



SUBDIVISION

- ☒ Major subdivision action
☐ Minor subdivision action
☒ Vacation
☐ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ☒ for Subdivision
☐ for Building Permit
☐ Administrative Amendment (AA)
☐ Administrative Approval (DRT, URT, etc.)
☐ IP Master Development Plan
☐ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

S Z ZONING & PLANNING

- ☐ Annexation
☒ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
☐ Adoption of Rank 2 or 3 Plan or similar
☐ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
☐ Street Name Change (Local & Collector)
☒ **APPEAL / PROTEST of...**
☐ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc. (Scott Steffen) PHONE: 505.823.1000
 ADDRESS: Courtyard 1, 7500 Jefferson St NE FAX: 505.798.7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: ssteffen@bhinc.com
 APPLICANT: RCS Trails Tract 1, LLC (Brian Mulqueen) PHONE: 303.533.1615
 ADDRESS: 371 Centennial Parkway Suite 200 FAX: _____
 CITY: Louisville STATE CO ZIP 80027 E-MAIL: bmulqueen@realcapitalsolutions.com
 Proprietary interest in site: Owner List all owners: RCS Trails Tract 1, LLC

DESCRIPTION OF REQUEST: Preliminary Plat, Site Development Plan for Subdivision, vacation of easements
sidewalk deferral/waiver for Taos II at the Trails

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☒ No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 1/unplatted Lands of Manuel R. Pili Block: _____ Unit: _____
 Subdiv/Addn/TBKA: The Trails Unit 2
SU-2 Volcano Trails Res Dev (VTRD)
 Existing Zoning: _____ Proposed zoning: SU-2 VTRD MRGCD Map No _____
 Zone Atlas page(s): C9 UPC Code: 100906437149610104

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1002962 13DRB-70576, 14DRB-70186, 15DRB-70090, 16DRB-70015

CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? ☐ No
 No. of existing lots: 2 No. of proposed lots: 109 Total site area (acres): 17.39
 LOCATION OF PROPERTY BY STREETS: On or Near: Paseo Del Norte Blvd
 Between: Oakridge Street and Rainbow Blvd
 Check if project was previously reviewed by: Sketch Plat/Plan ☐ or Pre-application Review Team(PRT) ☐ Review Date: _____

SIGNATURE

Scott J Steffen DATE 7/14/16
 (Print Name) SCOTT J STEFFEN Applicant: ☐ Agent: ☒

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date _____			

Project # _____

Staff signature & Date _____

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- ☒ MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)
- ☒ 5 Acres or more: Certificate of No Effect or Approval

☒ Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies

☒ Proposed Infrastructure List

NA

☒ Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only

☒ Design elevations & cross sections of perimeter walls 3 copies (11" x 17" maximum)

☒ Zone Atlas map with the entire property(ies) clearly outlined

☒ Letter briefly describing, explaining, and justifying the request

☒ Property owner's and City Surveyor's signature on the proposed plat

☒ FORM DRWS Drainage Report, Water & Sewer availability statement filing information

☒ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

☐ Sign Posting Agreement

NA

☒ Signed Pre-Annexation Agreement if Annexation required.

☒ TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form

☒ Fee (see schedule)

☒ List any original and/or related file numbers on the cover application
- Preliminary plat approval expires after one year.
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

☐ MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

☐ Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies

☐ Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)

☐ Zone Atlas map with the entire property(ies) clearly outlined

☐ Letter briefly describing, explaining, and justifying the request

☐ Property owner's and City Surveyor's signature on the proposed amended plat, if applicable

☐ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

☐ Sign Posting Agreement

☐ List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

☐ MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

☐ Zone Atlas map with the entire property(ies) clearly outlined

☐ Letter briefly describing, explaining, and justifying the request

☐ Plat or plan reduced to 8.5" x 11"

☐ Official D.R.B. Notice of the original approval

☐ Approved Infrastructure List. If not applicable, please initial. _____

☐ Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____

☐ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

☐ Sign Posting Agreement

☐ List any original and/or related file numbers on the cover application

☐ Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SCOTT J STEFFEN

Applicant name (print)

SCOTT J STEFFEN 7/14/16

Applicant signature / date



- ☐ Checklists complete

☐ Fees collected

☐ Case #s assigned

☐ Related #s listed
- Application case numbers
- _____

Form revised October 2007

Project #

Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- ☐ **SKETCH PLAT REVIEW AND COMMENT (DRB22)** Maximum Size: 24" x 36"
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover applicationMeetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- ☒ **SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** Maximum Size: 24" x 36"
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover applicationMeetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- ☐ **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** Maximum Size: 24" x 36"
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover applicationMeetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- ☐ **AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** Maximum Size: 24" x 36"
- ☐ **AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** Maximum Size: 24" x 36"
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover applicationMeetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- ☐ **FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- ☐ **FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover applicationMeetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SCOTT J STEFFAN

Applicant name (print)

Signature and date

Applicant signature / date



- ☐ Checklists complete
- ☐ Fees collected
- ☐ Case #s assigned
- ☐ Related #s listed
- Application case numbers
- - -
- - -
- - -

Form revised October 2007

Planner signature / date

Project #

FORM V: SUBDIVISION VARIANCES & VACATIONS

☐ BULK LAND VARIANCE (DRB04)

(PUBLIC HEARING CASE)

Application for Minor Plat on FORM S-3, including those submittal requirements. 24 copies

Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.

Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)

Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

Sign Posting Agreement

Fee (see schedule)

List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

☒ VACATION OF PUBLIC EASEMENT (DRB27)

☐ VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)

The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies.

(Not required for City owned public right-of-way.)

Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") 24 copies

Zone Atlas map with the entire property(ies) clearly outlined

Letter briefly describing, explaining, and justifying the request

Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

Sign Posting Agreement

Fee (see schedule)

List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

☐ SIDEWALK VARIANCE (DRB20)

☒ SIDEWALK WAIVER (DRB21)

Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies

Zone Atlas map with the entire property(ies) clearly outlined

Letter briefly describing, explaining, and justifying the variance or waiver

List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

☐ SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)

Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") 24 copies

Zone Atlas map with the entire property(ies) clearly outlined

Letter briefly describing, explaining, and justifying the variance

Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

Sign Posting Agreement

Fee (see schedule)

List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

☒ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)

☐ EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)

Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies

Zone Atlas map with the entire property(ies) clearly outlined

Letter briefly describing, explaining, and justifying the deferral or extension

List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

☐ VACATION OF PRIVATE EASEMENT (DRB26)

☐ VACATION OF RECORDED PLAT (DRB29)

The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") 6 copies

Scale drawing showing the easement to be vacated (8.5" by 11") 6 copies

Zone Atlas map with the entire property(ies) clearly outlined

Letter/documents briefly describing, explaining, and justifying the vacation 6 copies

Letter of authorization from the grantors and the beneficiaries (private easement only)

Fee (see schedule)

List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SCOTT J STEFFEN

Applicant name (print)

Applicant signature / date

Form revised 4/07



☐ Checklists complete

☐ Fees collected

☐ Case #s assigned

☐ Related #s listed

Application case numbers

Project #

Planner signature / date

July 14, 2016

Jack Cloud, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Re: Taos II at the Trails - Preliminary Plat, Site Plan for Subdivision, Vacation of Public Easement and Sidewalk Waiver/Deferral (DRB 1002962)

Dear Mr. Cloud:

Enclosed for Development Review Board (DRB) preliminary plat review and comment are copies of the following information:

- Application for Development Review
- Twenty-four (24) copies of each of the Preliminary Plat and Grading Plan
- Twenty-four (24) copies of the Infrastructure List
- Six (6) copies of the Site Plan for Subdivision
- Six (6) copies of Sidewalk Deferral and Waiver (Exhibit B)
- Twenty-four (24) copies of Vacation Action Exhibit (Exhibit C)
- Certificate of No Effect
- Letter from the Office of Neighborhood Coordination
- DR/WS and TIS forms
- Traffic Distribution Layout
- Three (3) copies of the perimeter wall plan (Exhibit D)
- Zone Atlas Map
- Submittal Fees

This preliminary plat and site development plan for subdivision are being presented to the Development Review Board for the purpose of obtaining City review and approval. Proposed is a subdivision of Tract 1 at the Trails Unit 2 and the Unplatted Lands of Manuel R. Pili, consisting of 109 single-family residential lots and 3 HOA tract on approximately 17.4 acres. The project will be developed in a single phase. The site is located south of Paseo del Norte and east of Rainbow Boulevard and can be accessed from Hearthstone Road, through the Heritage at the Trails Subdivision Unit 2 and from Oakridge Street via an existing 40' private access easement across Tract 2 at the Trails Unit 2. The lands are currently zoned SU-2, Volcano Trails Residential Developing (VTRD).

Engineering ▲

Spatial Data ▲

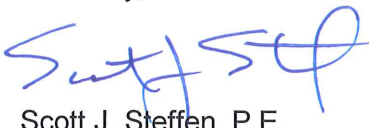
Advanced Technologies ▲

Jack Cloud
Planning Department
July 14, 2016
Page 2

Site Plan for Subdivision approval by the DRB is required by the VTRD zoning. In addition to the preliminary plat and site plan approvals we are requesting temporary deferral of sidewalk construction, waiver of sidewalk, and vacation of public easement.

Please place these items on the DRB Agenda to be heard on August 10, 2016. Please feel free to contact me at 823-1000 with questions or comments.

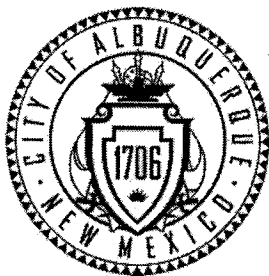
Sincerely,

A handwritten signature in blue ink, appearing to read 'Scott J. Steffen'.

Scott J. Steffen, P.E.
Vice President
Community Development & Planning

Enclosures

cc: Hugh Floyd, RESPEC
Brian Mulqueen, RCS



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

Interoffice Memorandum

November 8, 2007

Subject: Albuquerque Archaeological Ordinance—Compliance Documentation

Project Number(s):

Case Number(s):

Agent:

Applicant: Longford Homes, Inc.

Legal Description: The Trails Unit 3

Acreage: 165.59 acres

Zone Atlas Page: C-9

CERTIFICATE OF NO EFFECT: Yes ☒ No ☐

CERTIFICATE OF APPROVAL: Yes ☐ No ☐

SUPPORTING DOCUMENTATION:

NIAF submitted by TRC Solutions dated February 2007 (NMCRI# 103624)

Note: LA 49629 "ikely destroyed by recent construction activity."

SITE VISIT: n/a

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 72 Section 4B(1)-- no significant sites in project area; 4B(2)— land disturbance; and 4B(3), information potential exhausted for LA 49629).***

SUBMITTED:

Matthew Schmader, PhD

Superintendent, Open Space Division

Acting City Archaeologist

PRELIMINARY PLAT FOR
TAOS II AT THE TRAILS
LOTS 1-109 AND TRACTS A-C
JULY 2016

LEGAL DESCRIPTION

Tract 1 at The Trails Unit 2, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "BULK PLAT OF THE TRAILS UNIT 2 WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 18, 2004, in Plat Book 2004C, Page 332, as Document No. 2004166566 and Lands of Manuel Pili, Warranty Deed filed January 1, 2000, Book A1, Page 4899.

GENERAL NOTES

- EXISTING ZONING: SU-2, VIRO, TRAILS RESIDENTIAL DEVELOPING AREA
PROPOSED ZONING: SU-2, VIRO, TRAILS RESIDENTIAL DEVELOPING AREA
- PROPOSED ACREAGE: 17.39 AC
NUMBER OF LOTS: 109
NUMBER OF TRACTS: 2
PROPOSED DENSITY: 6.27 DU/AC
- MIN. LOT DIMENSIONS: 40' X 103'
MINIMUM LOT AREA: 4,120 SQFT
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS ARE TO BE PUBLIC AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO THE VOLCANO TRAILS SECTOR DEVELOPMENT PLAN.
- NO LOTS SHALL HAVE DIRECT ACCESS TO PASEO DEL NORTE BLVD.
- TRACTS A-C TO BE OWNED AND MAINTAINED BY THE TRAILS COMMUNITY ASSOCIATION, INC.

SITE DATA

ZONE ATLAS NO.	C-09-Z
ZONING	SU-2, VIRO
MILES OF FULL WIDTH STREETS CREATED	0.77 MILES
NO. OF EXISTING TRACTS	2
NO. OF LOTS CREATED	109
NO. OF HOA TRACTS CREATED	3

SURVEY NOTES:

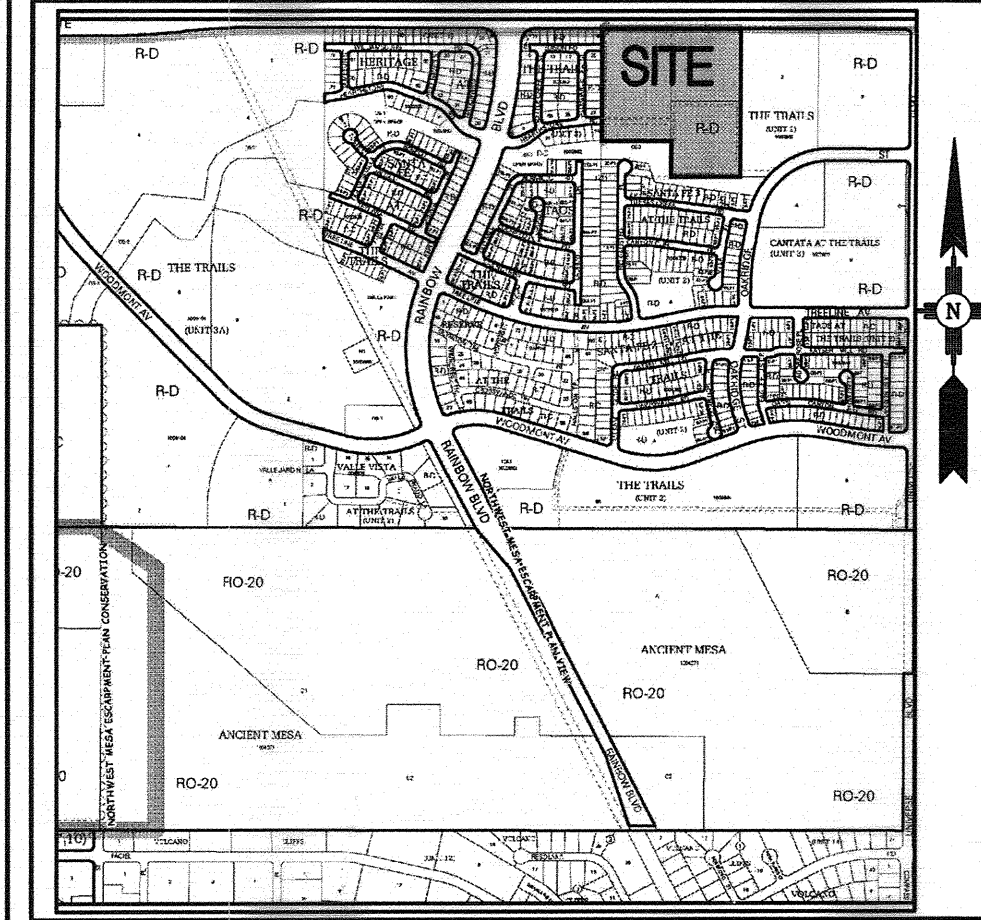
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 9750".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED

Steven W. Rios P.S. 7/14/16
CITY SURVEYOR DATE

Sharon K. Eshima
SHARON K. ESHIMA
MANAGER, RCS-TRAILS TRACT 1, LLC DATE

Bohannon & Huston
www.bhinc.com 800.877.5332



NOT TO SCALE VICINITY MAP ZONE ATLAS C-09-Z

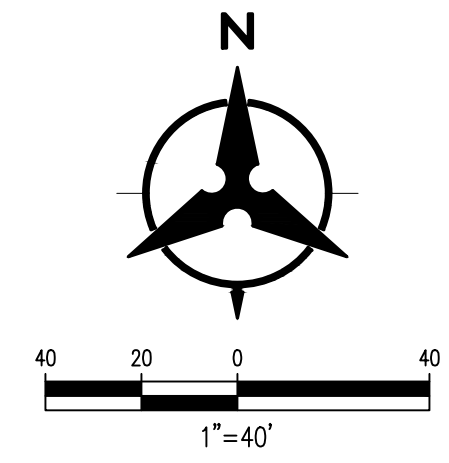
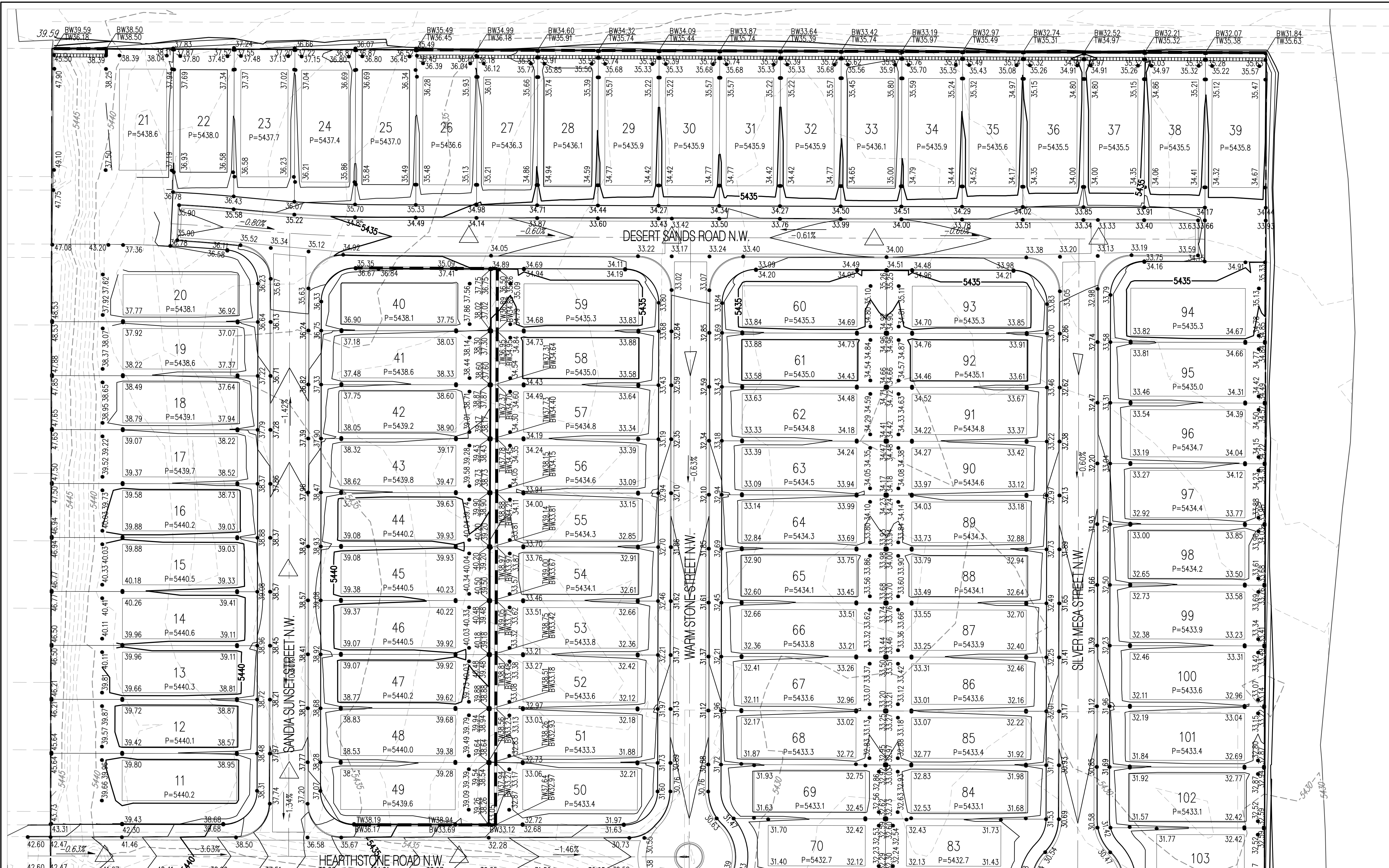
KEY NOTES

- (A) 10' PUBLIC UTILITY EASEMENT, GRANTED BY PLAT.
(B) PORTION OF EXISTING 40' SLOPE EASEMENT, TO BE VACATED BY PLAT.
(C) EXISTING 30' PRIVATE TEMPORARY SLOPE EASEMENT, TO BE VACATED BY PLAT.
(D) EXISTING 40' PRIVATE ACCESS AND PUBLIC DRAINAGE AND UTILITY EASEMENT, TO BE VACATED BY PLAT.
(E) EXISTING 20' PUBLIC EASEMENT FOR GENERAL PUBLIC ROAD PURPOSES AND PLACEMENT, MAINTENANCE AND OPERATION OF PUBLIC UTILITIES, TO BE VACATED BY PLAT.
(F) EXISTING BLANKET DRAINAGE EASEMENT, TO BE VACATED BY PLAT.
(G) EXISTING 40' PRIVATE ACCESS AND PUBLIC DRAINAGE UTILITY EASEMENT.
(H) 25' SEWER AND WATER EASEMENT GRANTED TO THE ABCWUA BY THIS PLAT.
(I) 20' STORM DRAIN EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
(J) PUBLIC PEDESTRIAN ACCESS EASEMENT
(K) PORTION OF AN EXISTING PUBLIC DRAINAGE EASEMENT TO BE VACATED BY THIS PLAT.

ID	BEARING	LENGTH
T1	S89°55'02"E	449.85'
T2	S00°08'08"W	232.61'
T3	S89°43'58"E	450.20'
T4	N00°06'45"E	489.04'
T5	N00°06'45"E	469.12'
T6	N89°48'21"W	900.05'
T7	S00°06'04"W	725.85'

LEGEND

—	SUBDIVISION BOUNDARY LINE
—	NEW LOT LINE
---	ADJOINING PROPERTY LINE
▲	CENTERLINE MONUMENT TO BE INSTALLED
△	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT



GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

LEGEND

- 91.62 PROPOSED SPOT ELEVATION
- × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
- EXISTING CURB & GUTTER
- === PROPOSED MOUNTABLE CURB & GUTTER
- ==== PROPOSED STANDARD CURB & GUTTER
- 5470 — EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- HIGH POINT

P:\20140037\CDP\Plans\General\20140037_GP01.dwg
July 14, 2016 - 10:26am

Bohannon **Huston**

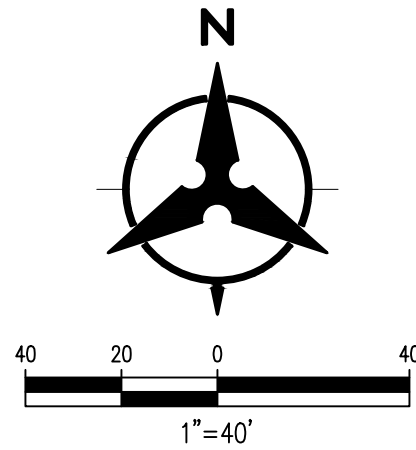
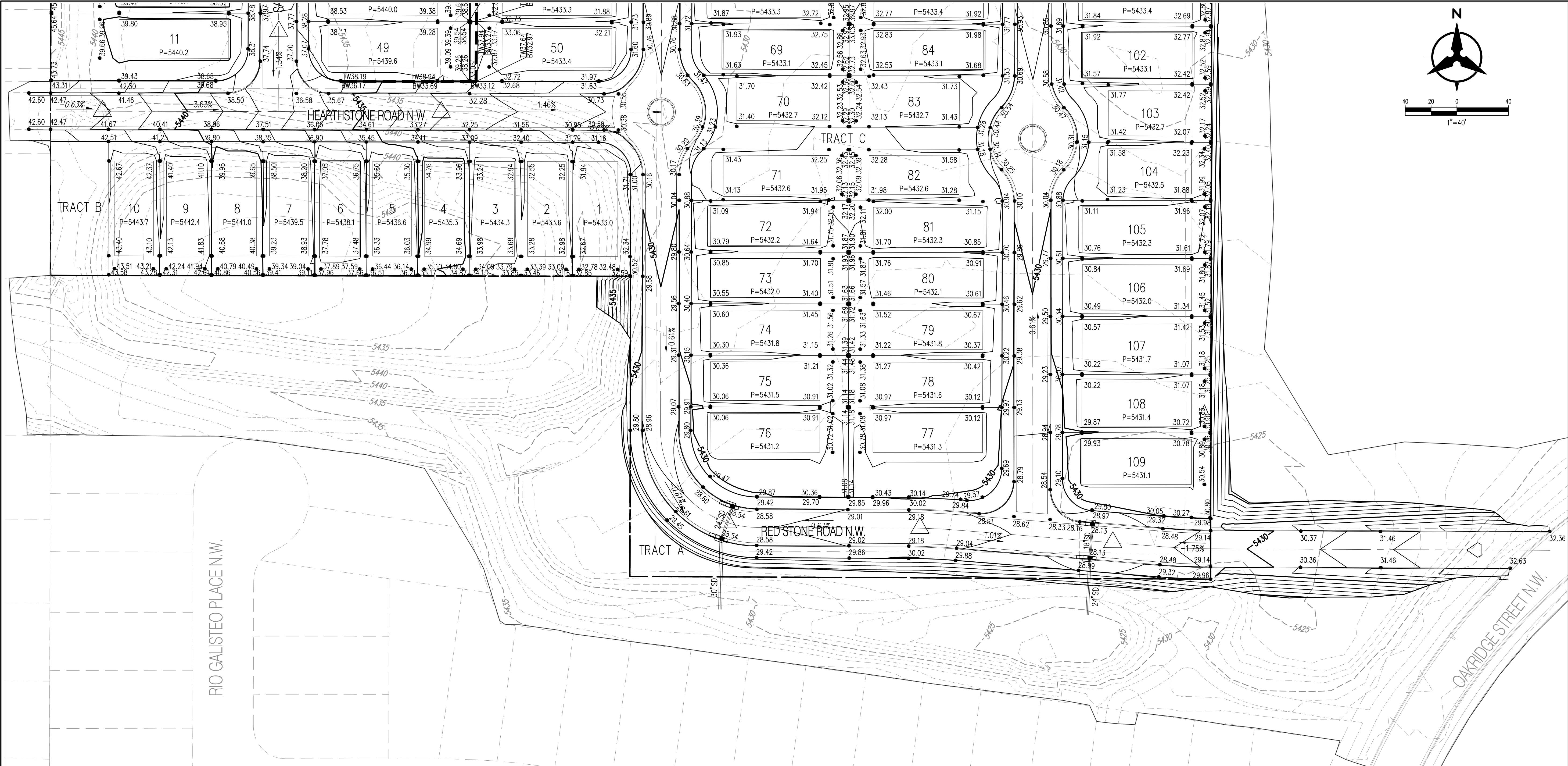
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TAOS II AT THE TRAILS
GRADING PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

| City Project No. XXXXXX | Zone Map No. C-09-Z | Sheet 1 | Of 3 |



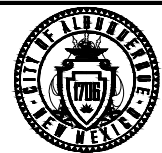
GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

LEGEND

- 91.62 PROPOSED SPOT ELEVATION
- × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
- EXISTING CURB & GUTTER
- === PROPOSED MOUNTABLE CURB & GUTTER
- ==== PROPOSED STANDARD CURB & GUTTER
- 5470 — EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- ▽ PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- ~ HIGH POINT

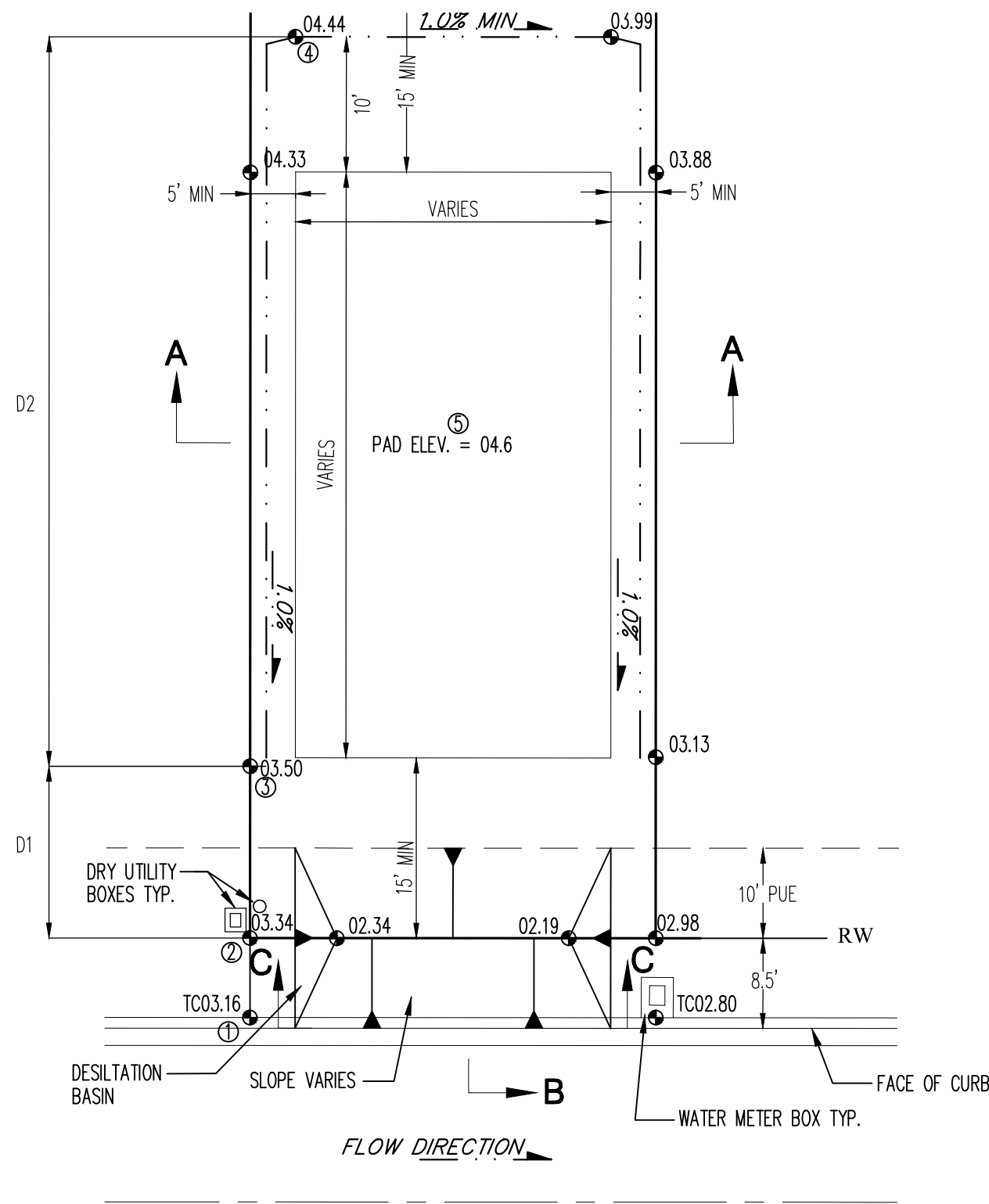
Bohannon & Huston
www.bhinc.com 800.877.5332



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TAOS II AT THE TRAILS
GRADING PLAN

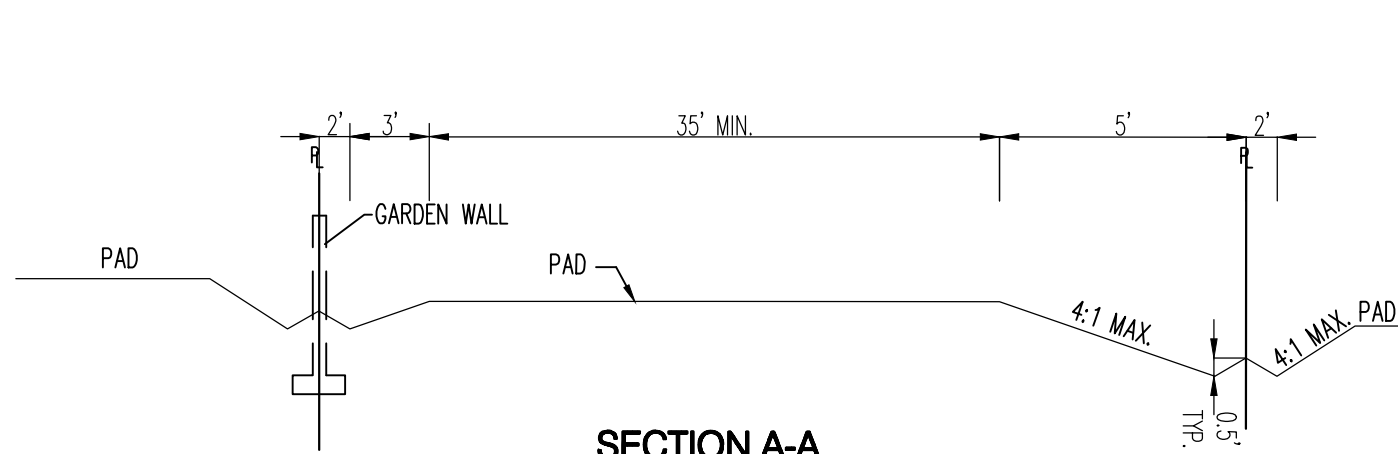
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXXXX	C-09-Z	2	3



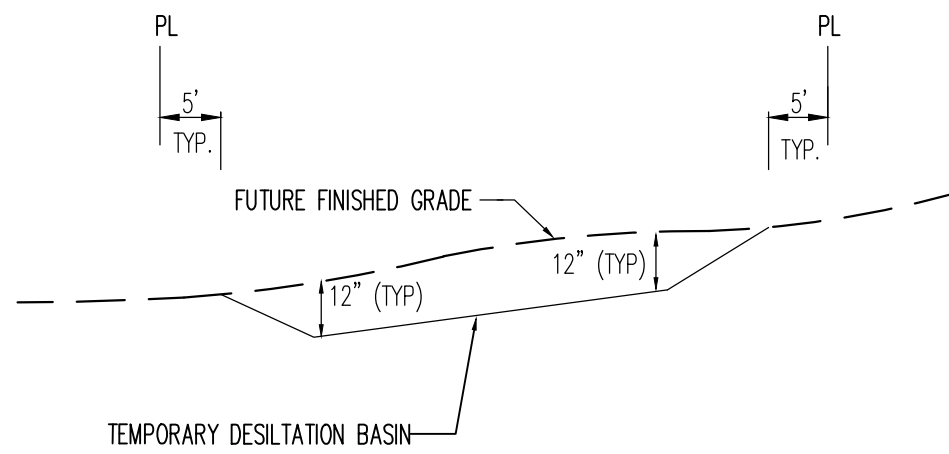
**TYPICAL LOT GRADE DETAIL
WITH DESILTATION BASIN FOR SEDIMENTATION CONTROL**
NOT TO SCALE

TO SET SPOT ② - ADD 0.17' TO SPOT ①
TO SET SPOT ③ - MULTIPLY D1 BY 1.0% AND ADD TO SPOT ②
TO SET SPOT ④ - MULTIPLY D2 BY 1.0% AND ADD TO SPOT ③
TO SET SPOT ⑤ - ADD 0.2' TO SPOT ④

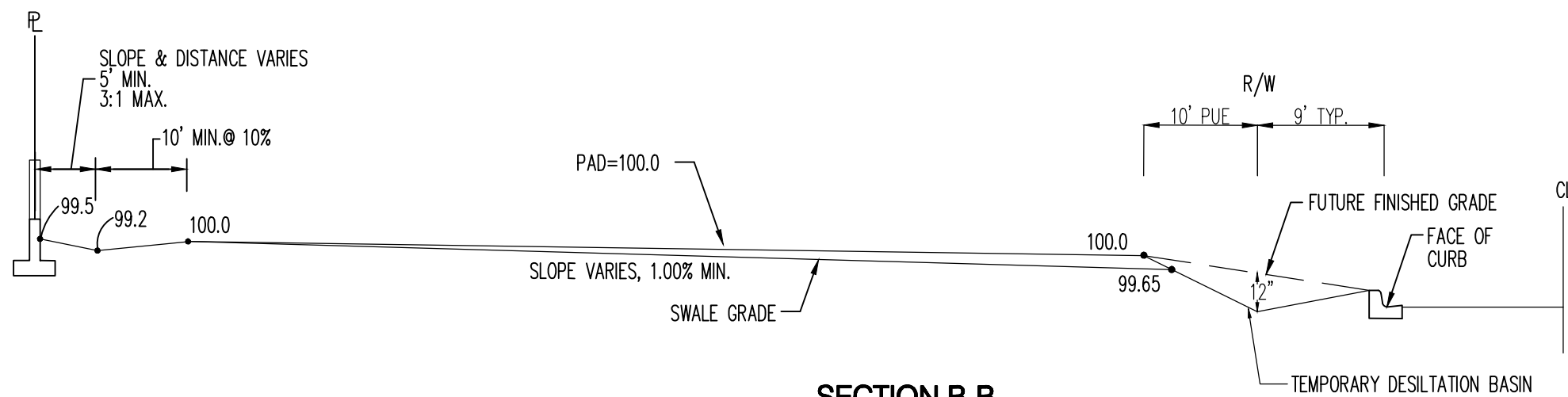
BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.
SEE GRADING PLANS FOR EXACT ELEVATIONS.
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH LOT.



**SECTION A-A
TYPICAL SIDE YARD SWALE**
NOT TO SCALE



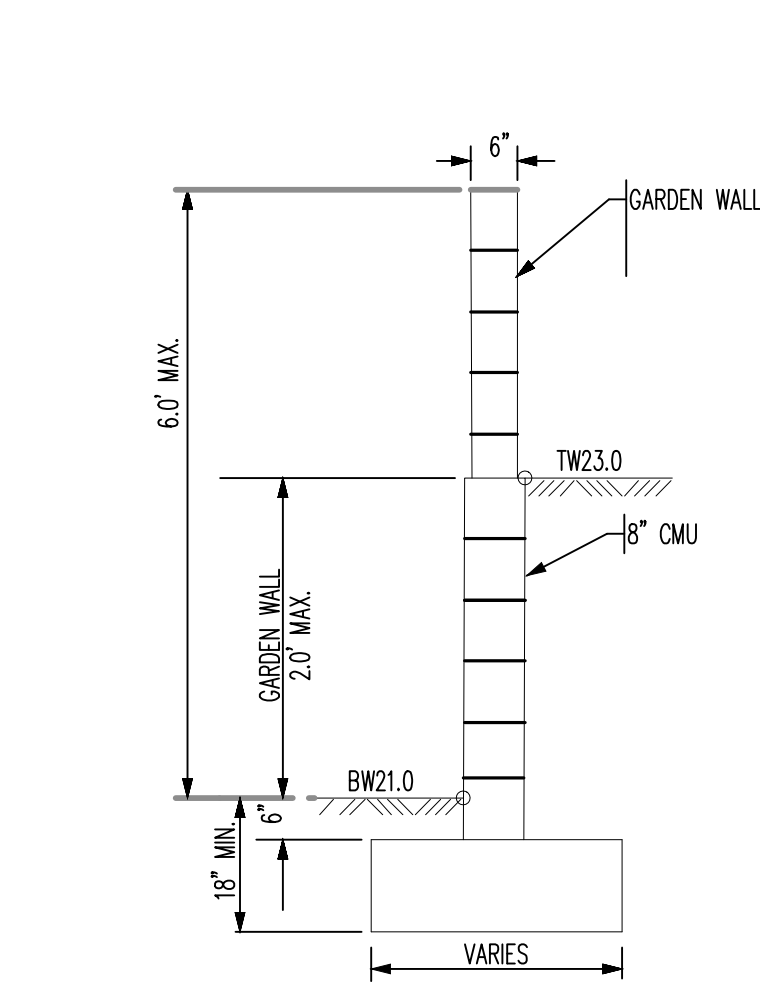
SECTION C-C
NOT TO SCALE



SECTION B-B
NOT TO SCALE

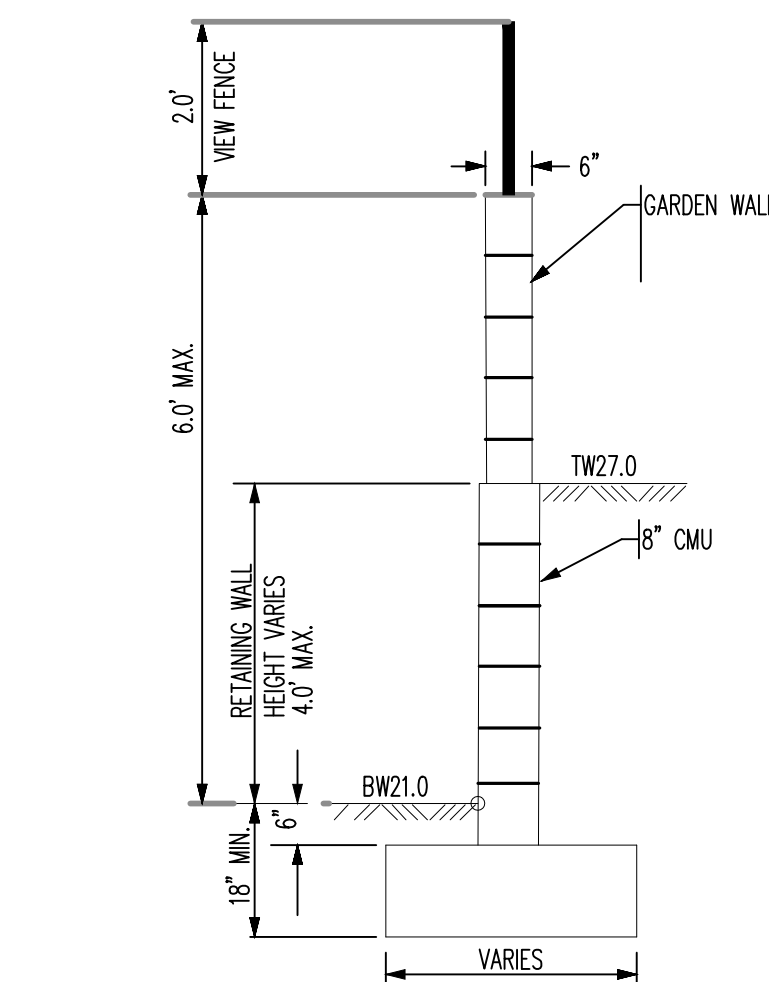
NOTE:

- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
- FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
- HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.



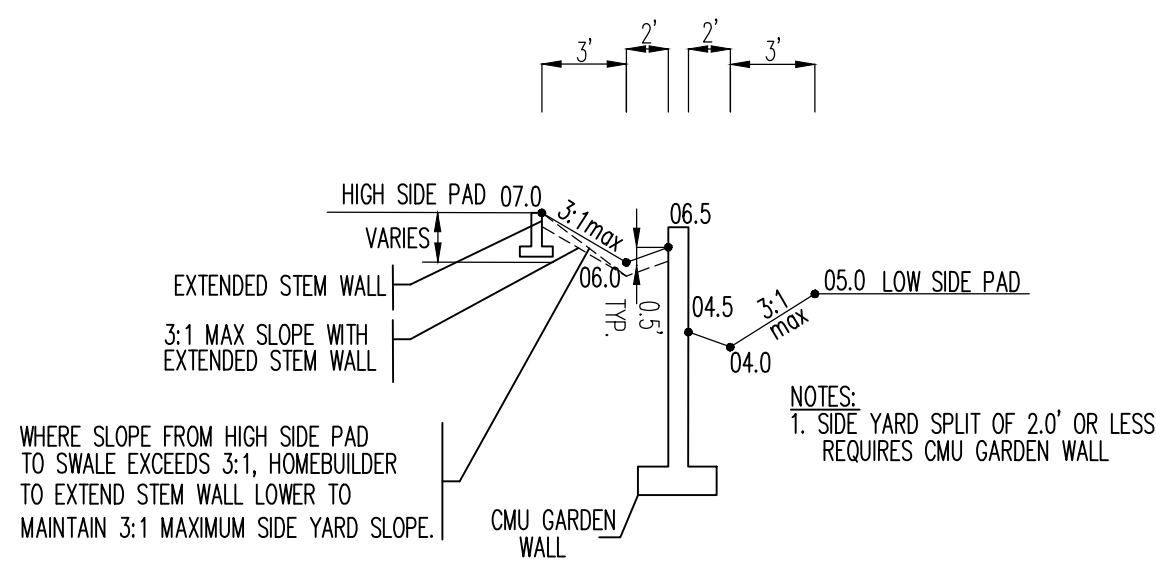
TYPICAL GARDEN WALL NOMENCLATURE
NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)

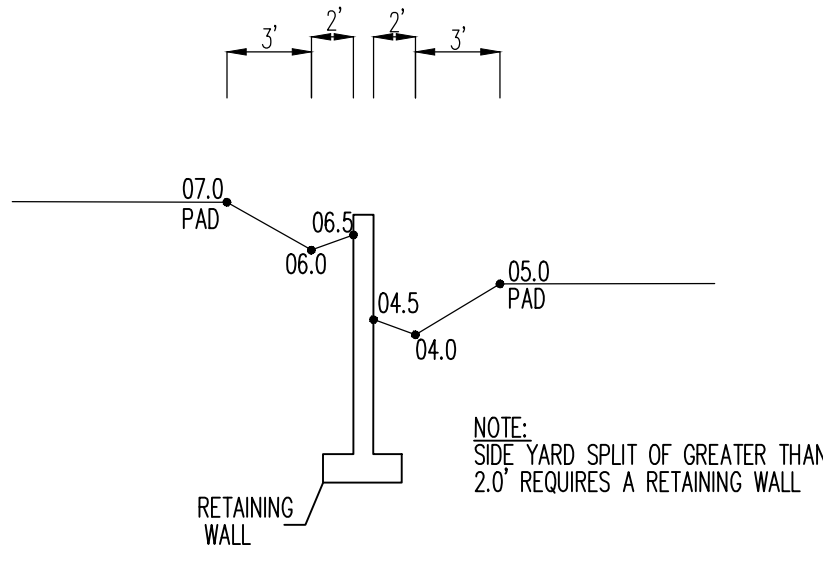


TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE

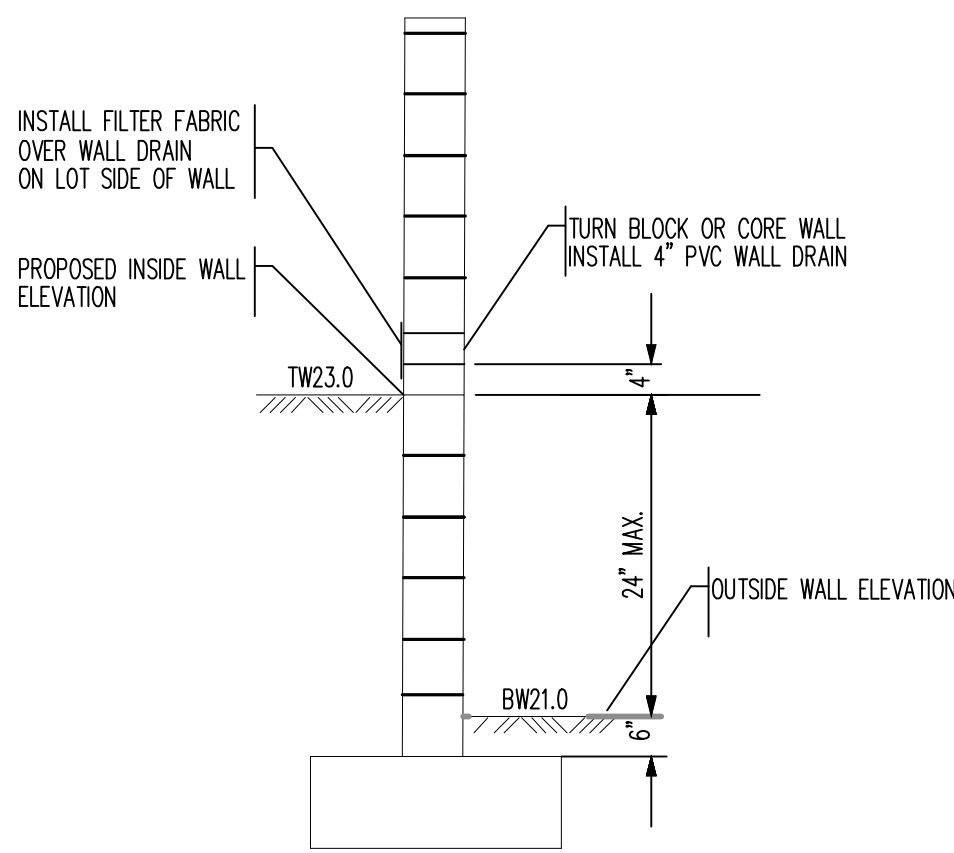
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



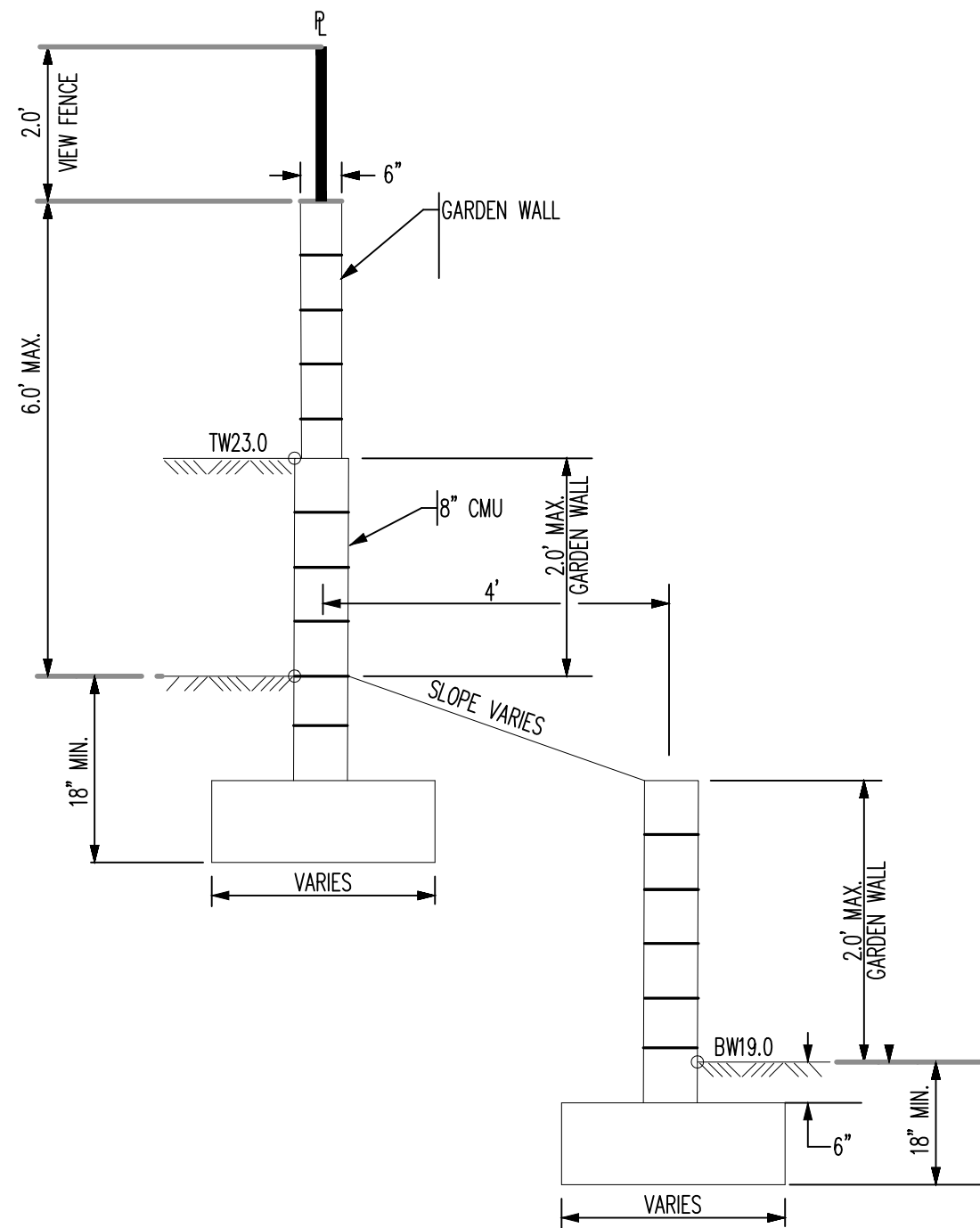
SIDE YARD GARDEN WALL DETAIL
NOT TO SCALE



SIDE YARD RETAINING WALL DETAIL
NOT TO SCALE



WALL DRAIN DETAIL
NOT TO SCALE



TYPICAL TIERED WALL NOMENCLATURE
NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)

Bohannon & Huston
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT									
TAOS II AT THE TRAILS GRADING PLAN DETAILS									
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.					
City Project No.	XXXXXX	Zone Map No.	C-09-Z	Sheet	3	Of	3		

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT				TAOS II AT THE TRAILS GRADING PLAN DETAILS			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.			
City Project No.	XXXXXX	Zone Map No.	C-09-Z	Sheet	3	Of	3

Current DRC
Project No. _____

Date Submitted: July 14, 2016

Date Site Plan for Bldg Permit Approval: _____

Date Site Plan for Sub. Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No. _____

Figure 12

INFRASTRUCTURE LIST

EXHIBIT 'A'
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

**TAOS II AT THE TRAILS
(REPLAT OF TRACT 1 AT THE TRAILS UNIT 2 AND UNPLATTED LANDS OF MANUEL PILI)**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
		28' F-F	RESIDENTIAL PAVING W/PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES	HEARTHSTONE ROAD	WEST SUBDIVISION BOUNDARY	WARM STONE STREET	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES	SANDIA SUNSET STREET	HEARTHSTONE ROAD	DESERT SANDS ROAD	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES*	WARM STONE STREET	RED STONE ROAD	DESERT SANDS ROAD	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES*	SILVER MESA STREET	RED STONE ROAD	DESERT SANDS ROAD	/	/	/
		26' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON NORTH SIDE*	DESERT SANDS ROAD	WEST STUB STREET (END)	SANDIA SUNSET STREET	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES *	DESERT SANDS ROAD	SANDIA SUNSET STREET	SILVER MESA STREET	/	/	/
		26' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON NORTH SIDES *	DESERT SANDS ROAD	SILVER MESA STREET	EAST STUB STREET (END)	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES *	RED STONE ROAD	WARM STONE STREET	EAST SUBDIVISION BOUNDARY	/	/	/
		24' EOA-EOA	RESIDENTIAL PAVING W/ AC CURB	TRACT 2 PUBLIC ACCESS EASEMENT	RED STONE ROAD	OAKRIDGE STREET	/	/	/
		24' F-EOA**	ARTERIAL PAVING W/ PCC CURB & GUTTER, PCC 6' WIDE SIDEWALK ON SOUTH SIDE *	PASEO DEL NORTE	WEST SUBDIVISION BOUNDARY	EAST SUBDIVISION BOUNDARY	/	/	/

* SIDEWALKS TO BE BUILT/DEFERRED IN ACCORDANCE W/APPROVED SIDEWALK EXHIBIT

** DEFERRED OR C-MODIFIED

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC STORM DRAIN IMPROVEMENTS									
<input type="text"/>	<input type="text"/>	24" DIA	RCP W/ MH & INLETS	RED STONE ROAD	EAST OF WARM STONE STREET	POND F-5	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	24" DIA	RCP W/ MH & INLETS	RED STONE ROAD	EAST OF SILVER MESA STREET	POND F-5	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>		POND F-5 INLET AND OUTLET PER JULY 2016 AMENDED TRAILS, UNITS 1-3 DMP	POND F-5	SOUTH OF RED STONE ROAD		<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>		MODIFY POND D INLET AND OUTLET PER JULY 2016 AMENDED TRAILS, UNITS 1-3 DMP	POND D	SOUTH OF LOTS 1-10		<input type="text"/>	<input type="text"/>	<input type="text"/>
NOTE: CERTIFICATION OF THE GRADING AND DRAINAGE PLAN IS REQUIRED FOR RELEASE OF FINANCIAL GUARANTEES									

PUBLIC WATERLINE IMPROVEMENTS									
<input type="text"/>	<input type="text"/>	8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	HEARTHSTONE ROAD	WEST SUBDIVISION BOUNDARY	WARM STONE STREET	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	SANDIA SUNSET STREET	HEARTHSTONE ROAD	DESERT SANDS ROAD	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	WARM STONE STREET	RED STONE ROAD	DESERT SANDS ROAD	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	SILVER MESA STREET	RED STONE ROAD	DESERT SANDS ROAD	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	4" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	DESERT SANDS ROAD	WEST STUB STREET (END)	SANDIA SUNSET STREET	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	DESERT SANDS ROAD	SANDIA SUNSET STREET	EAST SUBDIVISION BOUNDARY	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	RED STONE ROAD	WARM STONE STREET	EAST SUBDIVISION BOUNDARY	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	TRACT 2 PUBLIC WATERLINE EASEMENT	RED STONE ROAD	OAKRIDGE STREET	<input type="text"/>	<input type="text"/>	<input type="text"/>

PUBLIC SANITARY SEWER IMPROVEMENTS

8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	HEARTHSTONE ROAD	LOT 10	WARM STONE STREET
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SANDIA SUNSET STREET	HEARTHSTONE ROAD	LOTS 20/40
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	WARM STONE STREET	RED STONE ROAD	LOTS 59/60
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SILVER MESA STREET	RED STONE ROAD	DESERT SANDS ROAD
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	DESERT SANDS ROAD	WEST STUB STREET (END)	EAST STUB STREET (END)
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	RED STONE ROAD	WARM STONE STREET	EAST SUBDIVISION BOUNDARY
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	TRACT OS-3 PUBLIC SEWER EASEMENT	SIERRA AT THE TRAILS STUB	RED STONE ROAD

/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/

AGENT/OWNER

SCOTT STEFFEN **7/14/2016**
PREPARED BY: PRINT NAME DATE

BOHANNAN HUSTON, INC.
FIRM:

SIGNATURE

MAXIMUM TIME ALLOWED TO CONSTRUCT
IMPROVEMENTS WITHOUT A DRB EXTENSION

--

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DRB CHAIR DATE PARKS & GENERAL SERVICES DATE

TRANSPORTATION DEVELOPMENT DATE AMAFCA DATE

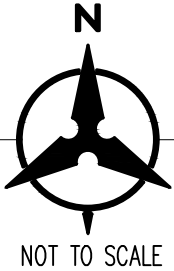
ABCWUA DATE CITY ENGINEER DATE

DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

EXHIBIT "D"
TAOS II AT THE TRAILS
PERIMETER
WALL EXHIBIT
JULY 2016



--- PERIMETER WALL LOCATION

PASEO DEL NORTE

DESERT SANDS ROAD N.W.

WARM STONE STREET N.W.

SILVER MESA STREET N.W.

SANDIA SUNSET STREET N.W.

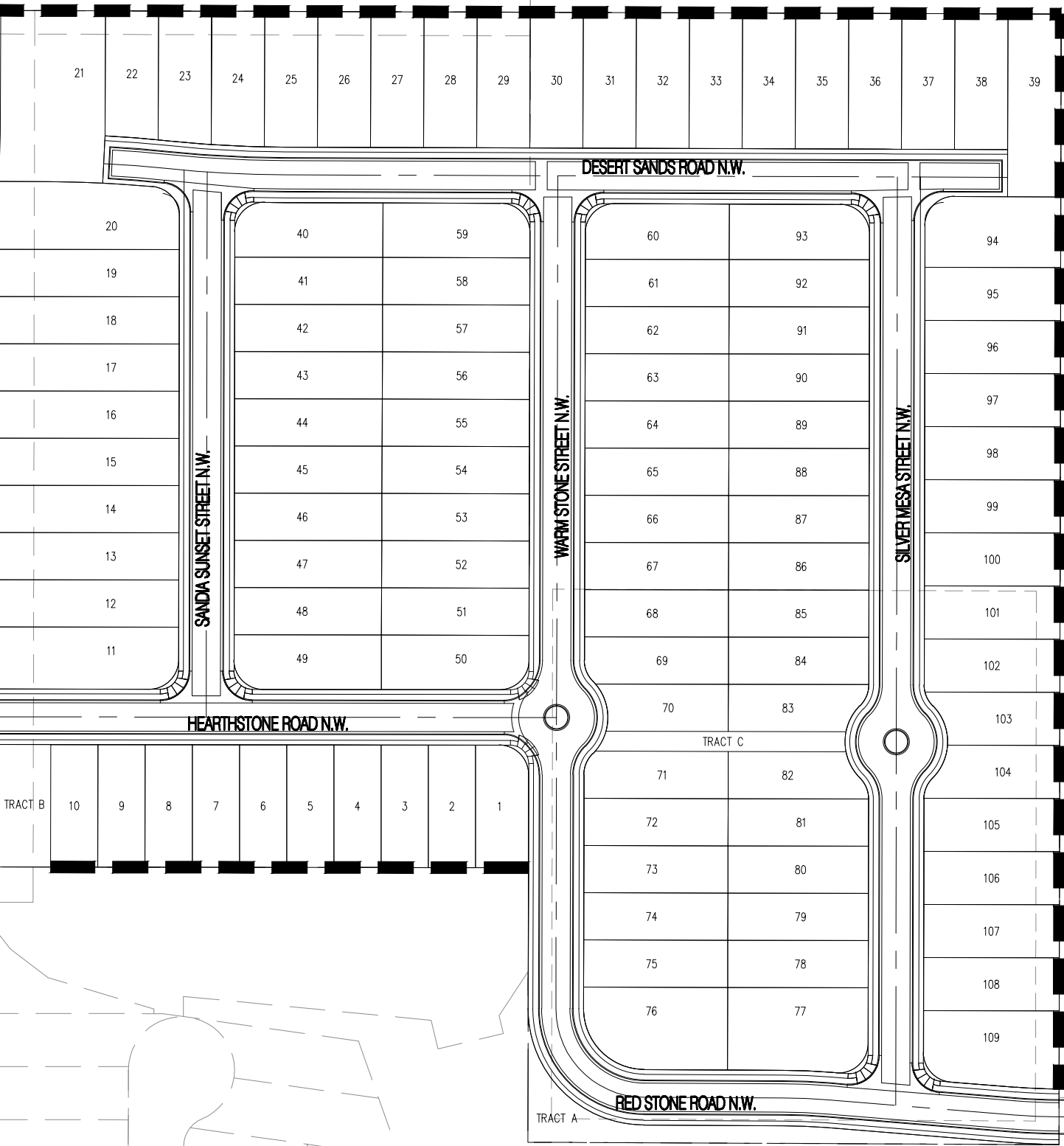
ALLEGANCE STREET NW

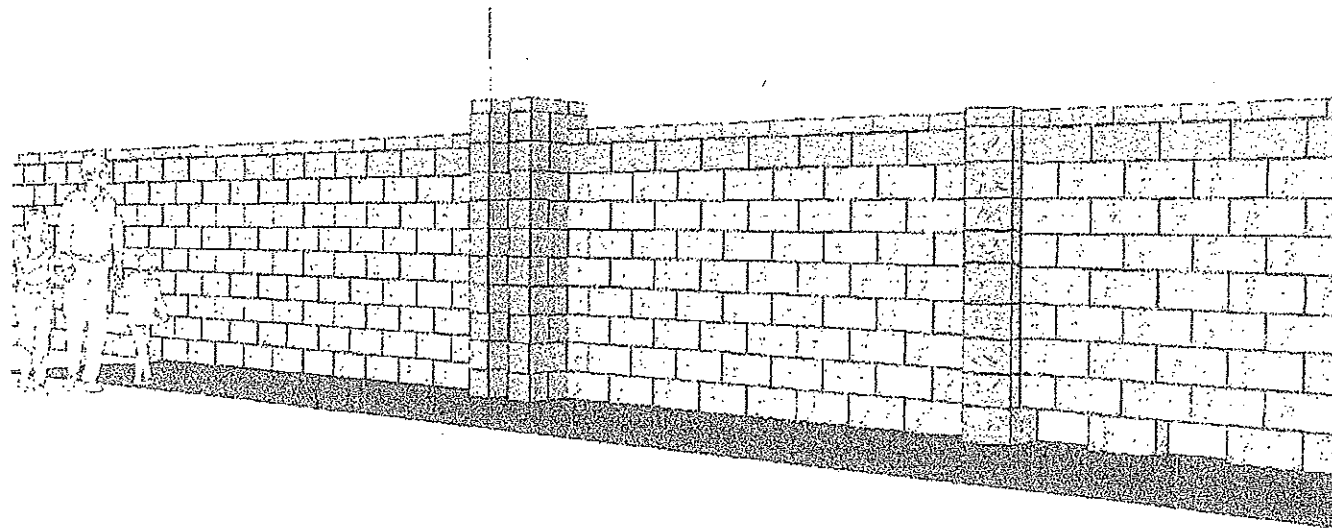
HEARTHSTONE ROAD NW

HEARTHSTONE ROAD N.W.

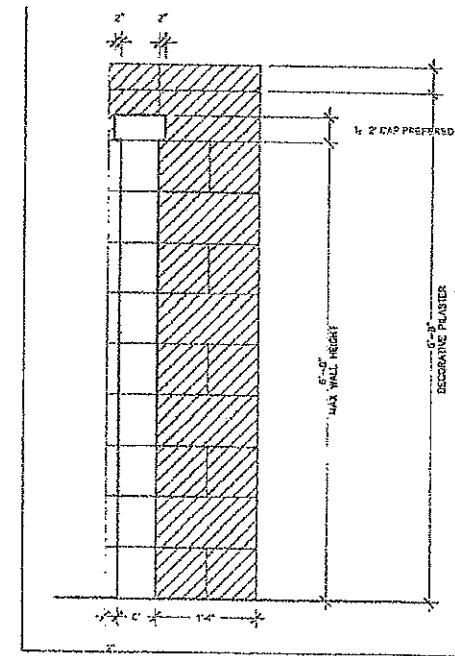
RED STONE ROAD N.W.

OAKRIDGE STREET NW

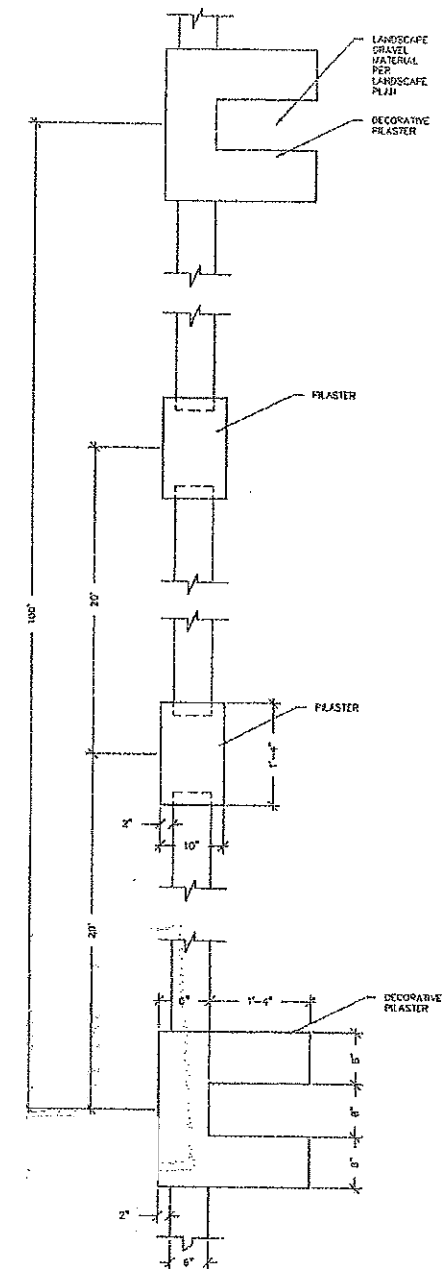




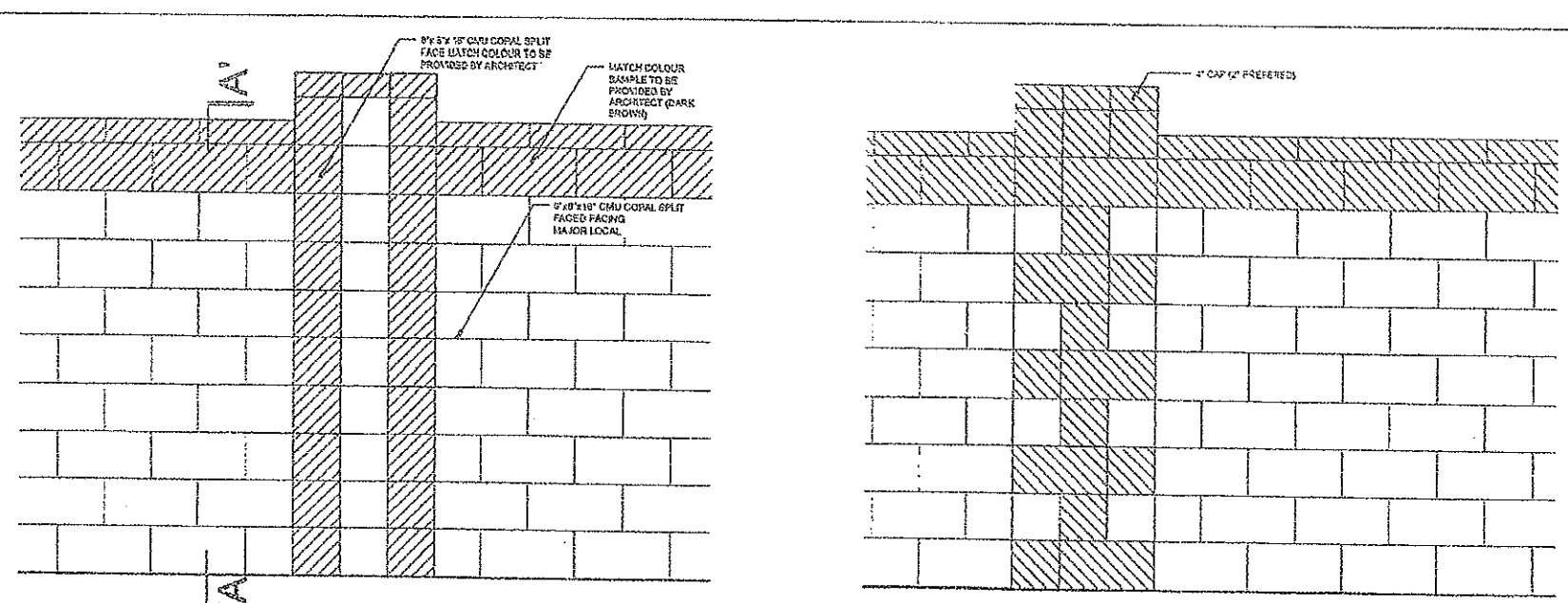
PERSPECTIVE WALL RENDERING
SCALE: NTS



WALL CROSS SECTION
VIEW A-A
SCALE: NTS



PLAN VIEW
SCALE: NTS



WALL ELEVATION
SCALE: NTS

NEAREST INTERSECTION:
WOODMONT AVE./
ONKRIE STREET

ZONE ATLAS:
C-9-Z

TAOS II AT THE TRAILS

TYPICAL WALL EXHIBIT

REVISIONS	NO.	DATE	REMARKS	BY
DESIGN	SJS	WCEA NO. X5218109	DATE	JULY 2006
DRAWN	RM	PROJECT NO.	SHEET NO.	
CHECK	SJS	N/A	1 OF 2	

FORM DRWS: DRAINAGE REPORT / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION
FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME: TAOS II AT THE TRAILS

AGIS MAP # C-9

LEGAL DESCRIPTIONS: TRACT 1 AT THE TRAILS UNIT 2 AND UNPLATTED LANDS OF
MANUEL R. PILI

 DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of
Albuquerque Public Works Department, Hydrology Division (2nd Floor Plaza del Sol) on
_____ (date).

Buky Danner
Applicant/Agent

7/14/16
Date

Jotten Elliott
Hydrology Division Representative

7-14-16
Date

 WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of
Albuquerque Utilities Development Division (2nd floor, Plaza del Sol) on
_____ (date).

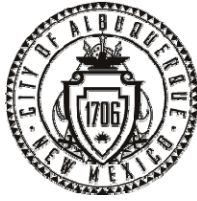
Buky Danner
Applicant/Agent

Thiit Cao
Utilities Division Representative

7/14/16
Date

7/14/16
Date

PROJECT # _____



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The NA/HOA information listed in this letter is valid for one month. If you haven't filed your application within one month of the date of this ONC Letter – you will need to get an updated ONC Letter from our office.

July 7, 2016

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **July 7, 2016:**

Contact Name: BECKY GAUNA

Company or Agency: BOHANNAN HUSTON, INC.
7500 JEFFERSON ST. NE, COURTYARD I/87109-4335
PHONE: 505-823-1000/FAX: 505-798-7988
E-mail: rgauna@bhinc.com

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) TRACT 1 AT THE TRAILS UNIT 2, BULK PLAT OF THE TRAILS UNIT 2 WITHIN THE TOWN OF ALAMEDA GRANT LOCATED ON PASEO DEL NORTE BOULEVARD NW BETWEEN HEARTHSTONE ROAD NW AND OAKRIDGE STREET NW** zone map **C-9**.

Our records indicate that as of July 7, 2016, there were no Neighborhood and/or Homeowner Associations in this area.

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you were required to notify our office prior to your submittal to the Planning Department ***please attach: 1) Copy of this letter with your application to show proof that you did contact our office to obtain NA/HOA information.*** If you have any questions about the information provided please contact me at (505) 924-3914 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ☐ [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet -OR-
- ☒ [X] **The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.**
- ☐ [] Copies of Letters to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.
- ☐ [] Copies of the certified receipts to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **07/07/16** Time Entered: **9 a.m.** ONC Rep. Initials: **siw**

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

RCS Trails Tract 1, LLC 07/14/16 C-09
APPLICANT: RCS Trails Tract 1, LLC DATE OF REQUEST: 07/14/16 ZONE ATLAS PAGE(S): C-09

CURRENT: SU-2 VTRD

ZONING SU-2 VTRD 17.4 ac

PARCEL SIZE (AC/SQ. FT.) 17.4 ac

LEGAL DESCRIPTION: 1

LOT OR TRACT # 1 Trails Block # 2

SUBDIVISION NAME Trails Unit 2
& Unplatted Lands of Manuel Pili

REQUESTED CITY ACTION(S):

ANNEXATION []

ZONE CHANGE []: From _____ To _____

SECTOR, AREA, FAC, COMP PLAN []

AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [X] AMENDMENT []

BUILDING PERMIT [] ACCESS PERMIT []

BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []

NEW CONSTRUCTION [X]

EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 109

BUILDING SIZE: _____ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE Belay Hanna

DATE 7/14/16

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []

Notes:

There may be an existing study. Provide study or trip generation exhibit at DRB.

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

R. M. H.
TRAFFIC ENGINEER

7/14/16
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED ///
-FINALIZED ///

TRAFFIC ENGINEER

DATE

Revised January 20, 2011

SITE DEVELOPMENT PLAN FOR
SUBDIVISION
TAOS II AT THE TRAILS
JULY, 2016

LEGAL DESCRIPTION

Tract 1 of The Trails Unit 2, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "BULK PLAT OF THE TRAILS UNIT 2 WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 18, 2004, in Plat Book 2004C, Page 332, as Document No. 2004146566 and Lands of Manuel Pili, Warranty Deed filed January 1, 2000, Book A1, Page 4899.

GENERAL NOTES

- EXISTING ZONING: SU-2, VTRO, TRAILS RESIDENTIAL DEVELOPING AREA
PROPOSED ZONING: SU-2, VTRO, TRAILS RESIDENTIAL DEVELOPING AREA
- PROPOSED ACREAGE: 17.39 AC
NUMBER OF LOTS: 109
NUMBER OF TRACTS: 2
PROPOSED DENSITY: 6.27 DU/AC
- MIN. LOT DIMENSIONS: 40' X 103'
MINIMUM LOT AREA: 4,120 SQFT
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS ARE TO BE PUBLIC AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO THE VOLCANO TRAILS SECTOR DEVELOPMENT PLAN.
- NO LOTS SHALL HAVE DIRECT ACCESS TO PASEO DEL NORTE BOULEVARD.
- TRACTS A-C TO BE OWNED AND MAINTAINED BY THE TRAILS COMMUNITY ASSOCIATION, INC.
TRACT A PRIVATE OPEN SPACE AND DRAINAGE
TRACT B PUBLIC SEWER, STORM DRAIN AND WATER
TRACT C PUBLIC PEDESTRIAN ACCESS
- THE MAXIMUM ON LOT USEABLE OPEN SPACE REQUIREMENT SHALL BE MET PER THE R-D ZONE IN THE CITY COMPREHENSIVE ZONING CODE. THE REMAINING USEABLE OPEN SPACE REQUIREMENTS HAVE BEEN MET PREVIOUSLY PER SECTION 14-16-3-B, DETACHED OPEN SPACE REGULATIONS. OFF-SITE SPACE AREAS HAVE BEEN ESTABLISHED CONSISTENT WITH THE TRAILS PHASE 1 SITE DEVELOPMENT PLAN FOR SUBDIVISION, DATED 10-22-03, WITH CITY PROJECT NUMBER 1002962, 03DRB-1530.

SITE DATA

ZONE ATLAS NO.	C-09-Z
ZONING	SU-2, VTRO
MILES OF FULL WIDTH STREETS CREATED	0.77 MILES
NO. OF EXISTING TRACTS	2
NO. OF LOTS CREATED	109
NO. OF HOA TRACTS CREATED	3

PROJECT NUMBER: _____
Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division _____ Date _____

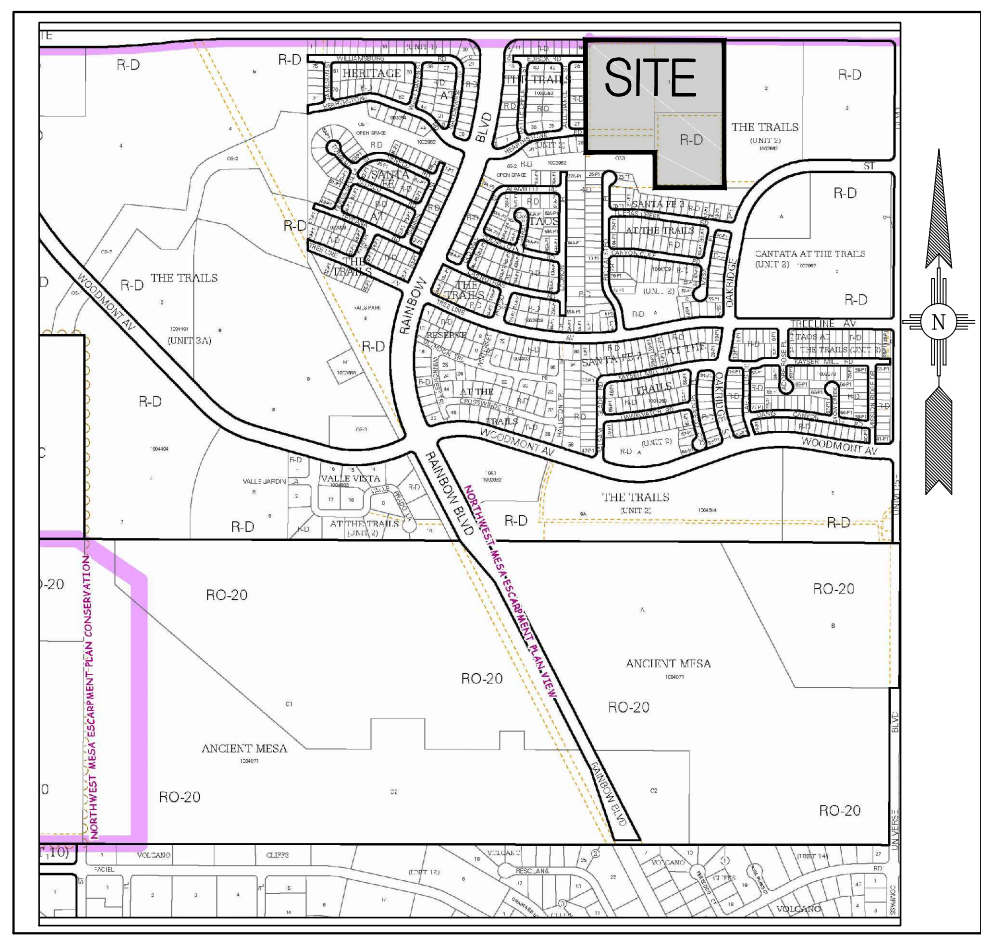
Water Authority _____ Date _____

Parks and Recreation Department _____ Date _____

City Engineer _____ Date _____

Solid Waste Management _____ Date _____

DRB Chairperson, Planning Department _____ Date _____



NOT TO SCALE VICINITY MAP ZONE ATLAS C-09-Z

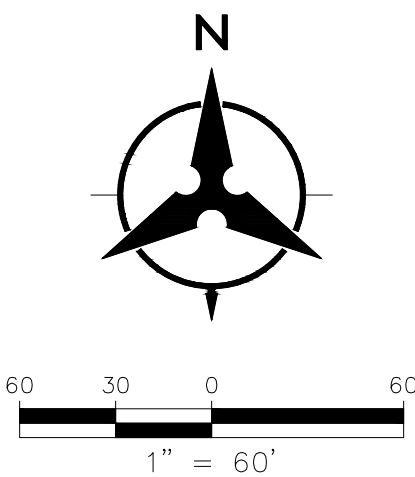
KEYED NOTES

- 10' PUBLIC UTILITY EASEMENT, GRANTED BY PLAT.
- PORTION OF EXISTING 40' SLOPE EASEMENT, TO BE VACATED BY PLAT.
- EXISTING 30' PRIVATE TEMPORARY SLOPE EASEMENT, TO BE VACATED BY PLAT.
- EXISTING 40' PRIVATE ACCESS AND PUBLIC DRAINAGE AND UTILITY EASEMENT, TO BE VACATED BY PLAT.
- EXISTING 20' PUBLIC EASEMENT FOR GENERAL PUBLIC ROAD PURPOSES AND PLACEMENT, MAINTENANCE AND OPERATION OF PUBLIC UTILITIES, TO BE VACATED BY PLAT.
- EXISTING BLANKET DRAINAGE EASEMENT, TO BE VACATED BY PLAT.
- EXISTING 40' PRIVATE ACCESS AND PUBLIC DRAINAGE UTILITY EASEMENT.
- 25' SEWER AND WATER EASEMENT GRANTED TO THE ABCWUA BY THIS PLAT.
- 20' STORM DRAIN EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- PUBLIC PEDESTRIAN ACCESS EASEMENT
- PORTION OF AN EXISTING PUBLIC DRAINAGE EASEMENT TO BE VACATED BY THIS PLAT.
- EXISTING TRAIL.

ID	BEARING	LENGTH
T1	S89°55'02"E	449.85'
T2	S00°08'08"W	232.61'
T3	S89°43'58"E	450.20'
T4	N00°06'45"E	489.04'
T5	N00°06'45"E	469.12'
T6	N89°48'21"W	900.05'
T7	S00°06'04"W	725.85'

LEGEND	
—	SUBDIVISION BOUNDARY LINE
—	NEW LOT LINE
- - -	ADJOINING PROPERTY LINE
▲	CENTERLINE MONUMENT TO BE INSTALLED
△	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT

Albuquerque Control Survey Monument
"UNION"
New Mexico State Plane Coordinates,
Central Zone (NAD 83) as published:
N=1,523,503.475
E=1,493,655.030
Ground to grid factor= 0.999664360
Delta Alpha= -00°16'58.96
Elevation= 5524.950 NAVD 1988



RCS – NM HOLDINGS I, LLC
371 Centennial Parkway, Suite 200
Louisville, CO 80027

June 28, 2016

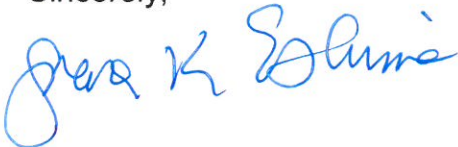
Jack Cloud, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Re: Tract 1 at the Trails, Unit 2 and Unplatted Lands of Manuel Pili

To whom it may concern,

I hereby authorize Bohannon Huston, Inc. and Respec staff to act as our agents in all matters associated with the Preliminary Plat and Site Plan for Subdivision applications for the above referenced subject project.

Sincerely,



Sharon K. Eshima
Manager

ZONING AND GENERAL STANDARDS

Development Review Process.

It is important that the procedures for development allow for a streamlined review and approval process when a proposal is consistent with the Plan standards, as well as provide flexibility to amend regulatory requirements. This process is illustrated in **Table 2** below. When there is any inconsistency with other City regulations and standards, the regulations and standards contained in the Plan take precedence.

Table 2, Development Approval Process describes the development review and approval process for properties located within the Plan area.

TABLE 2: DEVELOPMENT APPROVAL PROCESS

DEVELOPMENT ZONE	DEVELOPMENT APPROVAL PROCESS	SITE PLAN TYPE
SU-2 Volcano Trails Village Center (VTVC)	DRB with Planning Director	Commercial Master Plan for Development
SU-2 Volcano Trails Urban Residential (VTUR)	DRB	No additional plan required
SU-2 Volcano Trails Residential Developing Area (VTRD)	DRB	Site Development Plan for Subdivision
SU-2 Volcano Trails Small Lot (VTSL)	DRB	Site Development Plan for Subdivision
SU-2 Volcano Trails Medium Lot (VTML)	DRB	Site Development Plan for Subdivision
SU-2 Residential Developing Area (RD)	per City Zoning Code for RD	per City Zoning Code for RD
SU-2 Volcano Trails Open Space	DRB	Site Development Plan for Building Permit

SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

This checklist is used by the Planning Department to verify the completeness of site development plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Because development proposals vary in type and scale, there may be submittal requirements that are not specified here and Planning Staff may require additional information. Nonetheless, it is the applicant's responsibility to provide a complete submittal.

Site development plans should generally be composed of the following plan sheets. **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

SHEET # 1 – SITE PLAN (Required)

- ☒ 1. Scale: at least 1" = 100'
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Vicinity Map
- ☒ 5. Signature Block (for DRB site dev. plans only)
- ☒ 6. The Site (property lines)
- ☒ 7. Current/Existing Zoning
- ☒ 8. Proposed Use(s) and List of Applicable Plans
- ☒ 9. Pedestrian Ingress and Egress (Access)
- ☒ 10. Vehicular Ingress and Egress (Access)
- ☒ 11. Any Internal Circulation Requirements
- ☒ 12. Existing easements with recording information
- ☒ 13. For each lot:
 - ☒ a. Maximum Building Height
 - ☒ b. Minimum Building Setback
 - ☒ c. Maximum Total Dwelling Units and / or
 - ☒ d. Maximum Floor Area Ratio (F.A.R.) for Nonresidential Uses

SHEET # 2 – CONCEPTUAL GRADING AND DRAINAGE PLAN

- A. Conceptual Grading and Drainage Plan is required for the following:
- Commercial Development: The applicant shall consult with the City Engineer or his/her designee to determine what documentation is necessary to provide the EPC and/or DRB with an understanding of site topography and how it relates to adjacent property.
 - Residential Development, Volcano Heights Sector Development Plan, or other sector development plans that do not require a site development plan for building permit submittal: Show existing and proposed contours, Finished Floor Elevation, retaining wall heights, approximate street slopes, ponding and flood zone status.
- B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required to be submitted, but does not have to be approved at time of submittal.

SHEET # 3 – DESIGN STANDARDS *(OPTIONAL – beneficial if seeking delegation of EPC approval authority for future site development plans for building permit)*

ACCOMPANYING MATERIAL

- ☐ A. Fee payment
- ☐ B. Complete application
- ☐ C. Written Summary of Request including a narrative describing compliance with applicable plans and/or zoning requirements per §14-16-3-11(B) of the Comprehensive Zoning Code.
- ☐ D. 8-1/2" x 11" reductions
- ☐ E. **Electronic Copy (pdf) of Site Development Plan**

EXHIBIT "C" TAOS II AT THE TRAILS VACATION EXHIBIT JULY 2016



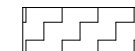
NOT TO SCALE



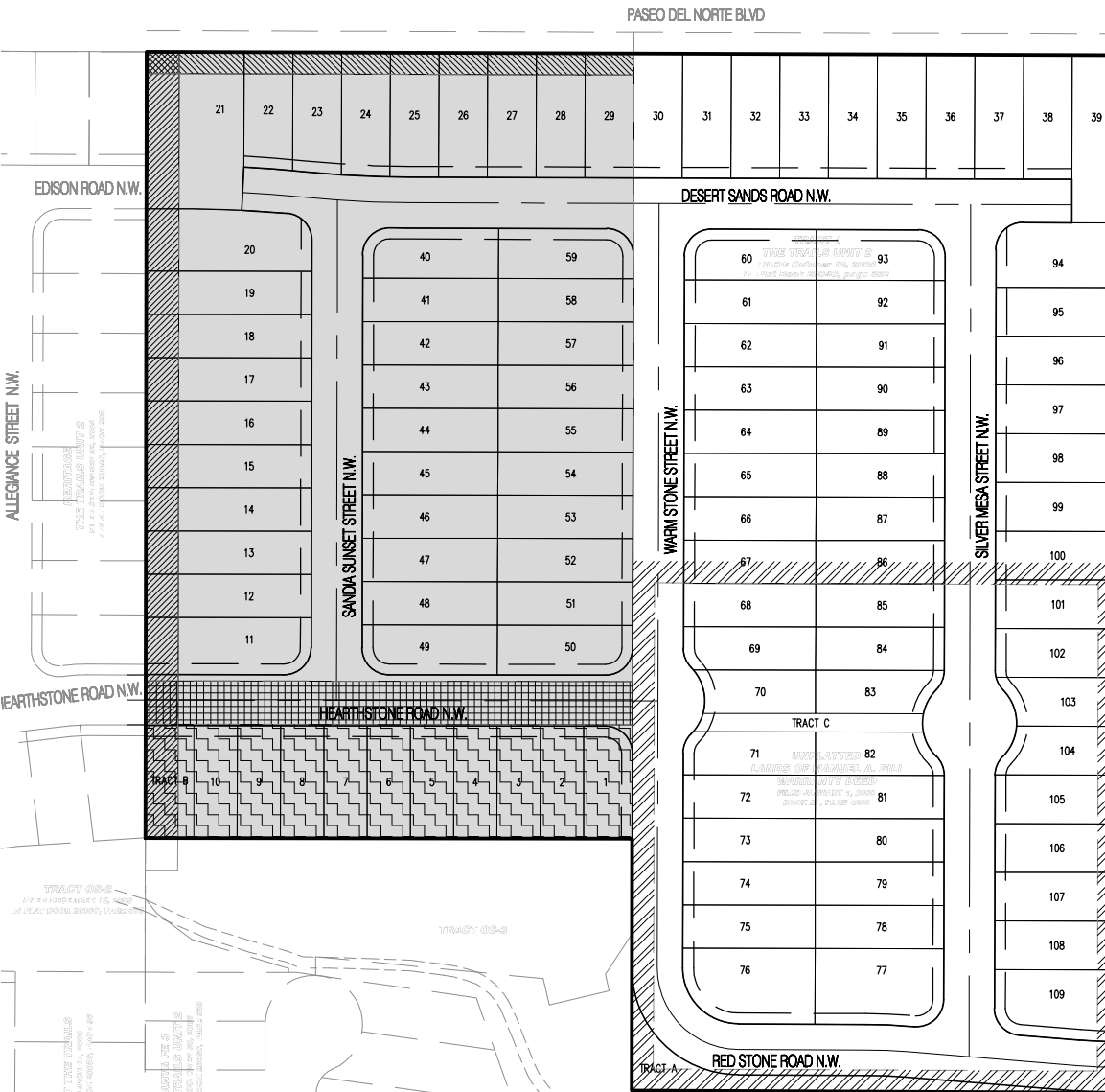
EXISTING BLANKET DRAINAGE EASEMENT TO BE VACATED BY THIS PLAT. THE PROPOSED SUBDIVISION LAYOUT WILL CONVEY DRAINAGE TO POND F5 AND THERE IS AN EXISTING EASEMENT FOR POND D. THEREFORE THE BLANKET DRAINAGE EASEMENT IS NO LONGER REQUIRED (TRAILS UNIT 2 BULK PLAT).



EXISTING 20' PUBLIC EASEMENT FOR GENERAL PUBLIC ROAD PURPOSES AND PLACEMENT, MAINTENANCE AND OPERATION OF PUBLIC UTILITIES TO BE VACATED WITH THIS PLAT. THE ORIGINAL PURPOSE OF THE EASEMENT WAS TO ENSURE ACCESS AND UTILITIES CORRIDORS TO THE ORIGINAL 5 ACRES PARCELS IN THE AREA. THE PROPOSED DEVELOPMENT PROVIDES FOR ACCESS, PUBLIC UTILITIES, DRAINAGE AND DRY UTILITIES TO SERVE ALL PROPERTIES. THEREFORE, THE EASEMENT IS NO LONGER REQUIRED.



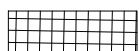
PORTION OF EXISTING PUBLIC DRAINAGE EASEMENT TO BE VACATED WITH THIS PLAT. THE EASEMENT IS FOR POND D. THE AMENDED TRAILS DRAINAGE MASTER PLAN REDUCES THE SIZE OF POND D. THIS PORTION OF THE EASEMENT IS NO LONGER REQUIRED DUE TO THE POND REDUCTION (EASEMENT DOC 2005125348 BK A102, PG 4979, RECORDED 8/26/05).



PORTION OF EXISTING 40' SLOPE EASEMENT TO BE VACATED WITH THIS PLAT. THE EASEMENT IS NO LONGER REQUIRED PER THE PROPOSED GRADING PLAN (TRAILS UNIT 2 BULK PLAT).

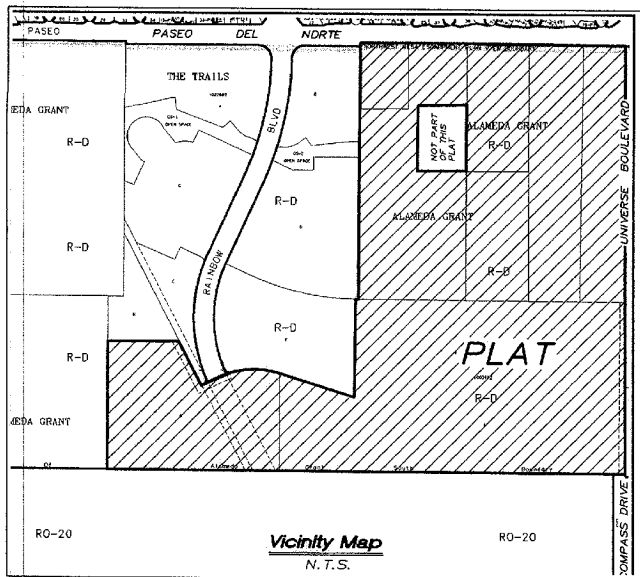


EXISTING 30' PRIVATE TEMPORARY SLOPE EASEMENT TO BE VACATED WITH THIS PLAT. THE EASEMENT IS NO LONGER REQUIRED AS THE PROPOSED GRADING PLAN MAINTAINS THE EXISTING SLOPE (TRAILS UNIT 2 BULK PLAT).



EXISTING 40' PRIVATE ACCESS AND PUBLIC DRAINAGE AND UTILITY EASEMENT TO BE VACATED WITH THIS PLAT. THE EASEMENT IS BEING REPLACED BY THE HEARTSTONE ROAD RIGHT-OF-WAY (TRAILS UNIT 2 BULK PLAT).

Bohannon **Huston**



GENERAL NOTES

- Bearings are right based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27).
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page C-9.
- U.C.L.S. Log Number 2004J40101.
- No direct access to Paseo Del Norte or Universe Boulevard will be allowed.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus (). All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument—Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

SUBDIVISION DATA

- Total number of existing Tracts: 11
- Total number of Tracts created: 14
- Total mileage of full width streets created: 1.40 miles.
- Gross Subdivision acreage: 189.65 acres.
- Tracts OS-3 and OS-4 are Private Open Space Areas conveyed to the Trails Unit 2 Homeowners Association. Maintenance of said Tracts shall be the responsibility of said Trails Unit 2 Homeowners Association. There shall be no direct vehicular access from adjacent tracts, parcels or lots.

DISCLOSURE STATEMENT

The purpose of this Bulkland Plat is to:

- Show the various Public Roadway and Utility Easements which were vacated by DRB-04-1321.
- Create the Fourteen (14) Bulk Parcels shown hereon to facilitate platting of future Trails Units.
- Dedicate the Additional street right of way for Universe Boulevard and Paseo Del Norte and the new street right of way for Rainbow Boulevard, Woodmont Avenue, and Oakridge Street to the City of Albuquerque in fee simple with warranty covenants by this plat.
- Grant the additional Public Utility Easements as shown hereon.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

* See ATTACHED LUPC's & DANKS

[Signature]
Bernalillo County Treasurer
Date: 10/15/04

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

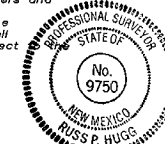
SHEET INDEX

- SHEET 1 OF 6 - Approvals, General Notes, Etc...
- SHEET 2 OF 6 - Legal Description, Free consent and dedication
- SHEET 3 OF 6 - Overall Bulk Plat Boundary
- SHEET 4 OF 6 - North 1/2 of Trails Unit 2
- SHEET 5 OF 6 - South 1/2 of Trails Unit 2
- SHEET 6 OF 6 - Curve and Line Tables

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; and that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
N.M.P.S. No. 9750
August 16, 2004



BULK LAND PLAT OF

THE TRAILS UNIT 2

(BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS)

WITHIN

THE TOWN OF ALAMEDA GRANT

IN

PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2004



PROJECT NUMBER: 1002962

Application Number: 04DRB-01322

PLAT APPROVAL

Utility Approvals:

<i>[Signature]</i> PNM Electric Services	10-15-04 Date
<i>[Signature]</i> PNM Gas Services	10-15-04 Date
<i>[Signature]</i> QWest Corporation	10-11-04 Date
<i>[Signature]</i> Comcast	9-2-04 Date
<i>[Signature]</i> New Mexico Utilities	9-2-04 Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

<i>[Signature]</i> City Approvals	8-25-04 Date
<i>[Signature]</i> City Surveyor	9/22/04 Date
<i>[Signature]</i> Real Property Division	9/22/04 Date
<i>[Signature]</i> Environmental Health Department	9-22-04 Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	9-22-04 Date
<i>[Signature]</i> Utilities Development	9-22-04 Date
<i>[Signature]</i> Parks and Recreation Department	9/22/04 Date
<i>[Signature]</i> AMAFA	9/22/04 Date
<i>[Signature]</i> City Engineer	9/22/04 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	10/18/04 Date

SHEET 1 OF 6

SURV TEK, INC.

Consulting Surveyors
5640 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3388
Fax: 505-897-3377

040806_BULKPLAT.DWG

OR AIB10240 BE 2004146566.001

Land Records Corp.

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising the following: All of Tracts G and J of the Trails as the same are shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS (A REPLAT OF A PORTION OF TRACT 4, BLACK RANCH), ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2003 in Plat Book 2003C, Page 375; All of those unplatted parcels of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico as described in those certain Warranty Deeds filed in the office of the County Clerk of Bernalillo County, New Mexico on: October 15, 2003 in Book A65, page 3165; August 17, 2003 in Book A65, page 697; September 24, 2003 in Book A65, page 5666; September 17, 2003 in Book A65, page 695; December 15, 2003 in Book A70, page 1736; September 17, 2003 in Book A65, page 694; July 8, 2004 in Book A80, page 5429 and July 9, 2003 in Book A65, page 5015 more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Coordinate System, Central Zone (NAD 27) grid bearings and ground distances as follows:

BEGINNING at the Northeast corner of said Tract G, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) whence the Albuquerque Control Survey Monument "UNION 1969" bears N 23° 28' 16" W, 1559.45 feet distant; Thence,

S 27° 16' 18" E, 370.96 feet along a line common to said Tract G and Tract E to the Southwest corner of said Tract E (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

Northeasterly 11.45 feet on the arc of a curve to the right (said curve having a radius of 672.00 feet, a central angle of 00° 58' 34" and a chord which bears N 84° 04' 36" E, 11.45 feet) to a point of tangency (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 63° 55' 21" E, 126.54 feet to a point of curvature (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

Northeasterly 474.25 feet on the arc of a curve to the right (said curve having a radius of 628.00 feet, a central angle of 43° 16' 08" and a chord which bears N 85° 33' 24" E, 463.06 feet) to a point of tangency (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

S 72° 48' 33" E, 614.89 feet to the Southeast corner of said Tract F and an angle point on the West line of said Tract J (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 00° 30' 19" E, 749.23 feet along a line common to said Tracts F and J to a point on curve and the Northwest corner of said Tract J (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); said point also being the Northeast corner of said Tract F and a point on curve on the Southerly line of Tract D, The Trails; Thence,

Southeasterly 22.80 feet along a line common to said Tracts D and F, The Trails on the arc of a curve to the left (said curve having a radius of 2000.00 feet, a central angle of 00° 39' 11" and a chord which bears S 89° 49' 00" E, 22.80 feet) to the Southeast corner of said Tract D (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 00° 06' 04" E, 1955.83 feet along the Easterly line of said Tracts G, D and OS-2, The Trails to the Northeast corner of said Tract B (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); said point being a point on the southerly line of Paseo Del Norte and a point on the South line of Projected Section 16, Township 11 North, Range 2 East; Thence,

S 89° 48' 21" E, 2058.47 feet along said southerly line of Paseo Del Norte and the South line of Projected Section 16, Township 11 North, Range 2 East to the projected section corner common to Sections 9, 10, 15 and 16, Township 11 North, Range 2 East (a 5/8" Rebar and cap stamped "L.S. 9750" set) said point being the Northeast corner of the parcel herein described; Thence,

S 00° 16' 10" W, 1961.76 feet along the East line of Projected Section 16, Township 11 North, Range 2 East to the Northeast corner of said Tract J, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

S 00° 16' 10" W, 1315.62 feet along the said East line of Projected Section 16, Township 11 North, Range 2 East to the Southeast corner of said Tract J, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) said point being a point on the Southerly Boundary of the Town of Alameda Grant; Thence Northwesterly along said Southerly Boundary of the Town of Alameda Grant for the following four (4) courses:

N 89° 40' 43" W, 1064.68 feet to the 6-1/2 mile marker on said Southerly Boundary of the Town of Alameda Grant (a 3-1/4" brass cap found in place); Thence,

N 89° 44' 42" W, 1588.93 feet to the corner common to said Tracts G and J, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 89° 44' 33" W, 1053.27 feet to the 7 mile marker on said Southerly Boundary of the Town of Alameda Grant (a 3-1/4" brass cap found in place); Thence,

N 89° 40' 58" W, 266.70 feet to the Southwest corner said Tract G, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 00° 15' 20" E, 978.73 feet to the Northwest corner said Tract G, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) said point also being the Southwest corner of said Tract H, The Trails; Thence,

S 89° 37' 33" E, 550.24 feet along a line common to said Tracts C and H to the point of beginning of the parcel herein described.

Said parcel contains 189.6538 acres, more or less.

EXCEPTING THEREFROM:

That certain parcel of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising All of that certain unplatted parcel of land as described in that certain Warranty Deed filed in the office of the County Clerk of Bernalillo County, New Mexico on: January 1, 2000 in Book A1, page 4988 more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Coordinate System, Central Zone (NAD 27) grid bearings and ground distances as follows:

BEGINNING at the Northeast corner of said Warranty Deed parcel whence the Northeast corner of Tract B, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS (A REPLAT OF A PORTION OF TRACT 4, BLACK RANCH), ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2003 in Plat Book 2003C, Page 375 bears N 42° 29' 18" W, 664.90 feet distant; Thence,

S 89° 45' 40" E, 450.00 feet to the Northeast corner of said Warranty Deed parcel; Thence,

S 00° 06' 45" W, 489.04 feet to the Southeast corner of said Warranty Deed parcel; Thence,

N 89° 43' 58" W, 450.20 feet to the Southwest corner of said Warranty Deed parcel; Thence,

N 00° 08' 08" E, 488.82 feet to the Northeast corner and point of beginning of the parcel herein described.

Said parcel contains 5.0520 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising, "BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional and new street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

THE TRAILS, LLC
Langford Group, Inc., Its Manager

By James R. Baker 10-6-04
James R. Baker, Division President Date

THE TRAILS COMMUNITY ASSOCIATION, INC.

By Tracy Murphy 10-7-04
Tracy Murphy, President Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 6th day of October, 2004, by James R. Baker, Division President of The Trails, LLC.

Alvin Jean Sanchez My commission expires 3-19-07
Notary Public

BULK LAND PLAT OF

THE TRAILS UNIT 2

(BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS)

WITHIN

THE TOWN OF ALAMEDA GRANT

IN

PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2004

NOTICE OF SUBMISSION PLAT CONDITIONS

TRACTS 1 thru 12 AND TRACTS OS-3 AND OS-4
THE TRAILS UNIT 2

The plat of TRACTS 1 THRU 12 AND TRACTS OS-3 AND OS-4, THE TRAILS UNIT 2 has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plat and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for Tracts 1 thru 12 and OS-3 and OS-4, The Trails Unit 2, filed in the office of the County Clerk of Bernalillo County, New Mexico on October 18, 2004 in Book A85, page 6137.

BLANKET EASEMENT NOTES

- Tracts OS-3 and OS-4 are subject to a blanket access, public open space and public storm drain easements to be granted with the filing of this plat. Said Tracts OS-3 and OS-4 are also subject to a blanket easement for public water and public sanitary sewer to be granted to the City of Albuquerque and New Mexico Utilities, Inc. with the filing of this plat.
- Existing Tracts G and J, The Trails are subject to a blanket easement for public access, public storm drain, public water and public sanitary sewer granted to the City of Albuquerque by plat filed December 15, 2003 in Plat Book 2003C, page 375.
- Existing Tracts G, H and J, The Trails are subject to a public water easement for a future well site granted to New Mexico Utilities, Inc. by plat filed December 15, 2003 in Plat Book 2003C, page 375.

Blanket Easements pertaining to Tracts G and J as defined in Notes 2 and 3 above are VACATED by DRB 04.13221. All Blanket Easements pertaining to Tract H are to remain.

ACKNOWLEDGEMENT

STATE OF Nevada
COUNTY OF Clark SS

The foregoing instrument was acknowledged before me this 7th day of October, 2004, by Tracy Murphy, President of The Trails Community Association, Inc.

Crystal House My commission expires 5/5/07
Notary Public

SHEET 2 OF 6

SURVOTEK, INC.

Consulting Surveyors
5645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-261-3300
Fax: 505-261-3377



OR AIB10240 BE 2004146566.002

Land Records Corp.

**BULK LAND PLAT OF
THE TRAILS UNIT 2**

(BEING A REPLAT OF TRACTS G AND J, THE TRAILS
AND UNPLATTED DEED PARCELS)

WITHIN
THE TOWN OF ALAMEDA GRANT

PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2004

TRACT A
THE TRAILS

TRACT B
THE TRAILS

TRACT OS-2

TRACT C
THE TRAILS

Filed December 15, 2003 in Plat Book 2003C, Page 375

TRACT E
THE TRAILS

TRACT H
THE TRAILS

TRACT F
THE TRAILS

TRACT G
THE TRAILS

Filed December 15, 2003 in Plat Book 2003C, Page 375

TRACT J
THE TRAILS

Filed December 15, 2003 in Plat Book 2003C, Page 375

UNPLATTED LAND OF
STATE OF NEW MEXICO

SOUTH BOUNDARY LINE TOWN OF ALAMEDA GRANT

UNPLATTED LAND OF
STATE OF NEW MEXICO

GRAPHIC SCALE



(IN FBST)
1 inch = 250 ft.

Note:
See Sheets 4 and 5 for additional
Existing Easements and New Easements
to be granted by this plat.

Note:
Blanket Easements pertaining to Tracts G and J as defined
in Notes 2 and 3 above are VACATED by DRB 04 13221.
All Blanket Easements pertaining to Tract H are to remain.

2604146566
Page 3 of 6
15/15/2004 03:52P
R 32:09 BR-2004 Pg-322

5/12/04
11 N. 2 E.
S16
2002



SURVOTEK, INC.
Consulting Surveyors

6643 Paradise Blvd. N.E. Albuquerque, New Mexico 87114 Phone: 505-897-3399
Fax: 505-897-3377

SHEET 3 OF 6

OR AIB10240 BE 2004146566.003

Land Records Corp.

**BULK LAND PLAT OF
THE TRAILS UNIT 2**

(BEING A REPLAT OF TRACTS G AND J, THE TRAILS
AND UNPLATTED DEED PARCELS)

WITHIN
THE TOWN OF ALAMEDA GRANT

PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2004

(Variable width right of way)

**TRACT A
THE TRAILS**

Filed December 15, 2003 in Plat Book 2003C, Page 375

TRACT OS-1

**TRACT C
THE TRAILS**

**TRACT E
THE TRAILS**

**TRACT H
THE TRAILS**

TRACT 12

**TRACT B
THE TRAILS**

TRACT OS-2

**TRACT D
THE TRAILS**

Filed December 15, 2003 in Plat Book 2003C, Page 375

**TRACT F
THE TRAILS**

TRACT 1

12.3353 Ac.

TRACT 2

10.3965 Ac.

TRACT 3

10.5718 Ac.

TRACT OS-4

5.0749 Ac.

TRACT 4

18.3591 Ac.

TRACT 5

20.2276 Ac.

TRACT 6

17.0028 Ac.

TRACT 7

14.2392 Ac.

SEE SHEET 5 OF 6



(IN FEET)
1 inch = 200 ft.

SURV TEK, INC.

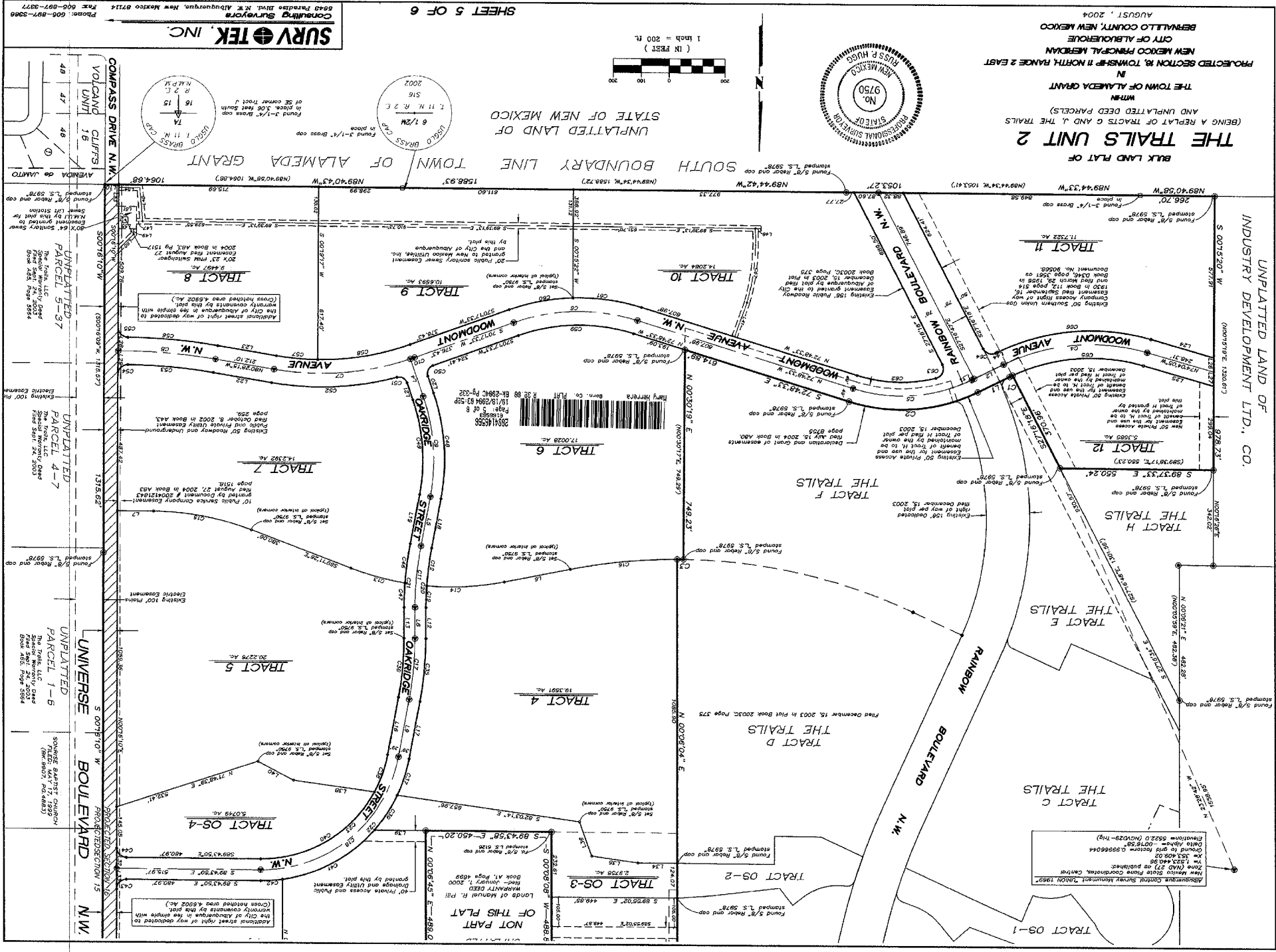
Consulting Surveyors
6643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114

Phone: 505-897-3366
Fax: 505-897-3377

SHEET 4 OF 6

OR AIB10240 BE 2004146566.004

Land Records Corp.



BULK LAND PLAT OF
THE TRAILS UNIT 2
 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS
 AND UNPLATTED DEED PARCELS)

WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN

PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2004

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	11.45'	672.00'	5.72'	11.45'	N84°24'38"E	0°58'34"
C2	474.25'	628.00'	249.08'	433.06'	S85°33'24"W	43°16'06"
C3	22.80'	2000.00'	11.40'	22.80'	S89°49'00"E	0°39'11"
C4	528.64'	721.00'	276.83'	516.88'	N84°55'38"E	42°00'34"
C5	437.25'	579.00'	229.64'	426.93'	S85°33'24"W	43°16'06"
C6	450.80'	700.00'	233.53'	443.05'	N88°44'30"E	36°53'54"
C7	494.53'	1000.00'	252.43'	489.51'	S85°21'43"W	28°20'05"
C8	350.92'	2000.00'	175.94'	350.92'	S85°29'53"E	10°03'16"
C9	362.69'	700.00'	185.51'	358.64'	S03°57'45"E	29°41'11"
C10	15.74'	1000.00'	7.87'	15.74'	S70°44'36"W	0°54'07"
C11	221.79'	1200.00'	111.21'	221.48'	N05°35'09"E	10°35'24"
C12	136.54'	1161.00'	68.35'	136.46'	S07°30'41"W	6°44'18"
C13	200.90'	1000.00'	100.79'	200.56'	N74°56'46"W	11°30'39"
C14	278.67'	1000.00'	140.25'	277.77'	N86°50'22"E	15°58'01"
C15	358.49'	1000.00'	181.19'	356.57'	S79°27'38"E	20°32'24"
C16	384.49'	2000.00'	192.84'	383.90'	N84°21'51"E	11°00'53"
C17	219.10'	1200.00'	109.86'	218.80'	S05°31'17"W	10°27'41"
C18	693.92'	500.00'	415.97'	539.56'	S50°30'39"W	79°31'03"
C19	78.05'	1161.00'	39.04'	78.03'	S02°13'00"W	0°16'06"
C20	214.59'	1081.00'	107.60'	214.28'	N05°35'09"E	10°35'24"
C21	229.00'	1239.00'	114.83'	228.68'	S08°30'09"W	10°35'24"
C22	748.05'	539.00'	448.42'	689.44'	S50°30'39"E	79°31'03"
C23	639.79'	461.00'	383.53'	589.67'	S50°30'39"W	79°31'03"
C24	88.48'	578.00'	44.32'	88.39'	N68°18'40"E	8°46'13"
C25	Deleted					
C26	Deleted					
C27	Deleted					
C28	Deleted					
C29	Deleted					
C30	Deleted					
C31	Deleted					
C32	Deleted					
C33	Deleted					
C34	Deleted					
C35	226.22'	1239.00'	113.43'	225.91'	S05°31'17"W	10°27'41"
C36	211.98'	1161.00'	106.29'	211.69'	S05°31'17"W	10°27'41"
C37	137.94'	539.00'	69.35'	137.56'	S18°05'01"W	14°39'47"
C38	142.75'	461.00'	71.95'	142.18'	N19°37'22"E	17°44'29"
C39	149.64'	539.00'	75.31'	149.16'	S33°22'07"W	15°54'25"
C40	497.05'	461.00'	275.77'	473.32'	N89°22'53"E	61°46'34"
C41	381.94'	539.00'	199.39'	374.00'	S61°37'21"W	40°36'03"
C42	78.52'	539.00'	39.33'	78.45'	S88°05'46"W	8°20'48"
C43	54.98'	35.00'	35.00'	49.50'	N45°16'10"E	90°00'00"
C44	54.98'	35.00'	35.00'	49.50'	N44°43'50"W	90°00'00"
C45	55.02'	35.00'	35.00'	49.53'	N44°46'05"W	90°04'31"
C46	141.74'	1239.00'	70.95'	141.66'	N07°36'12"E	6°33'16"
C47	87.27'	1239.00'	43.65'	87.25'	N02°18'30"E	4°02'08"
C48	382.89'	739.00'	195.85'	378.62'	S03°57'45"E	29°41'11"
C49	342.48'	661.00'	175.18'	336.66'	S03°57'45"E	29°41'11"
C50	46.65'	30.00'	29.53'	42.09'	N25°44'36"E	89°05'53"
C51	45.20'	30.00'	28.14'	41.05'	S61°58'20"E	88°20'01"
C52	451.64'	1049.00'	229.37'	448.16'	S27°17'42"W	24°40'06"
C53	307.92'	1951.00'	154.28'	307.60'	S84°58'32"E	9°02'34"
C54	55.11'	35.00'	35.13'	49.59'	N45°22'41"E	90°37'01"
C55	54.86'	35.00'	34.88'	49.41'	N44°37'51"W	89°48'02"
C56	324.01'	2049.00'	162.34'	323.67'	S85°00'03"E	9°03'37"
C57	149.02'	951.00'	74.66'	148.87'	N84°57'35"W	8°58'41"
C58	336.25'	951.00'	169.90'	334.51'	S80°25'18"W	20°15'31"
C59	419.24'	621.00'	212.18'	412.04'	N88°44'30"E	36°53'54"
C60	233.13'	749.00'	117.51'	232.19'	N78°12'33"E	17°50'00"
C61	249.23'	749.00'	125.78'	248.08'	S82°20'30"E	19°03'54"
C62	285.78'	530.00'	146.45'	282.33'	N88°15'22"W	30°53'38"
C63	63.27'	35.00'	44.45'	55.00'	S24°30'46"W	103°34'08"
C64	54.25'	35.00'	34.28'	48.98'	N71°40'28"W	88°48'21"
C65	481.26'	672.00'	251.47'	471.05'	N85°45'55"E	41°02'00"
C66	564.57'	770.00'	285.65'	559.01'	N84°55'38"E	42°00'34"
C67	268.64'	800.00'	135.60'	267.38'	S06°21'09"W	19°14'23"

LINE TABLE

LINE	LENGTH	BEARING
L1	126.54'	N63°55'21"E
L2	126.54'	S63°55'21"W
L3	8.72'	N63°55'21"E
L4	141.45'	N18°48'20"W
L5	179.63'	S10°52'50"W
L6	240.99'	S78°51'21"W
L7	129.13'	S89°43'50"E
L8	110.76'	N00°17'27"E
L9	208.92'	S10°45'07"W
L10	50.00'	N89°40'43"W
L11	50.03'	S17°18'38"E
L12	110.76'	N00°17'27"E
L13	110.76'	N00°17'27"E
L14	446.14'	S27°16'18"E
L15	186.95'	S63°55'21"W
L16	208.92'	S10°45'07"W
L17	208.92'	S10°45'07"W
L18	179.63'	S10°52'50"W
L19	179.63'	S10°52'50"W
L20	63.40'	N18°48'20"W
L21	64.66'	N18°48'20"W
L22	212.10'	N80°28'15"W
L23	212.10'	N80°28'15"W
L24	234.56'	N74°04'05"W
L25	266.06'	N74°04'05"W
L26	50.89'	N00°15'20"E
L27	50.89'	N00°15'20"E
L28	84.18'	N00°16'10"E
L29	83.89'	N00°16'10"E
L30	Deleted	
L31	Deleted	
L32	74.60'	N00°16'10"E
L33	74.60'	N00°16'10"E
L34	140.39'	S89°54'08"E
L35	167.26'	S81°59'57"E
L36	129.67'	S19°31'15"E
L37	Deleted	
L38	292.28'	S82°03'14"E
L39	183.29'	S89°44'24"E
L40	143.83'	S82°09'00"E
L41	130.01'	N19°58'29"E
L42	Deleted	
L43	Deleted	
L44	6.33'	S63°55'20"W
L45	20.00'	N00°06'04"E
L46	20.00'	N89°39'13"W
L47	22.03'	S89°39'13"E
L48	120.23'	S04°49'15"E
L49	18.74'	N00°00'00"W
L50	76.85'	N45°00'00"E
L51	64.00'	S89°43'50"E
L52	80.00'	N00°16'10"E
L53	77.23'	N00°16'10"E
L54	76.36'	S89°40'43"E
L55	54.00'	S89°40'50"E

2894146566
 6168965
 Page 5 of 5
 15/18/2004 03:52P
 8X-2684C Pg-332
 Gary Herrera Term. Co. PLT# R 32 86



OR AIB10240 BE 2004146566.006
 Land Records Corp.

EASEMENT
(Drainage)

Grant of Easement, by and among The Trails, LLC, a Nevada limited liability company ("The Trails"), whose address is 3077 E. Warm Springs Road, Las Vegas, Nevada, 89120, The Trails Community Association, Inc., a New Mexico non-profit corporation ("Association"), whose address is 7007 Jefferson Blvd., NE, Suite A, Albuquerque, New Mexico 87109, and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico, 87103.

With respect to Tract 1 shown on Exhibit "A," The Trails grants to the City an easement ("The Trails Easement") in, over, upon and across that portion of Tract 1 more particularly described on Exhibit "A" attached hereto ("The Trails Property") for the construction, installation, maintenance, repair, modification, replacement and operation of drainage facilities and areas, including without limitation drainage ponds, together with the right to remove trees, bushes, undergrowth and any other obstacles upon The Trails Property if the City determines they interfere with the appropriate use of this Tract 1 Easement.

With respect to Tract OS-3 shown on Exhibit "A," Association grants to the City an easement ("Association Easement") in, over, upon and across that portion of Tract OS-3 more particularly described on Exhibit "A" attached hereto ("Association Property") for the construction, installation, maintenance, repair, modification, replacement and operation of drainage facilities and areas, including without limitation drainage ponds, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Association Property if the City determines they interfere with the appropriate use of this Association Easement.

For purposes of this agreement, The Trails and the Association are collectively referred to herein as "Grantor," The Trails Easement and the Association Easement are collectively referred to herein as the "Easement," and The Trails Property and the Association Property are collectively referred to herein as the "Property."

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

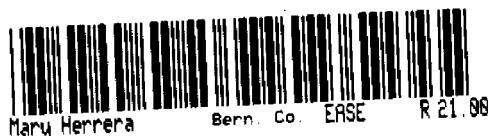
Grantor covenants and warrants that Grantor is the owner in fee simple of its respective Property as stated herein, that Grantor has a good lawful right to convey its respective Property or any part thereof and that Grantor will forever warrant and defend the title to its respective Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns until terminated.

This Easement shall not be effective until approved by the City Engineer for the City in the signature block below.

[SIGNATURES ON FOLLOWING PAGE]

Trails\Unit 2\Tracts 1 & OS-3\Perm Drainage



2005125348
5321397
Page: 1 of 7
08/26/2005 03:54P
Bk-A102 Pg-4979

[SIGNATURE PAGE TO EASEMENT]

WITNESS our hands this 11th day of May, 2005.

GRANTORS:

The Trails, LLC

The Trails Community Association, Inc.

By: The Longford Group, Inc., a Nevada corporation,
Its Manager

By: David A. Murtagh
David A. Murtagh, Division President

Dated: May 11, 2005

By: Tracy Murphy
Tracy Murphy, President

Dated: May 11, 2005

APPROVED:

Richard D. Dore

Print Name: Richard Dore 8-7-05
City Engineer
Dated: 8-26-05

kg 8/25/05

STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)


Mary Herrera Bern. Co. ERSE R 21.00
2005125348
6321387
Page: 2 of 7
08/26/2005 03:54P
Bk-A102 Pg-4979

This instrument was acknowledged before me on the 11th day of May, 2005, by David A. Murtagh, Division President of Longford Group, Inc., a Nevada corporation, as manager of The Trails, LLC, a Nevada limited liability company.

Donna Lawson
Notary Public

My Commission Expires:

12-1-08

STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)

 OFFICIAL SEAL
DONNA LAWSON
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 12-1-08

This instrument was acknowledged before me on the 11th day of May, 2005, by Tracy Murphy, President of The Trails Community Association, Inc., a New Mexico non-profit corporation.

Nadine Tinagero
Notary Public

My Commission Expires:

02-24-07

Trails Unit 2 Tracts 1 & OS-3 Perm Drainage


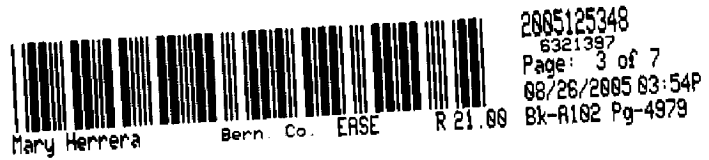
 OFFICIAL SEAL
NADINE TINAGERO
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 02-24-07

EXHIBIT A

Legal Description for Drainage Easement Within Tracts 1 & OS-3, Trails Unit 2

[See Attached Legal Description and Diagram]



Trails\Unit 2\Tracts 1 & OS-3\Perm Drainage

LEGAL DESCRIPTION - Drainage Easement within Tracts 1 and OS-3, Trails Unit 2

An Easement within that certain parcel of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprising a Northwesterly portion of Tract OS-3 and a Southerly Portion of Tract 1 of the Trails Unit 2 as the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 18, 2004 in Plat Book 2004C, Page 332 more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Coordinate System, Central Zone (NAD 27) grid bearings and ground distances as follows:

BEGINNING at the Southwest corner of the easement herein described, A POINT ON THE Westerly line of said Tract OS-3 whence the Southwest corner of said Tract OS-3 and the Northwest corner of Tract 4 of the Trails Unit 2 (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) bears S 00° 06' 04" W, 68.22 feet distant; Thence running as an easement:

N 00° 06' 04" E , 55.85 feet to the Northwest corner of said Tract OS-3; Thence,
N 00° 06' 04" E , 105.00 feet to the Northwest corner of the easement herein described; Thence,
S 89° 55' 02" E , 449.87 feet to a point on the Easterly line of said Tract 1 and the Northeast corner of the easement herein described; Thence,
S 00° 08' 08" W , 105.00 feet the Northeast corner of said Tract OS-3; Thence,
S 00° 08' 08" W , 88.01 feet to a point; Thence
S 33° 23' 38" W , 44.70 feet to a point; Thence,
S 13° 17' 28" E , 15.54 feet to a point; Thence,
S 76° 42' 32" W , 56.97 feet to a point; Thence,



Mary Herrera

Bern. Co. EASE

R 21.00

2005125348
6321397
Page: 4 of 7
08/26/2005 03:54P
Bk-A102 Pg-4979

Page 2

N 13° 17' 28" W , 24.94 feet to a point; Thence,
N 84° 29' 50" W , 211.06 feet to a point; Thence,
S 00° 06' 04" W , 17.04 feet to a point on the Southerly line of
said Tract OS-3; Thence,
N 81° 59' 57" W , 17.35 feet along said Southerly line of Tract
OS-3 to a point; Thence,
N 89° 54' 08" W , 7.81 feet along said Southerly line of Tract
OS-3 to a point; Thence,
N 00° 06' 04" E , 3.84 feet to a point; Thence,
N 73° 25' 31" W , 93.66 feet to a point; Thence,
N 52° 44' 34" W , 40.00 feet to a point; Thence,
N 38° 15' 47" W , 17.41 feet to the Southwest corner and point
of beginning of the easement herein described.



Mary Herrera

Bern. Co. EASE

R 21.00

2005125348
6321397
Page: 5 of 7
08/26/2005 03:54P
BX-A102 Pg-4979

PASEO

DEL

NORTE

(Variable width right of way)

Found 5/8" Rebar and cap
stamped "L.S. 5978"30' Private Temporary Slope
Easement granted by
document filed July 15, 2004
Book A80, Page 8752TRACT B
THE TRAILS

TRACT OS-2

Found 5/8" Rebar and cap
stamped "L.S. 5978"TRACT D
THE TRAILS

2005125348
6321397
Page: 6 of 7
88/26/2005 03:54P
BX-AL02 Pg-4979
Bern: Co ERSE R 21.00
Harry Herrera



Scale 1" = 200'

TRACT 1

Blanket Drainage Easement
granted by document
filed July 15, 2004
Book A80, Page 875040' Private Access and Public
Drainage and Utility Easement
granted by this plat.TRACT OS-3
Drainage EasementBlanket Drainage Easement
granted by document
filed July 15, 2004
Book A80, Page 8750

TRACT 4

Temporary Slope
Easement

Drainage Easement

TRACT 6

25' Storm Sewer Easement

UNPLATTED
NOT PART
OF THIS PLATLands of Manuel R. Pili
WARRANTY DEED
filed- January 1, 2000
Book A1, Page 4899Fd. 5/8" Rebar and cap
stamped L.S. 6126

S 82°03'14" E 657.96'

Blanket Drainage Easement
granted by document
filed July 15, 2004
Book A80, Page 8750Temporary Slope
Easement

Drainage Easement

TRACT 6

25' Storm Sewer Easement

SURV TEK, INC.

Consulting Surveyors

6643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114

Phone: 505-897-3366

Fax: 505-897-3377

2005125348
6321397
Page: 7 of 7
88726/2005 03 54P
8K-R192 Pg-4979
Bern. Co. EPSE
R 21.00
Mary Herrera



LINE TABLE

LINE	LENGTH	BEARING
L1	132.50'	S89°54'08"E
L2	3.84'	N00°06'04"E
L3	93.66'	N73°25'31"W
L4	40.00'	N52°44'34"W
L5	17.41'	N38°15'47"W
L6	55.85'	N00°06'04"E
L7	88.01'	S00°08'08"W
L8	44.70'	S33°23'38"W
L9	15.54'	S13°17'28"E
L10	56.97'	S76°42'32"W
L11	24.94'	N13°17'28"W
L12	211.06'	N84°29'50"W
L13	7.81'	S89°54'08"E
L14	17.35'	S81°59'57"E
L15	87.79'	N80°17'52"E
L16	40.51'	S41°47'10"E
L17	14.50'	N41°47'10"W
L18	103.64'	S80°17'52"W
L19	77.49'	S26°17'59"W
L20	236.12'	N86°29'46"E
L21	59.03'	N26°17'59"E
L22	70.26'	N10°37'44"W
L23	66.94'	N05°40'36"W
L24	23.53'	N00°30'17"E
L25	22.84'	S89°48'12"E
L26	2.98'	N00°44'07"W
L27	17.63'	N22°30'36"E
L28	75.90'	N00°35'13"E
L29	65.73'	N32°23'17"E
L30	54.97'	N67°48'25"E
L31	70.76'	N39°31'30"E
L32	72.08'	N06°05'21"E
L33	142.48'	N10°37'44"W
L34	136.30'	N83°00'21"E
L35	67.18'	S87°16'51"E
L36	25.26'	S10°52'50"W
L37	61.47'	S87°16'51"E
L38	107.54'	S83°00'21"W
L39	119.52'	S10°37'44"E
L40	83.26'	S06°05'21"W
L42	84.57'	S39°31'30"W
L43	53.28'	S67°48'25"W
L44	63.28'	S32°23'17"W
L45	128.28'	S19°42'27"E
L59	67.61'	N00°16'10"E
L60	100.05'	N89°43'50"W
L61	17.04'	S00°06'04"W
L62	105.00'	N00°06'04"E
L63	105.00'	S00°08'08"W

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C5	54.34'	34.00'	34.95'	48.74'	S54°50'34"E	91°34'20"
C6	53.70'	35.00'	33.75'	48.59'	S34°53'59"W	87°54'45"
C7	174.08'	7435.34'	87.05'	174.08'	S81°13'24"W	1°20'29"
C8	26.97'	34.00'	14.24'	26.27'	N28°24'07"W	45°27'03"
C9	40.26'	34.00'	22.87'	37.95'	N23°17'52"E	67°51'11"
C10	102.72'	55.00'	74.33'	88.43'	N54°05'20"E	107°00'14"
C11	79.75'	58.00'	47.63'	73.62'	N39°58'45"E	78°47'03"
C12	52.98'	68.00'	27.92'	51.65'	S78°18'36"E	44°38'17"
C13	27.71'	68.00'	14.05'	27.52'	S22°36'49"E	23°20'54"
C14	82.33'	538.00'	41.25'	82.25'	S15°19'24"E	8°46'05"
C15	419.24'	651.00'	217.18'	412.04'	S88°44'30"W	36°53'54"
C16	46.71'	30.00'	29.59'	42.13'	N44°52'19"E	89°12'19"

050003

SURV  TEK, INC.

Consulting Surveyors

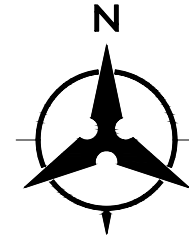
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114

Phone: 505-897-3366

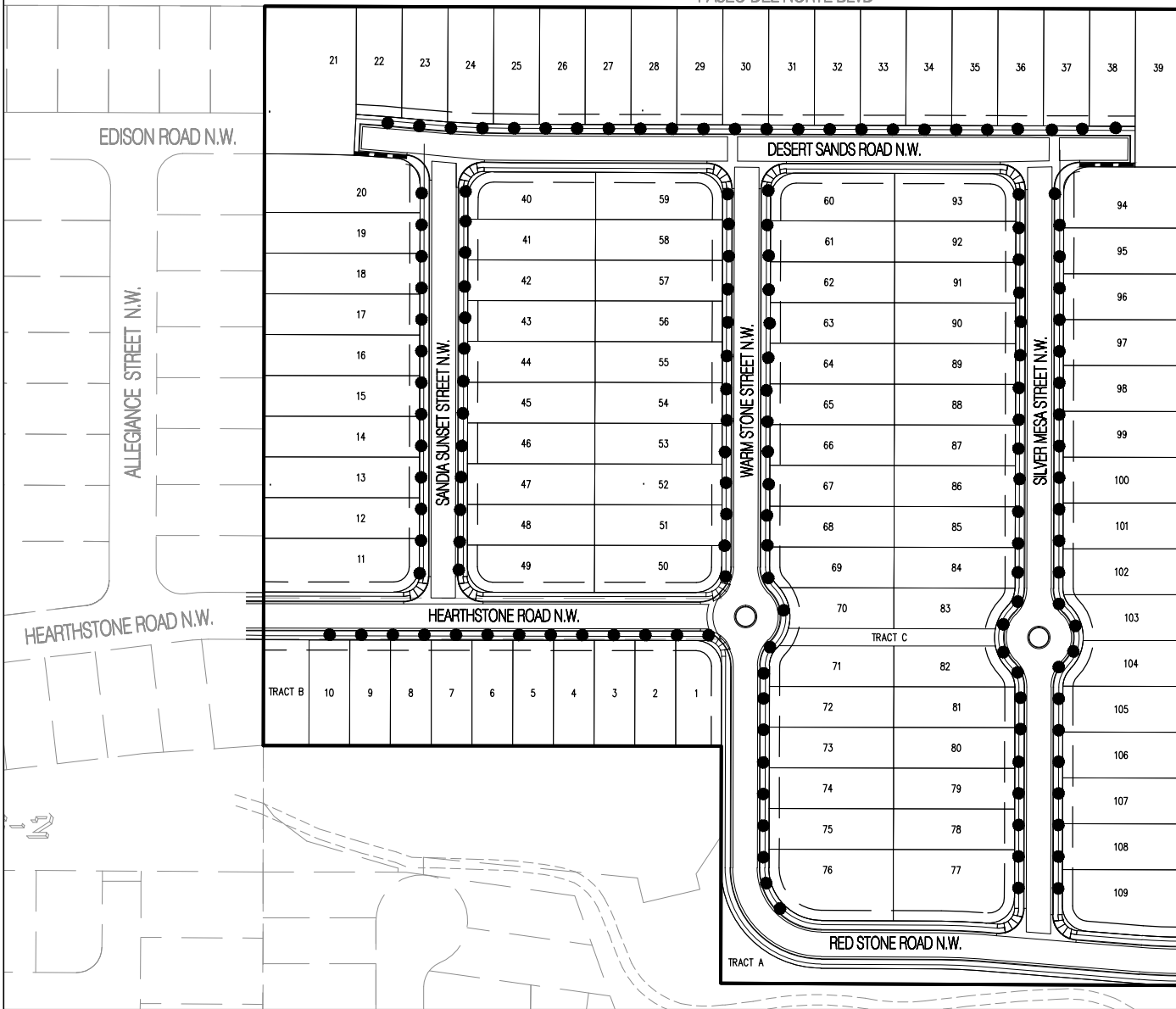
Fax: 505-897-3377

PASEO DEL NORTE BLVD

EXHIBIT "B" TAOS II AT THE TRAILS SIDEWALK DEFERRAL JULY 2016



NOT TO SCALE



DEFERRED sidewalks to be built on a lot-by-lot basis as home construction is completed. The deferral is requested to reduce damage to sidewalks due to building construction activities.



WAIVED sidewalks are requested.

Bohannon  **Huston**