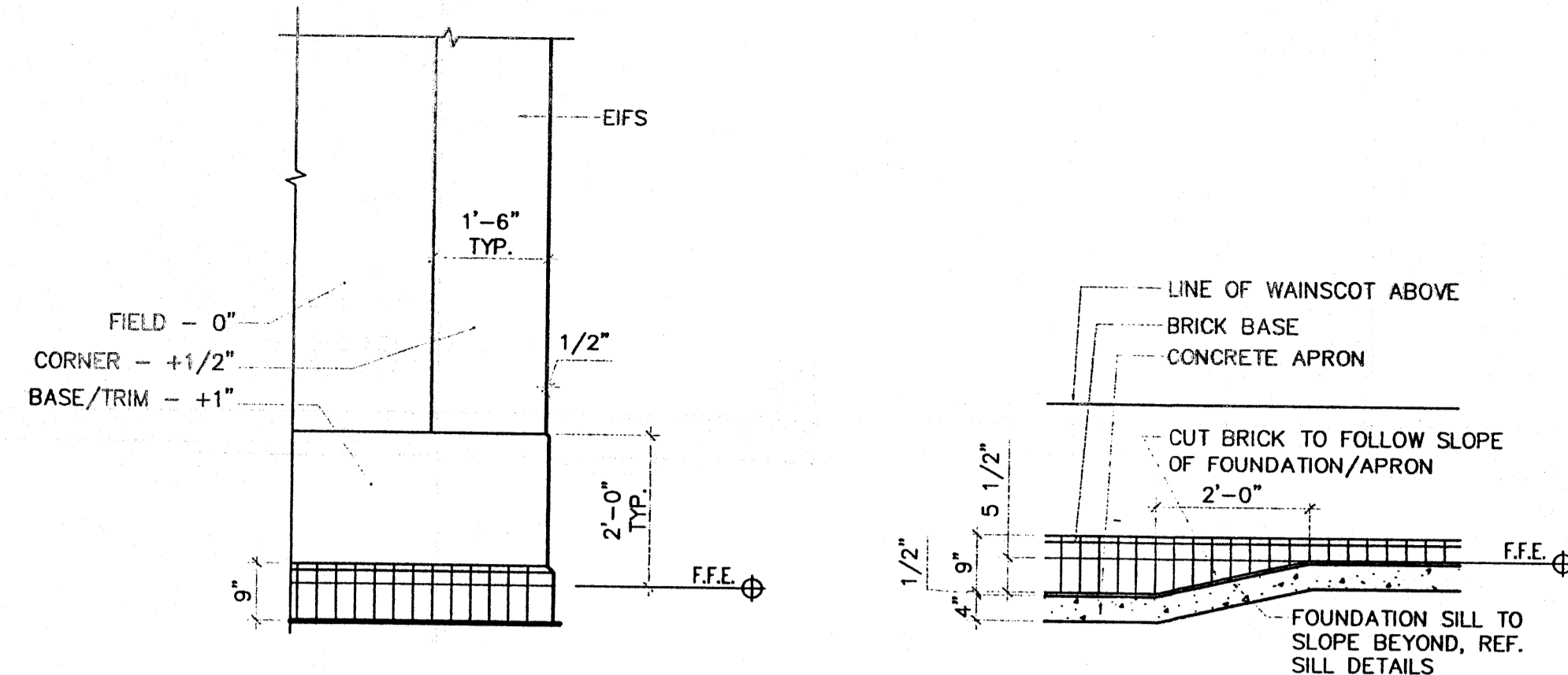
THIS SUBMITTAL REPLACES THE PREVIOUSLY APPROVED PLAN DATED 11/01/2005 AND IS REVISED TO REFLECT CHANGED CONDITIONS AND THE REVISED SITE PLAN.

JMA JOB NO. 2005.049.3
Jma JEFF MORTENSEN & ASSOCIATES, INC.
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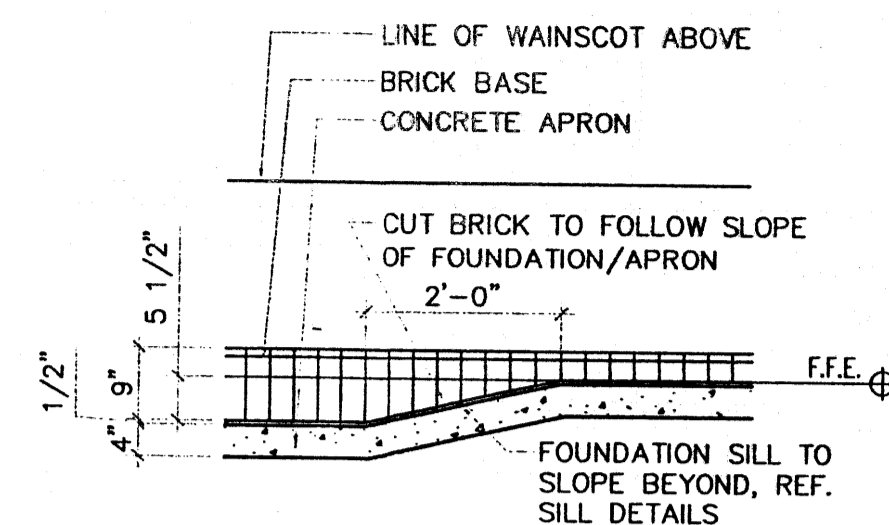
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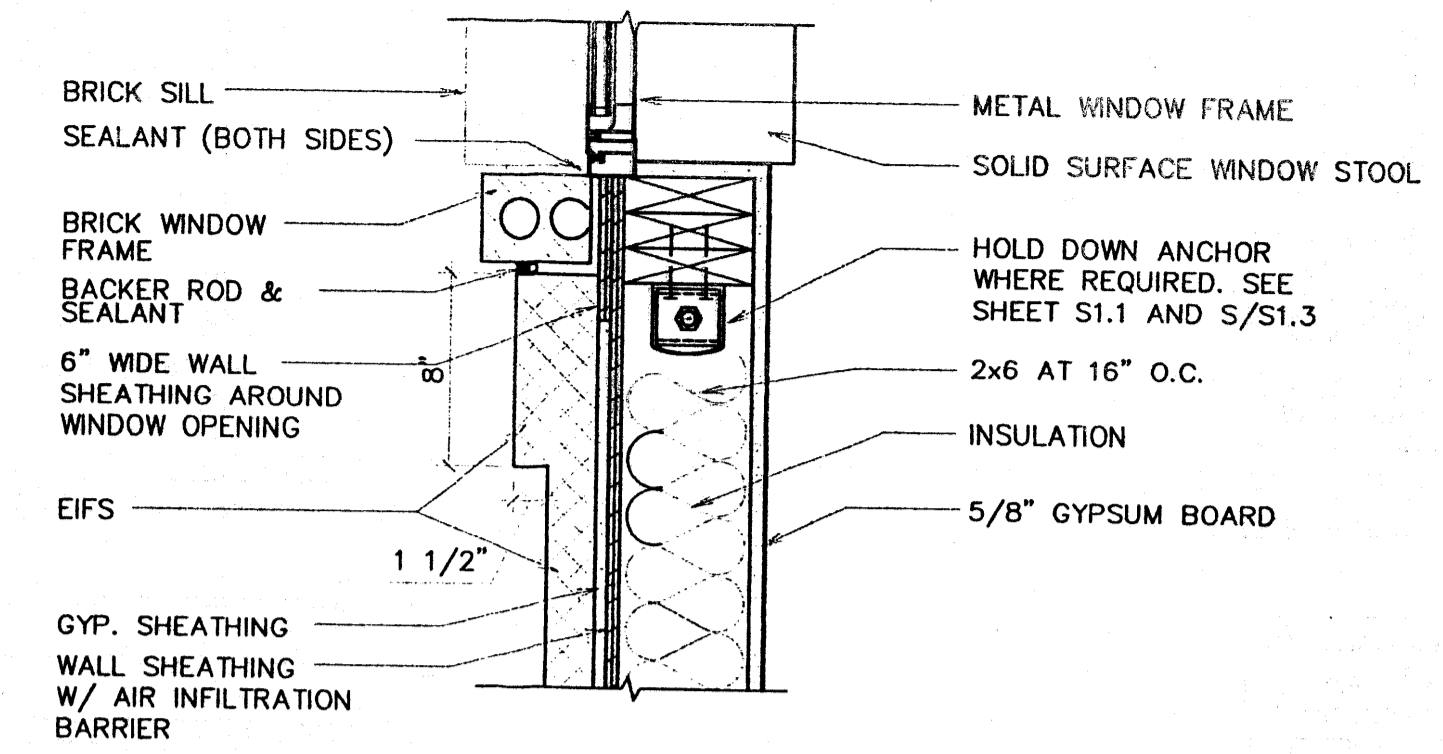
A DETAIL
1/4" = 1'-0"



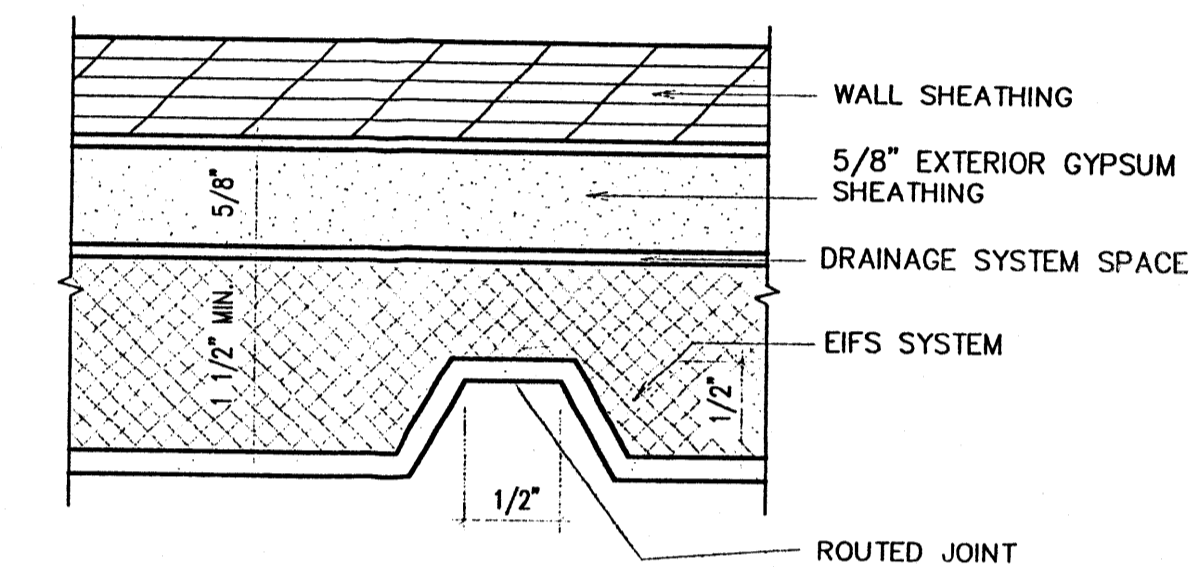
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1/2" = 1'-0"



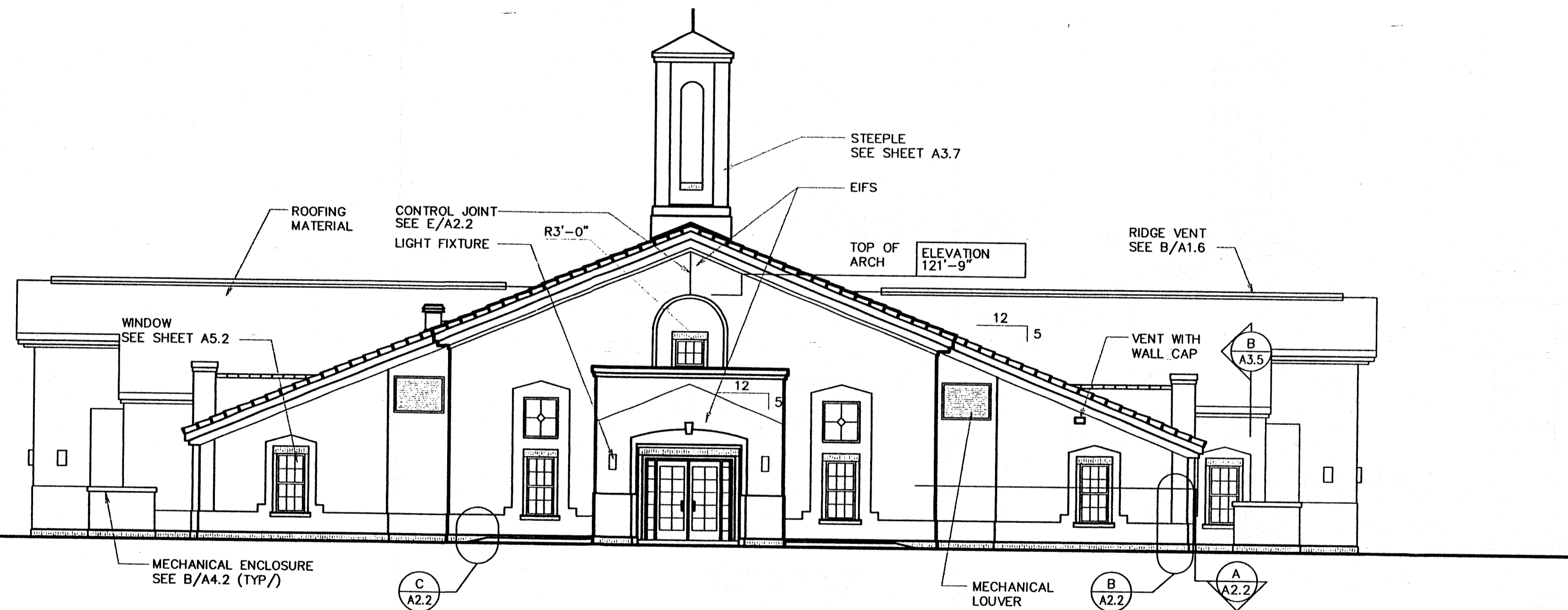
C BASE DETAIL
1/2" = 1'-0"
TYP. AT ALL APRON SLOPE LOCATIONS



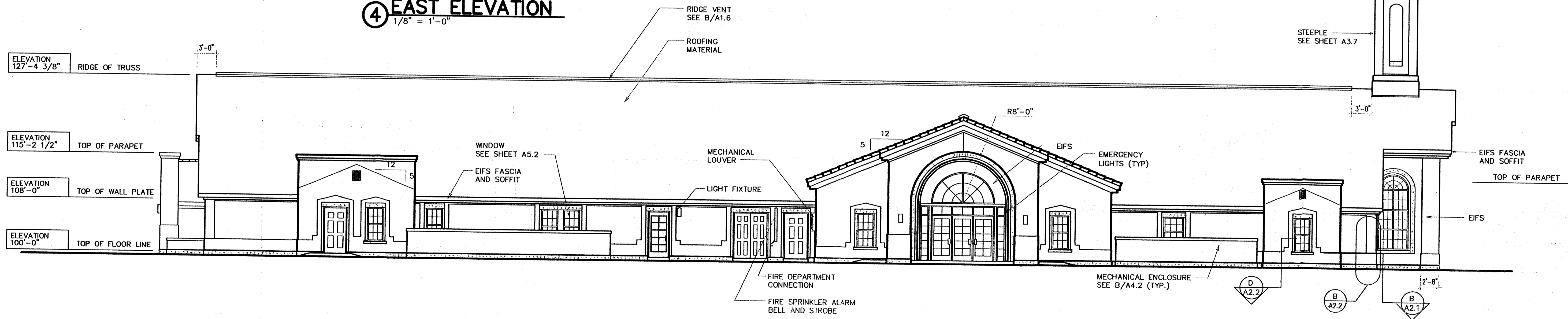
D JAMB
1 1/2" = 1'-0"



E JOINT DETAIL
FULL



4 EAST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"

Architect / Engineer:
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 Albuquerque, NM

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

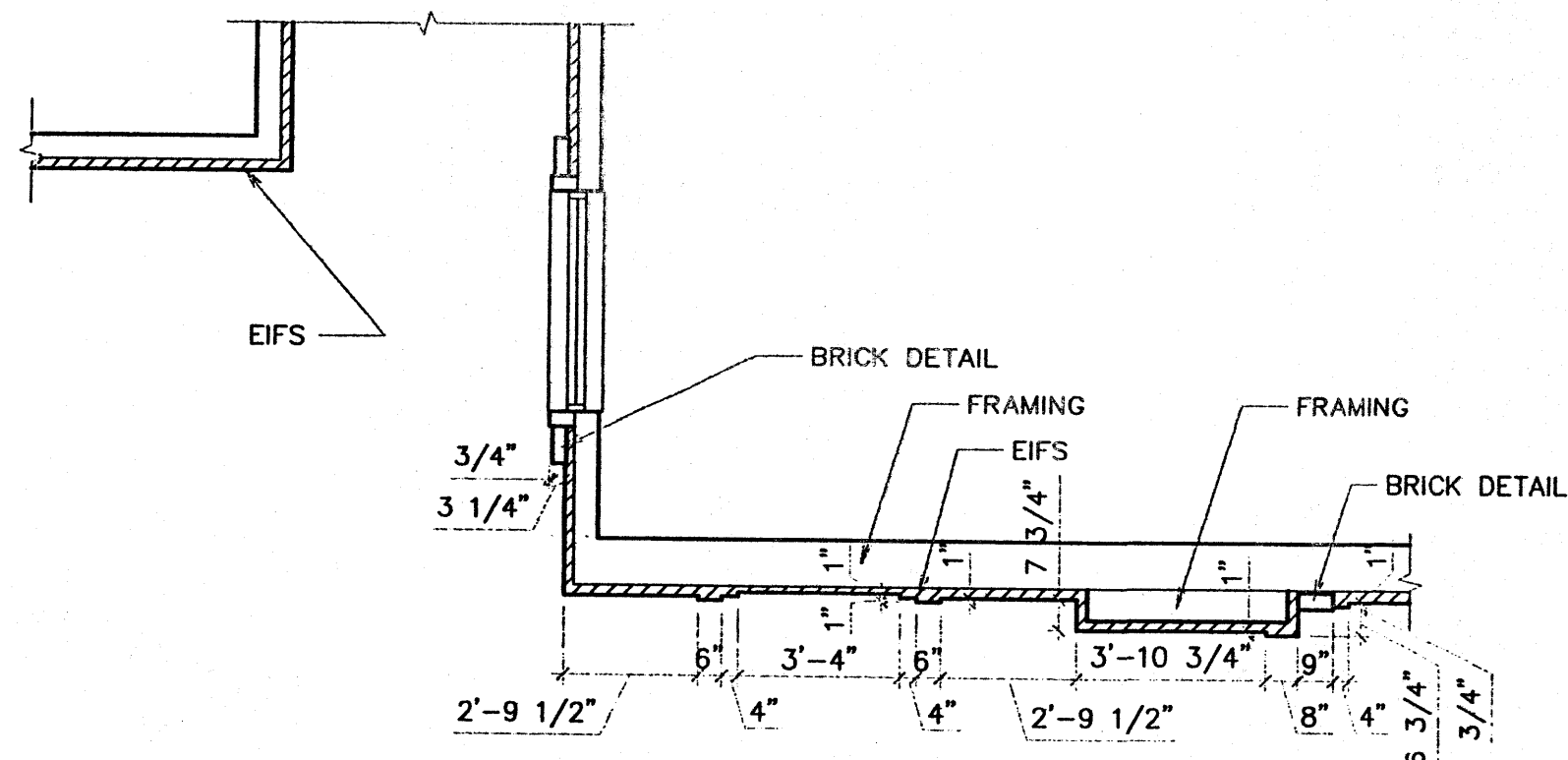
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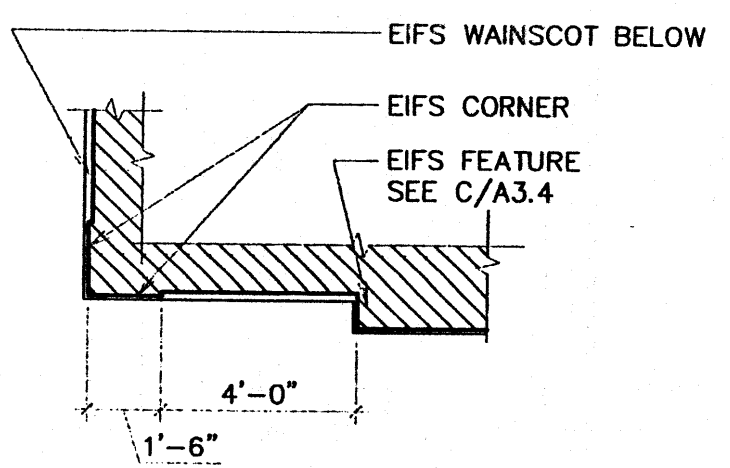
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HER-TRA-98-13
 Property Number:
589-1196

Sheet Title:
EXTERIOR ELEVATIONS

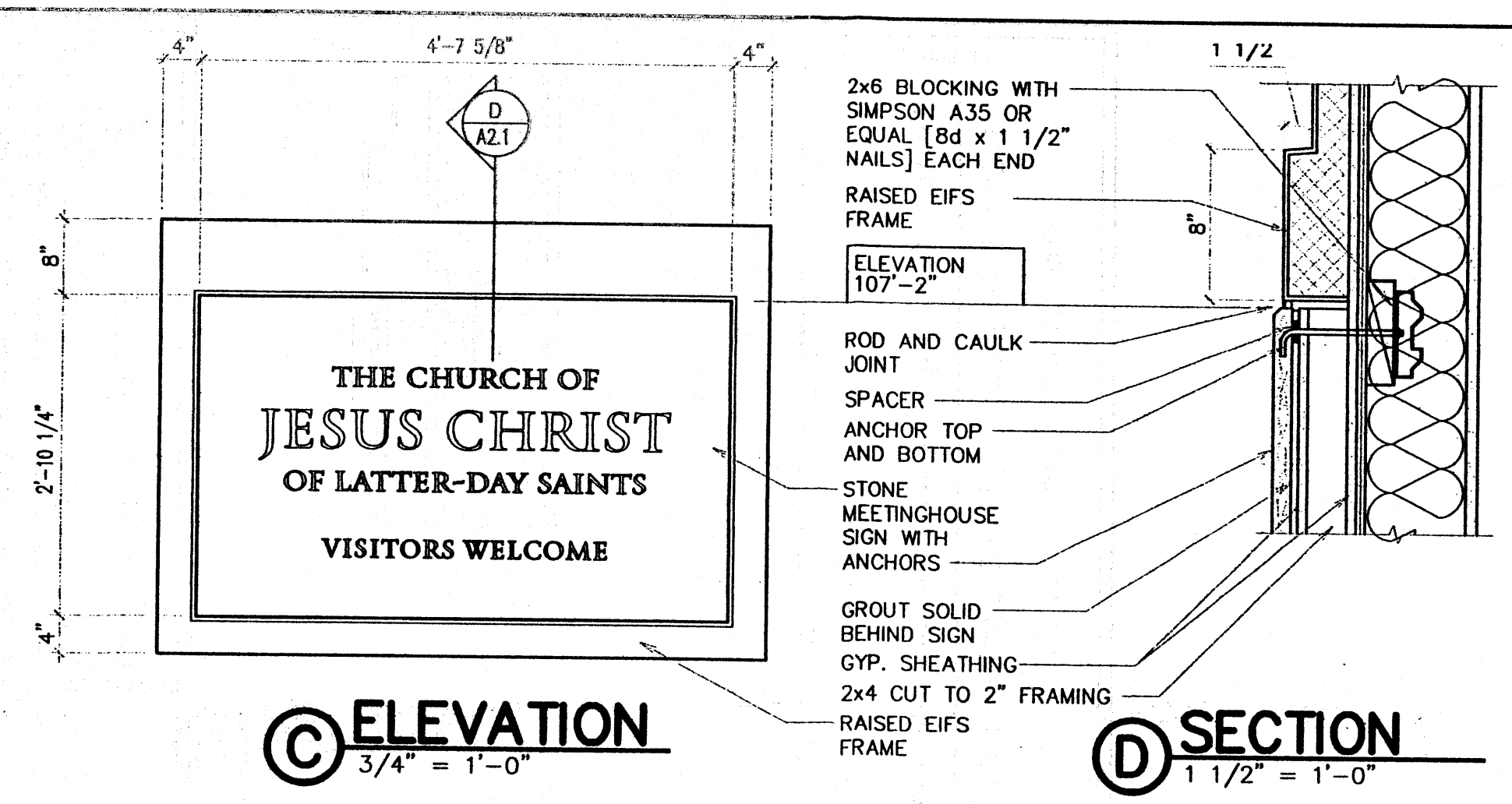
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A DETAIL
1/4" = 1'-0"



B DETAIL
1/4" = 1'-0"

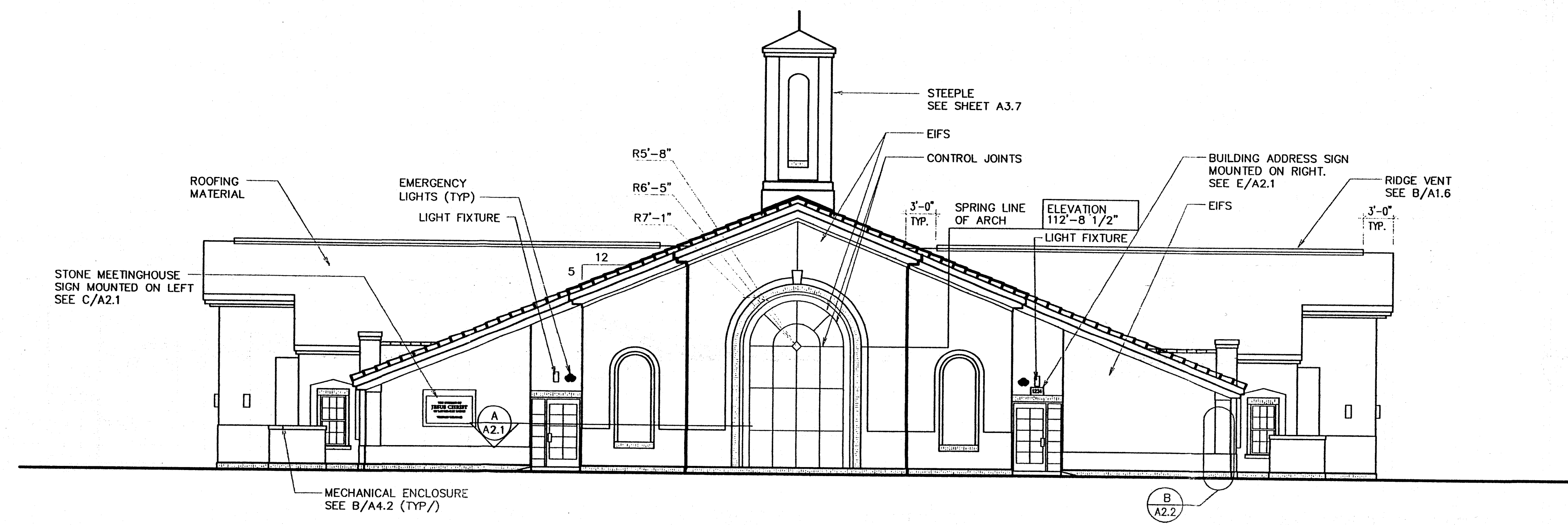


C ELEVATION
3/4" = 1'-0"

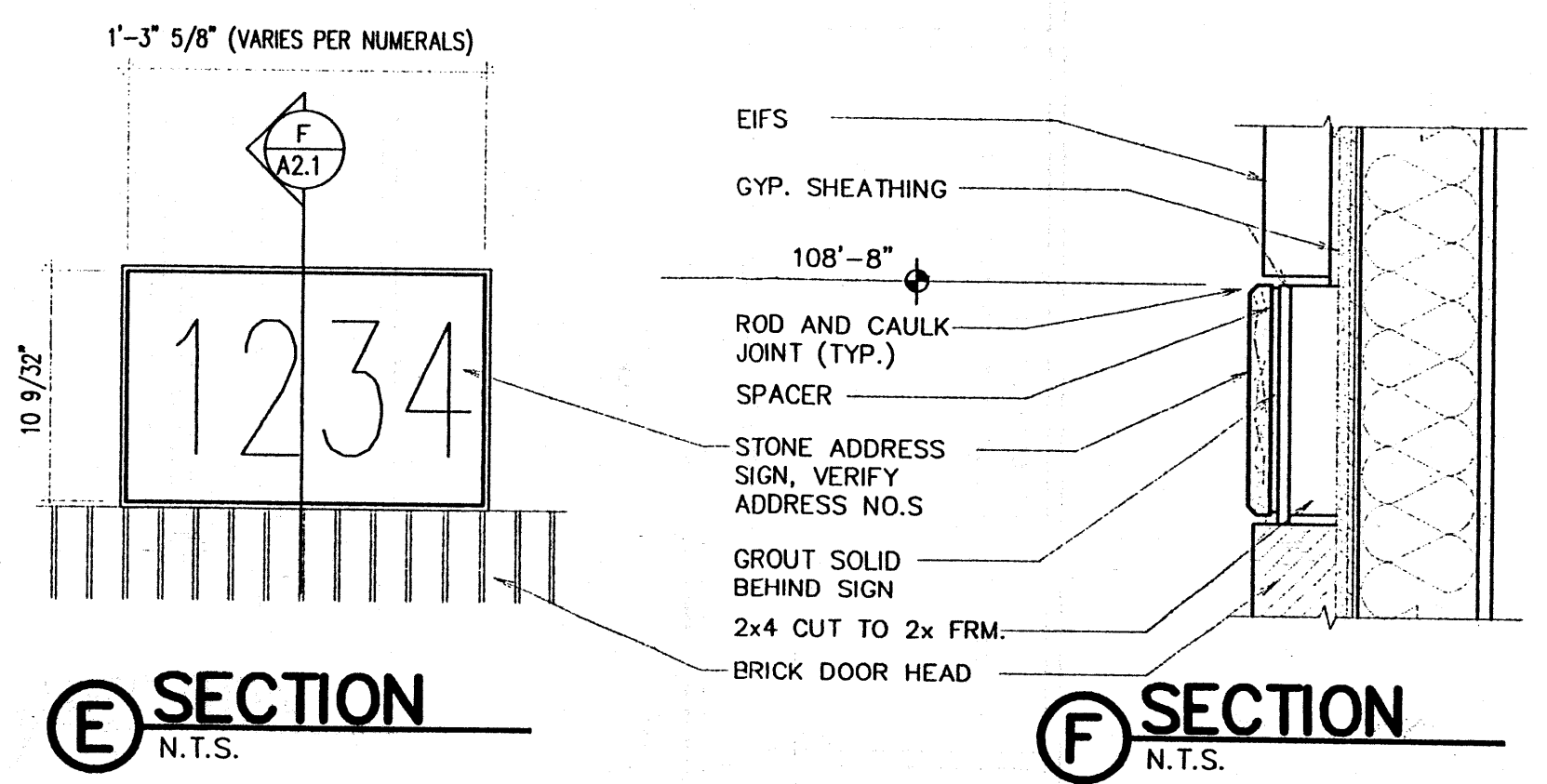
D SECTION
1 1/2" = 1'-0"

SIGN IS TO BE MOUNTED ON THE LEFT OR RIGHT SIDE OF THE FRONT ELEVATION AT THE MOST VISIBLE LOCATION FROM THE STREET.

STONE MEETINGHOUSE SIGN



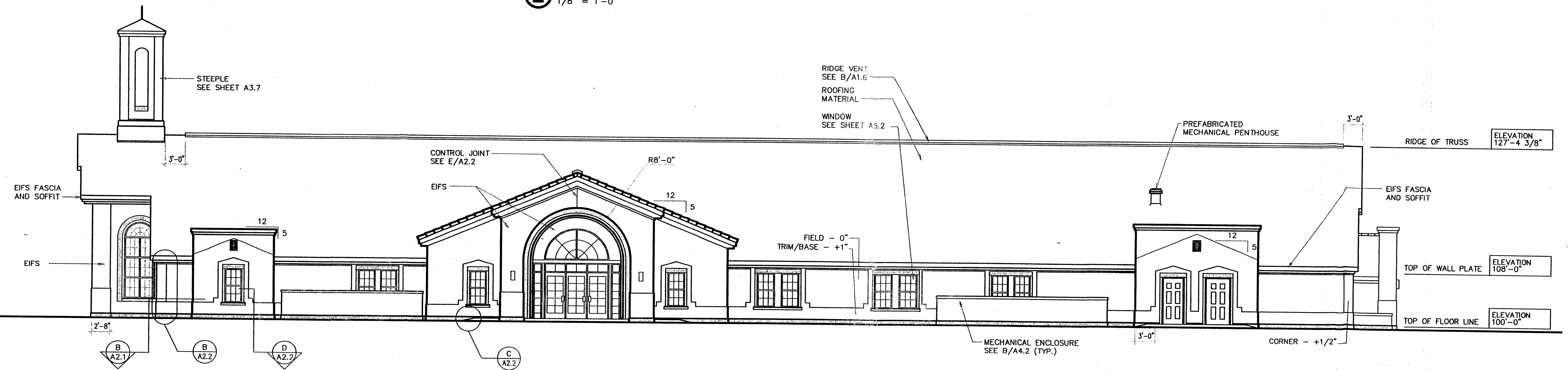
2 WEST ELEVATION
1/8" = 1'-0"



E SECTION
N.T.S.

F SECTION
N.T.S.

STONE ADDRESS SIGN



1 SOUTH ELEVATION
1/8" = 1'-0"

Architect / Engineer:
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Ventana Ward Meetinghouse
SEC Rainbow Blvd. & Woodmont Ave.
Albuquerque, NM

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Mark	Date (m-d-y)	Description

Project Number:

Plan Series:
HER-TRA-98-13
Property Number:
589-1196

Sheet Title:
EXTERIOR ELEVATIONS

Sheet:
A2.1

CONSTRUCTION KEYED NOTES

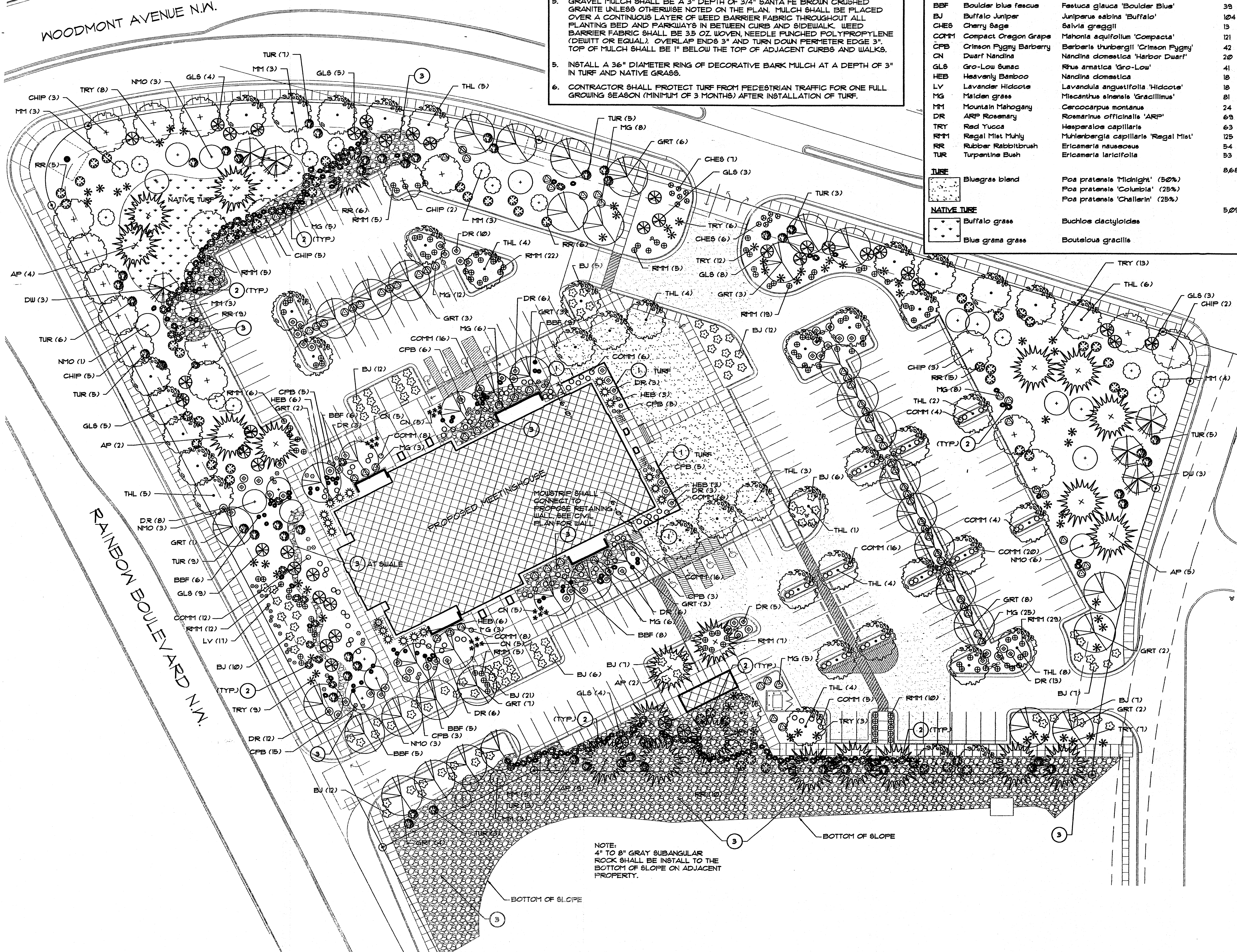
1. 6" 3000 PSI CONCRETE MOUTSTRIP PER DETAIL J/ GL3.
2. INSTALL BASALT LANDSCAPE BOULDERS PER DETAIL J/ L14.
3. 8" DEPTH OF 4" TO 8" GRAY SUBANGULAR ROCK OVER A CONTINUOUS LAYER OF WEED BARRIER FABRIC. WEED BARRIER FABRIC SHALL BE 35 OZ WOVEN, NEEDLE PUNCHED POLYPROPYLENE (DEWITT OR EQUAL) OVERLAP ENDS 3" AND TURN DOWN PERIMETER EDGE 3". TOP OF MULCH SHALL BE 1" BELOW THE TOP OF ADJACENT CURBS AND WALKS.

PLANTING NOTES

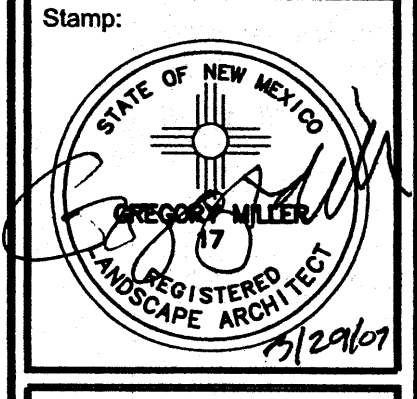
1. IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT LIST AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION. NO ADDITIONAL PAYMENT WILL BE MADE FOR DISCREPANCIES IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT LIST.
2. THE CONTRACTOR SHALL PRUNE LOWER BRANCHES OF DECIDUOUS TREES AS DIRECTED BY LANDSCAPE ARCHITECT.
3. TREES AND SHRUBS SHALL BE PLANTED PER DETAILS ON SHEET L14.
4. SOG SHALL BE INSTALLED PER DETAILS H AND I/ L14.
5. GRAVEL MULCH SHALL BE A 3" DEPTH OF 3/4" SANTA FE BROWN CRUSHED GRANITE UNLESS OTHERWISE NOTED ON THE PLAN. MULCH SHALL BE PLACED OVER A CONTINUOUS LAYER OF WEED BARRIER FABRIC THROUGHOUT ALL PLANTING BED AND PARKWAYS IN BETWEEN CURBS AND SIDEWALK. WEED BARRIER FABRIC SHALL BE 35 OZ WOVEN, NEEDLE PUNCHED POLYPROPYLENE (DEWITT OR EQUAL). OVERLAP ENDS 3" AND TURN DOWN PERIMETER EDGE 3". TOP OF MULCH SHALL BE 1" BELOW THE TOP OF ADJACENT CURBS AND WALKS.
5. INSTALL A 36" DIAMETER RING OF DECORATIVE BARK MULCH AT A DEPTH OF 3" IN TURF AND NATIVE GRASS.
6. CONTRACTOR SHALL PROTECT TURF FROM PEDESTRIAN TRAFFIC FOR ONE FULL GROWING SEASON (MINIMUM OF 3 MONTHS) AFTER INSTALLATION OF TURF.

PLANT SCHEDULE

SYM	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED	SIZE	MATURE	COMMENTS
TREES							
AP	Austrian Pine	Pinus nigra	22		6'-8' ht.	30'-40' ht., 30' epd.	
CHIP	Chinese Pistache	Pistacia chinensis	20		2-1/2" Cal	35' ht., 30' epd.	
DW	Desert Willow	Chilopsis linearis	6		5'-6' ht.	20'-30' ht. 4 epd.	Multi trunk
GRT	Goldenrain Tree	Koeleria paniculata	44		2-1/2" Cal	25' ht., 20' epd.	
THL	Honey Locust	Gleditsia triacanthos inermis 'Shademaster'	46		2-1/2" Cal	45'-50' ht., 40' epd.	
NMO	New Mexico Olive	Forestiera neomexicana	17		15-Gal	18' ht. 4 epd.	Multi trunk
SHRUBS							
BBF	Boulder blue fescue	Festuca glauca 'Boulder Blue'	39		1-Gal, 6" epd.	15" ht., 12" epd.	
BJ	Buffalo Juniper	Juniperus sabina 'Buffalo'	104		5-Gal, 12" epd.	12" ht., 6'-8' epd.	
CHEB	Cherry Sage	Salvia greggii	13		5-Gal, 12" epd.	3' ht. 4 epd.	
COMM	Compact Oregon Grape	Mahonia aquifolium 'Compacta'	121		5-Gal, 12" epd.	2'-3' ht., 3' epd.	
CPB	Crimson Pymy Barberry	Berberis thunbergii 'Crimson Pymy'	42		5-Gal, 8" epd.	2' ht. 4 epd.	
CN	Dwarf Nandina	Nandina domestica 'Harbor Dwarf'	20		5-Gal, 8" epd.	3' ht. 8' epd.	
GLS	Gro-Low Sumac	Rhus amataica 'Gro-Low'	41		5-Gal, 8" tall	3' ht., 8' epd.	
HEB	Heavenly Bamboo	Nandina domestica	18		5-Gal, 12" tall	6' ht. 4 epd.	
LV	Lavender Hiddote	Lavandula angustifolia 'Hiddote'	18		3-Gal, 8" tall	15" ht. 4' 10" epd.	
MG	Maiden grass	Miscanthus sinensis 'Gracillimus'	81		5-Gal, 12" tall	5' ht. 4' 3'-4' epd.	
MM	Mountain Mahogany	Cercocarpus montanus	24		15-Gal, 3" tall	10' ht. 4' 10" epd.	
DR	ARP Rosemary	Rosmarinus officinalis 'ARP'	69		5-Gal, 6" tall	2' ht. 4' 3'-8' epd.	
TRY	Red Yucca	Hesperaloe capillaris	63		5-Gal, 12" tall	5' ht. 4' 3' epd.	
RMM	Regal Mist Muhly	Muhlenbergia capillaris 'Regal Mist'	125		5-Gal, 12" tall	3' ht. 4' epd.	
RR	Rubber Rabbitbrush	Eriogonum fasciculatum	54		5-Gal, 12" tall	3' ht. 4' epd.	
TUR	Turpentine Bush	Eriogonum fasciculatum	53		5-Gal, 12" tall	4' ht. 4' epd.	
TURF			8,680 SF	Sod			
Bluegras blend					Poa pratensis 'Midnight' (50%) Poa pratensis 'Columbia' (25%) Poa pratensis 'Challarin' (25%)		
NATIVE TURF			5,020 SF	Seed			
Buffalo grass					Buchloe dactyloides 2 lb. FLB/ 1000 SF		
Blue grama grass					Bouteloua gracilis 2 lb. FLB/ 1000 SF		



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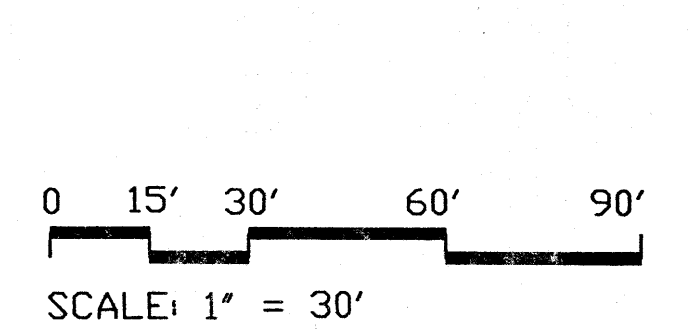
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Project Number: 9405
 Plan Series: HER-TRA-98-13
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Sheet Title:
PLANTING PLAN

Sheet:
L-1.2



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