

**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 23, 2008, beginning at 9:00 a.m. for the purpose of considering the following:

**Project# 1002962**

**08DRB-70292 MAJOR - 2YR EXTENSION  
OF SUBDIVISION IMPROVEMENTS**

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion **HERITAGE AT THE TRAILS Unit(s) I & 2, plus SANTA FE, TAOS, & RESERVE AT THE TRAILS**, zoned SU-2/ RD, located on either side of RAINBOW BLVD NW BETWEEN PASEO DEL NORTE NW AND WOODMONT AVE NW containing approximately 76 acre(s). (C-9)

**Project# 1003688**

**08DRB-70290 VACATION OF PUBLIC  
EASEMENT  
08DRB-70291 VACATION OF PRIVATE  
EASEMENT**

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the vacation of certain access, drainage, water and sanitary sewer easements on portion(s) of Tract(s) 9, **THE TRAILS Unit(s) 3A**, zoned SU-2/ SU-1 FOR SCHOOL, PARK, OPEN SPACE, FUTURE ROW, & SRSL 26, located on the north side of WOODMONT AVE NW and west of RAINBOW BLVD NW containing approximately 25.25 acre(s). (C-9)

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A handwritten signature in black ink, appearing to read "Jack Cloud".

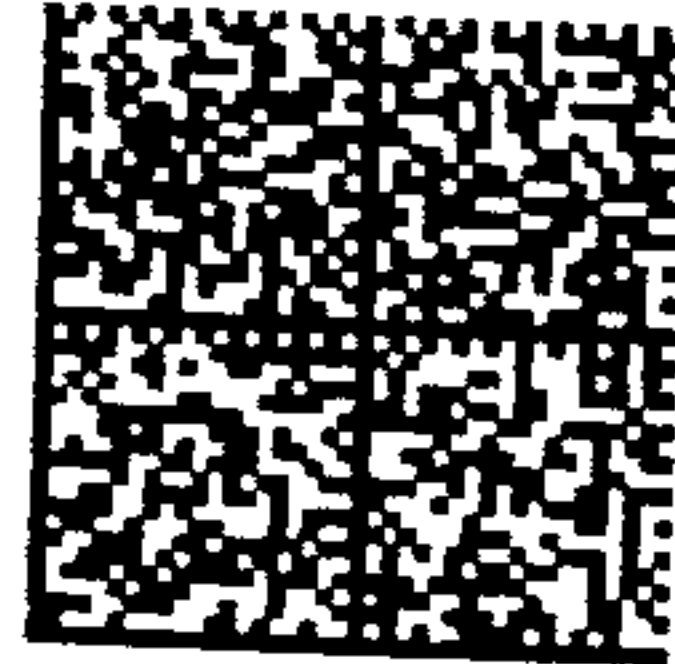
Jack Cloud, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 7, 2008.**

# CITY OF ALBUQUERQUE



Planning Department



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OR CURRENT RESIDENT  
100906420247321203  
CAMPBELL NOEL ANTHONY  
7236 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

DRB

FWD



P O Box 1293 Albuquerque New Mexico 87103



VAC



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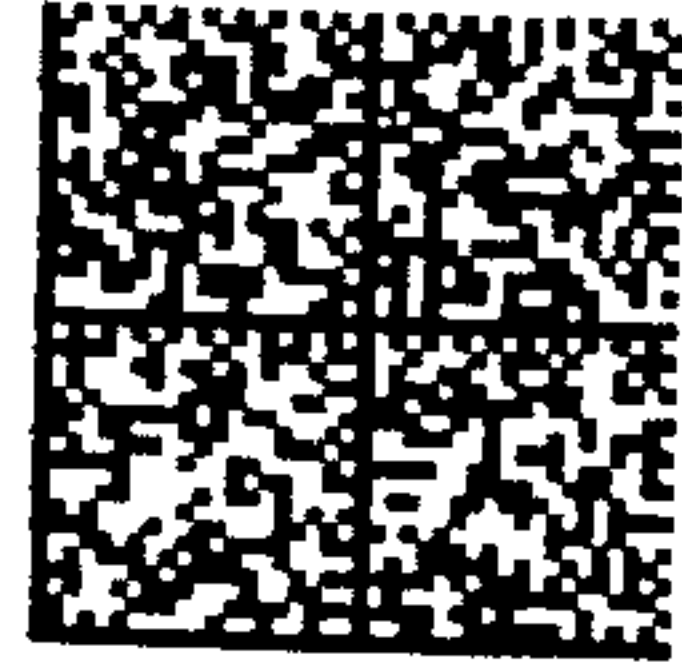
  
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~~ANK~~ VAC

OR CURRENT RESIDENT

100906419937821303

~~SANCHEZ ENRIQUE~~

7215 TREE LINE AVE NW

ALBUQUERQUE, NM 87114

DRB



# VACANT

|| ||||| | || || ||||| || 1571434372 4116



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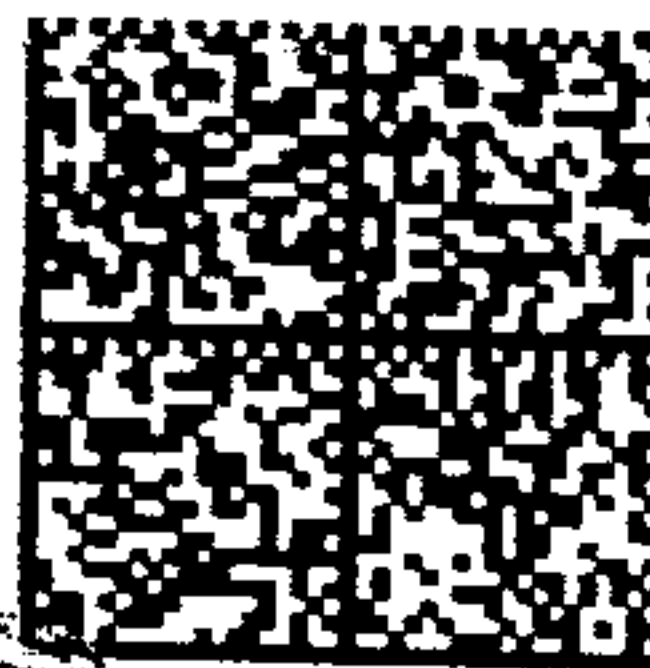


Planning Department

**DRB**

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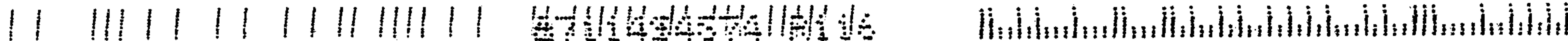
OR CURRENT RESIDENT  
100906430129522114  
KANE THOMAS M  
7104 GLYNDON TRL  
ALBUQUERQUE, NM 87114



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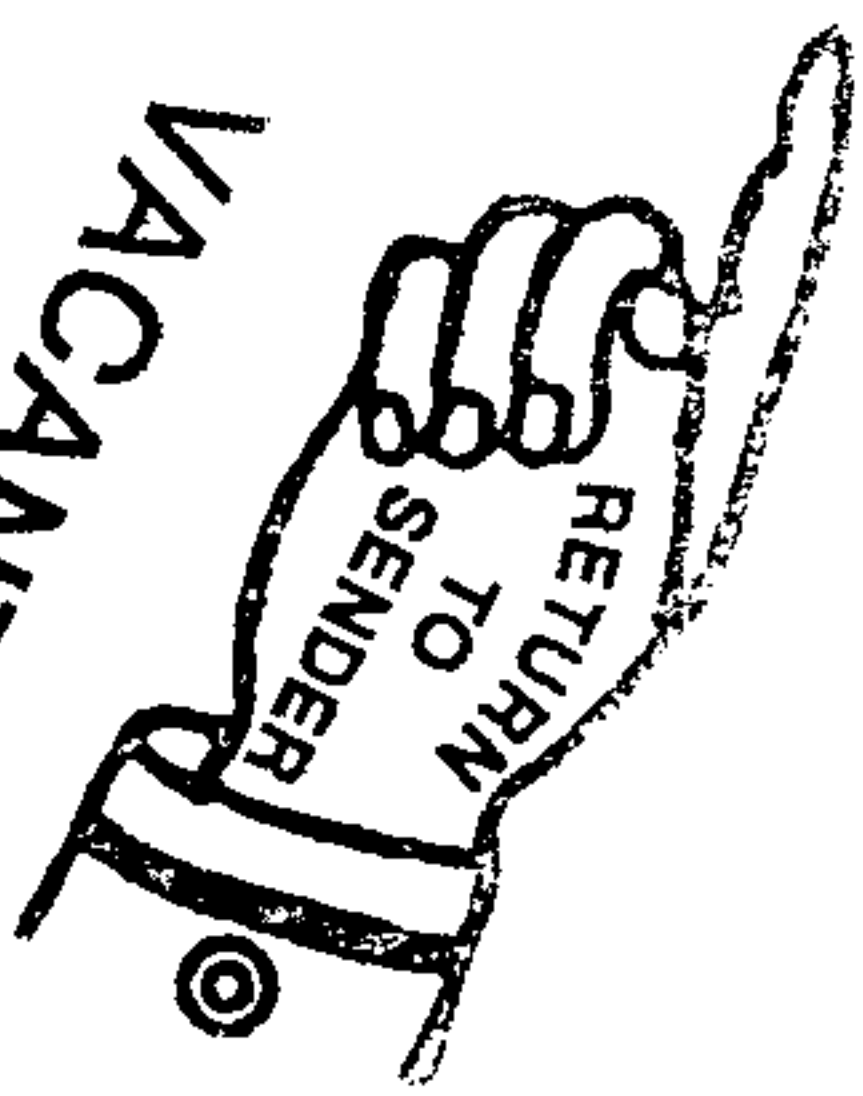


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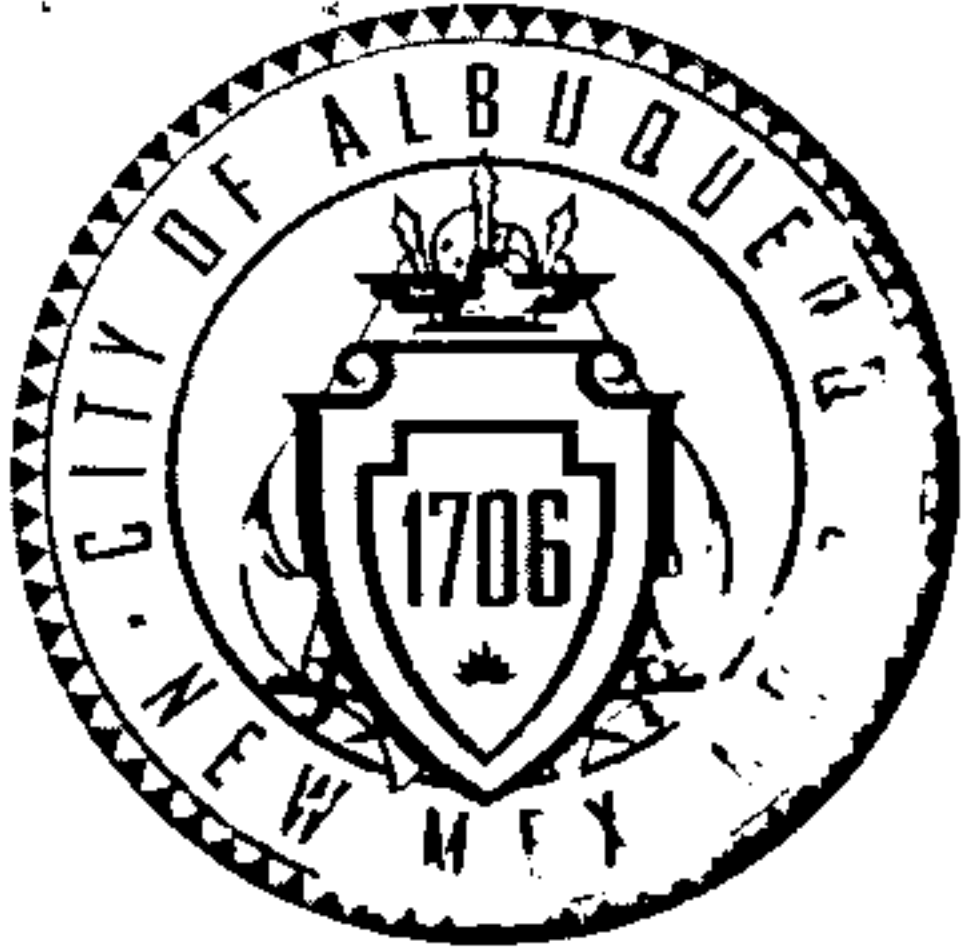
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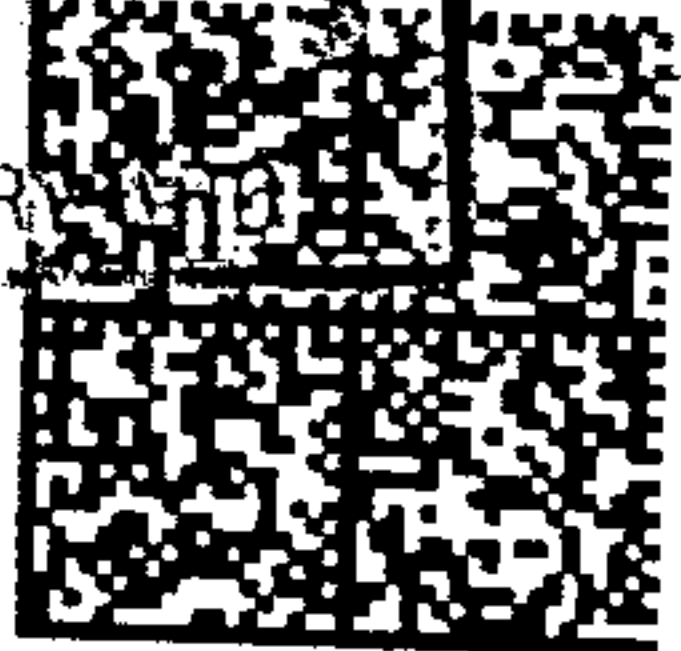


Planning Department

# CITY OF ALBUQUERQUE



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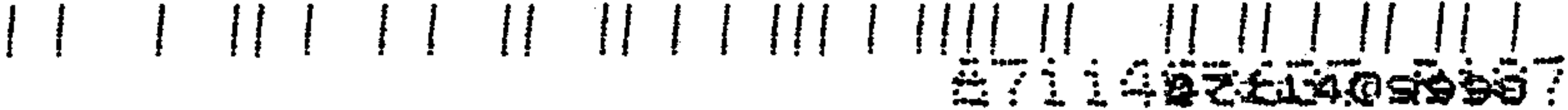
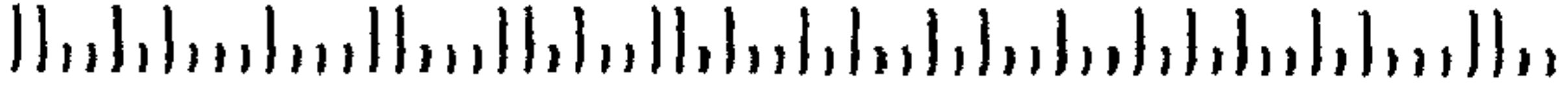
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OR CURRENT RESIDENT  
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 MANZANILLA JORGE & LILLY F  
 9401 TERESINA CT NW  
 ALBUQUERQUE, NM 87114

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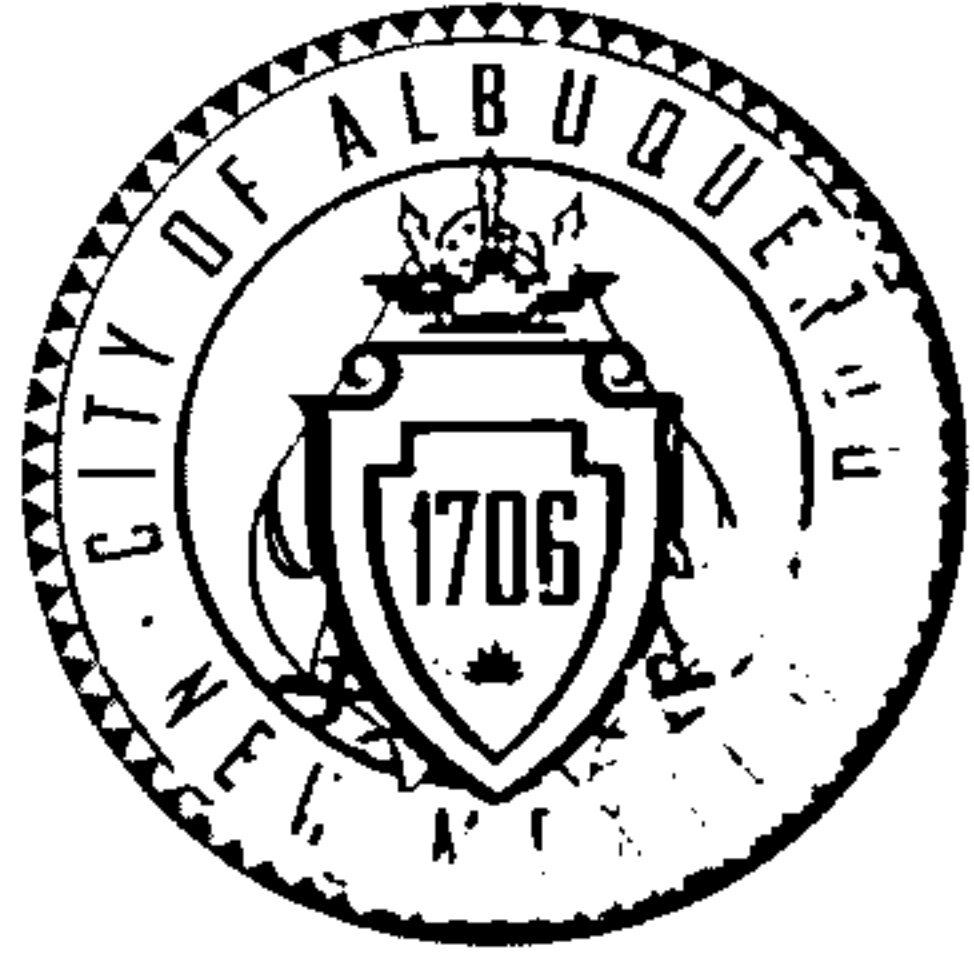
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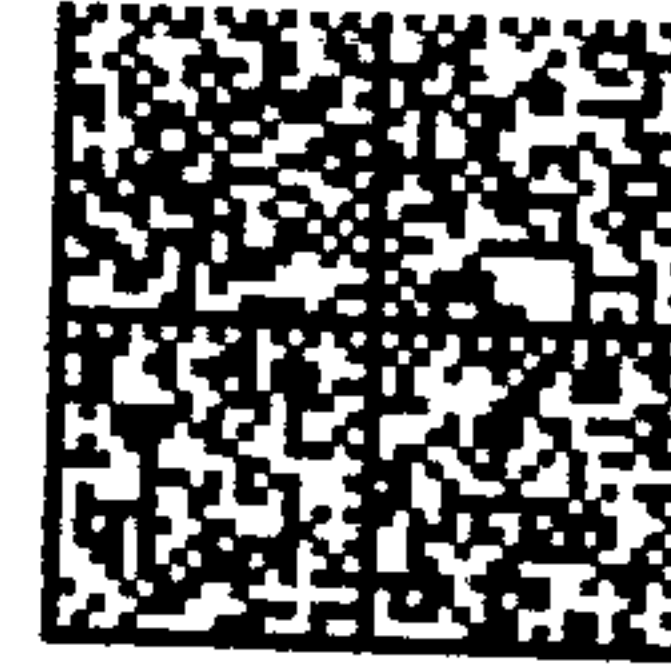
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~~OR CURRENT RESIDENT  
100906420350221013  
MOYERS JAMES A & DEBORAH  
7240 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114~~

 **VACANT**

**DRB**

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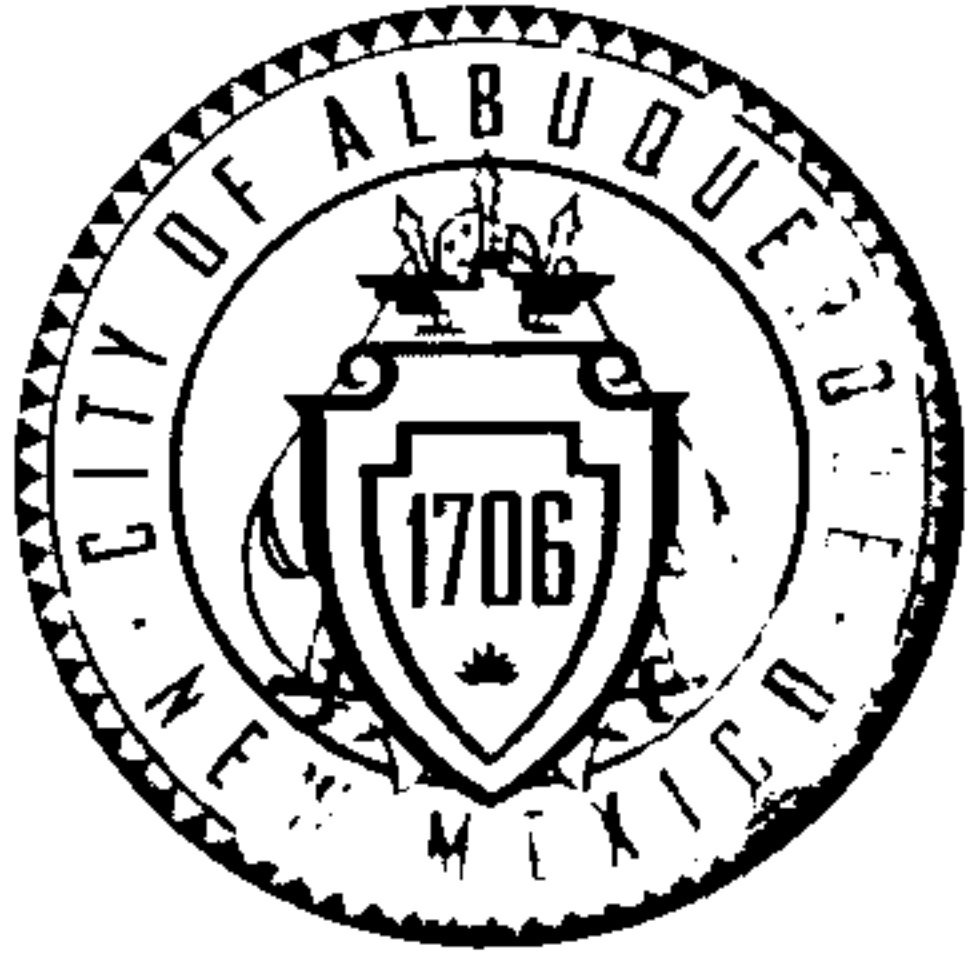
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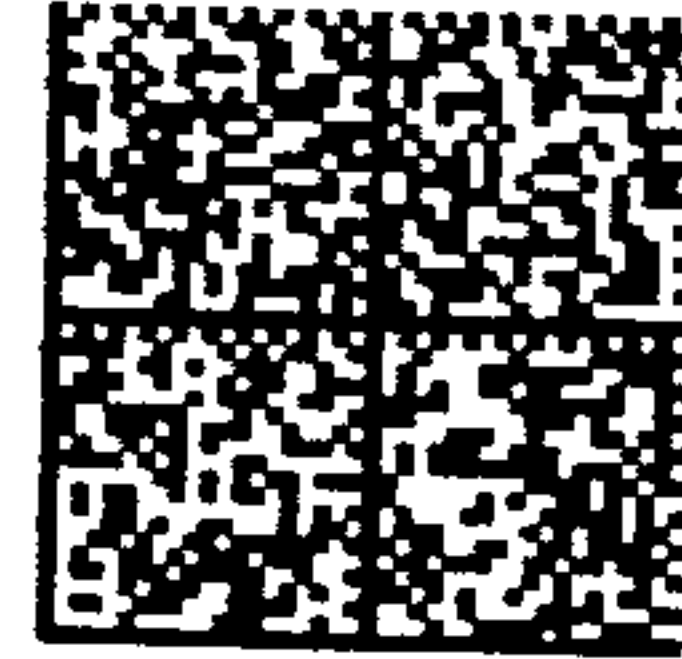
# CITY OF ALBUQUERQUE



Planning Department

DRB

OR CURRENT RESIDENT  
100906425151520813  
GALLEGOS ROBERT N & VERONICA  
LYNN MARES  
3581 E SANTA FE LN



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INSUFFICIENT ADDRESS

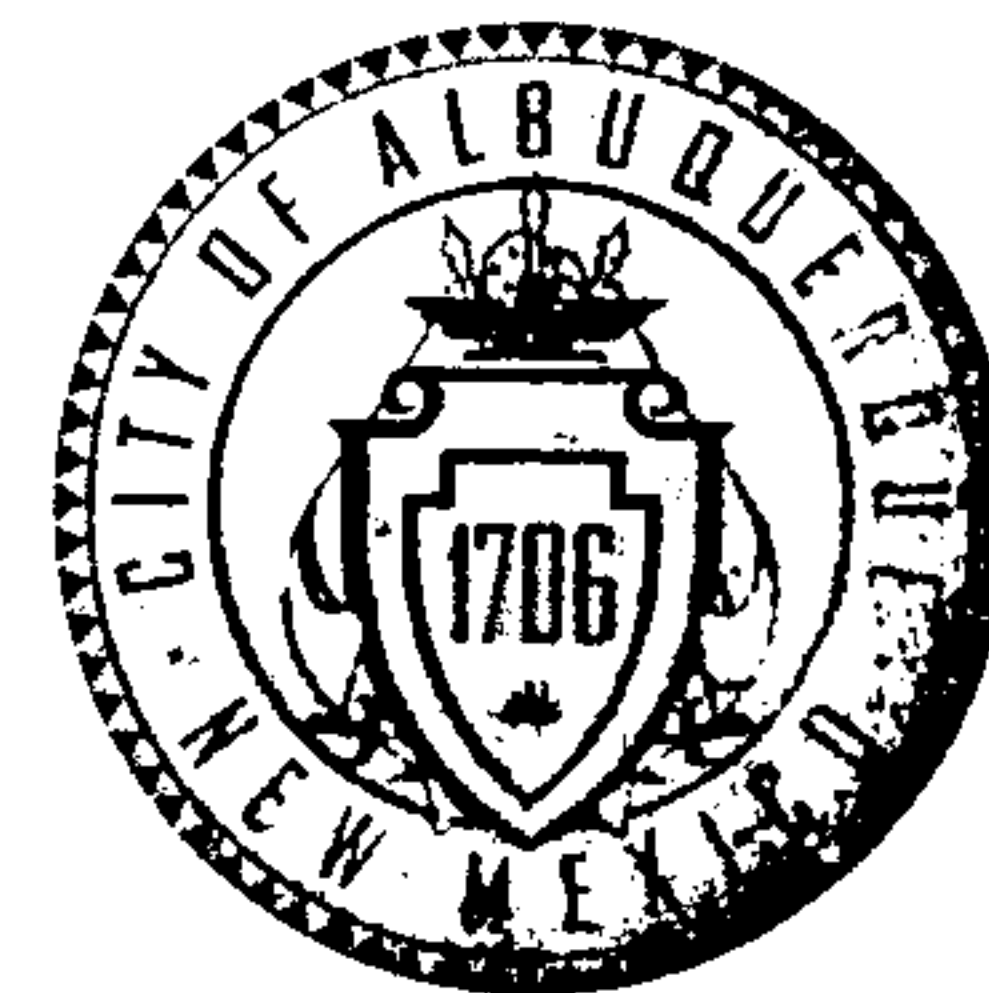


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# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002962**

**AGENDA ITEM NO: 16**

**SUBJECT:**

Sketch Plat/Plan

**ACTION REQUESTED:**

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

**ENGINEERING COMMENTS:**

No adverse comments.

Albuquerque

NM 87103

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED *discussal* x; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR: \_\_\_\_\_

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** August 6, 2008



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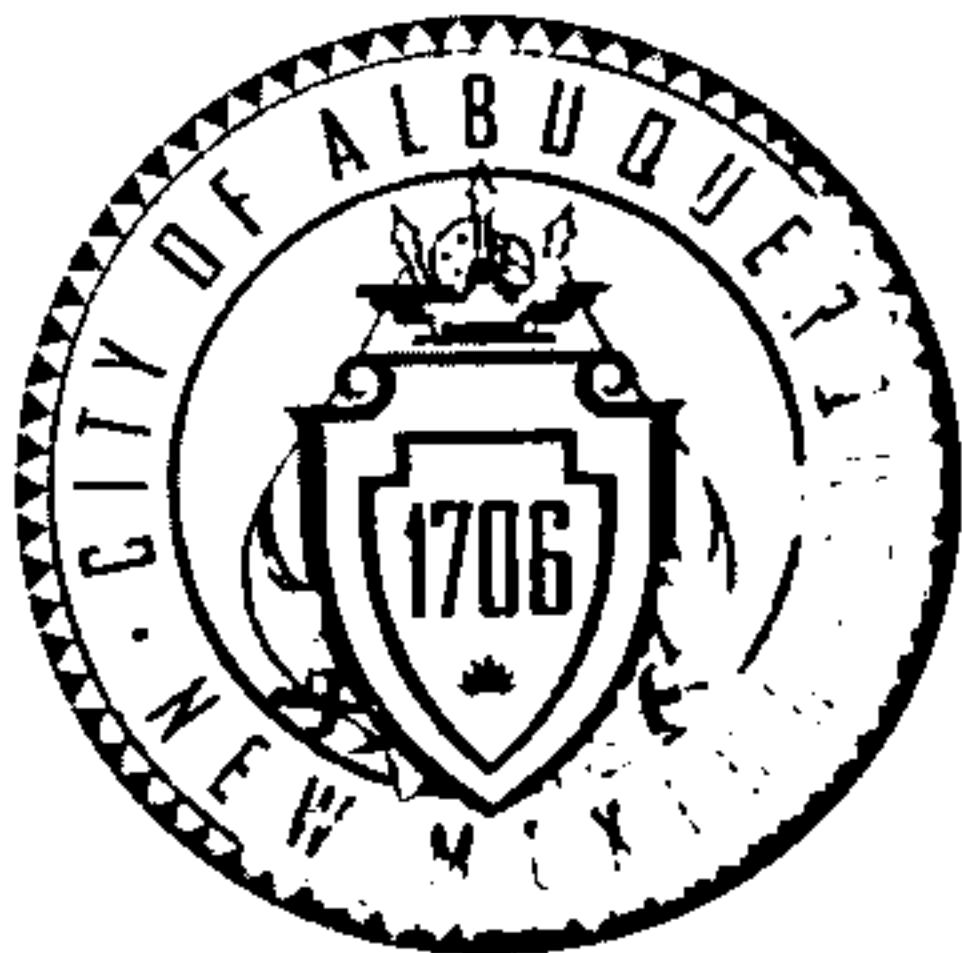
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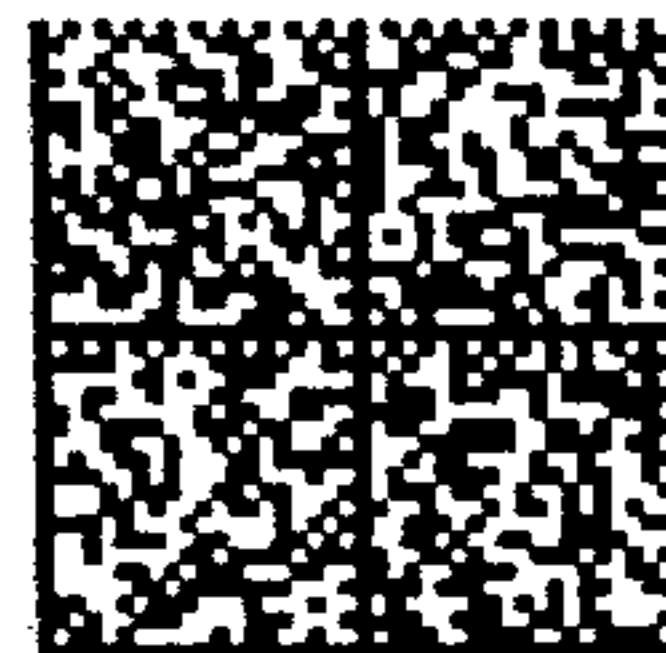
# CITY OF ALBUQUERQUE



Planning Department

OR CURRENT RESIDENT  
100906422344421328  
MURAYOSHI KIMIYASU  
11038 CAMARILLO ST  
TOCULA LAKE, CA 91602

DRB



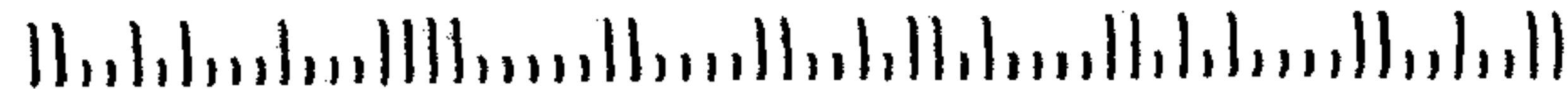
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RETURN TO SENDER  
NOT DELIVERABLE AS ADDRESSED  
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P O Box 1293 Albuquerque New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 23, 2008, beginning at 9:00 a.m. for the purpose of considering the following:

**Project# 1002962**

08DRB-70292 MAJOR - 2YR EXTENSION  
OF SUBDIVISION IMPROVEMENTS

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion **HERITAGE AT THE TRAILS Unit(s) 1 & 2, plus SANTA FE, TAOS, & RESERVE AT THE TRAILS**, zoned SU-2/ RD, located on either side of RAINBOW BLVD NW BETWEEN PASEO DEL NORTE NW AND WOODMONT AVE NW containing approximately 76 acre(s). (C-9)

**Project# 1003688**

08DRB-70290 VACATION OF PUBLIC  
EASEMENT  
08DRB-70291 VACATION OF PRIVATE  
EASEMENT

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the vacation of certain access, drainage, water and sanitary sewer easements on portion(s) of Tract(s) 9, **THE TRAILS Unit(s) 3A**, zoned SU-2/ SU-1 FOR SCHOOL, PARK, OPEN SPACE, FUTURE ROW, & SRSL 26, located on the north side of WOODMONT AVE NW and west of RAINBOW BLVD NW containing approximately 25.25 acre(s). (C-9)

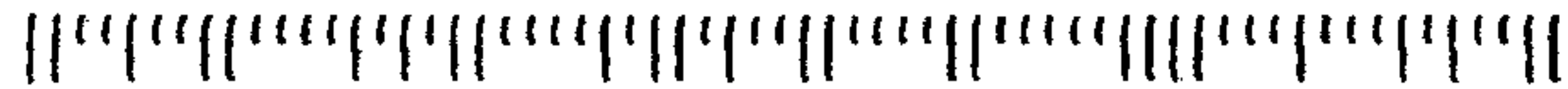
Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Jack Cloud, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 7, 2008.**



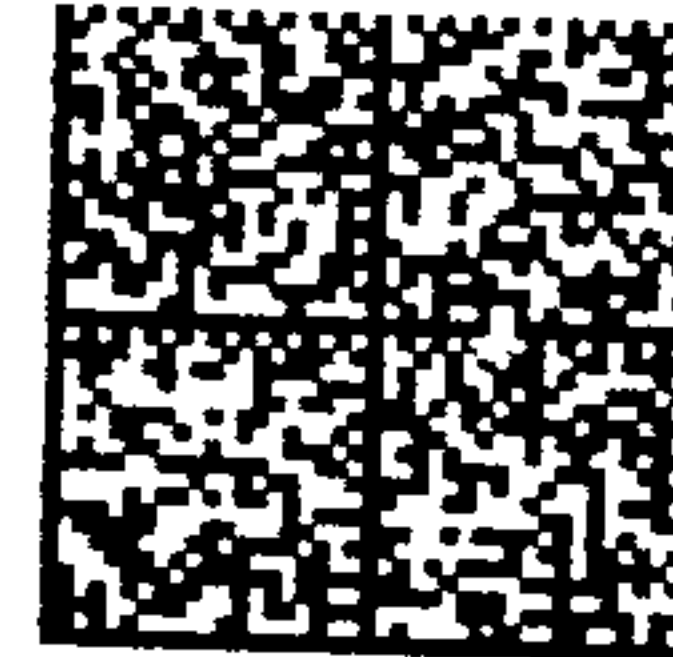
# ALBUQUERQUE



BC: 87109129393 \*1755-03279-27-40

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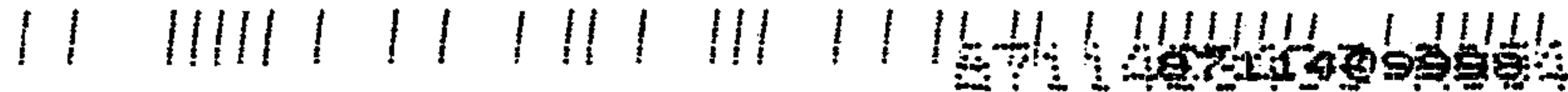
Planning Department

OR CURRENT RESIDENT  
100906512302230628  
ALLEN-DAVIS ADARYLL & LAURA  
7416 CERROS PL NW  
ALBUQUERQUE, NM 87114

DRB

871 CE N C 70 08/20/08  
EXCEPTIONAL ADDRESS FORMAT:  
MAIL PIECE TO BE DELIVERED  
AS ADDRESSED UNLESS SPECIFIC  
REASON FOR NON-DELIVERY EXISTS.

CARRIER: REMOVE LABEL BEFORE DELIVERY



P O Box 1293 Albuquerque New Mexico 87103

VAC

# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1002962 AGENDA# 1 DATE: 7/23/08

1. Name: Steve Salzer Address: 2600 The American Rd Zip: 87124
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
15. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
16. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
17. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002962**

**AGENDA ITEM NO: 4**

**SUBJECT:**

Vacation  
Final Plat  
Preliminary Plat

**ACTION REQUESTED:**

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

**ENGINEERING COMMENTS:**

The Hydrology Section has no objection to the vacation request.  
No adverse comments.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

APPROVED ; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** November 14, 2007

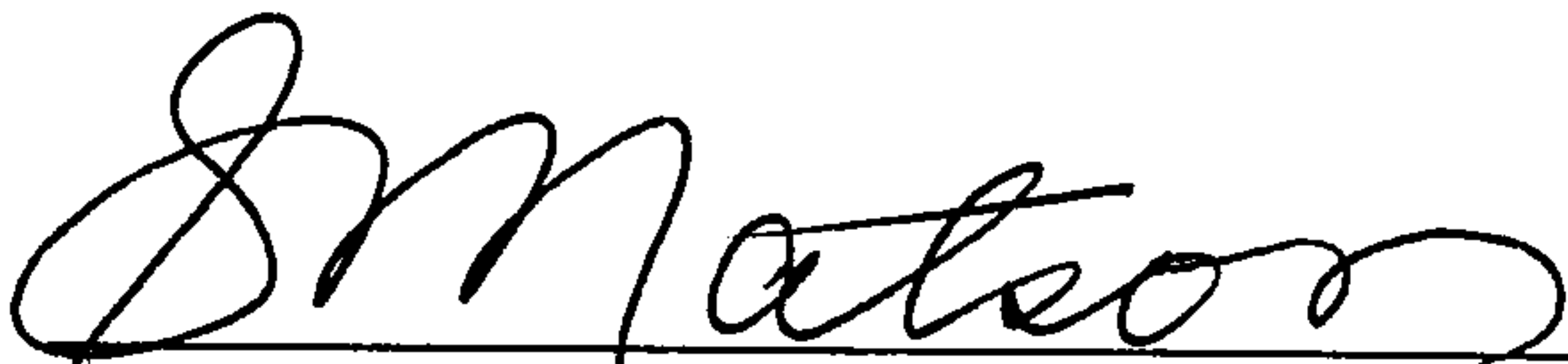
**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
September 5, 2007  
DRB Comments**

**ITEM # 13**

**PROJECT # 1002962 APPLICATION # 07-70224**

**RE: Tracts A-C, Cantata @ The Trails, Unit 2/minor plat**

What is happening with the issue of the SU2, SU1 for Parks designation?

A handwritten signature in black ink, appearing to read "S. Matson", written over a horizontal line.

Sheran Matson, AICP

DRB Chair

924-3880 smatson@cabq.gov



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

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**Project# 1002962**  
08DRB-70292 MAJOR - 2YR. EXTENSION  
OF SUBDIVISION IMPROVEMENTS

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion **HERITAGE AT THE TRAILS Unit(s) 1 & 2, plus SANTA FE, TAOS, & RESERVE AT THE TRAILS**, zoned SU-2/ RD, located on either side of RAINBOW BLVD NW BETWEEN PASEO DEL NORTE NW AND WOODMONT AVE NW containing approximately 76 acre(s). (C-9)

**Project# 1003688**  
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EASEMENT  
08DRB-70291 VACATION OF PRIVATE  
EASEMENT

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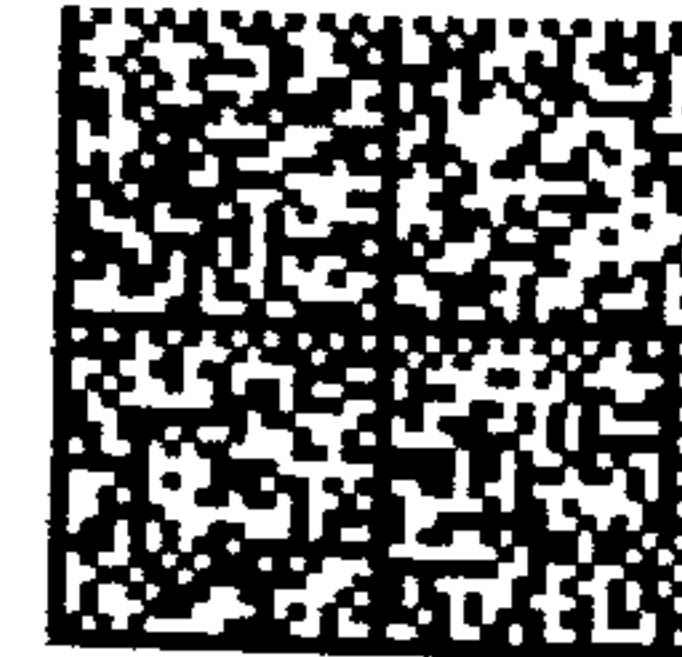
Jack Cloud, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 7, 2008.**

# CITY OF ALBUQUERQUE



Planning Department



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0004219022 JUL 03 2008  
MAILED FROM ZIP CODE 87102

OR CURRENT RESIDENT  
100906428240521704

**NMFA**

HAGAN TOM & FAWN R DOLAN  
232 TENORIO RD  
CORRALES, NM 87048

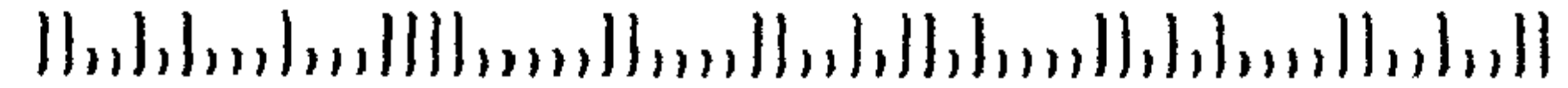
**DRB**

NIXIE 871 CC 1 70 07/08/08

RETURN TO SENDER  
NO MAIL RECEPTACLE  
UNABLE TO FORWARD

BC: 87103129393 \*2255-03801-03-41

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P O Box 1293 Albuquerque New Mexico 87103





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

July 23, 2008

- 1. Project# 1002962**  
08DRB-70292 MAJOR - 2YR EXTENSION OF SUBDIVISION  
IMPROVEMENTS

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion **HERITAGE AT THE TRAILS Unit(s) I & 2, plus SANTA FE, TAOS, & RESERVE AT THE TRAILS**, zoned SU-2/ RD, located on either side of RAINBOW BLVD NW BETWEEN PASEO DEL NORTE NW AND WOODMONT AVE NW containing approximately 76 acre(s). (C-9)

At the July 23, 2008 Development Review Board meeting, the 2 year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by August 7, 2008 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, AICP, DRB Chair

**Cc:** The Trails LLC – Attn: Rick Beltramo – 7007 Jefferson Street NE Ste A –  
Albuquerque, NM 87109

**Cc:** Steve Salazar, PE – Wilson & Company – 2600 The American Rd. Ste 100 – Rio  
Rancho, NM 87124



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

July 23, 2008 9:00 AM  
MEMBERS:

**Jack Cloud, AICP, DRB Chairman, Planning Department  
Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E., Transportation Development      Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA  
Brad Bingham, P.E., Hydrology/ Alternate City Engineer      Christina Sandoval, Parks/Municipal Development**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. ~~Project# 1002962~~  
08DRB-70292 MAJOR - 2YR SUBD IMP  
AGMT EXT (2YR SIA)  
WILSON AND COMPANY agent(s) for THE TRAILS request(s) the above action(s) for all or a portion of Tract(s) A, B, C, D & F, , **SANTA FE AT THE TRAILS, TAOS & RESERVE AT THE TRAILS Unit(s) I & 2**, zoned RD, located on RAINBOW RD NW BETWEEN PASEO DEL NORTE NW AND WOODMONT AVE NW containing approximately 76 acre(s). **(C-9) THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED**
  
2. **Project# 1003688**  
08DRB-70290 VACATION OF PUBLIC EASEMENT  
08DRB-70291 VACATION OF PRIVATE EASEMENT  
SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9, **THE TRAILS Unit(s) 3A**, zoned SU-2 FOR SRSL 26, SU-1 FOR SCHOOL, PARK, OPEN SPACE & FUTURE ROW, located on WOODMONT AVE NW BETWEEN RAINBOW BLVD NW AND PASEO DEL NORTE NW containing approximately 25.25 acre(s). **(C-9100906413032322306) DEFERRED TO 7/30/08 AT THE AGENT'S REQUEST.**

3. **Project # 1005070**  
 06DRB-01154 MAJOR-PRELIMINARY  
 PLAT APPROVAL  
 06DRB-01156 MINOR-SIDEWALK  
 WAIVER  
 06DRB-01155 MINOR-TEMP DEFER  
 SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, **THE TRAILS, UNIT 2 (to be known as TAOS @ THE TRAILS, UNIT 2)** zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). (C-9) [Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07, 08/22/07 & 09/05/07 & 09/26/07, 10/17/08, 4/16/08, 5/14/08 & 7/16/08]. **DEFERRED TO 9/24/08 AT THE AGENT'S REQUEST.**

4. **Project# 1003794**  
 08DRB-70238 MAJOR – SITE  
 DEVELOPMENT PLAN FOR  
 BUILDING PERMIT

GEORGE RAINHART & ASSOC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for Lots 3 and 4, **VOLCANO POINT SHOPPING CENTER**, zoned SU-2 / PCA, located on the northwest corner of 98TH ST NW AND CENTRAL AVE NW containing approximately 1.9833 acre(s). (K-9) *Deferred from 6/25/08 & 7-9/08.* **DEFERRED TO 8/13/08 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
 MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

5. **Project# 1000650**  
 08DRB-70237 EPC APPROVED SDP  
 FOR BUILD PERMIT

GEORGE RAINHART & ASSOC. agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 2A, **LAMONICA & WENK**, zoned SU-1 / C-1, located on COORS BLVD AND RIO BRAVO containing approximately 1.55 acre(s). (P-10) [Deferred from 5/28/08, 6/4/08, 6/11/08, 6/25/08, 7/9/08 & 7/23/08] **DEFERRED TO 7/30/08 AT THE AGENT'S REQUEST.**

6. **Project# 1007266**  
 08DRB-70322 EPC APPROVED SDP  
 FOR BUILD PERMIT

R. JARROD CLINE agent(s) for JAMES TWOHIG DDS AND MARY ROSE TWOHIG DDS request(s) the above action(s) for all or a portion of Lot(s) 20, Block(s) 3, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2 / O-1, located on ALAMEDA BLVD BETWEEN WYOMING BLVD AND EAGLE FEATHER DR containing approximately .866 acre(s). (C-19) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

7. **Project# 1005280**  
08DRB-70317 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- SURV-TEK INC agent(s) for JLF, LLC request(s) the above action(s) for all or a portion of Tract(s) E-1-A-1, **CREST VIEW SUBDIVISION** zoned SU-1, located on MCMAHON BLVD NW BETWEEN UNSER BLVD NW AND FINELAND DR NW containing approximately 2.3774 acre(s). (A-11) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR EXHIBIT AND TO PLANNING FOR AMAFCA SIGNATURE. PLANNING MUST RECORD THIS PLAT.**
8. **Project# 1000901**  
08DRB-70315 MINOR FINAL PLAT  
APPROVAL
- PRECISION SURVEYS INC agent(s) for BOSQUE SCHOOL request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, **BOSQUE PREPARATORY SCHOOL & LOT 9 ANDALUCIA @ LA LUZ** located on LEARNING RD NW BETWEEN COORS BLVD NW AND MIRANDELA ST NW containing approximately 31.3093 acre(s). (E-12/F-12) [*Deferred from 7/16/08*]. **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR SPECIFIC EASEMENTS THAT FIT WITH THE DESIGN AND TO PLANNING FOR 3 COPIES OF SITE PLAN AND TO RECORD.**
9. **Project# 1003612**  
08DRB-70321 EXT OF MAJOR  
PRELIMINARY PLAT
- THOMPSON ENGINEERING CONSULTANTS, INC agent(s) for DRAGONFLY DEVELOPMENT, INC request(s) the above action(s) for all or a portion of Tract(s) 31-33, **TOWN OF ATRISCO GRANT** zoned SU-2 / R-LT, located on ERDEE RD NW BETWEEN 98TH ST NW AND 94TH ST NW containing approximately 6.4 acre(s). (J-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED SUBJECT TO REAPPLICATION AND RE-APPROVAL OF 94<sup>TH</sup> STREET VACATION.**

10. **Project# 1004989**  
08DRB-70324 EXT OF MAJOR  
PRELIMINARY PLAT  
08DRB-70325 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for MESA VERDE DEVELOPMENT COMPANY request(s) the above action(s) for all or a portion of Tract(s) A, **WILDERNESS AT HIGH DESERT (TO BE KNOWN AS WILDERNESS CANON AT HIGH DESERT)** Unit(s) 2, zoned SU-2/HD R-R, located on TRAMWAY BLVD NE BETWEEN HIGH DESERT PLACE NE AND FOREST SERVICE LAND (F-23) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE AND FOR EXHIBIT SUBMITTED TO TRANSPORTATION DEVELOPMENT. PLANNING MUST RECORD THIS PLAT. DELEGATION TO ABCWUA: PAPER EASMENT FOR WATERLINE MUST BE SUBMITTED AND ROUTED FOR APPROVAL.**
11. **Project# 1005474**  
08DRB-70323 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- CATHERINE HELLER request(s) the above action(s) for all or a portion of Lot(s) 7 & 8, Block(s) 3, **ROSEMONT PARK ADDITION (TO BE KNOWN AS LOT 8A)** zoned S-R, located on 11TH ST NW BETWEEN 10TH ST NW AND MOUNTAIN RD NW containing approximately .1608 acre(s). (J-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE, AGIS DXF AND A COPY OF THE RECORDED PLAT.**
12. **Project# 1007383**  
08DRB-70318 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- HIGH MESA CONSULTING GROUP agent(s) for REGENTS OF THE UNIVERSITY OF NEW MEXICO (REAL ESTATE) request(s) the above action(s) for all or a portion of Lot(s) 1-9 INCLUSIVE, Block(s) 4, **UNITY ADDITION** zoned C-2, located on CENTRAL AVE SE BETWEEN TEXAS ST SE AND UTAH ST SE containing approximately 1.6538 acre(s). (K-9) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR RADIUS AT CURVE C2 AND EXHIBIT AND TO CITY ENGINEER FOR INFORMATION ON FLOOD ZONE ON NORTH WEST CORNER. A NOTE MUST BE ADDED TO PLAT SHOWING FLOOD ZONE CHANGE, AND FOR AMAFCA SIGNATURE.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

13. **Project# 1003095**  
08DRB-70320 SKETCH PLAT REVIEW  
AND COMMENT

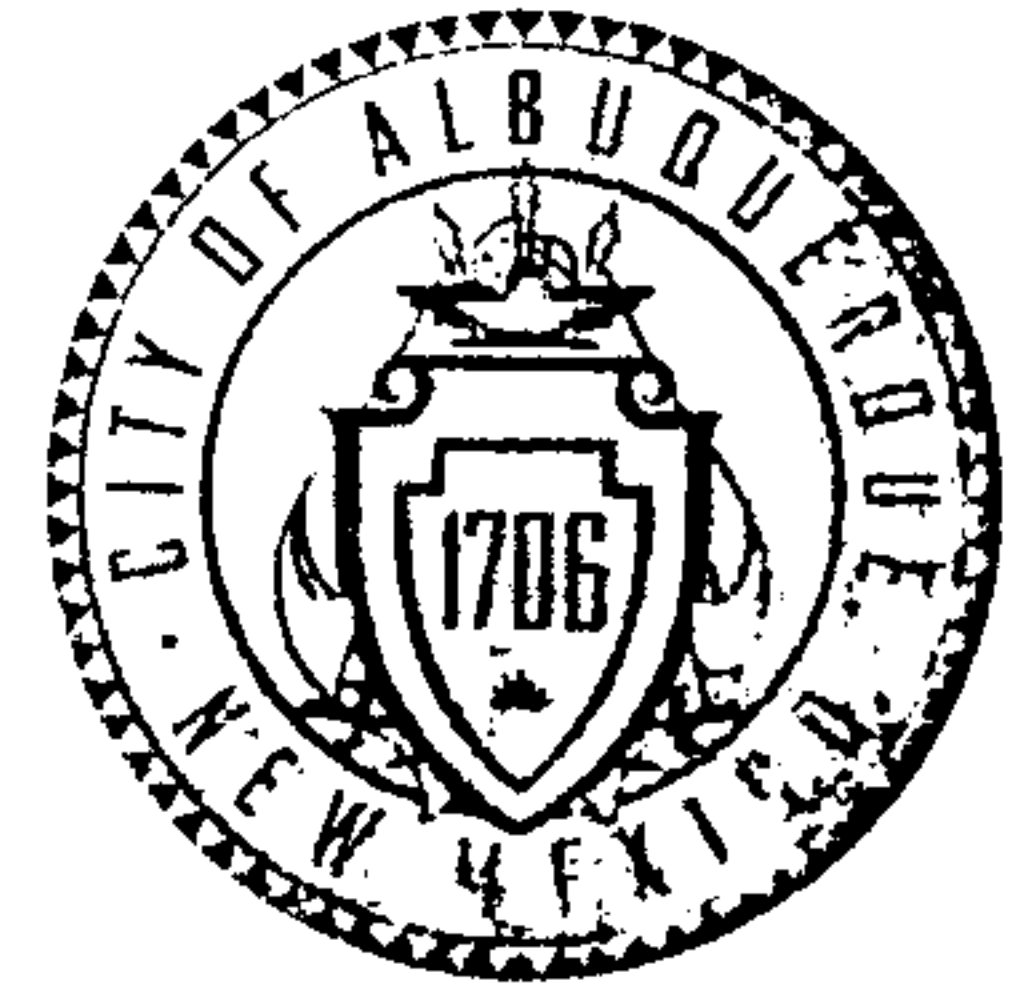
WAYJOHN SURVEYING INC agent(s) for FRANK CASALE/JAMES SELIGMAN request(s) the above action(s) for all or a portion of Lot(s) 2-A-2, **LA MIRADA SUBDIVISION TBKA LA MIRADA TOWNHOMES UNIT 1** zoned O-1 (CONDITIONAL USE), located on LA MIRADA PLACE NE BETWEEN WYOMING BLVD NE AND PENNSYLVANIA ST NE containing approximately 1.1443 acre(s). (G-19)**THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. Other Matters: None

ADJOURNED: 10:15

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# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD MEMO

**DRB CASE NO/PROJECT NO: 1002962**

**AGENDA ITEM NO: 1**

**SUBJECT:**

2 Year Ext Subd Improvements

**ENGINEERING COMMENTS:**

Hydrology has objection to the extension request.

**RESOLUTION:**

PO Box 1293

APPROVED ; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

NM 87103

FOR:

**SIGNED:**

**DATE: 7-23-08**

www.cabq.gov

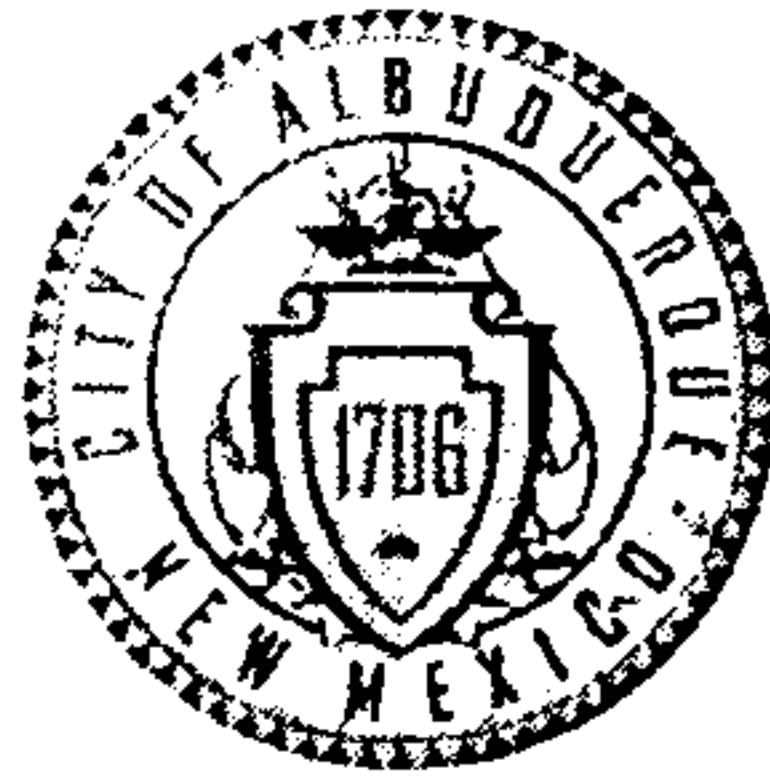
Curtis Cherne  
City Engineer Designee  
924-3695

*From Salazar*  
*SIA contains all 5 IL's/units*



Item# 1  
Project# 1002962  
Hearing Date: July 23, 2008





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EASEMENT  
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EASEMENT

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the vacation of certain access, drainage, water and sanitary sewer easements on portion(s) of Tract(s) 9, **THE TRAILS Unit(s) 3A**, zoned SU-2/ SU-1 FOR SCHOOL, PARK, OPEN SPACE, FUTURE ROW, & SRSL 26, located on the north side of WOODMONT AVE NW and west of RAINBOW BLVD NW containing approximately 25.25 acre(s). (C-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Jack Cloud, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 7, 2008.**

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** July 23, 2008  
**Zone Atlas Page:** C-9  
**Notification Radius:** 100 Ft.

**Project# 1002962  
App#08DRB-70292**

**Cross Reference and Location: RAINBOW BLVD NW BETWEEN PASEO DEL  
NORTE NW AND WOODMONT**

**Applicant:** THE TRAILS LLC  
7007 JEFFERSON ST NE STE A  
ALBUQUERQUE, NM 87109

**Agent:** STEVE SALAZAR PE  
WILSON AND COMPANY  
2600 THE AMERICAN RD STE 100  
RIO RANCHO, NM 87124

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** JULY 3, 2008  
**Signature:** ERIN TREMLIN

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form **S**

**SUBDIVISION**

Major Subdivision action

Minor Subdivision action

Vacation

Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

... for Subdivision Purposes

... for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC)

Supplemental form **Z**

**ZONING & PLANNING**

Annexation

County Submittal

EPC Submittal

Zone Map Amendment (Establish or Change Zoning)

Sector Plan (Phase I, II, III)

Amendment to Sector, Area, Facility or Comprehensive Plan

Text Amendment (Zoning Code/Sub Regs)

**APPEAL / PROTEST of...**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: The Trails, LLC Attn: Rick Beltramo, PE PHONE: (505)761-9911

ADDRESS: 7007 Jefferson Street NE Ste. A FAX: (505) 761-9922

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: rbeltramo@longfordgroup.com

Proprietary interest in site: Owner List all owners: The Trails, LLC

AGENT (if any): Steve Salazar, PE - Wilson and Company PHONE: (505) 348-4000

ADDRESS: 2600 The American Rd. Suite 100 FAX: (505) 898-8501

CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: sjsalazar@wilsonco.com

DESCRIPTION OF REQUEST: Requests Major - Two Year Extension of Subdivision Improvements Agreement

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract A, B, C, D, F The Trails Block: N/A Unit: N/A

Subdiv. / Addn. (Heritage Unit I), (Heritage Unit II), (Santa Fe at the Trails U. 1), (Taos), and Reserve at The Trail

Current Zoning: RD Proposed zoning: No Change

Zone Atlas page(s): C 9 Z No. of existing lots: n/a No. of proposed lots: n/a

Total area of site (acres): 76 ac Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_

Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill?  No

UPC No. 100906430838621710 MRGCD Map No. N/A

LOCATION OF PROPERTY BY STREETS: On or Near: Rainbow Blvd. NW

Between: Paseo del Norte NW and Woodmont Ave. NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): DRB #1002962, 1002928, 1002929, DRC# 730081, 738481, 738482, 730083, 730082, 738483,

Check-off if project was previously reviewed by Sketch Plat/Plan, or Pre-application Review Team . Date of review:

SIGNATURE [Signature] DATE June 27, 2008

(Print) Steve J. Salazar, PE Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>08DRB - 70292</u>	<u>SIA</u>	<u>5(2)</u>	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>ADY</u>		<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 145.00</u>

Hearing date 07/23/08

Sandy Handley 06/27/08  
Planner signature / date

Project # 1002962

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S-3.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Proposed Infrastructure List.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)

MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)

MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

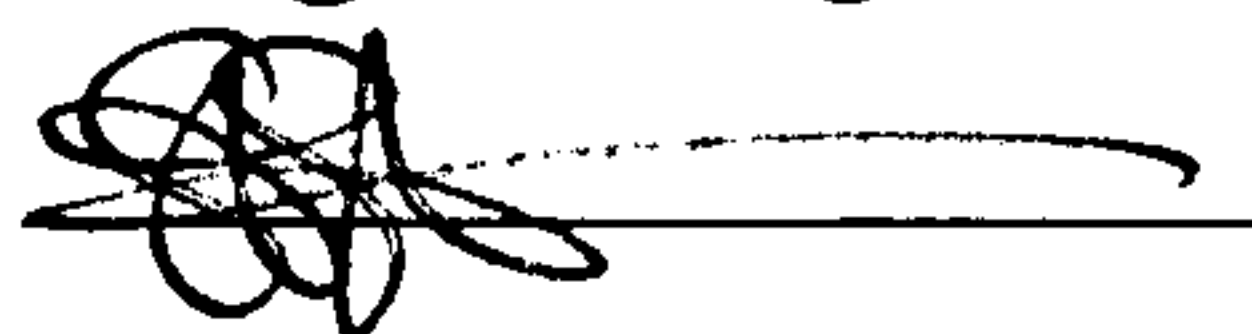
MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (DRB09)

(Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Steve Salazar, P.E.  
 Applicant name (print)  
  
 Applicant signature / date  
6/26/08



Form revised April 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
08DRB-70292  
 \_\_\_\_\_  
 \_\_\_\_\_

Sandy Hudley 06/27/08  
 Planner signature / date  
 Project # 1002962

R e c	UPC	OWNER	OWNAD D	OWNCIT Y	OWNSTA TE	OWN ZIP CODE	PRO PCL ASS	T A X D I S T	LEGALDESC
1	10090 64342 33710 603	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A 1 A	LT 3-P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT .1096 AC
2	10090 64347 33710 604	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A 1 A	LT 4-P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT .1131 AC
3	10090 64332 33810 601	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A 1 A	LT 1 P1-G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT .1422 AC
4	10090 64295 45120 401	SALAZAR MARTIN D & KRISTINA M	7124 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 34 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .1880 AC
5	10090 64302 45220 402	SHIPMAN WILLIAM C & KRISTIL	7120 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 33 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .1205 AC
6	10090 64307 45320 403	ANDERSON APRIL	7116 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 32 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .1205 AC
7	10090 64312 45420 404	LOVATO RUDY M & CARLA L	7112 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 31 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .1205 AC
8	10090 64317 45420 405	ALDERETE RAMON M & ANGEL A	7108 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 30 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .1328 AC
9	10090 64322 45520 406	HINOJOSA GREGORY & FELICIA A	7104 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 29 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .1230 AC
10	10090 64327 45520 407	WILLEY DAVID D & MARTIL	7100 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87120	R	A 1 A	LT 28 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .1327 AC
11	10090 64271 45520 701	CENTEX HOMES	7601 JEFFERSON ST NE SUITE 320	ALBUQUERQUE	NM	87109	V	A 1 A	TR B PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .0367 AC
12	10090 64280 45720 702	MCDANIEL JOHN & TAJUANA C	9301 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 1 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .2189 AC
13	10090 64279 46520 703	OGAS SAMUEL & MICHELLE	9303 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 2 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .2040 AC
14	10090 64296 46520 601	DJOPAR MARIO & DAN A	9300 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 50 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .1939 AC

1	10090 64308 5 46520 602	SALAZAR MATTHEW & LAURA L	9301 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 35 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1930 AC
1	10090 64325 6 46520 501	PATITSAS PAUL A	9300 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 27 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1333 AC
1	10090 64280 7 46920 704	DOUGHTY RANDOLPH MATTHEW & CARRIAN NE	9305 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 3 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 2BEING A RE PLAT OF TRACT B THE TRAILS CON T .1606 AC
1	10090 64308 8 47220 603	TRUJILLO ERIC J & LIS A D	9305 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 36 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1625 AC
1	10090 64296 9 47220 616	STEPHENS JAMES S & CATHERINE A & TIMOT HY L & SHARON STEP HENS	9304 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 49 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1619 AC
2	10090 64325 0 47220 502	MARTINEZ SANDRA J	9304 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 26 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1212 AC
2	10090 65139 1 02230 631	MARTINEZ JENNY R	7404 CE RROS P L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 31 PLAT OF LAS CASITAS SUBD A T VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L
2	10090 65146 2 02430 632	CAMPBELL COLIN M & ELIZABETH A	7400 CE RROS P L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 32 PLAT OF LAS CASITAS SUBD A T VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1943 AC M/L OR 8,464 SF M/L
2	10090 64371 3 49310 104	PARADISE WEST INC	7423 LA NTERN RD NE	ALBUQ UERQU E	NM	8710 9	V	A 1 A	TR 1 BULK LAND PLAT OF THE TRAIL S UNIT 2 (BEING A REPLATOF TRACT S G & J THE TRAILS AND UNPLATTE D DEED PARCELS)CONT 12.3383 AC
2	10090 65134 4 02230 630	LANGLAND LAYLA L	7408 CE RROS P L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 30 PLAT OF LAS CASITAS SUBD A T VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L
2	10090 65129 5 02230 629	SANDOVAL GARY P	7412 CE RROS P L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 29 PLAT OF LAS CASITAS SUBD A T VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L
2	10090 64308 6 46520 602	SALAZAR MATTHEW & LAURA L	9301 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 35 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1930 AC
2	10090 64325 7 46520 501	PATITSAS PAUL A	9300 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 27 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1333 AC
2	10090 64280 8 46920 704	DOUGHTY RANDOLPH MATTHEW & CARRIAN NE	9305 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 3 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 2BEING A RE PLAT OF TRACT B THE TRAILS CON T .1606 AC
2	10090 64308 9 47220 603	TRUJILLO ERIC J & LIS A D	9305 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 36 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1625 AC
3	10090 64296 0 47220 616	STEPHENS JAMES S & CATHERINE A & TIMOT HY L & SHARON STEP HENS	9304 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 49 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1619 AC
3	10090 64325 1	MARTINEZ SANDRA J	9304 ALL EGIANC	ALBUQ UERQU	NM	8711 4	R	A 1	LT 26 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A

	47220 502		E ST. NW	E				A	REPLAT OF TRACT B THE TRAILS C ONT .1212 AC
3 2	10090 65393 02740 840	BRANCH STEPHEN F & SUSAN C	9408 CO RSICO P L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 40 PLAT OF SOMMERSET SUBD A T VENTANA RANCH (REPL OF TRACT 2 VENTANA RANCH) CONT 0.1515 AC M/L OR 6,600 SF M/L
3 3	10090 65247 02530 686	ORNELAS JESUS & RO SA	9400 VE NTOSE PL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 41- P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1433 AC M/L OR 6,243 SF M/L
3 4	10090 65305 02440 817	GINSBERG KAREN A & LLOYD S	9405 MO NTARA CT NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 17 PLAT OF SOMMERSET SUBD A T VENTANA RANCH (REPL OF TRACT 2 VENTANA RANCH) CONT 0.2215 AC M/L OR 9,651 SF M/L
3 5	10090 65377 02240 836	VAN PATTEN DAVID RI CHARD & EVA CHRISTI NE	9409 CO RSICO P L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 36 PLAT OF SOMMERSET SUBD A T VENTANA RANCH (REPL OF TRACT 2 VENTANA RANCH) CONT 0.2045 AC M/L OR 8,912 SF M/L
3 6	10090 64393 45110 111	PILI MANUEL R ETUX	4196 OC EAN AV E	BROOK LYN	NY	1123 5	V	A 1 A	PORT OF TR 4 WITHIN THE SE1/4 NW 1/4 NE1/4 OF T11N R2E SEC 16 CONT 5.0 AC M L
3 7	10090 65363 02340 826	WILBUR ROBERT H & BEATRICE M	9404 CA LICO PL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 26 PLAT OF SOMMERSET SUBD A T VENTANA RANCH (REPL OF TRACT 2 VENTANA RANCH) CONT 0.1646 AC M/L OR 7,170 SF M/L
3 8	10090 65117 02430 627	LIVESAY ELIZABETH T HERESA TRUSTEE LIV ESAY RVL T	7420 CE RROS P L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 27 PLAT OF LAS CASITAS SUBD A T VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1909 AC M/L OR 8,316 SF M/L
3 9	10090 65123 02230 628	ALLEN- DAVIS ADARYLL & LAU RA	7416 CE RROS P L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 28 PLAT OF LAS CASITAS SUBD A T VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L
4 0	10090 65413 02340 869	NIXON RONALD G	9405 TA LARA PL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 52- P1 PLAT OF TERESINA SUBD UNIT 1 AT VENTANA RANCH (REPL OF TRS 4 A & 4B VENTANA RANCH) CONT 0.17 41 AC M/L OR 7,585 SF M/L
4 1	10090 65129 02230 629	SANDOVAL GARY P	7412 CE RROS P L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 29 PLAT OF LAS CASITAS SUBD A T VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L
4 2	10090 65134 02230 630	LANGLAND LAYLA L	7408 CE RROS P L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 30 PLAT OF LAS CASITAS SUBD A T VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L
4 3	10090 65139 02230 631	MARTINEZ JENNY R	7404 CE RROS P L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 31 PLAT OF LAS CASITAS SUBD A T VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L
4 4	10090 65146 02430 632	CAMPBELL COLIN M & ELIZABETH A	7400 CE RROS P L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 32 PLAT OF LAS CASITAS SUBD A T VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1943 AC M/L OR 8,464 SF M/L
4 5	10090 64371 49310 104	PARADISE WEST INC	7423 LA NTERN RD NE	ALBUQ UERQU E	NM	8710 9	V	A 1 A	TR 1 BULK LAND PLAT OF THE TRAIL S UNIT 2 (BEING A REPLAT OF TRACT S G & J THE TRAILS AND UNPLATTE D DEED PARCELS) CONT 12.3383 AC
4 6	10090 65430 01540 871	OAKERSON THOMAS F LISA A	9400 TA LARA PL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 58- P1 PLAT OF TERESINA SUBD UNIT 1 AT VENTANA RANCH (REPL OF TRS 4 A & 4B VENTANA RANCH) CONT 0.15 26 AC M/L OR 6,651 SF M/L
4 7	10090 65443	MANZANILLA JORGE & LILLY F	9401 TE RESINA	ALBUQ UERQU	NM	8711 4	R	A 1	LT 63- P1 PLAT OF TERESINA SUBDIVISION

	01440 705		CT NW	E				A	UNIT 2 AT VENTANARANCH CONT 0.2 088 AC
4 8	10090 65401 02940 860	CASAUS JAMES L	9400 PIE DRA CO LINA CT NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 43- P1 PLAT OF TERESINA SUBD UNIT 1 AT VENTANA RANCH (REPLOF TRS 4 A & 4B VENTANA RANCH) CONT 0.15 46 AC M/L OR 6,737 SFM/L
4 9	10090 65306 03040 816	PADILLA LEROY A & R OBERTA V	9409 MO NTARA CT NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 16 PLAT OF SOMMERSET SUBD A T VENTANA RANCH (REPL OF TRACT 2 VENTANA RANCH) CONT 0.2405 AC M/L OR 10,479 SF M/L
5 0	10090 65366 01640 825	PRUDENTIAL RESIDEN TIAL SERVICES LTD PT NS	200 SUM MIT LAK E DR	VALHAL LA	NY	1059 5	R	A 1 A	LT 25 PLAT OF SOMMERSET SUBD A T VENTANA RANCH (REPL OF TRACT 2 VENTANA RANCH) CONT 0.2681 AC M/L OR 11,680 SF M/L
5 1	10090 64205 42921 405	GURULE PAUL C	7227 JAL ISCO RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 86- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1039 AC
5 2	10090 64223 43021 410	CHINTAWAT SATIT B	9911 PA SEO MO NTRIL	SAN DIE GO	CA	9212 9	R	A 1 A	LT 91- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1553 AC
5 3	10090 64201 43121 404	INCS IRINA	12670 M EADOW LARK AV E	GRANA DA HILL S	CA	9134 4	R	A 1 A	LT 85- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1039 AC
5 4	10090 64241 43321 324	WATTS BENJAMIN J & SAMUEL N WATTS	9140 SA BINAL D R NE	ALBUQ UERQU E	NM	8712 0	R	A 1 A	LT 2- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1048 AC
5 5	10090 64197 43321 403	MARTINEZ LORRAINE B	7235 JAL ISCO RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 84- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1039 AC
5 6	10090 64193 43521 402	GRIEVE STEVE D & LA URA C	7239 JAL ISCO RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 83- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1039 AC
5 7	10090 64214 43521 411	LAW DAKKI WINGSZE TRUSTEE ADIT TRUST	3512 WY NN RD	LAS VE GAS	NV	8910 3	R	A 1 A	LT 92- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1864 AC
5 8	10090 64174 43421 345	MOUNT ROBERT A & M ADELEINE J TRUSTEE S MOUNT FRVT	6575 LO WER RI DGE RD	SANTA ROSA	CA	9540 4	R	A 1 A	LT 52- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1351 AC
5 9	10090 64188 43621 401	GILBERT ANTHONY & EVELYN SETH	972 DAIS Y ST	SAN MA TEO	CA	9440 1	R	A 1 A	LT 82- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1504 AC
6 0	10090 64169 43721 344	WURSTER GREG	7304 TO ME CT N W	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 53- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1470 AC
6 1	10090 64243 43821 325	HERNANDEZ KENNET H L & KATHARINE A	9144 SA BINAL D R NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 1- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1480 AC
6 2	10090 64200 44021 412	MENDOZA ERNEST & SANDRA LONG- MENDOZA	7232 SE NECU R D NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 93- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .2644 AC
6 3	10090 64232 44121	LESTER STEPHEN F & L STEPHANIE WU TRU STEEES LESTER FAMIL	5295 WI NIFREE D DR	CASTR O VALL EY	CA	9454 6	R	A 1 A	LT 100- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1173 AC



	326	Y TRUST & ETAL							
64	10090 64165 44121 343	SCHINDLER PATRICIA	7308 TO ME CT N W	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 54- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1379 AC
65	10090 64227 44321 327	CHINTAWAT SATIT B	9911 PA SEO MO NTIL	SAN DIE GO	CA	9212 9	R	A 1 A	LT 99- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1033 AC
66	10090 64296 47820 615	SIMKO ISTVAN & MONI CA	9308 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 48 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1264 AC
67	10090 64325 47820 503	MORANT KEVIN C & KA REN L	9308 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 25 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1332 AC
68	10090 64281 48020 706	BACA FRANK M & LUZ M	9309 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 5 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 2BEING A RE PLAT OF TRACT B THE TRAILS CON T .1354 AC
69	10090 64299 26822 033	SAAVEDRA FERNAND O	7104 CR OSSWIN DS TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 54 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1525 AC
70	10090 64294 27022 032	FARVOUR GARY E & E LIZABETH B	7108 CR OSSWIN DS TRL	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 53 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1515 AC
71	10090 64322 27422 224	TORRES ANGEL A & A UDRA L	8908 HA LLSTON TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 58 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1515 AC
72	10090 64308 48320 605	HOWIE DANIEL	9311 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 38 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1423 AC
73	10090 64296 48320 614	ELLISON SHIRLEY A	9312 BA TTLE CR EEK TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 47 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1264 AC
74	10090 64321 26022 226	WEALE JOHN CHRIST OPHER	8900 HA LLSTON TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 56 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .2510 AC
75	10090 64322 26822 225	GUTIERREZ ALBERT T & HOA	11450 E RIDANU S CT	SAN DIE GO	CA	9212 6	R	A 1 A	LT 57 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1663 AC
76	10090 64288 27222 031	BUCKNER BRANDON L & JESSICA D	7112 CR OSSWIN DS TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 52 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1515 AC
77	10090 64282 27322 030	NIELSEN HELEN V & J EREMY S	7116 CR OSSWIN DS TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 51 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1515 AC
78	10090 64282 48420 707	DURAN JOHN PAUL & MARIE E	9311 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 6 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 2BEING A RE PLAT OF TRACT B THE TRAILS CON T .1303 AC
79	10090 64306 26622 034	BURNS JOHN P & MELI SSA L	7100 CR OSSWIN DS TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 55 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .2131 AC

80	10090 64265 27822 027	GONZALES ADRIAN & APRIL	7128 CR OSSWIN DS TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 48 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1610 AC
81	10090 64258 27922 026	STETSON STUART C & TINA A	7132 CR OSSWIN DS TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 47 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1610 AC
82	10090 64276 27522 029	RICHARDSON- VALDEZ SUSAN	7120 CR OSSWIN DS TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 50 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1515 AC
83	10090 64232 27922 023	JOHNSTON GLEN L & DIANA L	8901 WI NNCRES T TRL N W	ALBUQ UERQU E	NM	8712 1	R	A 1 A	LT 23 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1946 AC
84	10090 64270 27722 028	VAUGHAN JAMES G & LEEANN D	7124 CR OSSWIN DS TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 49 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1551 AC
85	10090 64322 28022 223	TRUJILLO ALFONSO R & TANA A	8912 HA LLSTON TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 59 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1515 AC
86	10090 64297 36521 808	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 28A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1449 AC
87	10090 64251 36521 911	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 17A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1613 AC
88	10090 64291 36621 807	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 29A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1449 AC
89	10090 64284 36721 806	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 30A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1449 AC
90	10090 64245 36721 912	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 16A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1604 AC
91	10090 64324 27121 618	MASCARENAS LEONA RD & PAULA	9016 LA DRON D R NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 87A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1833 AC
92	10090 64276 37021 804	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 31A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1449 AC
93	10090 64238 37021 913	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 15A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1604 AC
94	10090 64270 37221 803	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 32A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1449 AC
95	10090 64324 37821 619	WILSON WILLIAM T & GALANIS TWILA M	9020 LA DRON D R NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 86A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1829 AC
96	10090 64292	HAMPTON ROBERT	7120 CU CHILLO	ALBUQ UERQU	NM	8711 4	R	A 1	LT 40A- P1 PLAT OF TAOS AT THE TRAILS (B

	37621 814		RD NW	E					A	EING A REPLAT OFTAOS AT THE TRAILS) CONT .1428 AC
9 7	10090 64258 37721 801	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V		A 1 A	LT 34A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1509 AC
9 8	10090 64285 37821 815	MILLER ALAN	PO BOX 67264	ALBUQUERQUE	NM	87123	R		A 1 A	LT 39A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1428 AC
9 9	10090 64281 37421 805	TAOS AT THE TRAILS HOMEOWNERS ASSOCIATION	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V		A 1 A	TR A- 1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .0890 AC
1 0 0	10090 64279 38021 816	NGUYEN PETE H & RO META J	7128 CUCHILLO RD NW	ALBUQUERQUE	NM	87114	R		A 1 A	LT 38A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1428 AC
1 0 1	10090 64245 38121 640	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V		A 1 A	LT 65A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1597 AC
1 0 2	10090 64324 38521 620	PHAM KEO	9100 LA DRON DR NW	ALBUQUERQUE	NM	87114	R		A 1 A	LT 85A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1824 AC
1 0 3	10090 64310 37321 811	NGUYEN SU	7660 TEABERRY WAY	SACRAMENTO	CA	95828	R		A 1 A	LT 43A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1464 AC
1 0 4	10090 64304 37421 812	ROMERO MELVIN & ANGELA	7112 CUCHILLO RD NW	ALBUQUERQUE	NM	87114	R		A 1 A	LT 42A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1428 AC
1 0 5	10090 64298 37521 813	STOCK MARY L	7116 CUCHILLO RD NW	ALBUQUERQUE	NM	87114	R		A 1 A	LT 41A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1428 AC
1 0 6	10090 64264 37521 802	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V		A 1 A	LT 33A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1570 AC
1 0 7	10090 64264 35921 909	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V		A 1 A	LT 19A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1650 AC
1 0 8	10090 64235 36321 901	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V		A 1 A	LT 14A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1448 AC
1 0 9	10090 64257 36121 910	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V		A 1 A	LT 18A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1650 AC
1 1 0	10090 64324 36521 617	GONZALEZ JOSE A & EVELYN P	9012 LA DRON DR NW	ALBUQUERQUE	NM	87114	R		A 1 A	LT 88A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1837 AC
1 1 1	10090 64309 36321 810	MILLER ALAN & VICKI	PO BOX 67264	ALBUQUERQUE	NM	87123	R		A 1 A	LT 26A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1575 AC
1 1 2	10090 64303 36421 809	PHAM THUAN	695 QUINN AVE	SAN JOSE	CA	95112	R		A 1 A	LT 27A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT .1449 AC

1 1 3	10090 64295 34021 603	MILLER ALAN	PO BOX 67264	ALBUQ UERQU E	NM	8712 3	R	A 1 A	LT 5A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1629 AC
1 1 4	10090 64288 34121 602	BENAVIDEZ LEEANN	1138 NO RTH 198 TH ST	SHORE LINE	WA	9812 3	R	A 1 A	LT 6A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1629 AC
1 1 5	10090 64282 34221 601	TORRES STEPHEN MA TTHEW	7127 TR EE LINE AVE NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 7A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1605 AC
1 1 6	10090 64323 34521 614	DAVILA JOSEPH R III & NIDIA I	9000 LA DRON D R NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 91A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1880 AC
1 1 7	10090 64268 34721 907	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S SPRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 8A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1469 AC
1 1 8	10090 64310 34721 613	ANTEL TIMOTHY S & T ERRIE D	7108 LA S NUTRI AS RD N W	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 25A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1638 AC
1 1 9	10090 64303 34921 612	CRUZ PATSY	7112 LA S NUTRI AS NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 24A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1497 AC
1 2 0	10090 64262 34921 906	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S SPRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 9A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1403 AC
1 2 1	10090 64323 35221 615	NGUYEN DAVID & HEL ENE TRAN	5381 EA GLE PA RK CT	SAN JO SE	CA	9513 8	R	A 1 A	LT 90A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1846 AC
1 2 2	10090 64297 34921 611	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S SPRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 23A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1497 AC
1 2 3	10090 64290 35121 610	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S SPRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 22A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1497 AC
1 2 4	10090 64256 35121 905	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S SPRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 10A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1403 AC
1 2 5	10090 64284 35221 609	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S SPRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 21A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1564 AC
1 2 6	10090 64251 35321 904	MILLER ALAN & VICKI	PO BOX 67264	ALBUQ UERQU E	NM	8712 3	R	A 1 A	LT 11A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1400 AC
1 2 7	10090 64323 35921 616	BROOKS JAYSON & G AIL	9008 LA DRON D R NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 89A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1842 AC
1 2 8	10090 64245 35621 903	MILLER ALAN & VICKI	PO BOX 67264	ALBUQ UERQU E	NM	8712 3	R	A 1 A	LT 12A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRA ILS) CONT .1377 AC
1 2	10090 64270	LONGFORD AT THE TR AILS LLC % LONGFOR	3077 E WARM S	LAS VE GAS	NV	8912 0	V	A 1	LT 20A- P1 PLAT OF TAOS AT THE TRAILS (B

9	35621 908	D GROUP INC	PRINGS RD						A	EING A REPLAT OFTAOS AT THE TRAILS) CONT .1680 AC
1 3 0	10090 64240 35921 902	PLEMMONS PAUL R JR & BROOKE M	7151 TR EE LINE AVE NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 13A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1377 AC
1 3 1	10090 64273 38221 817	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	R		A 1 A	LT 37A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1428 AC
1 3 2	10090 64268 38421 818	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	R		A 1 A	LT 36A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1428 AC
1 3 3	10090 64262 38621 819	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V		A 1 A	LT 35A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1385 AC
1 3 4	10090 64248 38721 639	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V		A 1 A	LT 66A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1534 AC
1 3 5	10090 64324 39121 621	PHAM KEO THI	9104 LA DRON D R NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 84A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1692 AC
1 3 6	10090 64310 38921 710	FEROZE HAMID & AMN A & FEROZE ABDULLA H H & FEROZE HAMZA H & FEROZE ZAINAB H	400 W VI STA PK WY	ROSWE LL	NM	8820 1	R		A 1 A	LT 44A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1626 AC
1 3 7	10090 64303 38921 709	CONG AIMIN	9642 DE SERT D AISY CT	LAS VE GAS	NV	8917 8	R		A 1 A	LT 45A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1533 AC
1 3 8	10090 64295 38921 708	WEELDREYER STEPH EN T & HEIDI M	9100 JA RALES C T NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 46A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1830 AC
1 3 9	10090 64251 39321 638	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V		A 1 A	LT 67A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1536 AC
1 4 0	10090 64283 39421 703	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	R		A 1 A	LT 51A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1333 AC
1 4 1	10090 64324 39721 622	NGUYEN TAI T & MINH- THU T	9108 LA DRON D R NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 83A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1689 AC
1 4 2	10090 64297 39721 707	LUCERO JAKE & CIND Y	9428 PE BBLE BE ACH DR NE	ALBUQ UERQU E	NM	8711 1	R		A 1 A	LT 47A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1448 AC
1 4 3	10090 64307 39821 711	NGUYEN XUAN T & VO DUNG X	9109 LA DRON D R NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 64A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1511 AC
1 4 4	10090 64277 39621 702	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	R		A 1 A	LT 52A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1318 AC
1 4 5	10090 64270 39821 701	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V		A 1 A	LT 53A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1498 AC

1 4 6	10090 64253 39921 637	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A 1 A	LT 68A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1538 AC
1 4 7	10090 64324 40321 623	KNECHT STEVE & CHRISTINA M	911 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 82A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1685 AC
1 4 8	10090 64298 40321 706	SCHIMA LIZ	9108 JARALES CT NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 48A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1466 AC
1 4 9	10090 64308 40421 712	MONTANO YOLANDA M	9115 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 63A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1405 AC
1 5 0	10090 64272 40321 721	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A 1 A	LT 54A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1377 AC
1 5 1	10090 64256 40521 636	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A 1 A	LT 69A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1540 AC
1 5 2	10090 64324 40921 624	SANCHEZ VICTOR E SR & SANTA SANCHEZ	9116 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 81A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1681 AC
1 5 3	10090 64308 40921 713	HADGU TEKLU & TESFAY DORIS	9119 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 62A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1405 AC
1 5 4	10090 64297 40921 705	DOMINGUEZ ROLANDA	9112 JARALES CT NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 49A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1590 AC
1 5 5	10090 64282 40521 704	HAGAN TOM & FAWN R DOLAN	232 TENORIO RD	CORRALES	NM	87048	R	A 1 A	LT 50A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .2138 AC
1 5 6	10090 64274 40921 720	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A 1 A	LT 55A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1377 AC
1 5 7	10090 64259 41021 635	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A 1 A	LT 70A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1542 AC
1 5 8	10090 64324 41521 625	NGUYEN THO & PHUONG THAO	9120 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 80A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1678 AC
1 5 9	10090 64262 41721 634	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	R	A 1 A	LT 71A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1547 AC
1 6 0	10090 64309 41821 714	HARDY MICHAEL & VERONICA MUNROE-HARDY	7108 AMILLO RD NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 61A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1461 AC
1 6 1	10090 64304 41821 715	BENAVIDEZ LEEROS	7112 AMILLO RD NW	ALBUQUERQUE	NM	87114	R	A 1 A	LT 60A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT .1377 AC
1 6 6	10090 64298	MILLER ALAN & VICKI	PO BOX 67264	ALBUQUERQUE	NM	87123	R	A 1	LT 59A- P1 PLAT OF TAOS AT THE TRAILS (B

2	41821 716			E				A	EING A REPLAT OFTAOS AT THE TRAILS) CONT .1377 AC
1 6 3	10090 64291 41821 717	VU QUANG T	718 GIE R CT	SAN JO SE	CA	9511 1	R	A 1 A	LT 58A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1377 AC
1 6 4	10090 64285 41821 718	PEREA- WALKER TANYA P & R OBERT M WALKER	7124 AL AMILLO RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 57A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1706 AC
1 6 5	10090 64277 41621 719	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 56A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .2020 AC
1 6 6	10090 64324 42121 626	ONG WELLIVER TIU	9124 LA DRON D R NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 79A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1674 AC
1 6 7	10090 64264 42221 633	LONGFORD AT THE TR AILS LLC % LONGFOR D GROUP INC	3077 E WARM S PRINGS RD	LAS VE GAS	NV	8912 0	V	A 1 A	LT 72A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1575 AC
1 6 8	10090 64324 42721 627	TRAWINSKI BRIAN J & ALISON	9128 LA DRON D R NW	ALBUQ UERQU E	NM	8711 1	R	A 1 A	LT 78A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1879 AC
1 6 9	10090 64268 42821 632	OATES MARIA	PO BOX 94417	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 73A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .2056 AC
1 7 0	10090 64323 43321 628	COTTRELL DALE & DA WN	9132 LA DRON D R NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 77A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OFTAOS AT THE TRAILS) CONT .1792 AC
1 7 1	10090 64325 48320 504	MONTANO CAROL L	9312 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 24 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1210 AC
1 7 2	10090 64308 28222 112	FERNANDEZ SELSO & ANNA	7101 CR OSSWIN DS TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 33 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1829 AC
1 7 3	10090 64322 28622 222	ALEXANDER IVORY C & SHIRLEY H	8916 HA LLSTON TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 60 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1515 AC
1 7 4	10090 64301 28322 111	LEE TOM S & AMY G	34381 G RAND C ANYON DR NW	UNION CITY	CA	9458 7	R	A 1 A	LT 34 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1598 AC
1 7 5	10090 64296 28522 110	TAYLOR JULIE ALENE	7109 CR OSSWIN DS TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 35 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1515 AC
1 7 6	10090 64182 44621 334	FEVOLA ZENAIDA & MI CHAEL	7301 TO ME CT N W	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 63- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1291 AC
1 7 7	10090 64158 44921 341	YORK REGINA	7316 TO ME CT N W	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 56- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1568 AC
1 7 8	10090 64215 44821 330	BUSH ANNYA	601 AVE NIDA VA QUERO	SAN CL EMENT E	CA	9267 3	R	A 1 A	LT 96- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1038 AC

1 7 9	10090 64179 45021 335	TURNER JEFFREY A & SUSAN A	7305 TO ME CT N W	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 62- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1222 AC
1 8 0	10090 64211 45021 331	KAMAL MOHAMMAD R	15242 WI NESPRI NGS CT	SAN DIE GO	CA	9212 7	R	A 1 A	LT 95- P1 PLAT FOR SANTA FE AT THE TRAI LS CONT .1038 AC
1 8 1	10090 64227 49420 912	ULIBARRI ROBERT & K IMBERLY A	9324 WE ST HAVE N ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 40 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1275 AC
1 8 2	10090 64153 49521 103	SEAGRIST THOMAS A & MICHIO	9315 JA MESON ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 73 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1206 AC
1 8 3	10090 64255 49620 808	SETAYESH HAMID & F LORA	9328 NA TIONWI DE ST N W	ALBUQ UERQU E	NM	8712 0	R	A 1 A	LT 23 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1224 AC
1 8 4	10090 64239 49820 908	HILLIARD JOSH & GWE N	9327 NA TIONWI DE ST N W	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 36 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1363 AC
1 8 5	10090 64281 51220 713	CENTEX HOMES	7601 JEF FERSON ST NE S UITE 320	ALBUQ UERQU E	NM	8710 9	V	A 1 A	TR A PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .0826 AC
1 8 6	10090 64286 51720 714	DELEON DANIEL & CO NTRERAS ALEJANDRO	7135 EDI SON RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 11 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1636 AC
1 8 7	10090 64293 29722 115	GALINDO RICARDO A J R & LISA M	7108 GL YNDON TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 30 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .2287 AC
1 8 8	10090 64225 30022 019	KREPFL MICHAEL J & SHELLEY R	8919 WI NNCRES T TRL N W	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 19 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1572 AC
1 8 9	10090 64278 30022 116	LA ROSSA MARIO A	7124 GL YNDON TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 29 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1946 AC
1 9 0	10090 64322 30422 219	RADICE MICHELLE	8928 HA LLSTON TRL NW	ALBUQ UERQU E	NM	8712 1	R	A 1 A	LT 63 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1515 AC
1 9 1	10090 64245 28022 024	MORGAN SAMUEL D & MARY K	7140 CR OSSWIN DS TRL NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 45 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .2022 AC
1 9 2	10090 64252 28022 025	CENTEX HOMES	7601 JEF FERSON ST NE S UITE 320	ALBUQ UERQU E	NM	8710 9	R	A 1 A	LT 46 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1610 AC
1 9 3	10090 64229 28222 022	MUSE JERRY L SR & B RENDA LEE	8905 WI NNCRES T TRL N W	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 22 PLAT FOR THE RESERVE AT T HE TRAILS SUBDIVISION (BEING A RE PLAT OF TRACT F THE TRAILS) CON T .1572 AC
1 9 4	10090 64172 49021 002	JORGENSEN AARON & CHELSEY	7323 HE ARTHST ONE RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 69 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1304 AC
1 9	10090 64239	JARAMILLO RUDY E & MEREDITH C M	9323 NA TIONWI	ALBUQ UERQU	NM	8712 0	R	A 1	LT 35 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A



5	49320 907		DE ST'N W	E				A	REPLAT OF TRACT A THE TRAILS C ONT .1354 AC
1 9 6	10090 64203 49021 008	SULLIVAN PATRICK E & GRACIELA V	7239 HE ARTHST ONE RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 63 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1341 AC
1 9 7	10090 64177 49121 003	ODOMS JAMES T & DE ORA & MAVIS RENE O DOMS	7319 HE ARTHST ONE RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 68 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1247 AC
1 9 8	10090 64198 49121 007	LENTZ WALLACE W	7301 HE ARTHST ONE RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 64 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1323 AC
1 9 9	10090 64193 49221 006	MORGAN WILLIAM CH AD & STORMY L	7305 HE ARTHST ONE RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 65 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1269 AC
2 0 0	10090 64182 49221 004	BANKS ALLEN J & TAM ARA D	7315 HE ARTHST ONE RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 67 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1191 AC
2 0 1	10090 64187 49321 005	SHERRIE MICHAEL D & GLORIA F	7309 HE ARTHST ONE RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 66 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1150 AC
2 0 2	10090 64178 50221 018	MORRISON KEITH & T ERESA	7320 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 53 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1371 AC
2 0 3	10090 64173 50221 019	SAYLOR CLIFFORD B & DONNA E	7324 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8712 0	R	A 1 A	LT 52 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1444 AC
2 0 4	10090 64167 50121 020	POWERS KEVIN & FLO RIDALBA	7328 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 51 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1693 AC
2 0 5	10090 64153 50521 105	SANCHEZ KERRIANNE	9323 JA MESON ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 75 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1298 AC
2 0 6	10090 64256 50720 810	WHITE DAVID & ANDR EA	9336 NA TIONWI DE ST N W	ALBUQ UERQU E	NM	8712 0	R	A 1 A	LT 21 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1400 AC
2 0 7	10090 64254 51020 811	CENTEX HOMES	7601 JEF FERSON ST NE S UITE 320	ALBUQ UERQU E	NM	8710 9	V	A 1 A	TR C PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .0771 AC
2 0 8	10090 64257 51720 812	CENTEX HOMES	7601 JEF FERSON ST NE S UITE 320	ALBUQ UERQU E	NM	8710 9	V	A 1 A	TR A PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .0848 AC
2 0 9	10090 64234 51820 816	BATIN DAISY BAUTIST A & FERDINAND SILVE RIO	321 RIES LING WA Y	SALINA S	CA	9390 6	R	A 1 A	LT 17 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1205 AC
2 1 0	10090 64229 51820 817	DRACKERT EMANUEL F & DORIS S	7219 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 16 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1205 AC
2 1 1	10090 64224 51820 818	SCHANCER KORY J & SHELLY M NOSBISCH	7223 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8712 0	R	A 1 A	LT 15 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1205 AC

2 1 2	10090 64219 51820 819	HUGHES LAWRENCE MAX & ELIZABETH AN N GONZALES-HUGHES	7227 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8712 0	R	A 1 A	LT 14 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1205 AC
2 1 3	10090 64214 51820 820	SANCHEZ SIMON & YV ONNE	7231 WIL LIAMSB URG RD NE	ALBUQ UERQU E	NM	8712 0	R	A 1 A	LT 13 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1205 AC
2 1 4	10090 64209 51820 821	ARMIJO SANDRA	7235 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8712 0	R	A 1 A	LT 12 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1205 AC
2 1 5	10090 64293 51820 822	NGUYEN BRYAN H & N HUNG PHAM	7239 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 11 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1205 AC
2 1 6	10090 64199 51820 823	KHUU NGUYET & PHA M JOHNNY	7301 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 10 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1205 AC
2 1 7	10090 64194 51820 824	PHAM DENISE	7305 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 9 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 1BEING A RE PLAT OF TRACT A THE TRAILS CON T .1205 AC
2 1 8	10090 64189 51820 825	BEAUCHAMP JEAN L % BUCY GARY	7309 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 8 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 1BEING A RE PLAT OF TRACT A THE TRAILS CON T .1205 AC
2 1 9	10090 64184 51820 826	AVILA ANTONIO M & Y AISELYN	829 RID GEHILL CT	BURLES ON	TX	7602 8	R	A 1 A	LT 7 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 1BEING A RE PLAT OF TRACT A THE TRAILS CON T .1205 AC
2 2 0	10090 64179 51820 827	LOPEZ MICHAEL M & O GAZ SUZANNE C	7319 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 6 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 1BEING A RE PLAT OF TRACT A THE TRAILS CON T .1205 AC
2 2 1	10090 64174 51820 828	RAWLINGS LANCE W	7323 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 5 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 1BEING A RE PLAT OF TRACT A THE TRAILS CON T .1205 AC
2 2 2	10090 64169 51820 829	MESKE DUANE D & AN GELA C	7327 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 4 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 1BEING A RE PLAT OF TRACT A THE TRAILS CON T .1205 AC
2 2 3	10090 64164 51820 830	MAREZ ANTHONY R & GRACE M	7331 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 3 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 1BEING A RE PLAT OF TRACT A THE TRAILS CON T .1205 AC
2 2 4	10090 64158 51820 831	GILBERT MITCHELL C & DOROTHY K	7335 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 2 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 1BEING A RE PLAT OF TRACT A THE TRAILS CON T .1808 AC
2 2 5	10090 64151 51820 832	TRUJILLO ANDY R & C ARMEN V	7339 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 1 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 1BEING A RE PLAT OF TRACT A THE TRAILS CON T .1208 AC
2 2 6	10090 64251 51520 813	GALLEGOS ROBERT N & VERONICA LYNN MA RES	3581 E S ANTA FE LN	GILBER T	AZ	8529 7	R	A 1 A	LT 20 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .2130 AC
2 2 7	10090 64244 51820 814	MAXWELL DANNY L & ABIGAIL T	7205 WIL LIAMSB URG RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 19 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1542 AC
2 2 2	10090 64239	K VENTURES LLC	7209 WIL LIAMSB	ALBUQ UERQU	NM	8712 0	R	A 1	LT 18 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A

8	51820 815		URG RD NW	E				1	A	REPLAT OF TRACT A THE TRAILS C ONT .1206 AC
2 2 9	10090 64225 48420 914	MARES LAWRENCE M & ANNA A	9316 WE ST HAVE N ST NW	ALBUQ UERQU E	NM	8712 0	R		A 1 A	LT 42 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1247 AC
2 3 0	10090 64253 48620 806	ENNIS MERLIN M & DO ROTHY R	9001 CO RONA A VE NE	ALBUQ UERQU E	NM	8712 2	R		A 1 A	LT 25 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1224 AC
2 3 1	10090 64310 43221 629	HAMILTON ERICA A	7109 AL AMILLO RD NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 76A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1461 AC
2 3 2	10090 64304 43221 630	JENSON TERRY O & D ENISE	7115 AL AMILLO RD NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 75A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1492 AC
2 3 3	10090 64298 43221 631	JOHNSON- NETTLES CAROLE H & CHRISTOPHER P NETT LES	7119 AL AMILLO RD NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 74A- P1 PLAT OF TAOS AT THE TRAILS (B EING A REPLAT OF TAOS AT THE TRA ILS) CONT .1379 AC
2 3 4	10090 64209 48521 009	BAGLEY CHRISTOPHE R G & MELISSA K	9309 WE ST HAVE N ST NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 62 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1794 AC
2 3 5	10090 64238 48820 906	SCHMIDLEY JAMES III & DAWN	9319 NA TIONWI DE ST N W	ALBUQ UERQU E	NM	8712 0	R		A 1 A	LT 34 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1382 AC
2 3 6	10090 64153 49021 102	SHERIDAN MICHAEL J & SANDRA J	9309 JA MESON ST NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 72 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1206 AC
2 3 7	10090 64227 48920 913	ENNIS MERLIN M & DO ROTHY R	9001 CO RONA A VE NE	ALBUQ UERQU E	NM	8712 2	R		A 1 A	LT 41 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1267 AC
2 3 8	10090 64254 49120 807	K VENTURES LLC	9324 NA TIONWI DE ST N W	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 24 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1224 AC
2 3 9	10090 64211 49121 010	EVANS TIMOTHY W & DEBRA J	9315 WE ST HAVE N ST NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 61 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1483 AC
2 4 0	10090 64167 49021 001	HELLMAN PATRICIA A & LARRY	4932 E WINDRO SE DR	SCOTTS DALE	AZ	8525 4	R		A 1 A	LT 70 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1490 AC
2 4 1	10090 64308 48820 606	FLANAGAN KELLY	9315 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 39 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1396 AC
2 4 2	10090 64296 48820 613	SHARRAR JANEEN	9316 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 46 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1264 AC
2 4 3	10090 64325 48820 505	MIRELES ED E & JUANI S V	9316 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 23 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1209 AC
2 4 4	10090 64282 49020 708	STRENGTH RALPH ED WARD & WENDY JANE LLE MARTIN- STRENGTH	9315 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 7 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 2BEING A RE PLAT OF TRACT B THE TRAILS CON T .1388 AC

2 4 5	10090 64309 49320 607	HAUCK DANIEL & MELI SSA	9319 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 40 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1505 AC
2 4 6	10090 64297 49320 612	CALDERON JUAN M & MERCEDES J	9320 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 45 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1390 AC
2 4 7	10090 64325 49320 506	GAUR VIKRANT & MAL LIKA DAS	9320 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 22 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1329 AC
2 4 8	10090 64282 49520 709	WEBB JASON & JESSI CA	9319 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 8 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 2BEING A RE PLAT OF TRACT B THE TRAILS CON T .1235 AC
2 4 9	10090 64309 49920 608	MONTANO DOROTHY M	9323 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 41 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1473 AC
2 5 0	10090 64297 49920 611	MCNEELY JAMES F & J EANETTE M	9324 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 44 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1390 AC
2 5 1	10090 64325 49920 507	ROMERO NICHOLAS R & LEAH K	9324 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 21 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1328 AC
2 5 2	10090 64282 50020 710	WALLI NAWAZ AKBAR & SHELINA NAWAZ	9323 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 9 PLAT FOR HERITAGE AT THE TR AILS SUBDIVISION UNIT 2BEING A RE PLAT OF TRACT B THE TRAILS CON T .1222 AC
2 5 3	10090 64309 50420 609	KARAS BRIAN A & LES LIE I	9327 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 42 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1539 AC
2 5 4	10090 64297 50420 610	AGUILAR ANTONIO & MARCY L AGUILAR	9328 BA TTLE CR EEK TR L NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 43 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1489 AC
2 5 5	10090 64325 50420 508	DELEON DIANNE	9328 ALL EGIANC E ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 20 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1416 AC
2 5 6	10090 64283 50520 711	GREENWOOD AARON JOHN & SUSAN L ISLE Y	9327 BA TTLE CR EEK ST NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 10 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1331 AC
2 5 7	10090 64281 51020 712	CENTEX HOMES	7601 JEF FERSON ST NE S UITE 320	ALBUQ UERQU E	NM	8710 9	V	A 1 A	TR C PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .0524 AC
2 5 8	10090 64323 51720 721	KRUEGER- UHING CINDI K	7105 EDI SON RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 18 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1205 AC
2 5 9	10090 64318 51720 720	SALAZAR DOLORES M	7109 EDI SON RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 17 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1205 AC
2 6 0	10090 64312 51720 719	RAYKOVICS MICHAEL A & DENISE A	7115 EDI SON RD NW	ALBUQ UERQU E	NM	8711 4	R	A 1 A	LT 16 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1205 AC
2 6 1	10090 64328	CLARK JIMMY D	7101 EDI SON RD	ALBUQ UERQU	NM	8711 4	R	A 1	LT 19 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A

1	51720 722		NW	E					A	REPLAT OF TRACT B THE TRAILS C ONT .1280 AC
2 6 2	10090 64308 51720 718	BERRY DANNY L & PA TRICIA	7119 EDI SON RD NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 15 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1205 AC
2 6 3	10090 64303 51720 717	BROWN ROGER T & TE RESA B	7123 EDI SON RD NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 14 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1205 AC
2 6 4	10090 64297 51720 716	SANCHEZ AARON J & ANGELICA M	7127 EDI SON RD NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 13 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1205 AC
2 6 5	10090 64293 51720 715	NEJO CHRISTOPHER A	7131 EDI SON RD NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 12 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 2BEING A REPLAT OF TRACT B THE TRAILS C ONT .1205 AC
2 6 6	10090 64248 46120 801	ROACH JEFFERY M & TRACEY L	9300 NA TIONWI DE ST N W	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 30 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1348 AC
2 6 7	10090 64250 46620 802	HASENSTAB MICHAEL L & BARBARA	9304 NA TIONWI DE ST N W	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 29 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1224 AC
2 6 8	10090 64236 46820 902	CENTEX HOMES	7601 JEF FERSON ST NE S UITE 320	ALBUQ UERQU E	NM	8710 9	V		A 1 A	TR B PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .0666 AC
2 6 9	10090 64224 46521 207	CONKLIN RYAN E & BR ANDI L	7220 HE ARTHST ONE RD NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 44 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1679 AC
2 7 0	10090 64218 46721 206	ALBO ORESTES L & PA TTY	7224 HE ARTHST ONE RD NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 45 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1253 AC
2 7 1	10090 64251 47120 803	BILLIAN JAMES S	9308 NA TIONWI DE ST N W	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 28 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1224 AC
2 7 2	10090 64213 46921 205	SIAO-PAO WILIA M	7228 HE ARTHST ONE RD NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 46 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1398 AC
2 7 3	10090 64235 47320 903	DEAN NEIL & R DI LEE N BASS-DEAN	9305 NA TIONWI DE ST N W	ALBUQ UERQU E	NM	8712 0	R		A 1 A	LT 31 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1508 AC
2 7 4	10090 64207 47121 204	BOWERS DARRELL C & PETRA H CO- TRUSTEES BOWERS R VT	7232 HE ARTHST ONE RD NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 47 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1326 AC
2 7 5	10090 64202 47321 203	CAMPBELL NOEL ANT HONY	7236 HE ARTHST ONE RD NW	ALBUQ UERQU E	NM	8711 4	R		A 1 A	LT 48 PLAT FOR HERITAGE AT THE T RAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS C ONT .1326 AC
2 7 6	1009 0642 5247 6208 04	FREYENHAGEN JOEL & BECKY	9312 NATI ONWIDE ST NW	ALBU QUER QUE	NM	8 7 1 1 4	R		A 1 A	LT 27 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT O F TRACT A THE TRAILS CONT .1224 AC
2 7 7	1009 0641 9747	BAAS KAREN H	7240 HEA RTHSTON E RD NW	ALBU QUER QUE	NM	8 7 1	R		A 1 A	LT 49 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT O F TRACT A THE TRAILS CONT .1326 AC

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2 7 8	1009 0642 3647 8209 04	HUMPHRIES DANTON B	PSC 9 BO X 2332	APO	A E	0 9 1 2 3	R 1 A	LT 32 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1388 AC
2 7 9	1009 0641 9147 8212 01	HARRIS ROBERT B & LAVONNE N	7300 HEA RTHSTON E RD NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 50 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1684 AC
2 8 0	1009 0642 2447 9209 01	LUJAN BERNARD & CAROLYN R MA RKLAND	9312 WES T HAVEN ST NW	ALBU QUER QUE	N M	8 7 1 2 0	R 1 A	LT 43 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1486 AC
2 8 1	1009 0642 5348 1208 05	BROWN CAROLEE M & CHERYL A B ROWN	9316 NATI ONWIDE ST	ALBU QUER QUE	N M	8 7 1 2 0	R 1 A	LT 26 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1224 AC
2 8 2	1009 0642 3748 3209 05	DAVIDSON THOMAS E	PO BOX 6 7021	ALBU QUER QUE	N M	8 7 1 9 3	R 1 A	LT 33 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1393 AC
2 8 3	1009 0641 5348 4211 01	COSMAN MARK GOODRICH TRUSTE E COSMAN TRUST	9305 JAM ESON ST NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 71 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1592 AC
2 8 4	1009 0642 2850 0209 11	HERNSTED JULIE	9328 WES T HAVEN ST NW	ALBU QUER QUE	N M	8 7 1 2 0	R 1 A	LT 39 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1292 AC
2 8 5	1009 0641 5350 0211 04	CHAVEZ PAUL E & MONICA M	9319 JAM ESON ST NW	ALBU QUER QUE	N M	8 7 1 2 1	R 1 A	LT 74 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1207 AC
2 8 6	1009 0642 5550 1208 09	KLINT STEVEN A	9332 NATI ONWIDE ST NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 22 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1203 AC
2 8 7	1009 0642 3950 4209 09	WILLIAMS LAWRENCE & PAMELA L	9331 NATI ONWIDE ST NW	ALBU QUER QUE	N M	8 7 1 2 0	R 1 A	LT 37 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1712 AC
2 8 8	1009 0642 2828 8220 21	BRETTI JEFFREY A & JODIE K	8909 WIN NCREST TRL NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 21 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT .1572 AC
2 8 9	1009 0642 8928 7221 09	HOWARD DONALD HERBERT & MAR GARET BRUCE HOWARD TRUSTEES HOWARD FAMILY TRUST	7115 CRO SSWINDS TRL NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 36 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT .1515 AC
2 9 0	1009 0642 8428 9221 08	HARRIS STANLEY N & STEPHANIE H	7119 CRO SSWINDS TRL NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 37 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT .1515 AC

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3 1 18	1009 0642 2239 1213 14	GARVER PHILLIP D & QUENDY L	9100 SABI NAL DR N W	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 12- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1331 AC	
3 1 19	1009 0641 7039 0213 60	VERDUCCI ANTHONY T	2112 CAM ELLA CT	PITTS BURG	C A	9 4 5 6 5	R 1 A	LT 35- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1039 AC	
3 2 10	1009 0641 6639 2213 61	BOGDAN GARY L	7243 TRE E LINE D R NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 36- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1039 AC	
3 2 11	1009 0641 6239 4213 62	NGUYEN ANH THI- PHUNG & DINH LIEM D	3063 BAY BERRY L N	SAN J OSE	C A	9 5 1 4 8	R 1 A	LT 37- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1039 AC	
3 2 12	1009 0642 2439 6213 15	MONKA JEFFREY S	11935 E P RADERA RD	CAMA RILLO	C A	9 3 0 1 2	R 1 A	LT 11- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC	
3 2 13	1009 0641 5839 5213 63	GILES ERIC S & MICHELLE D	7305 TRE E LINE N W	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 38- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1039 AC	
3 2 14	1009 0641 8339 5213 57	NGUYEN HUY MIKE & LIEN BICH NG UYEN TRUSTEES NGUYEN FAMILY L VT	1195 HAM ILTON AV E	PALO ALTO	C A	9 4 3 0 1	R 1 A	LT 40- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1133 AC	
3 2 15	1009 0641 7939 8213 56	PHAM GIA V & JESSICA N	1425 CAR MINE WA Y	SAN J OSE	C A	9 5 1 3 1	R 1 A	LT 41- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1040 AC	
3 2 16	1009 0641 5339 7213 64	ARNOLD BEAU LEE	7309 TRE E LINE AV E NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 39- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1368 AC	
3 2 17	1009 0642 2640 0213 16	GARCIA LOGAN & GEORGIA	9108 SABI NAL DR N W	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 10- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC	
3 2 18	1009 0641 7539 9213 55	THOMAS CLEVON W & SHAREE LYN N	7240 TEY PANA RD NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 42- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1040 AC	
3 2 19	1009 0642 1139 9215 09	HI INVESTMENTS LLC	20301 VE NTURA B LVD 202	WOO DLAN D HIL LS	C A	9 1 3 6 4	R 1 A	LT 72- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1441 AC	
3 3 10	1009 0641 7140 1213 54	NGUYEN LYNDA	1952 ROS ENELFE CIR	SAN J OSE	C A	9 5 1 4 8	R 1 A	LT 43- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1040 AC	
3	1009	BAID CHANDRA P	33017 CA	UNIO	C	9	R A	LT 71-	

3 1	0642 0640 2215 08		LISTOGA ST	N CIT Y	A 4 5 8 7	1 A	P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC
3 3 2	1009 0642 2840 4213 17	WOODHOUSE STEVE M & CELESTE F	4 ARCHB AY ST	LAGU NA BE ACH	C A 9 2 6 7 7	R 1 A	LT 9- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC
3 3 3	1009 0641 6640 3213 53	LLAVORE RUSSEL Z & MARIVIC S	5289 WES TPORT VI EW DR	SAN D IEGO	C A 9 2 1 5 4	R 1 A	LT 44- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1040 AC
3 3 4	1009 0642 0340 3215 07	COCHRAN JEFFREY C	7219 TEY PANA RD NW	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 70- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1035 AC
3 3 5	1009 0641 6240 4213 52	MARR ROBERT J & DIANE M	7304 TEY PANA RD NW	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 45- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1040 AC
3 3 6	1009 0641 9840 5215 06	VU THUY LINH & DUC T DANG	380 S RA MSGATE DR	ANAH EIM	C A 9 2 8 0 7	R 1 A	LT 69- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1039 AC
3 3 7	1009 0641 5840 6213 51	BOTTONE EUGENIO	1409 MAN CHESTER RD	SAN MINA S	C A 9 1 7 7 3	R 1 A	LT 46- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1040 AC
3 3 8	1009 0642 2940 8213 18	CASTRO PEDRO & PATRICIA A	9116 SABI NAL DR N W	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 8- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC
3 3 9	1009 0641 9440 7215 05	FERRINI REBECCA L & JEFFERY L K LEIN	10344 SP RUCE GR OVE AVE	SAN D IEGO	C A 9 2 1 3 1	R 1 A	LT 68- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1039 AC
3 4 0	1009 0642 1540 8215 10	NGO QUANG D & NGUYEN DAMIE Q	2806 HAR BOR VIE W LN	ELK G ROVE	C A 9 5 7 5 8	R 1 A	LT 73- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1442 AC
3 4 1	1009 0641 9040 9215 04	TRINH KHANH	6163 HEA THERCRE EK WAY	SAN J OSE	C A 9 5 1 2 3	R 1 A	LT 67- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1039 AC
3 4 2	1009 0641 6244 5213 42	STRATTON CHRIS	7312 TOM E CT NW	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 55- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1211 AC
3 4 3	1009 0642 2344 4213 28	MURAYOSHI KIMIYASU	11038 CA MARILLO ST	TOCU LA LA KE	C A 9 1 6 0 2	R 1 A	LT 98- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC
3 4 4	1009 0642 1944	PASZKO JOLA & ANNA M PARIASZE VSKI	7223 SEN ECU RD N W	ALBU QUER QUE	N M 8 7 1	R 1 A	LT 97- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1038 AC



2 19 1	1009 0643 2229 2222 21	SNOW DANIEL G & KIMBERLY A	8920 HAL LSTON T RL NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 61 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT .1515 AC
2 19 2	1009 0642 7829 0221 07	FREMONT INVESTMENT & LOAN	PO BOX 5 899	IRVIN E	C A 6 1 6	9 2 6 1 6	R 1 A	LT 38 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT .1515 AC
2 19 13	1009 0642 2629 4220 20	STEELE DONALD & JULIE	8915 WIN NCREST TRL NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 20 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT .1572 AC
2 19 14	1009 0642 7329 2221 06	SAAVEDRA GILBERT & OLIVIA	7127 CRO SSWINDS TRL NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 39 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT .1572 AC
2 19 15	1009 0642 2850 5209 10	YANCY MICHAEL E & KASIE	9332 WES T HAVEN ST NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 38 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1294 AC
2 19 16	1009 0642 1550 1210 11	CHAVEZ MATTHEW L & PAULINE	7232 WILL IAMS BUR G RD NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 60 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .2034 AC
2 19 17	1009 0642 0950 2210 12	SANCHEZ MANUEL R & PATRICIA L	7236 WILL IAMS BUR G RD NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 59 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1465 AC
2 19 18	1009 0642 0350 2210 13	MOYERS JAMES A & DEBORAH	7240 WILL IAMS BUR G RD NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 58 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1362 AC
2 19 19	1009 0641 9850 2210 14	PALAZZO MARK A & FELLOWS MONI QUE N	7300 WILL IAMS BUR G RD NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 57 FOR HERITAGE AT THE TRAILS SU BDIVISION UNIT 1 BEING A REPLAT OF TR ACT A THE TRAILS CONT .1292 AC
3 0 0	1009 0641 9450 2210 15	ROSTRO MARC A & CHRISTINA M	7304 WILL IAMS BUR G RD NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 56 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1278 AC
3 0 1	1009 0641 8950 2210 16	LOVE DAMON A & LORENA G	7308 WILL IAMS BUR G RD NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 55 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1278 AC
3 0 2	1009 0641 8350 2210 17	ELLIOTT JENNIFER B	7316 WILL IAMS BUR G RD NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 54 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1300 AC
3 0 3	1009 0642 1337 1213 06	AVERY HENRY H	7201 TRE ELINE AV E NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 25- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .2011 AC
3 0	1009 0642	ABMONT JOSEPH C & DENISE M	17435 BL UE JAY D	MOR GAN	C A 5	9 1	R 1 A	LT 24- P1 PLAT FOR SANTA FE AT THE TRAILS

4	0737 4213 05		R	HILL		0 3 7	A	CONT .1033 AC
3 0 5	1009 0642 0337 6213 04	ARREDONDO MICHELA	2258 AVE NTURINE PL	CARL SBAD	C A	9 2 0 0 9	R 1 A	LT 23- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC
3 0 6	1009 0641 9937 8213 03	SANCHEZ ENRIQUE	7215 TRE E LINE AV E NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 22- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC
3 0 7	1009 0641 9538 0213 02	MILENEWICZ STANLEY J & ANA L	1370 QUA IL RIDGE WAY	HOLLI STER	C A	9 5 0 2 3	R 1 A	LT 21- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC
3 0 8	1009 0642 2037 9213 13	NGUYEN BINH D & SUONG T	1304 SNU G HARBO R CT	MARI ETTA	G A	3 0 6 6	R 1 A	LT 13- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1124 AC
3 0 9	1009 0642 1538 1213 12	DESANTIS CHRISTOPHER F	7204 TEY PANA RD NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 14- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC
3 1 0	1009 0641 9138 2213 01	TRAN VY	2006 EVA NS LN UN IT 1	SAN J OSE	C A	9 5 6 2 1	R 1 A	LT 20- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1123 AC
3 1 1	1009 0642 1138 3213 11	DEUTSCHE BANK NATIONAL TRUST COMPANY	8742 LUC ENT BLV D SUITE 3 00	HIGHL ANDS RANC H	C O	8 0 1 2 9	R 1 A	LT 15- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC
3 1 2	1009 0642 0738 5213 10	ROMAN RVL T	9409 WES T MONRO E ST	PEOR IA	A Z	8 5 3 4 5	R 1 A	LT 16- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC
3 1 3	1009 0641 7938 7213 58	PHAM PHU V & SUSAN L	3371 GON ZAGA PL	SANT A CLA RA	C A	9 5 0 5 1	R 1 A	LT 33- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1215 AC
3 1 4	1009 0642 0338 7213 09	MILENEWICZ STANLEY J & ANA L	7216 TEY PANA RD NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 17- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC
3 1 5	1009 0641 7538 9213 59	ZHENG WEIFENG & LI YEE GUO	1005 SEC RET GAR DEN ST	LAS V EGAS	N V	8 9 1 4 5	R 1 A	LT 34- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1039 AC
3 1 6	1009 0641 9938 8213 08	NOVELLO RONALD J JR & ELENA A	PO BOX 7 8352	CORO NA	C A	9 2 8 7 7	R 1 A	LT 18- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1033 AC
3 1 7	1009 0641 9439 0213	BUI CAMNHUNG T	3063 CRA Y CT	SAN J OSE	C A	9 5 1 2	R 1 A	LT 19- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1124 AC

	6213 29					1 4		
3 4 5	1009 0642 0745 2213 32	LO LAWRENCE	3138 WAT ERS WAY	SUGA R LAN D	T X	7 7 4 7 8	R 1 A	LT 94- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1035 AC
3 4 6	1009 0641 7745 4213 36	BRUHN DAVID & IVY M	8947 SHE LBURNE WAY	ZIONS VILLE	I N	4 6 0 7 7	R 1 A	LT 61- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1204 AC
3 4 7	1009 0641 5745 6213 40	CERTAIN JUAN CARLOS	7320 TOM E CT NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 57- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1651 AC
3 4 8	1009 0641 7445 8213 37	RICO LESLEY L	7315 TOM E CT NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 60- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1326 AC
3 4 9	1009 0641 6246 1213 39	STONE DEVRA K	24701 RA YMOND WAY 184	LAKE FORE ST	C A	9 2 6 3 0	R 1 A	LT 58- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1651 AC
10 10 11	1009 0641 6946 2213 38	LEHMAN RUDOLPH H & ELVA C SUIT E 202-406	5115 N D YSART R D	LITCH FIELD PARK	A Z	8 5 3 4 0	R 1 A	LT 59- P1 PLAT FOR SANTA FE AT THE TRAILS CONT .1651 AC
3 5 1	1009 0641 9546 1213 33	THE TRAILS COMMUNITY ASSOCIAT ION INC	7007 JEF FERSON BLVD NE SUITE A	ALBU QUER QUE	N M	8 7 1 0 9	V 1 A	TR OS- 1 BULK PLAT OF THE TRAILS A REPLAT O F A PORTION OFTRACT 4 BLACK RANCH CONT 4.2991 AC
12 12 13	1009 0643 0044 2216 47	THE TRAILS COMMUNITY ASSOCIAT ION	7007 JEF FERSON BLVD NE SUITE A	ALBU QUER QUE	N M	8 7 1 0 9	V 1 A	TR OS- 2 BULK PLAT OF THE TRAILS A REPLAT O F A PORTION OFTRACT 4 BLACK RANCH CONT 2.0903 AC
3 5 3	1009 0643 0829 3221 13	HOWARD JOHN W & HEATHER A	7100 GLY NDON TR L NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 32 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT .1813 AC
3 5 4	1009 0642 6629 4221 05	GOLDEN ROBERT J & LINDA L	7131 CRO SSWINDS TRL NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 40 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT .1581 AC
3 5 5	1009 0643 0129 5221 14	KANE THOMAS M	7104 GLY NDON TR L	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 31 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT .1752 AC
3 5 6	1009 0642 6029 5221 04	BOGUE RYAN C & TRACY L	7135 CRO SSWINDS TRL NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 41 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT .1581 AC
3 5 7	1009 0642 4129 5221 01	GREGORY CHANG- HUN P & ELENA EUN-YOUNG CHAI	7147 CRO SSWINDS TRL NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 44 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT .1904 AC

3 10 13	1009 0642 5429 5221 03	GUEVARRA MARWIN R & LEILANI S	7139 CRO SSWINDS TRL NW	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 42 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1581 AC
3 15 19	1009 0642 4829 5221 02	MAESTAS RAMON	7143 CRO SSWINDS TRL NW	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 43 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1581 AC
3 16 20	1009 0643 2229 8222 20	JARAMILLO MICHAEL A & CINDY J	8924 HAL LSTON T RL	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 62 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1515 AC
3 16 21	1009 0642 4130 4221 21	PANG CHING & LINDA	8920 WIN CREST T RL NW	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 24 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1783 AC
3 16 22	1009 0642 6530 3221 17	LEE CELESTE	7128 GLY NDON TR L NW	ALBU QUER QUE	N M 8 7 1 2 1	R 1 A	LT 28 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .2342 AC
3 16 23	1009 0642 2530 6220 18	WILLIAMSON NUNRY T	8923 WIN NCREST TRL NW	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 18 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1572 AC
3 16 24	1009 0642 5630 6221 18	WATSON THOMAS E & BONITA R	7136 GLY NDON TR L NW	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 27 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1501 AC
3 16 25	1009 0642 3431 9220 35	CENTEX HOMES	7601 JEF FERSON ST NE SU ITE 320	ALBU QUER QUE	N M 8 7 1 0 9	V 1 A	TR PR PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEINGA REPLAT O F TRACT F THE TRAILS) CONT 3.3121 AC
3 16 26	1009 0642 4930 7221 19	JABLONOWSKI JOSEPH M & SHELLI E J	7140 GLY NDON TR L NW	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 26 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1639 AC
3 16 27	1009 0643 2231 0222 18	DEATHERAGE AMY F	8932 HAL LSTON T RL NW	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 64 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1768 AC
3 16 28	1009 0643 1531 2222 08	CENTEX HOMES	7601 JEF FERSON ST NE SU ITE 320	ALBU QUER QUE	N M 8 7 1 0 9	V 1 A	TR A PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .0192 AC
3 16 29	1009 0643 0930 9222 07	WELCH BRIAN G & THERESA A	7101 GLY NDON TR L NW	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 65 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1711 AC
3 17 00	1009 0642 2431 3220 17	YOUNGMAN MATTHEW A	8927 WIN NCREST TRL NW	ALBU QUER QUE	N M 8 7 1 1 4	R 1 A	LT 17 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1572 AC
3 17 01	1009 0643	MYERS DAVID J & DAWN N	7105 GLY NDON TR	ALBU QUER QUE	N M 8 7 1	R 1 A	LT 66 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF

1	0331 0222 06		L NW	QUE		1 1 4	A	TRACT F THE TRAILS) CONT .1543 AC
3 7 2	1009 0642 9731 1222 05	ULIBARRI KARLOS & IRMA L	7109 GLY NDON TR L NW	ALBU QUER QUE	N M	8 7 1 2 1	R 1 A	LT 67 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1543 AC
3 7 3	1009 0642 4031 1221 20	CENTEX HOMES	7601 JEF FERSON ST NE SU ITE 320	ALBU QUER QUE	N M	8 7 1 0 9	R 1 A	LT 25 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .2181 AC
3 7 4	1009 0642 9131 2222 04	GENTILE STANLEY & BETTY	7115 GLY NDON TR L NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 68 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1543 AC
3 7 5	1009 0642 8531 3222 03	FLEISCHER JON & REMELY	PO BOX 6 7346	ALBU QUER QUE	N M	8 7 1 9 3	R 1 A	LT 69 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1543 AC
3 7 6	1009 0642 7931 4222 02	NELSON LARRY D & ANN JANETTE	7123 GLY NDON TR L NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 70 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1543 AC
3 7 7	1009 0642 7331 6222 01	FENLON JANIS M & NILDA QUINONE S	7127 GLY NDON TR L NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 71 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1656 AC
3 7 8	1009 0643 2531 9222 17	TRUJILLO ANGELO M	7100 TRE E LINE AV E NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 80 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1346 AC
3 7 9	1009 0643 1832 0222 16	FORTUS BARRY L TRUSTEE FORTU S RVT	7102 TRE E LINE AV E NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 79 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .2211 AC
3 8 0	1009 0642 5932 0220 09	CHOWDHURY SOHAIL A	7135 GLY NDON TR NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 9 PLAT FOR THE RESERVE AT THE TR AILS SUBDIVISION (BEINGA REPLAT OF T RACT F THE TRAILS) CONT .1657 AC
3 8 1	1009 0643 0932 1222 15	HAMBURGER AARON D & CHRISTA L	7104 TRE E LINE AV E NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 78 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .2059 AC
3 8 2	1009 0642 2532 0220 16	GARAY-GAUNA LAURA	8931 WIN NCREST TRL NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 16 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .2117 AC
3 8 3	1009 0643 0332 1222 14	ALLEN STEVEN W & AMY C	7108 TRE E LINE AV E NW	ALBU QUER QUE	N M	8 7 1 1 4	R 1 A	LT 77 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1284 AC
3 8 4	1009 0642 9832 2222	CARRASCO HEATHER L & JESUS L	7112 TRE E LINE AV E NW	ALBU QUER QUE	N M	8 7 1 1 1	R 1 A	LT 76 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1284 AC

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3 8 5	1009 0642 5332 2220 10	BARRETT CHAD & MARISA	7139 GLY NDON TR NW	ALBU QUER QUE	N M 1 4	8 7 1 1 4	R 1 A	LT 10 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1544 AC
3 8 6	1009 0642 9332 3222 12	MCMANUS MARY E	7116 TRE E LINE AV E NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 75 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1284 AC
3 8 7	1009 0642 8832 3222 11	LANDGRAF WILLIAM	7120 TRE E LINE AV E NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 74 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1284 AC
3 8 8	1009 0642 4732 4220 11	EK REBECCA N & WILLIAM	7143 GLY NDON TR L NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 11 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1544 AC
3 8 9	1009 0642 8332 4222 10	GONDEK CAROLYN A	7124 TRE E LINE AV E NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 73 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1284 AC
3 9 0	1009 0642 7632 6222 09	NIXON AANA & ERIC	7128 TRE E LINE AV E NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 72 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .2033 AC
3 9 1	1009 0642 4232 7220 12	MORALES JESUS & ESTELA	7147 GLY NDON TR L NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 12 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1543 AC
3 9 2	1009 0642 3632 9220 13	DEMNY PATRICIA	7151 GLY NDON TR L NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 13 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1524 AC
3 9 3	1009 0642 6233 0220 08	PALENSCHAT ROBERT & NADIA	7136 TRE E LINE AV E NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 8 PLAT FOR THE RESERVE AT THE TR AILS SUBDIVISION (BEINGA REPLAT OF T RACT F THE TRAILS) CONT .1772 AC
3 9 4	1009 0642 3133 1220 14	SMITH LARRY W & PRISCILLA	7155 GLY DON TR NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 14 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1500 AC
3 9 5	1009 0642 5633 2220 07	CROUCH RORY C & ANNE M	7140 TRE E LINE AV E NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 7 PLAT FOR THE RESERVE AT THE TR AILS SUBDIVISION (BEINGA REPLAT OF T RACT F THE TRAILS) CONT .1284 AC
3 9 6	1009 0642 5133 4220 06	IBARRA PRISCILLA	7144 TRE E LINE AV E NW	ALBU QUER QUE	N M 1 1 4	8 7 1 1 4	R 1 A	LT 6 PLAT FOR THE RESERVE AT THE TR AILS SUBDIVISION (BEINGA REPLAT OF T RACT F THE TRAILS) CONT .1284 AC
3 9 7	1009 0642 2533 4220 15	CAPRON ALAN	PO BOX 1 8063	ALBU QUER QUE	N M 8 5	8 7 1 1 5	R 1 A	LT 15 PLAT FOR THE RESERVE AT THE T RAILS SUBDIVISION (BEINGA REPLAT OF TRACT F THE TRAILS) CONT .1784 AC
3	1009	CURRAN JODY R & MELANIE W	7148 TRE	ALBU	N	8	R A	LT 5 PLAT FOR THE RESERVE AT THE TR

9 8	0642 4733 6220 05		E LINE AV E NW	QUER QUE	M 7 1 1 4	1 A	AILS SUBDIVISION (BEINGA REPLAT OF T RACT F THE TRAILS) CONT .1284 AC
3 9 9	1009 0642 4233 8220 04	ALVAREZ EDMUNDO P & SUSANA L	7125 TRE E LINE AV E NW	ALBU QUER QUE	N M 8 7 1 1 4	A R 1 A	LT 4 PLAT FOR THE RESERVE AT THE TR AILS SUBDIVISION (BEINGA REPLAT OF T RACT F THE TRAILS) CONT .1276 AC
4 0 0	1009 0642 3834 0220 03	CHAVEZ DANIEL L & VERONICA L	7156 TRE E LINE AV E NW	ALBU QUER QUE	N M 8 7 1 1 4	A R 1 A	LT 3 PLAT FOR THE RESERVE AT THE TR AILS SUBDIVISION (BEINGA REPLAT OF T RACT F THE TRAILS) CONT .1263 AC
4 0 1	1009 0642 3334 2220 02	GOLOVERSIC TIMOTHY E & CARMEN M	7160 TRE E LINE AV E NW	ALBU QUER QUE	N M 8 7 1 1 4	A R 1 A	LT 2 PLAT FOR THE RESERVE AT THE TR AILS SUBDIVISION (BEINGA REPLAT OF T RACT F THE TRAILS) CONT .1263 AC
4 0 2	1009 0642 2834 5220 01	VALLEJOS MAXIMILIANO & ALICIA J	7164 TRE E LINE AV E NW	ALBU QUER QUE	N M 8 7 1 1 4	A R 1 A	LT 1 PLAT FOR THE RESERVE AT THE TR AILS SUBDIVISION (BEINGA REPLAT OF T RACT F THE TRAILS) CONT .1664 AC

OR CURRENT RESIDENT  
100906420737421305  
ABMONT JOSEPH C & DENISE M  
17435 BLUE JAY DR  
MORGAN HILL, CA 95037

OR CURRENT RESIDENT  
100906431745420405  
ALDERETE RAMON M & ANGEL A  
7108 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906512302230628  
ALLEN-DAVIS ADARYLL & LAURA  
7416 CERROS PL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906431034721613  
ANTEL TIMOTHY S & TERRIE D  
7108 LAS NUTRIAS RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906420337621304  
ARREDONDO MICHELA  
2258 AVENTURINE PL  
CARLSBAD, CA 92009

OR CURRENT RESIDENT  
100906419747521202  
BAAS KAREN H  
7240 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906420640221508  
BAID CHANDRA P  
33017 CALISTOGA ST  
UNION CITY, CA 94587

OR CURRENT RESIDENT  
100906423451820816  
BATIN DAISY BAUTISTA &  
FERDINAND SILVERIO  
321 RIESLING WAY  
SALINAS, CA 93906

OR CURRENT RESIDENT  
100906430441821715  
BENAVIDEZ LEERROSS  
7112 ALAMILLO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906416639221361  
BOGDAN GARY L  
7243 TREE LINE DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429750420610  
AGUILAR ANTONIO & MARCY L  
AGUILAR  
9328 BATTLE CREEK TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432228622222  
ALEXANDER IVORY C & SHIRLEY H  
8916 HALLSTON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906424233822004  
ALVAREZ EDMUNDO P & SUSANA L  
7125 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906420951820821  
ARMIJO SANDRA  
7235 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906421337121306  
AVERY HENRY H  
7201 TREELINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428148020706  
BACA FRANK M & LUZ M  
9309 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906418249221004  
BANKS ALLEN J & TAMARA D  
7315 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906418951820825  
BEAUCHAMP JEAN L % BUCY GARY  
7309 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430851720718  
BERRY DANNY L & PATRICIA  
7119 EDISON RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906426029522104  
BOGUE RYAN C & TRACY L  
7135 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906421846721206  
ALBO ORESTES L & PATTY  
7224 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430332122214  
ALLEN STEVEN W & AMY C  
7108 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430745320403  
ANDERSON APRIL  
7116 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906415339721364  
ARNOLD BEAU LEE  
7309 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906418451820826  
AVILA ANTONIO M & YAISELYN  
829 RIDGEHILL CT  
BURLESON, TX 76028

OR CURRENT RESIDENT  
100906420948521009  
BAGLEY CHRISTOPHER G & MELISSA  
K  
9309 WEST HAVEN ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906425332222010  
BARRETT CHAD & MARISA  
7139 GLYNDON TR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428834121602  
BENAVIDEZ LEEANN  
1138 NORTH 198TH ST  
SHORELINE, WA 98123

OR CURRENT RESIDENT  
100906425147120803  
BILLIAN JAMES S  
9308 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906415840621351  
BOTTONE EUGENIO  
1409 MANCHESTER RD  
SAN MINAS, CA 91773



OR CURRENT RESIDENT  
100906420747121204  
BOWERS DARRELL C & PETRA H CO-  
TRUSTEES BOWERS RVT  
7232 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432335921616  
BROOKS JAYSON & GAIL  
9008 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906417745421336  
BRUHN DAVID & IVY M  
8947 SHELBURNE WAY  
ZIONSVILLE, IN 46077

OR CURRENT RESIDENT  
100906430626622034  
BURNS JOHN P & MELISSA L  
7100 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906514602430632  
CAMPBELL COLIN M & ELIZABETH A  
7400 CERROS PL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429832222213  
CARRASCO HEATHER L & JESUS L  
7112 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906427145520701  
CENTEX HOMES  
7601 JEFFERSON ST NE SUITE 320  
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT  
100906421550121011  
CHAVEZ MATTHEW L & PAULINE  
7232 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906425932022009  
CHOWDHURY SOHAIL A  
7135 GLYNDON TR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430338921709  
CONG AIMIN  
9642 DESERT DAISY CT  
LAS VEGAS, NV 89178

OR CURRENT RESIDENT  
100906539302740840  
BRANCH STEPHEN F & SUSAN C  
9408 CORSICO PL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906425348120805  
BROWN CAROLEE M & CHERYL A  
BROWN  
9316 NATIONWIDE ST  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906428827222031  
BUCKNER BRANDON L & JESSICA D  
7112 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906421544821330  
BUSH ANNYA  
601 AVENIDA VAQUERO  
SAN CLEMENTE, CA 92673

OR CURRENT RESIDENT  
100906420247321203  
CAMPBELL NOEL ANTHONY  
7236 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906540102940860  
CASAUS JAMES L  
9400 PIEDRA COLINA CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906415745621340  
CERTAIN JUAN CARLOS  
7320 TOME CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906415350021104  
CHAVEZ PAUL E & MONICA M  
9319 JAMESON ST NW  
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT  
100906432851720722  
CLARK JIMMY D  
7101 EDISON RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422446521207  
CONKLIN RYAN E & BRANDI L  
7220 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422828822021  
BRETTI JEFFREY A & JODIE K  
8909 WINNCREST TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430351720717  
BROWN ROGER T & TERESA B  
7123 EDISON RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419439021307  
BUI CAMNHUNG T  
3063 CRAY CT  
SAN JOSE, CA 95121

OR CURRENT RESIDENT  
100906429749320612  
CALDERON JUAN M & MERCEDES J  
9320 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422533422015  
CAPRON ALAN  
PO BOX 18063  
ALBUQUERQUE, NM 87185

OR CURRENT RESIDENT  
100906422940821318  
CASTRO PEDRO & PATRICIA A  
9116 SABINAL DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906423834022003  
CHAVEZ DANIEL L & VERONICA L  
7156 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422343021410  
CHINTAWAT SATIT B  
9911 PASEO MONTRIL  
SAN DIEGO, CA 92129

OR CURRENT RESIDENT  
100906420340321507  
COCHRAN JEFFREY C  
7219 TEYPANA RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906415348421101  
COSMAN MARK GOODRICH TRUSTEE  
COSMAN TRUST  
9305 JAMESON ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432343321628  
COTTRELL DALE & DAWN  
9132 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906424733622005  
CURRAN JODY R & MELANIE W  
7148 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906423547320903  
DEAN NEIL & R DI LEEN BASS-DEAN  
9305 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906432550420508  
DELEON DIANNE  
9328 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906421138321311  
DEUTSCHE BANK NATIONAL TRUST  
COMPANY  
8742 LUCENT BLVD SUITE 300  
HIGHLANDS RANCH, CO 80129

OR CURRENT RESIDENT  
100906428046920704  
DOUGHTY RANDOLPH MATTHEW &  
CARRIANNE  
9305 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428248420707  
DURAN JOHN PAUL & MARIE E  
9311 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429648320614  
ELLISON SHIRLEY A  
9312 BATTLE CREEK TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906421149121010  
EVANS TIMOTHY W & DEBRA J  
9315 WEST HAVEN ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430828222112  
FERNANDEZ SELSO & ANNA  
7101 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906425633222007  
CROUCH RORY C & ANNE M  
7140 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906423748320905  
DAVIDSON THOMAS E  
PO BOX 67021  
ALBUQUERQUE, NM 87193

OR CURRENT RESIDENT  
100906432231022218  
DEATHERAGE AMY F  
8932 HALLSTON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906423632922013  
DEMNY PATRICIA  
7151 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429646520601  
DJOPAR MARIO & DANA  
9300 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428046920704  
DOUGHTY RANDOLPH MATTHEW &  
CARRIANNE  
9305 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906424732422011  
EK REBECCA N & WILLIAM  
7143 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906425348620806  
ENNIS MERLIN M & DOROTHY R  
9001 CORONA AVE NE  
ALBUQUERQUE, NM 87122

OR CURRENT RESIDENT  
100906429427022032  
FARVOUR GARY E & ELIZABETH B  
7108 CROSSWINDS TRL  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906431038921710  
FEROZE HAMID & AMNA & FERROZE  
ABDULLAH H & FERROZE HAMZA H &  
FERROZE ZAINAB H  
400 W VISTA PKWY  
ROSWELL, NM 88201

OR CURRENT RESIDENT  
100906430334921612  
CRUZ PATSY  
7112 LAS NUTRIAS NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432334521614  
DAVILA JOSEPH R III & NIDIA I  
9000 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428651720714  
DELEON DANIEL & CONTRERAS  
ALEJANDRO  
7135 EDISON RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906421538121312  
DESANTIS CHRISTOPHER F  
7204 TEYPANA RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429740921705  
DOMINGUEZ ROLAND A  
9112 JARALES CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422951820817  
DRACKERT EMANUEL F & DORIS S  
7219 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906418350221017  
ELLIOTT JENNIFER B  
7316 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422748920913  
ENNIS MERLIN M & DOROTHY R  
9001 CORONA AVE NE  
ALBUQUERQUE, NM 87122

OR CURRENT RESIDENT  
100906427331622201  
FENLON JANIS M & NILDA QUINONES  
7127 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419440721505  
FERRINI REBECCA L & JEFFERY L  
KLEIN  
10344 SPRUCE GROVE AVE  
SAN DIEGO, CA 92131

OR CURRENT RESIDENT  
100906418244621334  
FEVOLA ZENAIDA & MICHAEL  
7301 TOME CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906431832022216  
FORTUS BARRY L TRUSTEE FORTUS  
RVT  
7102 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429329722115  
GALINDO RICARDO A JR & LISA M  
7108 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422640021316  
GARCIA LOGAN & GEORGIA  
9108 SABINAL DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429131222204  
GENTILE STANLEY & BETTY  
7115 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906415839521363  
GILES ERIC S & MICHELLE D  
7305 TREE LINE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906423334222002  
GOLOVERSIC TIMOTHY E & CARMEN  
M  
7160 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432436521617  
GONZALEZ JOSE A & EVELYN P  
9012 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419343521402  
GRIEVE STEVE D & LAURA C  
7239 JALISCO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432226822225  
GUTIERREZ ALBERT T & HOA  
11450 ERIDANUS CT  
SAN DIEGO, CA 92126

OR CURRENT RESIDENT  
100906430848820606  
FLANAGAN KELLY  
9315 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906427829022107  
FREMONT INVESTMENT & LOAN  
PO BOX 5899  
IRVINE, CA 92616

OR CURRENT RESIDENT  
100906425151520813  
GALLEGOS ROBERT N & VERONICA  
LYNN MARES  
3581 E SANTA FE LN

OR CURRENT RESIDENT  
100906422239121314  
GARVER PHILLIP D & QUENDY L  
9100 SABINAL DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906418843621401  
GILBERT ANTHONY & EVELYN SETH  
972 DAISY ST  
SAN MATEO, CA 94401

OR CURRENT RESIDENT  
100906530502440817  
GINSBERG KAREN A & LLOYD S  
9405 MONTARA CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428332422210  
GONDEK CAROLYN A  
7124 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428350520711  
GREENWOOD AARON JOHN & SUSAN  
L ISLEY  
9327 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906425429522103  
GUEVARRA MARWIN R & LEILANI S  
7139 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430840921713  
HADGU TEKLU & TEFAY DORIT S  
9119 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428531322203  
FLEISCHER JON & REMELY  
PO BOX 67346  
ALBUQUERQUE, NM 87193

OR CURRENT RESIDENT  
100906425247620804  
FREYENHAGEN JOEL & BECKY  
9312 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422532022016  
GARAY-GAUNA LAURA  
8931 WINNCREST TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432549320506  
GAUR VIKRANT & MALLIKA DAS  
9320 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906415851820831  
GILBERT MITCHELL C & DOROTHY K  
7335 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906426629422105  
GOLDEN ROBERT J & LINDA L  
7131 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906426527822027  
GONZALES ADRIAN & APRIL  
7128 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906424129522101  
GREGORY CHANG-HUN P & ELENA  
EUN-YOUNG CHAI  
7147 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906420542921405  
GURULE PAUL C  
7227 JALISCO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428240521704  
HAGAN TOM & FAWN R DOLAN  
232 TENORIO RD  
CORRALES, NM 87048

OR CURRENT RESIDENT  
100906430932122215  
HAMBURGER AARON D & CHRISTA L  
7104 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430941821714  
HARDY MICHAEL & VERONICA  
MUNROE-HARDY  
7108 ALAMILLO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906425046620802  
HASENSTAB MICHAEL L & BARBARA  
9304 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906424343821325  
HERNANDEZ KENNETH L &  
KATHARINE A  
9144 SABINAL DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906423949820908  
HILLIARD JOSH & GWEN  
9327 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430829322113  
HOWARD JOHN W & HEATHER A  
7100 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906423647820904  
HUMPHRIES DANTON B  
PSC 9 BOX 2332  
APO, AE 09123

OR CURRENT RESIDENT  
100906424930722119  
JABLONOWSKI JOSEPH M & SHELLIE  
J  
7140 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430443221630  
JENSON TERRY O & DENISE  
7115 ALAMILLO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906417249021002  
JORGENSEN AARON & CHELSEY  
7323 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906431043221629  
HAMILTON ERICA A  
7109 ALAMILLO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419147821201  
HARRIS ROBERT B & LAVONNE N  
7300 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430949320607  
HAUCK DANIEL & MELISSA  
9319 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422850020911  
HERNSTED JULIE  
9328 WEST HAVEN ST NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906432245520406  
HINOJOSA GREGORY & FELICIA A  
7104 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430848320605  
HOWIE DANIEL  
9311 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906425133422006  
IBARRA PRISCILLA  
7144 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432229822220  
JARAMILLO MICHAEL A & CINDY J  
8924 HALLSTON TRL  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429843221631  
JOHNSON-NETTLES CAROLE H &  
CHRISTOPHER P NETTLES  
7119 ALAMILLO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906423951820815  
K VENTURES LLC  
7209 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906429237621814  
HAMPTON ROBERT  
7120 CUCHILLO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428428922108  
HARRIS STANLEY N & STEPHANIE H  
7119 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906416749021001  
HELLMAN PATRICIA A & LARRY  
4932 E WINDROSE DR  
SCOTTSDALE, AZ 85254

OR CURRENT RESIDENT  
100906421139921509  
HI INVESTMENTS LLC  
20301 VENTURA BLVD 202  
WOODLAND HILLS, CA 91364

OR CURRENT RESIDENT  
100906428928722109  
HOWARD DONALD HERBERT &  
MARGARET BRUCE HOWARD  
TRUSTEES HOWARD FAMILY TRUST  
7115 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906421951820819  
HUGHES LAWRENCE MAX &  
ELIZABETH ANN GONZALES-HUGHES  
7227 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906420143121404  
INCS IRINA  
12670 MEADOWLARK AVE  
GRANADA HILLS, CA 91344

OR CURRENT RESIDENT  
100906423949320907  
JARAMILLO RUDY E & MEREDITH C  
M  
9323 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906423227922023  
JOHNSTON GLEN L & DIANA L  
8901 WINNCREST TRL NW  
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT  
100906425449120807  
K VENTURES LLC  
9324 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906421145021331  
KAMAL MOHAMMAD R  
15242 WINESPRINGS CT  
SAN DIEGO, CA 92127

OR CURRENT RESIDENT  
100906419951820823  
KHUU NGUYET & PHAM JOHNNY  
7301 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422530022019  
KREPFL MICHAEL J & SHELLEY R  
8919 WINNCREST TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428832322211  
LANDGRAF WILLIAM  
7120 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906426530322117  
LEE CELESTE  
7128 GLYNDON TRL NW  
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT  
100906419849121007  
LENTZ WALLACE W  
7301 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906416640321353  
LLAVORE RUSSEL Z & MARIVIC S  
5289 WESTPORT VIEW DR  
SAN DIEGO, CA 92154

OR CURRENT RESIDENT  
100906417951820827  
LOPEZ MICHAEL M & OGAZ  
SUZANNE C  
7319 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429739721707  
LUCERO JAKE & CINDY  
9428 PEBBLE BEACH DR NE  
ALBUQUERQUE, NM 87111

OR CURRENT RESIDENT  
100906544301440705  
MANZANILLA JORGE & LILLY F  
9401 TERESINA CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430129522114  
KANE THOMAS M  
7104 GLYNDON TRL  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906425550120809  
KLINT STEVEN A  
9332 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432351720721  
KRUEGER-UHING CINDI K  
7105 EDISON RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906513402230630  
LANGLAND LAYLA L  
7408 CERROS PL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430128322111  
LEE TOM S & AMY G  
34381 GRAND CANYON DR NW  
UNION CITY, CA 94587

OR CURRENT RESIDENT  
100906423244121326  
LESTER STEPHEN F & L STEPHANIE  
WU TRUSTEES LESTER FAMILY  
TRUST & ETAL  
5295 WINIFREED DR  
CASTRO VALLEY, CA 94546

OR CURRENT RESIDENT  
100906420745221332  
LO LAWRENCE  
3138 WATERS WAY  
SUGAR LAND, TX 77478

OR CURRENT RESIDENT  
100906431245420404  
LOVATO RUDY M & CARLA L  
7112 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422447920901  
LUJAN BERNARD & CAROLYN R  
MARKLAND  
9312 WEST HAVEN ST NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906422548420914  
MARES LAWRENCE M & ANNA A  
9316 WEST HAVEN ST NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906430950420609  
KARAS BRIAN A & LESLIE I  
9327 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432440321623  
KNECHT STEVE & CHRISTINA M  
911 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906427830022116  
LA ROSSA MARIO A  
7124 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906421443521411  
LAW DAKKI WINGSZE TRUSTEE ADIT  
TRUST  
3512 WYNN RD  
LAS VEGAS, NV 89103

OR CURRENT RESIDENT  
100906416946221338  
LEHMAN RUDOLPH H & ELVA C  
SUITE 202-406  
5115 N DYSART RD  
LITCHFIELD PARK, AZ 85340

OR CURRENT RESIDENT  
100906511702430627  
LIVESAY ELIZABETH THERESA  
TRUSTEE LIVESAY RVL T  
7420 CERROS PL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429736521808  
LONGFORD AT THE TRAILS LLC  
LONGFORD GROUP INC  
3077 E WARM SPRINGS RD  
LAS VEGAS, NV 89120

OR CURRENT RESIDENT  
100906418950221016  
LOVE DAMON A & LORENA G  
7308 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906424829522102  
MAESTAS RAMON  
7143 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906416451820830  
MAREZ ANTHONY R & GRACE M  
7331 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906416240421352  
MARR ROBERT J & DIANE M  
7304 TEYPANA RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432547220502  
MARTINEZ SANDRA J  
9304 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428045720702  
MCDANIEL JOHN & TAJUANA C  
9301 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906420044021412  
MENDOZA ERNEST & SANDRA LONG-  
MENDOZA  
7232 SENEUCU RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906420338721309  
MILENEWICZ STANLEY J & ANA L  
7216 TEYPANA RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422439621315  
MONKA JEFFREY S  
11935 E PRADERA RD  
CAMARILLO, CA 93012

OR CURRENT RESIDENT  
100906430840421712  
MONTANO YOLANDA M  
9115 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906424528022024  
MORGAN SAMUEL D & MARY K  
7140 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906417443421345  
MOUNT ROBERT A & MADELEINE J  
TRUSTEES MOUNT FRVT  
6575 LOWER RIDGE RD  
SANTA ROSA, CA 95404

OR CURRENT RESIDENT  
100906422928222022  
MUSE JERRY L SR & BRENDA LEE  
8905 WINNCREST TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906513902230631  
MARTINEZ JENNY R  
7404 CERROS PL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432427121618  
MASCARENAS LEONARD & PAULA  
9016 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429332322212  
MCMANUS MARY E  
7116 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906416951820829  
MESKE DUANE D & ANGELA C  
7327 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430936321810  
MILLER ALAN & VICKI  
PO BOX 67264  
ALBUQUERQUE, NM 87123

OR CURRENT RESIDENT  
100906432548320504  
MONTANO CAROL L  
9312 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906424232722012  
MORALES JESUS & ESTELA  
7147 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419349221006  
MORGAN WILLIAM CHAD & STORMY  
L  
7305 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906420350221013  
MOYERS JAMES A & DEBORAH  
7240 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430331022206  
MYERS DAVID J & DAWN N  
7105 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419743321403  
MARTINEZ LORRAINE B  
7235 JALISCO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906424451820814  
MAXWELL DANNY L & ABIGAIL T  
7205 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429749920611  
MCNEELY JAMES F & JEANETTE M  
9324 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419538021302  
MILENEWICZ STANLEY J & ANA L  
1370 QUAIL RIDGE WAY  
HOLLISTER, CA 95023

OR CURRENT RESIDENT  
100906432548820505  
MIRELES ED E & JUANIS V  
9316 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430949920608  
MONTANO DOROTHY M  
9323 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432547820503  
MORANT KEVIN C & KAREN L  
9308 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906417850221018  
MORRISON KEITH & TERESA  
7320 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422344421328  
MURAYOSHI KIMIYASU  
11038 CAMARILLO ST  
TOCULA LAKE, CA 91602

OR CURRENT RESIDENT  
100906429351720715  
NEJO CHRISTOPHER A  
7131 EDISON RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906427931422202  
NELSON LARRY D & ANN JANETTE  
7123 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422037921313  
NGUYEN BINH D & SUONG T  
1304 SNUG HARBOR CT  
MARIETTA, GA 30066

OR CURRENT RESIDENT  
100906418339521357  
NGUYEN HUY MIKE & LIEN BICH  
NGUYEN TRUSTEES NGUYEN  
FAMILY LVT  
1195 HAMILTON AVE  
PALO ALTO, CA 94301

OR CURRENT RESIDENT  
100906431037321811  
NGUYEN SU  
7660 TEA BERRY WAY  
SACRAMENTO, CA 95828

OR CURRENT RESIDENT  
100906430739821711  
NGUYEN XUAN T & VO DUNG X  
9109 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906541302340869  
NIXON RONALD G  
9405 TALARA PL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906426842821632  
OATES MARIA  
PO BOX 94417  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432442121626  
ONG WELLIVER TIU  
9124 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419850221014  
PALAZZO MARK A & FELLOWS  
MONIQUE N  
7300 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906437149310104  
PARADISE WEST INC  
7423 LANTERN RD NE  
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT  
100906421540821510  
NGO QUANG D & NGUYEN DAMIE Q  
2806 HARBOR VIEW LN  
ELK GROVE, CA 95758

OR CURRENT RESIDENT  
100906429351820822  
NGUYEN BRYAN H & NHUNG PHAM  
7239 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906417140121354  
NGUYEN LYNDA  
1952 ROSENELE CIR  
SAN JOSE, CA 95148

OR CURRENT RESIDENT  
100906432439721622  
NGUYEN TAI T & MINH-THU T  
9108 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428227322030  
NIELSEN HELEN V & JEREMY S  
7116 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419938821308  
NOVELLO RONALD J JR & ELENA A  
PO BOX 78352  
CORONA, CA 92877

OR CURRENT RESIDENT  
100906417749121003  
ODOMS JAMES T & DEORA & MAVIS  
RENE ODOMS  
7319 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906524702530686  
ORNELAS JESUS & ROSA  
9400 VENTOSE PL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906426233022008  
PALENSCHAT ROBERT & NADIA  
7136 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906421944621329  
PASZKO JOLA & ANNA M  
PARIASZEWSKI  
7223 SENEUCU RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906416239421362  
NGUYEN ANH THI-PHUNG & DINH  
LIEM D  
3063 BAYBERRY LN  
SAN JOSE, CA 95148

OR CURRENT RESIDENT  
100906432335221615  
NGUYEN DAVID & HELENE TRAN  
5381 EAGLE PARK CT  
SAN JOSE, CA 95138

OR CURRENT RESIDENT  
100906427938021816  
NGUYEN PETE H & ROMETA J  
7128 CUCHILLO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432441521625  
NGUYEN THO & PHUONG THAO  
9120 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906427632622209  
NIXON AANA & ERIC  
7128 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906543001540871  
OAKERSON THOMAS F LISA A  
9400 TALARA PL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906427946520703  
OGAS SAMUEL & MICHELLE  
9303 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906530603040816  
PADILLA LEROY A & ROBERTA V  
9409 MONTARA CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906424130422121  
PANG CHING & LINDA  
8920 WINCREST TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432546520501  
PATITSAS PAUL A  
9300 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428541821718  
PEREA-WALKER TANYA P & ROBERT  
M WALKER  
7124 ALAMILLO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432438521620  
PHAM KEO  
9100 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430336421809  
PHAM THUAN  
695 QUINN AVE  
SAN JOSE, CA 95112

OR CURRENT RESIDENT  
100906416750121020  
POWERS KEVIN & FLORIDALBA  
7328 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906417451820828  
RAWLINGS LANCE W  
7323 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906417445821337  
RICO LESLEY L  
7315 TOME CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430437421812  
ROMERO MELVIN & ANGELA  
7112 CUCHILLO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429926822033  
SAAVEDRA FERNANDO  
7104 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429545120401  
SALAZAR MARTIN D & KRISTINA M  
7124 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419937821303  
SANCHEZ ENRIQUE  
7215 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419451820824  
PHAM DENISE  
7305 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432439121621  
PHAM KEO THI  
9104 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906439345110111  
PILI MANUEL R ETUX  
4196 OCEAN AVE  
BROOKLYN, NY 11235

OR CURRENT RESIDENT  
100906536601640825  
PRUDENTIAL RESIDENTIAL  
SERVICES LTD PTNS  
200 SUMMIT LAKE DR  
VALHALLA, NY 10595

OR CURRENT RESIDENT  
100906431251720719  
RAYKOVICS MICHAEL A & DENISE A  
7115 EDISON RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906424846120801  
ROACH JEFFERY M & TRACEY L  
9300 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432549920507  
ROMERO NICHOLAS R & LEAH K  
9324 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906427329222106  
SAAVEDRA GILBERT & OLIVIA  
7127 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430846520602  
SALAZAR MATTHEW & LAURA L  
9301 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906415350521105  
SANCHEZ KERRIANNE  
9323 JAMESON ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906417939821356  
PHAM GIA V & JESSICA N  
1425 CARMINE WAY  
SAN JOSE, CA 95131

OR CURRENT RESIDENT  
100906417938721358  
PHAM PHU V & SUSAN L  
3371 GONZAGA PL  
SANTA CLARA, CA 95051

OR CURRENT RESIDENT  
100906424035921902  
PLEMMONS PAUL R JR & BROOKE M  
7151 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432230422219  
RADICE MICHELLE  
8928 HALLSTON TRL NW  
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT  
100906427627522029  
RICHARDSON-VALDEZ SUSAN  
7120 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906420738521310  
ROMAN RVLT  
9409 WEST MONROE ST  
PEORIA, AZ 85345

OR CURRENT RESIDENT  
100906419450221015  
ROSTRO MARC A & CHRISTINA M  
7304 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906431851720720  
SALAZAR DOLORES M  
7109 EDISON RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429751720716  
SANCHEZ AARON J & ANGELICA M  
7127 EDISON RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906420950221012  
SANCHEZ MANUEL R & PATRICIA L  
7236 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114



OR CURRENT RESIDENT  
100906421451820820  
SANCHEZ SIMON & YVONNE  
7231 WILLIAMSBURG RD NE  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906417350221019  
SAYLOR CLIFFORD B & DONNA E  
7324 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906416544121343  
SCHINDLER PATRICIA  
7308 TOME CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906425549620808  
SETAYESH HAMID & FLORA  
9328 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906418749321005  
SHERRIE MICHAEL D & GLORIA F  
7309 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906434233710603  
SIERRA AT THE TRAILS INC  
3077 E WARM SPRINGS RD  
LAS VEGAS, NV 89120

OR CURRENT RESIDENT  
100906432229222221  
SNOW DANIEL G & KIMBERLY A  
8920 HALLSTON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906425827922026  
STETSON STUART C & TINA A  
7132 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906416244521342  
STRATTON CHRIS  
7312 TOME CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428137421805  
TAOS AT THE TRAILS HOMEOWNERS  
ASSOC  
3077 E WARM SPRINGS RD  
LAS VEGAS, NV 89120

OR CURRENT RESIDENT  
100906432440921624  
SANCHEZ VICTOR E SR & SANTA  
SANCHEZ  
9116 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422451820818  
SCHANCER KORY J & SHELLY M  
NOSBISCH  
7223 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906423848820906  
SCHMIDLEY JAMES III & DAWN  
9319 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906429648820613  
SHARRAR JANEEN  
9316 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430245220402  
SHIPMAN WILLIAM C & KRISTI L  
7120 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429647820615  
SIMKO ISTVAN & MONICA  
9308 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422629422020  
STEELE DONALD & JULIE  
8915 WINNCREST TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429837521813  
STOCK MARY L  
7116 CUCHILLO RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428249020708  
STRENGTH RALPH EDWARD &  
WENDY JANELLE MARTIN-  
STRENGTH  
9315 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429628522110  
TAYLOR JULIE ALENE  
7109 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906512902230629  
SANDOVAL GARY P  
7412 CERROS PL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429840321706  
SCHIMA LIZ  
9108 JARALES CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906415349521103  
SEAGRIST THOMAS A & MICHIO  
9315 JAMESON ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906415349021102  
SHERIDAN MICHAEL J & SANDRA J  
9309 JAMESON ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906421346921205  
SIAO-PAO WILIA M  
7228 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906423133122014  
SMITH LARRY W & PRISCILLA  
7155 GLYDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429647220616  
STEPHENS JAMES S & CATHERINE A  
& TIMOTHY L & SHARON STEPHENS  
9304 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906416246121339  
STONE DEVRA K  
24701 RAYMOND WAY 184  
LAKE FOREST, CA 92630

OR CURRENT RESIDENT  
100906420349021008  
SULLIVAN PATRICK E & GRACIELA V  
7239 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430044221647  
THE TRAILS COMMUNITY  
ASSOCIATION  
7007 JEFFERSON BLVD NE SUITE A  
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT  
100906417539921355  
THOMAS CLEVON W & SHAREE  
LYNN  
7240 TEYPANA RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419138221301  
TRAN VY  
2006 EVANS LN UNIT 1  
SAN JOSE, CA 95621

OR CURRENT RESIDENT  
100906432228022223  
TRUJILLO ALFONSO R & TANA A  
8912 HALLSTON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430847220603  
TRUJILLO ERIC J & LISA D  
9305 ALLEGIANCE ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422749420912  
ULIBARRI ROBERT & KIMBERLY A  
9324 WEST HAVEN ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906427027722028  
VAUGHAN JAMES G & LEEANN D  
7124 CROSSWINDS TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419840521506  
VU THUY LINH & DUC T DANG  
380 S RAMSGATE DR  
ANAHEIM, CA 92807

OR CURRENT RESIDENT  
100906424143321324  
WATTS BENJAMIN J & SAMUEL N  
WATTS  
9140 SABINAL DR NE  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906429538921708  
WEELDREYER STEPHEN T & HEIDI M  
9100 JARALES CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906536302340826  
WILBUR ROBERT H & BEATRICE M  
9404 CALICO PL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432227422224  
TORRES ANGEL A & AUDRA L  
8908 HALLSTON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432442721627  
TRAWINSKI BRIAN J & ALISON  
9128 LADRON DR NW  
ALBUQUERQUE, NM 87111

OR CURRENT RESIDENT  
100906415151820832  
TRUJILLO ANDY R & CARMEN V  
7339 WILLIAMSBURG RD NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906417945021335  
TURNER JEFFREY A & SUSAN A  
7305 TOME CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422834522001  
VALLEJOS MAXIMILIANO & ALICIA J  
7164 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906417039021360  
VERDUCCI ANTHONY T  
2112 CAMELLA CT  
PITTSBURG, CA 94565

OR CURRENT RESIDENT  
100906428250020710  
WALLI NAWAZ AKBAR & SHELINA  
NAWAZ  
9323 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432126022226  
WEALE JOHN CHRISTOPHER  
8900 HALLSTON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906430930922207  
WELCH BRIAN G & THERESA A  
7101 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432745520407  
WILLEY DAVID D & MARTI L  
7100 HEARTHSTONE RD NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906428234221601  
TORRES STEPHEN MATTHEW  
7127 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906419040921504  
TRINH KHANH  
6163 HEATHERCREEK WAY  
SAN JOSE, CA 95123

OR CURRENT RESIDENT  
100906432531922217  
TRUJILLO ANGELO M  
7100 TREE LINE AVE NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429731122205  
ULIBARRI KARLOS & IRMA L  
7109 GLYNDON TRL NW  
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT  
100906537702240836  
VAN PATTEN DAVID RICHARD & EVA  
CHRISTINE  
9409 CORSICO PL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906429141821717  
VU QUANG T  
718 GIER CT  
SAN JOSE, CA 95111

OR CURRENT RESIDENT  
100906425630622118  
WATSON THOMAS E & BONITA R  
7136 GLYNDON TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906428249520709  
WEBB JASON & JESSICA  
9319 BATTLE CREEK ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906425650720810  
WHITE DAVID & ANDREA  
9336 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906423950420909  
WILLIAMS LAWRENCE & PAMELA L  
9331 NATIONWIDE ST NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
100906422530622018  
WILLIAMSON NUNRY T  
8923 WINNCREST TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906432437821619  
WILSON WILLIAM T & GALANIS  
TWILA M  
9020 LADRON DR NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422840421317  
WOODHOUSE STEVE M & CELESTE F  
4 ARCHBAY ST  
LAGUNA BEACH, CA 92677

OR CURRENT RESIDENT  
100906416943721344  
WURSTER GREG  
7304 TOME CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422850520910  
YANCY MICHAEL E & KASIE  
9332 WEST HAVEN ST NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906415844921341  
YORK REGINA  
7316 TOME CT NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906422431322017  
YOUNGMAN MATTHEW A  
8927 WINNCREST TRL NW  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
100906417538921359  
ZHENG WEIFENG & LI YEE GUO  
1005 SECRET GARDEN ST  
LAS VEGAS, NV 89145

Project# 1002962  
RICK BELTRAMO PE  
THE TRAILS LLC  
7007 JEFFERSON ST NE STE A  
ALBUQUERQUE, NM 8787109

Project# 1002962  
STEVE SALAZAR PE  
WILSON AND CO.  
2600 THE AMERICAN RD STE 100  
RIO RANCHO, 87124

Project# 1002962  
PAULINE WAYLAND  
Ventana Ranch Assoc Inc  
7719 BRIAR RIDGE AVE NW  
ALBUQUERQUE, NM 87114

Project# 1002962  
MICHAEL ROEHM  
Ventana Ranch Assoc Inc  
10039 VISTA CANTERA LN NW  
ALBUQUERQUE, NM 87114

Project# 1002962  
LAURA HORTON  
Ventana Ranch NA  
7224 CASCADA RD NW  
ALBUQUERQUE, NM 87114

Project# 1002962  
KEVIN PATTON  
Ventana Ranch NA  
10422 BORREGO CREEK DR NW  
ALBUQUERQUE, NM 87114



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: June 25, 2008

TO CONTACT NAME: Steve J. Salazar, PE  
 COMPANY/AGENCY: Wilson & Company  
 ADDRESS/ZIP: 2600 The American Road, Suite 100 87124  
 PHONE/FAX #: 898-8021 898-8501

Thank you for your inquiry of June 25, 2008 (date) requesting the names of **ALL Affected**

**Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at Rainbow Blvd. between Paseo del Norte and Woodmont Ave

zone map page(s) C-9

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Ventana Ranch Comm. Assoc. Inc.  
 Neighborhood or Homeowner Association  
 Contacts: Pauline Wayland  
7719 Briar Ridge Ave. NW 87114  
899-5989 (h)  
Michael Roehm  
10039 Vista Canterz Ln. NW 87114  
890-4120 (h)

Ventana Ranch NA.  
 Neighborhood or Homeowner Association  
 Contacts: Laura Horton  
7224 Cascada Rd. NW 87114  
898-8103(h) 710-0646 (c)  
Kevin Patton  
10422 Borrego Creek Dr. NW 87114  
238-2857 (c)

**See reverse side for additional Neighborhood and/or Homeowner Associations Information:**

YES { } NO {  }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaina L. Cannon

OFFICE OF NEIGHBORHOOD COORDINATION

.....  
 ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.  
 .....

# DEVELOPER INQUIRY SHEET

*(To be completed prior to application submittal)*

The Office of Community and Neighborhood Coordination (OCNC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at 924-3914.

CONTACT NAME: Steve J. Salazar, PE

COMPANY NAME: WILSON & COMPANY

ADDRESS: 2600 The American Road. Suite 100

ZIP: 87124

PHONE: (505) 898-8021

FAX: (505) 898-8501

## NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS SEE ATTACHED DESCRIPTION

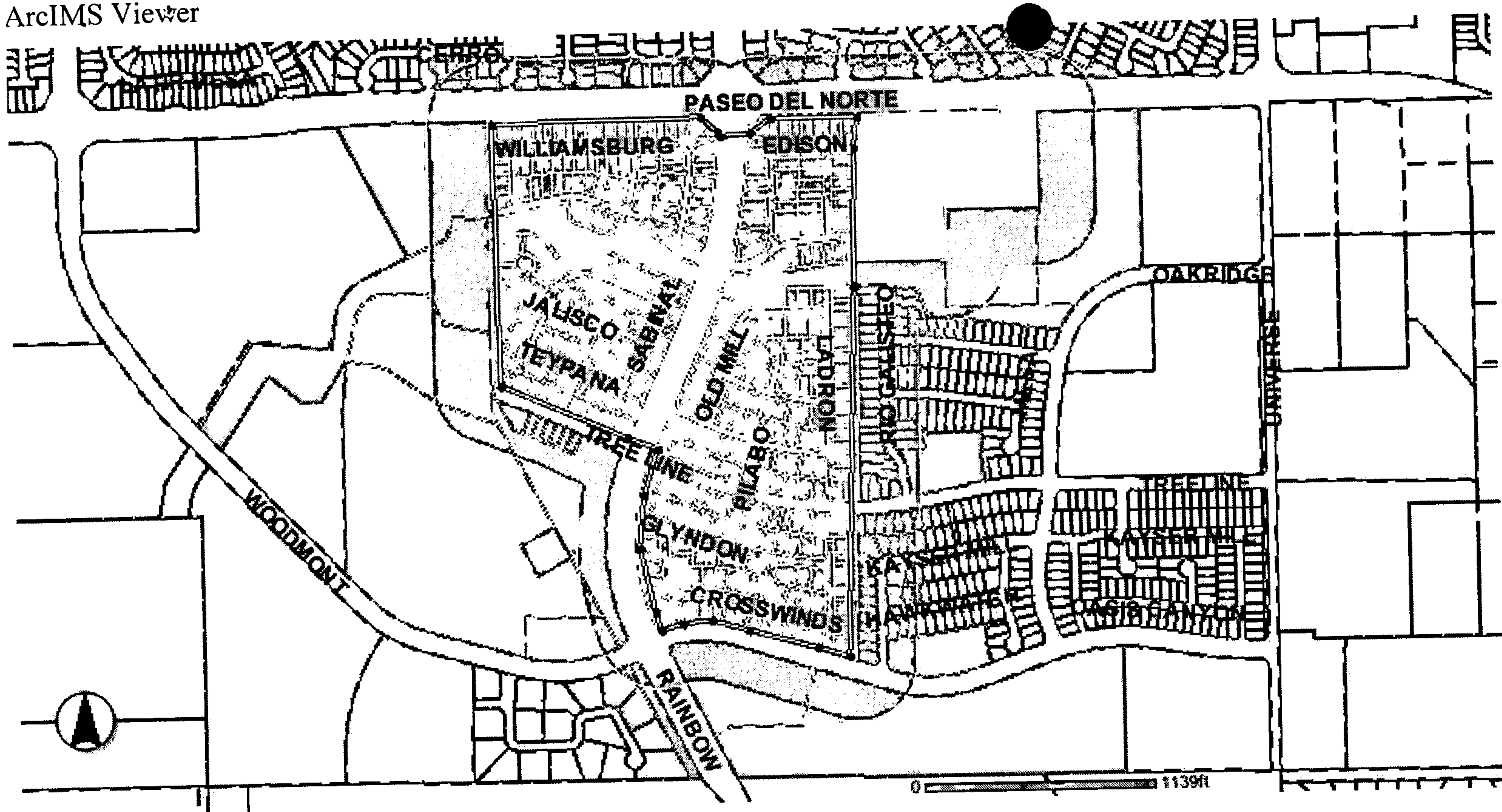
LOCATED ON Rainbow Blvd. LEGAL DESCRIPTION

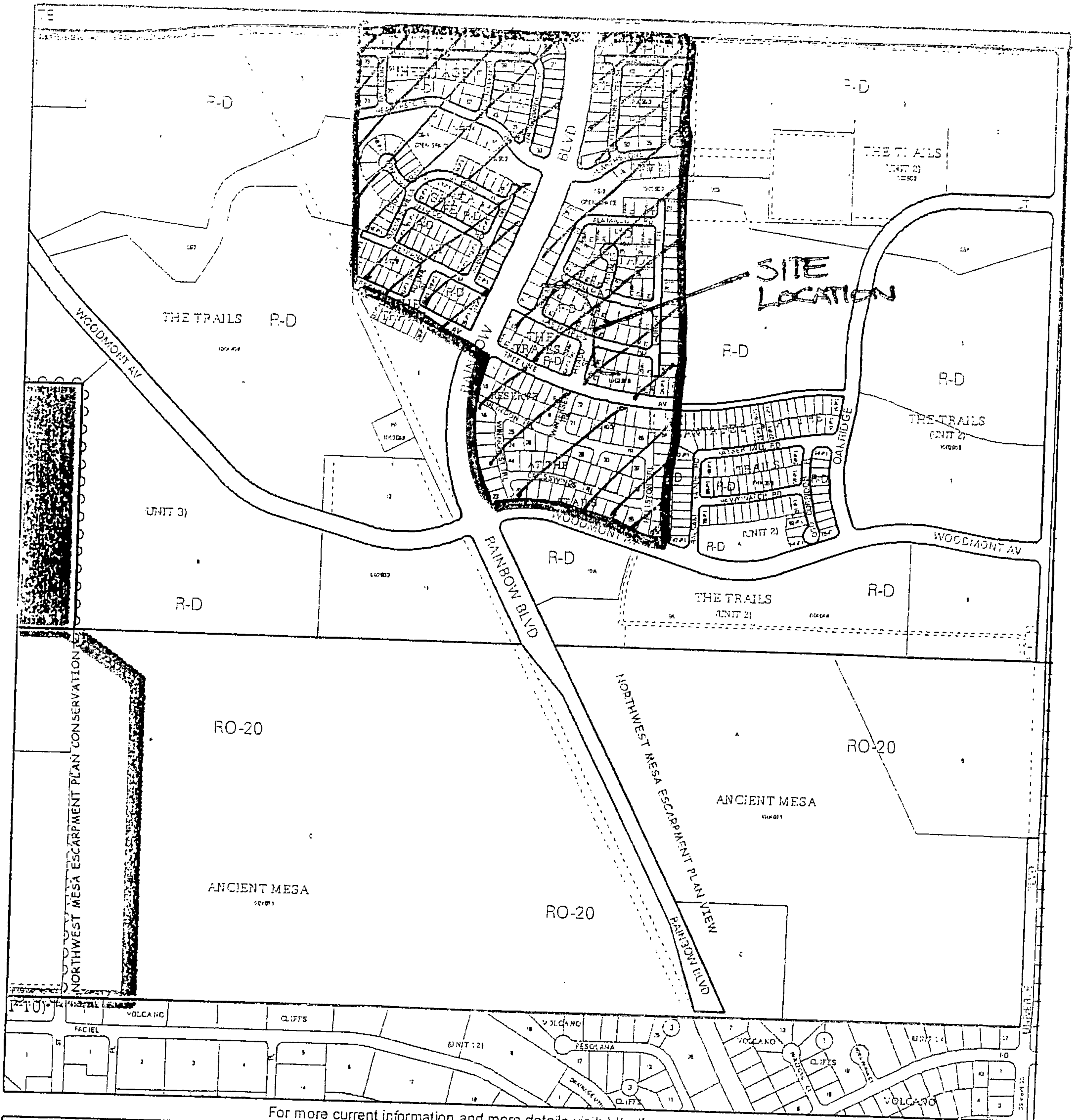
BETWEEN Paseo del Norte STREET NAME OR OTHER IDENTIFYING LANDMARK

AND Woodmont Ave. STREET NAME OR OTHER IDENTIFYING LANDMARK

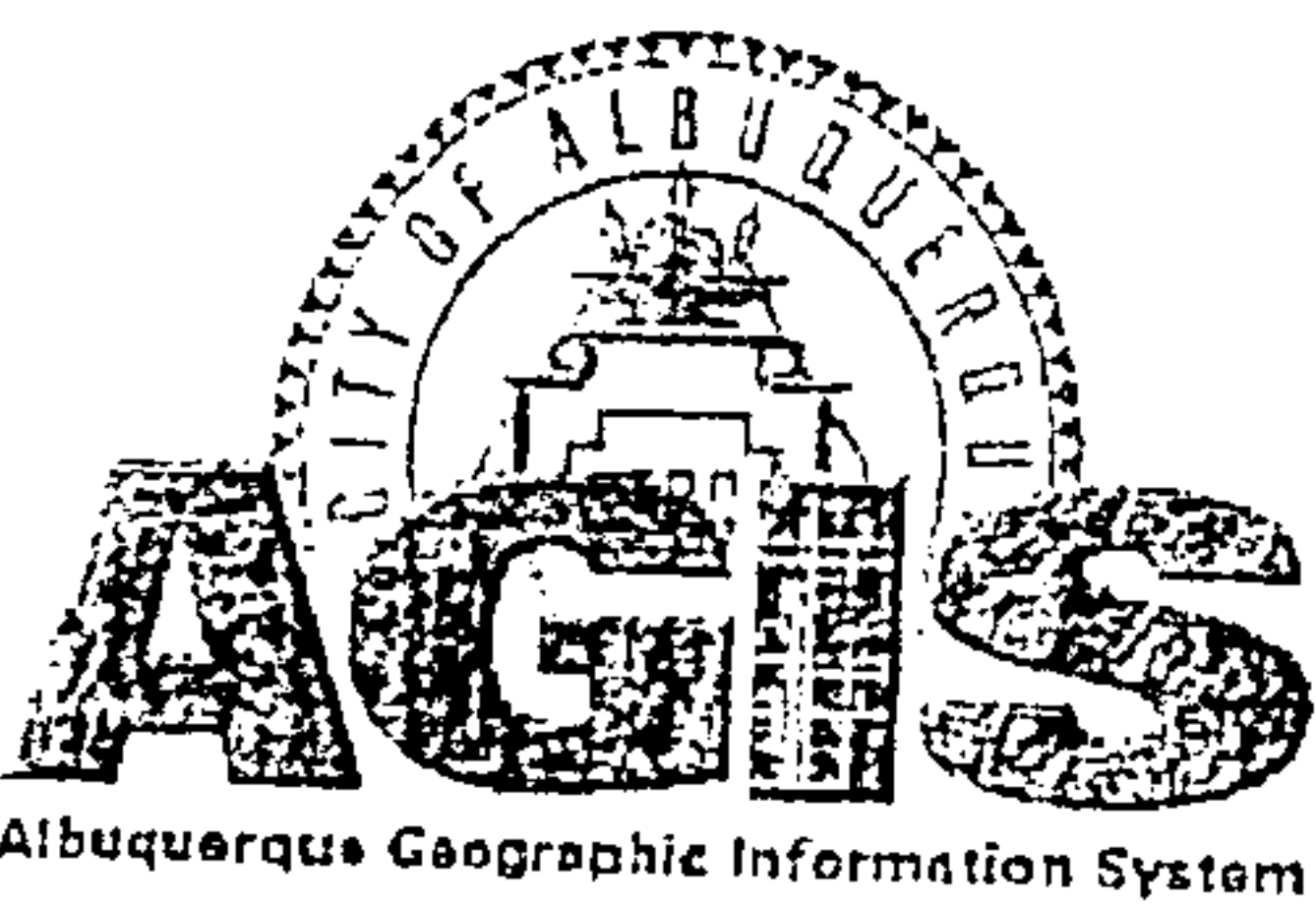
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (C-9-Z).  
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)

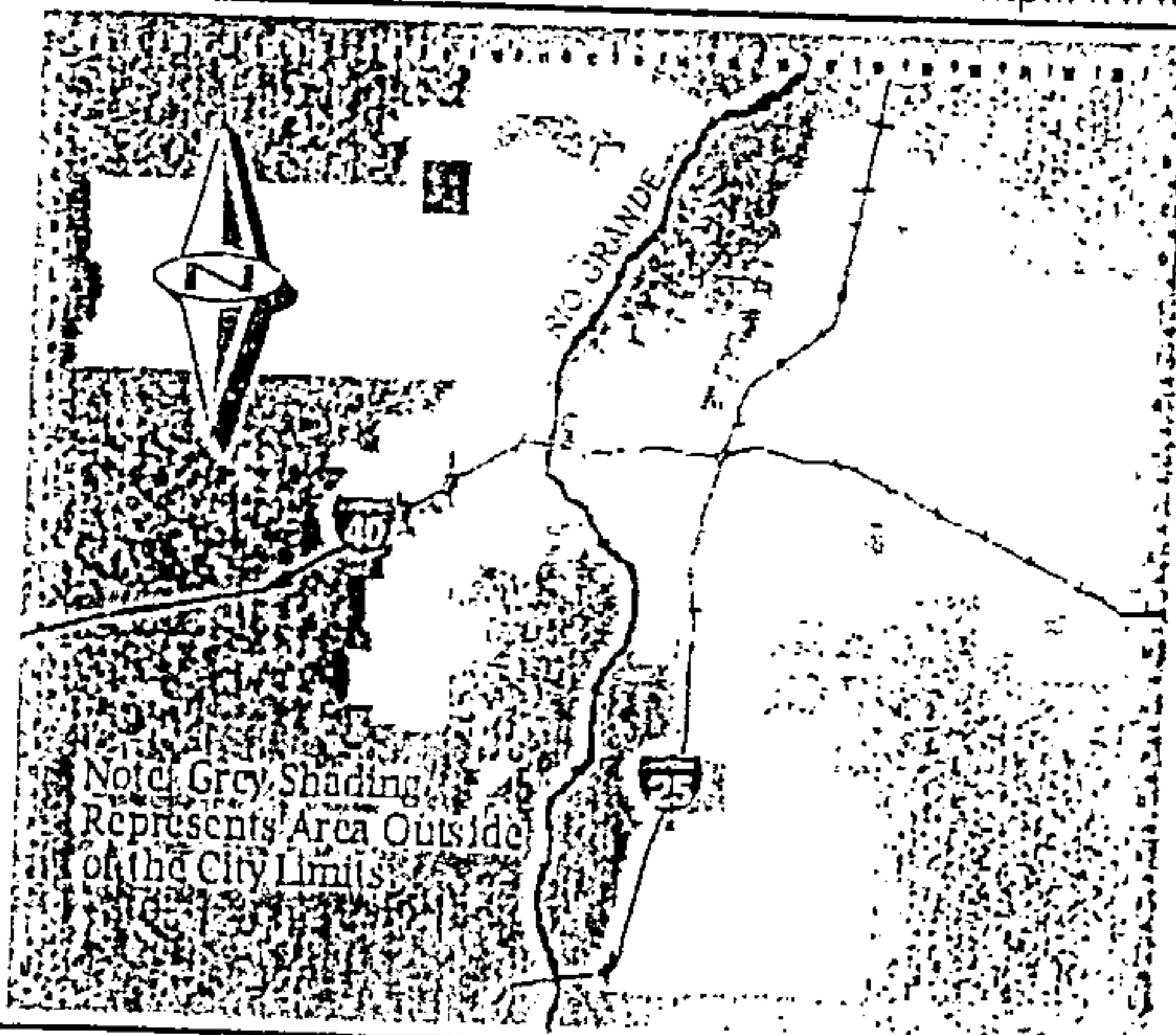




For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/21/2006

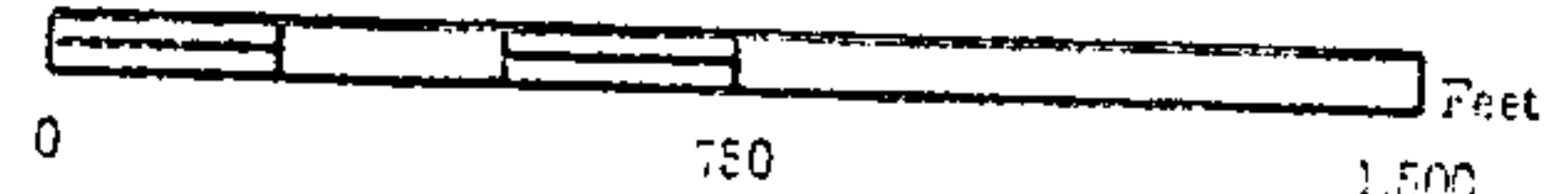


Zone Atlas Page:

**C-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





**WILSON  
& COMPANY**

2600 American Rd. SE, Suite 100  
Rio Rancho, NM 87124  
505-898-8021  
505-898-8501 Fax

Albuquerque  
Arlington  
Colorado Springs  
Denver  
El Paso  
Fort Worth  
Houston  
Kansas City  
Las Cruces  
Lenexa  
Los Angeles  
Omaha  
Phoenix  
Rio Rancho  
Salina  
San Bernardino

26 June 2008

**DRB Chairperson  
City of Albuquerque  
Development Review Board  
Plaza Del Sol  
600 Second Street NW  
Albuquerque, NM 87103**

*Re: Tracts A, B, C, D, and R at The Trails  
(Heritage Units I, II, Santa Fe, Taos, Reserve at the Trails)  
Extension of Subdivision Improvements Agreement  
COA Project Number – 730081, 730082, 730083, 738481, 738482, 738483 (DRB #  
1002929, 1002962); WCI Project #X4218008*

Dear Sheran:

This letter is to inform the **City of Albuquerque, Development Review Board** that Wilson & Company, Inc., acting as agents for The Trails LLC, is submitting an extension of Subdivision Improvements Agreement for the above subject property.

The following explanation is the reason for the extension of the subdivision improvements agreement. Longford is requesting extension of SIA to complete the construction of the Storm Drain outfall until the Boca Negra Dam has been constructed. This Boca Negra Project is currently under construction, thus the outfall for the Trails Subdivision is dependent of the Boca Negra. The Storm Drain outfall will be constructed per the COA infrastructure project 761281 per COA standards.

Attached are the items requested by the DRB for the extension of SIA.

If you have any questions concerning this proposed project, please contact me at (505) 898-8021.

WILSON & COMPANY

Steve J. Salazar, P.E.

Email: [jsalazar@wilsonco.com](mailto:jsalazar@wilsonco.com)





CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

July 23, 2008

**Project# 1002962**

**08DRB-70292 MAJOR - 2YR EXTENSION OF SUBDIVISION IMPROVEMENTS**

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion **HERITAGE AT THE TRAILS Unit(s) I & 2, plus SANTA FE, TAOS, & RESERVE AT THE TRAILS**, zoned SU-2/ RD, located on either side of RAINBOW BLVD NW BETWEEN PASEO DEL NORTE NW AND WOODMONT AVE NW containing approximately 76 acre(s). (C-9)

**AMAFCA**  
 No comment.

**COG**  
 No comments received.

**TRANSIT**  
 No comments received.

**ZONING ENFORCEMENT**  
 No comments received.

**NEIGHBORHOOD COORDINATION**  
 Letters sent to: Ventana Ranch NA (R)  
 Ventana Ranch Community Assoc.

**Heritage at the Trails Units 1 and 2, and Santa Fe, Taos, and Reserve at the Trails**, (tbka Tracts A, B, C, D, and F, The Trails,) is located on either side of Rainbow Blvd NW between Paseo Del Norte NW and Woodmont Ave NW. The owner of the above property requests a 2 YR Extension of Subdivision Improvements for a development that will consist of 401 residential units. This will impact Ventana Ranch Elementary School, James Monroe Middle School, and Volcano Vista High School. Ventana Ranch Elementary School and James Monroe Middle School are exceeding capacity, Volcano Vista High School currently has excess capacity.

Loc No	School	2007-08 40th Day	2007-08 Capacity	Space Available
264	Ventana Ranch	1,523	750	-773
490	James Monroe	1,519	1,417	-102
575	Volcano Vista	482	750	268

Two new northwest elementary schools are planned to open in 2009. This will relieve overcrowding at Ventana Ranch Elementary School.

A new northwest middle school is planned to open in 2009. This will relieve overcrowding at James Monroe.

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)

- Construct new schools or additions
- Add portables
- Use of non-classroom spaces for temporary classrooms
- Lease facilities
- Use other public facilities
- Improve facility efficiency (short term solution)
  - Schedule Changes
    - Double sessions
    - Multi-track year-round
  - Other
    - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
  - Boundary Adjustments / Busing
  - Grade reconfiguration
- Combination of above strategies

**All planned additions to existing educational facilities are contingent upon taxpayer approval.**

School, and Volcano Vista High School. Ventana Ranch Elementary School and James Monroe Middle School are exceeding capacity, Volcano Vista High School currently has excess capacity.

Loc No	School	2007-08 40th Day	2007-08 Capacity	Space Available
264	Ventana Ranch	1,523	750	-773
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  - Use of non-classroom spaces for temporary classrooms
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  - Use other public facilities
- Improve facility efficiency (short term solution)
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    - Multi-track year-round
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- Shift students to Schools with Capacity (short term solution)
  - Boundary Adjustments / Busing
  - Grade reconfiguration
- Combination of above strategies

**All planned additions to existing educational facilities are contingent upon taxpayer approval.**

<b>POLICE DEPARTMENT</b> No comments received.
<b>FIRE DEPARTMENT</b> No comments received.
<b>PNM ELECTRIC &amp; GAS</b> No comments received.
<b>COMCAST</b> No comments received.
<b>QWEST</b> No comments received.
<b>ENVIRONMENTAL HEALTH</b> No comments received.
<b>M.R.G.C.D</b> No Adverse Comments
<b>OPEN SPACE DIVISION</b> Open Space has no adverse comments
<b>CITY ENGINEER</b> Hydrology has no objection to the extension request.
<b>TRANSPORTATION DEVELOPMENT</b> No comments received.
<b>PARKS AND RECREATION</b> Defer to Hydrology.
<b>ABCWUA</b> No objection to Extension request.
<b>PLANNING DEPARTMENT</b> Refer to comments from Transportation Development, ABCWUA and Hydrology/ City Engineer regarding proposed extension.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

Cc: The Trails, LLC Attn: Rick Beltramo, PE – 7007 Jefferson Street NE Ste A – Albuquerque, NM 87109

Cc: Steve Salazar, PE – Wilson & Company – 2600 The American Rd. Ste 100 – Rio Rancho, NM 87124

TRANSMISSION VERIFICATION REPORT

TIME : 07/21/2008 15:16  
 NAME :  
 FAX : 9243864  
 TEL : 5059243979  
 SER. # : BROL6J570919

DATE, TIME	07/21 15:15
FAX NO./NAME	97619922
DURATION	00:00:35
PAGE(S)	03
RESULT	OK
MODE	STANDARD ECM



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

July 23, 2008

**Project# 1002962**

**08DRB-70292 MAJOR - 2YR EXTENSION OF SUBDIVISION IMPROVEMENTS**

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion **HERITAGE AT THE TRAILS Unit(s) I & 2, plus SANTA FE, TAOS, & RESERVE AT THE TRAILS**, zoned SU-2/ RD, located on either side of RAINBOW BLVD NW BETWEEN PASEO DEL NORTE NW AND WOODMONT AVE NW containing approximately 76 acre(s). (C-9)

<b>AMAFCA</b>	No comment.
<b>COG</b>	No comments received.
<b>TRANSIT</b>	No comments received.
<b>ZONING ENFORCEMENT</b>	No comments received.
<b>NEIGHBORHOOD COORDINATION</b>	Letters sent to: Ventana Ranch NA (R) Ventana Ranch Community Assoc.
<p><b>Heritage at the Trails Units 1 and 2, and Santa Fe, Taos, and Reserve at the Trails, (tbka Tracts A, B, C, D, and F, The Trails,)</b> is located on either side of Rainbow Blvd NW between Paseo Del Norte NW and Woodmont Ave NW. The owner of the above property requests a 2 YR Extension of Subdivision Improvements for a development that will consist of 401 residential units. This will impact Ventana Ranch Elementary School, James Monroe Middle School, and Volcano Vista High School. Ventana Ranch Elementary School and James Monroe Middle School are exceeding capacity, Volcano Vista High School currently has excess capacity.</p>	

TRANSMISSION VERIFICATION REPORT

TIME : 07/21/2008 15:17  
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 FAX : 9243864  
 TEL : 5059243979  
 SER.# : BR0L6J570919

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RESULT	OK
MODE	STANDARD ECM



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

July 23, 2008

**Project# 1002962**

**08DRB-70292 MAJOR - 2YR EXTENSION OF SUBDIVISION IMPROVEMENTS**

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion **HERITAGE AT THE TRAILS Unit(s) I & 2, plus SANTA FE, TAOS, & RESERVE AT THE TRAILS**, zoned SU-2/ RD, located on either side of RAINBOW BLVD NW BETWEEN PASEO DEL NORTE NW AND WOODMONT AVE NW containing approximately 76 acre(s). (C-9)

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<b>COG</b>	No comments received.
<b>TRANSIT</b>	No comments received.
<b>ZONING ENFORCEMENT</b>	No comments received.
<b>NEIGHBORHOOD COORDINATION</b>	Letters sent to: Ventana Ranch NA (R) Ventana Ranch Community Assoc.
<b>Heritage at the Trails Units 1 and 2, and Santa Fe, Taos, and Reserve at the Trails</b> , (tbka Tracts A, B, C, D, and F, The Trails,) is located on either side of Rainbow Blvd NW between Paseo Del Norte NW and Woodmont Ave NW. The owner of the above property requests a 2 YR Extension of Subdivision Improvements for a development that will consist of 401 residential units. This will impact Ventana Ranch Elementary School, James Monroe Middle School, and Volcano Vista High School. Ventana Ranch Elementary School and James Monroe Middle School are exceeding capacity, Volcano Vista High School currently has excess capacity.	



# DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00358 (SBP)  
Project Name TRAILS UNIT 2  
Agent: J.S. ROGERS ARCHITECTS PC

Project # 1002962  
Phone No.: \_\_\_\_\_

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/04/07 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \* LMD CAP RADII PER DDM  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: SHA OK BLB  
Scarpes  
 \_\_\_\_\_  
 \_\_\_\_\_

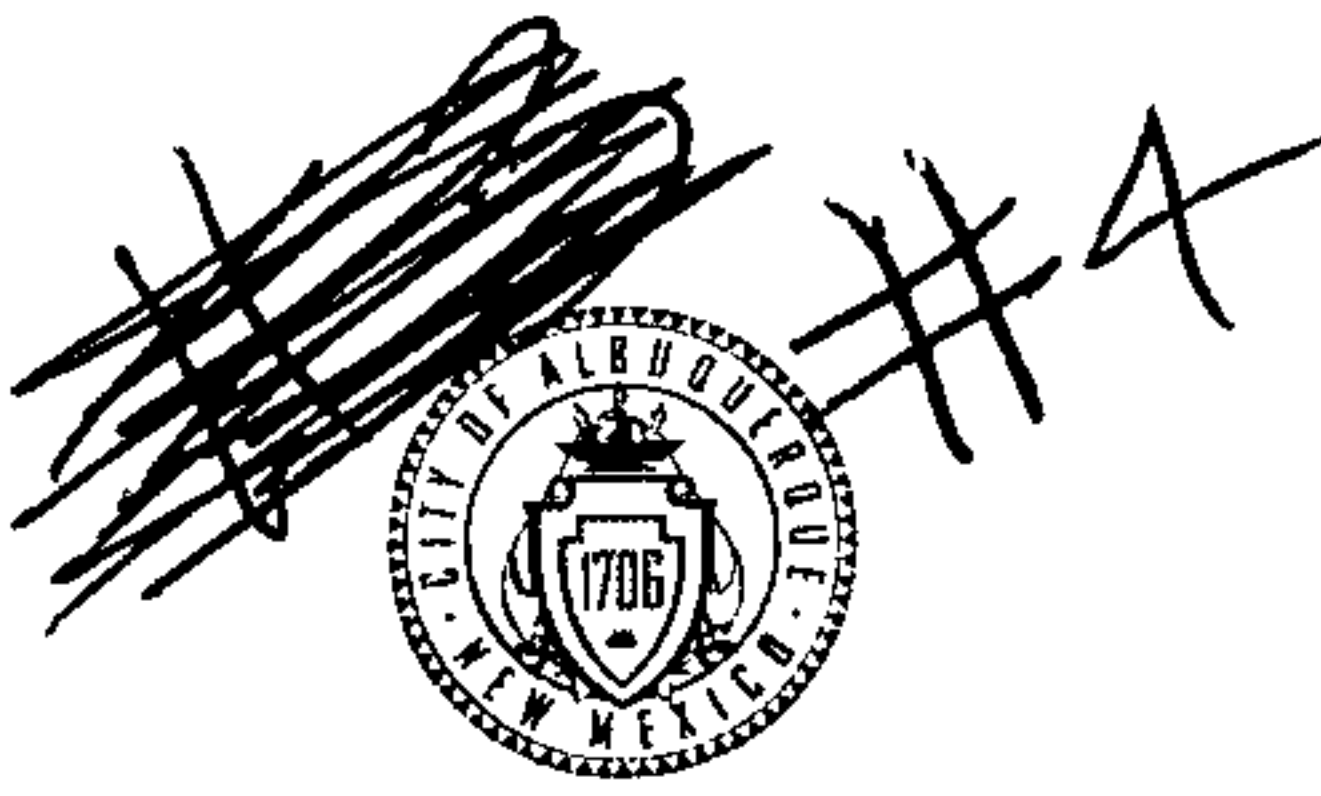
PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): "SRBP" Title OR form  
ERC GA on signature block  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1002962



(1 document)

Close Ag  
10/5/07

Submittion ✓

DRB CASE ACTION LOG (SITE PLAN, B. P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00615 (SBP)  
Project Name: CANTATA AT THE TRAILS  
Agent: BOHANNAN HUSTON INC

Project # 1002962  
Phone No: 823-1000

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/27/07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_

L \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

UTILITIES: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: [Signature] 31A

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): [Signature] 3 copies

15 day appeal  
plat

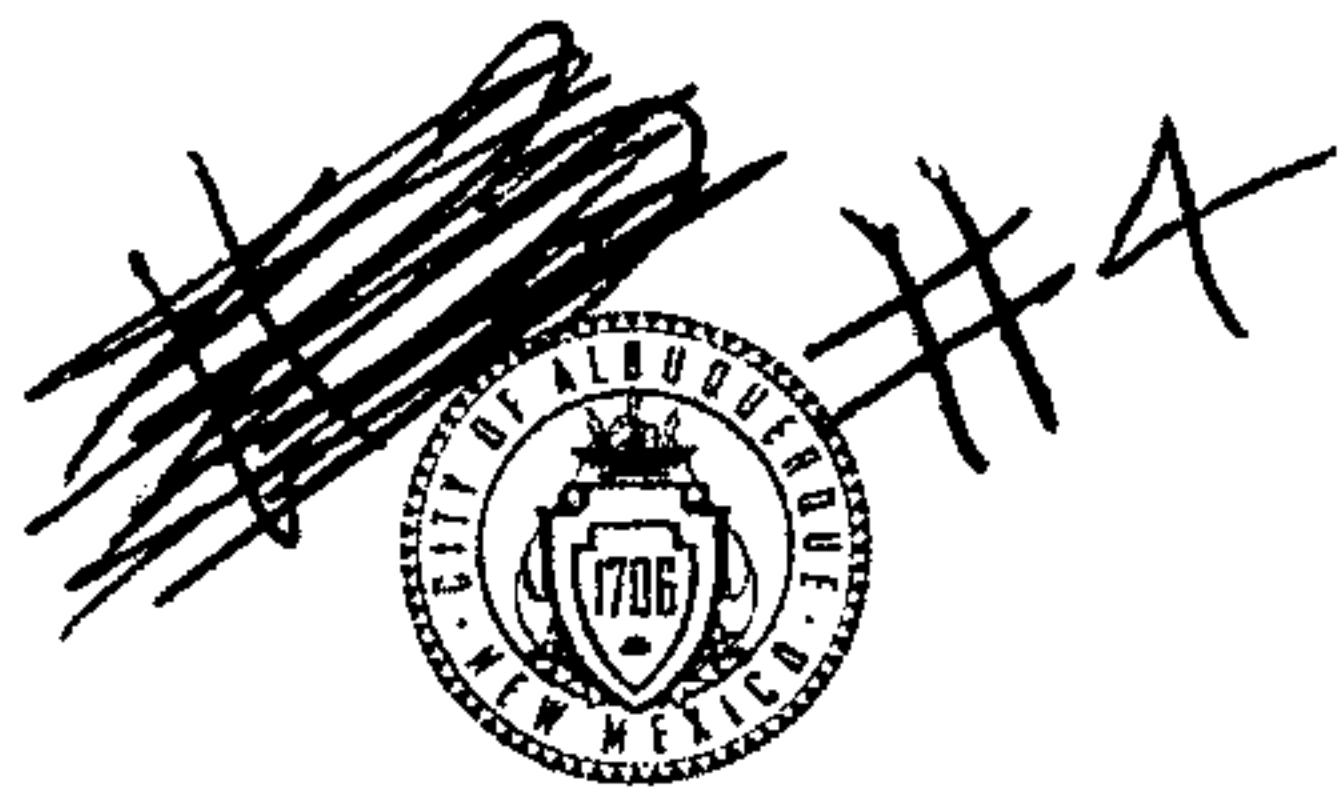
Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor

3 copies of the approved site plan. Include all pages.

- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number 1002962



(1 document)

Submission

# DRB CASE ACTION LOG (SITE PLAN B. P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

2 00615 (BPS)

DRB Application No.: 07DRB-00615 (SBP)  
Project Name: CANTATA AT THE TRAILS  
Agent: BOHANNAN HUSTON INC

Project # 1002962  
Phone No: 823-1000

Project Number 1002962

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/27/07 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_

L \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

UTILITIES: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: City 31A

\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): 3 copies  
15 day appeal  
plat

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor
  - 3 copies of the approved site plan. Include all pages.**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
  - Property Management's signature must be obtained prior to Planning Department's signature.**
  - AGIS DXF File approval required.**
  - Copy of recorded plat for Planning.**





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

June 27, 2007

**4. Project # 1002962**  
07DRB-00613 Major-SiteDev Plan Subd  
07DRB-00615 Major-SiteDev Plan BldPermit

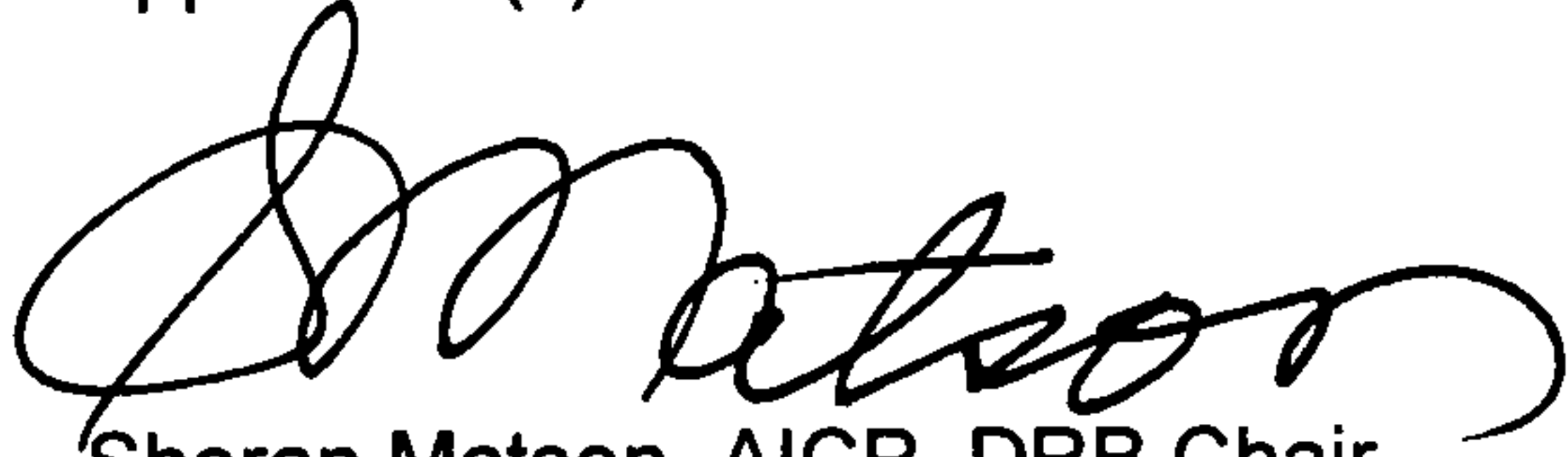
BOHANNAN HUSTON INC agent(s) for CANTATA AT THE TRAILS INC request(s) the above action(s) for Tract 5 and a portion of Tract 4 OS, THE TRAILS, UNIT 2, (to be known as **CANTATA AT THE TRAILS**) zoned SU-2 UR located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE NW containing approximately 25 acre(s). [REF: 04DRB-01322] [*Deferred from 06/06/07 & 06/20/07*] (C-9)

At the June 27, 2007, Development Review Board meeting, the site plan for subdivision was approved. With the signing of the infrastructure list dated 06/27/07 and approval of the Grading Plan Engineer Stamp dated 06/07/07, the site plan for building permit was approved with final sign off delegated to the City Engineer for the SIA and to Planning for 3 copies, the 15 day appeal period and the plat.

If you wish to appeal this decision, you must do so by July 12, 2007, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

Cc: Cantata at the Trails Inc, 7007 Jefferson St NE, 87109  
Stephanie Walton, Bohannan Huston, 7500 Jefferson NE, 87109  
Marilyn Maldonado, Planning Department, 4<sup>th</sup> Floor, Plaza del Sol Bldg.  
File



**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
DEVELOPMENT SERVICE  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1002962**

**AGENDA ITEM NO: 4**

**SUBJECT:**

Site Plan for Subd  
Site Plan for BP

**ACTION REQUESTED:**

P.O. Box 1203  
REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

Albuquerque

An approved drainage report dated 6-7-07 is on file for Site Plan approval.  
An approved infrastructure list is required for Preliminary Plat approval.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** June 27, 2007

# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1002962 AGENDA# 4 DATE: 6/27/07

COURTYARD 1

1. Name: SCOTT STEFFEN Address: 7500 JEFFERSON NE Zip: 87109
2. Name: Kid Belt Address: 7057 JEFFERSON Zip: 87109
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
15. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
16. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
17. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD – SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1002962**

**AGENDA ITEM NO: 6**

**SUBJECT:**

Vacation of Public Roadway Easement

**ACTION REQUESTED:**

**REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )**

**ENGINEERING COMMENTS:**

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

**APPROVED X; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_**

**DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)**

**SIGNED: Bradley L. Bingham  
City Engineer / AMAFCA Designee**

**505-924-3986**

**DATE: JULY 18, 2007**

0



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

June 20, 2007

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Kristal Metro, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:10 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project# 1004178**  
07DRB-70020 MAJOR - 2YR SUBD IMP  
AGMT (2YR SIA)

GARCIA/KRAEMER & ASSOCIATES agent(s) for NM ONE CALL request(s) the above action(s) for all or a portion of Block(s) 27, Tract(s) G-1 & G-2, **MESA VILLAGE** zoned O-1, located on EUBANK BLVD NE BETWEEN LOMAS BLVD NE AND WALKER NE containing approximately 2.2 acre(s). (J-20) **THE TWO-YEAR SIA WAS APPROVED.**

2. **Project# 1003857**  
07DRB-70017 MAJOR - PRELIMINARY  
PLAT APPROVAL  
07DRB-70018 MINOR - TEMP DEFR  
SWDK CONST

BRASHER AND LORENZ INC agent(s) for MIKE GONZALES request(s) the above action(s) for all or a portion of Lot(s) A, **BARELAS TOWN HOMES** zoned SU-2 FOR RT, located on SIMPIER LN SW BETWEEN FOURTH ST SW AND EIGHTH ST SW containing approximately 1.0618 acre(s). [REF: 06DRB-01300] (L-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 06/20/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 05/11/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT APPROVAL: A SIDEWALK WAIVER REQUEST AND SUBDIVISION DESIGN VARIANCE ARE REQUIRED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
3. **Project# 1005343**  
07DRB-70016 VACATION OF PUBLIC  
RIGHT-OF-WAY

SURVEYS SOUTHWEST LTD agent(s) for MONEER HINDI request(s) the above action(s) for all or a portion of Lot(s) 3-A, **MANKIN INC** zoned C-2, located on SKYLINE RD NE BETWEEN I-40 AND CENTRAL AVE NE. [REF: 07DRB00066, 07DRB00067] (L-22) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
4. **Project# 1006502**  
07DRB-70015 VACATION OF PUBLIC  
EASEMENT

A & J HOMES INC agent(s) for BEATRICE ALCON request(s) the above action(s) for all or a portion of Lot(s) FF, Block(s) 4, **THE PALISADES REPLAT** zoned R-1, located on LA BAJADA CT NW BETWEEN PALISADES NW AND LA RAJADA DR NW containing approximately .2475 acre(s). (J-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
5. **Project# 1006503**  
07DRB-70019 MAJOR - SDP FOR  
BUILDING PERMIT

CHESH ENT INC request(s) the above action(s) for all or a portion of Lot(s) 6, **JOURNAL CENTER, UNIT 2**, zoned IP, located on MASTHEAD NE BETWEEN WASHINGTON NE AND JEFFERSON NE containing approximately .53 acre(s). (D-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR REMOVAL OF THE ENCROACHMENTS IN THE 20-FOOT WATERLINE EASEMENT AND TRANSPORTATION DEVELOPMENT FOR ADA RAMP, SMALL CAR SPACE PAINTING, PARKING COUNTS, CITY STANDARD DRAWING NOTES, 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN.**

**6. Project # 1002962**

07DRB-00613 Major-SiteDev Plan Subd  
07DRB-00615 Major-SiteDev Plan  
BldPermit

BOHANNAN HUSTON INC agent(s) for CANTATA AT THE TRAILS INC request(s) the above action(s) for Tract 5 and a portion of Tract 4 OS, THE TRAILS, UNIT 2, (to be known as **CANTATA AT THE TRAILS**) zoned SU-2 UR located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE NW containing approximately 25 acre(s). [REF: 04DRB-01322] [Deferred from 06/06/07 & 06/20/07] (C-9) **DEFERRED AT AGENT'S REQUEST TO 06/27/07.**

**7. Project # 1005031**

06DRB-01077 Major-Vacation of Public Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] [Deferred from 8/23/06, 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07 & 6/20/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 7/18/07.**

06DRB-01017 Major-Preliminary Plat Approval  
06DRB-01018 Minor-Temp Defer SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) [Deferred from 8/9/06, 8/23/06, 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07 & 6/20/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 7/18/07.**

06DRB-01282 Minor-Subd Design (DPM) Variance

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] [Deferred from 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07 & 6/20/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 7/18/07.**

**8. Project # 1005070**

06DRB-01154 Major-Preliminary Plat Approval  
06DRB-01156 Minor-Sidewalk Waiver  
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). [Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07 & 6/20/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 7/18/07.**

9. **Project # 1004075**  
06DRB-01537 Major-Vacation of Pub  
Right-of-Way  
06DRB-01539 Minor-Vacation of Private  
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [Deferred from 11/15/06,12/13/06, 1/3/07,1/17/07, 2/7/07, 2/28/07, 3/21/07,04/11/07, 05/02/07 & 5/30/07 & 6/20/07]. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 7/11/07.**

10. **Project # 1005564**  
07DRB-00619 Major-Preliminary Plat  
Approval

MARK SNAPP agent(s) for CALITERRA DEVELOPMENT request(s) the above action(s) for all or any portion of Tract(s) 212-BIA & 210-BIA, **RIO PERLES ADDITION**, zoned R-2, located on AMADO NW between RICE RD NW and SERNA RD NW containing approximately 1 acre(s). [Deferred from 06/06/07 & 6/20/07] (H-12) **DEFERRED AT THE AGENT'S REQUEST TO 7/25/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

11. **Project# 1000762**  
07DRB-70053 EPC APPROVED SDP  
FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for FOUNTAIN HILLS PLAZA LLC request(s) the above action(s) for all or a portion of Tract(s) 2B, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 FOR IP USES W/ EXCEPTIONS, located on PASEO DEL NORTE NW BETWEEN PARADISE BLVD NW AND EAGLE RANCH RD NW containing approximately 21 acre(s). [Carmen Marrone for Stephanie Shumsky, EPC Case Planner] (C-12) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SEVERAL COMMENTS AND TO PLANNING FOR 3 COPIES.**

12. **Project# 1005482**  
07DRB-70059 EPC APPROVED SDP  
FOR BUILD PERMIT

DESIGN PLUS LLC agent(s) for STONEBRIDGE INVESTMENT GROUP request(s) the above action(s) for all or a portion of Tract(s) 2 & 3, **MIRA MESA ESTATES**, zoned C-2 SC, located on HANOVER RD NW BETWEEN 64<sup>th</sup> ST NW AND 68<sup>th</sup> ST NW containing approximately 5 acre(s). [Anna Di Mambro, EPC Case Planner] [Deferred from 6/20/07] (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 6/27/07.**



13. **Project# 1006505**  
07DRB-70021 MINOR - SDP FOR  
BUILDING PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for EDDIE CORLEY JR & SR LLC request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19, 20 & a portion 21, Tract(s) A, Block(s) 9, NORTH ALBUQUERQUE ACRES, UNIT B, (to be known as **CORLEY'S ALBUQUERQUE**) zoned SU-2 FOR IP USES, located on EAGLE ROCK ROAD NE BETWEEN EAST FRONTAGE ROAD NE AND SAN PEDRO NE containing approximately 3.9 acre(s). [Deferred from 06/06/07 & 6/13/07] (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES.**

07DRB-70055 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for EDDIE CORLEY request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19, 20 & portion of 21, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, Unit(s) B**, zoned SU-2 IP, located on EAGLE ROCK AVE NE BETWEEN PAN AMERICAN FREEWAY NE AND SAN PEDRO DR NE containing approximately 4.7346 acre(s). (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/20/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/21/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

#### **MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

14. **Project# 1004878**  
07DRB-70050 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for GEORGE METZGAR request(s) the above action(s) for all or a portion of Lot(s) 9-A, 9-B, 9-C & 9-D, Block(s) A, **SOUTH BROADWAY ACRES, Unit(s) 1**, zoned SU-2 MR, located on BETHEL DR SE AND TOPEKA ST SE containing approximately 1.2413 acre(s). (M-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project# 1005240**  
07DRB-70056 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for ROBIN HENDREXSON request(s) the above action(s) for all or a portion of Tract(s) H-1 & K-1, **GATEWAY INDUSTRIAL PARK**, zoned SU-1 FOR PLANNED IND DEVELOP, located on BROADWAY BLVD NE BETWEEN CLAREMONT AVE NE AND MENAUL BLVD NE containing approximately 4.3249 acre(s). (H-14/15) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

16. **Project# 1004161**  
07DRB-70040 MAJOR - FINAL PLAT APPROVAL
- HIGH MESA CONSULTING GROUP agent(s) for WILLIAM AND BENITA BRENNAN request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, **RIVERSIDE PLAZA**, zoned SU-1 FOR PRD/8DU/ACRE REQ. LANDSCAPE, located on WINTER HAVEN RD NW BETWEEN LA ORILLA RD NW AND MONTANO PLAZA DRIVE NW containing approximately 3.1719 acre(s). (E-12) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR 2 SEWER ACCOUNTS FOR THE EXISTING HOMES AND TO PLANNING FOR HOMEOWNERS ASSOCIATION COMMENTS AND RESTRICTIONS, PARK NOTE AND OPEN SPACE REQUIREMENT.**
17. **Project# 1000072**  
07DRB-70041 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- DR HORTON request(s) the above action(s) for all or a portion of Tract(s) AA & BB, Block(s) 1, **CARMEL SUBDIVISION**, zoned R-D, located on CARMELITO LOOP NE BETWEEN HOLLY AVE NE AND CARMEL AVE NE containing approximately .1491 acre(s). [Indef Def from 6/20/07](C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
18. **Project #1003828**  
07DRB-00717 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- WILLIAM T CANIGLIA, agent(s) for CANDELARIA VILLAGE COMPANY request(s) the above action(s) for all or a portion of Lot(s) 38, **CANDELARIA VILLAGE**, zoned R-1, located on 12<sup>TH</sup> ST NW and DON FRANCISCO PL NW containing approximately 0.338 acre(s). [Defer from 06/20/07] (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 7/11/07.**
19. **Project# 1003445**  
07DRB-70054 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for FOUNTAIN HILLS PLAZA LLC request(s) the above action(s) for Tract(s) B-1-A, C-1-A, D-1-A & Lot(s) 6-A-1-A, A and 10-A-2, Block(s) D, Unit 1, ALBUQUERQUE WEST, **FOUNTAIN HILLS** and Tract(s) B, RICHLAND HILLS, UNIT 1, zoned SU-1 FOR IP USES W/EXCEPTIONS & PDA TO INCLUDE C-3 USES, located on NUNZIO AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 39.9074 acre(s). [REF: 07DRB00261] (C-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/20/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/04/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: VACATE THE 10-FOOT PUBLIC UTILITY EASEMENT, MAINTENANCE AND BENEFICIARIES OF 24-FOOT EASEMENT AND NOTE 5, A ROUNDABOUT DESIGN AND ENSURE 1-FOOT PUBLIC RIGHT-OF-WAY EASEMENT IS EXCLUSIVE OF 10-FOOT PUBLIC UTILITY EASEMENT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

20. **Project# 1003364**  
07DRB-70003 EPC APPROVED SDP  
FOR BUILD PERMIT

TAFAZZUL HUSSAIN agent(s) for PHILLIP LINDBORG request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned SU-2 MIXED USE, located on HOLLY AVE NE BETWEEN LOUISIANA NE AND WYOMING NE containing approximately 1 acre(s). **[Anna DiMambro, EPC Case Planner] [Indef deferred from 5/30/07] [Defer from 06/20/07] (C-19) DEFERRED AT THE AGENT'S REQUEST TO 6/27/07.**

21. **Project# 1003692**  
07DRB-70035 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

WILSON AND COMPANY INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) A, B, AND C, LANDS OF ALBUQUERQUE PUBLIC SCHOOLS (to be known as **HEIGHTS COMMUNITY CENTER**) zoned SU-2 for O-1, located on BUENA VISTA AVE SE BETWEEN ST. CYR AVE SE AND COAL AVE SE containing approximately 7.916 acre(s)(K-15) **[Deferred from 6/13/07 & Indef Deferred on 06/20/07] INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

22. **Project# 1006543**  
07DRB-70058 SKETCH PLAT REVIEW  
AND COMMENT

SURVEYS SOUTHWEST LTD agent(s) for ALBERTSON'S INC request(s) the above action(s) for all or a portion of Tract(s) 61 A-1, **TOWN OF ATRISCO GRANT, UNIT 6**, zoned C-2, located on CENTRAL AVE SW BETWEEN COORS BLVD SW AND AMANDA ST SW containing approximately 6.195 acre(s). (K 10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. **Project# 1006541**  
07DRB-70057 SKETCH PLAT REVIEW  
AND COMMENT

HOWARD KARNES & BARBARA REDISH agent(s) request(s) the above action(s) for all or a portion of Lot(s) 11 & 10, Block(s) D, **CHIMNEY RIDGE TOWNHOUSES, A BURNSIDE ENTERPRISE UNIT 6**, zoned SU-1 PUD, located on DEL CAMPO PL NE BETWEEN SAN PEDRO NE AND OSUNA NE. (F-8) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

24. Approval of the Development Review Board Minutes for June 13, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR JUNE 13, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:10 A.M.

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002962**

**AGENDA ITEM NO: 6**

**SUBJECT:**

Site Plan for Building Permit  
Site Plan for Subdivision

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

P.O. Box 1293

An approved drainage report and Infrastructure List is required for Site Plan approval.  
An executed SIA with Financial Guarantees is required for City Engineer sign-off.  
Concurrent platting action is required.

Albuquerque

New Mexico 87103

www.cabq.gov

**RESOLUTION:**

**6-27-07**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED X; COMMENTS PROVIDED ; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee  
(C-09/D001B - CANTATA @ THE TRAILS)

**DATE:** JUNE 20, 2007

appet  
6/27/07

# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1002962 AGENDA# 6 DATE: 6/20/07

1. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
15. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
16. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
17. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

June 6, 2007

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:15 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1001140**  
07DRB-00606 Major-Two Year SIA

SCOTT COLE request(s) the above action(s) for all or any portion of Lot(s) 21, Tract(s) A, Block(s) 26, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 for IP, located on EAGLE ROCK NE between SAN PEDRO NE and LOUISIANA NE containing approximately 1 acre(s). [REF: 01DRB00391, 03DRB00557, 05DRB00717] (C-18) **ONE YEAR EXTENTION OF THE SIA WAS APPROVED.**

2. **Project # 1005546**  
07DRB-00589 Major-Vacation of Pub Right-of-Way

SURV TEK INC agent(s) for BLACK FARMS LLC request(s) the above action(s) for **BLACK FARMS ESTATE, UNIT 2**, zoned RA-1 located on IRVING BLVD NW between VALLEY VIEW DR NW and RIVERFRONTE DR NW. [Deferred from 06/06/07] (C-13) **DEFERRED AT THE AGENT'S REQUEST TO 9/5/07.**

3. **Project # 1002962**  
07DRB-00613 Major-SiteDev Plan Subd  
07DRB-00615 Major-SiteDev Plan  
BldPermit

BOHANNAN HUSTON INC agent(s) for CANTATA AT THE TRAILS INC request(s) the above action(s) for Tract 5 and a portion of Tract 4 OS, THE TRAILS, UNIT 2, (to be known as **CANTATA AT THE TRAILS**) zoned SU-2 UR located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE NW containing approximately 25 acre(s). [REF: 04DRB-01322] [Deferred from 06/06/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/20/07.**

4. **Project # 1003094**  
07DRB-00616 Major-Preliminary Plat  
Approval  
07DRB-00617 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for ALVARADO-SG LLC C/O ROMERO ROSE LLC request(s) the above action(s) for all or any portion of Lot(s) 1-24, Block(s) 30, NEW MEXICO TOWN COMPANYS ORIGINAL TOWNSITE (to be known as **SILVER TOWNHOMES**) zoned SU-3 housing focus, located on SILVER AVE SW between 2<sup>nd</sup> ST SW and 3<sup>rd</sup> ST SW containing approximately 2 acre(s). [REF: 03DRB01886, 03DRB01997, 06DRB01787] (K-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/06/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/10/07 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

5. **Project # 1005354**  
07DRB-00614 Major-Vacation of Public  
Easements

BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND TRUST request(s) the above action(s) for all or any portion of Lot(s) B-2-A, **DUKE CITY LUMBER COMPANY ADDITION**, zoned SU2-S-I, located on BELLAMAH AVE NW between 18<sup>th</sup> ST NW and 19<sup>th</sup> ST NW containing approximately 8 acre(s). [REF: 07DRB-00499, 07DRB-00500] (J-13) **THE VACATION WAS APPROVED AS SHOWN OF EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITION OF FINAL PLAT: THE EXISTING WATERLINE MUST BE RELOCATED AND ABANDONED AS REQUIRED BY THE WATER UTILITY DEPARTMENT.**

6. **Project # 1005564**  
07DRB-00619 Major-Preliminary Plat  
Approval

MARK SNAPP agent(s) for CALITERRA DEVELOPMENT request(s) the above action(s) for all or any portion of Tract(s) 212-BIA & 210-BIA, **RIO PERLES ADDITION**, zoned R-2, located on AMADO NW between RICE RD NW and SERNA RD NW containing approximately 1 acre(s). *[Deferred from 06/06/07]* (H-12) **DEFERRED AT THE AGENT'S REQUEST TO 6/20/07.**

7. **Project # 1002371**  
07DRB-00577 Major-Vacation of Public  
Easements  
07DRB-00576 Minor-Prelim&Final Plat  
Approval

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or any portion of Tract(s) 1-A-1, Block(s) 15, ALBAN HILLS (to be known as **HOFFMANTOWN WEST CHURCH**) zoned SU-1 for R-2 with church related uses, located on LA ORILLA RD NW between COORS BLVD NW and the CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB01824, 03DRB02150, 05DRB00560, 03DRB02085, 03DRB02086, 03EPC01285, 07DRB00286] *[Deferred from 5/30/07 & 06/06/07]* (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 6/20/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

8. **Project# 1004735**  
07DRB-70022 EPC APPROVED SDP  
FOR BUILD PERMIT  
07DRB-70023 EPC APPROVED SDP  
FOR SUBDIVISION

DORMAN & BREEN ARCHITECTS agent(s) for TRAMWAY COMMUNITY CHURCH request(s) the above action(s) for all or a portion of Lot(s) 1-A, **TRAMWAY RIDGE**, zoned SU-1 FOR CHURCH AND RELATED FACILITIES, located on TRAMWAY RIDGE NE BETWEEN MANITOBA NE AND MONTGOMERY BLVD NE containing approximately 3.938 acre(s). **[Catalina Lehner, EPC Case Planner]** *[Deferred from 06/06/07]* (F-22) **DEFERRED AT THE AGENT'S REQUEST TO 6/13/07.**

9. **Project# 1006505**  
07DRB-70021 MINOR - SDP FOR  
BUILDING PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for EDDIE CORLEY JR & SR LLC request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19, 20 & a portion 21, Tract(s) A, Block(s) 9, **NORTH ALBUQUERQUE ACRES, UNIT B**, (to be known as **CORLEY'S ALBUQUERQUE**) zoned SU-2 FOR IP USES, located on EAGLE ROCK ROAD NE BETWEEN EAST FRONTAGE ROAD NE AND SAN PEDRO NE containing approximately 3.9 acre(s). *[Deferred from 06/06/07]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 6/13/07.**



10. **Project # 1003993**  
07DRB-00591 Minor-SiteDev Plan  
BldPermit/EPC

SUJAY THAKUR request(s) the above action(s) for all or any portion of Tract(s) A-37-1, NE UNIT TOWN OF ATRISCO GRANT (to be known as **GLOBAL STORAGE**) zoned SU-1 O-1 located on COORS BLVD NW between ST JOSEPHS NW and SEQUOIA NW containing approximately 4 acre(s). [REF: 07EPC-00113, 07EPC-00112, 06DRB01003, 06DRB01005] [**Maggie Gould, EPC Case Planner**] [*Indef deferred on 5/16/07*] [*Deferred from 5/23/07*] (G-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/6/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR INFRASTRUCTURE LANGUAGE, SMALL CAR SPACES TO BE PAINTED ON PAVEMENT, AISLE WIDTHS TO BE LABELLED AND 3 COPIES OF THE PLAN.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

11. **Project# 1002743**  
07DRB-70024 MAJOR - FINAL PLAT  
APPROVAL

DAC ENTERPRISES, INC agent(s) for HARVEST LAND, LLC request(s) the above action(s) for all or a portion of Tract(s) I & J, **LA LUZ DEL OESTE**, zoned SU-1 FOR PRD, located on COORS BLVD NW BETWEEN WESTERN TRAIL NW AND DELLYNE NW containing approximately 4 acre(s). [*Deferred from 6/6/07*] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 6/13/07.**

12. **Project# 1006507**  
07DRB-70025 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

COMMUNITY SCIENCES CORP agent(s) for K & M DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19 & 20, Block(s) 30, RAYNOLDS ADDITION (to be known as **14<sup>TH</sup> & COAL SUBDIVISION, UNIT 1**) zoned SU-2/MFR, located on 14<sup>TH</sup> ST SW BETWEEN IRON SW AND LEAD SW containing approximately 0.33 acre(s). [REF: DRB 1005244] (K-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/6/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/1/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: P-2 LOT DESIGNATIONS ARE REQUIRED ON ALL LOTS. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

13. **Project# 1006509**  
07DRB-70026 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

COMMUNITY SCIENCES CORP agent(s) for K & M DEVELOPMENT INC. request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15, 16, 17, 18 AND 19, Block(s) 29, **HUNING CASTLE ADDITION** zoned SU-2 FOR MFR, located on 14<sup>TH</sup> ST SW BETWEEN IRON SW AND LEAD SW containing approximately .68 acre(s). [REF: 1005244] (K-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/6/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/1/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: P-2 LOT DESIGNATIONS ARE REQUIRED ON ALL LOTS. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

14. **Project# 1005182**  
07DRB-70014 AMENDMENT TO  
PRELIMINARY PLAT

WILSON AND COMPANY INC agent(s) for LA CUENTISTA II LLC request(s) the above action(s) for all or a portion of Tract(s) C, **LA CUENTISTA SUBDIVISION, UNIT 2**, zoned SU-2 SRSL, located on ROSA PARKS RD NW between ALOE RD NW and KIMMICK DR NW containing approximately 35.4714 acre(s). [REF: 1000922] [Deferred from 5/30/07] (C-10 & C-11) **WITH THE SIGNING OF THE NEW INFRASTRUCTURE LIST DATED 6/6/07 THE PREVIOUS INFRASTRUCTURE LIST IS VOID, HOWEVER, THIS INFRASTRUCTURE LIST WILL HAVE THE SAME DATE AS THE VOIDED ONE. THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT APPROVAL: REVISE GATE QUEQUING ANALYSIS, RE-EVALUATE RIGHT-OF-WAY WIDTHS AT ENTRANCES OF SUBDIVISION. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

**NO SKETCH PLATS THIS WEEK . . . .**

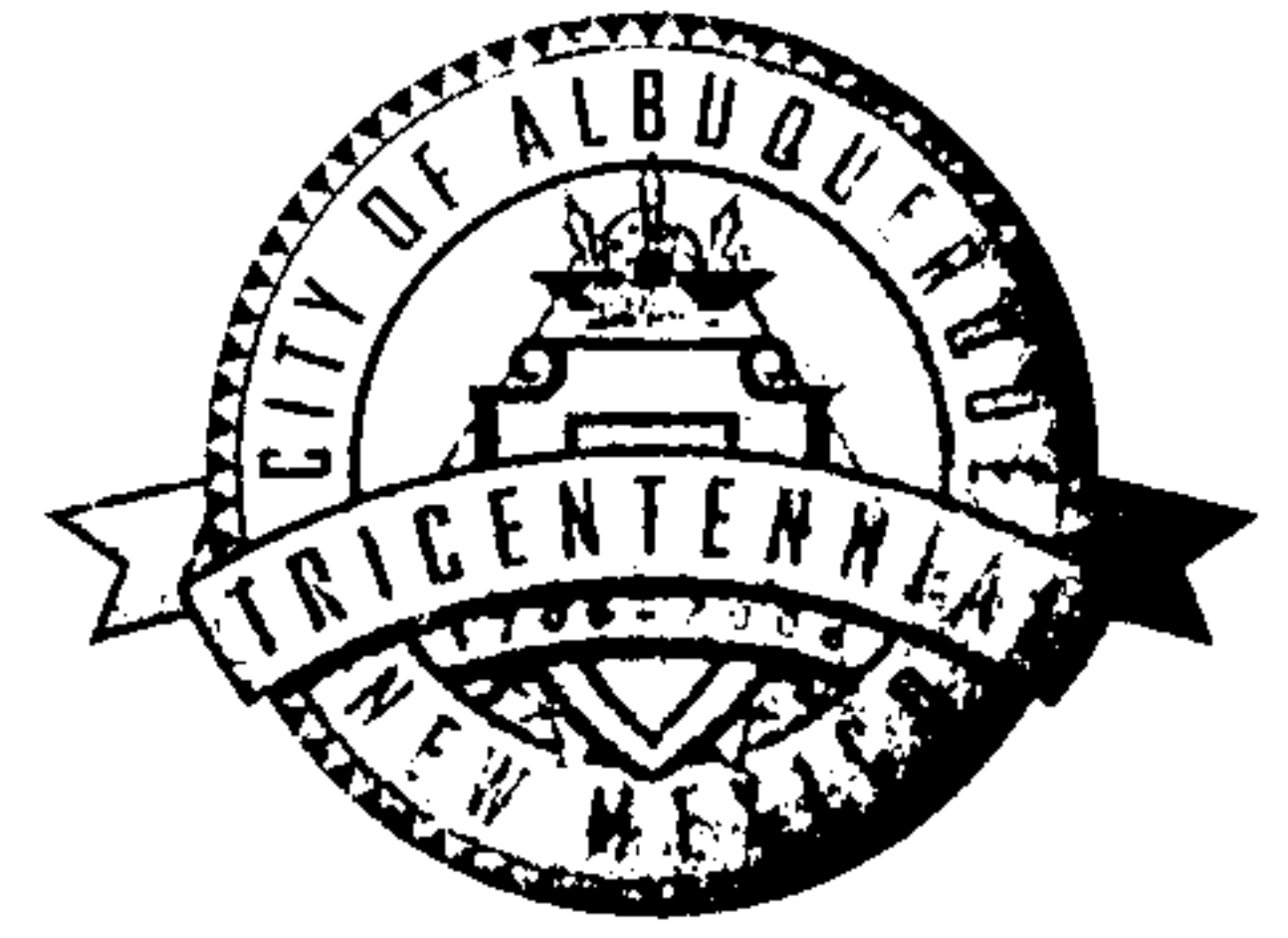
15. **Approval of the Development Review Board Minutes for May 30, 2007. THE DEVELOPMENT REVIEW BOARD MINUTES FOR MAY 30, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:15 A.M.

# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1002962 AGENDA# 3 DATE: 06/06/07

1. Name: Scott Steffen Address: COURTYARD 1  
7500 JEFFERSON ST Zip: 87109
2. Name: Rick Behrman Address: 7007 JEFFERSON Zip: 87109
3. Name: Paul Wymel Address: JACOB JEFFERSON NE Zip: 87109
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
15. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
16. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
17. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002962**

**AGENDA ITEM NO: 3**

**SUBJECT:**

Site Plan for Building Permit  
Site Plan for Subdivision

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

P.O. Box 1293

An approved drainage report and Infrastructure List is required for Site Plan approval.  
An executed SIA with Financial Guarantees is required for City Engineer sign-off.

Albuquerque

New Mexico 87103

www.cabq.gov

**RESOLUTION:**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED <sup>6-20-07</sup> X; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** JUNE 6, 2007

(C-09/D001B)



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

June 6, 2007

**Project # 1002962**

07DRB-00613 Major-SiteDev Plan Subd

07DRB-00615 Major-SiteDev Plan BldPermit

BOHANNAN HUSTON INC agent(s) for CANTATA AT THE TRAILS INC request(s) the above action(s) for Tract 5 and a portion of Tract 4 OS, THE TRAILS, UNIT 2, (to be known as **CANTATA AT THE TRAILS**) zoned SU-2 UR located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE NW containing approximately 25 acre(s). [REF: 04DRB-01322] (C-9)

AMAFCA

No adverse comments.

COG

On the Long Range Roadway System Map, Universe Bd is designated a minor arterial with an established right-of-way of 86 feet. Coordination with DMD is recommended to insure application conformity with this adopted policy of the MTB.

Transit

No comments received.

Zoning Enforcement

No adverse comments.

Neighborhood Coordination

No association(s).

APS

**Cantata at the Trails** (Tract 5 and a portion of Tract 4 OS, The Trails Unit 2), located on Oakridge St NW, and near Woodmont Ave NW, is a proposed development that will consist of 260 single family homes. This project will impact Ventana Ranch Elementary School, James Monroe Middle School, and Cibola High School. **All of these schools are over capacity.**

Loc No	School	2007-08 Projections	2006-07 Capacity	Space Available
264	Ventana Ranch	1,474	850	-624
490	James Monroe	1,509	1,274	-235
580	Cibola	2,717	2,300	-417

## APS

A new northwest high school is planned to open with a 9<sup>th</sup> grade academy in 2007 with the remainder of the school to open in 2008. The new northwest high school will relieve overcrowding at Cibola High School.

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
  - Construct new schools or additions
  - Add portables
  - Use of non-classroom spaces for temporary classrooms
  - Lease facilities
  - Use other public facilities
- Improve facility efficiency (short term solution)
  - Schedule Changes
    - Double sessions
    - Multi-track year-round
  - Other
    - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
  - Boundary Adjustments / Busing
  - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

## Police Department

A review of the following DRB case(s) indicates the following problems or crime may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Traffic Volume - more homes increase traffic. Traffic control devices needed in to control excess traffic. Burglaries - More homes more burglaries. Lighting issues - need adequate lighting. Maintenance of landscaping - need to maintain area. Alarm response i.e. false alarms, etc.- Residence alarms.

## Fire Department

Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Electric & Gas

Not approved. Per Fernando Vigil. R/W Agent, 241-4434, e-mail – [fvigil@pnm.com](mailto:fvigil@pnm.com)

Comcast No comments received.

QWEST No comments received.

Environmental Health No comments received.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer

An approved drainage report and Infrastructure List is required for Site Plan approval and an executed SIA with Financial Guarantees is required for City Engineer signoff.

Transportation Development

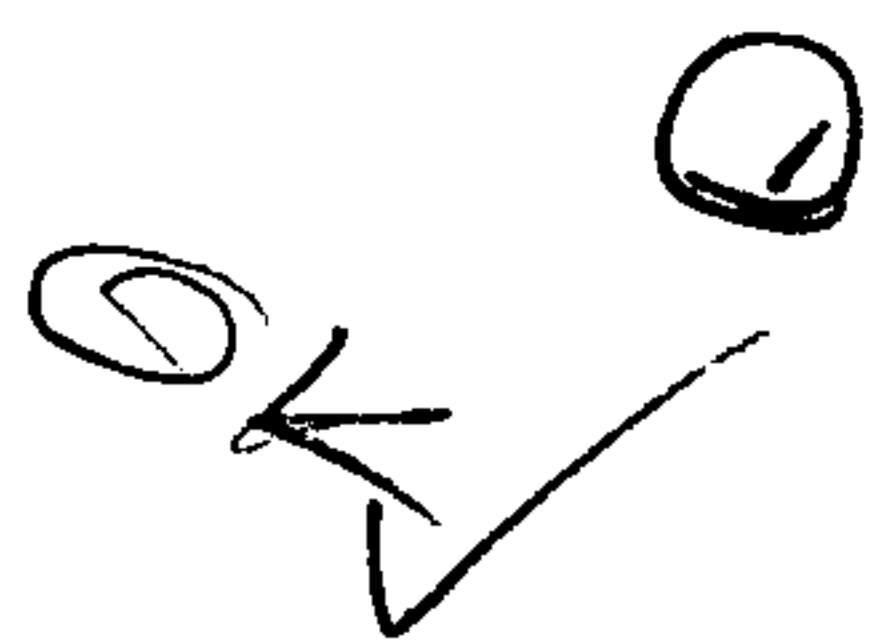
The on-street parking spaces have not been approved. In addition, they will not be allowed to be striped. Are the internal streets private? Cross sections from the VHSDP must be provided to show compliance. Otherwise, DPM standards will need to be followed. Does the roundabout meet FHWA criteria for radius? Why isn't there a connection to Oakridge on the west side? The medians will need to be modified both on Oakridge and Treeline. (A turn bay analysis will be needed for Oakridge.) Where is the infrastructure list? What are the typical parking stall dimensions?

Parks & Recreation

Is this park the location of the second park in the existing park dedication and development agreement? Will the park be encumbered with any easements?

Utilities Development No objection.

Planning Department



Tract OS4, created by the Volcano Heights Sector Plan, is eliminated with this project. However, an agreement was made that the developer will develop and maintain a 3.22 acre park area at the northeast side of former Tract OS4. After 5 years, the park will become the City's responsibility. The required 30 foot trail and open space easement is shown on the site plans. OS Tract 4 is zoned SU-2 for Parks.

Planning Department

Until the zone change is approved, Planning cannot sign off on the site plans unless the Planning Director makes an exception in writing.   
 Until July 1, 2007, Roger Green will sign as the Water Utilities signatory. Please change that signature block line.   
 The perimeter wall design does not meet all of Section 14-16-3-19 Zone Code requirements. Please substitute a lower water use tree for London Plane listed as a high water use plant.   
 Please remove Junipers from the plan as well. Rosemary is a possible substitute. Austrian Pine, an evergreen, is not allowed as a street tree because of the low hanging branches. Same for the Desert Willow.   
 The 35 foot height of the ~~23 story~~ townhomes is the maximum height permitted per the Sector Plan. Setback requirements will be checked at building permit.   
 A statement on the site plan is required that says the setbacks required in the Sector Plan will be met.   
 Are there any major rock outcroppings on the site? If so, revisions to the site plans are needed to preserve them as required on page OS-3 of the Sector Plan.

*Condominium*

Impact Fee Administrator

Construction of a new condominium complex within the proposed subdivision will require payment of Impact Fees. Based on the proposed site development plan showing 576,000 square feet of heated residential space, a club house of 4,000 square feet and an estimated impervious acreage of 13.97 acres, it is estimated that impact fees will be the following: Drainage Fees will be approximately \$196,307; Parks, trails, Recreation, and Open Spaces Fees will be approximately \$696,960; Public Safety Fees will be approximately \$119,232; and Roadways Fees will be approximately \$285,480. The total for Impact Fees will be approximately \$1,297,979.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

Cc: Cantata at the Trails Inc, 7007 Jefferson St NE, 87109  
 Stephanie Walton, Bohannan Huston, 7500 Jefferson NE, 87109

*1. What are the impact fees? 2. Are they included in the price? 3. How much? 4. How are they paid? 5. How long does it take to get the impact fees? 6. How are they calculated? 7. How are they collected? 8. How are they used? 9. How are they reported? 10. How are they audited?*



**CITY OF PLANNING  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** June 6, 2007  
**Z one Atlas Page:** C-9  
**Notification Radius:** 100 Ft.

**Project#** 1002962  
**App#**07DRB-00613  
**07DRB-00615**

**Cross Reference and Location:** BETWEEN WOODMONT AVE NW AND  
OAKRIDGE ST NW

**Applicant:** CANTATA AT THE TRAILS INC  
7007 JEFFERSON ST NE  
ALBUQUERQUE, NM 87109

**Agent:** STEPHANIE WALTON  
BOHANNAN HUSTON  
7500 JEFFERSON NE  
ALBUQUERQUE, NM 87109

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** MAY 18, 2007  
**Signature:** ERIN TREMLIN



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, June 6, 2007**, beginning at **9:00 a.m.** for the purpose of considering the following:

**Project # 1001140**

07DRB-00606 Major-Two Year SIA

SCOTT COLE request(s) the above action(s) for all or any portion of Lot(s) 21, Tract(s) A, Block(s) 26, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 for IP, located on EAGLE ROCK NE between SAN PEDRO NE and LOUISIANA NE containing approximately 1 acre(s). [REF: 01DRB00391, 03DRB00557, 05DRB00717] (C-18)

**Project # 1005546**

07DRB-00589 Major-Vacation of Pub Right-of-Way

SURV TEK INC agent(s) for BLACK FARMS LLC request(s) the above action(s) for **BLACK FARMS ESTATE, UNIT 2**, zoned RA-1 located on IRVING BLVD NW between VALLEY VIEW DR NW and RIVERFRONTE DR NW. (C-13)

**Project # 1002962**

07DRB-00613 Major-SiteDev Plan Subd  
07DRB-00615 Major-SiteDev Plan BldPermit

BOHANNAN HUSTON INC agent(s) for CANTATA AT THE TRAILS INC request(s) the above action(s) for Tract 5 and a portion of Tract 4 OS, **THE TRAILS, UNIT 2**, (to be known as **CANTATA AT THE TRAILS**) zoned SU-2 UR located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE NW containing approximately 25 acre(s). [REF: 04DRB-01322] (C-9)

**Project # 1003094**

07DRB-00616 Major-Preliminary Plat Approval  
07DRB-00617 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for ALVARADO-SG LLC C/O ROMERO ROSE LLC request(s) the above action(s) for all or any portion of Lot(s) 1-24, Block(s) 30, NEW MEXICO TOWN COMPANYS ORIGINAL TOWNSITE (to be known as **SILVER TOWNHOMES**) zoned SU-3 housing focus, located on SILVER AVE SW between 2<sup>nd</sup> ST SW and 3<sup>rd</sup> ST SW containing approximately 2 acre(s). [REF: 03DRB01886, 03DRB01997, 06DRB01787] (K-14)

**Project # 1005354**

07DRB-00614 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND TRUST request(s) the above action(s) for all or any portion of Lot(s) B-2-A, **DUKE CITY LUMBER COMPANY ADDITION**, zoned SU2-S-I, located on BELLAMAH AVE NW between 18<sup>th</sup> ST NW and 19<sup>th</sup> ST NW containing approximately 8 acre(s). [REF: 07DRB-00499, 07DRB-00500] (J-13)

**SEE PAGE 2 . . .**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

**PAGE 2**

**Project # 1005564**  
07DRB-00619 Major-Preliminary Plat  
Approval

MARK SNAPP agent(s) for CALITERRA DEVELOPMENT request(s) the above action(s) for all or any portion of Tract(s) 212-BIA & 210-BIA, **RIO PERLES ADDITION**, zoned R-2, located on AMADO NW between RICE RD NW and SERNA RD NW containing approximately 1 acre(s). (H-12)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 21, 2007.**

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

08/27/2008 Issued By: PLNSDH

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**Permit Number:** 2008 070 292 **Category Code 910**  
**Application Number:** 08DRB-70292, Major - 2yr Subd Imp Agmt Ext (2yr Sia)  
**Address:**  
**Location Description:** RAINBOW RD NW BETWEEN PASEO DEL NORTE NW AND WOODMONT AVE NW  
**Project Number:** 1002962

**Applicant**  
The Trails

**Agent / Contact**  
Wilson And Company

7007 Jefferson St Ne Ste A  
Rio Rancho NM 87108  
761-8911

2600 The American Rd Ste 100  
Rio Rancho NM 87124

**Application Fees**

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
<b>TOTAL:</b>		<b>\$145.00</b>

City Of Albuquerque  
Treasury Division

6/27/2008 10:27AM LOC: ANNX  
WS# 006 TRANS# 0017  
RECEIPT# 00094006-00094006  
PERMIT# 2008070292 TRSDMG  
Trans Amt \$145.00  
APN Fee \$75.00  
Conflict Manag. Fee \$20.00  
DRB Actions \$50.00  
VI \$145.00  
CHANGE \$0.00

Thank You

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

10/19/2007 Issued By: PLNABG

**Permit Number: 2007 070 326** **Category Code 910**

**Application Number:** 07DRB-70326, Vacation Of Public Easement

**Address:**

**Location Description:** NORTHWEST CORNER OF WOODMONT AVE NW AND RAINBOW BLVD NW  
BETWEEN PASEO DEL NORTE AND UNIVERSE BLVD

**Project Number:** - 1002982

**Applicant**

The Church Of Jesus Christ Of Latter-Day Saints

830 East Second Ave  
Albuquerque, NM 85204

**Agent / Contact**

High Mesa Consulting Group  
Debie Trujillo  
8010-B Midway Park Blvd Ne  
Albuquerque, NM 87109

dtrujillo@highmesacg.com

**Application Fees**

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$345.00
<b>TOTAL:</b>		<b>\$440.00</b>

City Of Albuquerque  
Treasury Division

10/19/2007 11:44AM LOC: ANNX  
WSH 006 TRANS# 0019  
RECEIPT# 00083474-00083475  
PERMIT# 2007070326 TRSCCS  
Trans Amt \$655.00  
APN Fee \$75.00  
Conflict Manag. Fee \$20.00  
DRB Actions \$345.00  
CK \$655.00  
CHANGE \$0.00

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

10/19/2007 Issued By: PLNABG

-----  
**Permit Number: 2007 070 327** **Category Code 910**

**Application Number:** 07DRB-70327, Minor - Preliminary/ Final Plat Approval

**Address:**

**Location Description:** NORTHWEST CORNER OF WOODMONT AVE NW AND RAINBOW BLVD NW  
BETWEEN PASEO DEL NORTE AND UNIVERSE BLVD

**Project Number:** 1002962

**Applicant**

The Church Of Jesus Christ Of Latter-Day Saints  
  
830 East Second Ave  
, NM 85204

**Agent / Contact**

High Mesa Consulting Group  
Debie Trujillo  
6010-B Midway Park Blvd Ne  
Albuquerque, NM 87109

dtrujillo@highmesacg.com

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$215.00
<b>TOTAL:</b>		<b>\$215.00</b>

City Of Albuquerque  
Treasury Division

10/19/2007 11:44AM LOC: ANHX  
WS# 006 TRANS# 0019  
RECEIPT# 00083474-00083474  
PERMIT# 2007070327 TRSCCS  
Trans Amt \$655.00  
DRB Actions \$215.00

Thank You

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
<b>SUBDIVISION</b>	<b>S</b>	<b>ZONING &amp; PLANNING</b>	<b>Z</b>
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	<b>V</b>	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>	<b>APPEAL / PROTEST of...</b>	<b>A</b>
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: The Trails, LLC Attn: Rick Beltramo, PE PHONE: (505)761-9911  
 ADDRESS: 7007 Jefferson Street NE Ste. A FAX: (505) 761-9922  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: rbeltramo@longfordgroup.com  
 Proprietary interest in site: Owner List all owners: The Trails, LLC  
 AGENT (if any): Steve Salazar, PE – Wilson and Company PHONE: (505) 348-4000  
 ADDRESS: 2600 The American Rd. Suite 100 FAX: (505) 898-8501  
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: jsalazar@wilsonco.com

**DESCRIPTION OF REQUEST:** Requests Major – Two Year Extension of Subdivision Improvements Agreement

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract A, B, C, D, F The Trails Block: N/A Unit: N/A  
 Subdiv. / Addn. (Heritage Unit I), (Heritage Unit II), (Santa Fe at the Trails U. 1), (Taos), and Reserve at The Trail  
 Current Zoning: RD Proposed zoning: No Change  
 Zone Atlas page(s): C 9 Z No. of existing lots: n/a No. of proposed lots: n/a  
 Total area of site (acres): 76 ac Density if applicable: dwellings per gross acre:        dwellings per net acre:         
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill?  No  
 UPC No. 100906430838621710 MRGCD Map No. N/A  
 LOCATION OF PROPERTY BY STREETS: On or Near: Rainbow Blvd. NW  
 Between: Paseo del Norte NW and Woodmont Ave. NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): DRB #1002962, 1002928, 1002929, DRC# 730081, 738481, 738482, 730083, 730082, 738483,

Check-off if project was previously reviewed by Sketch Plat/Plan, or Pre-application Review Team . Date of review:

SIGNATURE [Signature] DATE June 27, 2008  
 (Print) Steve J. Salazar, PE Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08DRB - 70292</u>	<u>SIA</u>	<u>5(2)</u>	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>      </u>	<u>ADY</u>	<u>      </u>	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	<u>      </u>	<u>CMF</u>	<u>      </u>	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	<u>      </u>	<u>      </u>	<u>      </u>	<u>\$</u>
<input checked="" type="checkbox"/> Case history #s are listed	<u>      </u>	<u>      </u>	<u>      </u>	<u>\$</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	<u>      </u>	<u>      </u>	<u>      </u>	<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>07/23/08</u>			Total <u>\$ 145.00</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				

Sandy Handley 06/27/08  
 Planner signature / date

Project # 1002962

**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A **Bulk Land Variance** requires application on **FORM-V** in addition to application for subdivision on **FORM-S-3**.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL**

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Proposed Infrastructure List.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application.

Preliminary plat approval expires after one year.

DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

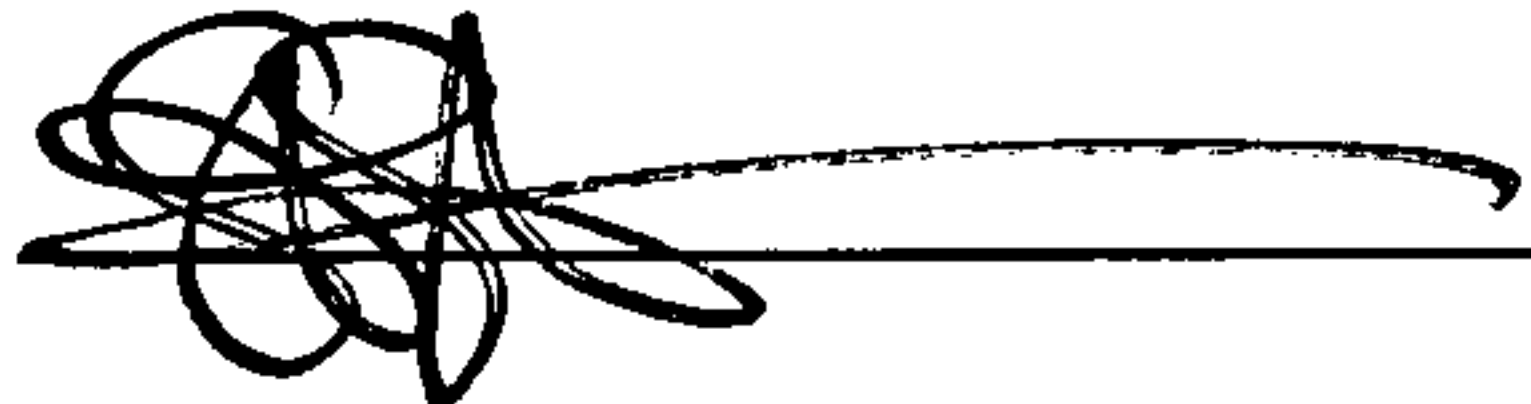
**MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (DRB09)**

**(Temporary sidewalk deferral uses FORM-V)**

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

**DRB Public hearings are approximately ONE MONTH after the filing deadline.** Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Steve Salazar, P.E.  
 \_\_\_\_\_ / Applicant name (print)  
 6/26/08  
 \_\_\_\_\_ / Applicant signature / date



Form revised April 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
08DR13 - 70292  
 \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_

Sandy Handley 06/27/08  
 \_\_\_\_\_ / Planner signature / date  
**Project #** 1002962



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

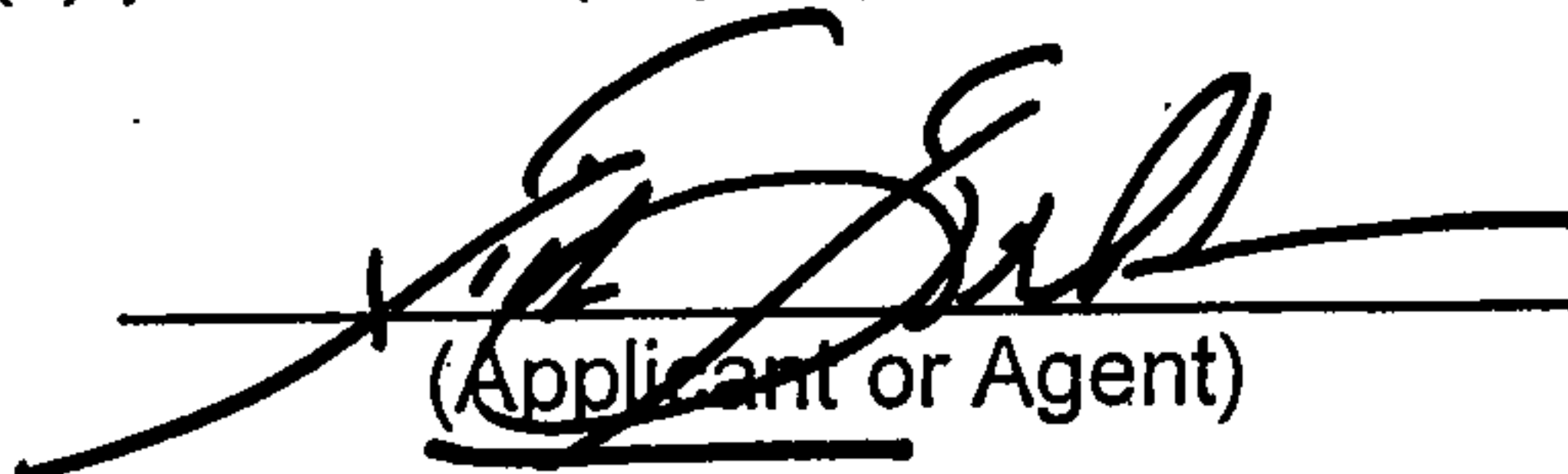
#### 4. TIME

Signs must be posted from JULY 8, 2008 To JULY 23, 2008

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

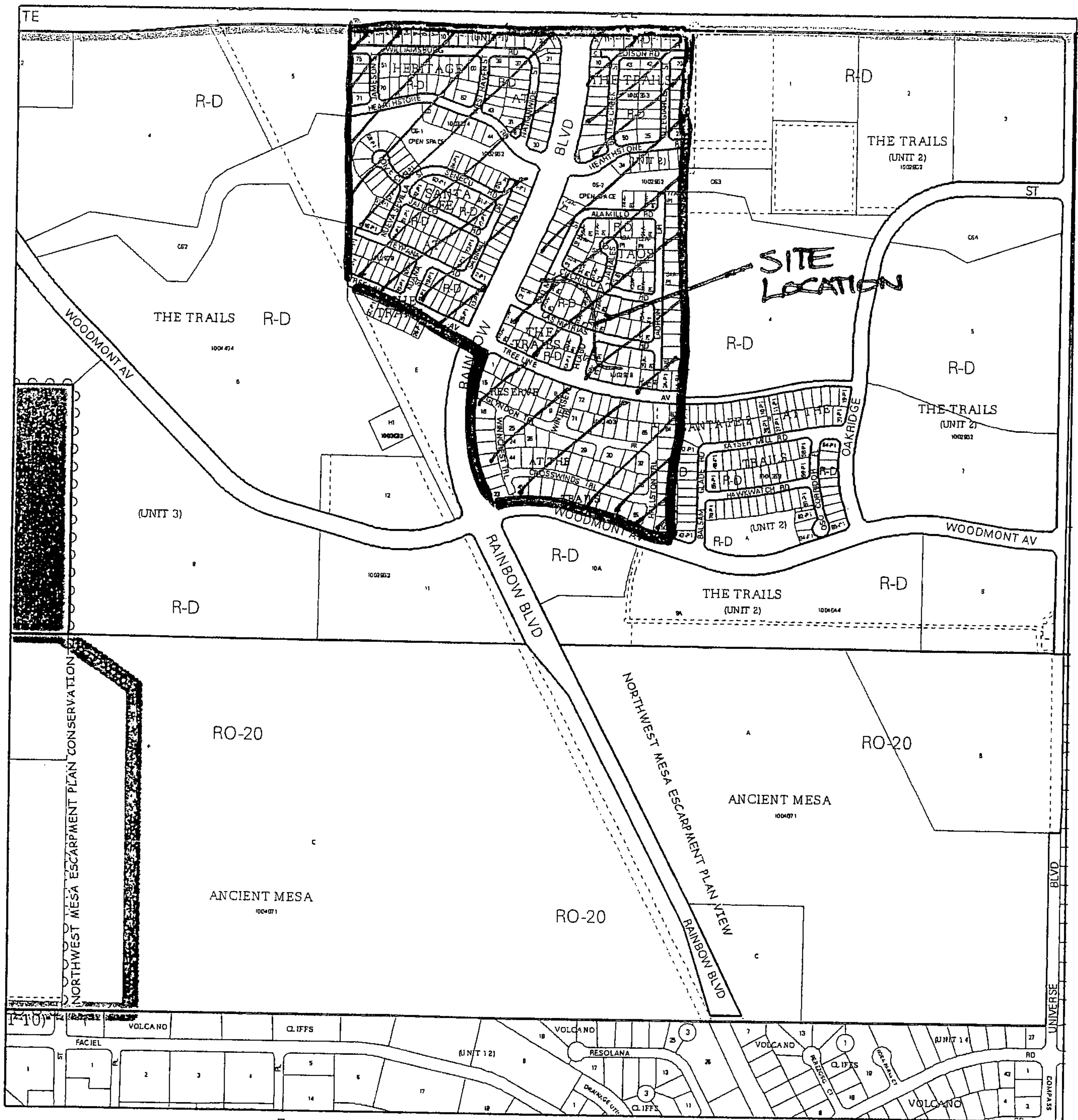
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent)

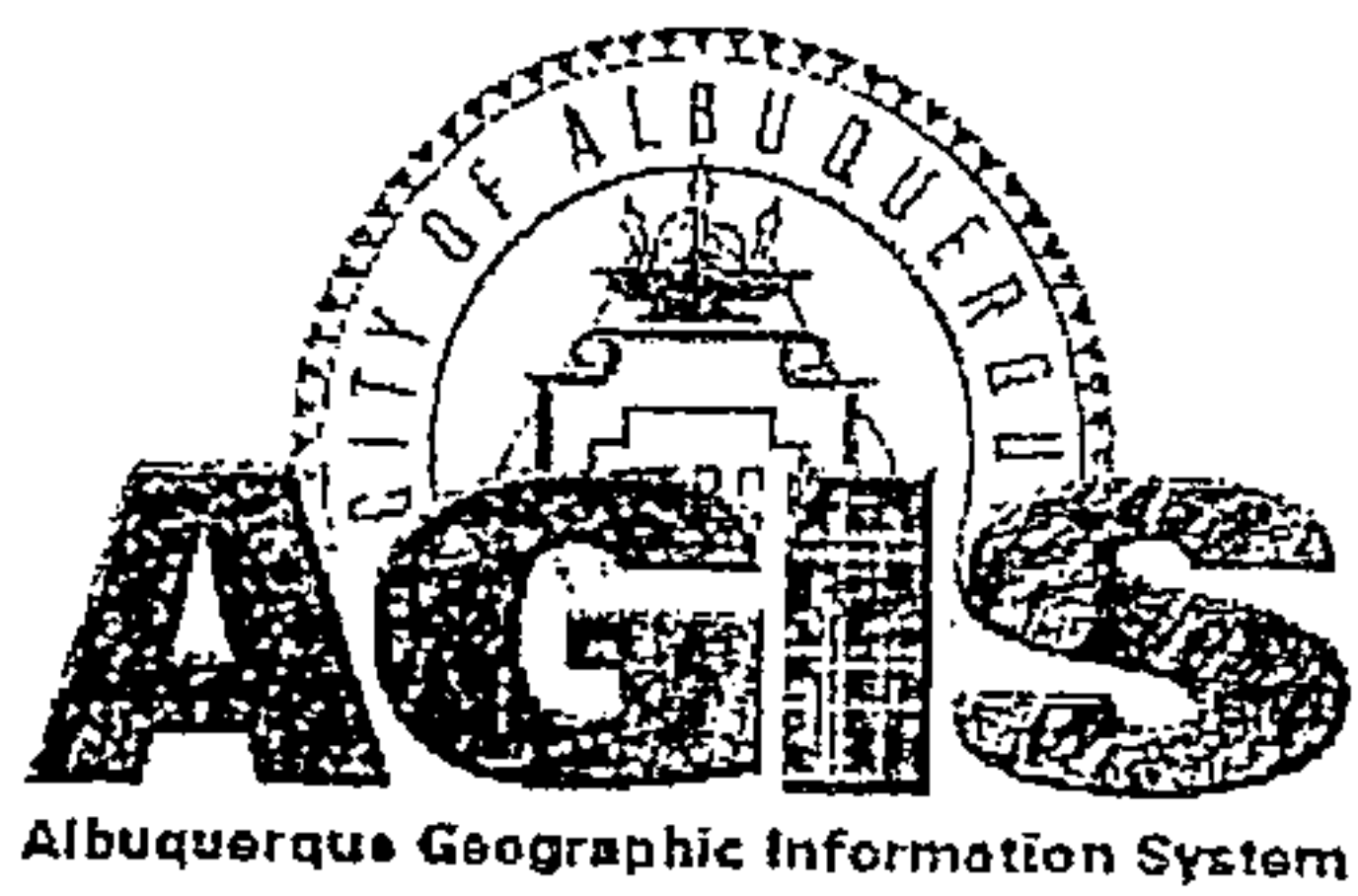
6-27-08  
\_\_\_\_\_  
(Date)

I issued 2 signs for this application, 06/27/08 Sandy Handley  
(Date) (Staff Member)

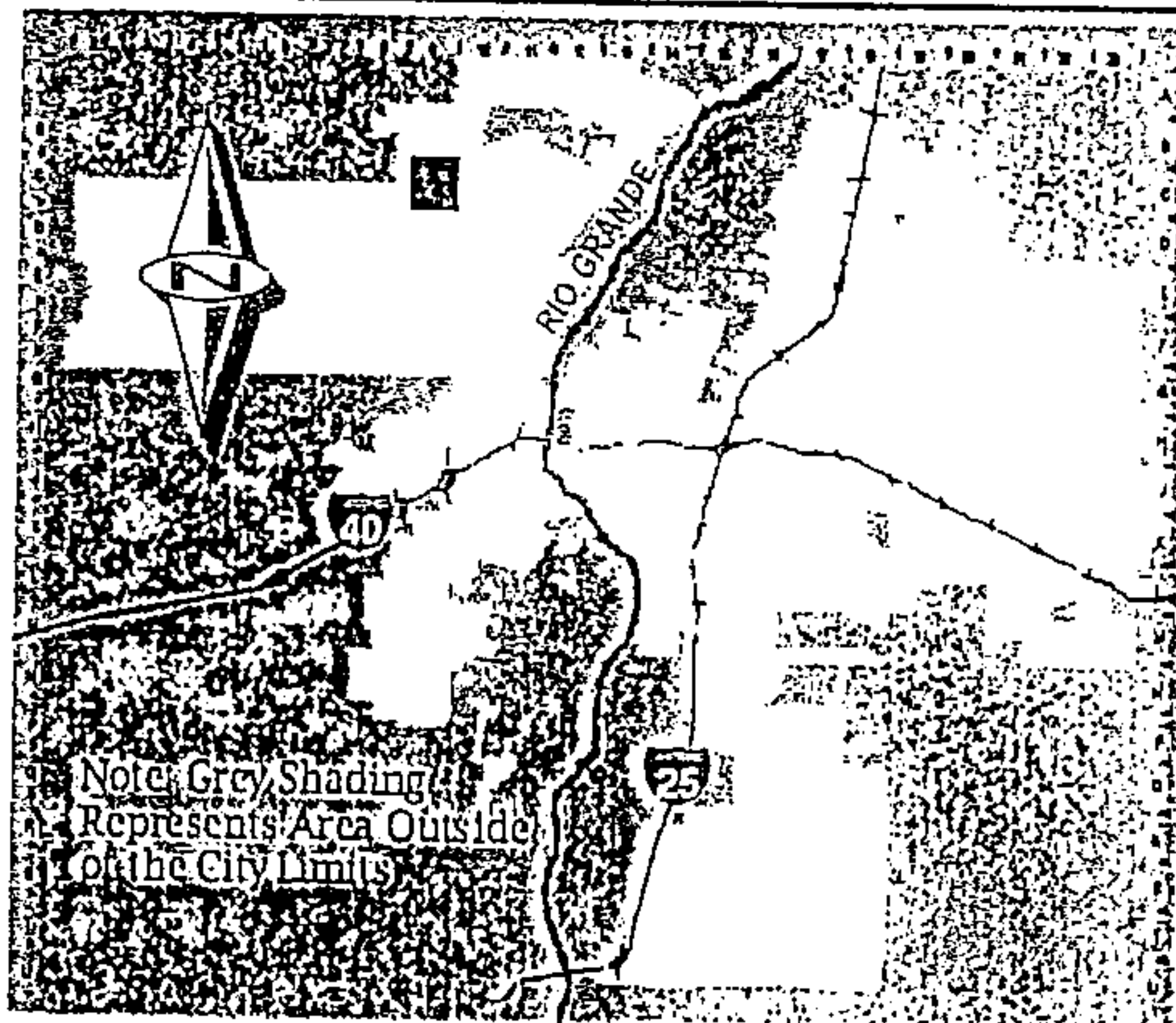
DRB PROJECT NUMBER: 1002962



For more current information and more details visit: <http://www.cabq.gov/gis>



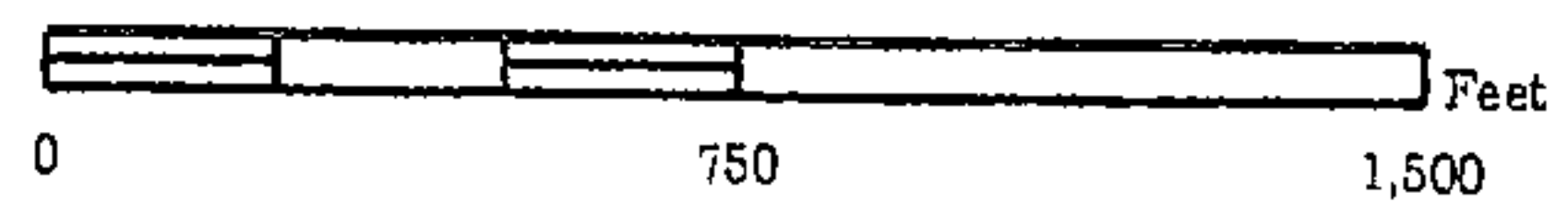
Map amended through: 6/21/2006



Zone Atlas Page:  
**C-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





2600 American Rd. SE, Suite 100  
Rio Rancho, NM 87124  
505-898-8021  
505-898-8501 Fax

Albuquerque  
Arlington  
Colorado Springs  
Denver  
El Paso  
Fort Worth  
Houston  
Kansas City  
Las Cruces  
Lenexa  
Los Angeles  
Omaha  
Phoenix  
Rio Rancho  
Salina  
San Bernardino

26 June 2008

**DRB Chairperson**  
**City of Albuquerque**  
**Development Review Board**  
Plaza Del Sol  
600 Second Street NW  
Albuquerque, NM 87103

Re: *Tracts A, B, C, D, and R at The Trails*  
*(Heritage Units I, II, Santa Fe, Taos, Reserve at the Trails)*  
*Extension of Subdivision Improvements Agreement*  
COA Project Number – 730081, 730082, 730083, 738481, 738482, 738483 (DRB #  
1002929, 1002962); WCI Project #X4218008

Dear Sheran:

This letter is to inform the **City of Albuquerque, Development Review Board** that Wilson & Company, Inc., acting as agents for The Trails LLC, is submitting an extension of Subdivision Improvements Agreement for the above subject property.

The following explanation is the reason for the extension of the subdivision improvements agreement. Longford is requesting extension of SIA to complete the construction of the Storm Drain outfall until the Boca Negra Dam has been constructed. This Boca Negra Project is currently under construction, thus the outfall for the Trails Subdivision is dependent of the Boca Negra. The Storm Drain outfall will be constructed per the COA infrastructure project 761281 per COA standards.

Attached are the items requested by the DRB for the extension of SIA.

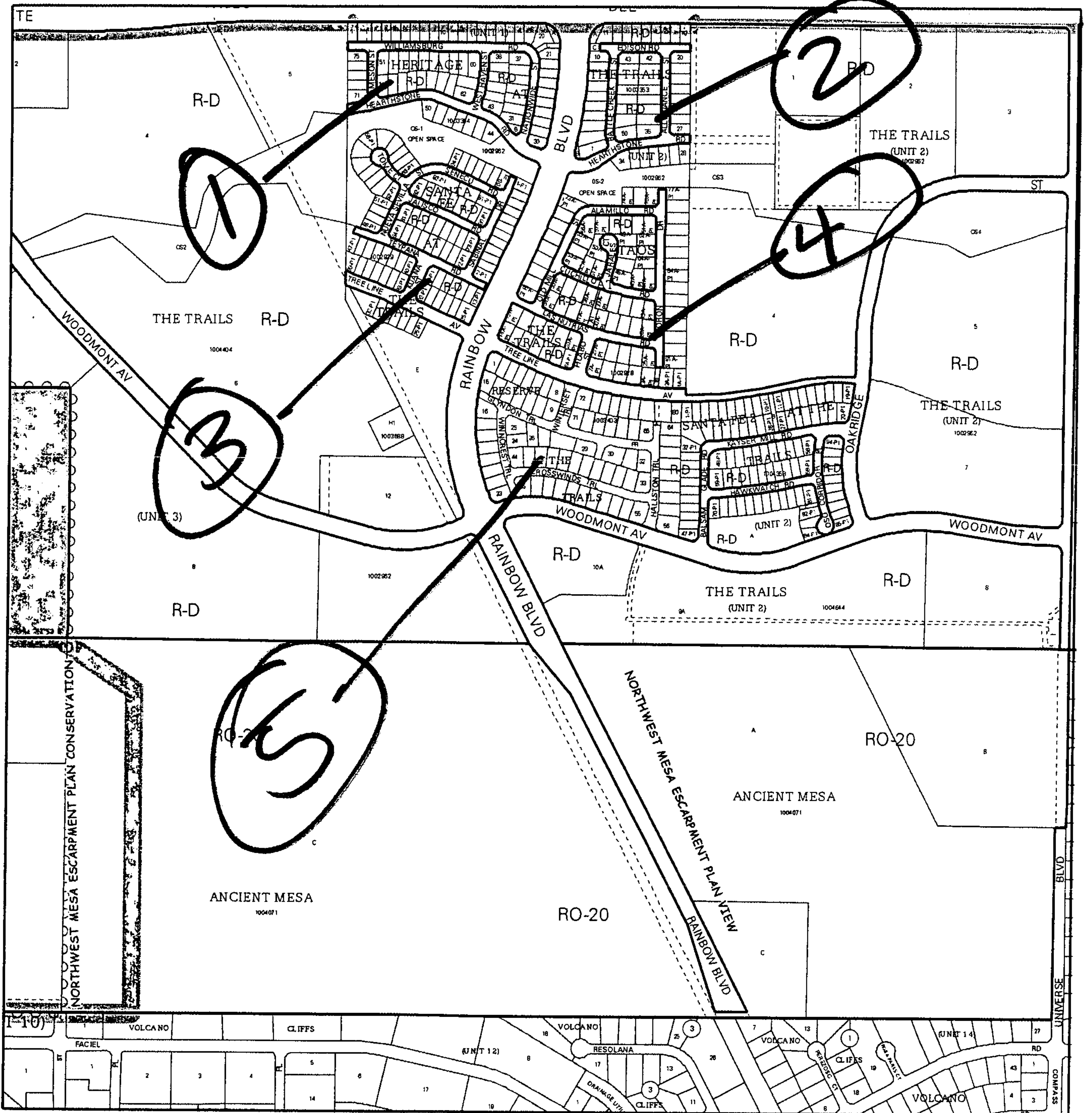
If you have any questions concerning this proposed project, please contact me at (505) 898-8021.

WILSON & COMPANY


A handwritten signature in black ink, appearing to read "Steve J. Salazar", with a long horizontal line extending to the right.

Steve J. Salazar, P.E.

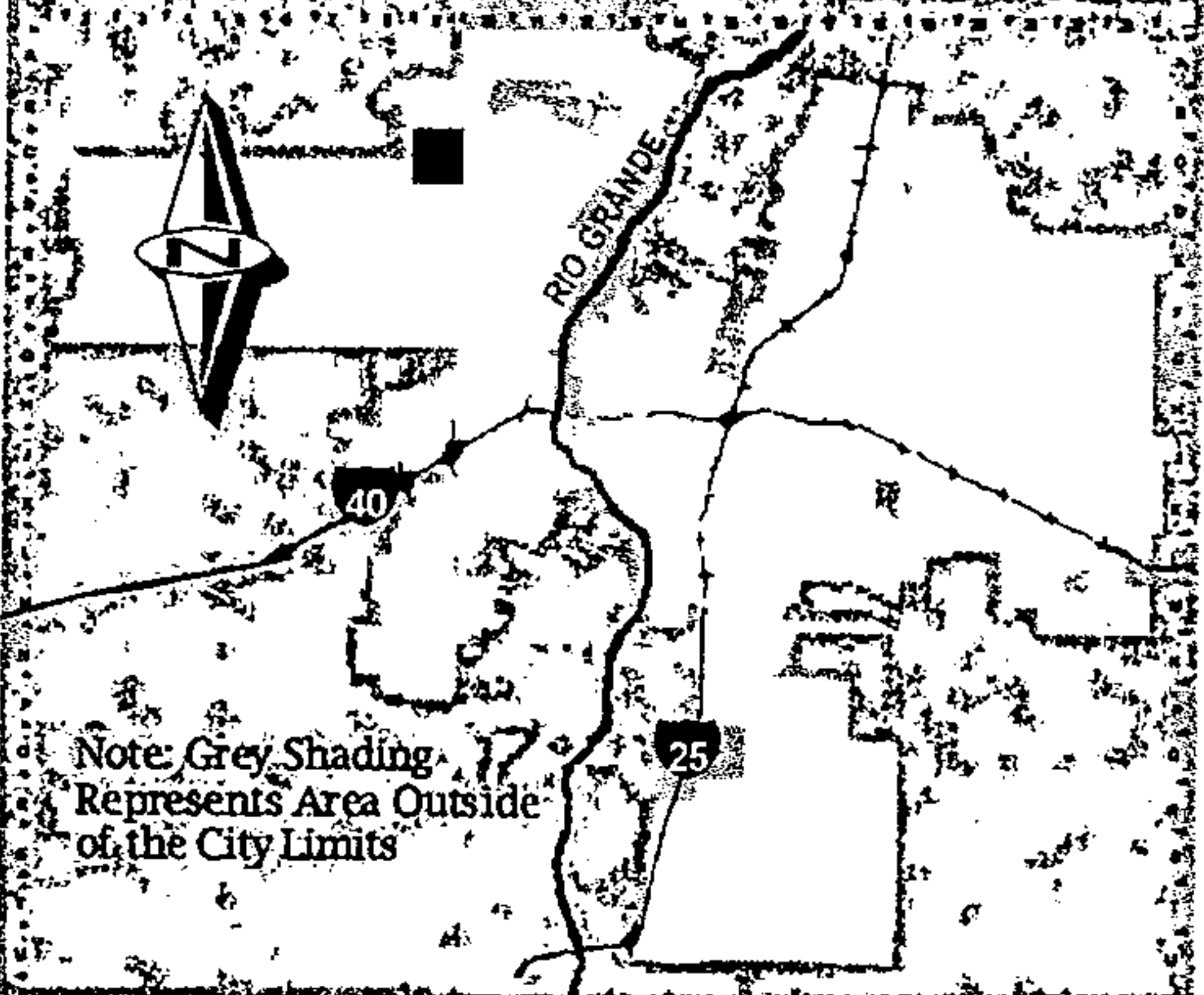
Email: [ssalazar@wilsonccc.com](mailto:ssalazar@wilsonccc.com)



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/21/2006



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-09-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

1

MAY 04 2006 4:35PM I. SACSON & ARFMAN

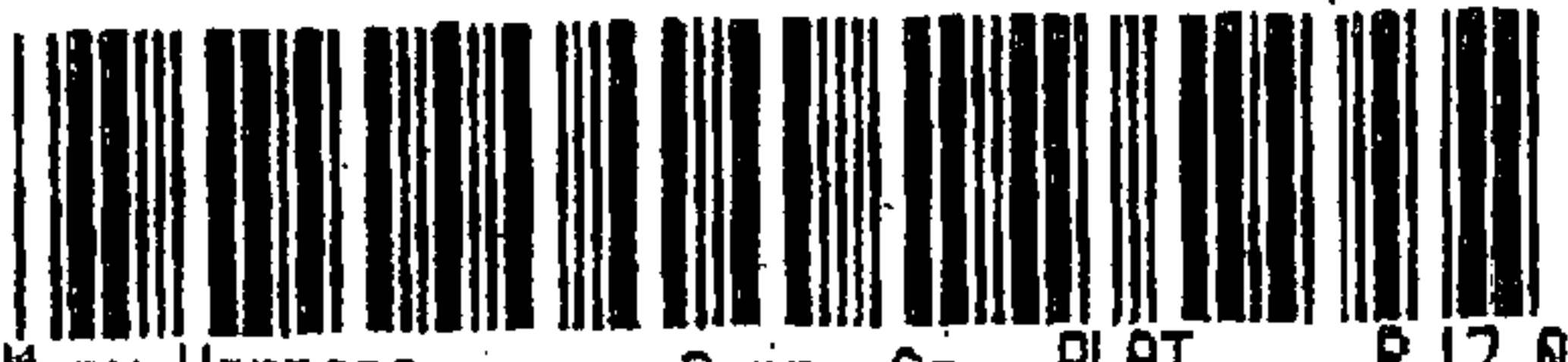
1

P. 14

# PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1

BEING A REPLAT OF  
TRACT A, THE TRAILS  
WITHIN THE TOWN OF ALAMEDA GRANT  
PROJECTED SECTION 16,  
T. 11 N., R. 2 E., NMPM  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2004

nt, projected Section  
of Meridian, City of  
TRACT A, THE TRAILS  
for record in the  
co on December 15,  
acres more or less.



Mary Herrera    Bernal. Co.    PLAT    R 17.00    2004133767  
6147264  
Page: 1 of 3  
09/22/2004 02:48P    Bk-2004C Pg-294

of the vacated  
dedicate public  
to serve the

d in accordance with the  
thereof and said Owner(s)  
public rights-of-way shown  
anty covenants and do  
shown hereon including the  
s therein; and all public  
us of gas, electrical power  
distribution lines, conduits, and  
own or indicated, and  
and maintenance, and the  
) and/or Proprietor(s) do  
arrant that they hold among  
land subdivided, and do  
eed.

APPLICATION NO. 1003354  
APPLICATION NO. 04-01416  
Utility Approvals

Leonard G. Mart  
PNM ELECTRIC SERVICES DIVISION      8-27-04  
DATE

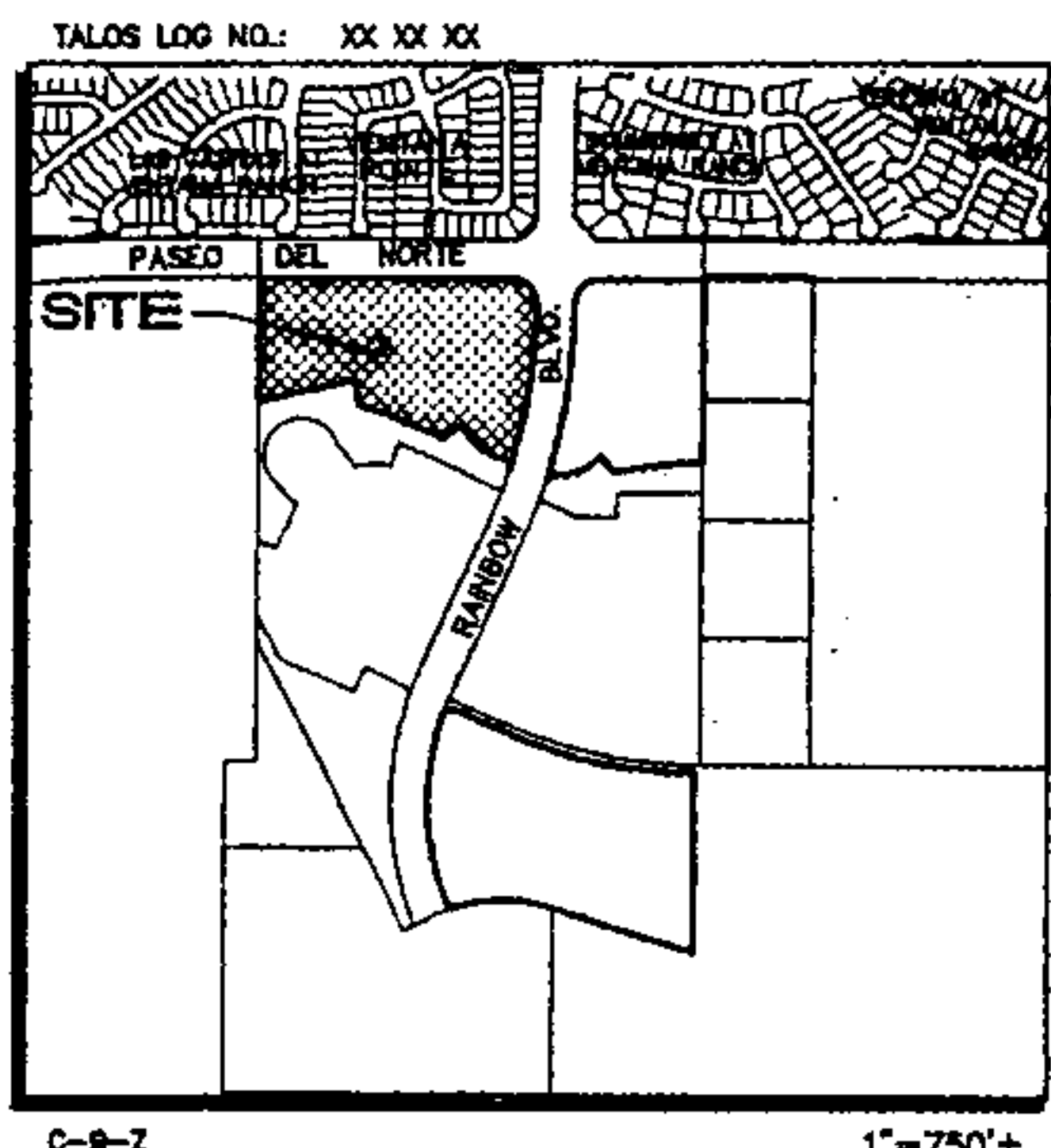
Leonard G. Mart  
PNM GAS SERVICES DIVISION      8-27-04  
DATE

David R. Muller  
QWEST      8-27-04  
DATE

Rita Euchs  
COMCAST      8-27-04  
DATE

[Signature]  
NEW MEXICO UTILITIES      9-22-04  
City Approvals      DATE

1



C-9-Z VICINITY MAP 1"=750'±

**SUBDIVISION DATA / NOTES**

- Total Number of Existing Tracts: 1
- Total Number of Lots created: 75
- Total Number of Tracts created: 3
- Gross Subdivision Acreage: 13.8660 Ac.
- Total Mileage of Full Width Streets Created: 0.5962
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Base of boundary are the following plat(s) and document(s) of record entitled:
- Field Survey performed on March, 2003.
- Title Report: None provided.
- This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
- Base of boundary is from the plats of record entitled:  
 UNPLATTED LAND OF "VOLCANO SIX LIMITED"  
 TRACT OS-1 OPEN SPACE  
 TRACT OS-2 OPEN SPACE  
 UNPLATTED LAND OF "THE ARCHDIOCESE OF SANTA FE"  
 UNPLATTED LAND OF "PARADISE WEST INC."  
 PLAT OF "THE TRAILS, TRACT D"  
 (12-15-03, 03C-375)  
 PLAT OF "THE TRAILS, TRACT J"  
 (12-15-03, 03C-375)  
 PLAT OF "THE TRAILS, TRACT G"  
 (12-15-03, 03C-375)  
 all being records of Bernalillo County, New Mexico.
- Current Zoning: R-D.
- City Standard Utility Note II:  
 "City of Albuquerque Water and Sanitary Sewer Service to 200X must be verified and coordinated with the Public Works Department, City of Albuquerque."
- Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719".
- All property corners to be set with 5/8" rebar with cap "ALS LS 7719".

**ALDRICH LAND SURVEYING**  
 P.O. BOX 30701, ALBU, N.M. 87190  
 505-884-1800

1324471.DWG/04 06/23/04

**LEGAL DESCRIPTION**

A tract of land situated within the Town of Alameda Grant, projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A, THE TRAILS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 15, 2003 in Book 2003C, Page 375 and containing 13.8660 acres more or less.

**DISCLOSURE STATEMENT**

The intent of this plat is to subdivide the subject tracts and the vacated easements into residential lots, to create 2 tracts (Tract A & Tract B), to dedicate public rights-of-way, and to grant those easements necessary to serve the residential development.

**FREE CONSENT AND DEDICATION**

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated; and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

**OWNER**

HERITAGE AT THE TRAILS HOMEOWNERS ASSOCIATION

RICHARD BRESSAHL Date  
 PRESIDENT

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO } SS  
 COUNTY OF BERNALILLO }

This instrument was acknowledged before me on 2004, by Richard Bressahl as President of Heritage at the Trails Homeowners Association, a New Mexico Non-Profit Corporation, on behalf of said Corporation.

My Commission Expires: \_\_\_\_\_

Notary Public

**OWNER**

CENTEX HOMES

NORMAN A. GREGORY Date  
 LAND DEVELOPMENT MANAGER

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO } SS  
 COUNTY OF BERNALILLO }

This instrument was acknowledged before me on 2004, by Norman A. Gregory as Land Development Manager of Centex Homes, a X, on behalf of said X.

My Commission Expires: \_\_\_\_\_

Notary Public

**PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1**

BEING A REPLAT OF TRACT A, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JUNE 2004

**APPROVALS**

DRB PROJECT NO. 1003384

APPLICATION NO. \_\_\_\_\_

Utility Approvals

PNM ELECTRIC SERVICES DIVISION DATE \_\_\_\_\_

PNM GAS SERVICES DIVISION DATE \_\_\_\_\_

QWEST DATE \_\_\_\_\_

COMCAST DATE \_\_\_\_\_

NEW MEXICO UTILITIES DATE \_\_\_\_\_

City Approvals

CITY SURVEYOR DATE \_\_\_\_\_

REAL PROPERTY DIVISION DATE \_\_\_\_\_

ENVIRONMENTAL HEALTH DEPARTMENT DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE \_\_\_\_\_

UTILITIES DEVELOPMENT DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT DATE \_\_\_\_\_

AMAFCA DATE \_\_\_\_\_

CITY ENGINEER DATE \_\_\_\_\_

DRB CHAIRPERSON PLANNING DEPARTMENT DATE \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 23, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief."

Timothy Aldrich, P.S. No. 7719 Date \_\_\_\_\_

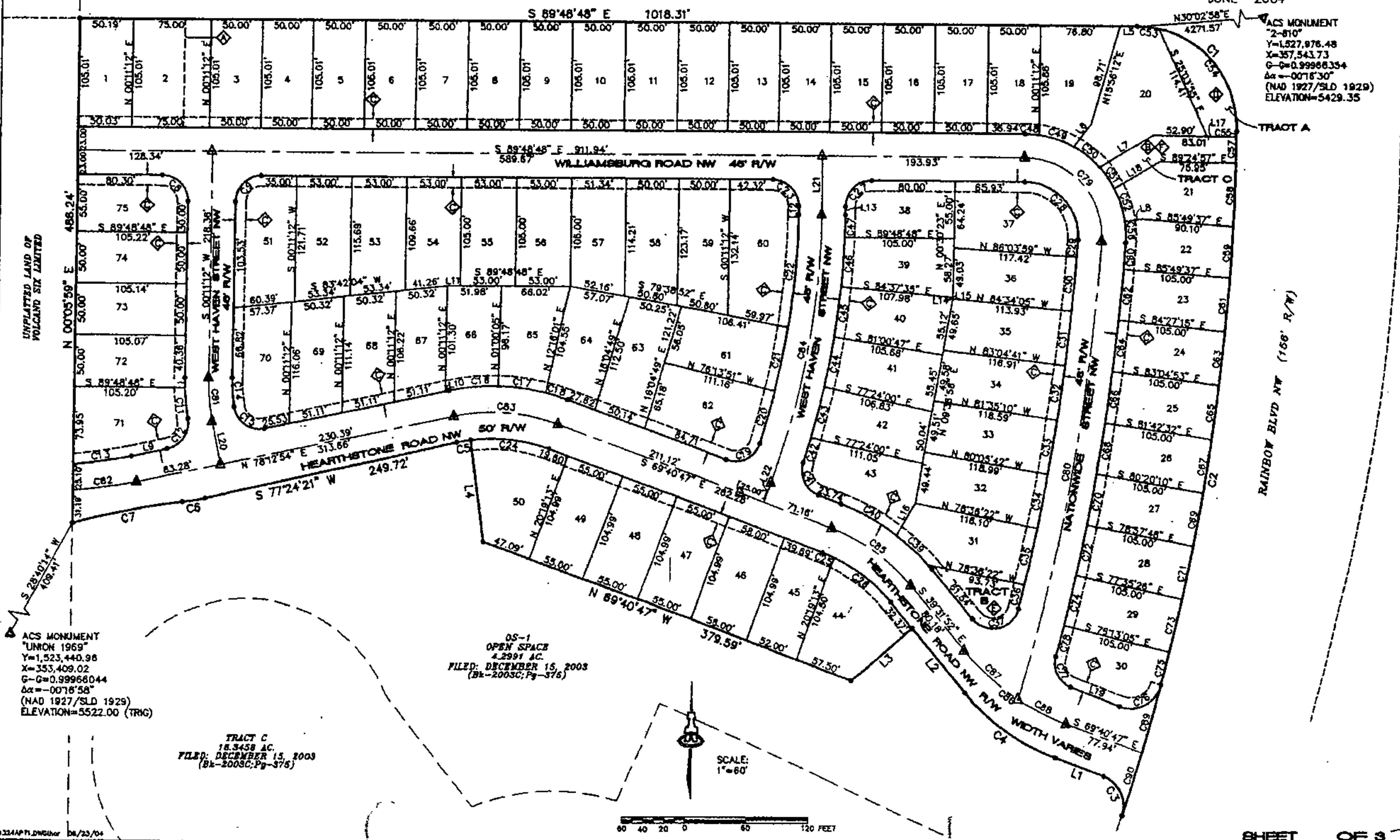
- NOTES:**
- SEE SHEET 3 FOR CURVE AND LINE TABLES.
  - SEE SHEET 3 FOR EASEMENT NOTES.
  - DISTANCES IN BRACKETS ARE EASEMENT DISTANCES.

PASEO DEL NORTE NW (R/W VARIES) ASK ALDRICH

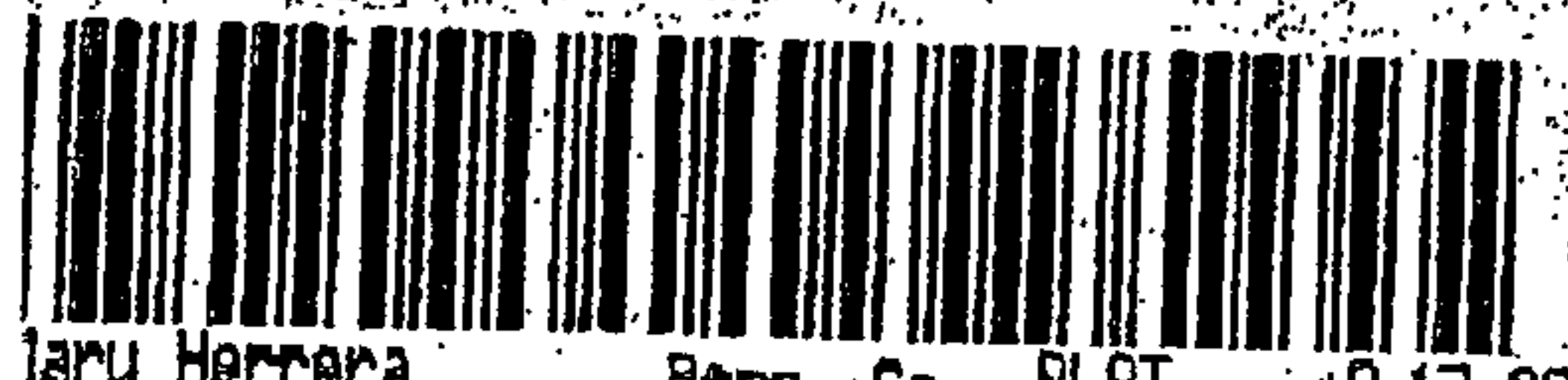
- LEGEND**
- FOUND 5/8" REBAR WITH CAP "LS 5978" (Typ.)
  - SET 5/8" REBAR WITH CAP "ALS LS 7719" (Typ.)
  - PROPERTY LINE
  - - - ADJOINING PROPERTY LINE
  - ▲ CENTERLINE MONUMENT

**PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1**

BEING A REPLAT OF TRACT A, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JUNE 2004



1324471.DWG/04 06/23/04



2004133768  
 8147265  
 Page: 1 of 3  
 09/22/2004 02:48P  
 BK-2004C Pg-295

Lary Herrera Bernalillo Co. PLAT R 17.00

# PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2

BEING A REPLAT OF  
 TRACT B, THE TRAILS  
 WITHIN THE TOWN OF ALAMEDA GRANT  
 PROJECTED SECTION 16,  
 T. 11 N., R. 2 E., NMPM  
 CITY OF ALBUQUERQUE,  
 BERNALILLO COUNTY, NEW MEXICO.  
 AUGUST 2004

1, projected Section  
 al Meridian, City of  
 RACT B, THE TRAILS  
 for record in the  
 so on December 15,  
 cres more or less.

into residential lots,  
 grant those  
 and to vacate

in accordance with the  
 hereof and said Owner(s)  
 ublic rights-of-way shown  
 nity covenants and do  
 shown hereon including the  
 therein; and all public  
 use of gas, electrical power  
 distribution lines, conduits, and  
 own or indicated, and  
 and maintenance, and the  
 and/or Proprietor(s) do  
 rant that they hold among  
 and subdivided, and do  
 ed.

Application No. 1003556  
 Application No. 04-0413  
 Utility Approvals

<u>Lenny D. Madsen</u>	<u>8-27-04</u>
PNM ELECTRIC SERVICES DIVISION	DATE
<u>Lenny D. Madsen</u>	<u>8-27-04</u>
PNM GAS SERVICES DIVISION	DATE
<u>David R. Muller</u>	<u>8-27-04</u>
QWEST	DATE
<u>Rita E. Sacks</u>	<u>8-27-04</u>
COMCAST	DATE
<u>[Signature]</u>	<u>9-22-04</u>
NEW MEXICO UTILITIES	DATE
City Approvals	

MAY 04 2006 4:36PM I. SACSON & ARFMAN

1

2 p. 15

2

BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C7	203.00	155.84	81.89	152.04	N 74°22'22" E	43°59'04"
C8	632.00	5.55	2.77	5.55	N 81°35'59" W	0°30'10"
C9	30.00	42.08	25.33	38.71	S 67°58'08" W	80°21'37"
C10	2328.00	706.41	355.84	703.70	N 09°05'45" E	17°33'09"
C11	100.00	158.70	99.82	141.15	S 45°17'41" W	89°47'02"
C102	166.00	134.24	70.89	130.74	N 81°27'23" E	45°30'38"
C103	180.00	77.37	39.29	76.78	S 70°55'55" W	24°37'42"
C104	150.00	17.84	8.96	17.93	S 86°40'22" E	6°51'14"
C105	190.00	69.61	46.19	88.28	S 14°18'07" E	34°13'49"
C106	30.00	55.99	40.50	46.21	S 36°51'50" E	106°56'31"
C107	135.00	57.39	29.14	56.69	N 75°28'10" E	24°21'30"
C108	25.00	37.00	22.83	33.72	N 20°54'23" E	84°48'04"
C109	28.00	39.54	25.27	35.55	S 63°11'44" E	80°37'04"
C110	173.00	73.49	37.31	72.94	S 09°19'28" E	24°20'22"
C111	127.00	48.68	23.23	45.70	S 07°31'14" E	20°43'53"
C112	25.00	40.43	28.19	36.17	N 43°28'03" W	92°39'31"
C113	25.00	38.11	23.87	34.53	S 48°30'37" W	87°27'29"
C114	25.00	39.27	25.00	35.38	N 44°48'48" W	80°00'00"
C115	25.00	39.27	25.00	35.36	S 45°11'12" W	90°00'00"
C116	25.00	36.24	22.14	33.15	N 41°42'59" E	63°03'33"
C117	25.00	42.30	28.23	37.43	S 48°17'01" E	98°58'27"
C118	173.00	20.69	10.36	20.68	S 86°40'22" W	0°51'14"
C119	157.00	84.58	43.34	83.56	S 67°48'48" W	30°51'59"
C120	127.00	15.19	7.61	15.18	S 86°40'22" W	0°51'14"
C121	173.00	6.02	3.01	6.02	S 01°30'54" W	1°59'38"
C122	173.00	41.35	20.77	41.25	S 05°59'47" E	13°41'42"
C123	173.00	26.12	13.06	26.09	S 17°10'08" E	6°39'01"
C124	203.00	41.63	20.89	41.56	S 77°24'16" W	11°45'00"
C125	2328.00	62.58	31.28	62.66	N 13°50'14" E	1°32'23"
C126	2328.00	43.08	21.54	43.08	N 12°32'15" E	1°03'37"
C127	2328.00	57.93	28.97	57.93	N 11°17'40" E	1°25'32"
C128	2328.00	60.74	26.37	60.74	N 09°57'28" E	1°14'55"
C129	2328.00	60.58	23.28	60.58	N 08°42'38" E	1°14'40"
C130	2328.00	65.44	27.72	65.44	N 07°24'25" E	1°17'52"
C131	2328.00	65.29	27.65	65.29	N 06°02'37" E	1°11'39"
C132	2328.00	50.16	25.08	50.16	N 04°44'48" E	1°11'04"
C133	2328.00	50.09	25.04	50.09	N 03°30'45" E	1°13'58"
C134	2328.00	55.92	27.98	55.92	N 02°12'28" E	1°22'35"
C135	2328.00	45.38	22.69	45.38	N 00°57'41" E	1°07'01"
C136	100.00	134.21	78.40	124.38	S 36°31'03" W	78°53'47"
C137	100.00	22.49	11.29	22.45	S 83°44'34" W	12°32'15"
C138	157.00	79.55	40.85	78.70	S 86°53'47" W	29°01'53"
C139	167.00	3.03	2.51	3.02	S 87°19'45" W	1°50'02"
C140	127.00	9.87	4.84	9.66	S 85°25'35" W	4°21'40"
C141	127.00	5.63	2.78	5.52	S 88°51'12" W	2°29'33"

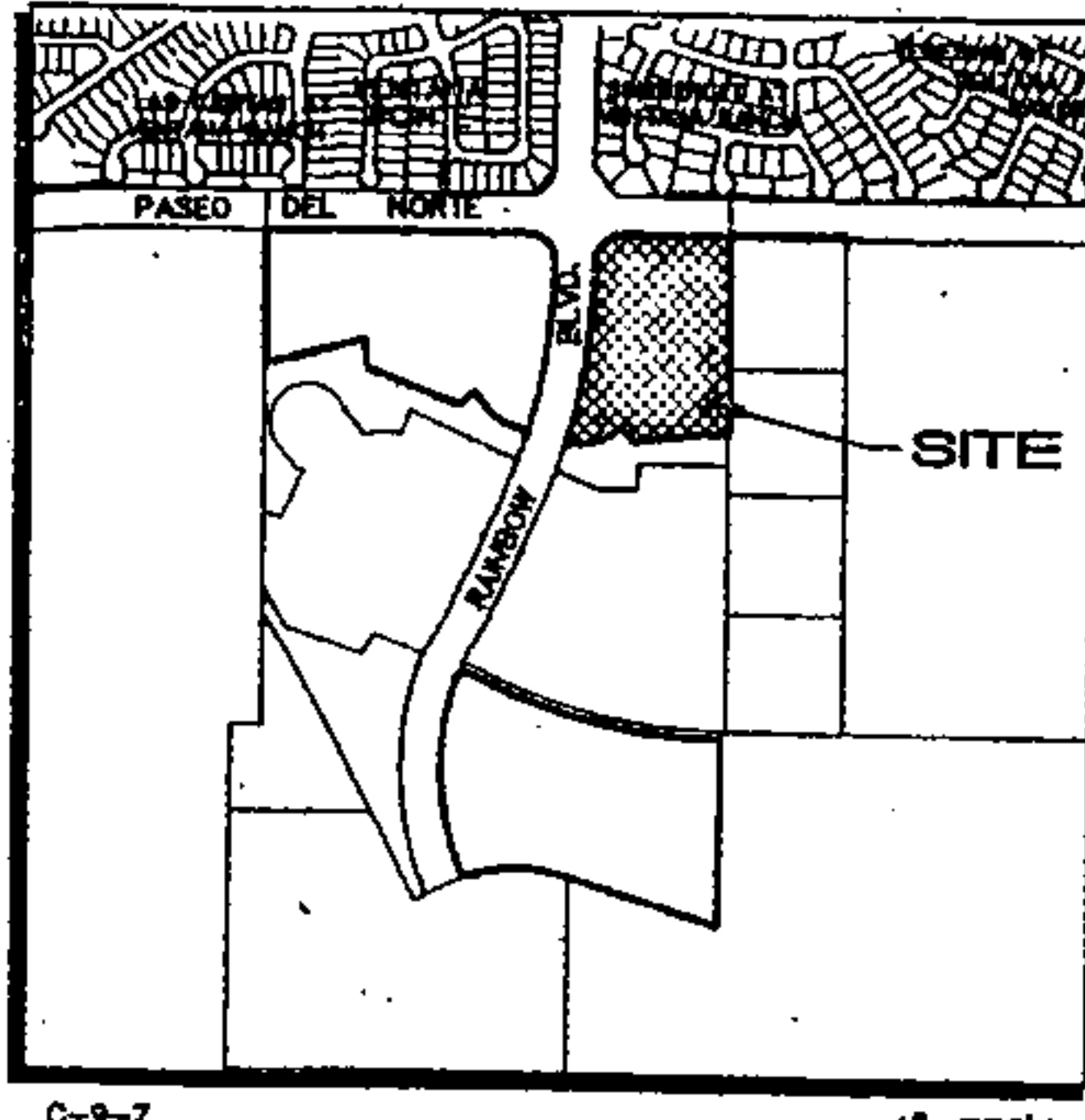
C1-C6 NOT USED  
C12-C101 NOT USED

LINE TABLE		
LINE	BEARING	DISTANCE
L3	N 37°37'10" W	76.44
L6	S 52°22'30" W	48.21
L24	S 00°11'12" W	40.00
L25	N 00°11'12" E	40.00
L26	S 31°22'58" E	18.48
L27	N 83°14'46" E	1.58
L28	S 89°54'01" E	95.47
L29	N 52°27'50" E	33.43
L30	S 89°54'01" E	95.47
L31	S 08°50'39" E	65.67
L32	N 08°50'39" W	33.79
L33	N 08°50'39" W	99.46
L34	N 88°06'48" E	19.73

L1-L4 NOT USED  
L7-L23 NOT USED

LEGEND

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TRP.)
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT



PLAN FOR  
**HERITAGE AT THE TRAILS SUBDIVISION UNIT 2**  
 BEING A REPLAT OF TRACT B OF THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 10, T. 11 N, R. 2 E, NMPM  
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 MARCH 2004



SCALE: 1"=80'

LEGAL DESCRIPTION

TRACT B, THE TRAILS, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE BULK PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 15, 2003, IN VOLUME 2003C, FOLIO 375.

ACS BENCHMARK

ACS MONUMENT "2-B-10" LOCATED 1 MI.± WEST OF PARADISE BLVD. AND LA PAZ.  
 ELEVATION: 5429.35

SITE DATA

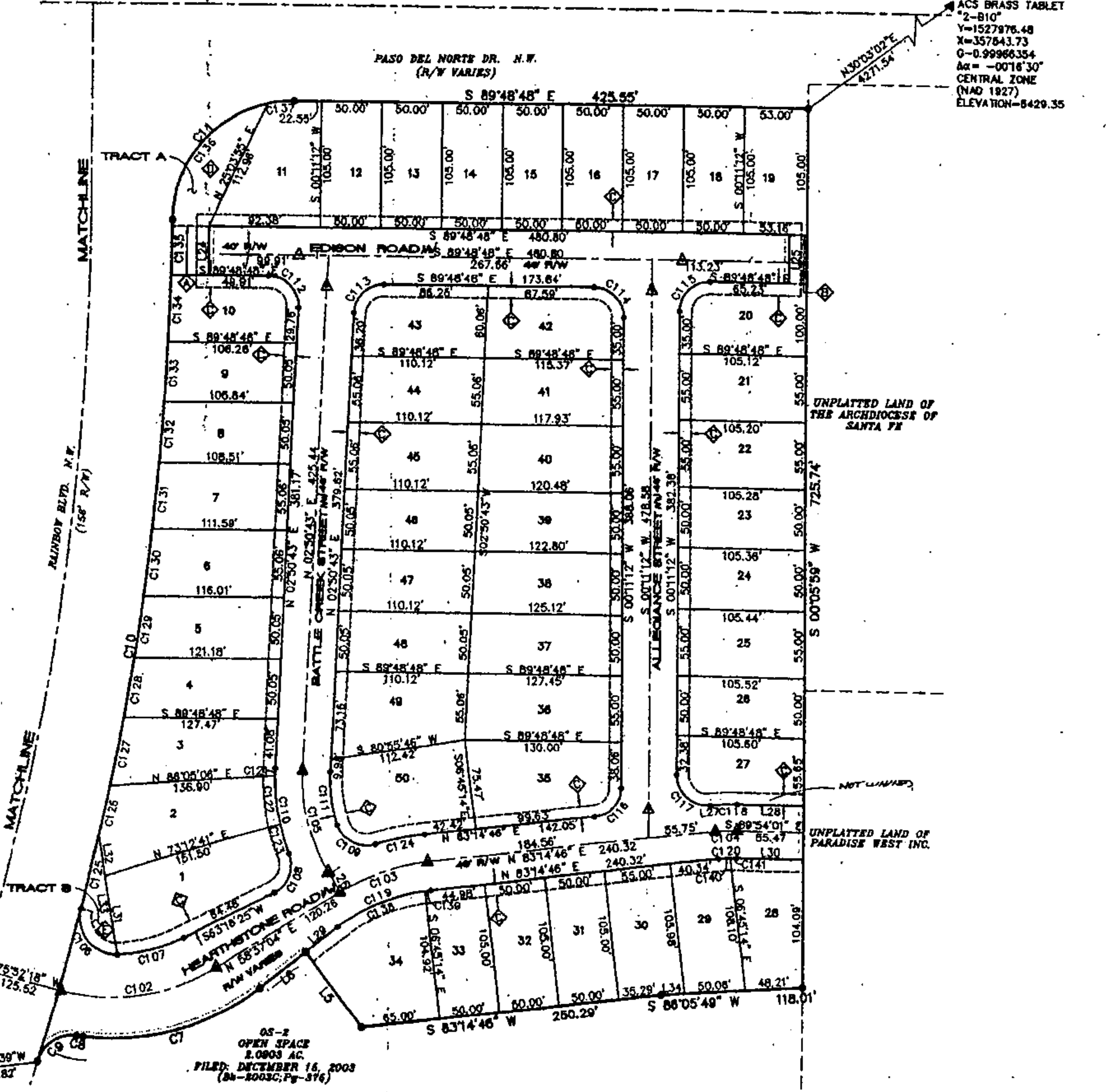
- TOTAL LAND AREA = 9.4495 ACRES.
- NUMBER OF EXISTING TRACTS IS 1.
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 50.
- NUMBER OF PROPOSED TRACTS IS 2.
- CURRENT ZONING: R-D.
- ALL STREETS WILL MEET CITY STANDARDS AND WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE. NO LOT SHALL HAVE DIRECT ACCESS TO PASEO DEL NORTE OR RAINBOW BLVD.
- ALL STREETS HAVE RIGHT-OF-WAY AND PAVING WIDTHS PER DPM STANDARDS.
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS 87719".
- ALL STREET CENTERLINE POINTS SHOWN THIS WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, PLS 87719".
- BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NAD83 GRID BEARINGS.
- DISTANCES WILL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- OPEN SPACE AREA HAS BEEN MET BY DEDICATION OF TRACTS 05-1 AND 05-2 PER BULK PLAT OF THE TRAILS (12/15/03, 2003C-375).

EASEMENT NOTES

- 40' PUBLIC SANITARY SEWER EASEMENT GRANTED TO NEW MEXICO UTILITIES, INC. AND PUBLIC DRAINAGE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT.
- 40' DRAINAGE EASEMENT FOR EMERGENCY OVERFLOW GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT.
- 10' WIDE PUBLIC UTILITY EASEMENT (P.U.E.) TO BE GRANTED BY FINAL PLAT.
- TRACT A SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HERITAGE AT THE TRAILS.
- TRACT B SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HERITAGE AT THE TRAILS.



ACS BRASS TABLE  
 "UNION 1089"  
 Y=152344.96  
 X=353408.02  
 G=0.999965044  
 Δa = -00°16'58"  
 CENTRAL ZONE  
 (NAD 1923)  
 ELEVATION=5622.0

05-2  
 OPEN SPACE  
 2.0803 AC.  
 FILED: DECEMBER 16, 2003  
 (20-2003C, Pg-376)

APPROVED

*J. B. Boff*  
 CITY SURVEYOR 3-26-04  
 DATE

OWNERSHIP

*Norman A. Gregory*  
 NORMAN A. GREGORY  
 LAND DEVELOPMENT MANAGER  
 CENTEX HOMES 3/25/04  
 DATE

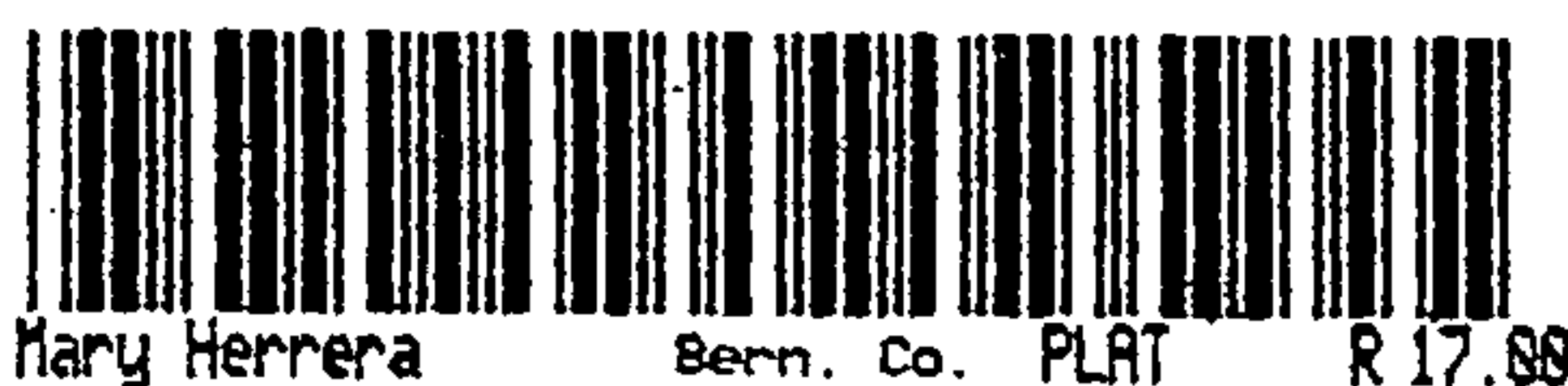


ISAACSON & ARPMAN, P.A.  
 Consulting Engineering Associates  
 122 Monroe Street, N.E.  
 Albuquerque, New Mexico



Section 16, Township 11 North,  
Bernalillo County, New Mexico being  
on said plat filed for record in  
December 15, 2003 in Book 2003C,

PLAT FOR  
SANTA FE AT THE TRAILS  
WITHIN THE  
TOWN OF ALAMEDA GRANT  
PROJECTED SECTION 16  
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MAY, 2004



2004136738  
6150235  
Page: 1 of 3  
09/29/2004 09:09R  
BK-2004C Pg-309

PROJECT NUMBER: 1002962-1002929  
Application Number: 04-00719

PLAT APPROVAL

Utility Approvals:

<u>Leah D. Muth</u> PNM Electric Services Division	<u>9-15-04</u>	Date
<u>Leah D. Muth</u> PNM Gas Services Division	<u>9-15-04</u>	Date
<u>[Signature]</u> Qwest	<u>9-15-04</u>	Date
<u>Rita Suckow</u> Comcast	<u>9-15-04</u>	Date

City Approvals:

<u>[Signature]</u> City Surveyor	<u>5-11-04</u>	Date
<u>NA [Signature]</u> Real Property Division	<u>9/15/04</u>	Date
<u>NA [Signature]</u> Environmental Health Department	<u>9/15/04</u>	Date
<u>[Signature]</u> Traffic Engineering, Transportation Division	<u>9-15-04</u>	Date
<u>Roger A. Heen</u> Utilities Development	<u>9-15-04</u>	Date
<u>Christina Dandona</u>		Date

(W)



3

PLAT FOR  
 SANTA FE AT THE TRAILS  
 WITHIN THE  
 TOWN OF ALAMEDA GRANT  
 PROJECTED SECTION 16  
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MAY, 2004

SEE SHEET 3 OF 3 FOR  
 CURVE AND LINE DATA

SEE SHEET 3 OF 3 FOR  
 LOT AREAS



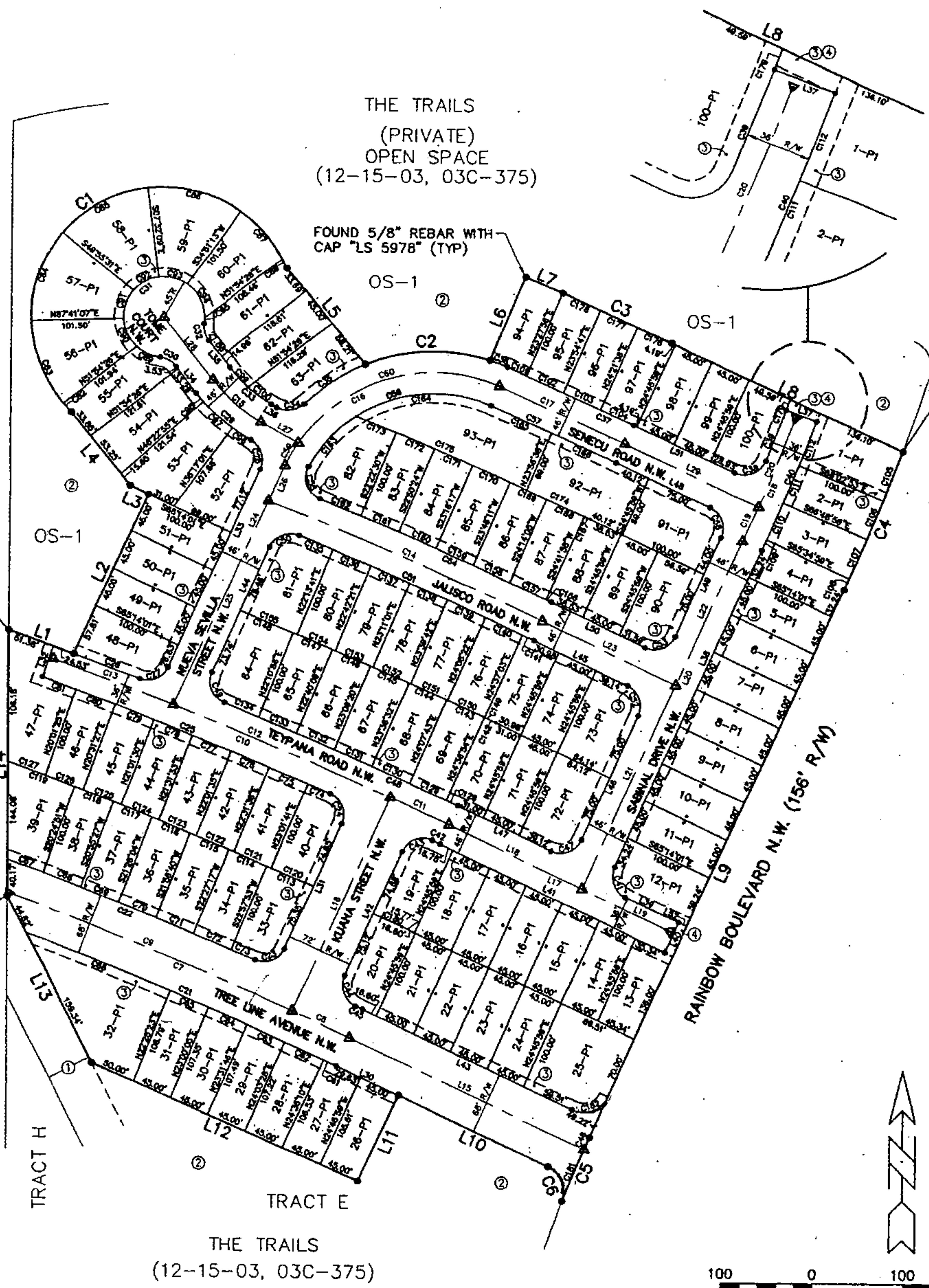
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 X=357,543.73  
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 Δα=-00'16"30"  
 (NAD 1927/SLD 1929)  
 ELEVATION=5429.35

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 (NAD 1927/SLD 1929)  
 ELEVATION=5522.00 (TRIG)

ALL STREETS ARE DEDICATED TO THE  
 CITY OF ALBUQUERQUE IN FEE SIMPLE  
 WITH WARRANTY COVENANTS. (4.4143 AC.)

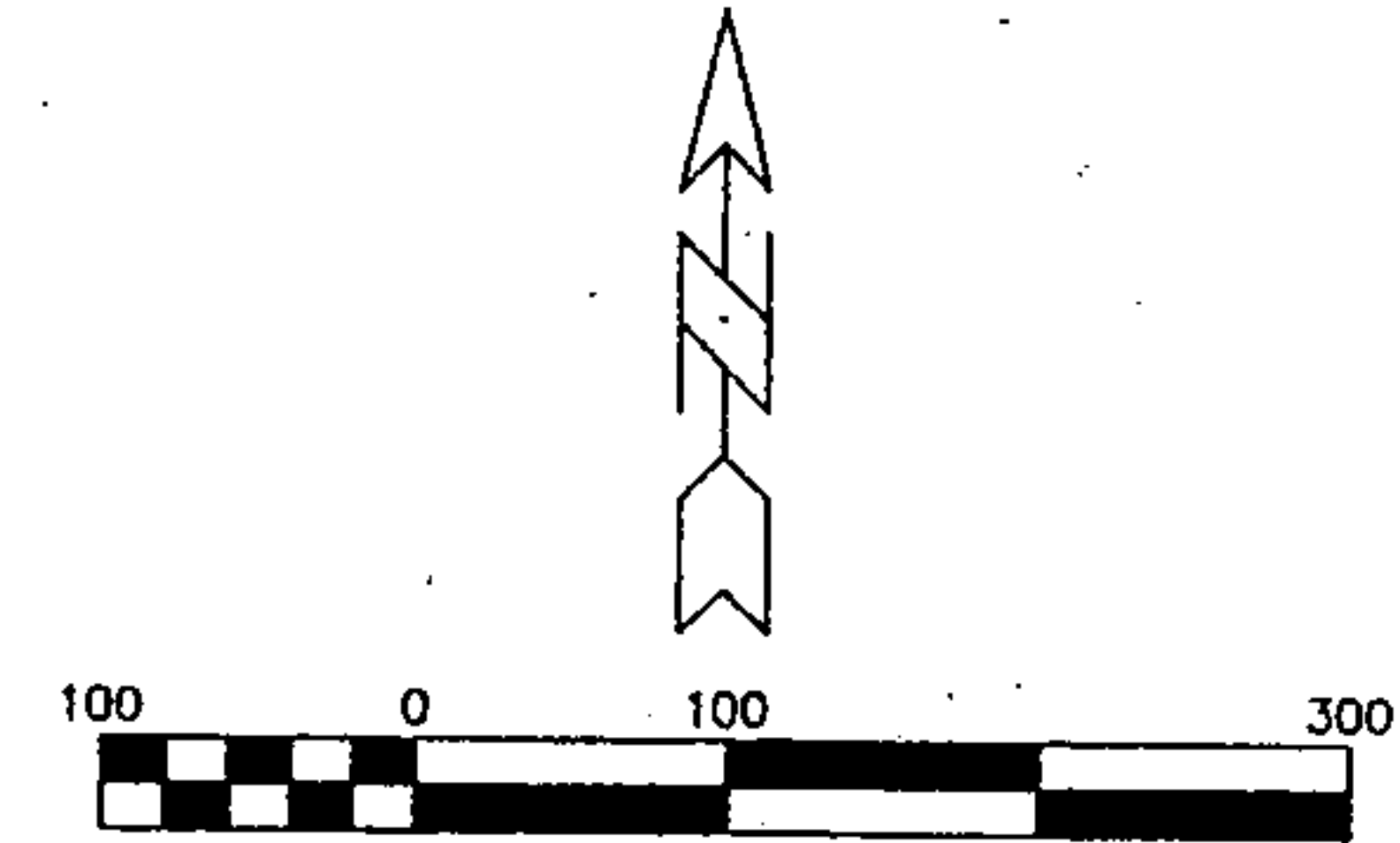
FOUND 5/8" REBAR WITH  
 CAP "LS 5978" (TYP)

UNPLATTED LANDS OF  
 VOLCANO SIX LIMITED



EASEMENTS

- ① EXISTING 50' SOUTHERN UNION GAS COMPANY ACCESS RIGHT-OF-WAY EASEMENT (09-16-30, BK. 112, PG. 514) (03-29-56, BK. D346, PG. 356)
- ② EXISTING C.O.A. BLANKET EASEMENT ON TRACT OS-1 FOR PUBLIC ACCESS, PUBLIC OPEN SPACE, PUBLIC STORM AND C.O.A. & NMUI BLANKET EASEMENT FOR PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENT (12-15-03, BK. 2003C, PG. 375)
- EXISTING C.O.A. BLANKET EASEMENT ON TRACTS C AND E FOR PUBLIC CROSS-LOT STORM DRAIN, PUBLIC WATER, AND PUBLIC SANITARY SEWER EASEMENTS (12-15-03, BK. 2003C, PG. 375)
- ③ 10' PUE (GRANTED BY THIS PLAT)
- ④ PUBLIC DRAINAGE AND PEDESTRIAN ACCESS EASEMENT (GRANTED TO THE C.O.A. BY THIS PLAT) PUBLIC WATER AND SANITARY SEWER EASEMENT (GRANTED TO N.M.U.I. BY THIS PLAT)



Scale 1" = 100' ft

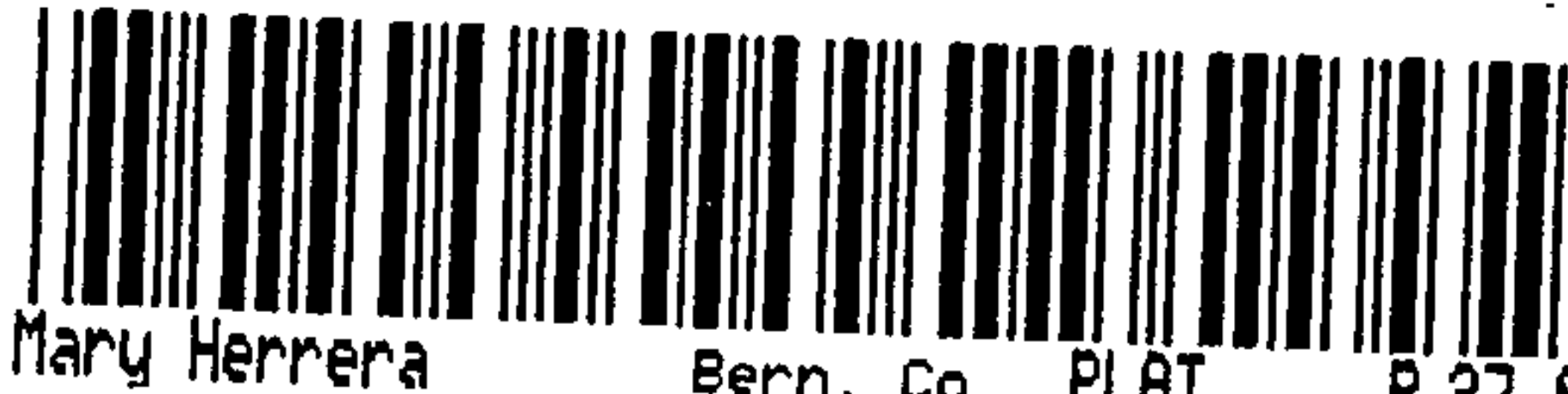
REVISED: 09-14-04

Drawn By:	RJA	Date:	05-10-04
Checked By:	TA	Drawing Name:	03039PL1.DWG
Job No.:	03-039	Sheet:	2 of 3

*[Handwritten Signature]*  
 09-14-04

**ALDRICH LAND SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990



2005034401  
6238448  
Page: 1 of 5  
03/11/2005 11:39A  
Bk-2005C Pg-96

**PLAT OF  
TAOS AT THE TRAILS**

(BEING A REPLAT OF TAOS AT THE TRAILS)

WITHIN

**THE TOWN OF ALAMEDA GRANT**

IN

**SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST**

**NEW MEXICO PRINCIPAL MERIDIAN**

**CITY OF ALBUQUERQUE**


**BERNALILLO COUNTY, NEW MEXICO**


FEBRUARY, 2005

Project No. 1002928

Application No. 05-00308


**APPROVALS**

  
\_\_\_\_\_  
Traffic Engineer, City of Albuquerque  
Public Works Department  
Date 3-2-05

  
\_\_\_\_\_  
City Surveyor, City of Albuquerque  
Public Works Department  
Date 2-10-05

  
\_\_\_\_\_  
Utility Development Division, City of  
Albuquerque Public Works Department  
Date 3-2-05

  
\_\_\_\_\_  
Albuquerque Metropolitan Arroyo Flood  
Control Authority  
Date 3/2/05

  
\_\_\_\_\_  
Date 3/2/05

4



**EXISTING EASEMENTS**  
 AT existing easements as filed below and shown herein are hereby granted by this plat:  
 ① Existing 10' Public Utility Easement per plat filed 8-29-2004, Vol. 2004C, Page 310  
 ② Existing 3' Private Driveway Easement per plat filed 8-29-2004, Vol. 2004C, Page 310  
 ③ Existing Public Storm Drainage Easement per plat filed 8-29-2004, Vol. 2004C, Page 310  
 ④ Existing Public Utility Easement per plat filed 8-29-2004, Vol. 2004C, Page 310  
 ⑤ Existing Public Overlap and Pedestrian Access Easement per plat filed 8-29-2004, Vol. 2004C, Page 310  
 ⑥ Existing Private Overlap Access Easement per plat filed 8-29-2004, Vol. 2004C, Page 310  
 ⑦ Existing Private Overlap Access Easement per plat filed 8-29-2004, Vol. 2004C, Page 310  
 ⑧ Existing C.O.A. Easement on Tract OS-2 for Public Access, Public Open Space, Public Utility and Public Sanitary Sewer Easements per plat filed 12-15-2003, Vol. 2003C, Page 375  
 ⑨ Existing C.O.A. Easement on Tract OS-2 for Public Overlap Access, Public Utility and Public Sanitary Sewer Easements per plat filed 12-15-2003, Vol. 2003C, Page 375  
 ⑩ Existing 10' X 10' Public Utility Easement per plat filed 8-29-2004, Vol. 2004C, Page 310

**TAOS AT THE TRAILS**  
 (BEING A REPLAT OF TAGS AT THE TRAILS)  
 WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 19, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 FEBRUARY, 2005

**TRACT OS-2**  
 THE TRAILS  
 Filed September 18, 2004 in Public Record Book, Page 375

**TRACT OS-2-2**  
 THE TRAILS  
 Filed September 18, 2004 in Public Record Book, Page 375

**TRACT 4**  
 THE TRAILS UNIT 2  
 Filed October 18, 2004 in Public Record Book, Page 322

**NOTES**  
 1. A 10' Public Utility Easement is hereby granted by this plat along the street of each lot as shown and designated herein.  
 2. All Public Street right of way as shown on this plat is hereby granted to the City of Albuquerque in fee simple with necessary easements by this plat.

**EXISTING PUBLIC UTILITY EASEMENT**  
 10' Public Utility Easement per plat filed 8-29-2004, Vol. 2004C, Page 310

**EXISTING PRIVATE OVERLAP ACCESS EASEMENT**  
 Private Overlap Access Easement per plat filed 8-29-2004, Vol. 2004C, Page 310

**EXISTING C.O.A. EASEMENT**  
 C.O.A. Easement on Tract OS-2 for Public Access, Public Open Space, Public Utility and Public Sanitary Sewer Easements per plat filed 12-15-2003, Vol. 2003C, Page 375

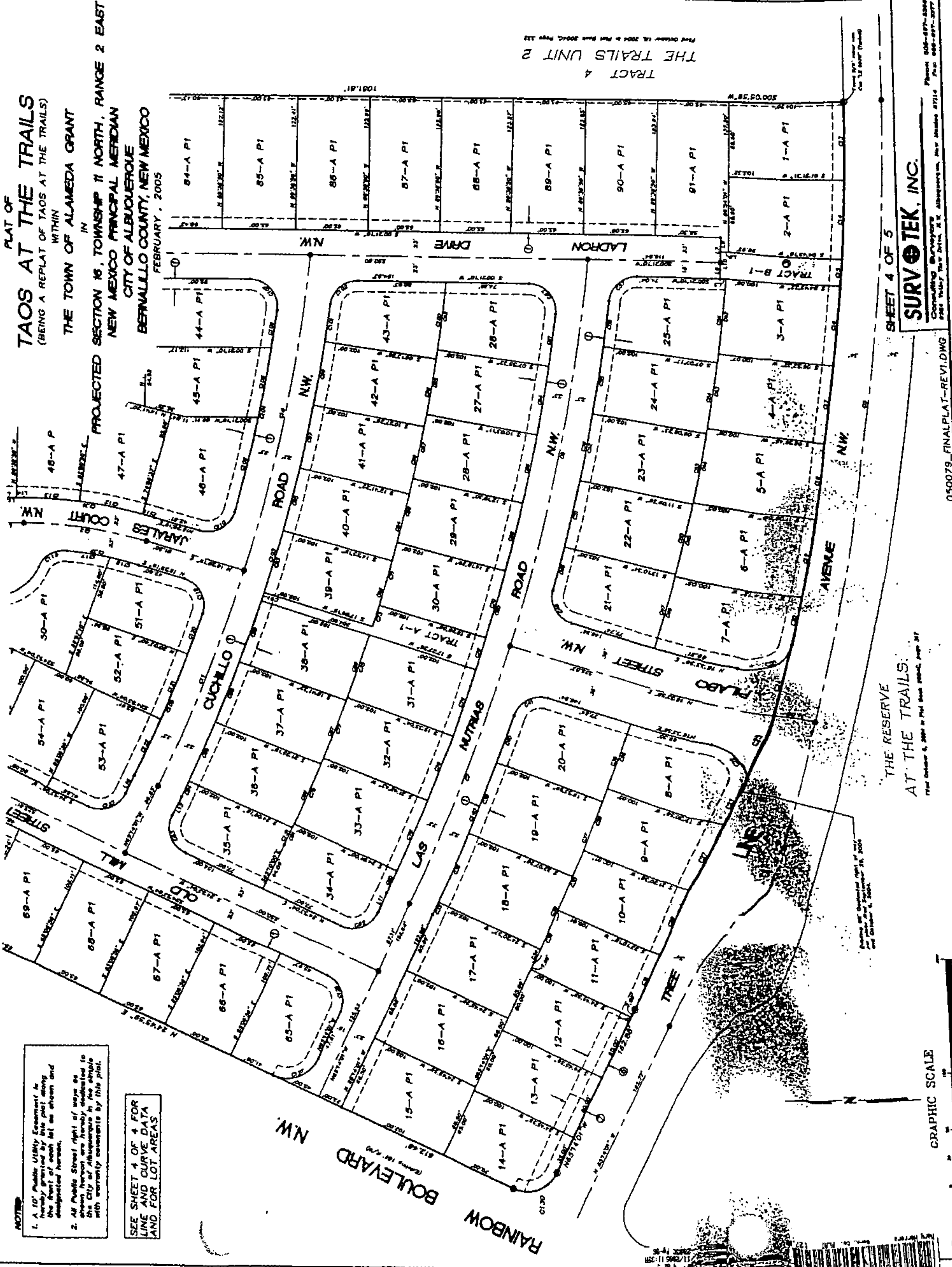
SEE SHEET 3 OF 4

SEE SHEET 4 OF 4 FOR LINE AND CURVE DATA AND FOR LOT AREAS

GRAPHIC SCALE  
 1" = 40 FEET  
 1" = 100 FEET

**SURVOTEK, INC.**  
 Surveying & Mapping  
 1000 Valley Road SW, Suite 200, Albuquerque, New Mexico 87102  
 Phone: 505-887-2000  
 Fax: 505-887-2001

050079\_FINAL.PLT-REV.DWG  
 SHEET 3 OF 5



PLAT OF  
**TAOS AT THE TRAILS**  
 (BEING A REPLAT OF TAOS AT THE TRAILS)  
 WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 FEBRUARY, 2005

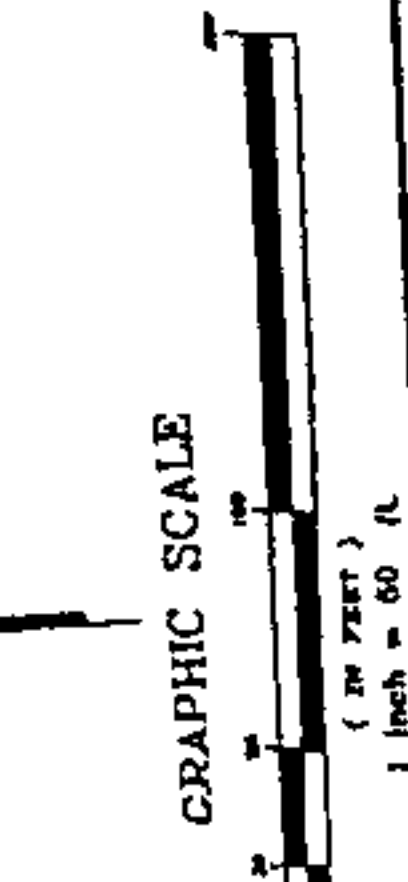
SEE SHEET 2 OF 4

**NOTES**  
 1. A 10' Public Utility Easement is shown in the front of each lot on either side of designated streets.  
 2. All Public Street right of way on shown hereon are hereby dedicated to the public and shall be subject to all laws and ordinances with normally appurtenant to the plat.

SEE SHEET 4 OF 4 FOR  
 LINE AND CURVE DATA  
 AND FOR LOT AREAS

TRACT 4  
 THE TRAILS UNIT 2

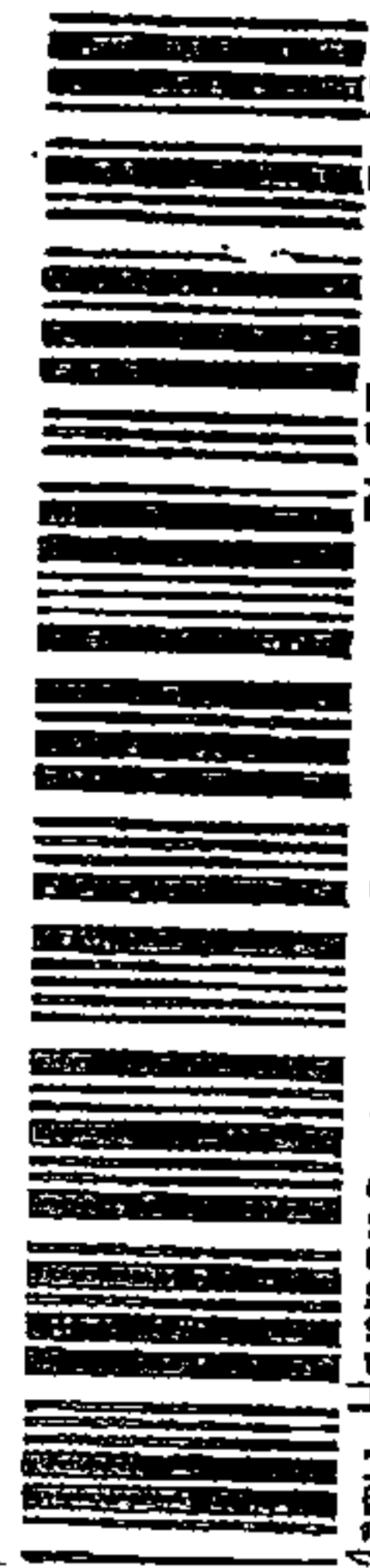
THE RESERVE  
 AT THE TRAILS



SHEET 4 OF 5  
**SURVOTEK, INC.**

050079\_FINALPLAT-REV1.DWG

5



ary Herrera Bernalillo Co. PLAT R 17.00 BX-2004C Pg-317  
2004141261  
8154758  
Page: 1 of 3  
10/06/2004 03:07P

# PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION

BEING A REPLAT OF  
TRACT F, THE TRAILS  
WITHIN THE TOWN OF ALAMEDA GRANT  
PROJECTED SECTION 16,  
T. 11 N., R. 2 E., NMPM  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2004



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND  
PAID ON UPG #. See Plat  
PROPERTY OWNER OF RECORD:

*Blaiz M. Restan* 1000  
BERNALILLO COUNTY TREASURER'S OFFICE

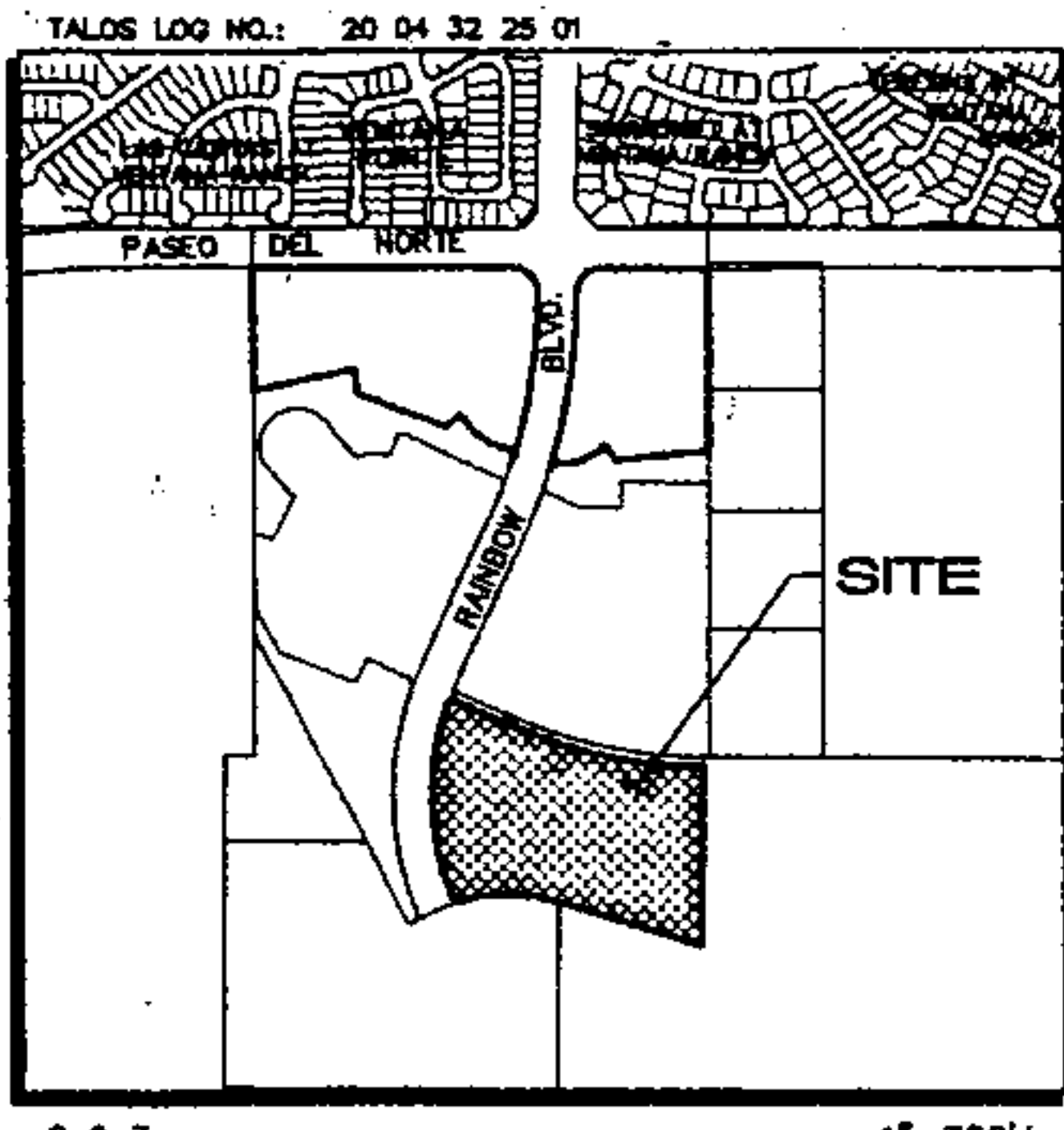
*Ramy Vigil* *Abeloy*

**APPROVALS**  
DRB PROJECT NO. 1003403  
APPLICATION NO. 04-DRB-01493  
Utility Approvals

*Leandro Morales*

9-16-04

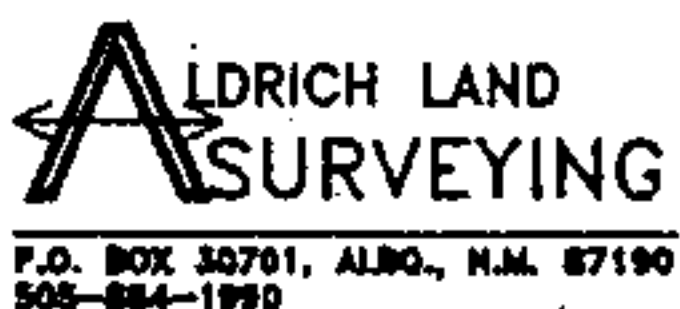
Alameda Grant, projected Section  
New Mexico Principal Meridian, City of  
including all of TRACT F, THE TRAILS  
plat filed for record in the  
New Mexico on December 15,  
3 17.2070 acres more or less.



VICINITY MAP 1"=750'

SUBDIVISION DATA / NOTES

- 1. Total Number of Existing Tracts: 1
2. Total Number of Lots created: 80
3. Total Number of Tracts created: 2
4. Gross Subdivision Acreage: 17,2070 Ac.
5. Total Mileage of Full Width Streets Created: 0.5982
6. Bearings are New Mexico State Plane Grid Bearings (Central Zone)
7. Distances are ground distances.
8. Bearings and distances in parentheses are record.
9. Basis of boundary are the following plats (and documents) of record entitled: PLAT OF 'THE TRAILS' (12-15-03, 03C-375)
10. Field Survey performed on March, 2003.
11. This Report: None provided.
12. This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
13. Basis of boundary is from the plats of record entitled: UNPLATTED LAND OF 'VOLCANO SIX LIMITED' TRACT 05-1 OPEN SPACE TRACT 05-2 OPEN SPACE UNPLATTED LAND OF 'THE ARCHDIOCESE OF SANTA FE' UNPLATTED LAND OF 'PARADISE WEST INC.' PLAT OF 'THE TRAILS, TRACT D' (12-15-03, 03C-375) PLAT OF 'THE TRAILS, TRACT J' (12-15-03, 03C-375) PLAT OF 'THE TRAILS, TRACT G' (12-15-03, 03C-375) all being records of Bernalillo County, New Mexico.
14. Current Zoning: R-D.
15. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area, water and territory sewer system capabilities are based on the NMU, Inc. facilities, not the City of Albuquerque.
16. Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped 'City of Albuquerque', 'Centerline Monumentation', 'Survey Marker', 'Do Not Disturb', 'PLS 7719'.
16. All property corners to be set with 5/8" rebar with cap 'ALS LS 7719'.



LEGAL DESCRIPTION

A tract of land situate within the Town of Alameda Grant, projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT F, THE TRAILS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 15, 2003 in Book 2003C, Page 375 and containing 17,2070 acres more or less.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tracts and the vacated easements into residential lots, to create 2 tracts, to dedicate public rights-of-way, and to grant those easements necessary to serve the residential development.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

OWNER (RECEIVING TRACTS A & PR BY THIS PLAT) RESERVE AT THE TRAILS HOMEOWNERS ASSOCIATION

RICHARD T. BRESSAN Date
PRESIDENT

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO }
This instrument was acknowledged before me on 2004, by Richard T. Bressan as President of Reserve at the Trails Homeowners Association, a New Mexico Non-Profit Corporation, on behalf of said Corporation.
My Commission Expires:
Notary Public

OWNER

CENTEX HOMES
NORMAN A. GREGORY Date
LAND DEVELOPMENT MANAGER

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO }
This instrument was acknowledged before me on 2004, by Norman A. Gregory as Land Development Manager of Centex Homes, a Nevada General Partnership, on behalf of said General Partnership.
My Commission Expires:
Notary Public

PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION BEING A REPLAT OF TRACT F, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AUGUST 2004

APPROVALS

Table with columns for Agency, Application No. (1003403), and Date. Agencies include PHM Electric Services Division, PHM Gas Services Division, QWEST, COMCAST, New Mexico Utilities, City Approvals, City Surveyor, Real Property Division, Environmental Health Department, Traffic Engineering, Transportation Division, Utilities Development, Parks and Recreation Department, AMAFCA, City Engineer, and ORB Chairperson, Planning Department.

SURVEYOR'S CERTIFICATION

Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief.

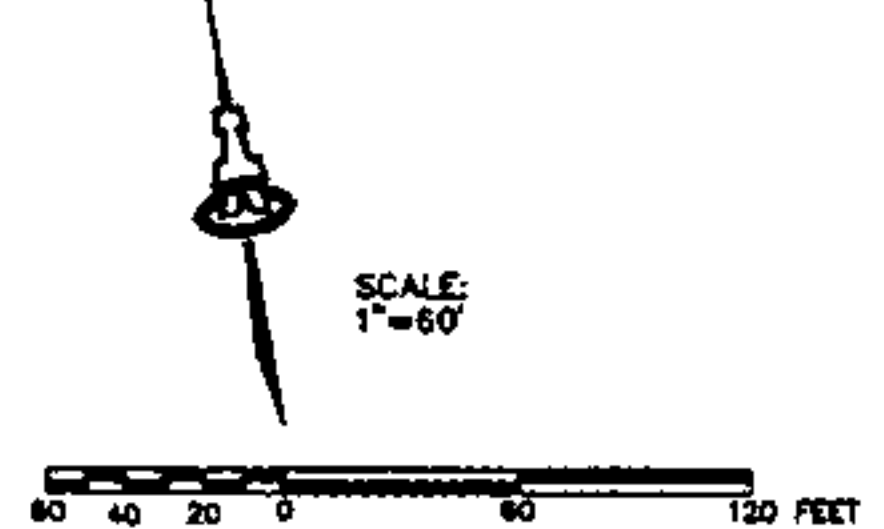
Timothy Aldrich, P.S. No. 7719 Date

ACS MONUMENT 'UNION 1969' Y=1,523,440.96 X=353,409.02 G-C=0.999965044 Δs=-0016'30" (NAD 1927)

- NOTES: 1. SEE SHEET 3 FOR CURVE AND LINE TABLES. 2. SEE SHEET 3 FOR EASEMENT NOTES. 3. DISTANCES IN BRACKETS ARE MONUMENT DISTANCES.

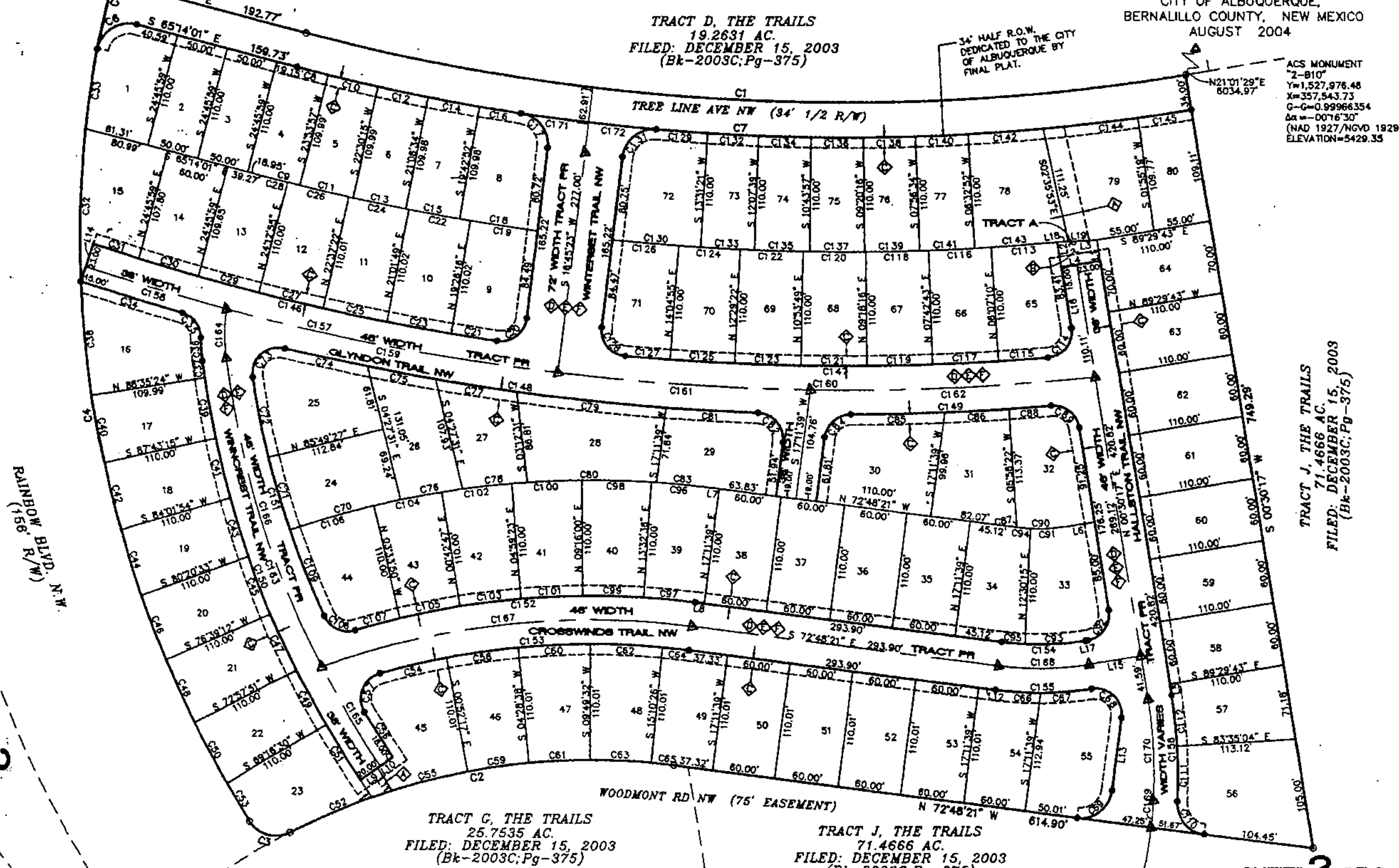
LEGEND

- FOUND 5/8" REBAR WITH CAP 'LS 5978' (TYP.)
SET 5/8" REBAR WITH CAP 'ALS LS 7719' (TYP.)
PROPERTY LINE
ADJOINING PROPERTY LINE
CENTERLINE MONUMENT



PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION BEING A REPLAT OF TRACT F, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AUGUST 2004

ACS MONUMENT 'Z-B10' Y=1,527,976.48 X=357,543.73 G-C=0.99996354 Δs=-0016'30" (NAD 1927/NGVD 1929) ELEVATION=5429.35



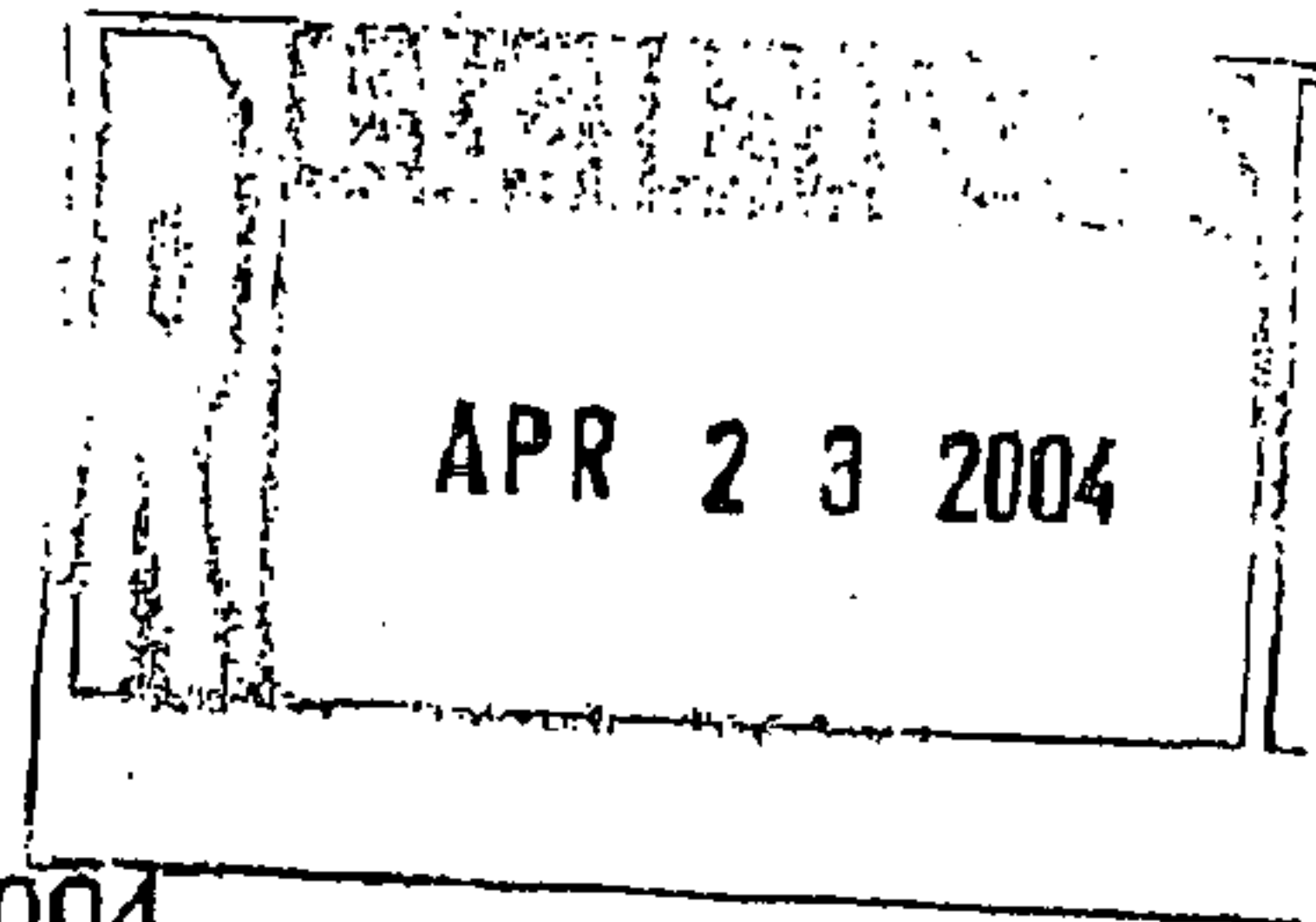
TRACT G, THE TRAILS 25.7535 AC. FILED: DECEMBER 15, 2003 (Bk-2003C;Pg-375)

TRACT J, THE TRAILS 71.4666 AC. FILED: DECEMBER 15, 2003 (Bk-2003C;Pg-375)



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD



APRIL 21, 2004

- 4. **Project # 1003354**
- 04DRB-00458 Major-Vacation of Public Easements
- 04DRB-00457 Major-Preliminary Plat Approval
- 04DRB-00459 Minor-Temp Defer SDWK
- 04DRB-00461 Minor-Sidewalk Waiver

ISAACSON & ARFMAN P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) A, THE TRAILS, (to be known as HERITAGE @ THE TRAILS, UNIT 1, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 14 acre(s). [REF: 1002962, 03DRB-01528] (C-9)

At the April 21, 2004, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

- 1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
- 2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

- 1. Final disposition shall be through the City Real Estate Office.
- 2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
- 3. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

With the signing of the infrastructure list dated 4/21/04 and approval of the grading plan engineer stamp dated 3/24/04 the preliminary plat was approved with the following condition of final plat:





OFFICIAL NOTICE OF DECISION  
PAGE 2

An approved perimeter wall submittal is required prior to construction taking place.

Temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file.

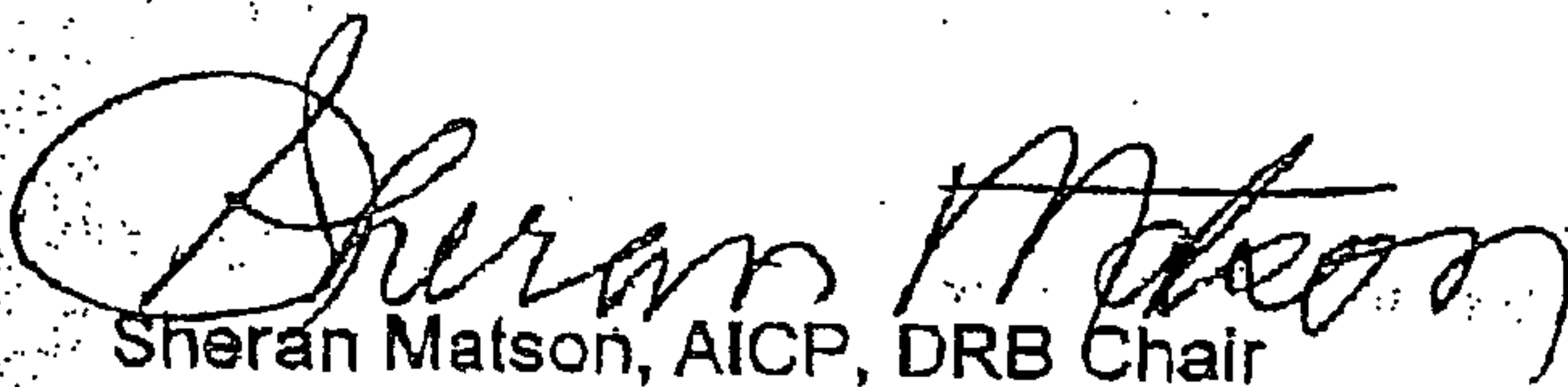
If you wish to appeal this decision, you must do so by May 6, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Sheran Matson, AICP, DRB Chair

cc: Isaacson & Arfman PA, 128 Monroe St NE, 87108  
Centex Homes, 5120 Masthead NE, 87109  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg  
File



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

APRIL 21, 2004

5. **Project # 1003353**  
04DRB-00454 Major-Vacation of Public Easements  
04DRB-00452 Major-Preliminary Plat Approval  
04DRB-00456 Minor-Sidewalk Waiver  
04DRB-00453 Minor- Temp Deferral of Sidewalk

ISAACSON & ARFMAN, P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) B, THE TRAILS, (To be known as **HERITAGE @ THE TRAILS, UNIT 2**, zoned R-D, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 10 acre(s). [REF: 1002962, 03DRB-01528 (C-9) THE

At the April 21, 2004, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

### FINDINGS:

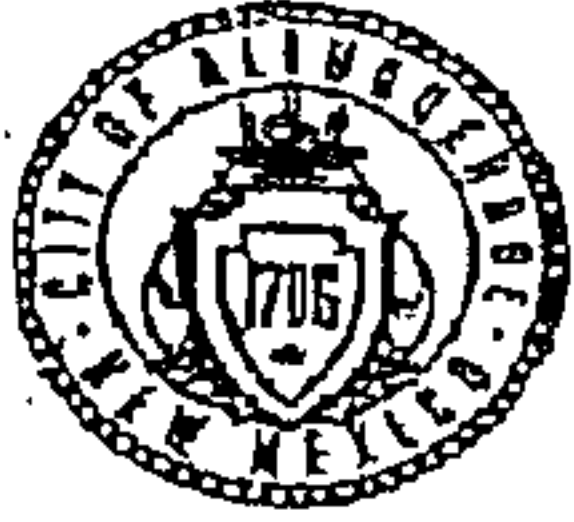
1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

### CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
3. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

With the signing of the infrastructure list dated 4/21/04 and approval of the grading plan engineer stamp dated 3/24/04 the preliminary plat was approved with the following condition of final plat:

An approved perimeter wall submittal is required prior to construction taking place.



**OFFICIAL NOTICE OF DECISION  
PAGE 2**

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The sidewalk waiver exhibit has been revised to show Lot 27 is not included.

Temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.


If you wish to appeal this decision, you must do so by May 6, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Sheran Matson, AICP, DRB Chair

cc: Isaacson & Arfman PA, 128 Monroe St NE, 87108  
Centex Homes, 5120 Masthead NE, 87109  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg  
File



**OFFICIAL NOTICE OF DECISION**

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

JANUARY 7, 2004

- 1. **Project # 1002929**  
 03DRB-01531 Major-Preliminary Plat Approval  
 03DRB-01535 Minor-Sidewalk Waiver  
 03DRB-01533 Minor-Temp Defer SDWK

DENISH - KLINE agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) C < aka Santa Fe @ The Trails >, **THE TRAILS**, zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 17 acre(s). [Deferred from 12-31-03] (C-9)

At the January 7, 2004, Development Review Board meeting, with the signing of the infrastructure list dated today and the grading and drainage plan dated 12-24-03, the preliminary plat was approved. A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. Temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by January 22, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

JANUARY 7, 2004

**2. Project # 1002928**

03DRB-01532 Major-Preliminary Plat Approval  
03DRB-01534 Minor-Temp Defer SDWK  
03DRB-01536 Minor-Sidewalk Waiver

BOHANNAN HUSTON, INC./ DENISH-KLINE & agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of Tract(s) D TBKA TAOS @ THE TRAILS, THE TRAILS, POR. OF TR. 4, BLACK RANCH, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD. NW and UNIVERSE BLVD. NW containing approximately 20 acre(s). [REF: 1002928] [Deferred from 12-31-03] (C-09)

At the January 7, 2004, Development Review Board meeting, with the signing of the infrastructure list dated today and the grading and drainage plan dated 12-24-03, the preliminary plat was approved. A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. Temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by January 22, 2004, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)



# OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

June 16, 2004

**Project # 1003403**  
04DRB-00634 Minor-Sidewalk Waiver

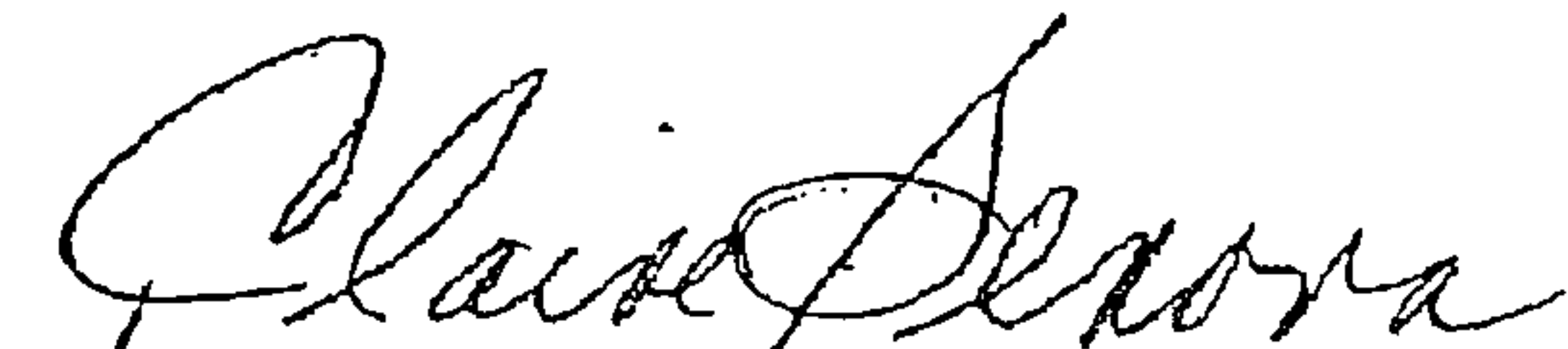
ISAACSON & ARFMAN, P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) F, THE TRAILS (to be known as **THE RESERVE AT THE TRAILS**, zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and TOWN OF ALAMEDA GRANT SOUTH BOUNDARY containing approximately 18 acre(s). [REF: 1002962, 03DRB-01528] (Deferred from 5/19/04, 6/2/04) [On 6/9/04 the Preliminary Plat, Vacation of Public Easements and Temporary Deferral of Sidewalks was approved. The above request was omitted in error.] (C-9)

At the June 16, 2004, Development Review Board meeting, a sidewalk variance for waiver of sidewalk was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by July 1, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Sheran Matson, AICP, DRB Chair

cc: Isaacson & Arfman PA, 128 Monroe St NE, 87108  
Centex Homes, 5120 Masthead NE, 87109  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg  
File

JUN 29 2004

**ORIGINAL**

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: March 26, 2004  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: 4/21/04  
Date Preliminary Plat Expires: 4/21/05  
DRB Project No.: 1003353  
DRB Application No.: 04DRB-00452

⚠ 6/24/04

HERITAGE AT THE TRAILS, UNIT 2  
PROPOSED NAME OF PLAT

TRACT B, THE TRAILS  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
		28' F-F	Residential Paving	Edison Road	Battlecreek Street	Allegiance Street	/	/	/
		24' F-F	Residential Paving	Edison Road	Tract A	Battlecreek Street	/	/	/
		24' F-F	Residential Paving	Edison Road	Allegiance Street	Lot 19	/	/	/
		28' F-F	Residential Paving	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	Hearthstone Road	Battlecreek Street	east property line	/	/	/
		50' F-F (incl Median)	Residential Paving	Hearthstone Road	Rainbow Blvd	Battlecreek Street	/	/	/
		31' F-F (half of full width)	Arterial Paving	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
			Modified Procedure "C" (8)	<del>Paseo del Norte</del>			/	/	/
		31' F-F (half of full width)	Arterial Paving Paseo del Norte (1A)	Rainbow Blvd	East #		/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Edison Road	Tract A	Lot 19	/	/	/

See note 9

ORIGINAL

MAY 04 2006 4:35PM  
 JACSON & ARFMAN

SIA Sequence #	COA DRC Project #					Private Inspector	City Inspector	City Const Engineer
		Std. or Mntbl	Curb and Gutter (6)	Battlecreek Street	Edison Road	Hearthstone Road	/	/
		Std. or Mntbl	Curb and Gutter (6)	Allegiance Street	Edison Road	Hearthstone Road	/	/
		Std. or Mntbl	Curb and Gutter (6)	Hearthstone Road	Rainbow Blvd	east property line	/	/
		Median	Curb and Gutter	Hearthstone Road	Rainbow Blvd	E. of Battlecreek Street	/	/
		Std.	Curb and Gutter (7) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/
		Median	Curb and Gutter (7) (West Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Edison Road	Tract A	Lot 19	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Edison Road	Battlecreek Street	Allegiance Street	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Battlecreek Street	Edison Road	Hearthstone Road	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Allegiance Street	Edison Road	Hearthstone Road	/	/
		4'	PCC Sidewalk (North Side Only)	Hearthstone Road	Rainbow Blvd	Battlecreek Street	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	Battlecreek Street	east property line	/	/
		4'	PCC Sidewalk (1) (South Side Only) <i>Both sides</i>	Hearthstone Road	Lot 34	east property line	/	/
		6'	PCC Sidewalk (7) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/
		10'	Asphalt Trail <i>UNIT 11</i>	Tract 05-2	West Pt	East Pt	/	/
		6"	Waterline	Edison Road	Battlecreek Street	Lot 19	/	/
		6"	Waterline	Battlecreek Street	Edison Road	Hearthstone Road	/	/
		6"	Waterline	Allegiance Street	Edison Road	Hearthstone Road	/	/



ORIGINAL

MAY 04 2006 4:35PM  
 JACSON & ARFMAN

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		8"	Waterline	Hearthstone Road	Rainbow Blvd	east property line	/	/	/
		8"	Waterline	Offsite easement	Hearthstone Road	Ladron Drive (Taos at the Trails)	/	/	/
		20"	Waterline (7)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
							/	/	/
		8"	SAS	Edison Road	Rainbow Blvd	Lot 19	/	/	/
		8"	SAS	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		8"	SAS	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		8"	SAS	Hearthstone Road	Battlecreek Street	east property line	/	/	/
		8"	SAS	Offsite easement	Hearthstone Road	Ladron Drive (Taos at the Trails)	/	/	/
		8" - 12"	SAS (7)	Tracts D, F, & J	Ladron Drive (Taos at the Trails)	Universe Blvd	/	/	/
		750 gpm	Temp SAS Lift Station (7)	Tract J	Universe Blvd		/	/	/
		8"	Temporary SAS Force Main (7)	Universe Blvd	Tree Line Avenue	Paseo del Norte	/	/	/
							/	/	/
		18"-48"	RCP Storm Drain	Edison Road	Rainbow Blvd	Lot 19	/	/	/
		42"-48"	RCP Storm Drain	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		18"-48"	RCP Storm Drain	Hearthstone Road	Rainbow Blvd	Pond D	/	/	/
		6.46 Ac-Ft	Retention Pond on unplatted land east of Tract B, The Trails. (Pond D) w/ easmt, Covenant & Agreement, and emergency overflow				/	/	/

ORIGINAL

#250,000 drainage mitigation contribution by Proj B mod



Temporary Storm Drain Pump - University Blvd - Pond C - Las Ventanas Dam


Station & Force Main (0)

Perimeter Walls (not to be financially guaranteed)

Water meter for landscaping

Sequence #	COA DRC Project #	Private Inspector	City Inspector	City Const Engineer
		/	/	/
		/	/	/
		/	/	/
		/	/	/
		/	/	/
		/	/	/
		/	/	/
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		/	/	/
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		/	/	/
		/	/	/
		/	/	/

**NOTES:**

1. Sidewalks to be deferred
2. Residential lighting per DF
3. Grading and Drainage Cer
4. All water to include fire hys
5. Storm drain sizes are subj
6. Curb & gutter on both side
7. Adjacent portions of Rainb
8. Offsite Traffic Mitigation F
9.  ~~Includes removal and repl~~  
~~Planning Department in ad~~  
 by Modified Proc
10. Trail to be built
11. Landscape Maint
12. in the public ric

- Seq
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AGENT/OWNER

Genevieve Donart, PE  
NAME (print)

Isaacson & Arfman, P.A.  
FIRM

*Genevieve Donart* 6/20/10  
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
CONSTRUCTION: \_\_\_\_\_

\_\_\_\_\_

REVISION	DATE
1	6/29/10

Current DRC Project No. **ORIGINAL**

FIGURE 12

Date Submitted: March 24, 2004

Date Site Plan Approved: 3/21/04

Date Preliminary Plat Approved: 3/21/04

Date Preliminary Plat Expires: 1003354

DRB Project No.: 04DRB-00457

DRB Application No.: 6/24/04

**INFRASTRUCTURE LIST**

EXHIBIT "A"

TO SUBMISSION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

HERITAGE AT THE TRAILS, UNIT 1

PROPOSED NAME OF PLAT

TRACT A, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector
		28' F-F	Residential Paving	Williamsburg Road	West Property Line	Nationwide Street	/	/
		28' F-F	Residential Paving	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/
		28' F-F	Residential Paving	Jameson Street	Williamsburg Road	Hearthstone Road	/	/
		28' F-F	Residential Paving	West Heaven Street	Williamsburg Road	Hearthstone Road	/	/
		32' F-F	Residential Paving	Hearthstone Road	West Property Line	Nationwide Street	/	/
		50' F-F (incl Median)	Residential Paving	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/
	735081	31' F-F (half of full width)	Arterial Paving (B)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/
			Modified Procedure C/A - SEE NOTE 9				/	/
		31' F-F (half of full width)	Arterial Paving (11)	Paseo del Norte W. Prop. line	Rainbow Blvd.	Rainbow Blvd.	/	/
		Sid. or Median	Curb and Gutter (6)	Williamsburg Road	West Property Line	Nationwide Street	/	/
		Sid. or Median	Curb and Gutter (6)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/

Page: 12 of 32  
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SIA Sequence #	COA DRC Project #	Std. or Mitibi	Curb and Gutter (ft)	Jameson Street	Williamsburg Road	Hearthstone Road	Private Inspector	City Inspector	City Const Engineer
				Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
				West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
				Hearthstone Road	West Property Line	Rainbow Blvd	/	/	/
				Hearthstone Road	E. of Nationwide Street	Rainbow Blvd	/	/	/
15-1	730081	Std.	Curb and Gutter (8) (West Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		Median	Curb and Gutter (8) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Hearthstone Road	West PL - Lot 50	East PL - Lot 44	/	/	/
15-1	730081	10'	Asphalt Trail (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		10'	Asphalt Trail (8)	Tract 05-1	West PL	East PL	/	/	/
		6"	Waterline	Public Easement on Lot 2	Paseo Del Norte	Williamsburg Road	/	/	/
		6"	Waterline	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		6"	Waterline	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/

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 Page: 13 of 34  
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 08/24/04

ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		8"	Waterline	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		6"	Waterline	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		6"	Waterline	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		20"	Waterline (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
							/	/	/
		8"	SAS	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		8"	SAS	Hearthstone Road	West Property Line	Lot 44	/	/	/
		8"	SAS	Jameson Street	Lot 70 - South End	Williamsburg Road	/	/	/
		8"	SAS	West Haven Street	Hearthstone Road	Williamsburg Road	/	/	/
		8"	SAS	Nationwide Street	Williamsburg Road	Lot 30	/	/	/
		8"	SAS	Lot 21 Easement	Williamsburg Road	Rainbow Blvd.	/	/	/
		8" - 12"	SAS (8)	Tracts B, D, F, & J	Lot 21 Easement	Universe Blvd	/	/	/
		750 gpm	Temp SAS Lift Station (8)	Tract J	Universe Blvd		/	/	/
		8"	Temporary SAS Force Main (8)	Universe Blvd	Tree Line Avenue	Paseo del Norte	/	/	/
							/	/	/
		30"	RCP Storm Drain	Lot 2 Easement	Williamsburg Road	Paseo del Norte	/	/	/
		36" - 42"	RCP Storm Drain	Paseo Del Norte	Lot 2	Rainbow Blvd.	/	/	/
		24"	RCP Storm Drain	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/

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SIA Sequence #	COA DRC Project #	RCP Storm Drain	Lot 21 Easement	Williamsburg Road	Williamsburg Road	Rainbow Blvd.	Private Inspector	City Inspector	City Const Engineer
		30"	Lot 21 Easement	Williamsburg Road	Williamsburg Road	Rainbow Blvd.	/	/	/
		30"	Williamsburg Road	West Property Line	Lot 21 Easement		/	/	/
		24"	Tract OS-1	Hearthstone Road	Hearthstone Road	Setback at the Trails	/	/	/
		24"	Rainbow Blvd (at Hearstone Road)	West right-of-way line	East right-of-way line		/	/	/
		30'-48"	Rainbow Blvd (at Lot 21 Easement)	West right-of-way line	East right-of-way line		/	/	/
		6.46 Ac-Ft	Retention Pond on unplatted land east of Tract B, The Trails. Wetland, Covenant & Agreement, and emergency overflow				/	/	/
		0.77 Ac-Ft	Temporary Retention Pond on property west of Heritage at the Trails, Unit 1. Wetland, Covenant & Agreement, and emergency overflow				/	/	/
MB-1	1730081		Temporary Storm Drain Purpose: Station & Force Main (40)	Williamsburg Road	Lot 21 Easement	Lot 21 Easement	/	/	/
			Perimeter Walls	Not subject to financial guaranty				/	/
			Landscaping water meter					/	/
								/	/
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**NOTES:**

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Not used
8. Adjacent portions of Rainbow Blvd to be built by a separate project. (DRB Project#1002962, CPN#730081) Rainbow Blvd not financially guaranteed with this project.
9. Offsite Traffic Mitigation Fees of \$565 per lot to be paid by Modified Procedure "C" (non-work order): \$565/lot x 75 lots = \$42,375
10. ~~Includes removal and replacement of existing asphalt. To be deferred. Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRC procedure review.~~
11. *by Modified Procedure 'c' (non-work order) is an option (concurrent from AMD)*
12. *Trail to be built by a separate project*

AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Genevieve Donart, PE NAME (print)	<i>Sharon Watson</i> DRB CHAIR - date	<i>Christina Dandora</i> PARKS & GENERAL SERVICES - date	
Isaacson & Arman, P.A. FIRM	<i>4-21-04</i> TRANSPORTATION DEVELOPMENT - date		AMAFCA - date
<i>Genevieve Donart</i> SIGNATURE - date	<i>Roger Albee</i> UTILITY DEVELOPMENT - date	<i>4-21-04</i>	- date
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION:	<i>Brad L. Bigham</i> CITY ENGINEER - date	<i>4-21-04</i>	- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
1	6/24/04	<i>Brad Bigham</i>	<i>Brad Bigham</i>	<i>Genevieve Donart</i>

13. *Landscape Maintenance Agreement between City and the H.O.A. is required for landscaping in the public right-of-way.*

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 Page: 16 of 34  
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Current DRC Project No. \_\_\_\_\_

Date Submitted: January 8, 2004  
 Date Site Plan Approved: N/A  
 Date Preliminary Plat Approved: 1/7/04  
 Date Preliminary Plat Expires: 1/7/05  
 Application No. 03DRB01531  
 DRB Project No. 1002929

Figure 12  
 INFRASTRUCTURE LIST

EXHIBIT 'A'  
 TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST  
 SANTA FE AT THE TRAILS (TRACT C)

**ORIGINAL**

6/23/04

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that applicant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that applicant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/borrower. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
B-1	730061	31' F-F	ARTERIAL PAVING W/ PCC CURB & GUTTER & 10' WIDE ASPHALT TRAIL ON WEST SIDE ONLY	RAINBOW BLVD.	PASEO DEL NORTE	TRACT E	/	/	/
			TEMPORARY PAVING FOR TURNAROUND	RAINBOW BLVD.	SOUTH END OF TRACT E		/	/	/
		40' F-F	MAJOR LOCAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	TREE LINE AVENUE	WEST BOUNDARY	RAINBOW BLVD.	/	/	/
		50' F-F	TEMPORARY PAVING FOR TURNAROUND AT WEST BOUNDARY	RAINBOW BLVD.	WEST BOUNDARY	RAINBOW BLVD.	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES WITH MEDIAN	KUANA STREET	TREE LINE AVENUE	TEYPANA ROAD	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	TEYPANA ROAD	NUEVA SEVILLA ST.	SABINAL DRIVE	/	/	/
		22' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON SOUTH SIDE ONLY*	TEYPANA ROAD	NUEVA SEVILLA ST.	WEST STUB TERMINUS	/	/	/
		22' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON SOUTH SIDE ONLY*	TEYPANA ROAD	SABINAL DRIVE	EAST STUB TERMINUS	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	JALISCO ROAD	NUEVA SEVILLA ST.	SABINAL DRIVE	/	/	/

PUBLIC ROADWAY IMPROVEMENTS

Page 1 of 5	1/7/04	1/7/05	1/7/05	1/7/05	1/7/05	1/7/05	1/7/05	1/7/05	1/7/05
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COA DRC Project #	Location	Type of Improvement	Size	From	To	Private Inspector	City Inspector
	TOME COURT	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	28' F-F	CUL-DE-SAC TERMINUS	NUJEVA SEVILLA STREET	/	/
	NUJEVA SEVILLA ST.	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	28' F-F	TEYPARA ROAD	SENUCU ROAD	/	/
	SENUCU ROAD	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	28' F-F	NUJEVA SEVILLA ST.	SABINAL DRIVE	/	/
	SABINAL DRIVE	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	28' F-F	TEYPARA ROAD	SENUCU ROAD	/	/
	SABINAL DRIVE	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON EAST SIDE ONLY*	22' F-F	SENUCU ROAD	NORTH STUB TERMINUS	/	/

\* SIDEWALKS TO BE DEFERRED.

STREET LIGHTS AS PER COA DPM

MODIFIED PROCEDURE 'C'

OFFSITE TRAFFIC MITIGATION FEE: \$6650/LOT X 100 LOTS = \$665000

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SIA Sequence #	COA DRC Project #	Location	Type of Improvement	Size	From	To	Private Inspector	City Inspector
		TREE LINE AVENUE	PUBLIC STORM DRAIN IMPROVEMENTS	18'-36" DIA	WEST BOUNDARY	RAINBOW BLVD.	/	/
	730081	TEYPARA ROAD	RCP W/ NEC. MHTS, LATERALS & INLETS	18'-64" DIA	EAST STUB TERMINUS	TRACT D, F, AND J BLANKET DRAINAGE EASEMENT	/	/
		RAINBOW BLVD.	RCP W/ NEC. MHTS, LATERALS & INLETS	18'-36" DIA	TREE LINE AVENUE	TEYPARA ROAD	/	/
		TRACT F AND J. BLANKET DRAINAGE EASEMENT	TEMPORARY EARTHEN W/ AGREEMENT & COVENANT	9.3 ACRE-FT	TRACT J		/	/
	730081	TRACT J	TEMPORARY EARTHEN RETENTION POND, W/ AGREEMENT AND COVENANT	9.3 ACRE-FT			/	/

NOTE: A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLANS IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.

REMOVED RETENTION OF DRAINAGE AMOUNT TO BE REVIEWED AND APPROVED BY THE CITY OF ALBUQUERQUE HYDROLOGY PLANNING DEPARTMENT IN ADDITION TO THE STANDARD DRC PROCEDURE REVIEW. (TO BE DEFERRED - FINANCIAL GUARANTY AMOUNT TO BE REVIEWED AND APPROVED BY THE CITY OF ALBUQUERQUE HYDROLOGY PLANNING DEPARTMENT IN ADDITION TO THE STANDARD DRC PROCEDURE REVIEW.)

230,000 Drainage Mitigation  
 Proc. 8/med cont'd

24" RCP SD SENECA SABINAL 200' WEST  
 24-36" RCP SD SABINAL SENECA POND D  
 73-ACFT RETENTION POND D TRACT A  
 W/ AGREEMENT + COVENANT Page 2 of 5

ORIGINAL

**PUBLIC (MUD) WATERLINE IMPROVEMENTS**

SIA Sequence #	COA DRG Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crst Engineer
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	TREE LINE AVENUE	WEST BOUNDARY	RAINBOW BLVD.	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	KUANA STREET	TREE LINE AVENUE	TEYPANA ROAD	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	TEYPANA ROAD	WEST STUB TERMINUS	EAST STUB TERMINUS	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	JALISCO ROAD	NUEVA SEVILLA ST.	SABINAL DRIVE	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	TOME COURT	CUL-DE-SAC TERMINUS	NUEVA SEVILLA STREET	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	NUEVA SEVILLA ST.	TEYPANA ROAD	SENUCU ROAD	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	SENUCU ROAD	NUEVA SEVILLA ST.	SABINAL DRIVE	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	SABINAL DRIVE	TEYPANA ROAD	NORTH STUB TERMINUS	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	TRACT OS-1	SABINAL DRIVE	RAINBOW BLVD.	/	/	/
		20" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	RAINBOW BLVD.	PASEO DEL NORTE	TRACT E	/	/	/
			WATER METER FOR LANDSCAPING						

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 Page 1 of 34  
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SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crst Engineer
		8" DIA	SANITARY SEWER W/ NEC. MHTS & SERVICES	TREE LINE AVENUE	WEST BOUNDARY	RAINBOW BLVD.	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MHTS & SERVICES	KUANA STREET	TREE LINE AVENUE	TEYPANA ROAD	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MHTS & SERVICES	TEYPANA ROAD	WEST STUB TERMINUS	EAST STUB TERMINUS	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MHTS & SERVICES	TOME COURT	CUL-DE-SAC TERMINUS	NUEVA SEVILLA STREET	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MHTS & SERVICES	NUEVA SEVILLA ST.	TEYPANA ROAD	SENUCU ROAD	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MHTS & SERVICES	SENUCU ROAD	NUEVA SEVILLA ST.	SABINAL DRIVE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MHTS & SERVICES	SABINAL DRIVE	TEYPANA ROAD	NORTH STUB TERMINUS	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MHTS & SERVICES	TRACT OS-1	SABINAL DRIVE	RAINBOW BLVD.	/	/	/
		8-12" DIA	SANITARY SEWER W/ NEC. MHTS & SERVICES	TRACT J	TREE LINE AVENUE	UNIVERSE BLVD.	/	/	/
		750 GPM	TEMPORARY LIFT STATION	TRACT J	UNIVERSE BLVD.		/	/	/
		8" DIA	TEMPORARY FORCE MAIN	UNIVERSE BLVD.	TREE LINE AVENUE	PASEO DEL NORTE	/	/	/

**PUBLIC (NMUD) SANITARY SEWER IMPROVEMENTS**

**NOTES:**

1. LANDSCAPE MAINTENANCE AGREEMENT FOR LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY
2. PERIMETER WALLS PER DRB APPROVED PERIMETER WALL DESIGN
3. WALL & LANDSCAPING CERTIFICATION FROM REGISTERED ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT REQUIRED PRIOR TO RELEASE OF FINANCIAL GUARANTEES.

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NINA LEUNG  
 PREPARED BY: PRINT NAME  
 DATE: 1/7/04  
 CHRISTINA SANDORAL  
 PARKS & RECREATION SERVICES  
 RECREATION  
 DATE: 1-6-04  
 BOHANNAN HUSTON INC.  
 FIRM:  
 TRANSPORTATION DEVELOPMENT  
 DATE: 1-7-04  
 STEVEN M. MAYER  
 ANAFCA  
 SIGNATURE: [Signature]  
 DATE: 1-6-04  
 BRAD L. BYRNE  
 CITY ENGINEER  
 DATE: 1-7-04  
 UTILITY DEVELOPMENT  
 DATE: 1-5-04  
 NEW MEXICO UTILITIES INC.

MAXIMUM TIME ALLOWED TO CONSTRUCT  
 IMPROVEMENTS WITHOUT A DRB EXTENSION

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT OWNER
A	4/2/04	[Signature]	[Signature]	[Signature]
B	6/23/04	[Signature]	[Signature]	[Signature]

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Current DRC Project No.

**ORIGINAL**

Figure 12  
**INFRASTRUCTURE LIST**  
 EXHIBIT "A"  
 TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: January 6, 2004  
 Date Site Plan Approved: MA  
 Date Preliminary Plat Approved: 1/7/04  
 Date Preliminary Plat Expires: 1/7/05  
 Application No. 03 DRB-0153  
 DRB Project No. 1002828

**TAOS AT THE TRAILS (TRACT D)**

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC ROADWAY IMPROVEMENTS</b>									
B-1	730081	31' F-F	ARTERIAL PAVING W/ PCC CURB & GUTTER & PCC 8' WIDE SIDEWALK ON EAST SIDE	RAINBOW BLVD.	TRACT E	PASEO DEL NORTE	/	/	
			TEMPORARY PAVING FOR TURNAROUND	RAINBOW BLVD.	SOUTH END OF TRACT E		/	/	
		20' F-F	MAJOR LOCAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON NORTH SIDE* WITH 8' MEDIAN	TREE LINE AVENUE	RAINBOW BLVD.	EAST BOUNDARY	/	/	
		12' F-E	TEMPORARY PAVING TEMPORARY TURNAROUND AT EAST BOUNDARY	TREE LINE AVENUE	RAINBOW BLVD.	EAST BOUNDARY	/	/	
		50' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES WITH MEDIAN	PILABO STREET	TREE LINE AVENUE	LAS NUTRIAS ROAD	/	/	
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	LAS NUTRIAS ROAD	OLD MILL STREET	LADRON DRIVE	/	/	
		22' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON SOUTH SIDE ONLY*	LAS NUTRIAS ROAD	RAINBOW BLVD.	OLD MILL STREET	/	/	
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	OLD MILL STREET	LAS NUTRIAS ROAD	ALAMILLO ROAD	/	/	
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	LADRON DRIVE	LAS NUTRIAS ROAD	ALAMILLO ROAD	/	/	

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22' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON EAST SIDE ONLY*	LADRON DRIVE	NORTH STUB TERMINUS	ALAMILLO ROAD
22' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON EAST SIDE ONLY*	LADRON DRIVE	LAS NUTRIAS ROAD	SOUTH STUB TERMINUS
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	CUCHILLO ROAD	OLD MILL STREET	LADRON DRIVE
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	JARALES COURT	CUL-DE-SAC TERMINUS	CUCHILLO ROAD
28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	ALAMILLO ROAD	OLD MILL STREET	LADRON DRIVE

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\* SIDEWALKS TO BE DEFERRED.  
 STREET LIGHTS AS PER COA DPM  
 MODIFIED PROCEDURE 'C'  
 OFFSITE TRAFFIC MITIGATION FEE: \$565/LOT X 130 LOTS = \$73450

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 Page 23 of 34  
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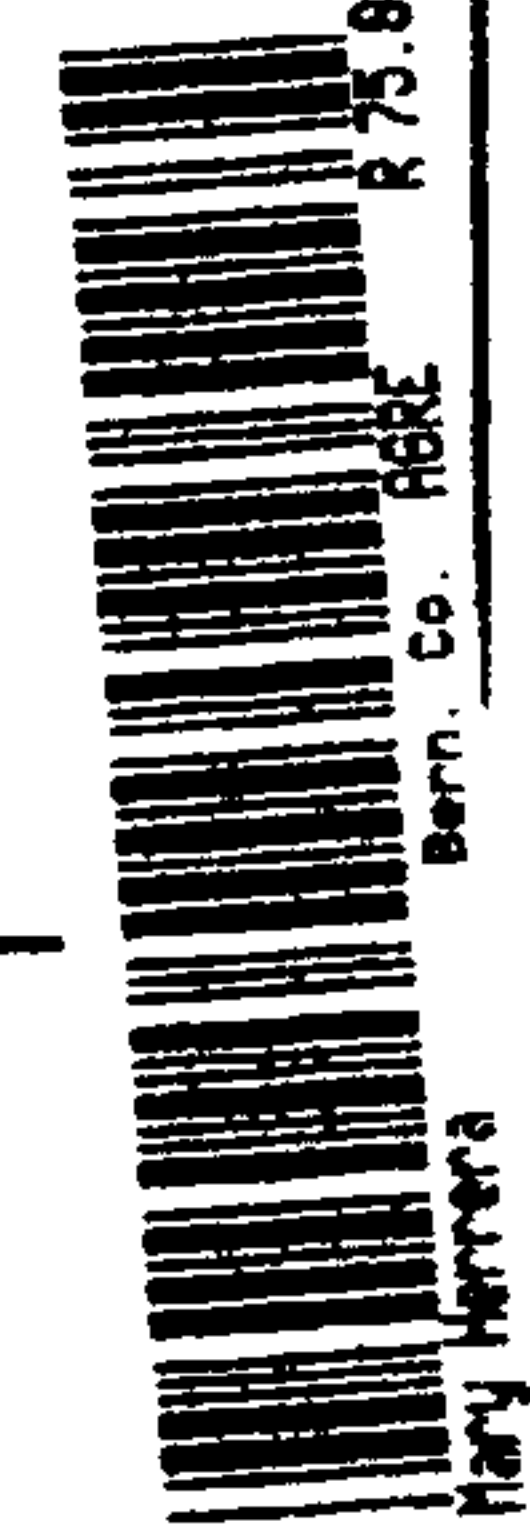
SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	
<b>PUBLIC STORM DRAIN IMPROVEMENTS</b>									
		18"-54" DIA	RCP W/ NEC. MHS, LATERALS & INLETS	TREE LINE AVENUE	SD EASEMENT @ LADRON	EAST BOUNDARY	/	/	
		18"-54" DIA	RCP W/ NEC. MHS, LATERALS & INLETS	LADRON DRIVE	CUCHILLO ROAD	TREE LINE AVENUE	/	/	
		18"-36" DIA	RCP W/ NEC. MHS, LATERALS & INLETS	LAS NUTRIAS ROAD	RAINBOW BLVD.	LADRON DRIVE	/	/	
B-1	730081	18"-36" DIA	RCP W/ NEC. MHS, LATERALS & INLETS	RAINBOW BLVD.	TREE LINE AVENUE	LAS NUTRIAS ROAD	/	/	
			TEMPORARY EARTHEN SWALE	TRACT F AND J, BLANKET DRAINAGE EASEMENT BY AGREEMENT & COVENANT				/	/
		9.3 ACRE-FT	TEMPORARY EARTHEN RETENTION POND G	TRACT J BY AGREEMENT & COVENANT				/	/
MB-1	730081		TEMP. PUMP STATION FOR 400 GPM	LAS VENTANAS DAM				/	/
			REMOVAL & REPLACEMENT OF EXISTING ASPHALT	PUMP STATION FOR 400 GPM				/	/
			(TO BE DEFERRED - FINANCIAL GUARANTY AMOUNT TO BE REVIEWED AND APPROVED BY THE CITY OF ALBUQUERQUE HYDROLOGY PLANNING DEPARTMENT IN ADDITION TO THE STANDARD DRC PROCEDURE REVIEW.)	PUMP STATION FOR 400 GPM				/	/
			NOTE:	A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.				/	/

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 Page 23 of 34  
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SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC (NMU) WATERLINE IMPROVEMENTS</b>									
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	TREE LINE AVENUE	RAINBOW BLVD.	EAST BOUNDARY	/	/	/
		16" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	PILABO STREET	TREE LINE AVENUE	LAS NUTRIAS ROAD	/	/	/
		16" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	LAS NUTRIAS ROAD	WEST STUB TERMINUS	EAST STUB TERMINUS	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	OLD MILL STREET	LAS NUTRIAS ROAD	ALAMILLO ROAD	/	/	/
		18" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	LADRON DRIVE	LAS NUTRIAS ROAD	NORTH STUB TERMINUS	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	CUCHILLO ROAD	OLD MILL STREET	LADRON DRIVE	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	JARALES COURT	CUL-DE-SAC TERMINUS	CUCHILLO ROAD	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	ALAMILLO ROAD	OLD MILL STREET	LADRON DRIVE	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	TRACT OS-2	ALAMILLO ROAD	RAINBOW BLVD.	/	/	/
		20" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	RAINBOW BLVD.	PASEO DEL NORTE	TRACT E	/	/	/
			WATER METER FOR LANDSCAPING				/	/	/

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 Page: 24 of 34  
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**PUBLIC (NMLU) SANITARY SEWER IMPROVEMENTS**

	12" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	TREE LINE AVENUE	RAINBOW BLVD.	EAST BOUNDARY	/	/	/
	8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	PILABO STREET	TREE LINE AVENUE	LAS NUTRIAS ROAD	/	/	/
	8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	LAS NUTRIAS ROAD	WEST STUB TERMINUS	EAST STUB TERMINUS	/	/	/
	8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	OLD MILL STREET	LAS NUTRIAS ROAD	ALAMILLO ROAD	/	/	/
	8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	LADRON DRIVE	LAS NUTRIAS ROAD	NORTH STUB TERMINUS	/	/	/
	8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	CUCHILLO ROAD	OLD MILL STREET	LADRON DRIVE	/	/	/
	8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	JARALES COURT	CUL-DE-SAC TERMINUS	CUCHILLO ROAD	/	/	/
	8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	ALAMILLO ROAD	OLD MILL STREET	LADRON DRIVE	/	/	/
	8"-12" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	TRACT J	TREE LINE AVENUE	UNIVERSE BLVD.	/	/	/
	750 GPM	TEMPORARY LIFT STATION	TRACT J	UNIVERSE BLVD.		/	/	/
	8" DIA	TEMPORARY FORCE MAIN	UNIVERSE BLVD.	TREE LINE AVENUE	PASEO DEL NORTE	/	/	/

- NOTES:
1. LANDSCAPE MAINTENANCE AGREEMENT FOR LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY
  2. PERIMETER WALLS PER DRB APPROVED PERIMETER WALL DESIGN
  3. WALL & LANDSCAPING CERTIFICATION FROM REGISTERED ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT REQUIRED PRIOR TO RELEASE OF FINANCIAL GUARANTEES.

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 Page 23 of 34  
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 Mary Herrera

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NINA LEUNG  
PREPARED BY: PRINT NAME

*Shawn Moran* 1/7/04 *Christina Jendoral* 1/7/04  
DRB CHAIR PARKS & RECREATION  
RECREATION

BOHANNAN HUSTON INC.  
FIRM:

*Shawn Moran*  
TRANSPORTATION DEVELOPMENT  
AMAFCA

1-6-04  
DATE

*Nina Leung*  
SIGNATURE

1-6-04  
DATE

*Roger Sheen*  
UTILITY DEVELOPMENT  
NEW UTILITIES INC.

4/7/04  
DATE

1-7-04  
DATE

*Lynn M. Mays*  
CITY ENGINEER

1-6-04  
DATE

*Brad D. Bihan*  
CITY ENGINEER

1-5-04  
DATE

*Brad D. Bihan*  
CITY ENGINEER

1-7-04  
DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT  
IMPROVEMENTS WITHOUT A DRB EXTENSION

*[Signature]*  
NEW UTILITIES INC.

1-5-04  
DATE

DESIGN REVIEW COMMITTEE REVISIONS			
REVISION	DATE	DRB CHAIR	AGENT/OWNER
1	4/2/04	<i>[Signature]</i>	<i>[Signature]</i>
2	6/23/04	<i>[Signature]</i>	<i>[Signature]</i>

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Mary Herrera

Current DRC  
Project Number:

**ORIGINAL**

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: April 23, 2004  
Date Site Plan Approved: N/A  
Date Preliminary Plat Approved: 6/9/04  
Date Preliminary Plat Expires: 1/2/05  
DRB Project No.: 1003103  
DRB Application No.: 04-00152

6/24/04

RESERVE AT THE TRAILS

PROPOSED NAME OF PLAT

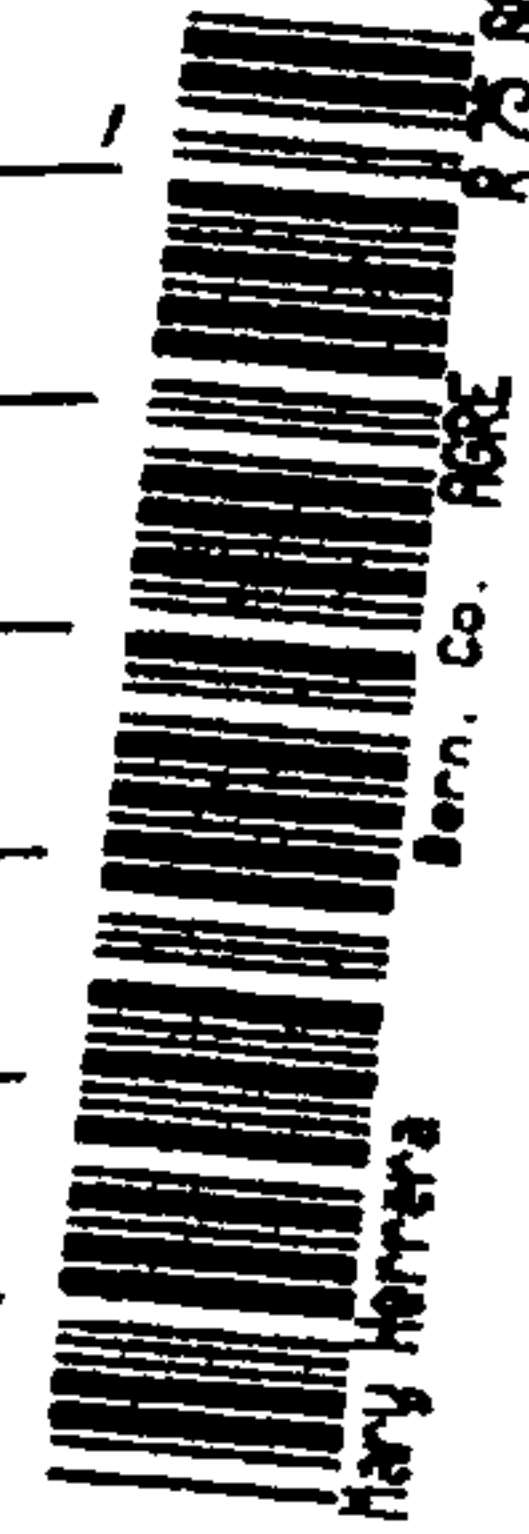
TRACT F, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantee. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
		28' F-F	Residential Paving (7)	Glyndon Tr	Winncrest Tr	Hallston Tr	/	/	/
		28' F-F	Residential Paving (7)	Crosswinds Tr	Winncrest Tr	Hallston Tr	/	/	/
		28' F-F	Residential Paving (7)	Winncrest Tr	Glyndon Tr	Crosswinds Tr	/	/	/
		28' F-F	Residential Paving (7)	Hallston Tr	Glyndon Tr	Crosswinds Tr	/	/	/
		22' F-F	Residential Paving (7)	Glyndon Tr	Winncrest Tr	west to hammerhead	/	/	/
		22' F-F	Residential Paving (7)	Glyndon Tr stub	Glyndon Tr	south to hammerhead	/	/	/
		22' F-F	Residential Paving (7)	Winncrest Tr	Crosswinds Tr	south to hammerhead	/	/	/
		22' F-F	Residential Paving (7)	Hallston Tr	Glyndon Tr	north to hammerhead	/	/	/
		28' 22' F-F	Residential Paving (7) (gated exit)	Hallston Tr	Crosswinds Tr	Woodmont Rd	/	/	/
		50' F-F (incl Median)	Residential Paving (7) (gated entrance/exit)	Winncrest Tr	Tree Line Ave	Glyndon Tr	/	/	/

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SIA Sequence #	COA DRC Project #					Private Inspector	City Inspector	City Const Engineer	
		20' F-F (half of full width)	Residential Paving	Tree Line Ave	Rainbow Blvd	East Property Line	/	/	/
		30 24' F-E	Arterial Paving w/ roadway and utility easements	Woodmont Rd	Rainbow Blvd	East Property Line	/	/	/
6-1	730081	31' F-F (half of full width)	Arterial Paving (8)	Rainbow Blvd	Tree Line Ave	Woodmont Rd	/	/	/
			Modified Procedure "C" (9)				/	/	/
							/	/	/
		Std. or Mntrl	Curb and Gutter (6)	Glyndon Tr	hammerhead	Hallston Tr	/	/	/
		Std. or Mntrl	Curb and Gutter (6)	Glyndon Tr stub	Glyndon Tr	hammerhead	/	/	/
		Std. or Mntrl	Curb and Gutter (6)	Crosswinds Tr	Wincrest Tr	Hallston Tr	/	/	/
		Std. or Mntrl	Curb and Gutter (6)	Wincrest Tr	Glyndon Tr	hammerhead	/	/	/
		Std. or Mntrl	Curb and Gutter (6)	Hallston Tr	hammerhead	Woodmont Rd	/	/	/
		Std. or Mntrl	Curb and Gutter (6)	Winterset Tr	Tree Line Ave	Glyndon Tr	/	/	/
		Median	Curb and Gutter	Winterset Tr	Tree Line Ave	Glyndon Tr	/	/	/
		Std. or Mntrl	Curb and Gutter (6) (South Side Only)	Tree Line Ave	Rainbow Blvd	East Property Line	/	/	/
		Median	Curb and Gutter (North Side Only)	Tree Line Ave	Rainbow Blvd	East Property Line	/	/	/
		Std.	Curb and Gutter (North Side Only)	Woodmont Rd	Rainbow Blvd	East Property Line	/	/	/
6-1	730081	Std.	Curb and Gutter (8) (East Side Only)	Rainbow Blvd	Tree Line Ave	Woodmont Rd	/	/	/
		Median	Curb and Gutter (8) (West Side Only)	Rainbow Blvd	Tree Line Ave	Woodmont Rd	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Glyndon Tr	hammerhead	Hallston Tr	/	/	/

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 Mary Herrera

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SIA Sequence #	COA DRC Project #					Private Inspector	City Inspector	City Const Engineer	
		4'	PCC Sidewalk (1) (South Side Only)	Glyndon Tr	Winncrest Tr	Hallston Tr	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Crosswinds Tr	Winncrest Tr	Hallston Tr	/	/	/
		4'	PCC Sidewalk (1) (West Side Only)	Winncrest Tr	Glyndon Tr	hammerhead	/	/	/
		4'	PCC Sidewalk (1) (East Side Only)	Winncrest Tr	Glyndon Tr	Crosswinds Tr	/	/	/
		4'	PCC Sidewalk (1) (East Side Only)	Hallston Tr	hammerhead	Woodmont Rd	/	/	/
		4'	PCC Sidewalk (1) (West Side Only)	Hallston Tr	Glyndon Tr	Crosswinds Tr	/	/	/
		4'	PCC Sidewalk (Both Sides)	Winncrest Tr	Tree Line Ave	Glyndon Tr	/	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Tree Line Ave	Rainbow Blvd	East Property Line	/	/	/
		106'	PCC Sidewalks Asphalt-Track (North Side Only)	Woodmont Rd	Rainbow Blvd	East Property Line	/	/	/
151	230051	6'	PCC Sidewalk (8) (East Side Only)	Rainbow Blvd	Tree Line Ave	Woodmont Rd	/	/	/
			Perimeter Walls	(not subject to financial guaranty)			/	/	/
			median curb & gutter	Woodmont Rd	Rainbow	East P	/	/	/
		4'	Waterline	Glyndon Tr	hammerhead	Winncrest Tr	/	/	/
		6"	Waterline	Glyndon Tr	Winncrest Tr	Hallston Tr	/	/	/
		4'	Waterline	Glyndon Tr stub	Glyndon Tr	hammerhead	/	/	/
		6"	Waterline	Crosswinds Tr	Winncrest Tr	Hallston Tr	/	/	/
		6"	Waterline	Winncrest Tr	Glyndon Tr	Crosswinds Tr	/	/	/

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 Mary Herrera

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SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		4"	Waterline	Winncrest Tr	Crosswinds Tr	hammerhead	/	/	/
		4"	Waterline	Hallston Tr	hammerhead	Glyndon Tr	/	/	/
		6"	Waterline	Hallston Tr	Glyndon Tr	Woodmont Rd	/	/	/
		8"	Waterline	Winterset Tr	Tree Line Ave	Glyndon Tr	/	/	/
		8"	Waterline	Tree Line Ave	Rainbow Blvd	East Property Line	/	/	/
		8"	Waterline	Woodmont Rd	Rainbow Blvd	East Property Line	/	/	/
		20"	Waterline (8)	Rainbow Blvd	Tree Line Ave	Woodmont Rd	/	/	/
			Water meter for landscaping				/	/	/
							/	/	/
		8"	SAS	Glyndon Tr	hammerhead	Hallston Tr	/	/	/
		8"	SAS	Glyndon Tr stub	Glyndon Tr	hammerhead	/	/	/
		8"	SAS	Crosswinds Tr	Winncrest Tr	Hallston Tr	/	/	/
		8"	SAS	Winncrest Tr	Glyndon Tr	hammerhead	/	/	/
		8"	SAS (8)	Hallston Tr	Tree Line Ave	Woodmont Rd	/	/	/
		8"	SAS	Tree Line Ave	Rainbow Blvd	East Property Line	/	/	/
		8"	SAS	Woodmont Rd	Rainbow Blvd	Hallston Tr	/	/	/
		8" - 12"	SAS (8)	Tract J	Woodmont Rd	Universe Blvd	/	/	/
		750 gpm	Temp SAS Lift Station (8)	Tract J	Universe Blvd		/	/	/

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Page 38 of 34  
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SIA  
Sequence #

COA DRC  
Project #

Private  
Inspector

City  
Inspector

City Const  
Engineer

		Temporary SAS Force Main (6)	Universe Blvd	Trea Line Avenue	Paseo del Norte
	8"				
	24" x 36"	RCP Storm Drain	Hallston Tr	Crosswinds Tr	Woodmont Rd
	24" x 42"	RCP Storm Drain	Woodmont Rd	Hallston Tr	Pond G, Tract J
356-A0-Ft		<p><del>Temp and</del> <b>Tract J</b>  Retention Pond at unimproved site of Tract J  w/ vent, ABC  2.50 p.u.D  Storm Drain by Proc 'B' mod.  Pedestrian Easement Lot 20</p>			
357-A0-Ft	230081	Temporary Storm Drain Pump Station & Force-Main (48)	Universe Blvd		


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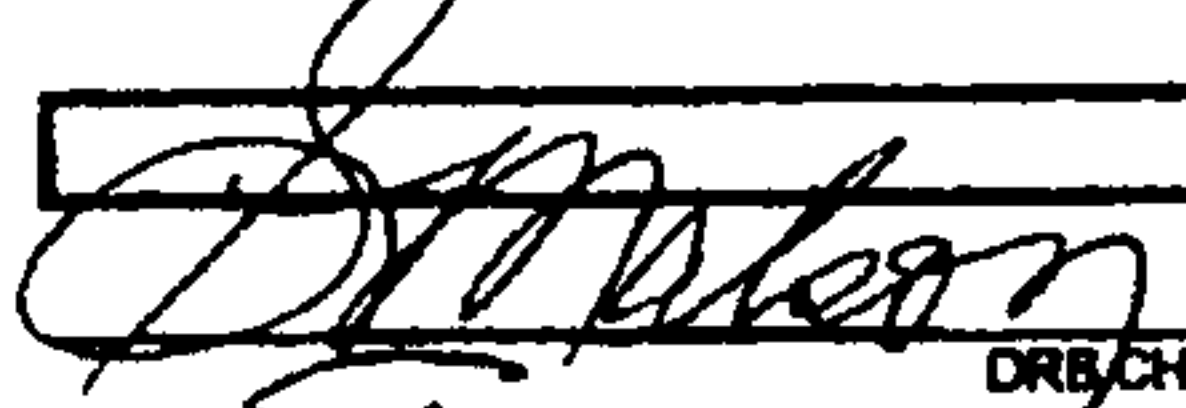
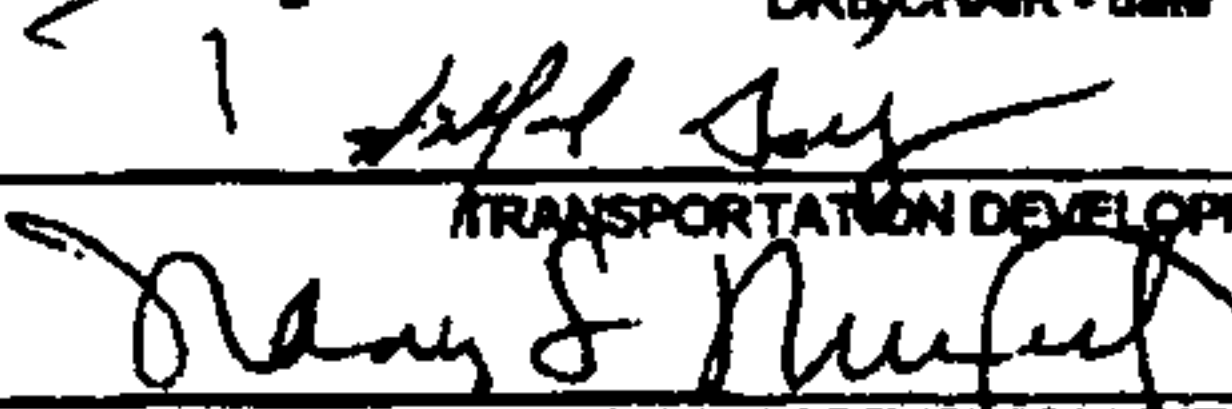
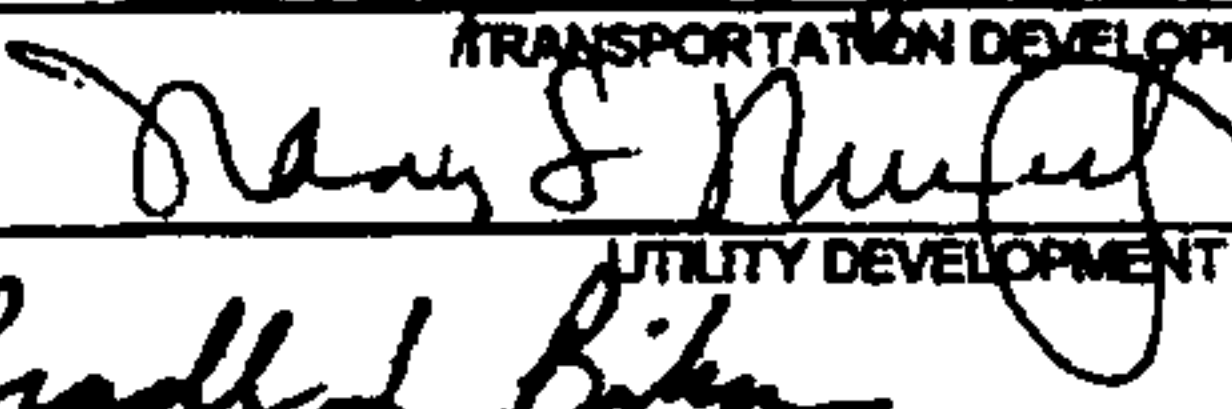
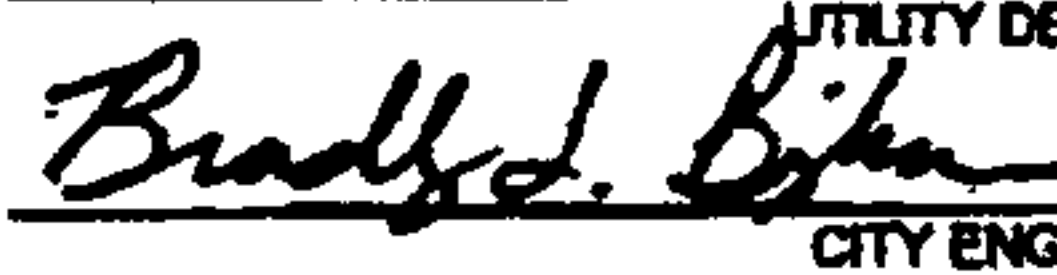
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Born: Co. RGR

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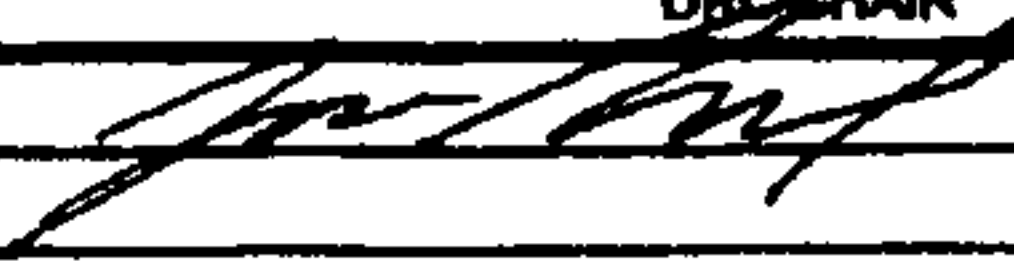
**NOTES:**

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Where noted, streets are privately and maintained by the Homeowner's Association.
8. Adjacent portions of Rainbow Blvd and other offsite improvements to be built by a separate project. (DRB Project#1002962, CPN#730081)
9. Offsite Traffic Mitigation Fees of \$565 per lot to be paid by Modified Procedure "C" (non-work order): \$565/lot x 79 lots = \$44,635
10.  Includes removal and replacement of existing asphalt. To be deferred. Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRC procedure review.
11. The Homeowner's Association shall maintain landscaping within the right-of-way. A Landscape Agreement is required between the City of Albuquerque and the Homeowner's Association.

AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Genevieve Donart, PE NAME (print)	 DRB CHAIR - date	6/9/04	Christina Sandoral PARKS & GENERAL SERVICES - date
Isaacson & Arfmen, P.A. FIRM	 TRANSPORTATION DEVELOPMENT - date	6-9-04	AMAFCA - date
Genevieve Donart SIGNATURE - date	 UTILITY DEVELOPMENT - date	6/2/04	6-2-04
	 CITY ENGINEER - date	6/9/04	

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: \_\_\_\_\_

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
1	6/24/04		Brad B...	Genevieve Donart

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 Page: 32 of 34  
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 Gary Herrera  
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EXHIBIT "A"

OFFICIAL NOTICE OF DECISION

LONGFORD HOMES NEW MEXICO  
RECEIVED

AUG 15 2006

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

August 9, 2006

3. Project # 1002962  
06DRB-01021 Major-Two Year SIA

WILSON & COMPANY agent(s) for THE TRAILS LLC, RICK BELTRAMO PE request(s) the above action(s) for all or a portion of Tract(s) A, B, C, D & F, THE TRAILS, TRACT A, HERITAGE, UNIT 1, TRACT B, HERITAGE, UNIT 2, TRACT C, SANTA FE @ THE TRAILS, UNIT 1, TRACT D, TAOS @ THE TRAILS, UNIT 1 AND TRACT F, RESERVE @ THE TRAILS, UNIT 1, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and WOODMONT AVE NW containing approximately 76 acre(s). [REF: 05DRB00297, 05DRB00308] (Listed as Proj.1002928 in error) (C-9)

At the August 9, 2006, Development Review Board meeting, a two-year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by August 24, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Sheran Matson, AICP, DRB Chair

Cc: The Trails LLC, Attn: Rick Beltramo PE, 7007 Jefferson St NE, Ste A, 87109  
Wilson & Co., Attn: Steve Salazar, 2600 The American Rd, Ste. #100, Rio Rancho, NM  
87124  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
File

15

*Just Longford Home*

*Josh Longford Home*  
761-9911  
12-2-05

This Agreement made this 10<sup>th</sup> day of November, 2005, by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and (name of developer/subdivider;) The Trails LLC ("Developer"), whose address is 1007 Jefferson St NE Suite A and whose telephone number is (505) 761-9911 is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

~~11~~ WHEREAS, the City and the Developer entered into an Agreement on the 11<sup>th</sup> day of August 2004, which was recorded in the office of the Clerk of Bernalillo County, New Mexico on 8/13/2004 at Book Misc. A-82, pages 4574 through 4574, ("Earlier Agreement"), by which the Developer agreed to complete the construction of certain infrastructure improvements on or before the 9<sup>th</sup> day of September and

WHEREAS, the Earlier Agreement was amended by an Extension Agreement dated \_\_\_\_\_ recorded \_\_\_\_\_ in Book Misc. \_\_\_\_\_ pages \_\_\_\_\_ through \_\_\_\_\_, records of Bernalillo County, New Mexico, extending the construction deadline to \_\_\_\_\_; and

WHEREAS, it appears that the Developer will be unable to complete construction of the improvements by the deadline specified in the Agreement; and

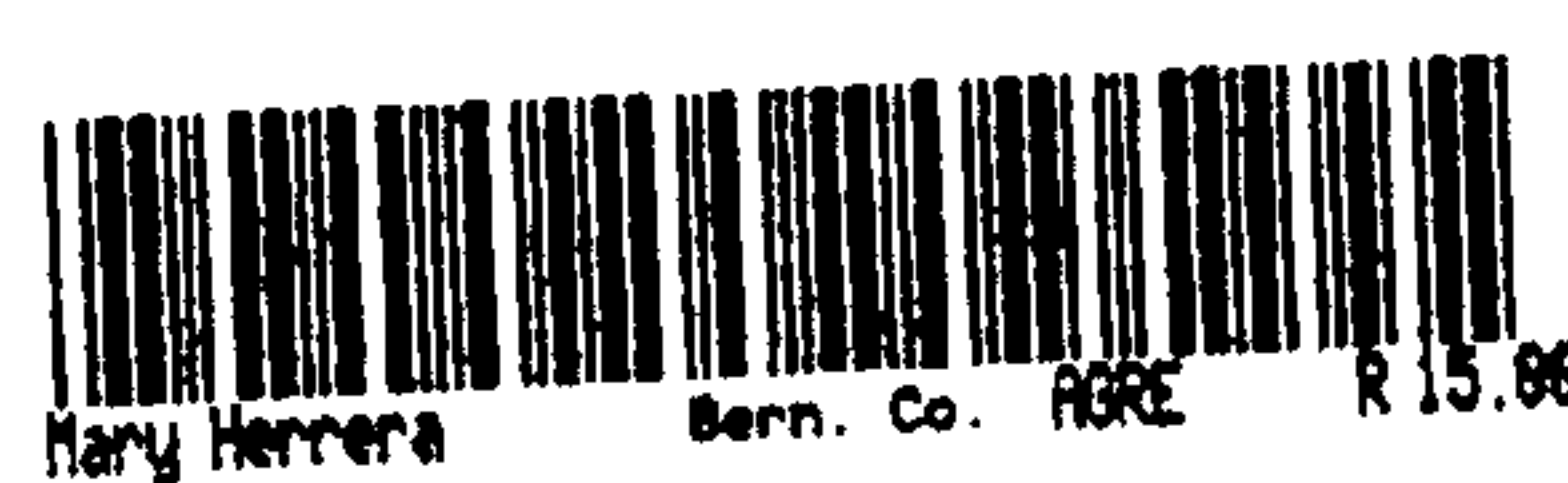
WHEREAS, the City is willing to grant Developer an extension of time in which to complete construction of all or part of the improvements, provided the Developer posts an acceptable financial guaranty, as required by the City's Subdivision Ordinance and the Development Process Manual; and

WHEREAS, the Developer is able to provide the required financial guaranty;

NOW THEREFORE in consideration of the above and the mutual promises contained herein, the parties agree:

1. The required completion date for construction of the improvements, as set forth in the attached Exhibit A, is extended (Complete either A or B):
  - A. for all improvements, the 30<sup>th</sup> day of November, 2006
  - B. on portions of the improvements as follows:
 

<u>IMPROVEMENTS</u>	<u>COMPLETION DATE</u>
_____	_____
_____	_____
_____	_____



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2. With this Extension Agreement, Developer has provided the City with the following financial guaranty:

Type of Financial Guaranty: Subdivision  
Amount: \$1,250,000.00 Name of Financial Institution or Surety: Performance Bond # 8235 025  
providing Guaranty: Developers Surety and Indemnity Co.  
Date City first able to call Guaranty (Construction Completion Deadline): August 11, 2006  
If Guaranty other than a Bond, last day City able to call Guaranty is: \_\_\_\_\_  
Additional information: \_\_\_\_\_

3. The parties agree that all terms and conditions of the Earlier Agreement not in conflict with this Extension Agreement shall remain valid, in force, and binding upon the parties. By executing this Agreement, the parties only intention is to extend the construction completion deadline established in the Earlier Agreement and establish a revised financial guaranty for the benefit of the City.

Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER:

By (Signature): [Signature]  
Name: TOLAN K. MURPHY  
Title: President  
Dated: 11/9/05

CITY OF ALBUQUERQUE:  
[Signature]  
City Engineer  
Dated: 11-28-05

By (Signature) [Signature]  
Name: Brian Anderson  
Title: Division Vice President  
Dated: 11/10/05

[Signature] 11-17-05



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Mary Herrera

Bern. Co. AGRE

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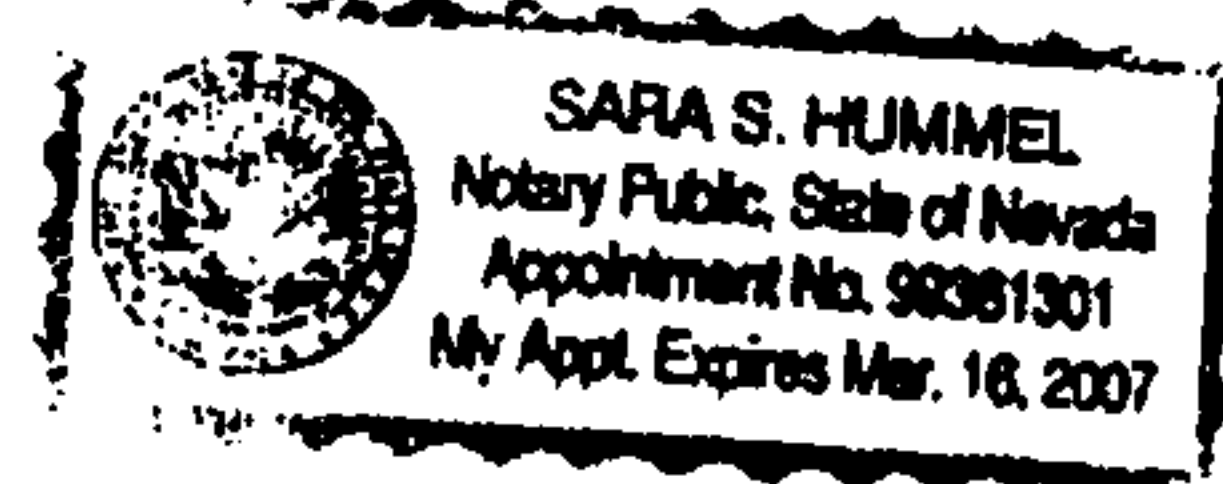
DEVELOPER'S NOTARY

STATE OF Nevada )  
COUNTY OF Clark ) ss.

This instrument was acknowledged before me on 9<sup>th</sup> day of Nov,  
2005 by (name of person:) John Mertz (title or  
capacity, for instance, "President" or "Owner") President  
of (Developer:) The Trails, LLC

Sara S. Hummel  
Notary Public

My Commission Expires:  
3/14/07



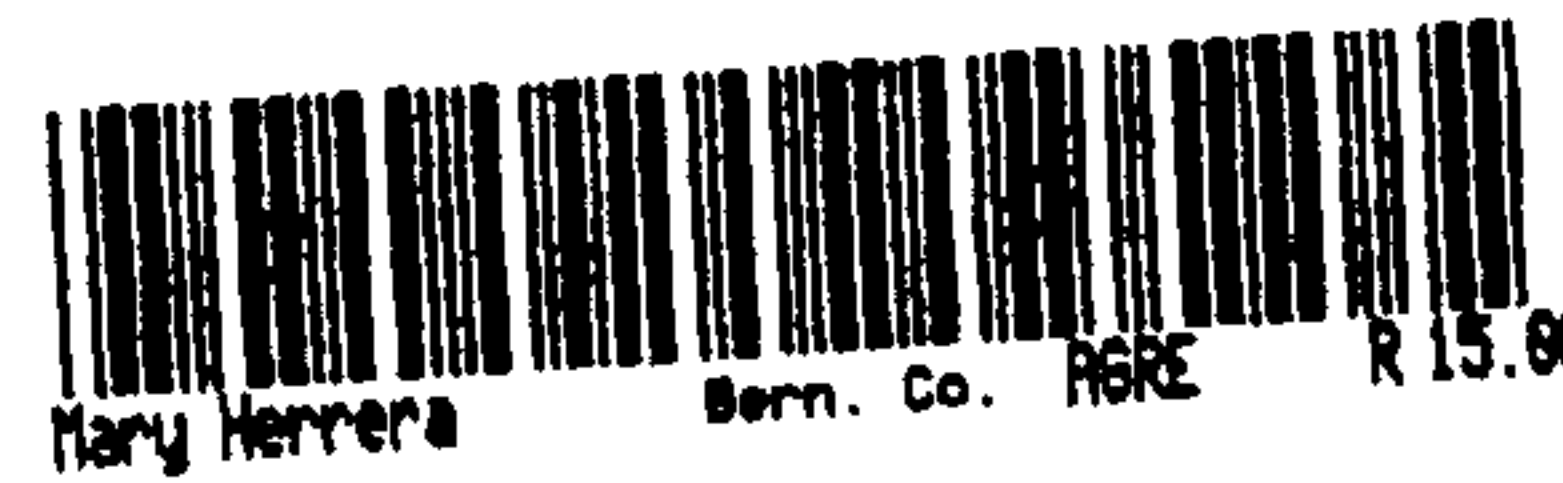
CITY'S NOTARY

STATE OF New Mexico  
COUNTY OF Bernalillo ss.

This instrument was acknowledged before me on 28<sup>th</sup> day of November  
2005 by Richard Duarte, City Engineer of the City of  
Albuquerque, a municipal corporation, on behalf of said corporation.

Dorinda Saavedra  
Notary Public

My Commission Expires:  
11-25-2007



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DEVELOPER'S NOTARY

STATE OF New Mexico  
COUNTY OF Bernalillo ss.

This instrument was acknowledged before me on 10<sup>th</sup> day of November  
2005 by (name of person:) Brian Anderson (title or  
capacity, for instance, "President" or "Owner") Division Vice President  
of (Developer:) The Trails LLC

Dorcas Saavedra  
Notary Public

My Commission Expires:  
11-25-2007

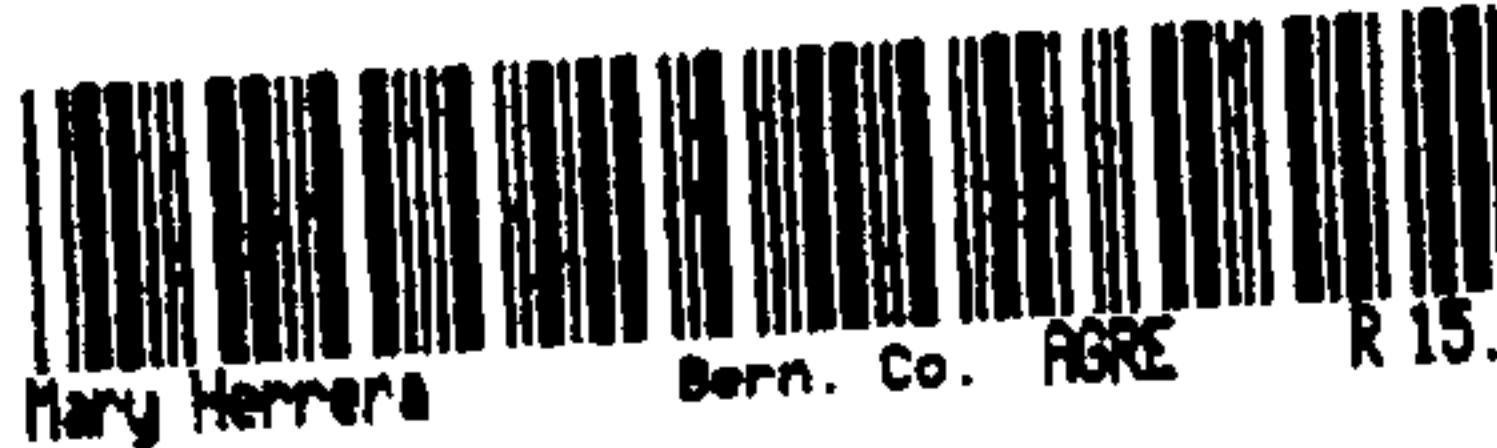
CITY'S NOTARY

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) ss.

This instrument was acknowledged before me on \_\_\_\_\_ day of \_\_\_\_\_  
20\_\_\_\_ by \_\_\_\_\_, City Engineer of the City of  
Albuquerque, a municipal corporation, on behalf of said corporation.

\_\_\_\_\_  
Notary Public

My Commission Expires:  
\_\_\_\_\_



2005177286  
6373398  
Page: 4 of 4  
12/01/2005 01:57P  
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FIGURE 12

SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B Modified Non-Work Order)  
Project No. 730081

AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 11th day of August, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and The Trails, LLC, ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.]: Nevada Limited Liability Company, whose address is 7007 Jefferson St. N.E., Suite A-B and whose telephone number is (505) 761-9911. This Agreement is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

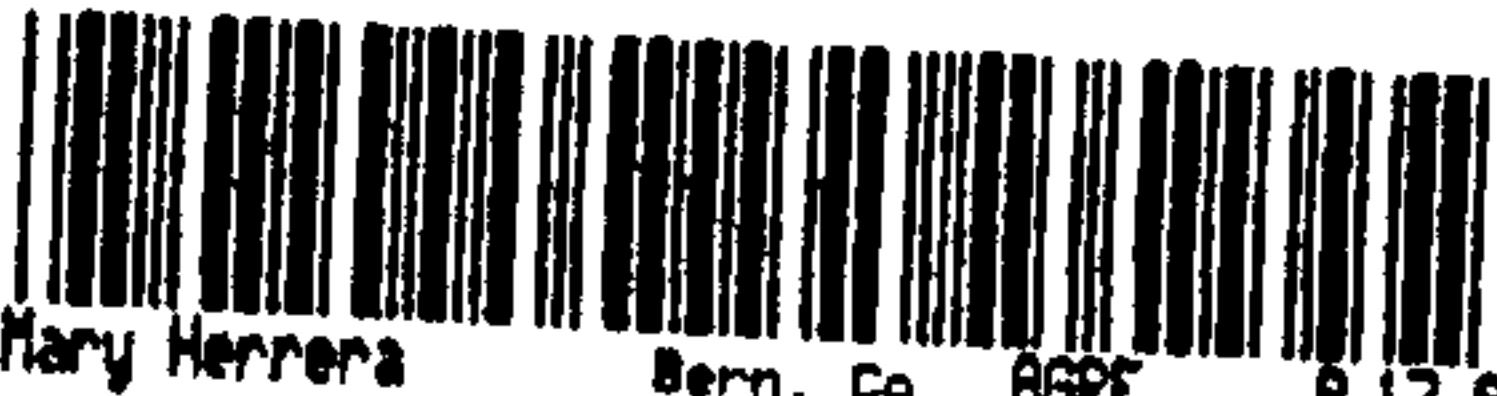
1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] Bulk Plat of The Trails, recorded on Dec. 15, 2003 in the records of the Bernalillo County Clerk at Book 2003C, pages 375 through 378 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] The Trails, LLC ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Preliminary PLAT describing Subdivider's Property. BULK PLAT OF THE TRAILS

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 9th day of SEPTEMBER, 2005 ("Construction Completion Deadline"), at no cost to the City.

Note: To compute the Construction Completion Deadline: the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.



Mary Herrera

Bern. Co. AGRE

R 17.00

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Page: 1 of 5  
08/13/2004 02:42P  
Bk-A82 Pg-4594

3. Financial Guaranty. The Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: LETTER OF CREDIT 420321  
 Amount: \$1,250,000.00 Name of Financial Institution or Surety providing Guaranty:  
 Date City first able to call Guaranty (Construction Completion Deadline): SEPTEMBER 9, 2005  
 If Guarantee other than a Bond, last day City able to call on Guaranty is: NOVEMBER 9, 2005  
 Additional Information:

4. Completion, Acceptance and Termination. Upon completion of the required infrastructure, the Subdivider shall notify the City Engineer and the Design Review Section of Planning Department. After the City Engineer approves the construction, the City will promptly release this Agreement and the Financial Guaranty.

5. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officers, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



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 Page: 2 of 5  
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6. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

7. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

8. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

9. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

10. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

11. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

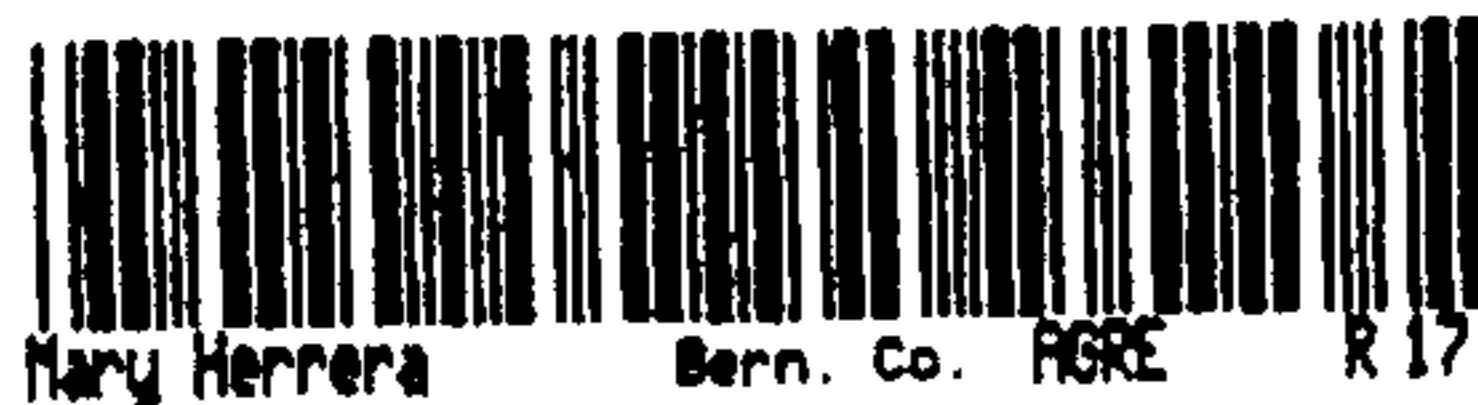
12. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

13. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

14. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

15. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the Subdivider and signed by the City's Legal Department on this form.

16. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



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Page: 3 of 5  
08/13/2004 02:42P  
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07/02



Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER: CITY OF ALBUQUERQUE

By [Signature]:  
Name: MIKE MANDILARIS City Engineer  
Title: President Dated: 7/20/04  
8-11-04  
8/13/04

STATE OF New Mexico SUBDIVIDER'S NOTARY  
COUNTY OF Bernalillo ss.

This instrument was acknowledged before me on 20<sup>th</sup> day of July, 2004 by [name(s) of person(s):] Mike Mandilaris,  
[title or capacity, for instance, "President" or "Owner":] President MPCD of [Subdivider:] Loggford Group Inc. Manager  
Rebecca Monette  
Notary Public

My Commission Expires:



OFFICIAL SEAL  
REBECCA J. MONETTE  
NOTARY PUBLIC-STATE OF NEW MEXICO

My commission expires: 8/23/2005

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) ss.

CITY'S NOTARY

This instrument was acknowledged before me on 11<sup>th</sup> day  
of August, 2007 by Richard Souto, City Engineer,  
of the City of Albuquerque, a municipal corporation, on behalf of said  
corporation.

My Commission Expires:  
11-25-2007

Dloria D. Saavedra  
Notary Public



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Page: 4 of 5  
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Mary Herrera Bern. Co. AGRE R 17.09

# FINANCIAL GUARANTY AMOUNT

06/25/2004

Type of Estimate: SIA Procedure - B - Modified Non-W.O. - w/F.G.

Project Description:

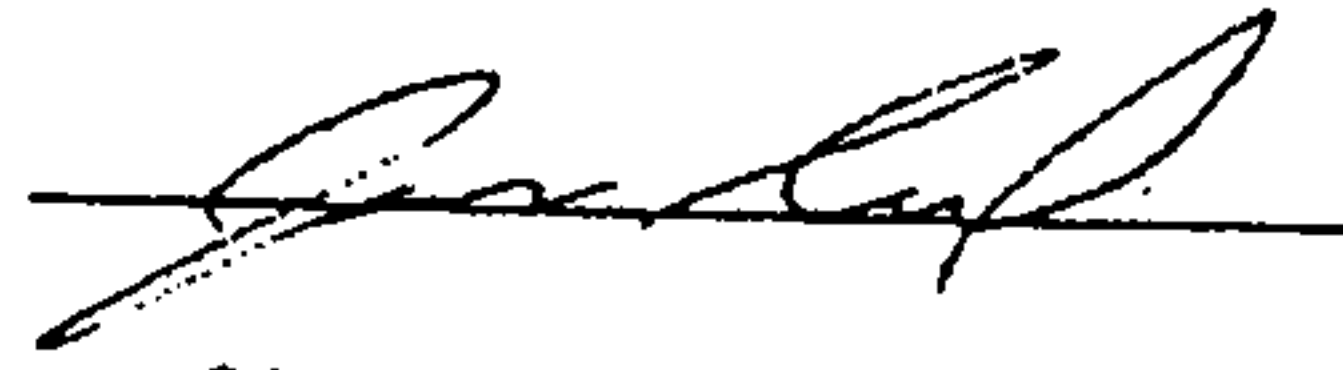
Project ID #: 730081, The Trails Subdivision - Offsite Imp's, Phase/Unit #:

Requested By: Steve Salazar, PE w/ Wilson & Co.

TOTAL FINANCIAL GUARANTY REQUIRED \$1,250,000.00

APPROVAL:

DATE:



6-25-2004

Notes: \$250,000 each for drainage mitigation for The Trails, Tracts A, B, C, D, & F

Tract A	Heritage @ the Trails, Unit 1	738481
Tract B	Heritage @ the Trails, Unit 2	738482
Tract C	Santa Fe @ the Trails	730083
Tract D	Taos @ the Trails	730082
Tract F	Reserve @ the Trails	738483



Mary Herrera

Bern. Co. AGRE

R 17.00

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Page: 3 of 5

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Raised Del Norte

Rainbow

Need on site FG  
Need FG

UNIVERSITY

OK TO SIGN PLAT

Track "A"  
 (Sanity Fee thru Trails)  
 Ft-Rainbow-730081  
 SD mil-730081  
 C mod-730083  
 B-730083  
 SW-730083

Ft-Rainbow-730081  
SD mil-730081

Track "A"

Track "D"  
 (Thru the Trails)  
 Ft-Rainbow-730081  
 SD mil-730081  
 SM-730082  
 B-730082  
 SW-730082

Ft-Rainbow-730081  
SD mil-730081

Track "B"

Track "F"

Ft-Rainbow-730081  
SD mil-730081

OK TO SIGN PLAT

Still need on site FG

8/3/04



Mary Herrera

Bern. Co. REC

R 33.00

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Page 13 of 13

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# DEVELOPER INQUIRY SHEET

*(To be completed prior to application submittal)*

The Office of Community and Neighborhood Coordination (OCNC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at 924-3914.

CONTACT NAME: Steve J. Salazar, PE

COMPANY NAME: WILSON & COMPANY

ADDRESS: 2600 The American Road. Suite 100

ZIP: 87124

PHONE: (505) 898-8021

FAX: (505) 898-8501

## NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS SEE ATTACHED DESCRIPTION

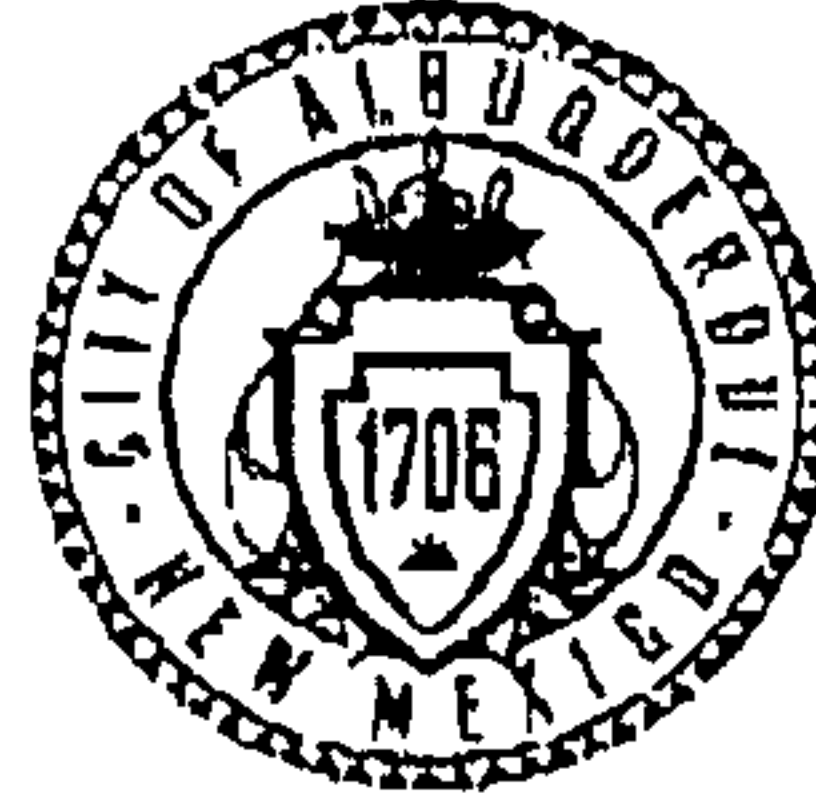
LOCATED ON Rainbow Blvd. LEGAL DESCRIPTION

BETWEEN Paseo del Norte STREET NAME OR OTHER IDENTIFYING LANDMARK

Woodmont Ave. STREET NAME OR OTHER IDENTIFYING LANDMARK AND

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (C-9-Z).  
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: June 25, 2008

TO CONTACT NAME: Steve J. Salazar, PE  
 COMPANY/AGENCY: Wilson & Company  
 ADDRESS/ZIP: 2600 The American Road, Suite 100 87124  
 PHONE/FAX #: 898-8021 898-8501

Thank you for your inquiry of June 25, 2008 requesting the names of **ALL Affected**  
(date)  
**Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at Rainbow Blvd. between Paseo del Norte and Woodmont Ave  
 zone map page(s) C-9

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Ventana Ranch Comm. Assoc. Inc.  
 Neighborhood or Homeowner Association  
 Contacts: Pauline Wayland  
7719 Briar Ridge Ave. NW 87114  
899-5989 (h)  
Michael Roehm  
10039 Vista Canterz Ln. NW 87114  
890-4120 (h)

Ventana Ranch N.A.  
 Neighborhood or Homeowner Association  
 Contacts: Laura Horton  
7224 Cascada Rd. NW 87114  
898-8103(h) 710-0646 (c)  
Kevin Patton  
10422 Borrego Creek Dr. NW 87114  
238-2857 (c)

**See reverse side for additional Neighborhood and/or Homeowner Associations Information:**

YES { } NO {  }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaina L. Carmona

OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.



**WILSON**  
& COMPANY

2600 American Rd. SE, Suite 100  
Rio Rancho, NM 87124  
505-898-8021  
505-898-8501 Fax

Albuquerque  
Arlington  
Colorado Springs  
Denver  
El Paso  
Fort Worth  
Houston  
Kansas City  
Las Cruces  
Lenexa  
Los Angeles  
Omaha  
Phoenix  
Rio Rancho  
Salina  
San Bernardino

CERTIFIED MAIL

27 June 2008

Laura Horton  
Ventana Ranch Neighborhood Association  
7224 Cascada Rd.  
Albuquerque, NM 87114  
(505) 238-2857

Re: **Neighborhood Association Notification**  
Heritage Unit I, II, Santa Fe, Taos, and Reserve at The Trails (COA #730081, 730082,  
730083, 738481, 738482, 738483; DRB# 1002928)  
Extension of Subdivision Improvements Agreement

Dear Laura:

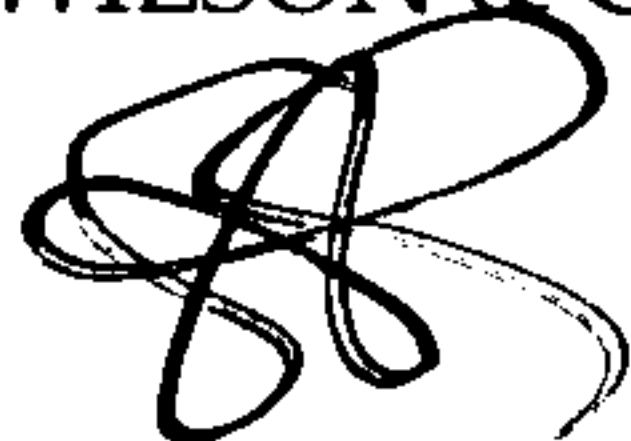
This letter is to inform the Ventana Ranch NA that Wilson & Company, Inc., acting as agents for The Trails, LLC, is requesting an extension of subdivision improvements agreements for the construction of the drainage outfall for the Trails Subdivision. The construction of the Storm Drain outfall will be constructed once the Boca Negra Dam has been constructed, since the outfall final destination is at this dam.

Attached is a zone atlas map showing the location of this project for your reference.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, July 23th, 2008 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 898-8021.

WILSON & COMPANY



Steve J. Salazar, P.E.  
Project Manager  
Email: [sjsalazar@wilsonco.com](mailto:sjsalazar@wilsonco.com)

CERTIFIED MAIL

27 June 2008

Michael Roehm  
Ventana Ranch Neighborhood Association  
10039 Vista Cantera Ln  
Albuquerque, NM 87114  
(505) 899-5989

Re: **Neighborhood Association Notification**  
Heritage Unit I, II, Santa Fe, Taos, and Reserve at The Trails (COA #730081, 730082,  
730083, 738481, 738482, 738483; DRB# 1002928)  
Extension of Subdivision Improvements Agreement

Dear Michael:

This letter is to inform the Ventana Ranch NA that Wilson & Company, Inc., acting as agents for The Trails, LLC, is requesting an extension of subdivision improvements agreements for the construction of the drainage outfall for the Trails Subdivision. The construction of the Storm Drain outfall will be constructed once the Boca Negra Dam has been constructed, since the outfall final destination is at this dam.

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If you have any questions concerning this project, please contact me at (505) 898-8021.

WILSON & COMPANY



Steve J. Salazar, P.E.  
Project Manager  
Email: [sjsalazar@wilsonco.com](mailto:sjsalazar@wilsonco.com)

**WILSON  
& COMPANY**

2600 American Rd. SE, Suite 100  
Rio Rancho, NM 87124  
505-898-8021  
505-898-8501 Fax

Albuquerque  
Arlington  
Colorado Springs  
Denver  
El Paso  
Fort Worth  
Houston  
Kansas City  
Las Cruces  
Lenexa  
Los Angeles  
Omaha  
Phoenix  
Rio Rancho  
Salina  
San Bernardino

CERTIFIED MAIL

27 June 2008

**Kevin Patton**  
**Ventana Ranch Neighborhood Association**  
10422 Borrego Creek Dr. NW  
Albuquerque, NM 87114  
(505) 238-2857

**Re: Neighborhood Association Notification**  
**Heritage Unit I, II, Santa Fe, Taos, and Reserve at The Trails (COA #730081, 730082,**  
**730083, 738481, 738482, 738483; DRB# 1002928)**  
**Extension of Subdivision Improvements Agreement**

Dear Kevin:

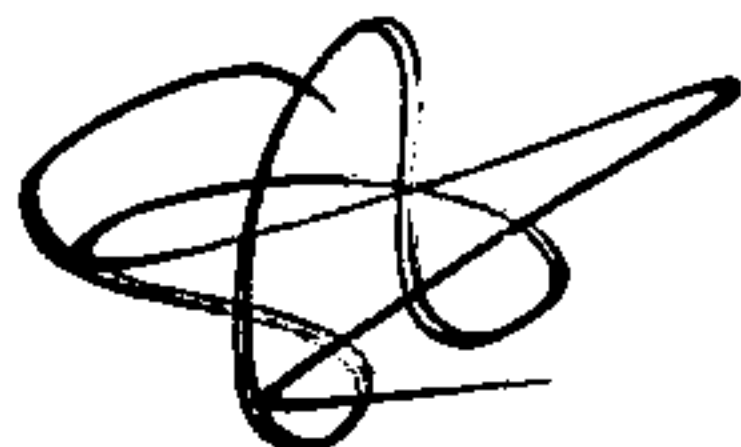
This letter is to inform the **Ventana Ranch NA** that **Wilson & Company, Inc.**, acting as agents for **The Trails, LLC**, is requesting an extension of subdivision improvements agreements for the construction of the drainage outfall for the Trails Subdivision. The construction of the Storm Drain outfall will be constructed once the Boca Negra Dam has been constructed, since the outfall final destination is at this dam.

Attached is a zone atlas map showing the location of this project for your reference.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, July 23th, 2008 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 898-8021.

WILSON & COMPANY



Steve J. Salazar, P.E.  
Project Manager  
Email: [sjsalazar@wilsonco.com](mailto:sjsalazar@wilsonco.com)



CERTIFIED MAIL

27 June 2008

Pauline Wayland  
Ventana Ranch Neighborhood Association  
7719 Briar Ridge Ave, NW 87114  
Albuquerque, NM 87114  
(505) 899-5989

Re: **Neighborhood Association Notification**  
Heritage Unit I, II, Santa Fe, Taos, and Reserve at The Trails (COA #730081, 730082,  
730083, 738481, 738482, 738483; DRB# 1002928)  
Extension of Subdivision Improvements Agreement

Dear Pauline:

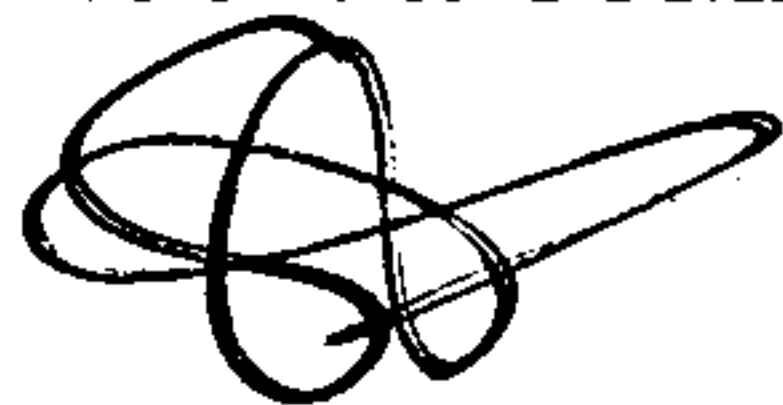
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Attached is a zone atlas map showing the location of this project for your reference.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, August 9<sup>th</sup>, 2006 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 898-8021.

WILSON & COMPANY



Steve J. Salazar, P.E.  
Project Manager  
Email: [sjsalazar@wilsonco.com](mailto:sjsalazar@wilsonco.com)

**U.S. Postal Service™  
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(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87114

Postage	\$ 0.42	0127
Certified Fee	\$ 2.70	33
Return Receipt Fee (Endorsement Required)	\$ 2.20	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 5.32	06/26/2008

Sent To: Michael Reelm  
Street, Apt. No., or PO Box No.: 10039 Vista Cifera Ln  
City, State, ZIP+4: ALB NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

5025 9882 7000 0720 2002

7007 0710 0001 2886 3589

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Postage	\$ 0.42	0127
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Return Receipt Fee (Endorsement Required)	\$ 2.20	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 5.32	06/26/2008

Sent To: Laura Horton  
Street, Apt. No., or PO Box No.: 7224 Casada Rd  
City, State, ZIP+4: ALB NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

**U.S. Postal Service™  
CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87114

Postage	\$ 0.42	0127
Certified Fee	\$ 2.70	33
Return Receipt Fee (Endorsement Required)	\$ 2.20	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 5.32	06/26/2008

Sent To: Pauline Wayland  
Street, Apt. No., or PO Box No.: 7719 Briar Ridge AV  
City, State, ZIP+4: ALB, NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

7007 0710 0001 2886 3572

**U.S. Postal Service™  
CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87114

Postage	\$ 0.42	0127
Certified Fee	\$ 2.70	33
Return Receipt Fee (Endorsement Required)	\$ 2.20	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 5.32	06/27/2008

Sent To: Kevin Patten  
Street, Apt. No., or PO Box No.: 10422 Barrogo Creek  
City, State, ZIP+4: ALB, NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

7007 3020 0002 7967 3827

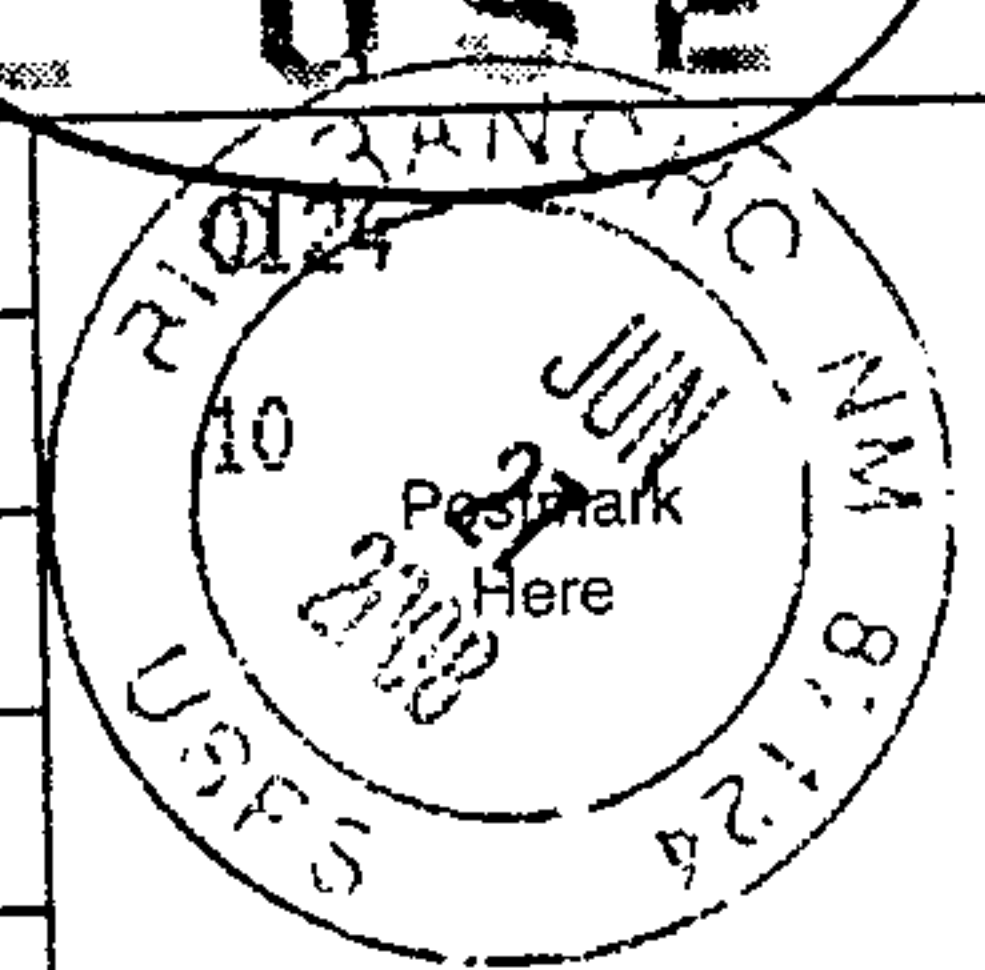


FIGURE 12

**SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B)**

AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 26<sup>th</sup> day of September, 2007, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Corporation of the Presiding Bishop of the Church Jesus Christ of Latter-day Saints, a Utah Corporation sole, ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] corporation, whose address is 830 East 2<sup>nd</sup> Ave Mesa, AZ 85204-1103 and whose telephone number is 480-844-7793, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as Tract 10-A, The Trails, Unit 2 recorded on March 7, 2006 in the records of the Bernalillo County Clerk at Book 2006C-75 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by Corporation of the Presiding Bishop of the Church of Jesus Christ of Latterday Saints, a Utah Corporation sole (CPB).

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as LDS Ventana Ward Meetinghouse describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 4th day of February, 2008 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 738485.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Jeff Mortensen & Associates, Inc., and construction surveying of the private Improvements shall be performed by Jeff Mortensen & Associates, Inc. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Jeff Mortensen & Associates, Inc., and inspection of the private Improvements shall be performed by Jeff Mortensen & Associates, Inc., both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider

shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by VINYARD & ASSOCIATES, INC., and field testing of the private Improvements shall be performed by VINYARD & ASSOCIATES, INC., both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

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D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following Financial Guaranty:

Type of Financial Guaranty: SUBDIVISION IMPROVEMENTS BOND  
Amount: \$ 132,229.20 Name of Financial Institution or Surety  
providing Guaranty: FEDERAL INSURANCE COMPANY  
Date City first able to call Guaranty: 02/04/2008  
[Construction Completion Deadline]  
If Guaranty other than a Bond, last day City able to call Guaranty is:  
04/04/2008  
Additional information: BOND NO. B196-14-91

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

Figure 12 - Page 3

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8. Conveyance of Property Rights. When the Improvements are completed, if the

City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

CITY OF ALBUQUERQUE

By [Signature]:

Name:

Title:

Dated:

City Engineer

Dated:

*[Handwritten signature of Richard A. Wilson]*  
Richard A. Wilson  
Director for Temporal Affairs  
9/21/07 Authorized Agent

*[Handwritten signature]*  
City Engineer  
9-26-07  
9-21-07

SUBDIVIDER'S NOTARY

Corporation of the Presiding Bishop of  
The Church of Jesus Christ of Latter-day Saints,  
a Utah corporation sole.

STATE OF Utah

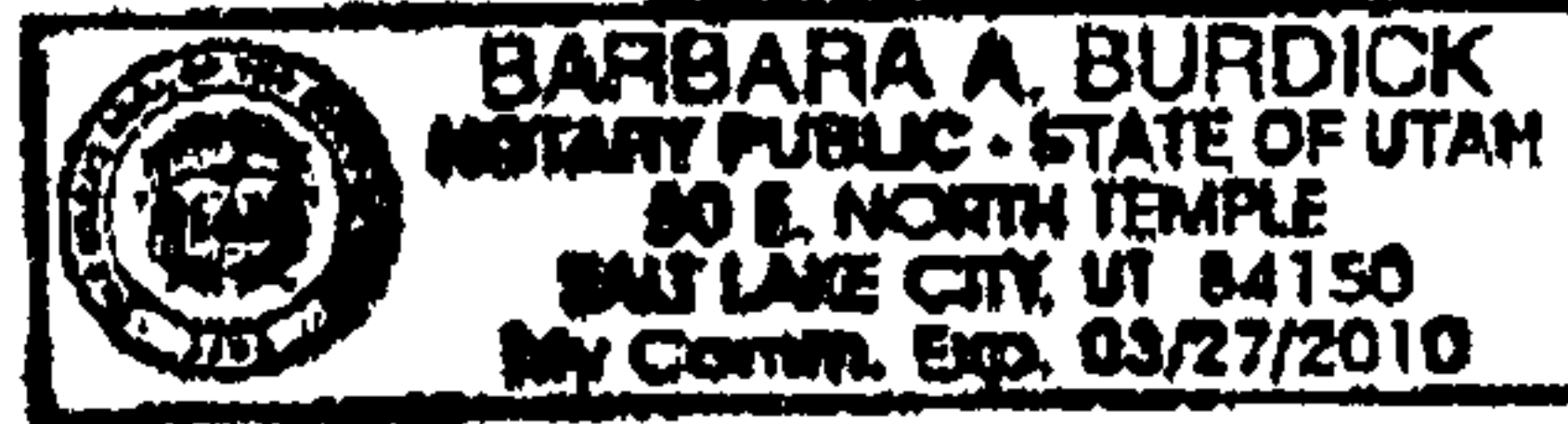
COUNTY OF Salt Lake

SS.

This instrument was acknowledged before me on 9<sup>th</sup> day of July, 2007  
by RICHARD A. WILSON, President of AUTHORIZED AGENT of

My Commission Expires:

3/27/2010



Notary Public

*[Handwritten signature of Barbara A. Burdick]*

CITY'S NOTARY

STATE OF NEW MEXICO )

) SS.

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 21<sup>st</sup> day of September,  
20 07 by Richard Dousta, City Engineer of the City of Albuquerque, a  
municipal corporation, on behalf of said corporation.

My Commission Expires:

*[Handwritten signature of Lisa Cornejo]*  
Notary Public



EXHIBIT A ATTACHED



FIGURE 16

CIRCLE ONE:  
SUBDIVISION BOND FOR:  
(SLA) SW'S, SPCL. AGRMT.

BOND NO. (SURETYS NO.) 8195-14-91  
CONTACT PERSON'S NAME: Tracy A. Mervin

SUBDIVISION IMPROVEMENTS BOND

KNOW ALL MEN BY THESE PRESENTS: That we Corporation of the Presiding Bishop of The Church of Jesus Christ of Latter Day Saints, A Utah Corporation Sole a [state type of business entity, for instance, "New Mexico corporation," "general partnership", "joint venture", "individual", etc.:] \_\_\_\_\_ as "Principal", and Federal Insurance Company a corporation organized and existing under and by virtue of the laws of the State of Indiana and authorized to do business in the State of New Mexico, as "Surety," whose address is P.O. Box 410030, Kansas City, MO 64141 and whose telephone number is 816-292-4562 are held and firmly bound unto the CITY OF ALBUQUERQUE in the penal sum of One hundred thirty two thousand two hundred twenty nine dollars and twenty cents Dollars, \$132,229.20, as amended by change orders approved by the Surety or changes to the infrastructure list approved by the City Development Review Board, the payment of which is well and truly to be made, and each of us bind ourselves, our and each of our heirs, executors, administrators, successors and assigns, jointly and severally, and firmly by these presents.

NOW, THEREFORE, the condition of the above obligation is such that:

WHEREAS, the Principal is the owner of and/or is interested in or is developing land and premises known as LDS Ventura Ward Meetinghouse, Tract 10-A The Trails Unit 2 WO FZK1503, DBR Case No. 1002962; and

WHEREAS, said Subdivision is subject to the provisions and conditions of the ordinance of the CITY OF ALBUQUERQUE known as the Subdivision Ordinance, the requirements of which include the installation of various other improvements by the Principal; and

WHEREAS, the Subdivision Ordinance also requires the Principal to install and construct the following improvements at the Subdivision: [list the improvements, e.g., water, sewer, pavement, sidewalks:] Right Turn Taper, Turn Lane Sidewalk, Public Fire Hydrant, Sidewalk

All construction shall be performed in accordance with the Agreement to Construct Public and/or Private Subdivision Improvements Agreement entered into between Corporation of the Presiding Bishop of The Church of Jesus Christ of Latter Days Saints, A Utah Corporation, Sole and the CITY OF ALBUQUERQUE, as recorded in the office of the Clerk of Bernalillo County, New Mexico, in Book Misc. (leave blank), pages \_\_\_\_\_ through \_\_\_\_\_, as amended by change orders or amendments to the Agreement.

NOW, THEREFORE, if the Principal completes construction of the Improvements and facilitates and performs the work herein above specified to be performed, all on or before FEBRUARY 4<sup>th</sup> 2008 \_\_\_\_\_ 20\_\_\_\_ ("the Construction Completion Deadline"), then this obligation shall be null and void; if the Principal does not complete construction by or before the Construction Completion Deadline, the City may call on this obligation until released by the City.

*DT*  
*1/10/08*

IN WITNESS WHEREOF, this bond has been executed this 2nd day of July 2007.

Corporation of the Presiding Bishop of The Church of Jesus Christ  
Principal: of Latter Day Saints, A Utah Corporation Sole  
By [signature:] \_\_\_\_\_  
Name: Douglas H. Martin, CFP  
Title: Director, Treasury Services  
Dated: July 2, 2007

SURETY: Federal Insurance Company  
By [signature:] \_\_\_\_\_  
Name: Tracy A. Mervin  
Title: Attorney-in-Fact  
Dated: July 2, 2007

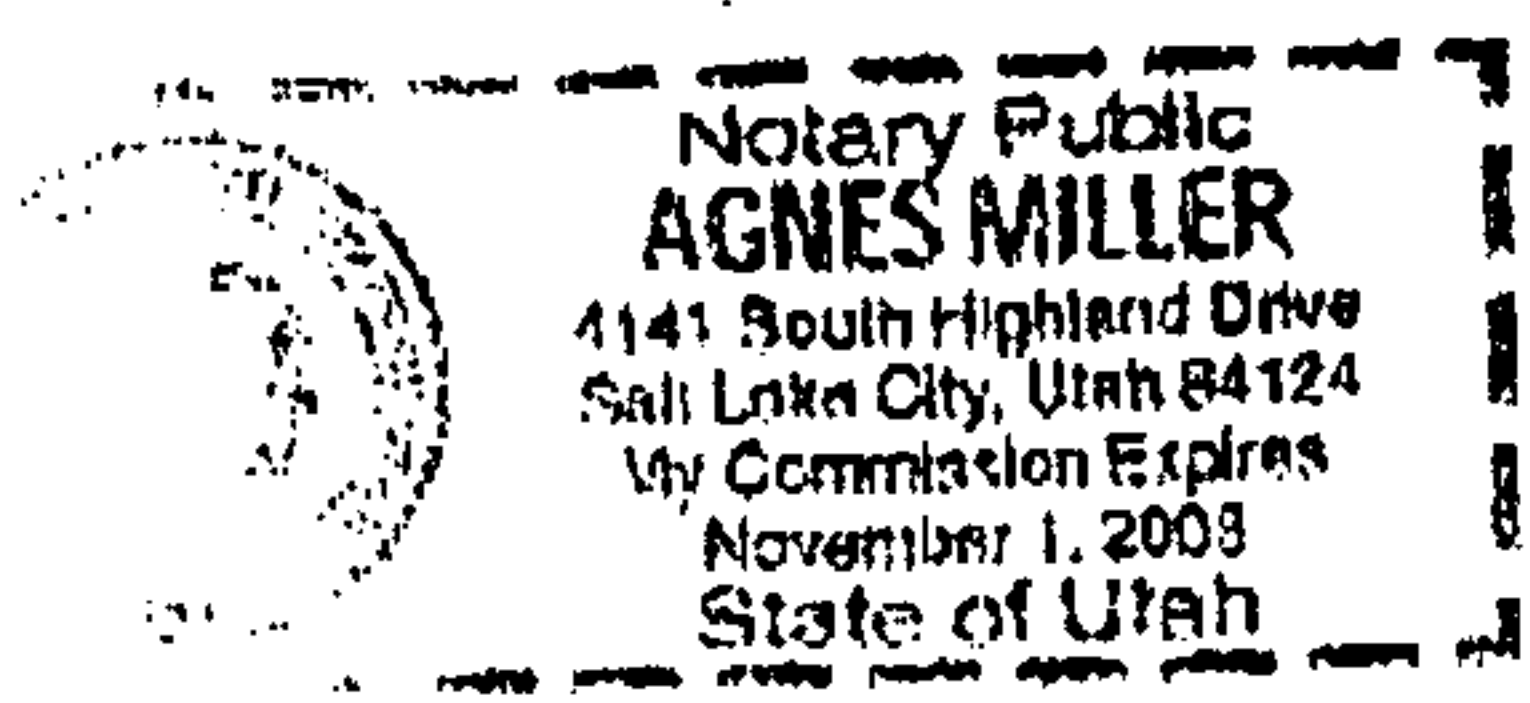
STATE OF Utah )  
 ) ss.  
COUNTY OF Salt Lake )

Subscribed and sworn to before me this 2nd day of July, 2007.

Agnes Miller  
Notary Public

My Commission Expires:  
November 1, 2008

\*NOTE: Power of Attorney for Surety must be attached.





Chubb Surety

POWER OF ATTORNEY

Federal Insurance Company  
Vigilant Insurance Company  
Pacific Indemnity Company

Attn: Surety Department  
15 Mountain View Road  
Warren, NJ 07059

CHUBB

Know All by These Presents, That FEDERAL INSURANCE COMPANY, an Indiana corporation, VIGILANT INSURANCE COMPANY, a New York corporation, and PACIFIC INDEMNITY COMPANY, a Wisconsin corporation, do each hereby constitute and appoint Myrna L. Feyh, Randall L. Gruninger, Susan R. Madsen, Tracy A. Mervin, Roger B. Ricks and Norman D. Squires of Salt Lake City, Utah

each as their true and lawful Attorney-in-Fact to execute under such designation in their names and to affix their corporate seals to and deliver for and on their behalf as surety thereon or otherwise, bonds and undertakings and other writings obligatory in the nature thereof (other than bail bonds) given or executed in the course of business, and any instruments amending or altering the same, and consents to the modification or alteration of any instrument referred to in said bonds or obligations.

In Witness Whereof, said FEDERAL INSURANCE COMPANY, VIGILANT INSURANCE COMPANY, and PACIFIC INDEMNITY COMPANY have each executed and attested these presents and affixed their corporate seals on this 15th day of February, 2008

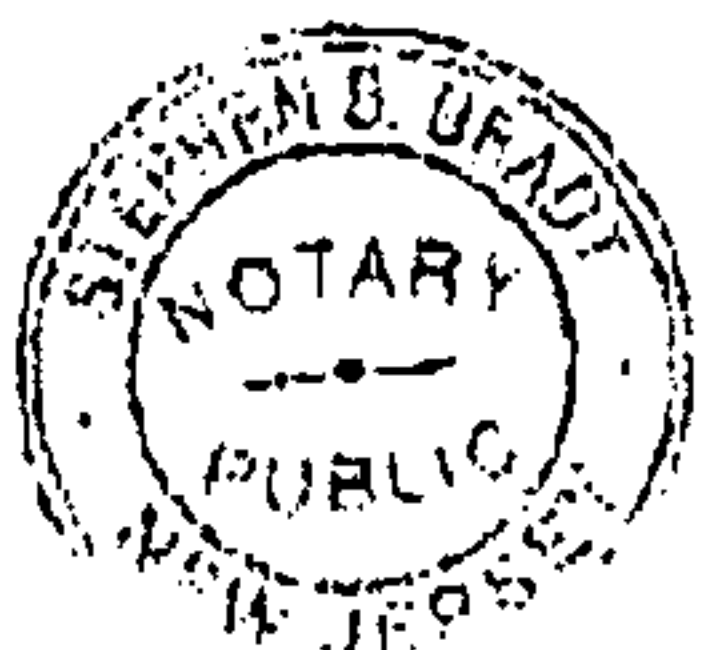
*Kenneth C. Wendel*  
Kenneth C. Wendel, Assistant Secretary

*John P. Smith*  
John P. Smith, Vice President

STATE OF NEW JERSEY ss.  
County of Somerset

On this 15th day of February, 2008 before me, a Notary Public of New Jersey, personally came Kenneth C. Wendel, to me known to be Assistant Secretary of FEDERAL INSURANCE COMPANY, VIGILANT INSURANCE COMPANY, and PACIFIC INDEMNITY COMPANY, the companies which executed the foregoing Power of Attorney, and the said Kenneth C. Wendel, being by me duly sworn, did depose and say that he is Assistant Secretary of FEDERAL INSURANCE COMPANY, VIGILANT INSURANCE COMPANY, and PACIFIC INDEMNITY COMPANY and knows the corporate seals thereof, that the seals affixed to the foregoing Power of Attorney are such corporate seals and were thereto affixed by authority of the By-Laws of said Companies; and that he signed said Power of Attorney as Assistant Secretary of said Companies by like authority; and that he is acquainted with John P. Smith, and knows him to be Vice President of said Companies; and that the signature of John P. Smith, subscribed to said Power of Attorney is in the genuine handwriting of John P. Smith, and was thereto subscribed by authority of said By-Laws and in respondent's presence.

Notarial Seal



STEPHEN B. BRADT  
Notary Public, State of New Jersey  
No. 2321097  
Commission Expires Oct. 25, 2009

*Stephen B. Bradt*  
Notary Public

CERTIFICATION

Extract from the By-Laws of FEDERAL INSURANCE COMPANY, VIGILANT INSURANCE COMPANY, and PACIFIC INDEMNITY COMPANY:

"All powers of attorney for and on behalf of the Company may and shall be executed in the name and on behalf of the Company, either by the Chairman or the President or a Vice President or an Assistant Vice President, jointly with the Secretary or an Assistant Secretary, under their respective designations. The signature of such officers may be engraved, printed or lithographed. The signature of each of the following officers: Chairman, President, any Vice President, any Assistant Vice President, any Secretary, any Assistant Secretary and the seal of the Company may be affixed by facsimile to any power of attorney or to any certificate relating thereto appointing Assistant Secretaries or Attorneys-in-Fact for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any such power of attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company and any such power so executed and certified by such facsimile signature and facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking to which it is attached."

I, Kenneth C. Wendel, Assistant Secretary of FEDERAL INSURANCE COMPANY, VIGILANT INSURANCE COMPANY, and PACIFIC INDEMNITY COMPANY (the "Companies") do hereby certify that

- (i) the foregoing extract of the By-Laws of the Companies is true and correct,
- (ii) the Companies are duly licensed and authorized to transact surety business in all 50 of the United States of America and the District of Columbia and are authorized by the U.S. Treasury Department; further, Federal and Vigilant are licensed in Puerto Rico and the U.S. Virgin Islands, and Federal is licensed in American Samoa, Guam, and each of the Provinces of Canada except Prince Edward Island; and
- (iii) the foregoing Power of Attorney is true, correct and in full force and effect.

Given under my hand and seals of said Companies at Warren, NJ this

July 2, 2007



*Kenneth C. Wendel*  
Kenneth C. Wendel, Assistant Secretary

IN THE EVENT YOU WISH TO NOTIFY US OF A CLAIM, VERIFY THE AUTHENTICITY OF THIS BOND OR NOTIFY US OF ANY OTHER MATTER, PLEASE CONTACT US AT ADDRESS LISTED ABOVE, OR BY Telephone (908) 903-3493 Fax (908) 903-3556 e-mail: surety@chubb.com

RECEIVED

JAN 03 2006

Utah Div. Of Corp & Comm. 355

CERTIFICATE OF AUTHORITY

I, H. DAVID BURTON, do hereby certify that I am the Presiding Bishop of The Church of Jesus Christ of Latter-day Saints, a religious association, and by virtue of such office I am the incumbent of the Corporation of the Presiding Bishop of The Church of Jesus Christ of Latter-day Saints, a Utah corporation sole, organized under the laws of the State of Utah; that I am the person designated in the Articles of Incorporation of said corporation sole to sign and execute deeds and other instruments of writing and to transact all business of said corporation sole, pursuant to the provisions of Title 6, Chapter 7, Section 8 of the Utah Code Annotated, 1953, as amended; and that pursuant to said Section 16-7-8, I hereby designate and appoint Richard A. Wilson as an agent authorized and empowered, in transactions whose dollar value does not exceed \$5,000,000, in the North America Southwest Area of The Church of Jesus Christ of Latter-day Saints:



- (a) to execute agreements, contracts and other documents pertaining to the construction, maintenance, repair, alteration or demolition of meetinghouse facilities;
- (b) to execute deeds, easements and other instruments, purchase, sale and other contracts, promissory notes, mortgages, bills of sale, assignments, notices, reports, title documents and other documents relating to the acquisition, purchase, sale, exchange, development, use, lease, taxation, encumbrance and release thereof, or other disposition of real and personal property of any kind; and
- (c) to execute, file and prosecute building permit applications, petitions, complaints and protests relating to real and personal property of any kind.

This Certificate of Authority supersedes and replaces that Certificate of Authority, dated and effective June 1, 2004, granted to Marvin R. Van Dam by H. David Burton, the incumbent of said Corporation of the Presiding Bishop of The Church of Jesus Christ of Latter-day Saints.

Dated this 28th day of December, 2005.

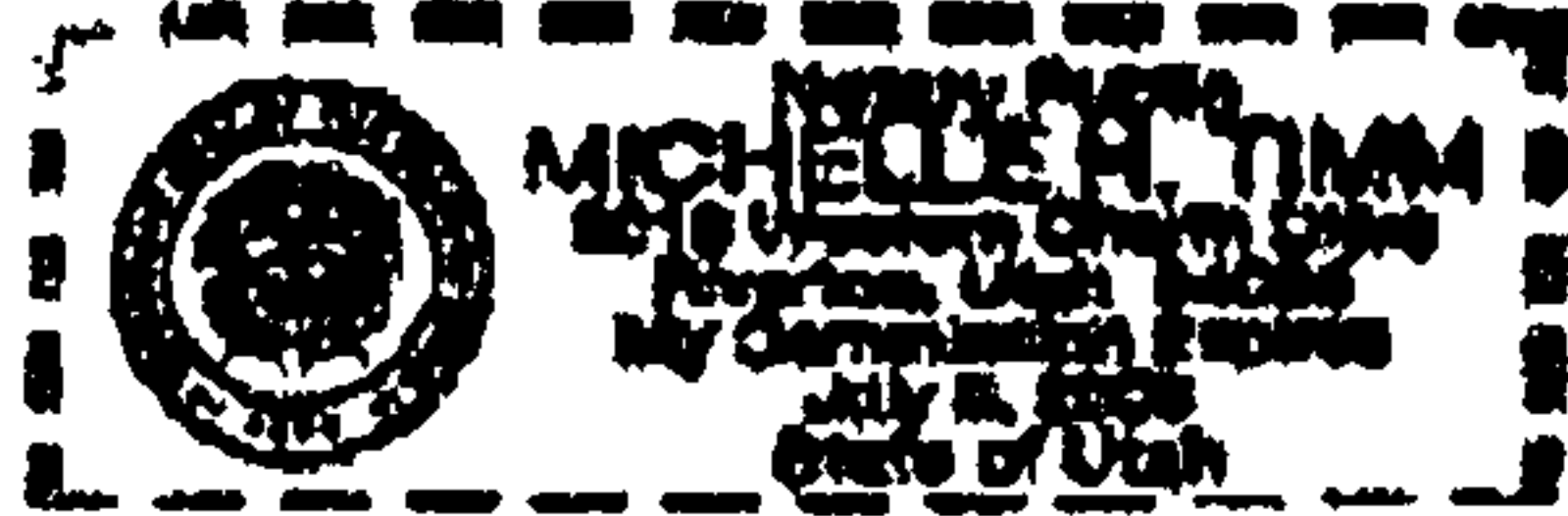
CORPORATION OF THE PRESIDING BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, a Utah corporation sole

By: [Signature]  
H. DAVID BURTON, incumbent

Department of Commerce  
Division of Corporations and Commercial Code  
I hereby certify that the foregoing has been filed and approved on this 2 day of Jan 2006 in this office of this Division and hereby issued this Certificate thereof.  
Examiner: [Signature] Date: 1/2/06  
Kathy Berg  
Chief, Director  
STATE OF UTAH

COUNTY OF SALT LAKE )

On this 28th day of December, 2005, personally appeared before me H. DAVID BURTON, personally known to me to be the Presiding Bishop of The Church of Jesus Christ of Latter-day Saints, who duly acknowledged to me that he signed the foregoing instrument as incumbent of the Corporation of the Presiding Bishop of The Church of Jesus Christ of Latter-day Saints, and the said H. DAVID BURTON acknowledged to me that said corporation executed the same.



[Signature]  
Notary Public in and for said County and State

01-05-00P03:07 KCMO

**ORIGINAL**

**INFRASTRUCTURE LIST**

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST  
LDS Ventana Meetinghouse**

Tract 10-A, The Trails, Unit 2

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that improvement items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may increase those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that improvement or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
50'+Trails	Left Turn Lane in East Median	Woodmont	180 @ DRC	Woodmont Entrance
150'	Right Turn Taper	Rainbow	150' South of Entry	Rainbow Entrance
5'	Sidewalk Along Rainbow Taper	Rainbow	150' South of Entry	Rainbow Entrance
5'	Public (SR/UV) Fire Hydrant & Line	Center of Site	Woodmont	FH Location
A	Sidewalk	Future Dorian Hills <del>at</del> Woodmont		SE Corner of Site

Private Inspector	City Inspector	City Engineer
1	1	1
1	1	1
1	1	1
1	1	1

Street Lights per DFR Standards

Engineer's Certification of Grading and Drainage is Required for F.G. Release

**AGENT / OWNER**

J. Graeme Means  
NAME (print)

Jeff Mortensen & Assoc.  
FIRM

*Jeff Mortensen*  
SIGNATURE - date 3/16/07

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
EXTENSION: \_\_\_\_\_

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

*Christina Sandora*  
DRB CHAIR - date 4-1-07  
PARKS & GENERAL SERVICES - date 4/4/07

*William J. Pasko*  
TRANSPORTATION DEVELOPMENT - date 4-1-07

*William J. Pasko*  
UTILITY DEVELOPMENT - date 4/4/07

*William J. Pasko*  
CITY ENGINEER - date 4/1/07

AMAFSA 6616

*[Signature]*  
DATE 7-3-07

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT OWNER

# FINANCIAL GUARANTY AMOUNT

04/09/2007

Type of Estimate: SIA Procedure - B - Modified w/F.G.

Project Description:

Project ID #: 738485, LDS Ventana Ward Meeting House, Phase/Unit #: 1

Requested By: Graeme Means

Approved estimate amount:		\$82,855.00
Contingency Amount:	10.00%	\$8,285.50
Subtotal:		\$91,140.50
NMGRT	5.875%	\$6,265.91
Subtotal:		\$97,406.41
Engineering Fee	6.60%	\$6,428.82
Testing Fee	2.00%	\$1,848.13
Subtotal:		\$105,783.36
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
<b>TOTAL FINANCIAL GUARANTY REQUIRED</b>		<b><u>\$132,229.20</u></b>

APPROVAL:

DATE:

Stephen Woodall

4-9-07

Notes:



CHUBB GROUP OF INSURANCE COMPANIES

Surety Department, 15 Mountain View Road, P.O. Box 1815, Warron, NJ 07081-1815  
Phone: 908-903-3497 Facsimile: 908-903-3858

FEDERAL INSURANCE COMPANY

RIDER to be attached to and form a part of  
Bond No. 8196-14-91 wherein  
FEDERAL INSURANCE COMPANY  
is named as Surety, on behalf of

The Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints  
A Utah Corporation, Sole

as Principal, in favor of

City of Albuquerque, New Mexico

as Obligor, in the sum of \$132,229.20  
dated July 2, 2007, effective July 2, 2007

IT IS HEREBY UNDERSTOOD AND AGREED that effective the July 2, 2007

The bond is amended to show the following:  
Description of premises: CPN 738485  
Completion Deadline to show: February 4, 2008

The attached bond shall be subject to all its agreements, limitations and conditions except as herein expressly modified.

Signed, sealed and dated this 27th Day of August 2007

The Corporation of the Presiding Bishop of the Church of Jesus  
Christ of Latter-day Saints, A Utah Corporation, Sole

By: [Signature]  
(SEAL)

FEDERAL INSURANCE COMPANY  
By: [Signature]  
Attorney in Fact Tacey A. Mervin (SEAL)

If bond amount is being DECREASED sign below &  
return a copy with original signature to the Surety:  
ACCEPTED  
By: \_\_\_\_\_  
(Signature of Obligor)  
Name:  
Title:



Chubb  
Surety

VER  
OF  
ATTORNEY

Federal Insurance Compan  
Vigilant Insurance Company  
Pacific Indemnity Company

Attn: Surety Department  
15 Mountain View Road  
Warren, NJ 07059

Know All by These Presents, That FEDERAL INSURANCE COMPANY, an Indiana corporation, VIGILANT INSURANCE COMPANY, a New York corporation, and PACIFIC INDEMNITY COMPANY, a Wisconsin corporation, do each hereby constitute and appoint Myrna L. Feyh, Randall L. Gruninger, Susan R. Madsen, Tracy A. Mervin, Roger B. Ricks and Norman D. Squires of Salt Lake City, Utah

each as their true and lawful Attorney-in-Fact to execute under such designation in their names and to affix their corporate seals to and deliver for and on their behalf as surety thereon or otherwise, bonds and undertakings and other writings obligatory in the nature thereof (other than bail bonds) given or executed in the course of business, and any instruments amending or altering the same, and consents to the modification or alteration of any instrument referred to in said bonds or obligations.

In Witness Whereof, said FEDERAL INSURANCE COMPANY, VIGILANT INSURANCE COMPANY, and PACIFIC INDEMNITY COMPANY have each executed and attested these presents and affixed their corporate seals on this 15th day of February, 2006

Kenneth C. Wendel, Assistant Secretary

John P. Smith, Vice President

STATE OF NEW JERSEY  
County of Somerset

On this 15th day of February, 2006 before me, a Notary Public of New Jersey personally came Kenneth C. Wendel, to me known to be Assistant Secretary of FEDERAL INSURANCE COMPANY, VIGILANT INSURANCE COMPANY, and PACIFIC INDEMNITY COMPANY, the companies which executed the foregoing Power of Attorney, and the said Kenneth C. Wendel, being by me duly sworn, did depose and say that he is Assistant Secretary of FEDERAL INSURANCE COMPANY, VIGILANT INSURANCE COMPANY, and PACIFIC INDEMNITY COMPANY and knows the corporate seals thereof, that the seals affixed to the foregoing Power of Attorney are such corporate seals and were thereto affixed by authority of the By-Laws of said Companies; and that he signed said Power of Attorney as Assistant Secretary of said Companies by like authority; and that he is acquainted with John P. Smith, and knows him to be Vice President of said Companies; and that the signature of John P. Smith, subscribed to said Power of Attorney is in the genuine handwriting of John P. Smith, and was thereto subscribed by authority of said By-Laws and in deponent's presence.

Notarial Seal



STEPHEN B. BRADT  
Notary Public, State of New Jersey  
No. 2321097  
Commission Expires Oct. 25, 2009

Notary Public

CERTIFICATION

Extract from the By-Laws of FEDERAL INSURANCE COMPANY, VIGILANT INSURANCE COMPANY, and PACIFIC INDEMNITY COMPANY:

"All powers of attorney for and on behalf of the Company may and shall be executed in the name and on behalf of the Company, either by the Chairman or the President or a Vice President or an Assistant Vice President, jointly with the Secretary or an Assistant Secretary, under their respective designations. The signature of such officers may be engraved, printed or lithographed. The signature of each of the following officers: Chairman, President, any Vice President, any Assistant Vice President, any Secretary, any Assistant Secretary and the seal of the Company may be affixed by facsimile to any power of attorney or to any certificate relating thereto appointing Assistant Secretaries or Attorneys-in-Fact for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any such power of attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company and any such power so executed and certified by such facsimile signature and facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking to which it is attached."

I, Kenneth C. Wendel, Assistant Secretary of FEDERAL INSURANCE COMPANY, VIGILANT INSURANCE COMPANY, and PACIFIC INDEMNITY COMPANY (the "Companies") do hereby certify that

- (i) the foregoing extract of the By-Laws of the Companies is true and correct,
- (ii) the Companies are duly licensed and authorized to transact surety business in all 50 of the United States of America and the District of Columbia and are authorized by the U.S. Treasury Department; further, Federal and Vigilant are licensed in Puerto Rico and the U.S. Virgin Islands, and Federal is licensed in American Samoa, Guam, and each of the Provinces of Canada except Prince Edward Island; and
- (iii) the foregoing Power of Attorney is true, correct and in full force and effect.

Given under my hand and seals of said Companies at Warren, NJ this 27th day of August 2007



Kenneth C. Wendel, Assistant Secretary

IN THE EVENT YOU WISH TO NOTIFY US OF A CLAIM, VERIFY THE AUTHENTICITY OF THIS BOND OR NOTIFY US OF ANY OTHER MATTER, PLEASE CONTACT US AT ADDRESS LISTED ABOVE, OR BY Telephone (908) 903-3493 Fax (908) 903-3558 e-mail: surety@chubb.com



rec'd 6/27/07



June 26, 2007

Sheran Matson, DRB Chair  
Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Re: Cantata at the Trails Town Home Development  
Site Plan for Subdivision and Building Permit:  
Response to DRB Comments Related to Potential Archeological Sites

Dear Sheran:

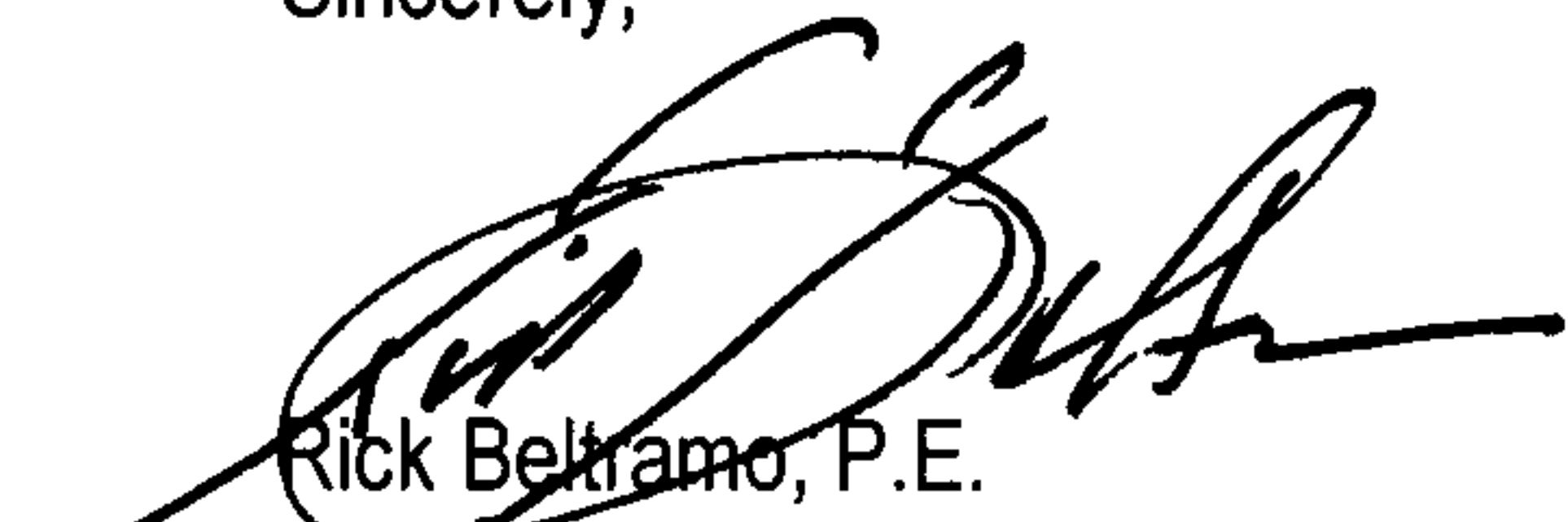
This letter addresses your specific comment regarding preservation of potential archeological sites within Cantata At The Trails. If I understand correctly your concern is that construction of the Cantata development may disturb archeological sites or artifacts that have not previously been found by the original archeological site investigation.

Of the approximately 20 acres of area impacted by this planned development only about 3 acres of land is unimproved. Last year most of the property was graded with substantial amounts of fill imported onto the site. Considering that the area of interest is limited to 3 acres I propose the following:

Prior to any construction on the unimproved portions of the project a second archeological review shall be conducted. The restudy shall be an addendum to the original site investigation. Archeological finds, if any, shall be addressed to the same standard of the original site investigation. The addendum shall be submitted to the Development Review Board for administrative approval by the Chair.

I hope this is satisfactory to you and adequately addresses your concerns. Please contact me anytime should you have any questions.

Sincerely,



Rick Beltramo, P.E.  
Director of Engineering  
Longford Homes of New Mexico

Randy Rainey, Vice President, Longford Homes of New Mexico  
Paul Wymer, Bohannon Huston, Inc.  
Scott Steffen, Bohannon Huston, Inc.

Rec'd 6/27/07



June 26, 2007

Sheran Matson, DRB Chair  
Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, New Mexico 87103

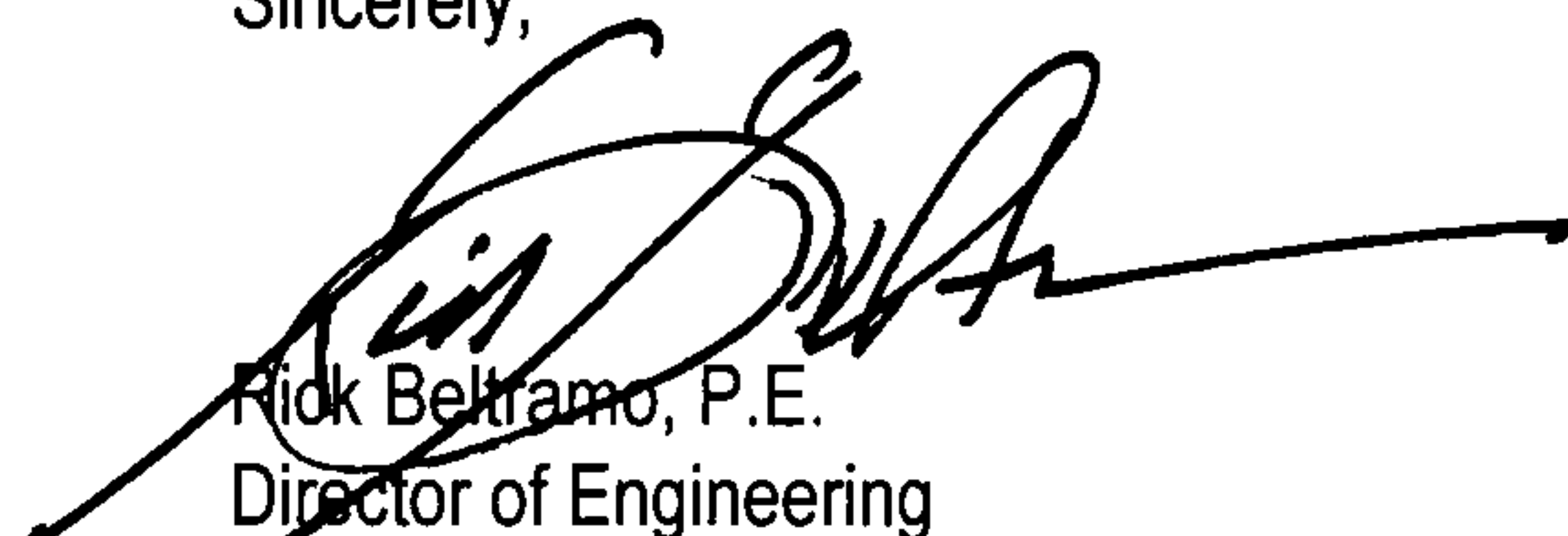
Re: Cantata at the Trails Town Home Development  
Site Plan for Subdivision and Building Permit:  
Response to DRB Comments Related to Rock Outcrops

Dear Sheran:

This letter addresses your review comment regarding existing rock outcroppings on the Cantata site. Currently there are no significant rock outcrops that would require preservation or protection. There was one significant rock outcrop on this property that was partially removed with the construction of Universe Blvd. The remaining portions of the same rock outcrop were removed or buried with fill grading completed as a part of the mass grading of the site.

Please contact me anytime should you have any questions.

Sincerely,



Rick Beltramo, P.E.  
Director of Engineering  
Longford Homes of New Mexico

Randy Rainey, Vice President, Longford Homes of New Mexico  
Paul Wymer, Bohannon Huston, Inc.  
Scott Steffen, Bohannon Huston, Inc.

Current DRC  
Project No. \_\_\_\_\_

*Not signed*

Figure 12  
INFRASTRUCTURE LIST  
EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
NT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST  
**CANTATA AT THE TRAILS**

Date Submitted: May 30, 2007  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No. 1002962

Following is a summary of PUBLIC and PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC ROADWAY IMPROVEMENTS</b>									
		30' F-EOP	(1) ARTERIAL PAVING W/ PCC CURB & GUTTER ON EAST ONLY	UNIVERSE BLVD.	OAKRIDGE STREET	TREELINE AVENUE	/	/	/
		6' WIDE	PCC SIDEWALK ON EAST SIDE	UNIVERSE BLVD.	OAKRIDGE STREET	TREELINE AVENUE	/	/	/
		24' F-EOP	(2) ARTERIAL PAVING W/ PCC CURB & GUTTER ON WEST SIDE ONLY	OAKRIDGE STREET	TREELINE AVENUE	UNIVERSE BLVD.	/	/	/
		6' WIDE	PCC SIDEWALK ON WEST SIDE	OAKRIDGE STREET	TREELINE AVENUE	UNIVERSE BLVD.	/	/	/
		34' F-EOP	ARTERIAL PAVING W/ PCC CURB & GUTTER ON NORTH SIDE ONLY	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		4' WIDE	PCC SIDEWALK ON NORTH SIDE	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		32' F-F	DRIVEWAY CUT	OAKRIDGE STREET	CANATA STREET		/	/	/

(1) UNIVERSE BLVD. IMPROVEMENTS CONSTRUCTED WITH CPN 730084  
(2) OAKRIDGE STREET IMPROVEMENTS CONSTRUCTED WITH CPN 730084

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC WATERLINE IMPROVEMENTS (NMUI)</b>									
		8" DIA	WATERLINE CONNECTION FH'S, MJ'S, AND RJ'S	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		8" DIA	WATERLINE CONNECTION FH'S, MJ'S, AND RJ'S	SONATA STREET	200' EAST OF CANTATA	WEST TERMINUS	/	/	/
		8" DIA	WATERLINE CONNECTION FH'S, MJ'S, AND RJ'S	PUBLIC WTR AND SAS EASEMENTS (w/in PRIVATE ALLEYS)	TREELINE AVENUE	OAKRIDGE STREET	/	/	/

**PUBLIC SANITARY SEWER IMPROVEMENTS (NMUI)**


8" DIA	SANITARY SEWER W/ MH's	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.
8" DIA	SANITARY SEWER W/ MH's	SONATA STREET	200' EAST OF CANTATA	WEST TERMINUS
8" DIA	SANITARY SEWER W/ MH's	PUBLIC WTR AND SAS EASEMENTS (w/in PRIVATE ALLEYS)	TREELINE AVENUE	OAKRIDGE STREET

/ / /
/ / /
/ / /

**PUBLIC STORM DRAIN IMPROVEMENTS**

--	--

36"	STORM DRAIN PIPE W/ MH's	TREELINE AVENUE	CANTATA STREET	UNIVERSE BLVD.
-----	--------------------------	-----------------	----------------	----------------

NOTES: A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.

/ / /
-------

**PRIVATE STORM DRAIN IMPROVEMENTS**


18"-30" DIA	STORM DRAIN PIPE W/ INLETS	CANTATA STREET	TREELINE AVENUE	700' NORTH
18"-30" DIA	STORM DRAIN PIPE W/ INLETS	SONATA STREET	CANTATA STREET	200' EAST

/ / /
/ / /

KEVIN J. MURTAGH, PE  
PREPARED BY: PRINT NAME

DRB CHAIR DATE

PARKS & GENERAL SERVICES DATE

BOHANNAN HUSTON INC.  
FIRM:

TRANSPORTATION DEVELOPMENT DATE

AMAFCA DATE

SIGNATURE DATE

UTILITY DEVELOPMENT DATE

CITY ENGINEER DATE

MAXIMUM TIME ALLOW TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

--

NEW MEXICO UTILITIES INC. DATE

DATE

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

#4

PAID RECEIPT

APPLICANT NAME Cantada  
AGENT Bohana Huston  
ADDRESS 7500 Jefferson N.E.  
PROJECT & APP # 1002962/07DRB-00613, 07DRB-00615  
PROJECT NAME Cantada of the Trails

\$            441032/3424000 Conflict Management Fee  
\$ 110.00 441006/4983000 DRB Actions *def fee*  
\$            441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$            441018/4971000 Public Notification  
\$            441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
    ( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
    ( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
    ( ) Traffic Impact Study  
\$ 110.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque  
Treasury Division

6/21/2007 11:14AM LJC: ANNX  
RECEIPT# 00077333 WS# 008 TRANS# 0019  
Account 441006 Fund 0110  
Activity 4983000 TRSDMG  
Trans Amt \$110.00  
J24 Misc \$110.00  
VI \$110.00  
CHANGE \$0.00

*ALB*

Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

SENT VIA FAX

June 13, 2007

Sheran Matson, Chair  
Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, New Mexico 87103

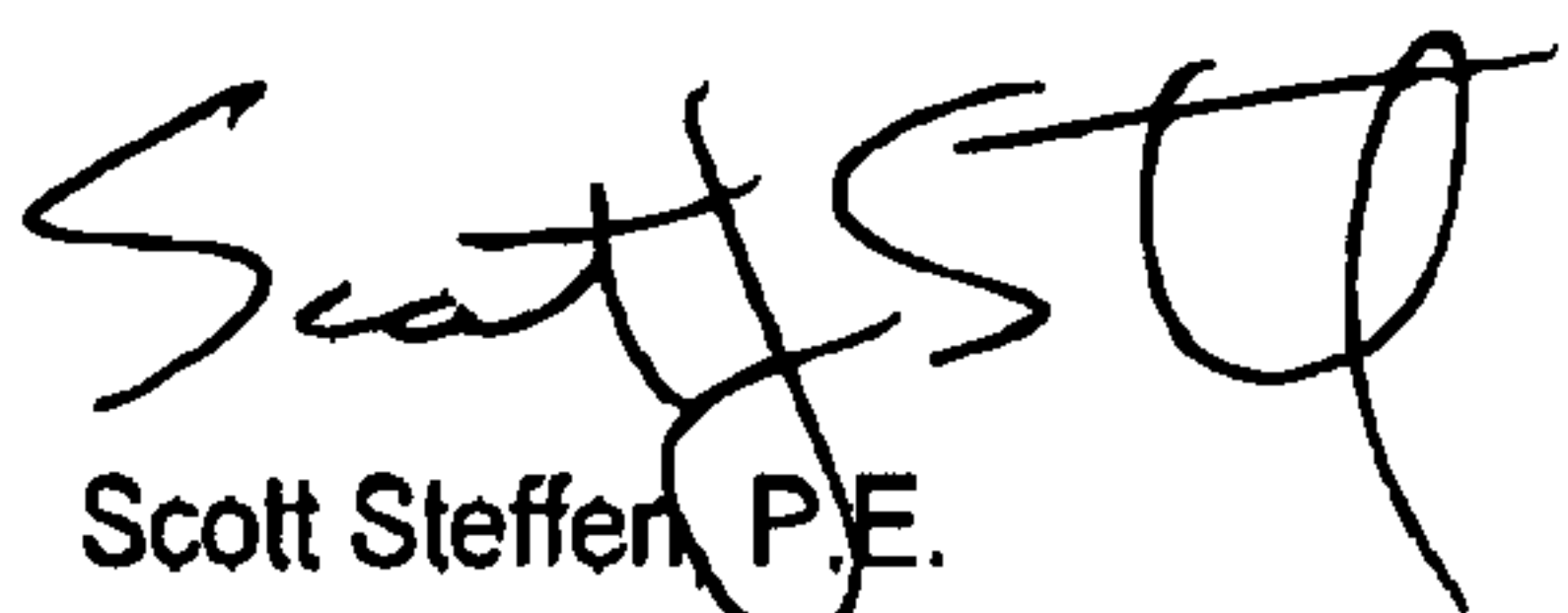
Re: Request for Deferral for Cantata at the Trails

Dear Sheran:

We request a 2 week deferral of the following item associated with Project Number: DRB 1002962 on the June 27, 2007 agenda: Site Plan for Subdivision and Building Permit.

If you have any questions or require further information, please call me at 823-1000.

Sincerely,



Scott Steffen, P.E.  
Vice President  
Community Development and Planning Group

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

## Matson, Sheran A.

---

**From:** Schmader, Matthew F.  
**Sent:** Friday, June 01, 2007 2:42 PM  
**To:** Matson, Sheran A.  
**Cc:** Dineen, Richard W.; Dourte, Richard H.; Garcia, Andrew B.  
**Subject:** RE: Archeological Resources Study Required by Volcano Heights Sector Plan

Thanks Sheran,  
I'll look up LA 49628. From my recollection, this would have been recorded by Jane Whitmore in 1979 and may have been a historic (possible herding) site....

---

**From:** Matson, Sheran A.  
**Sent:** Friday, June 01, 2007 12:03 PM  
**To:** Schmader, Matthew F.  
**Cc:** Dineen, Richard W.; Dourte, Richard H.; Garcia, Andrew B.  
**Subject:** RE: Archeological Resources Study Required by Volcano Heights Sector Plan

Good question...about the construction monitoring. I was planning on asking at the hearing. The report was just received this week. The site plans are scheduled for approval this coming Wednesday. I would imagine they already have the necessary approval to grade the site. That's how the site was destroyed, I would guess.

The previously recorded site is LA 49628.

How would you like me to get this report to you? It actually applies to all of The Trails, Unit 2...more than just the plat that is in now for approval.

---

**From:** Schmader, Matthew F.  
**Sent:** Friday, June 01, 2007 10:47 AM  
**To:** Dineen, Richard W.; Matson, Sheran A.; Boles, Ed  
**Cc:** Hart, Jay ; Garcia, Margaret D.  
**Subject:** RE: Archeological Resources Study Required by Volcano Heights Sector Plan

Hello Richard and Sheran,  
In the absence of any official City archaeologist, I have been in the habit over the years of providing this service *de facto*. Or is it *pro bono*?  
Anyway, until such person is hired I do not mind continuing in that capacity unless Jay Hart feels different about it.  
You may forward the report to me because, if nothing else, I'd like to know the details of the one site that was destroyed.  
(And also, who are they going to have doing the construction monitoring?)  
- Matt

---

**From:** Dineen, Richard W.  
**Sent:** Friday, June 01, 2007 10:30 AM  
**To:** Matson, Sheran A.  
**Cc:** Hart, Jay ; Schmader, Matthew F.; Garcia, Margaret D.  
**Subject:** RE: Archeological Resources Study Required by Volcano Heights Sector Plan

Sheran, You are correct. We do not presently have a staff archeologist. Let me see if Jay Hart or Matt Schmader have any suggestions as to how we could handle this in the interim. I will ask Margaret to set up a meeting to discuss further.

---

**From:** Matson, Sheran A.  
**Sent:** Friday, June 01, 2007 10:20 AM  
**To:** Dineen, Richard W.  
**Cc:** Dourte, Richard H.; Garcia, Andrew B.  
**Subject:** Archeological Resources Study Required by Volcano Heights Sector Plan

Hi Richard

You are probably aware that this Sector Plan requires developers to provide this study for all plats, site plans & master plans at the earliest possible level. (See page OS-5.) It includes rock outcroppings, petroglyphs as well as archeological

resources.

Anyway, I have the first of these surveys in my possession. It was turned in as part of the requirement for Cantata at the Trails. This particular survey's recommendations states there was one previously known archeological site but construction has destroyed it. It also says construction should be monitored in case anything else shows up.

So, this survey probably does not need an expert review. However, the Sector Plan requires the City to provide the review of these reports. I am aware of the proposal to hire a City Archeologist. In the meantime, what should I do about these reports?

Sheran



Basil Wymer  
Rick Beltrami  
5/22/07

1002912

Canata @ Trails  
at north side in Section  
Plan

3.22 acre park area going  
to Unit 3.

Trails will develop + maintain  
for 5 yrs.

Satisfies O.S. requirements

SPS + SPBP - eliminates O.S.  
trail

What to be heard also

30' trail + OS assessment.

BU2 - Parks - zoning change?  
Dineen's opinion

Archaeology Study + APS - coming  
Calvin Renderings w/SP provision  
~~TH~~

**Rick Beltramo**

---

**From:** Dineen, Richard W. [rdineen@cabq.gov]  
**Sent:** Tuesday, May 15, 2007 10:02 AM  
**To:** Rick Beltramo  
**Cc:** Matson, Sheran A.; Dourte, Richard H.  
**Subject:** RE: Cantata At The Trails - DRB#1002962

Rick: I do recall the meeting and subsequent discussion. You have generally covered the issues and the approach discussed with Lou. I am herein asking Sheran to follow up with you to schedule the matter with DRB and to take any other needed actions. Sheran will confer with myself and others regarding any procedural issues or questions. Richard

---

**From:** Rick Beltramo [mailto:rbeltramo@longfordhomes.com]  
**Sent:** Tuesday, May 15, 2007 8:25 AM  
**To:** Dineen, Richard W.  
**Cc:** Colombo, Louis J.  
**Subject:** Cantata At The Trails - DRB#1002962

Richard,

Hopefully this e-mail helps without taking too much of your time. I greatly appreciate your help.

If you recall a meeting was held regarding a proposed multifamily project at The Trails. At the meeting was Lou Colombo, Tracy Murphy (Longford), our architect/planner, you and of course me. this was the second meeting. Several items were discussed but the most important was the determination of how this submittal would be submitted, reviewed and processed.

With the approval of the Volcano Heights Sector Development Plan changes to The Trails was required. The sector plan also made it possible to introduce multi-family land uses by establishing zoning of SU-2 Urban Residential. The sector plan delegated approval to the Planning Director (without involving the standard EPC process). The sector plan also changed the shape of the bulk tracts. The 2 questions we had to you and Lou were 1) what is the review process and 2) can the shape of the plan be revised or is an amendment to the sector plan required?

The answer to the process was that you were going to send this thru DRB like a standard Site Plan for Building Purposes submittal, public hearing. We have submitted as such under DRB#1002962.

The plan presented to you and Lou showed modifying the public park to a shape that is different from the sector plan. At that meeting it was my understanding that the proposed plan, with a minimum 3.22 acre public Park, is consistent with the intent of the sector plan and approval of the plan was possible without having to amend the sector plan. Of course all of this is subject to review and approval by DRB. The plan submitted to DRB is almost identical to the plan reviewed in the meeting and does have the minimum 3.22 acre park. The modifying of the park also came with a condition that we would identify a park for Unit 3 of The Trails. The location of the Park has some additional options added and currently being considered and is yet to be confirmed. I am working with Lou on this point. Hopefully my summary of the meeting is consistent with your understanding.

Assuming that you agree with the above, Sharon Matson has no knowledge of this in detail, at least I do not think she does. I wanted to confirm the above and then meet with Sharon to make sure she has the benefit of this information before conducting her review.

Please advise.

Again, thanks for your help. Sorry for the lengthy e-mail.

RLB.

5/22/2007

**Matson, Sheran A.**

---

**From:** Dineen, Richard W.  
**Sent:** Wednesday, June 06, 2007 1:49 PM  
**To:** Matson, Sheran A.; 'Rick Beltramo'  
**Subject:** RE: Cantata At The Trails - DRB#1002962

Sheran, Rick has stated this correctly.

---

**From:** Matson, Sheran A.  
**Sent:** Wednesday, June 06, 2007 8:20 AM  
**To:** 'Rick Beltramo'; Dineen, Richard W.  
**Subject:** RE: Cantata At The Trails - DRB#1002962

The park is now zoned SU2 for Parks. That means a zone change is required for that portion of this development unless, Richard, you waive this requirement.

---

**From:** Rick Beltramo [mailto:rbeltramo@longfordhomes.com]  
**Sent:** Tuesday, June 05, 2007 4:16 PM  
**To:** Dineen, Richard W.  
**Cc:** Matson, Sheran A.  
**Subject:** FW: Cantata At The Trails - DRB#1002962

Richard,

DRB needs additional clarification regarding the proposed plan for Tract 5 and Tract OS-4, now called Cantata. The concern is that the previous e-mail adequately addressed the 3.22 acre park but possibly did not adequately address the rest of the plan. Some could interpret the differences between the Sector Plan and the proposed Site Plan as requiring a zone change. Therefore, let me try to further clarify.

This question was specifically asked by Longford some time ago. It is my understanding based on the outcome of our last meeting that the proposed plan is consistent with the concepts of the Sector Plan and that some variation to the sector plan is allowable. In summary, the plan as presented to the Planning Department, proposing the relocation of approximately 3 acres to "The Trails, Unit 3 (at a location yet to be determined), and that the 3.22 acre park is located per the Site Plan and that the remaining portions of the development shall be developed as SU-2 for Urban Residential, as defined by the Sector Plan. Submittal of a similar plan to the Development Review Board (DRB) will not require a zone change or Sector Plan amendment. Such plan is still subject to the review of the DRB and associated conditions of approval.

Attached is a copy of the Site Plan as submitted to the Development Review Board (DRB). I believe that this plan is substantially similar to the plan presented to the Planning Department previously and therefore the conclusions of how to process the Site Plan relative to zoning are still valid.

Hopefully this e-mail clarifies and resolves any questions regarding this submittal. If you agree with this e-mail please let Sheran Matson know so that she can act accordingly. If this e-mail is not consistent with your understanding please let me know so that I can make the necessary changes.

Thank you for your time.

RLB.

6/6/2007

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**From:** Dineen, Richard W. [mailto:rdineen@cabq.gov]  
**Sent:** Tuesday, May 15, 2007 10:02 AM  
**To:** Rick Beltramo  
**Cc:** Matson, Sheran A.; Dourte, Richard H.  
**Subject:** RE: Cantata At The Trails - DRB#1002962

Rick: I do recall the meeting and subsequent discussion. You have generally covered the issues and the approach discussed with Lou. I am herein asking Sheran to follow up with you to schedule the matter with DRB and to take any other needed actions. Sheran will confer with myself and others regarding any procedural issues or questions. Richard

---

**From:** Rick Beltramo [mailto:rbeltramo@longfordhomes.com]  
**Sent:** Tuesday, May 15, 2007 8:25 AM  
**To:** Dineen, Richard W.  
**Cc:** Colombo, Louis J.  
**Subject:** Cantata At The Trails - DRB#1002962

Richard,

Hopefully this e-mail helps without taking too much of your time. I greatly appreciate your help.

If you recall a meeting was held regarding a proposed multifamily project at The Trails. At the meeting was Lou Colombo, Tracy Murphy (Longford), our architect/planner, you and of course me. this was the second meeting. Several items were discussed but the most important was the determination of how this submittal would be submitted, reviewed and processed.

With the approval of the Volcano Heights Sector Development Plan changes to The Trails was required. The sector plan also made it possible to introduce multi-family land uses by establishing zoning of SU-2 Urban Residential. The sector plan delegated approval to the Planning Director (without involving the standard EPC process). The sector plan also changed the shape of the bulk tracts. The 2 questions we had to you and Lou were 1) what is the review process and 2) can the shape of the plan be revised or is an amendment to the sector plan required?

The answer to the process was that you were going to send this thru DRB like a standard Site Plan for Building Purposes submittal, public hearing. We have submitted as such under DRB#1002962.

The plan presented to you and Lou showed modifying the public park to a shape that is different from the sector plan. At that meeting it was my understanding that the proposed plan, with a minimum 3.22 acre public Park, is consistent with the intent of the sector plan and approval of the plan was possible without having to amend the sector plan. Of course all of this is subject to review and approval by DRB. The plan submitted to DRB is almost identical to the plan reviewed in the meeting and does have the minimum 3.22 acre park. The modifying of the park also came with a condition that we would identify a park for Unit 3 of The Trails. The location of the Park has some additional options added and currently being considered and is yet to be confirmed. I am working with Lou on this point. Hopefully my summary of the meeting is consistent with your understanding.

Assuming that you agree with the above, Sharon Matson has no knowledge of this in detail, at least I do not think she does. I wanted to confirm the above and then meet with Sharon to make sure she has the benefit of this information before conducting her review.

6/6/2007

Please advise.

Again, thanks for your help. Sorry for the lengthy e-mail.

RLB.

6/6/2007



### Pre-Development Facilities Fee (PDFF) Cover Sheet

**PDFF agreements received by 5PM Thursday will be ready for pick up by 8AM on the following Tuesday.**

Please drop off and pick up all Pre-Development Facilities Fee agreements at APS' Capital Master Plan office. The office is located in Suite 9, 2nd floor, of the Lincoln Building at 915 Locust St SE. A map to our offices is located at: <http://construction.voteaps.com/LincolnMap.html>

Project # (if already assigned by DRB/EPC) \_\_\_\_\_

**Please check one:**

Preliminary PDFF  
(Preliminary PDFF are required for preliminary plat submittals.)

Final PDFF  
(Final PDFF are required for final plat submittals and **must be recorded** prior to DRB hearing)

**Project Information**

Subdivision Name Cantata at the Trails

Location of Project (address or major cross streets) Universe NW and Woodmont

Proposed # of Units: \_\_\_\_\_ Single-Family      260 Multi-Family

Note: A single-family unit is a single-family, detached dwelling unit.

**Contact Information**

Name Evelyn Lopez-Chavez

Company Longford Homes

Phone 761-9911 x205

E-mail \_\_\_\_\_

**Please include with your submittal:**

- Zone Atlas map with the entire property(ies) precisely and clearly outlined
- Copy of a plat or plan for the proposed project
- List of legal description (e.g. lot, block) and street address for each lot (for final plat only)
- Please include project number on the top right corner of all documents
- Please paper clip all submitted documents (for ease of making copies)

**FOR OFFICIAL USE ONLY**

APS Cluster Volcano Vista

Preliminary PDFF Date Submitted 2/7/07

Preliminary PDFF Date Completed 2/12/07

Final PDFF Date Submitted \_\_\_\_\_

Final PDFF Date Completed \_\_\_\_\_

EXHIBIT A

PRELIMINARY  
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), a public school district organized and existing pursuant to the laws of New Mexico, and The Trails, LLC ("Developer") effective as of this 07 day of February, 2007, and pertains to the subdivision commonly known as Cantata at the Trails, and more particularly described as Tract 5 and OS-4, Unit 2, The Trails (see attached map)

---

(the "Subdivision".)

WHEREAS, In order to provide for APS becoming more knowledgeable of development plans within the City so that APS may better plan for future growth, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new residential subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, Developer is the owner of the real estate being subdivided and platted; and

WHEREAS, Developer is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance; and

WHEREAS, APS has determined that the amount of the facilities fee is reasonably related to the impact the subdivision will have on the operation of the area schools:

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

1. Developer agrees that a facilities fee will be paid to APS for each dwelling unit to be constructed in the Subdivision.

2. The amount of the fee shall be:

- If the building permit is issued on or after January 1, 2007, the fee shall be \$1875 per dwelling unit.
- If the building permit is issued on or after July 1, 2008, the fee shall be \$2425 per dwelling unit.
- If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.

The fee for each dwelling unit in multi-family residential structures shall be sixty percent (60 %) of the fee for a single family home. "Multi-family residential structure" means any type of residential property other than single-family houses (one single family, detached dwelling unit per lot).

3. Developer agrees that the fee shall be paid to APS at or before the issuance of any building permit for any lot or other parcel of property subject to this Agreement.

4. Developer may satisfy all or part of its obligations under this contract by transferring improved or unimproved property to APS, provided that APS must agree to the transfer and to the value placed on the transferred property. APS, upon accepting such transfer, shall credit Developer with an amount equal to the agreed value, and the developer may designate the lot(s) to which such amount(s) shall be applied in satisfaction of its obligations hereunder.

5. This contract may be recorded in the office of the County Clerk of Bernalillo and/or Sandoval County, and shall serve as notice of the Developer's obligation to pay facilities fees. Developer shall include on the plat of the Subdivision a statement that "The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded at [recording data]."

6. APS, through its Facilities Fee Administrator, will provide a Payment Acknowledgement in the form attached hereto to the Developer reflecting receipt of the facilities fee (or equivalent compensation as described in paragraph 4 above), which form may be given to the City to show satisfaction of the fee obligation and satisfy that condition for receiving building permits. Developer may record that Payment Acknowledgment in the real estate records of Bernalillo or Sandoval County, but APS shall not be responsible for paying any recording fees nor shall APS be responsible for recording any such documents with the office of the County Clerk or any other office.



Kelly Murtagh  
Signature

Kelly Murtagh, Vice President  
Name (typed or printed) and title

The Trails, LLC  
Longford Group Inc. its Manager  
Developer

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on 2/5/07, by Kelly Murtagh as Vice President of The Trails, LLC a corporation. <sup>LLC</sup>



OFFICIAL SEAL  
Evelyn Lopez-Chavez  
NOTARY PUBLIC  
STATE OF NEW MEXICO

[Signature]  
Notary Public

My commission expires: 3.18.08

My Comm. Exp. 3.18.08

ALBUQUERQUE PUBLIC SCHOOLS

By: Brad Winter  
Signature

BRAD WINTER EXECUTIVE DIRECTOR FACILITIES  
Name (typed or printed) and title

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on 2/2/07, by BRAD WINTER as EXECUTIVE DIRECTOR FACILITIES of Albuquerque Municipal School

District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under the laws of the State of New Mexico.

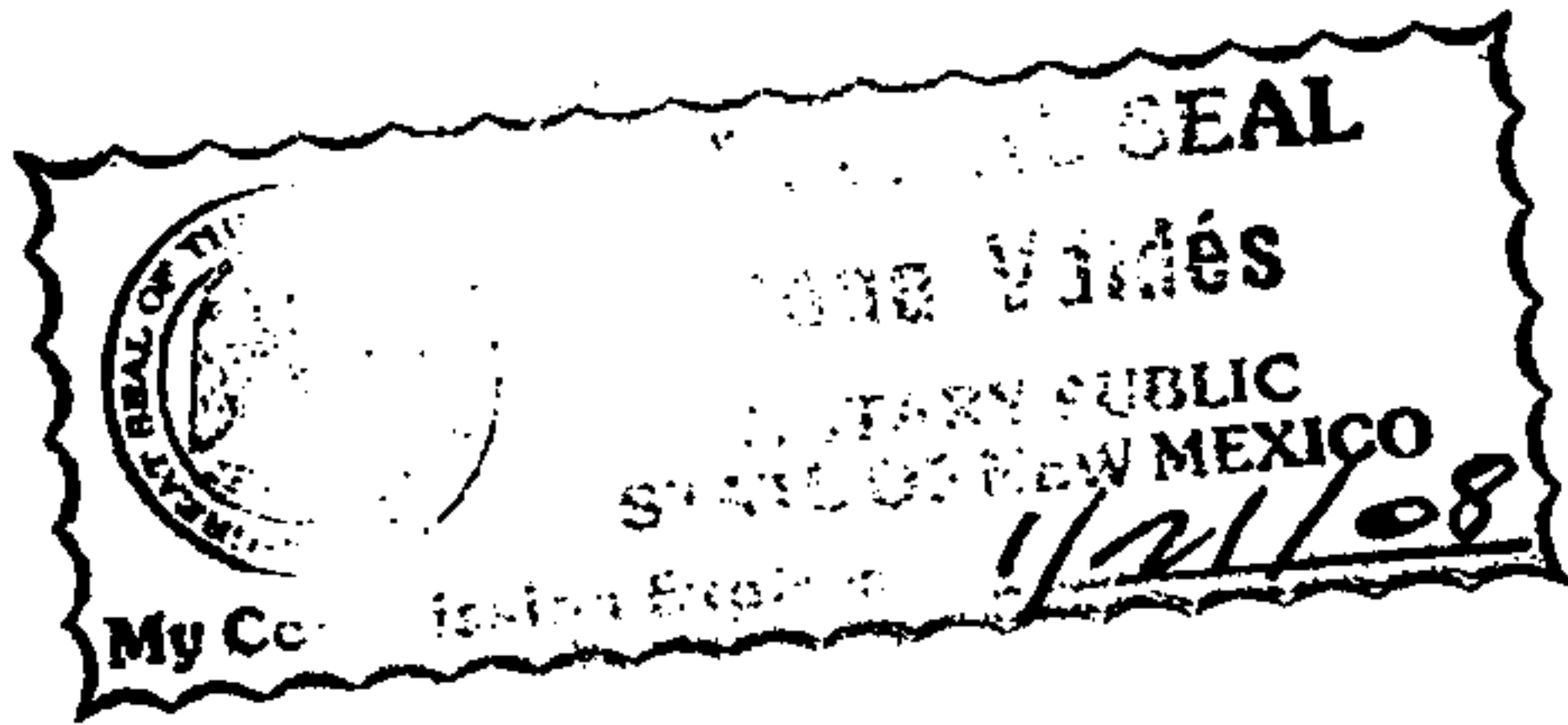
Volcano Vista

*Don Vildés*

(Seal)

Notary Public

My commission expires: 1/21/08



**Arroyos, Petroglyph National Monument Buffer, and Other Public Open Space Corridors.** See “8. Scenic Corridors” in “VI. Open Space” below.

#### 4. LANDSCAPE DESIGN STANDARDS

**Walls & Fences– Height & Placement.** Walls and fences are allowed in the Development Envelopes (Backyard portion) of houses in Suburban Residential–Large Lot and in the Development Envelopes of Executive Residential and Rural Residential. Properties generally along the Petroglyph National Monument and Open Space in higher density areas has special design requirements (see “VI. Open Space”). Post and Wire fences, utilizing the standards addressed in “Walls & Fences–Materials and Design” below, are allowed at the parcel perimeter of these zones, except as provided otherwise in “4. Neighborhood Edge / Transitions” in section “VI. Open Space”.

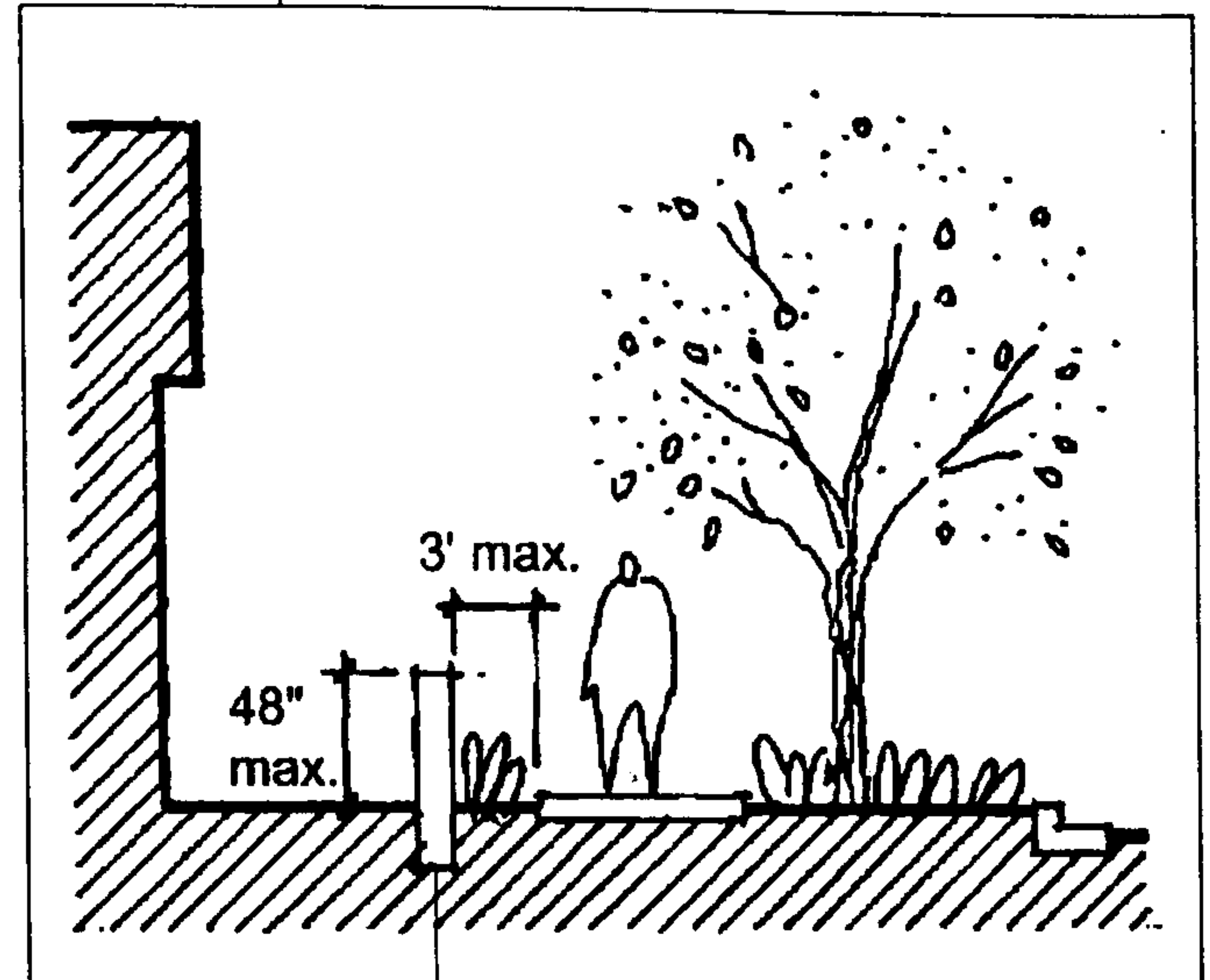
In the Town Center, Village Centers, Neighborhood Mixed Use, Urban Residential areas and Suburban Residential–Small Lot zones, walls shall be constructed within 3 feet of street-facing property lines, where buildings are not within 10 feet of the property line. Walls and fences should not exceed a height of 48 inches where allowed within street-facing setbacks (except for columns that support arcades or trellises). Fences and walls should not exceed a height of 72 inches along rear and interior side property lines, where they are outside of required street-facing setbacks.

**Walls & Fences– Materials & Design.** Walls shall be stucco, masonry, rammed earth, adobe, native stacked stone (or synthetic equivalent) or straw bale. Walls may be clad or plastered with stucco, brick and tile masonry, or native stone (or synthetic equivalent). Plain Block, including all colors, is not allowed for exterior walls. Stucco and concrete should have integral color (see “Color” above). The end of walls should have a pier or pilaster that is at least 12 inches in width, to give a substantial appearance. Fencing should be post and wire, or coyote fencing. Fencing of the Conservation Easements is limited to post and wire. Post and wire fence shall be 3 inches to 4 inches diameter wooden posts, approximately 36 inches in height, spaced about 15 feet apart, with no more than 4 strands of non-barbed wire. (See **Exhibit 32, Allowed Perimeter Fencing** for example) Wood board, cyclone, chain-link, and razor-wire fencing are prohibited.

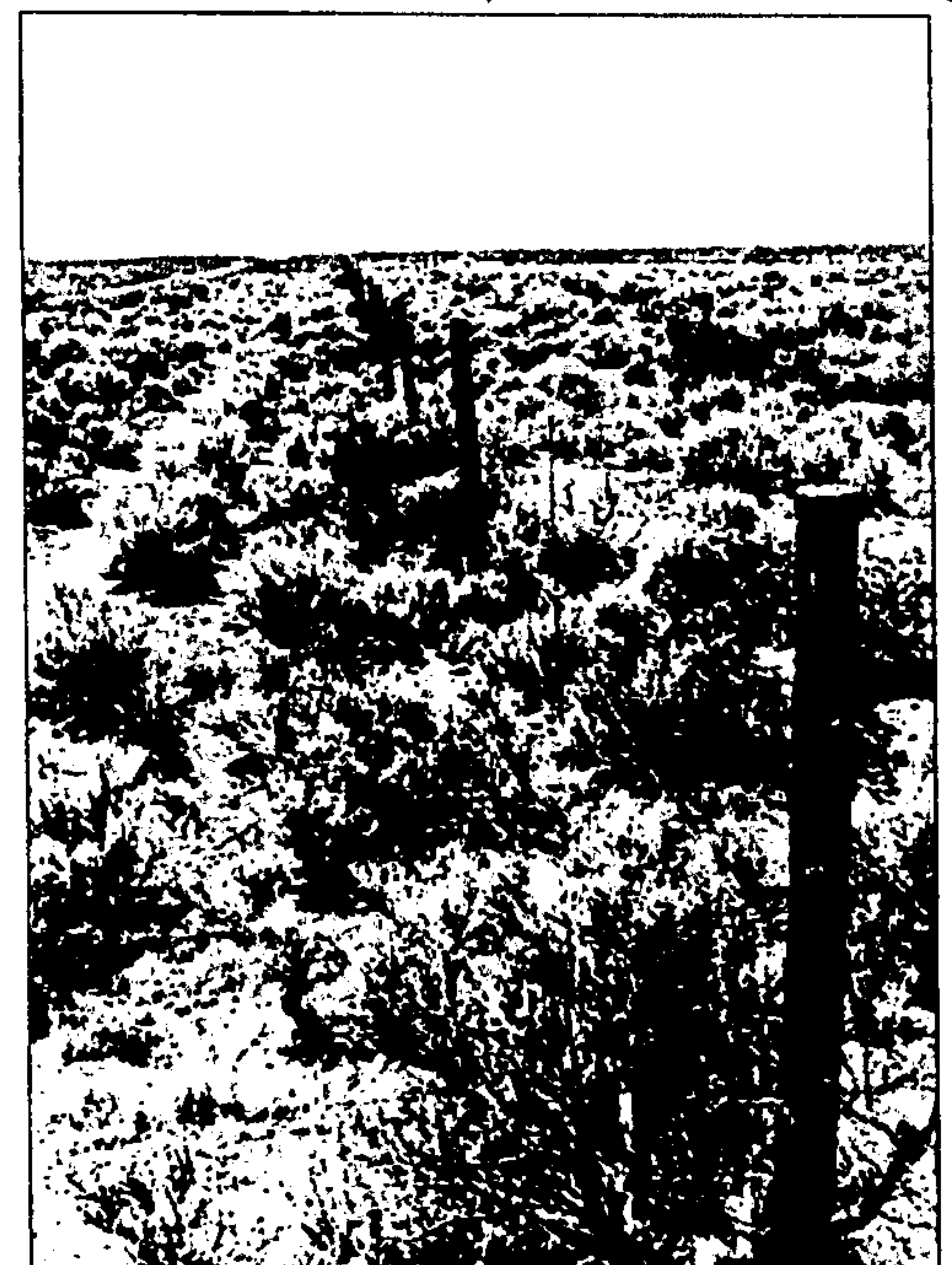
**Yards & Courtyards.** An irrigated zone of up to 600 sq. ft. per unit is allowed within the Town Center, Village Center, Neighborhood Mixed-Use, and Urban Residential Zones. Xeric plants are permitted as specified in “Plant List B” (See “5. Appropriate Planting Lists”).

Please refer to “IV. Urban Design, 6. Conservation Development and Development Envelopes” section for the landscape standards in the following Zones: Suburban Residential–Large Lot, Executive Residential, and Rural Residential.

**Pedestrian Walkways.** Arcades, trellises awnings, and/or trees are encouraged along pedestrian paths for shade and spatial definition. In parking lots, Pedestrian Walkways should not extend more than 75 feet without one of these features.



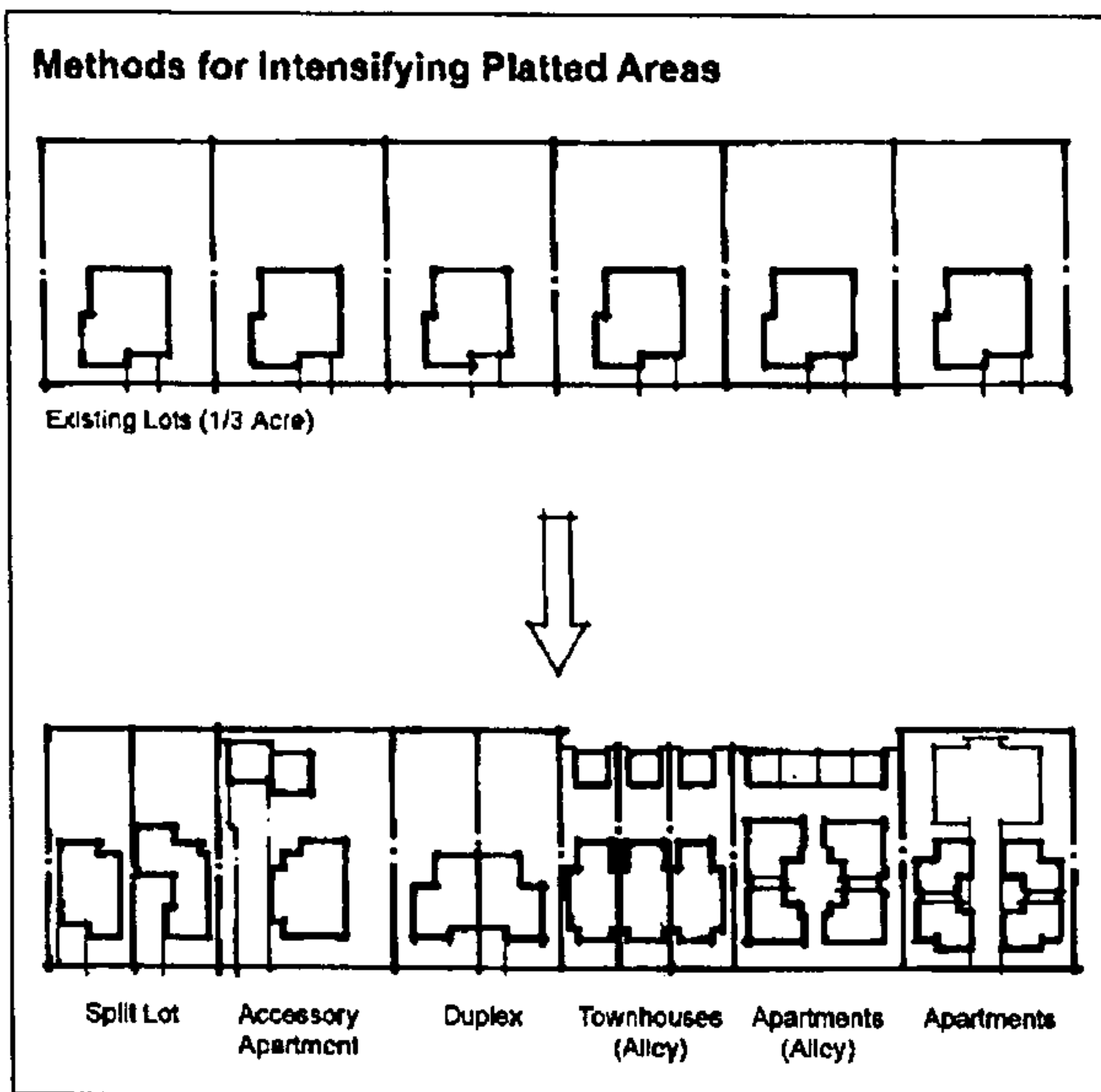
**Diagram 27**  
Front Walls



**Exhibit 32**  
Allowed Perimeter Fencing

### Average Density—Urban Residential (Diagram 9)

Standards for average densities permit a greater variety of housing types, as has been depicted for Urban Residential areas. Minimum average densities help ensure that the overall amount of development will support retail conveniences and frequent transit service. Maximum average densities assure that development will not exceed the capacity of planned infrastructure. Standards for average density also encourage housing diversity in Suburban Residential areas, because a range of single-family lot sizes are permitted.



**Diagram 10**

### Intensifying Platted Lots (Diagram 10)

Permitted average densities sometimes exceed the density of previously platted areas. While intensification is not required, it can occur in a variety of ways: by splitting lots, by adding accessory units, and by combining lots so that higher density housing types can be accommodated.

### Open Space Requirements for Urban and Mixed-Use Residential (Table 7)

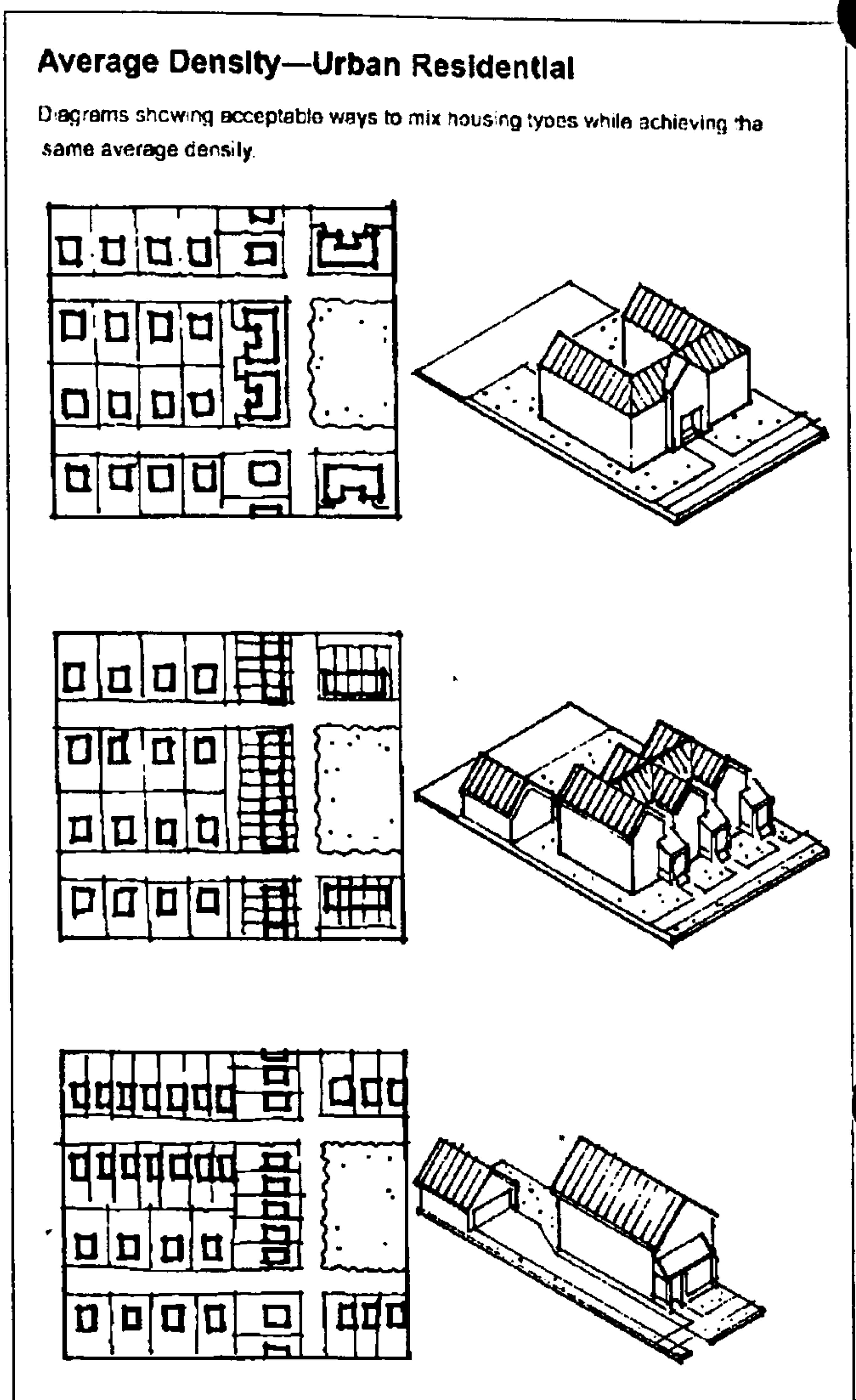
Requirements are placed on higher density residential development to provide both private and shared open space. Shared open spaces are important in urban settings to expand opportunities for passive recreation, to bring people together and to help create a sense of community. Courtyards and plazas are especially encouraged to create a southwestern character, and roof gardens can take advantage of the outstanding views and natural setting.

**Table 7**  
**Urban and Mixed Use Residential Open Space Requirements**

	Town Center	Village Center	Neighborhood Mixed-Use	Urban Resid.
Private Open Space per Dwelling (1)			60 square feet	
Shared Open Space per Dwelling (2)			80 square feet	

- (1) Must be for private use. May be yard, deck, balcony, porch, or patio. Must have unobstructed dimensions of at least 6 feet.
- (2) Must be accessible to all project residents, and have unobstructed dimensions of at least 40 feet. May be park, courtyard, plaza, play area, community facility, roof garden, natural open space, or some combination.

Note: Private and Shared Open Space as provided herein shall be privately maintained.



**Diagram 9**

What are Open  
Space requirements  
in 50.2 / UR-35?

Please find, copy,  
and highlight



**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- ... for Subdivision Purposes
- ... for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form

**S**

**V**

**P**

**L**

Supplemental form

**ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment

**APPEAL / PROTEST of...**

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

**Z**

**A**

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: CANTATA AT THE TRAILS INC.

ADDRESS: 7007 JEFFERSON STREET NE

CITY: ALBUQUERQUE

STATE NM

ZIP 87109

PHONE: 761-9911

FAX: 761-9922

E-MAIL: \_\_\_\_\_

Proprietary interest in site: OWNER

AGENT (if any): BOHANNAN HUSTON INC.

ADDRESS: 7500 JEFFERSON NE

CITY: ALBUQUERQUE

STATE NM

ZIP 87109

PHONE: 823-1000

FAX: 798-7988

E-MAIL: \_\_\_\_\_

**DESCRIPTION OF REQUEST: SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT**

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. TRACT 5 AND A PORTION OF TRACT 4 OS, THE TRAILS UNIT 2 Block: \_\_\_\_\_ Unit: \_\_\_\_\_

Subdiv. / Addn. TBKA- CANTATA AT THE TRAILS

Current Zoning: ~~MS-2~~ SU-2, UR

Proposed zoning: \_\_\_\_\_

Zone Atlas page(s): C-9

No. of **existing** lots: 2

No. of **proposed** lots: 2

Total area of site (acres): 25.27

Density if applicable: dwellings per gross acre: \_\_\_\_\_

dwellings per net acre: \_\_\_\_\_

Within city limits?  Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.)

Within 1000FT of a landfill? NO

UPC No. 100906448736510202; 100906448742110203

MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: OAKRIDGE STREET NW

Between: WOODMONT AVE NW

and Universe Blvd NW

**CASE HISTORY:**

List **any** current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): DRB1002962 04DRB-01322

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

**SIGNATURE**

Paul Wymer

DATE 5/11/2007

(Print) PAUL WYMER

Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 10/03

**INTERNAL ROUTING**

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

07DRB - 00613

07DRB - 00615

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Hearing date 6/6/07

Action

~~SP3~~ P2

SBP P2

\_\_\_\_\_

SME

AVD

S.F.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Fees

\$ 395.00

\$ 385.00

\$ \_\_\_\_\_

\$ 20.00

\$ 75.00

Total

\$ 865.00

Paul Wymer 5/11/07  
Planner signature / date

**Project #** 100 2962

Volcano Heights

\$ 460.00

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

**SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15) Maximum Size: 24" x 36"**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - ~~N/A~~ Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision Checklist
  - ~~N/A~~ 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14) Maximum Size: 24" x 36"**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - ~~N/A~~ Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - ~~N/A~~ 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10) Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

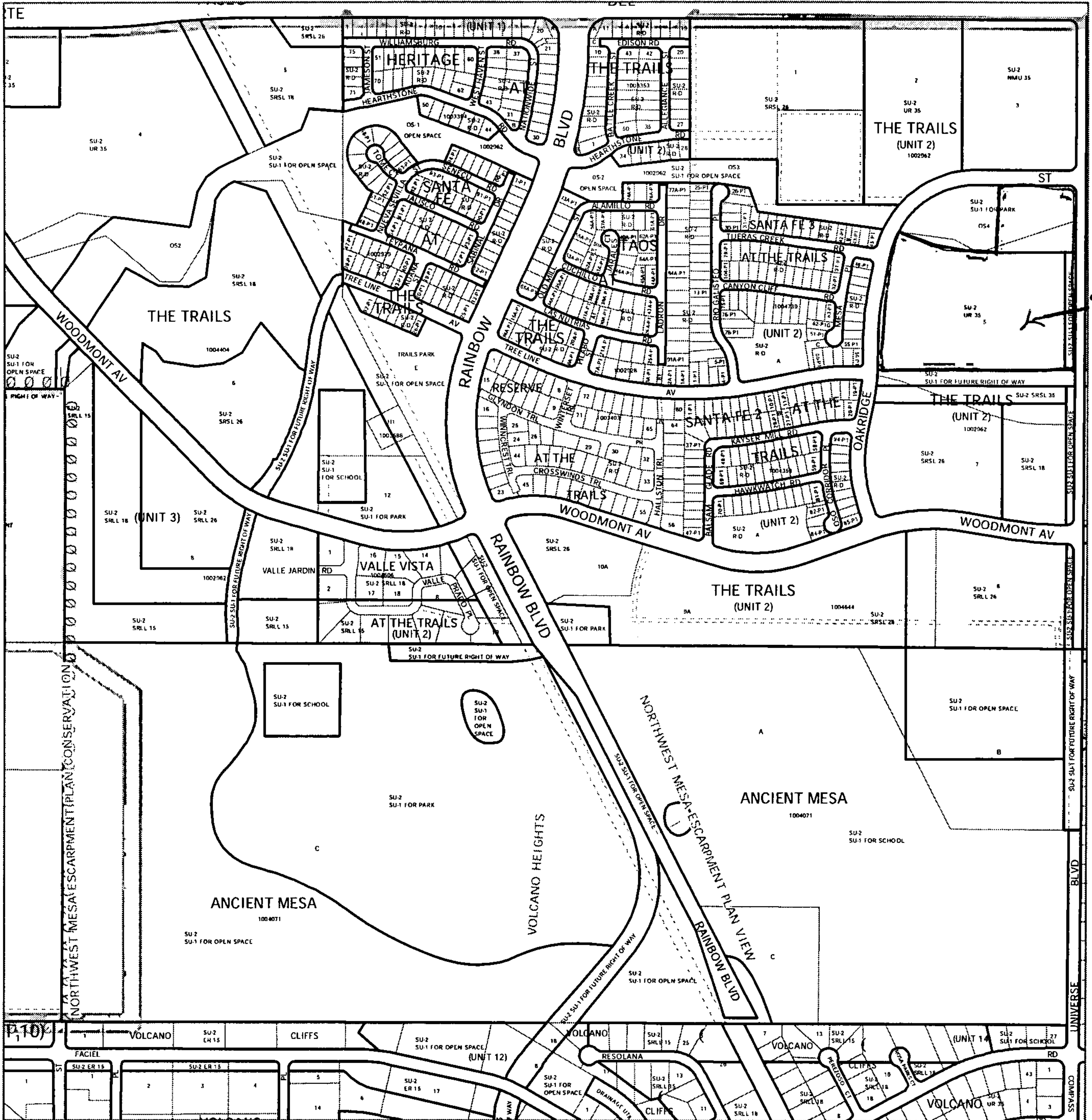
Paul Wymer  
 \_\_\_\_\_  
 Applicant name (print)  
 \_\_\_\_\_  
 Applicant signature / date



Form revised APRIL 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 07 DRB - 00613  
 07 DRB - 00615

\_\_\_\_\_ 5/11/07  
 Planner signature / date  
 Project # 1002962



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 3/22/2007

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-09-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

May 11, 2007

Sheran Matson, DRB Chair  
Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Re: Site Plan for Subdivision and Building Permit- Tract 5 and a portion of Tract 4OS, the Trails Unit 2  
TBKA- Cantata at the Trails DRB# 1002962

Dear Sheran:

Enclosed for review and approval of Site Development Plan for Subdivision and Building Permit for the referenced project are copies of the following information:

- Completed Applications to the Development Review Board
- (24) copies of the Site Plan for Subdivision and Building Permit
- Zone Atlas showing location of subject property
- Fee in the amount of \$865.00
- Completed Site Plan for Subdivision and Building Permit checklists
- Neighborhood Coordination letters
- Letter of Authorization from property owner
- TIS form
- Solid Waste and Fire Marshal stamp and signature

Cantata at The Trails is located on Tract 5 and a portion of Tract 7 and a portion of tract OS-4, of The Trails, Unit 2 subdivision. The existing tracts do not match the geometry of the recently approved Volcano Heights Sector Development Plan, Land Use Map C, exhibit 22. The zoning of this project is SU2-UR, Urban Residential and Park. The proposed plan does not strictly adhere to the geometry of the Land Use Plan but is acceptable and viable as the Sector Plan allows for some variation.

As defined by the sector plan, SU-2 zoned land is delegated to the Planning Director. A meeting was conducted with the Planning Director, the City Council Deputy Director (author of the sector plan) and Longford Homes, to define the review process. The Planning Director decided that the City Development Review Board (DRB) will review this specific application as a Site Plan for Building Purposes, as a public hearing. All requirements of a typical site plan review will be required except that the DRB will conduct the review.

Also in the meeting it was discussed as to the allowance of variations to the sector plan. It was agreed to by the Planning Director and the deputy Director that the proposed layout, modifying the park area was within the intent of the plan and such variations are allowed without requiring an amendment to the sector plan or a re-zoning request, and is allowed, subject to conditions. More specifically this proposed layout, for multi-family with the park configuration as proposed is acceptable and allowable within the sector plan.

A platting action will be prepared to recognize the parcel configuration contained in this submittal. The platting action will be submitted to the DRB in 2-3 weeks such that the platting action can be approved at the same time as the site plan.

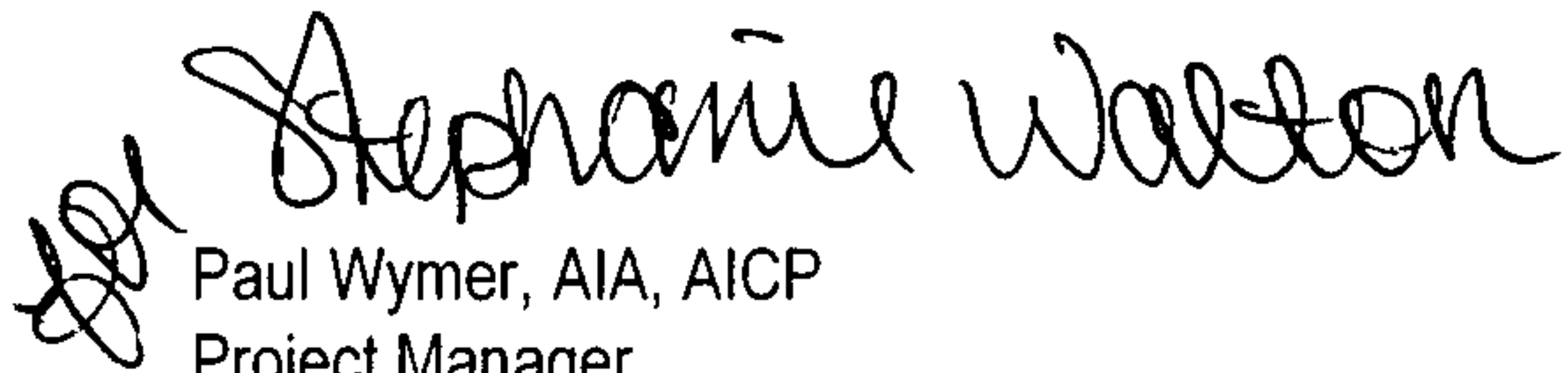
**ENGINEERING ▲**

**SPATIAL DATA ▲**

**ADVANCED TECHNOLOGIES ▲**

Please place this request on the D.R.B. addenda for the June 6, 2007 hearing. Do not hesitate to contact me with comments or questions relative to this request.

Sincerely,

 Stephanie Walton

Paul Wymer, AIA, AICP  
Project Manager  
Community Development and Planning Group

CC: Rick Beltramo, Longford Homes  
Scott Steffen, Bohannon Huston Inc.

Current DRC  
Project No. \_\_\_\_\_

Date Submitted: June 26, 2007  
 Date Site Plan Approved: 6/27/07  
 Date Preliminary Plat Approved: 6/27/07  
 Date Preliminary Plat Expires: 6/27/08

DRB Project No. 1002962  
 Application no. 07 DRB-00613

**ORIGINAL**

Figure 12  
INFRASTRUCTURE LIST  
 EXHIBIT "A"  
 TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST  
**CANTATA AT THE TRAILS**

Following is a summary of PUBLIC and PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC ROADWAY IMPROVEMENTS</b>									
		30' F-EOP	(1) ARTERIAL PAVING W/ PCC CURB & GUTTER ON EAST ONLY <b>MEDIAN CURB &amp; GUTTER</b>	UNIVERSE BLVD.	OAKRIDGE STREET	TREELINE AVENUE	/	/	/
		6' WIDE	PCC SIDEWALK ON EAST SIDE	UNIVERSE BLVD.	OAKRIDGE STREET	TREELINE AVENUE	/	/	/
		24' F-EOP	(2) ARTERIAL PAVING W/ PCC CURB & GUTTER ON WEST SIDE ONLY	OAKRIDGE STREET	TREELINE AVENUE	UNIVERSE BLVD.	/	/	/
		6' WIDE	PCC SIDEWALK ON WEST SIDE	OAKRIDGE STREET	TREELINE AVENUE	UNIVERSE BLVD.	/	/	/
		34' F-EOP	(3) ARTERIAL PAVING W/ PCC CURB & GUTTER ON NORTH SIDE ONLY	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		<b>6'</b> WIDE	PCC SIDEWALK ON NORTH SIDE	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		30' F-F	DRIVEWAY CUT	OAKRIDGE STREET	CANATA STREET		/	/	/
		11' WIDE	MODIFY MEDIAN FOR LEFT TURN	OAKRIDGE STREET	OAKRIDGE STREET	CANATA STREET	/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC WATERLINE IMPROVEMENTS (NMUI)</b>									
		8" DIA	(3) WATERLINE CONNECTION FH'S, MJ'S, AND RJ'S	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		8" DIA	WATERLINE CONNECTION FH'S, MJ'S, AND RJ'S	SONATA STREET	200' EAST OF CANTATA	WEST TERMINUS	/	/	/
		8" DIA	WATERLINE CONNECTION FH'S, MJ'S, AND RJ'S	PUBLIC WTR AND SAS EASEMENTS (w/in PRIVATE ALLEYS)	TREELINE AVENUE	OAKRIDGE STREET	/	/	/

<b>PUBLIC SANITARY SEWER IMPROVEMENTS (NMUI)</b>									
		8" DIA	(3) SANITARY SEWER W/ MH's	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		8" DIA	SANITARY SEWER W/ MH's	SONATA STREET	200' EAST OF CANTATA	WEST TERMINUS	/	/	/
		8" DIA	SANITARY SEWER W/ MH's	PUBLIC WTR AND SAS EASEMENTS (w/in PRIVATE ALLEYS)	TREELINE AVENUE	OAKRIDGE STREET	/	/	/

<b>PUBLIC STORM DRAIN IMPROVEMENTS</b>									
		18"-36"	(3) STORM DRAIN PIPE W/ MH's	TREELINE AVENUE	CANTATA STREET	UNIVERSE BLVD.	/	/	/
		18"-54"	STORM DRAIN PIPE W/ MH's	UNIVERSE BLVD.	OAKRIDGE STREET	POND K	/	/	/
		2.05 AC-FT	POND J	WEST SIDE OF UNIVERSE BLVD.			/	/	/
		9.5 AC-FT	POND K	WEST SIDE OF UNIVERSE BLVD.			/	/	/

NOTES: A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.

<b>PRIVATE STORM DRAIN IMPROVEMENTS</b>									
		18"-30" DIA	STORM DRAIN PIPE W/ INLETS	CANTATA STREET	TREELINE AVENUE	700' NORTH	/	/	/
		18"-30" DIA	STORM DRAIN PIPE W/ INLETS	SONATA STREET	CANTATA STREET	200' EAST	/	/	/

- (1) UNIVERSE BLVD. IMPROVEMENTS CONSTRUCTED WITH CPN 730084
- (2) OAKRIDGE STREET IMPROVEMENTS CONSTRUCTED WITH CPN 730084
- (3) TREELINE AVE. IMPROVEMENTS CONSTRUCTED WITH CPN 730087

SCOTT STEFFEN, PE  
PREPARED BY: PRINT NAME

*D. Jackson* 6/27/07  
DRB CHAIR DATE

*Christina Sandoval* 6/27/07  
PARKS & GENERAL SERVICES DATE

BOHANNAN HUSTON INC.  
FIRM:

*W. H. Soy* 6-27-07  
TRANSPORTATION DEVELOPMENT DATE

AMAFCA DATE

*Scott Steffen* 6/27/07  
SIGNATURE DATE

*Regina A. Rice* 6/27/07  
UTILITY DEVELOPMENT DATE

*Bradley A. Bishop* 6/27/07  
CITY ENGINEER DATE

MAXIMUM TIME ALLOW TO CONSTRUCT  
IMPROVEMENTS WITHOUT A DRB EXTENSION

[Empty box for maximum time]

NEW MEXICO UTILITIES INC.

DATE

DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

**SITE DEVELOPMENT PLAN  
FOR SUBDIVISION CHECKLIST**

Revised 4/18/06

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Since development proposals vary in type and scale, there may be application requirements that are not included here and others that may not be necessary. Nonetheless, it is the applicant's responsibility to provide a complete submittal. The EPC and DRB will not consider incomplete submittals. Incomplete submittals run the risk of not being scheduled for hearing until they are made complete. Site development plans should ordinarily be composed of the following plan sheets:

1. **Site Plan** (required)
2. **Conceptual Utility Plan** (required)
3. **Design requirements for future site development plans for building permit** (optional, but STRONGLY recommended)

The following checklist describes the minimum information necessary for each sheet. Most of the site plan requirements for *Sheet #1* are taken from the definition for "SITE DEVELOPMENT PLAN" as outlined in the Zoning Code (§ 14-16-1-1 et. seq.). **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

**Accompanying Material**

- A. Fee payment
- B. Complete application
- C. Written Summary of Request
- D. 8-1/2" x 11" reductions

**SHEET # 1 – SITE PLAN** (Required)

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- 5. The Site (property lines)
- 6. Proposed Use(s)
- 7. Pedestrian Ingress and Egress (Access)
- 8. Vehicular Ingress and Egress (Access)
- 9. Any Internal Circulation Requirements
- 10. For each lot:
  - a. Maximum Building Height
  - b. Minimum Building Setback
  - c. Maximum Total Dwelling Units and / or
  - d. Nonresidential Uses' Maximum Floor Area Ratio (F.A.R.)

**SHEET #2 – DESIGN REQUIREMENTS FOR FUTURE SITE DEVELOPMENT  
PLANS FOR BUILDING PERMIT** (Optional, but STRONGLY  
recommended)

- PROVIDED  
VIA  
SITE  
PLAN FOR  
BUILDING  
PERMIT  
PURPOSES
- 1. Overall Design Theme and Land Use Concept
  - 2. Off-Street Parking Requirements and Design (Automobile and Bicycle)
  - 3. Street Design
  - 4. Transit Facilities (benches, shelters, pedestrian connections, etc.)
  - 5. Landscape Design Requirements (plant list, buffer areas, locations, amounts, etc.)
  - 6. Architectural Design Requirements (façade elements, massing, colors, materials, etc.)
  - 7. Signage Design Requirements (face area, colors, materials, maximum height, etc.)
  - 8. Lighting Design Requirements (type, locations, colors materials, maximum height, etc.)
  - 9. Pedestrian Amenities (walkways, plazas, shade structures, etc.)

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

 5/11/07  
 Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**Accompanying Material**

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved. *COVER LETTER AND SITE INFORMATION (SHEET 1)*

**SHEET #1 - SITE PLAN**

**A. General Information**

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less      1" = 10'  
    1.0 - 5.0 acres            1" = 20'  
    Over 5 acres                  1" = *50-60*  
    Over 20 acres                1" = 100'                    [Other scales as approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- N/A** 8. Phases of development including location and square footages of structures, circulation, parking and landscaping



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure - NOTE ON SHEET 1
- C. Proposed use of each structure - NOTE ON SHEET 1 (RESIDENTIAL AND CLUBHOUSE)
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials - SHEET 1 AND LANDSCAPE
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type) NOTE ON SHEET 1
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

### 2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including handicapped spaces
  - 2. Calculations: spaces required: 520 provided: \_\_\_\_\_  
Handicapped spaces required: 2 provided: 2 @ CLUBHOUSE
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 2 provided: 2 } CLUB HOUSE
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location and description of amenities, including patios, benches, tables, etc.

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

## 4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## 5. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

## SHEET #3 –PRELIMINARY GRADING PLAN –

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

## A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

## B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

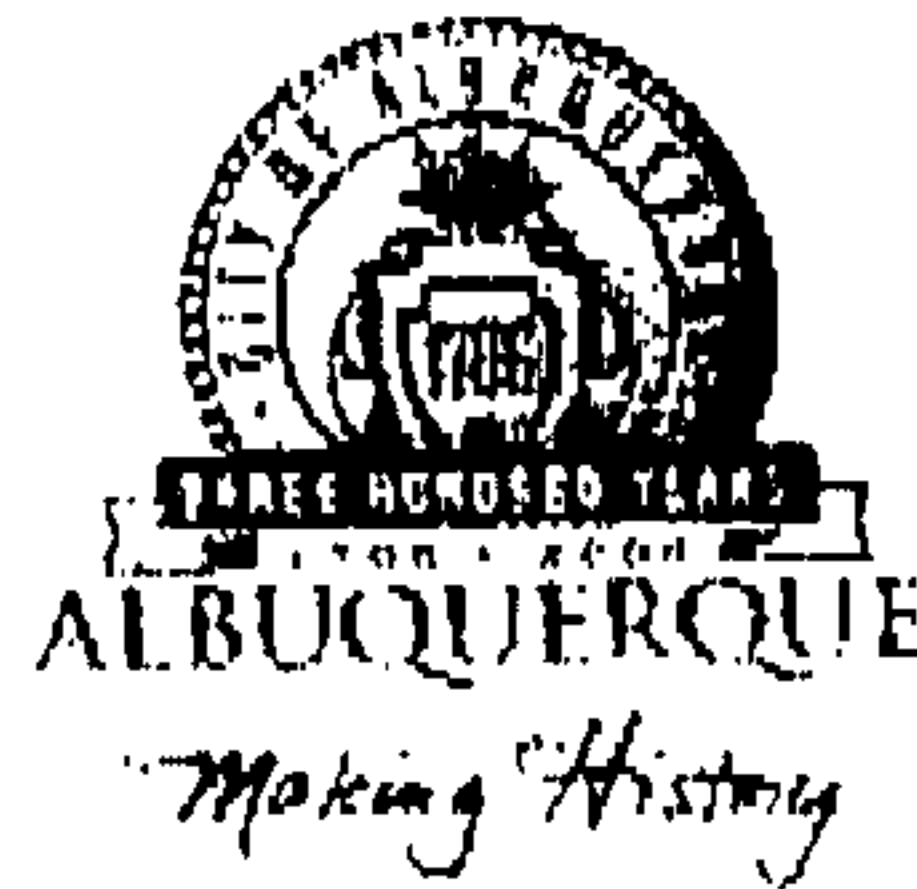
## A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

## B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

*Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.*



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: 5/9/07

Planning Department  
 Plaza Del Sol Building  
 600 Second St. NW  
 Second Floor (924-3860)

This letter will serve to notify you that on May 9, 2007 (date)

TO CONTACT NAME: Stephanie Walton  
 COMPANY/AGENCY: Bhannan & Huston  
 ADDRESS/ZIP: Courtyard 1, 7500 Jefferson St. NE, 87109  
 PHONE/FAX #: 823-1000, fax 798-7988

Contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at Tract 5, The Trails, Unit 2  
 zone map page(s) C-09-2.

Our records indicate that as of May 9, 2007 (date) there were **no Recognized Neighborhood Associations** in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalana L. Carmona  
 OFFICE OF NEIGHBORHOOD COORDINATION

# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EDRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

The street address of the subject property.

The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.

A physical description of the location, referenced to streets and existing land uses.

A complete description of the actions requested of the EPC:

- a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
- c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

.....  
(below this line for ONC use only)

Date of Inquiry: 5/9/07

Time Entered: 1830

ONC Rep. Initials: DC

# *Cantata*

*at*  
*The Trails*

May 10, 2007

Ms. Sheran Matson, DRB Chair  
Development Review Board  
Plaza Del Sol  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: Letter of Authorization for Cantata at The Trails, Inc. Submittal

Dear Ms. Matson:

The purpose of this letter is to authorize Bohannon Huston Inc. to act as Cantata at The Trails, Inc.'s agent for the sole and limited purpose of submitting any and all documents required for Subdivision Site Plan and Building Permit approvals by the City of Albuquerque.

If you have any questions or concerns regarding this letter, please do not hesitate to contact me. Thank you for your courtesy in this matter.

Cantata at The Trails, Inc.

  
Susan Berger, Vice President

Cc: R. Beltramo  
J. Murtagh

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Contata of the Trails Inc. DATE OF REQUEST: 5/11/07 ZONE ATLAS PAGE(S): 19

CURRENT: ZONING R-D LEGAL DESCRIPTION: TRACT 5 and a portion of Tract 405, Unit 2  
PARCEL SIZE (AC/SQ. FT.) 25.27 SUBDIVISION NAME Contata of The Trails

REQUESTED CITY ACTION(S):

- ANNEXATION [ ] SECTOR PLAN [ ] SITE DEVELOPMENT PLAN:
COMP. PLAN [ ] ZONE CHANGE [ ] A) SUBDIVISION [X] BUILDING PERMIT [X]
AMENDMENT [ ] CONDITIONAL USE [ ] B) BUILD'G PURPOSES [ ] ACCESS PERMIT [ ]
C) AMENDMENT [ ] OTHER [ ]

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT [ ]
NEW CONSTRUCTION [X]
EXPANSION OF EXISTING DEVELOPMENT [ ]

GENERAL DESCRIPTION OF ACTION: 1

# OF UNITS: 2100
BUILDING SIZE: \_\_\_\_\_ (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Stephanie Walton DATE 5-11-07
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [X] NO [X] BORDERLINE [ ]

THRESHOLDS MET? YES [X] NO [ ] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [X]
Notes: PREVIOUSLY STUDIED WITH THE TRAILS

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] DATE 5-11-07
TRAFFIC ENGINEER DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [ ] NO [X]

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

Stephanie Walton DATE 5-11-07
APPLICANT DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED \_\_\_/\_\_\_/\_\_\_
-FINALIZED \_\_\_/\_\_\_/\_\_\_
TRAFFIC ENGINEER DATE

Figure 12

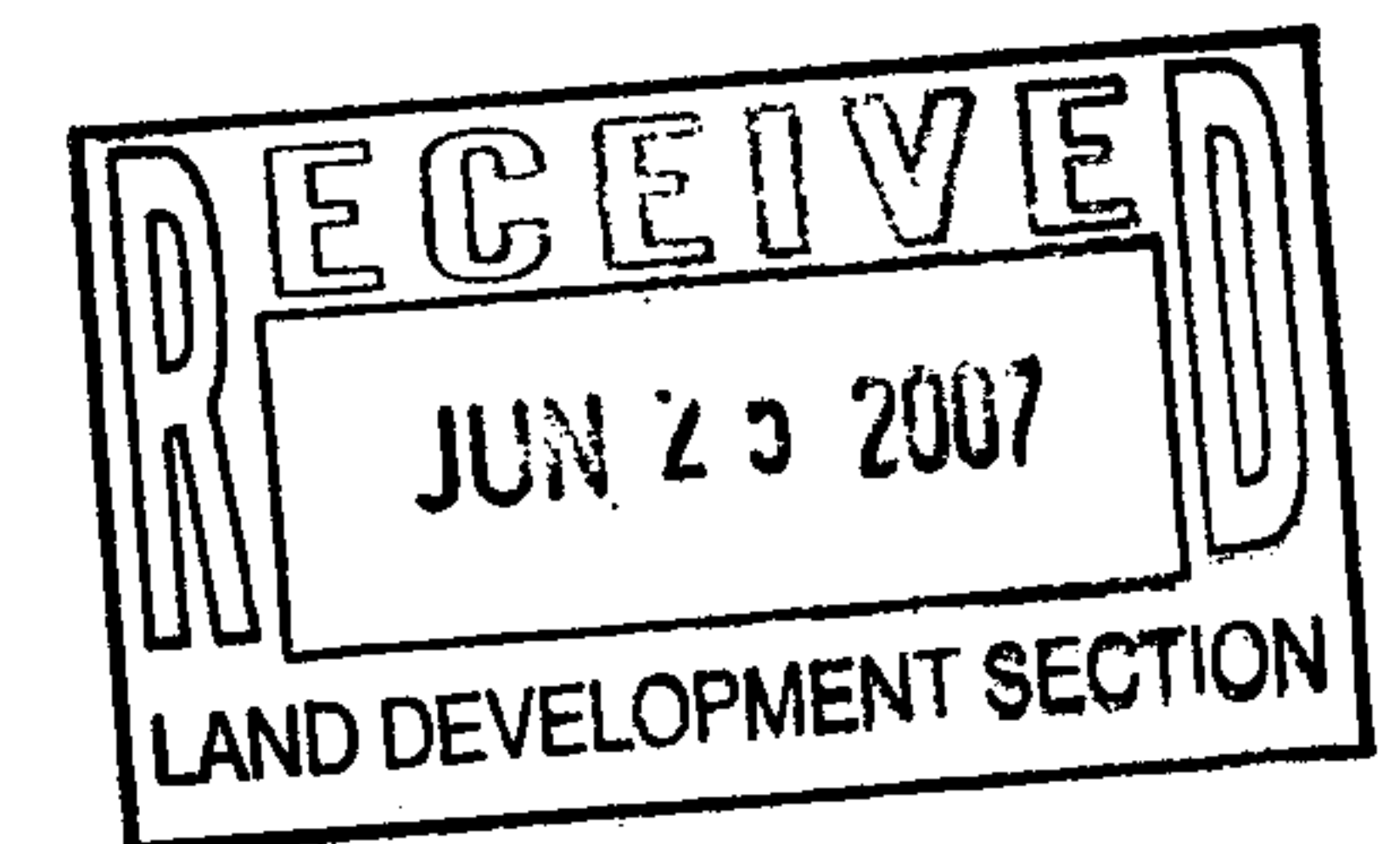
INFRASTRUCTURE LIST

EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

**CANTATA AT THE TRAILS**

Following is a summary of PUBLIC and PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b><u>PUBLIC ROADWAY IMPROVEMENTS</u></b>									
		30' F-EOP	(1) ARTERIAL PAVING W/ PCC CURB & GUTTER ON EAST ONLY	UNIVERSE BLVD.	OAKRIDGE STREET	TREELINE AVENUE	/	/	/
		6' WIDE	PCC SIDEWALK ON EAST SIDE	UNIVERSE BLVD.	OAKRIDGE STREET	TREELINE AVENUE	/	/	/
		24' F-EOP	(2) ARTERIAL PAVING W/ PCC CURB & GUTTER ON WEST SIDE ONLY	OAKRIDGE STREET	TREELINE AVENUE	UNIVERSE BLVD.	/	/	/
		6' WIDE	PCC SIDEWALK ON WEST SIDE	OAKRIDGE STREET	TREELINE AVENUE	UNIVERSE BLVD.	/	/	/
		34' F-EOP	ARTERIAL PAVING W/ PCC CURB & GUTTER ON NORTH SIDE ONLY	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		4' WIDE	PCC SIDEWALK ON NORTH SIDE	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		30' F-F	DRIVEWAY CUT	OAKRIDGE STREET	CANATA STREET		/	/	/
		11' WIDE	MODIFY MEDIAN FOR LEFT TURN	OAKRIDGE STREET	OAKRIDGE STREET	CANATA STREET	/	/	/





SiA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC WATERLINE IMPROVEMENTS (NMUI)</b>									
		8" DIA	(3) WATERLINE CONNECTION FH'S, MJ'S, AND RJ'S	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		8" DIA	WATERLINE CONNECTION FH'S, MJ'S, AND RJ'S	SONATA STREET	200' EAST OF CANTATA	WEST TERMINUS	/	/	/
		8" DIA	WATERLINE CONNECTION FH'S, MJ'S, AND RJ'S	PUBLIC WTR AND SAS EASEMENTS (w/in PRIVATE ALLEYS)	TREELINE AVENUE	OAKRIDGE STREET	/	/	/
<b>PUBLIC SANITARY SEWER IMPROVEMENTS (NMUI)</b>									
		8" DIA	(3) SANITARY SEWER W/ MH's	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		8" DIA	SANITARY SEWER W/ MH's	SONATA STREET	200' EAST OF CANTATA	WEST TERMINUS	/	/	/
		8" DIA	SANITARY SEWER W/ MH's	PUBLIC WTR AND SAS EASEMENTS (w/in PRIVATE ALLEYS)	TREELINE AVENUE	OAKRIDGE STREET	/	/	/
<b>PUBLIC STORM DRAIN IMPROVEMENTS</b>									
		18"-36"	(3) STORM DRAIN PIPE W/ MH's	TREELINE AVENUE	CANTATA STREET	UNIVERSE BLVD.	/	/	/
		18"-54"	(1) STORM DRAIN PIPE W/ MH's	UNIVERSE BLVD.	OAKRIDGE STREET	TREELINE AVENUE	/	/	/
			(1) MODIFY POND J	WEST SIDE OF UNIVERSE BLVD.	OAKRIDGE STREET	TREELINE AVENUE	/	/	/
NOTES: A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.									
<b>PRIVATE STORM DRAIN IMPROVEMENTS</b>									
		18"-30" DIA	STORM DRAIN PIPE W/ INLETS	CANTATA STREET	TREELINE AVENUE	700' NORTH	/	/	/
		18"-30" DIA	STORM DRAIN PIPE W/ INLETS	SONATA STREET	CANTATA STREET	200' EAST	/	/	/

- (1) UNIVERSE BLVD. IMPROVEMENTS CONSTRUCTED WITH CPN 730084
- (2) OAKRIDGE STREET IMPROVEMENTS CONSTRUCTED WITH CPN 730084
- (3) TREELINE AVE. IMPROVEMENTS CONSTRUCTED WITH CPN 730087

KEVIN J. MURTAGH, PE  
 PREPARED BY: PRINT NAME

DRB CHAIR

DATE

PARKS & GENERAL SERVICES

DATE

BOHANNAN HUSTON INC.  
 FIRM:

TRANSPORTATION DEVELOPMENT

DATE

AMAFCA

DATE

*Kevin J. Murtagh* 6-25-07  
 SIGNATURE DATE

UTILITY DEVELOPMENT

DATE

CITY ENGINEER

DATE

MAXIMUM TIME ALLOW TO CONSTRUCT  
 IMPROVEMENTS WITHOUT A DRB EXTENSION

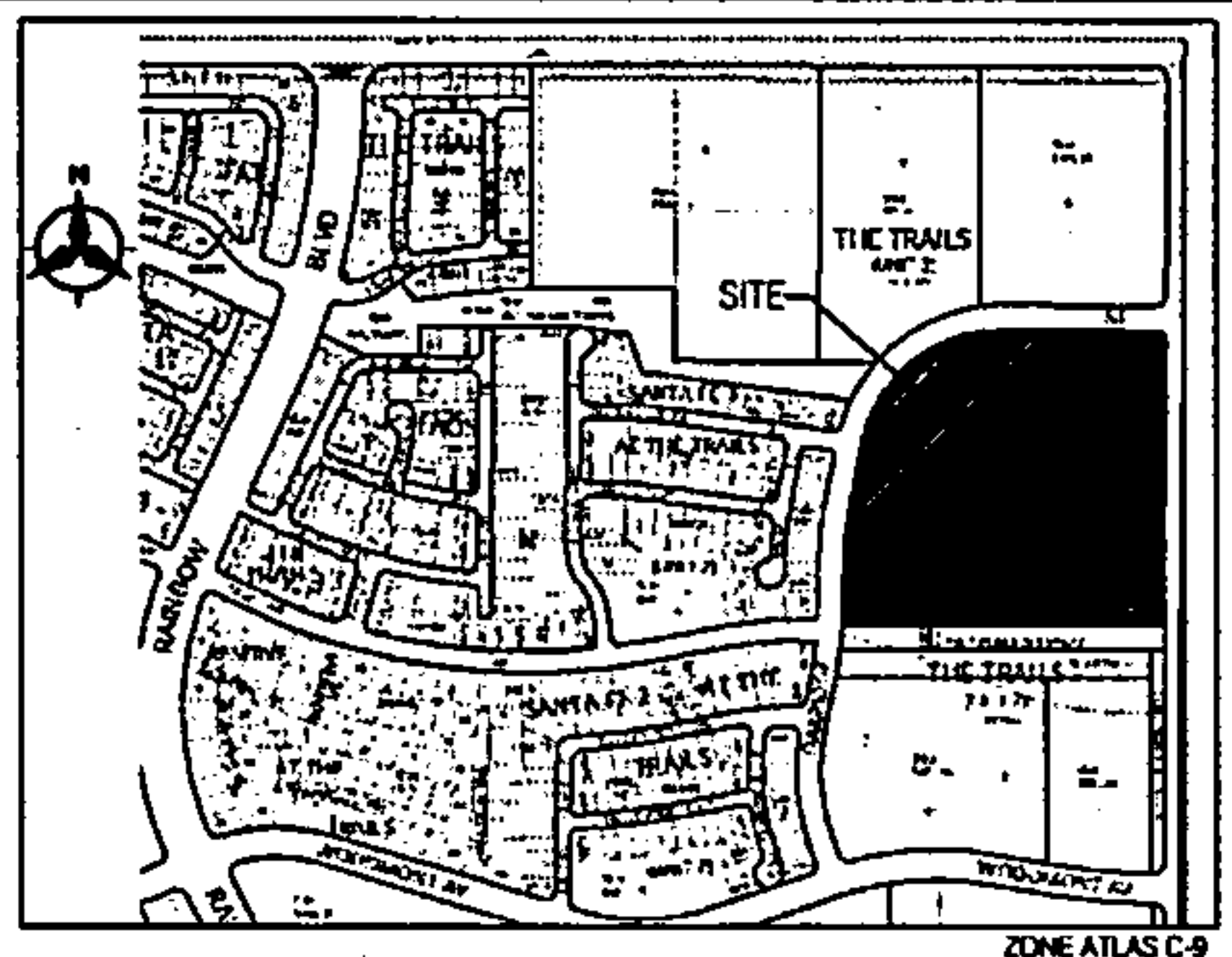
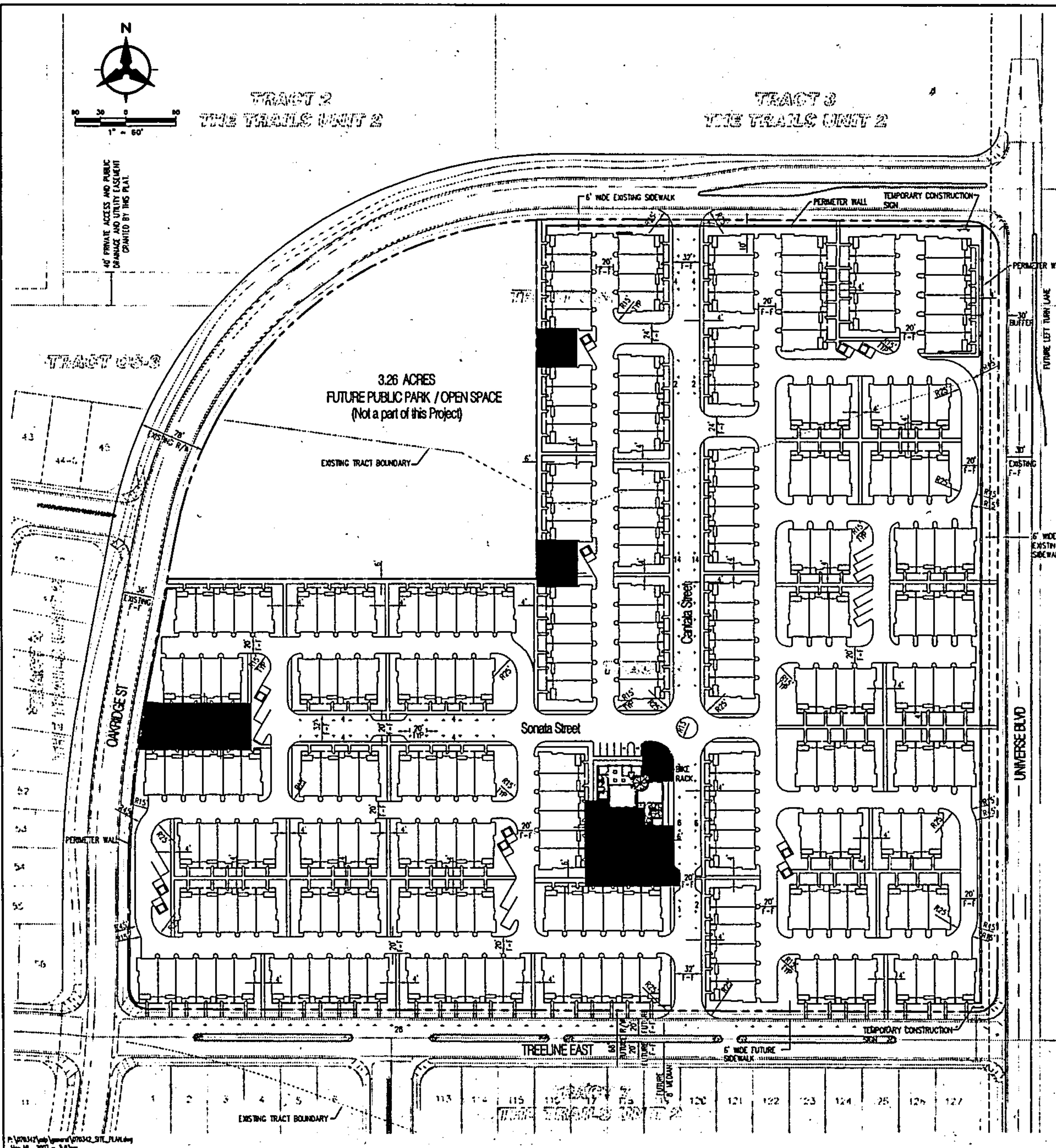
NEW MEXICO UTILITIES INC.

DATE

DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



**SITE INFORMATION:**  
 THE SITE CONSISTS OF APPROXIMATELY 17.5 ACRES. THE LEGAL DESCRIPTION FOR THE SITE IS TRACT 3, AND A PORTION OF TRACT 4 THE TRAILS UNIT 2. THE ZONING IS R-D.

**PROPOSED USE:**  
 THE SITE PLAN FOR BUILDING PERMIT ALLOWS A RESIDENTIAL TOWNHOME PROJECT THAT INCLUDES FOUR BUILDING TYPES AS FOLLOWS:

1. A SIX-PLEX WITH 6 TWO-STORY UNITS - 18 BUILDINGS.
2. A FIVE-PLEX WITH 5 TWO-STORY UNITS - 11 BUILDINGS.
3. 2 FOUR-PLEX WITH 4 TWO-STORY UNITS - 22 BUILDINGS.
4. 2 THREE-PLEX WITH 3 TWO-STORY UNITS - 7 BUILDINGS.

THERE ARE A TOTAL OF 280 DWELLING UNITS PROPOSED. MAXIMUM DWELLING UNIT SQUARE FOOTAGE 2,200 SF. MAXIMUM CLUBHOUSE SQUARE FOOTAGE = 4,000 SF. THE COMMUNITY, NAMED CANTATA AT THE TRAILS WILL CONTAIN A POOL, A CLUB HOUSE, AND PLAYGROUND EQUIPMENT. APPROXIMATE DENSITY = 14.8 D.U./ACRE ALLOWABLE DENSITY = 10-20 D.U./ACRE.

**OPEN SPACE -** EACH RESIDENTIAL DWELLING INCLUDES A MINIMUM OF 80 SQUARE FEET OF PRIVATE OPEN SPACE (ENTRY COURTYARD). SHARED OPEN SPACE WITH A MINIMUM DIMENSION OF 40' IS DEPICTED AS [Hatched Area] ON THE PLAN. RE VOLCANO HEIGHTS SECTOR DEVELOPMENT PLAN SHARED OPEN SPACE = 2' 80 SQUARE FEET = 20,800 SF PROVIDED OPEN SPACE = 23,181 SF

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
 PEDESTRIAN ACCESS - PRIMARY ACCESS INTO THE DEVELOPMENT WILL BE FROM TREELINE EAST. A SECONDARY ACCESS IS PROVIDED FROM CAMBRIDGE STREET, ON THE NORTH SIDE OF THE SITE. BOTH ACCESS POINTS WILL ACCOMMODATE EMERGENCY VEHICLES.

**PEDESTRIAN ACCESS -** PEDESTRIANS WILL BE PROVIDED DIRECT ACCESS TO AND FROM CAMBRIDGE STREET NEAR THE NORTH VEHICULAR ENTRY, UNIVERSE BLVD. IN TWO LOCATIONS, AND TREELINE STREET IN SEVERAL LOCATIONS. PEDESTRIAN ACCESS POINTS TO THE FUTURE PUBLIC PARK/OPEN SPACE WILL ALSO BE PROVIDED NORTH AND WEST OF THE SUBDIVISION. THE PERIMETER WALL WILL INCLUDE PEDESTRIAN GATES AT ACCESS LOCATIONS.

**BICYCLE ACCESS -** THE METROPOLITAN ALBUQUERQUE BICYCLE MAP INDICATES THAT THE CLOSEST BIKE FACILITY IS LOCATED ADJACENT TO PASSED DEL NORTE NORTH OF THE PROJECT SITE. NO BIKE FACILITY IS PROPOSED ADJACENT TO THE SITE.

**ALLEYS -** THE CANTATA AT THE TRAILS COMMUNITY CONTAINS ALLEYS THAT SERVE EACH BUILDING. ATTACHED GARAGES FOR EACH DWELLING UNIT WILL BE ACCESSED FROM THE ALLEYS.

**TRANSIT ACCESS -** THE SITE IS CURRENTLY SERVED BY BUS ROUTE 182 WHICH SERVES THE TRAILS AND VENTANA RANCH COMMUNITIES.

**INTERNAL CIRCULATION:**  
 INTERNAL ROADS WILL BE PRIVATE BUT WILL BE DESIGNED AND BUILT IN COMPLIANCE WITH THE DPML LOCAL ROADS (AT VARYING LENGTHS) INTERNAL TO THE DEVELOPMENT WILL PROVIDE ACCESS TO BUILDINGS AND COMMON PARKING AREAS. PEDESTRIAN CIRCULATION WITHIN THE COMMUNITY WILL BE FACILITATED THROUGH A NETWORK OF CONCRETE WALKING PATHS THAT PROVIDE CONNECTIVITY THROUGHOUT THE COMMUNITY. ADA COMPLIANT SIDEWALKS WILL ALSO BE PROVIDED THROUGHOUT THE COMMUNITY.

**BUILDING HEIGHTS AND SETBACKS -** MAXIMUM BUILDING HEIGHT AND SETBACKS COMPLY WITH THE VOLCANO HEIGHTS SECTOR DEVELOPMENT PLAN AND ARE:  
 HEIGHT 28' MINIMUM (2-STORY) AND 35' MAXIMUM (3-STORY)  
 SETBACK - STREET FRONT: 5' MIN., 10' MAX. INTERIOR SIDE: 0' (ATTACHED) INTERIOR SIDE (BETWEEN BUILDING): 10'  
 INTERIOR REAR: 5' TO ALLEY  
 INTERIOR REAR (BETWEEN BUILDING): 30' MIN.  
 INTERIOR REAR (SIDE-REAR): 15' MIN.

**PARKING:**  
 PARKING WILL BE PROVIDED IN COMPLIANCE WITH THE VOLCANO HEIGHTS SPACE PER ONE BEDROOM AND STUDIO, 1.5 SPACES PER 2 BEDROOMS, SPACES FOR 3 OR MORE BEDROOMS).

**REQUIRED:**  
 280 UNITS @ 3 OR MORE BEDROOMS PER UNIT X2 = 520 PARKING SPACES  
**PROVIDED:**  
 520 GARAGE PARKING SPACES  
 11 GUEST PARKING SPACES  
 71 ON-STREET PARKING SPACES  
 602 PARKING SPACES PROVIDED

**CONDOMINIUM ASSOCIATION -** A CONDOMINIUM ASSOCIATION WILL BE ESTABLISHED TO MAINTAIN BUILDING EXTERIOR, INTERNAL STREETS, THE POOL/CLUBHOUSE AREA, PEDESTRIAN WALKWAYS, AND LANDSCAPING/OPEN SPACE.

**LIGHTING -** LIGHTING WILL BE PROVIDED IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, AND THE VOLCANO HEIGHTS SECTOR DEVELOPMENT PLAN.

**SOLID WASTE -** THE WALLS SURROUNDING THE REFUSE CONTAINERS SHALL BE A MAXIMUM OF 8' IN HEIGHT AND CONSTRUCTED OF COLORED STUCCO OR SPLIT FACE BLOCK. THE GATE WILL BE OPAQUE AND OF A DURABLE MATERIAL.

**PERIMETER WALLS -** PERIMETER WALLS AS ILLUSTRATED ON SHEET XX SHALL NOT BE CHANGED OR ALTERED WITHOUT PRIOR APPROVAL BY THE PLANNING DIRECTOR. PERIMETER WALLS ARE PROPOSED TO BE CONSTRUCTED ALONG UNIVERSE BLVD. AND CAMBRIDGE STREET AT THE NORTH AND WEST SIDE OF THE SUBDIVISION. PEDESTRIAN GATES WILL BE PROVIDED WHERE SIDEWALKS PASS THROUGH PERIMETER WALLS.

**PARKS -** A PARK AREA LOCATED ADJACENT TO THE SUBDIVISION WILL BE DEVELOPED AT A FUTURE DATE.

**SITE DEVELOPMENT PLAN APPROVAL:**

PROJECT NUMBER:  
 APPLICATION NUMBER:  
 IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN SIGN OFF APPROVAL:**

NEW MEXICO UTILITIES	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITY APPROVALS	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER/AMA/CA	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**LEGEND**

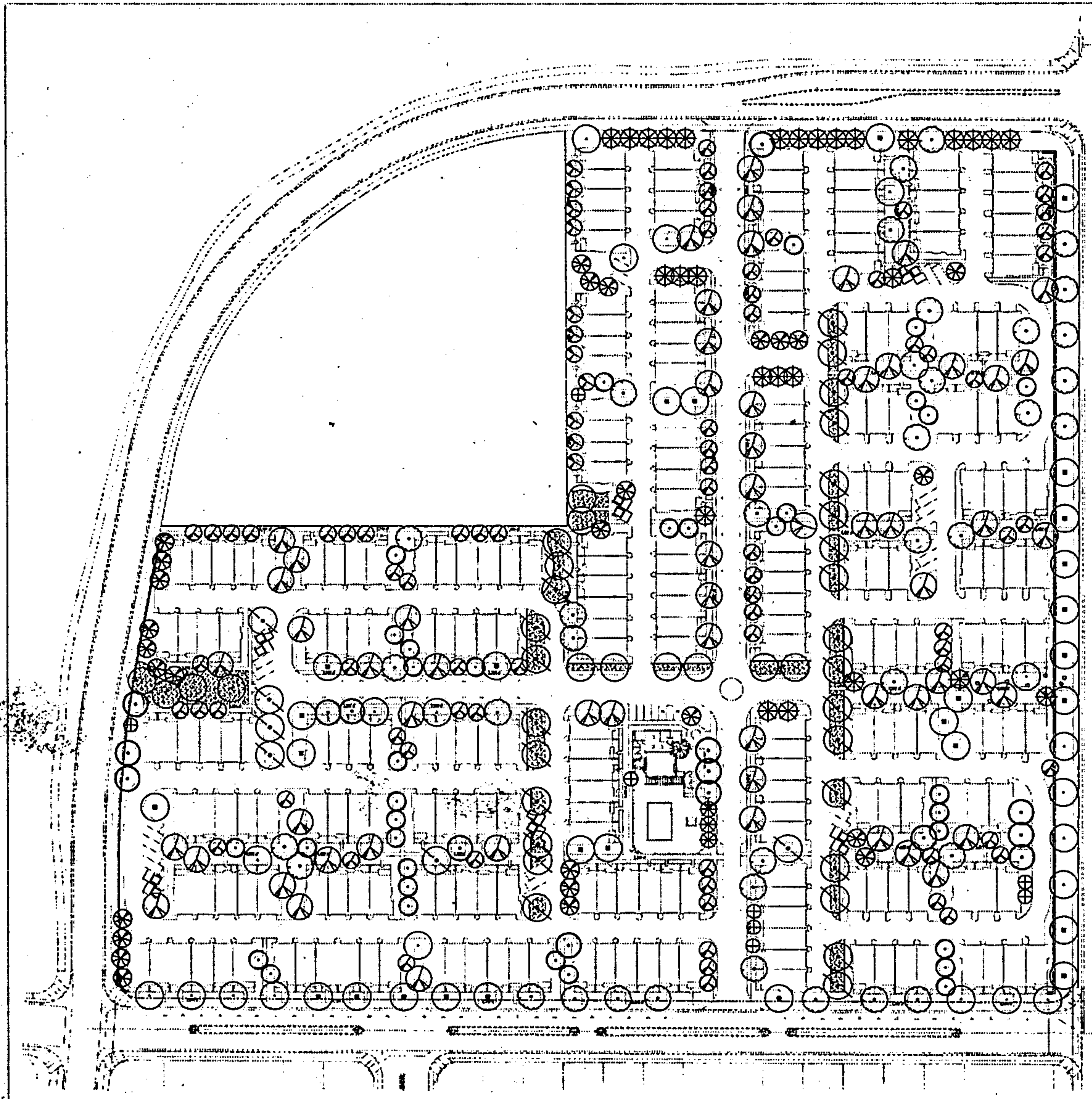
- PROPERTY BOUNDARY
- PERIMETER WALL, SEE DETAIL ON SHEET XX
- ON STREET PARKING AND QUANTITY
- EXISTING
- SHARED OPEN SPACE WITH A MINIMUM DIMENSION OF 40'

**SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT**  
**CANTATA AT THE TRAILS**

Prepared for:  
 CANTATA AT THE TRAILS INC,  
 7007 Jefferson St. NE  
 Suite A  
 Albuquerque, NM 87109

Prepared by:  
 Bohannan Huston  
 7500 Jefferson NE  
 Albuquerque, NM 87109  
 5/11/07

**Bohannan Huston**  
 Company 7500 Jefferson NE Albuquerque, NM 87109-4000  
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**LANDSCAPE CALCULATIONS**

Site Area: (17.5 Ac.)	761,261 S.F.
Building Area:	-328,247 S.F.
<b>Total</b>	<b>433,014 S.F.</b>
Required Landscape: (15%)	64,952 S.F.
Provided Landscape: (35%)	152,541 S.F.
Turf Area Allowed: (20%)	30,508 S.F.
Turf Area Provided: (13%)	19,230 S.F.

**LANDSCAPE NOTES:**

**LANDSCAPE DESIGN**  
 Due to the scale of this plan, specific shrub species are not identified by symbol. Please see the enlarged typical area plans on the following sheet. These enlargements illustrate the design intent and intensity of plant materials. The actual provided quantity will be sufficient to meet the design intent and landscape coverage requirements of the City Zoning Code.

**MULCHES**  
 All shrub planting areas shall be top dressed with 1/2" and 3/4" Santa Fe brown rock mulch. 2" - 4" Santa Fe tan cobble and Santa Fe brown crusher fines will be used as accent mulch in certain areas.

**TURF EDGER**  
 Turf edging shall be 6" reinforced concrete mow curb.

**IRRIGATION SYSTEM**  
 Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate turf areas and tree, shrub, and groundcover planting areas.

**MAINTENANCE RESPONSIBILITY**  
 Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Homeowner's Association.

**STATEMENT OF WATER WASTE**  
 The Landscape Plan for Cantata at the Trails shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area. All landscaping shall be in compliance with the Water Conservation Landscaping and Water Waste Ordinance.

**STREET TREES**  
 Street trees along University Blvd., TreeLine East, and Oakridge St. have been provided at a average spacing of 30' o.c. Five varieties (Honey Locust, Horse Chestnut, London Plane Tree, Austrian Pine, Desert Willow) have been used to provide variety in color, texture, and form.

**LANDSCAPE COVERAGE**  
 All landscape areas, including buffer strips adjacent to major streets, shall contain live vegetative material covering at least 75% of the area.

**PLANT LEGEND**

Symbol	Scientific Name Common Name	Size	Mature Size	Water Use
<b>TREES</b>				
	<i>Aesculus hippocastanum</i> Horsechestnut	2' B&B	40 ft. x 30' spr.	Medium +
	<i>Cercis reniformis</i> Redbud	2' B&B	25' ht. x 25' spr.	Medium
	<i>Chilopsis salicoides</i> Chilopsis	24" Box	30' ht. x 30' spr.	Medium
	<i>Forstersia neomexicana</i> New Mexico Olive	24" Box	15' ht. x 15' spr.	Medium
	<i>Fraxinus oxycarpa</i> Raywood Raywood Ash	2' B&B	35' ht. x 30' spr.	Medium +
	<i>Gleditsia macrantha</i> 'Sunburst' Sunburst Honey Locust	2' B&B	40' ht. x 30' spr.	Medium +
	<i>Platanus acerifolia</i> London Plane Tree	2' B&B	60' ht. x 40' spr.	High
	<i>Pinus nigra</i> Austrian Pine	6' B&B	35' ht. x 25' spr.	Medium
	<i>Pyrus calleryana</i> 'Cleveland' Flowering Pear	2' B&B	30' ht. x 25' spr.	Medi
	<i>Tilia cordata</i> Little-leaf Linden	2' B&B	40' ht. x 30' spr.	Medium -
	<i>Zelkova 'Maashiro'</i> Maashiro Columnar Zelkova	2' B&B	40' ht. x 15' spr.	Medium +
<b>SHRUBS, GROUNDCOVERS, &amp; ORNAMENTAL GRASSES</b>				
	<i>Artemisia Potts Castle</i> Potts Castle Sage	1 Gallon	4' o.c. 2' ht. x 3' spr.	Low +
	<i>Caryopteris corymbosa</i> Blue Yucca	5 Gallon	4' o.c. 2' ht. x 3' spr.	Medium
	<i>Chrysothamnus nauseosus</i> Chamisa	1 Gallon	4' o.c. 2' ht. x 3' spr.	Low
	<i>Cytisus scoparius</i> x 'Luna' Luna's Broom	1 Gallon	3' o.c. 4' ht. x 4' spr.	Medium
	<i>Leucodermis angustifolia</i> English Lavender	5 Gallon	3' o.c. 2' ht. x 3' spr.	Medium
	<i>Hesperaloe parviflora</i> Red Yucca	5 Gallon	4' o.c. 2' ht. x 3' spr.	Medium
	<i>Juniperus sibirica</i> 'Buffalo' Buffalo Juniper	5 Gallon	4' o.c. 2' ht. x 6' spr.	Low +
	<i>Muhlenbergia capillaris</i> 'Regal Mist' Misty Grass	1 Gallon	4' o.c. 2' ht. x 3' spr.	Medium
	<i>Nassella tenuiflora</i> Three-grass	1 Gallon	3' o.c. 2' ht. x 3' spr.	Low +
	<i>Perovskia atriplicifolia</i> Russian Sage	1 Gallon	4' o.c. 4' ht. x 4' spr.	Medium
	<i>Potentilla fruticosa</i> Yellow Shrubby Cinquefoil	1 Gallon	4' o.c. 2' ht. x 3' spr.	Low +
	<i>Rhus trilobata</i> Three-leaf Sumac	5 Gallon	4' o.c. 4' ht. x 4' spr.	Low +
	<i>Rosmarinus officinalis</i> Rosemary	5 Gallon	4' o.c. 2' ht. x 3' spr.	Low +
	<i>Rosmarinus officinalis</i> 'Prostratus' Crawling Rosemary	5 Gallon	4' o.c. 2' ht. x 3' spr.	Low +
	<i>Salvia greggii</i> Cherry Sage	5 Gallon	4' o.c. 2' ht. x 3' spr.	Medium
	Turfgrass - Kentucky Bluegrass/Fescue/Pine Mat			
	Basalt Boulders, 3' X 3' (min.)			

**CONCEPTUAL LANDSCAPE PLAN**  
**SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT**  
**CANTATA AT THE TRAILS**

DATE: 08/28/2014 11:45 AM  
 PROJECT: CANTATA AT THE TRAILS  
 SHEET: 2 OF 9

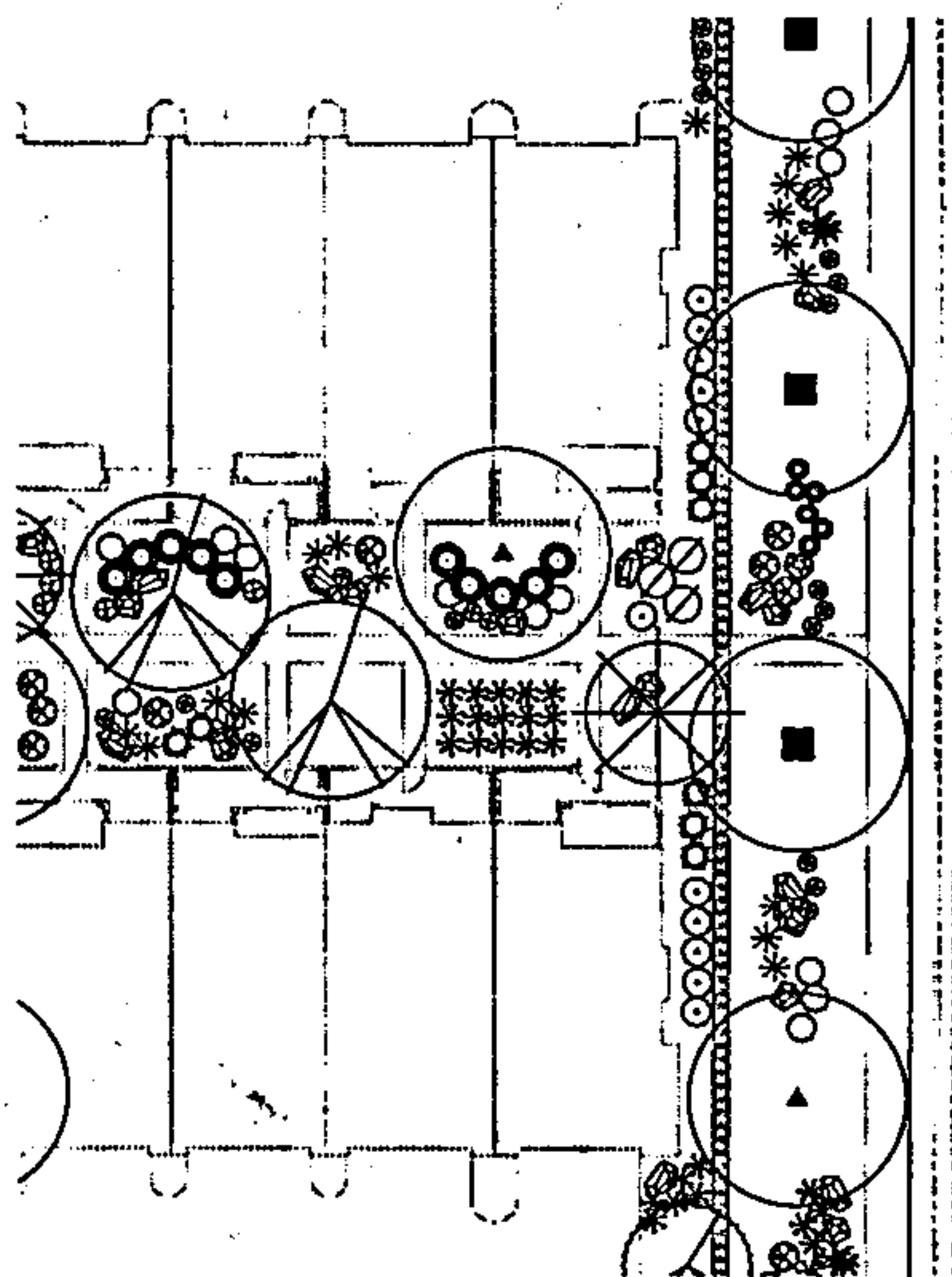


**CONSENSUS PLANNING, INC.**  
 Planning / Landscape Architecture  
 302 Eighth Street NW  
 Albuquerque, NM 87102  
 (505) 764-9801 Fax 842-5485  
 e-mail: cp@consensusplanning.com

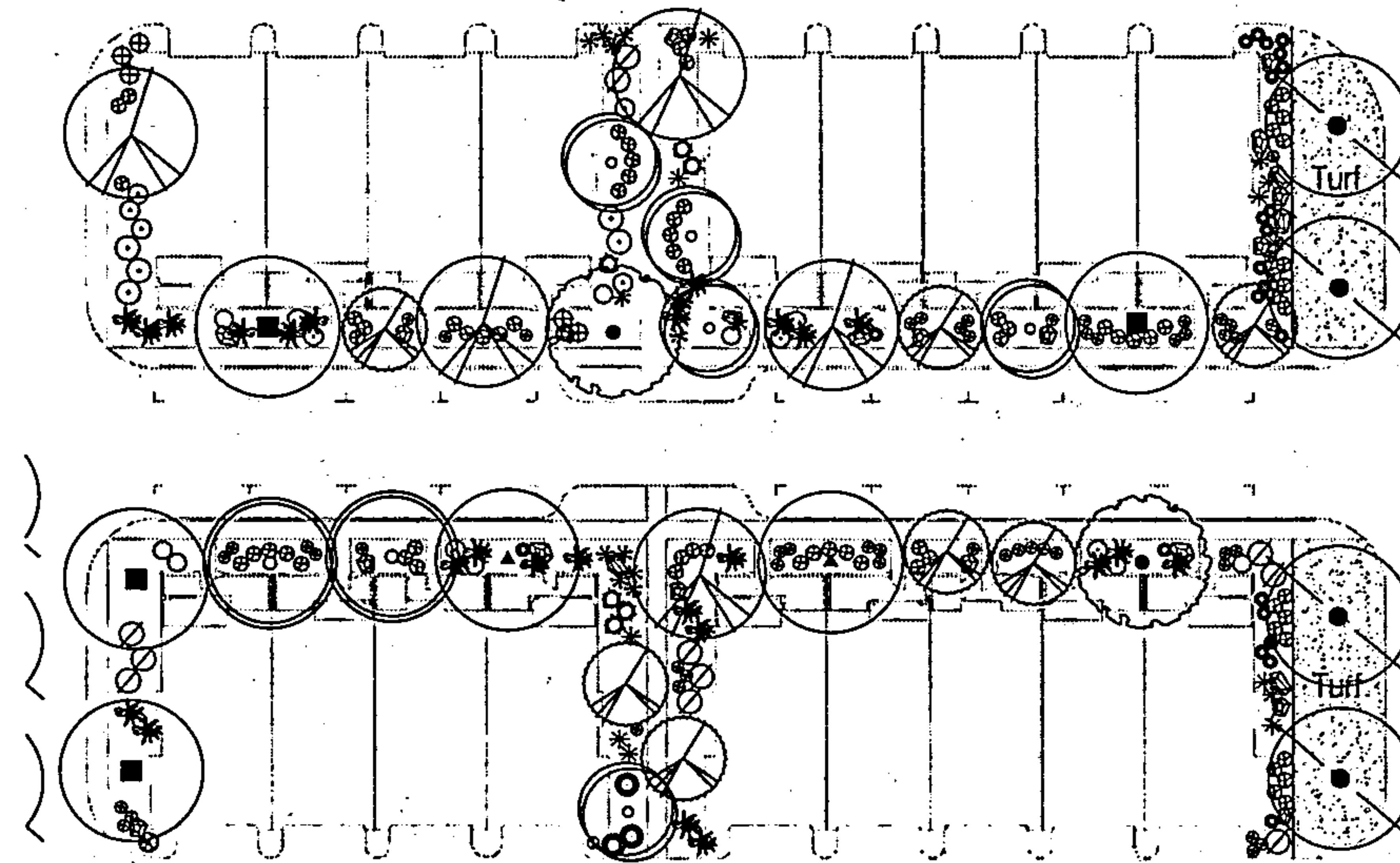
Prepared for:  
**CANTATA AT THE TRAILS INC.**  
 7007 Jefferson St. NE  
 Suite A  
 Albuquerque, NM 87109

Prepared by:  
**Bohannon Huston**  
 7500 Jefferson NE  
 Albuquerque, NM 87109

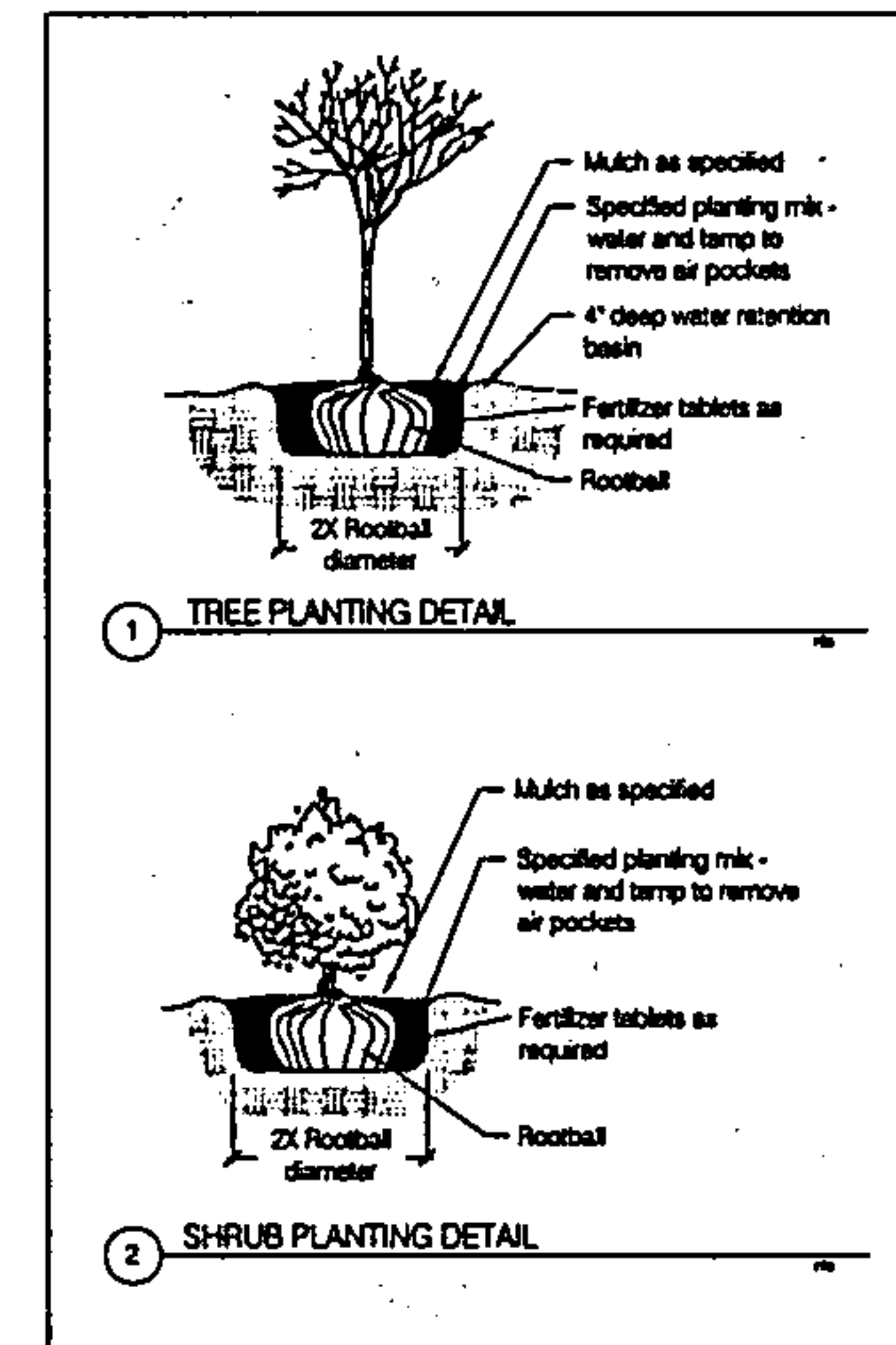
**Bohannon Huston**  
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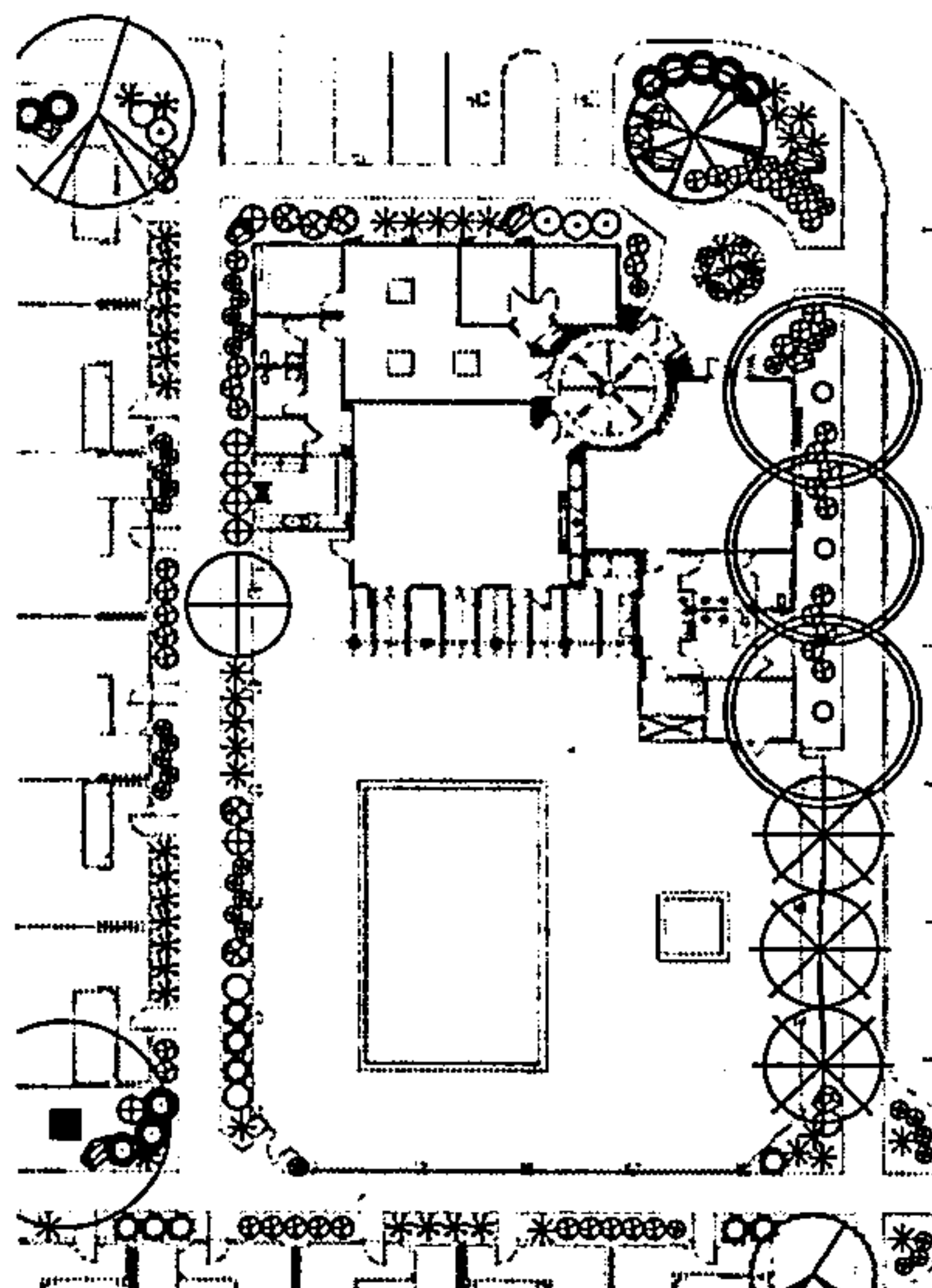
UNIVERSE BOULEVARD LANDSCAPE



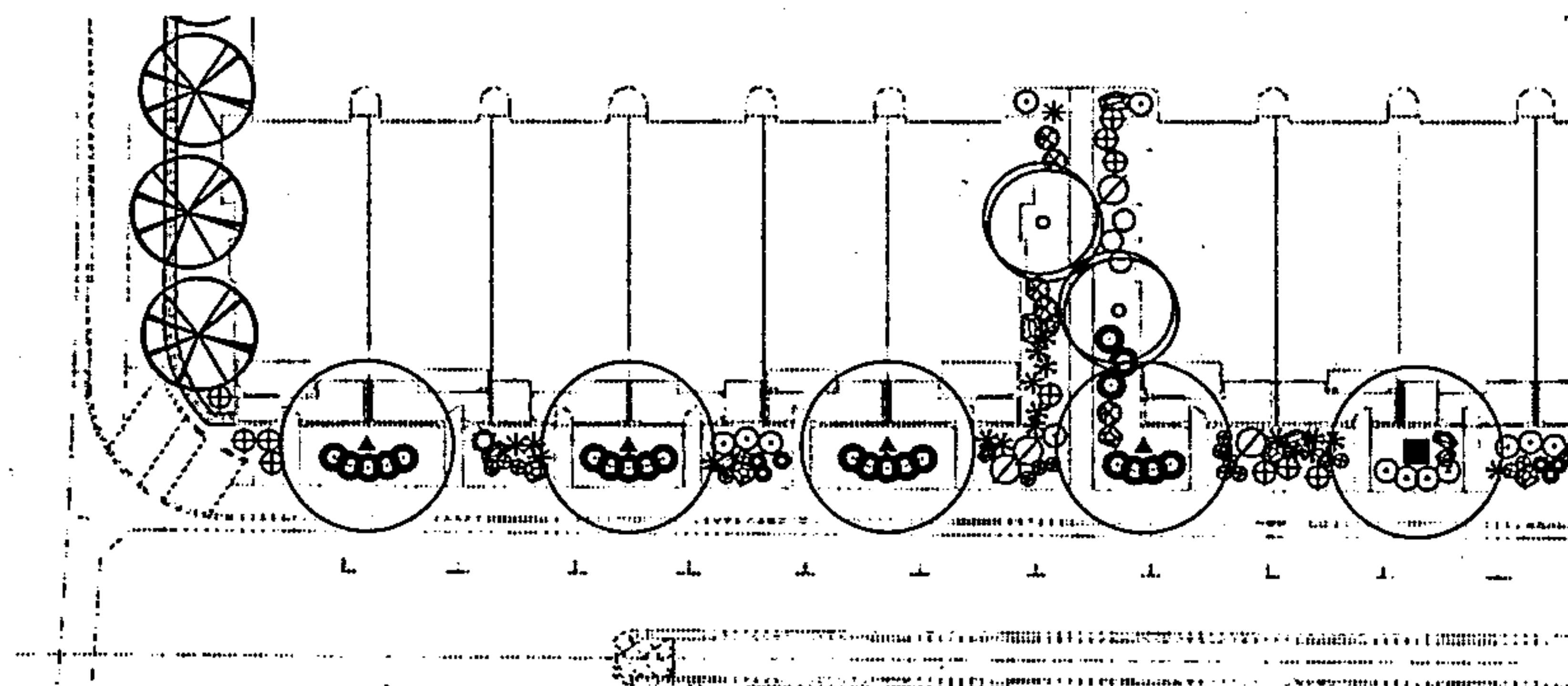
INTERNAL STREET LANDSCAPE



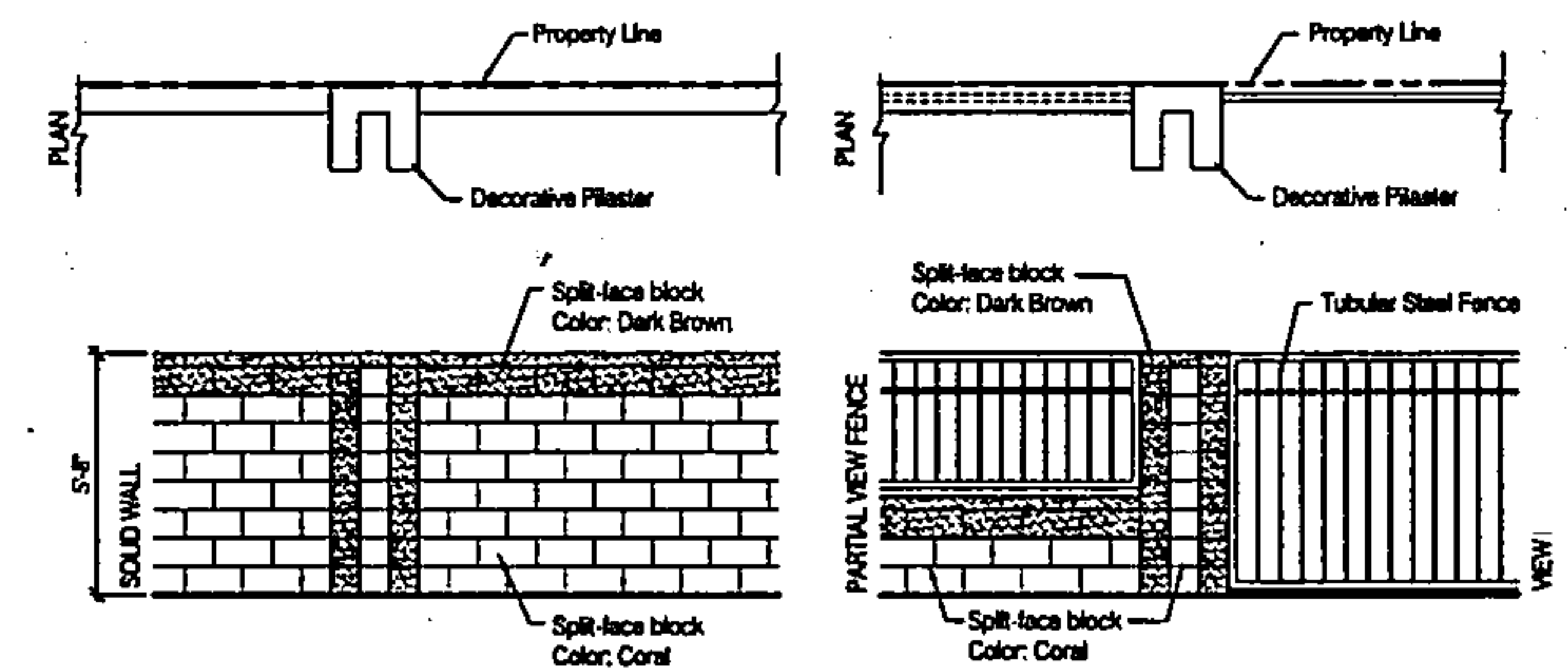
PLANTING DETAILS



CLUBHOUSE/POOL LANDSCAPE



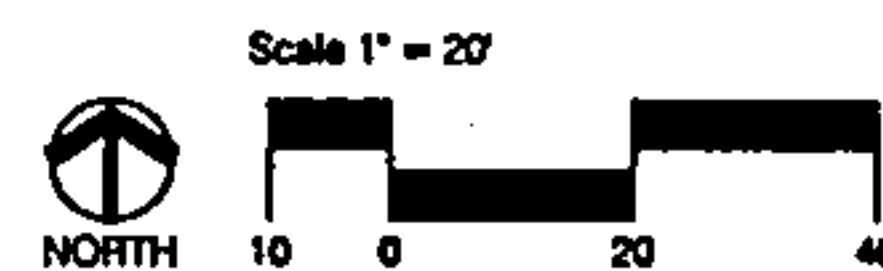
TREELINE EAST LANDSCAPE



PERIMETER WALL OPTIONS

CONCEPTUAL LANDSCAPE PLAN  
 SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT  
**CANTATA AT THE TRAILS**

Project: Cantata at the Trails, Site Landscape Plan  
 Date: 10/20/09

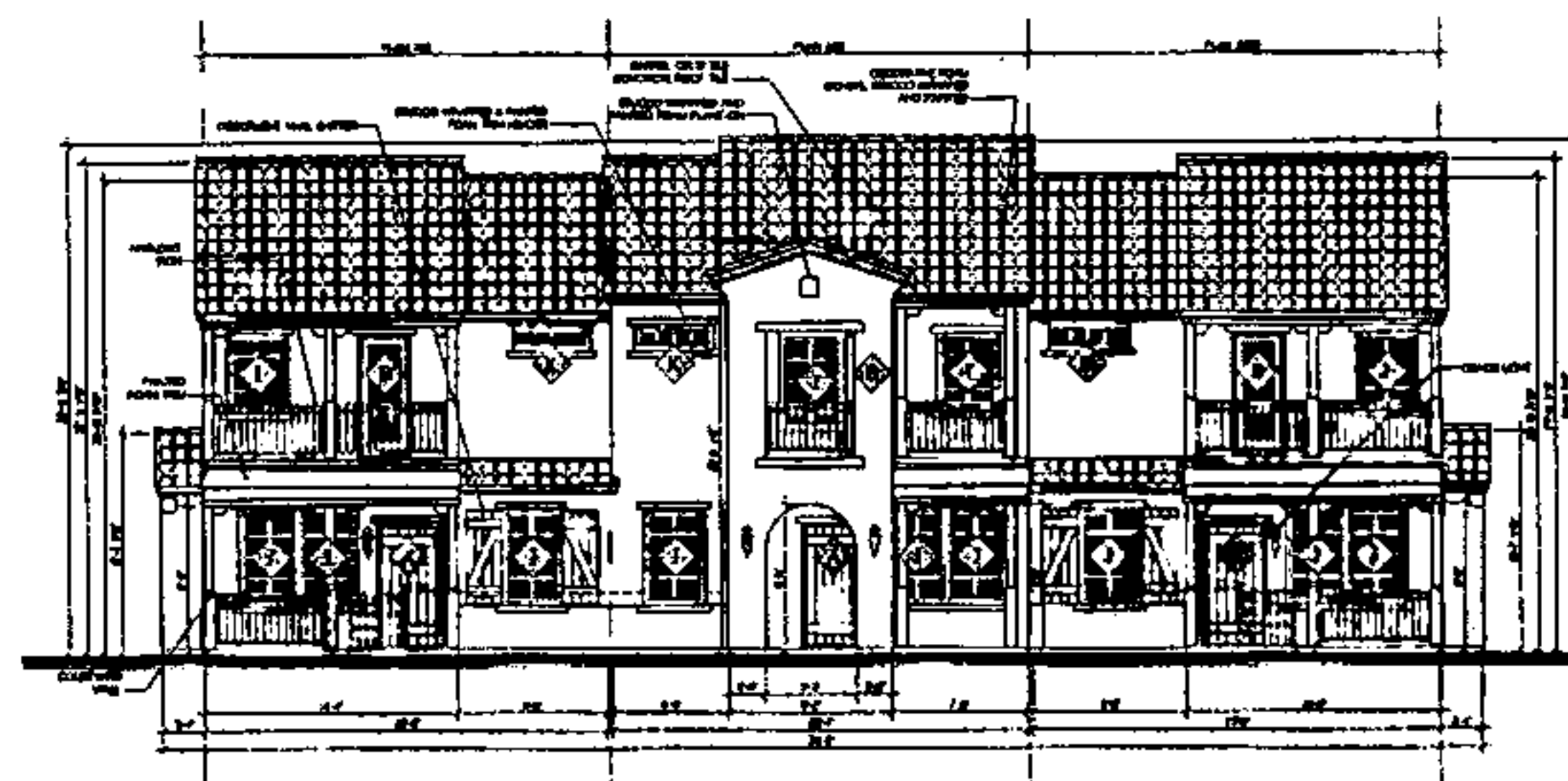


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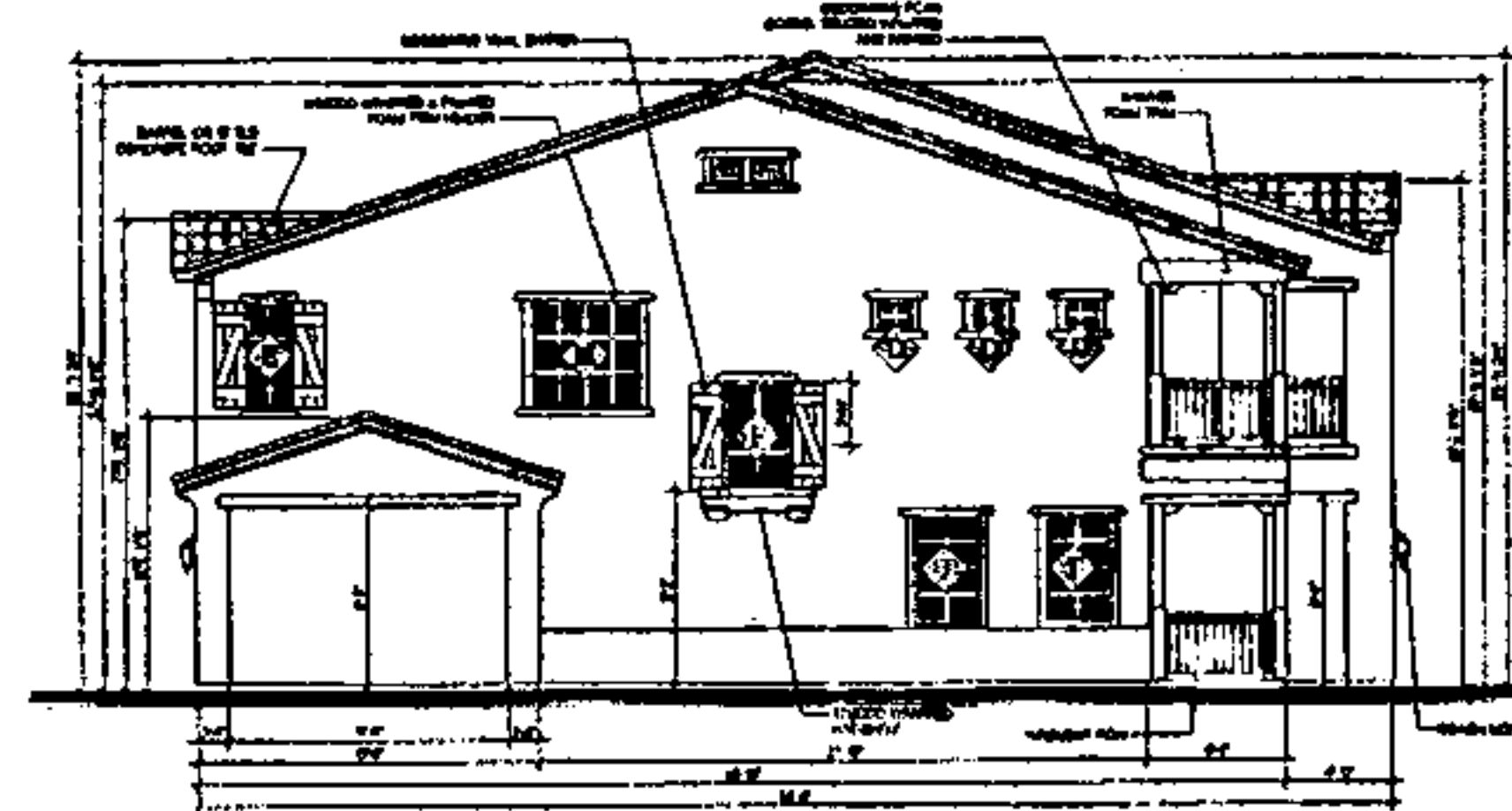
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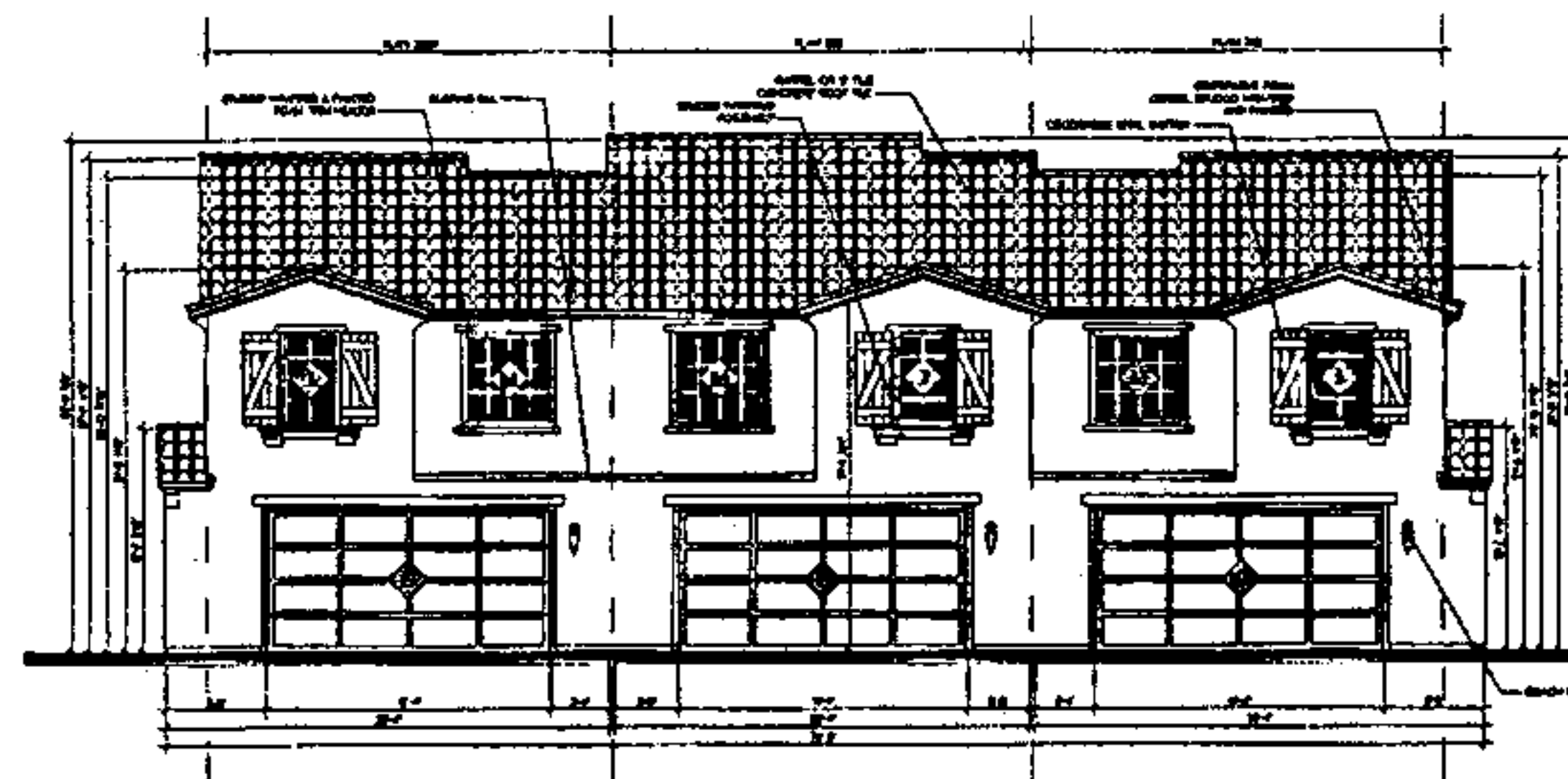
**Bohannon Huston**  
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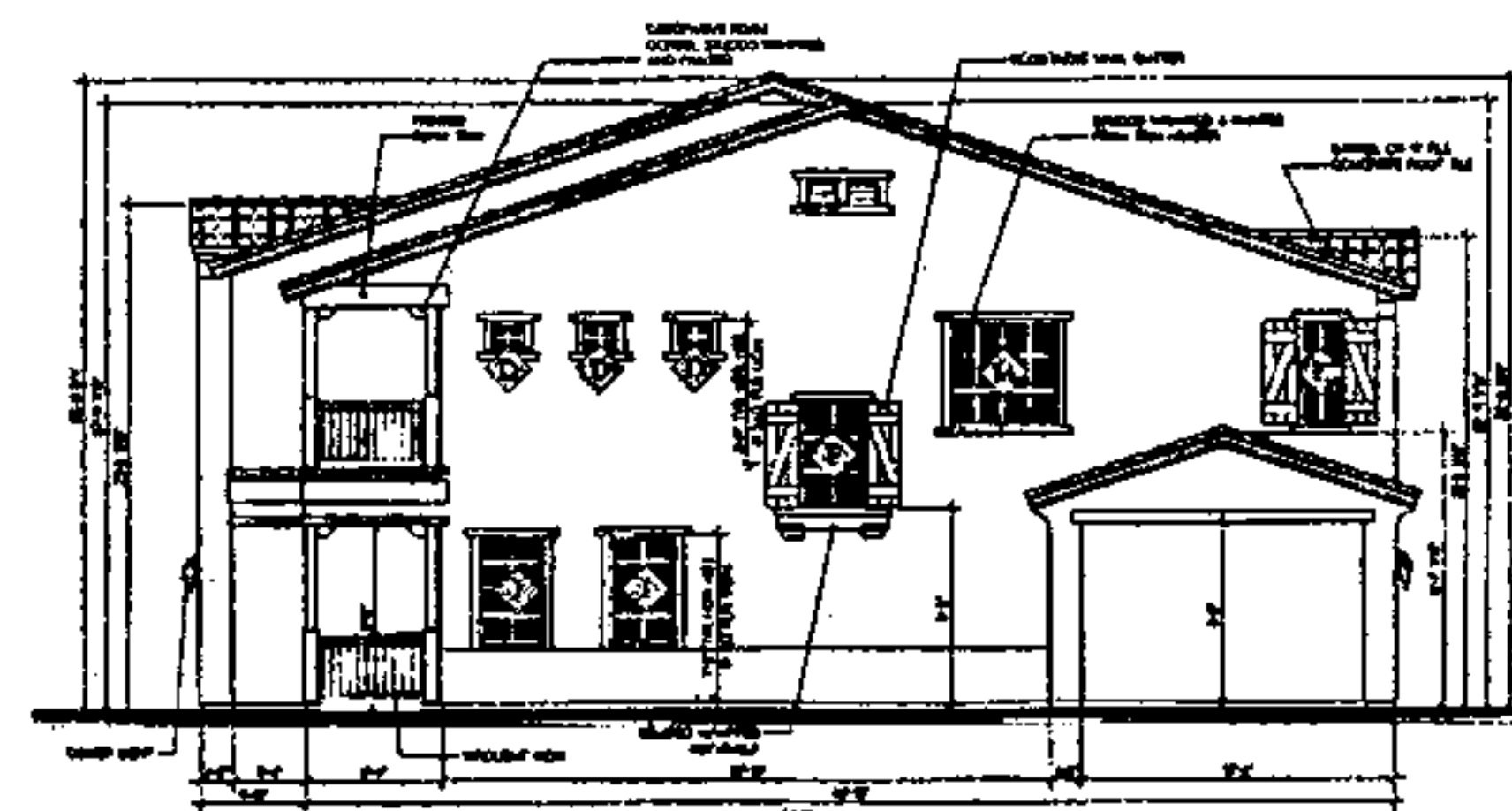
Front



Left



Rear



Right

Scale: 1/8" = 1'-0"



Conceptual 3-Plex Building Elevation; B Elevation  
 Cantata  
 Tract 5 at the Trails  
 Albuquerque, NM

Longford Homes

KTGY Job No: 2006-1124

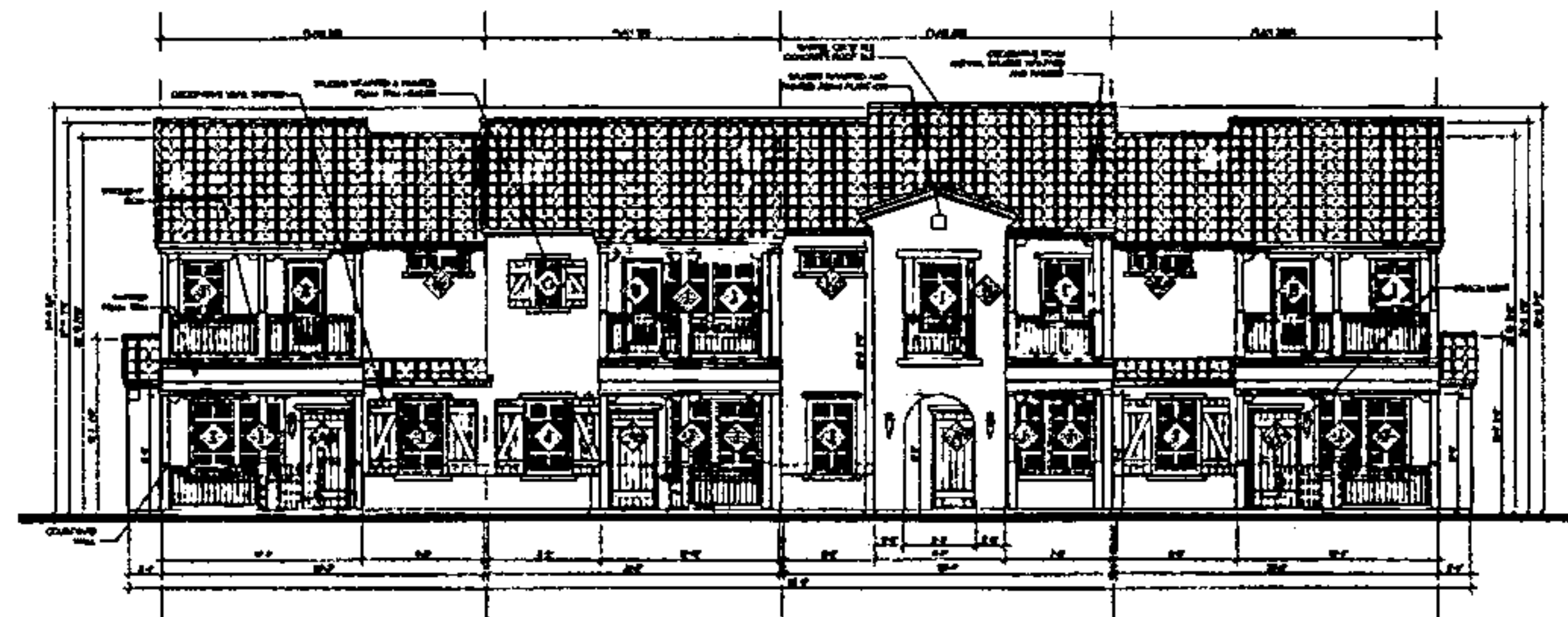
DOOR & WINDOW SCHEDULE	
A	3068 SOLID WOOD DOOR
B	2863 FRENCH DOOR
C	16080 GARAGE DOOR
D	1616 FIXED GLASS WINDOW
E	2850 FIXED GLASS WINDOW
F	3050 FIXED GLASS WINDOW
G	2030 SINGLE HUNG WINDOW
H	2650 SINGLE HUNG WINDOW
I	3040 SINGLE HUNG WINDOW
J	3050 SINGLE HUNG WINDOW
K	4010 SLIDING GLASS WINDOW
L	3040 SLIDING GLASS WINDOW
M	5050 SLIDING GLASS WINDOW

COLOR SCHEDULE	
SCHEME 1	
PRIMARY:	105 BAMBOO
SECONDARY:	115 COTTONWOOD
TRIM:	DE542 CANDLE IN THE WIND
FASICA/GARAGE:	DE6210 MIDNIGHT BROWN
DOORS/SHUTTERS:	DE6224 TREASURE CHEST
ROOF:	2553 SANDSTONE FLASHED
SCHEME 2	
PRIMARY:	116 ADOBE
SECONDARY:	112 STRAW
TRIM:	DE6199 PALE BEACH
FASICA/GARAGE:	DE6662 TEA BAO
DOORS/SHUTTERS:	DE6418 SUNKIN SHIP
ROOF:	2530 WEATHERED ADOBE
SCHEME 3	
PRIMARY:	135 SAHARA
SECONDARY:	105 BAMBOO
TRIM:	DE6199 SUMMerville BROWN
FASICA/GARAGE:	DE6435 VERONA BEACH
DOORS/SHUTTERS:	DE6293 VELVET CLOVER
ROOF:	2530 WEATHERED ADOBE
SCHEME 4	
PRIMARY:	106 BUCKSKIN
SECONDARY:	125 LA LUZ
TRIM:	DE6128 SAND DUNE
FASICA/GARAGE:	DE6413 ALMOND LATTE
DOORS/SHUTTERS:	DE6414 DARK PEWTER
ROOF:	2553 SANDSTONE FLASHED
NOTES	
STUCCO:	EL REY STUCCO
PAINT:	DUNN EDWARDS
ROOF:	BABLE ROOFING

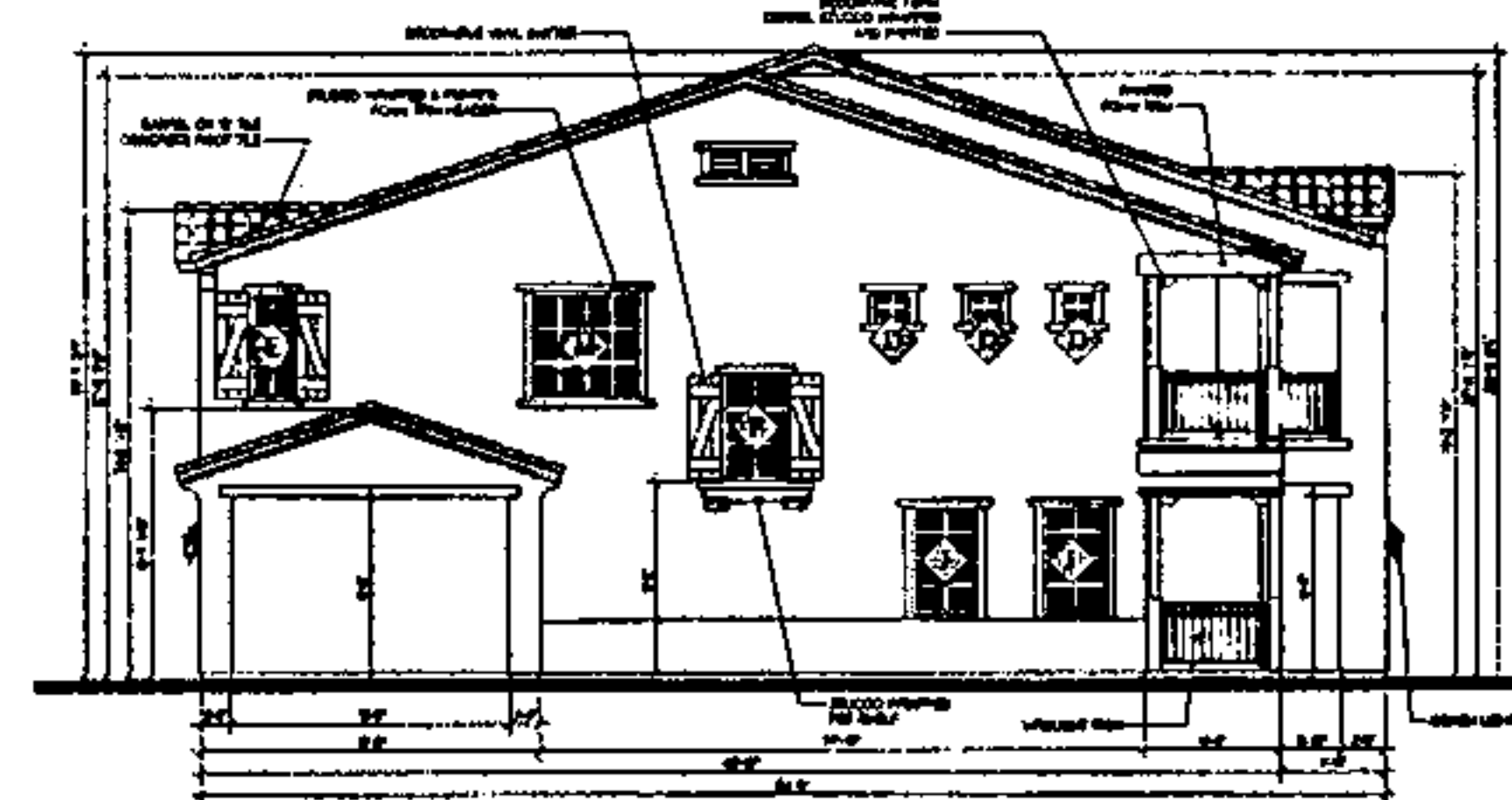


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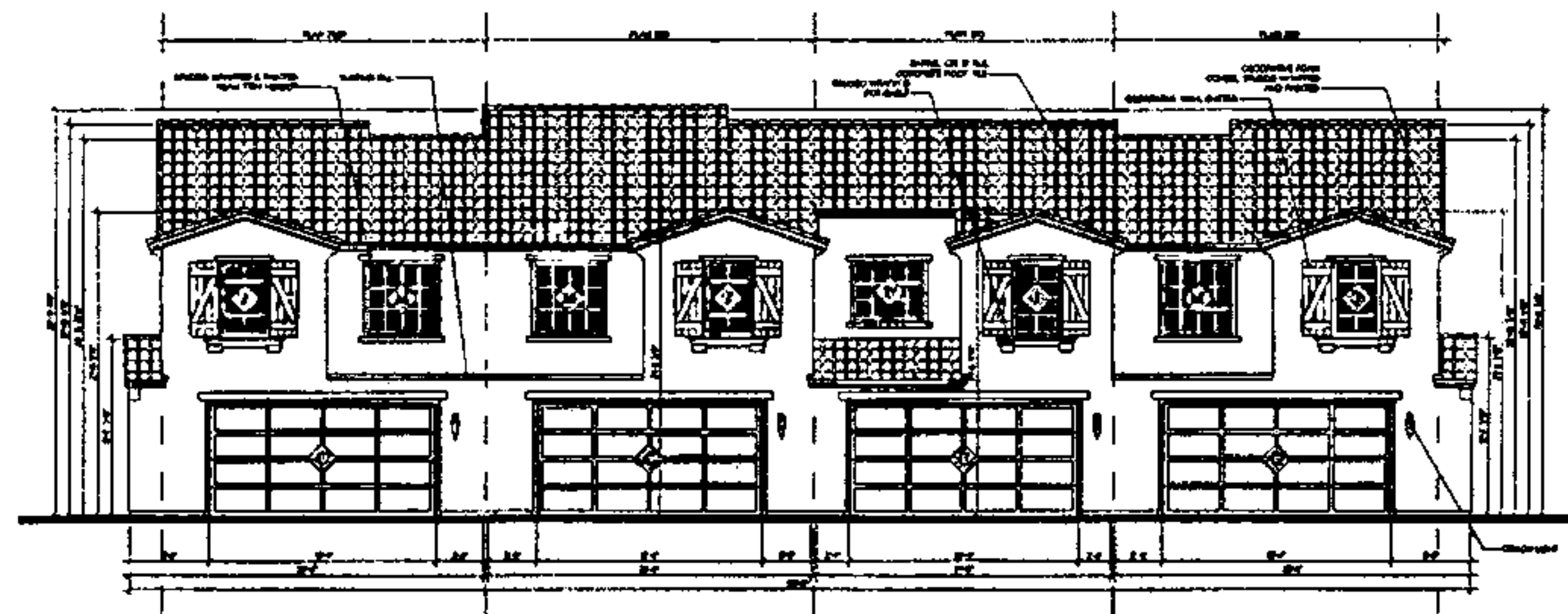
SHEET 4 OF 9



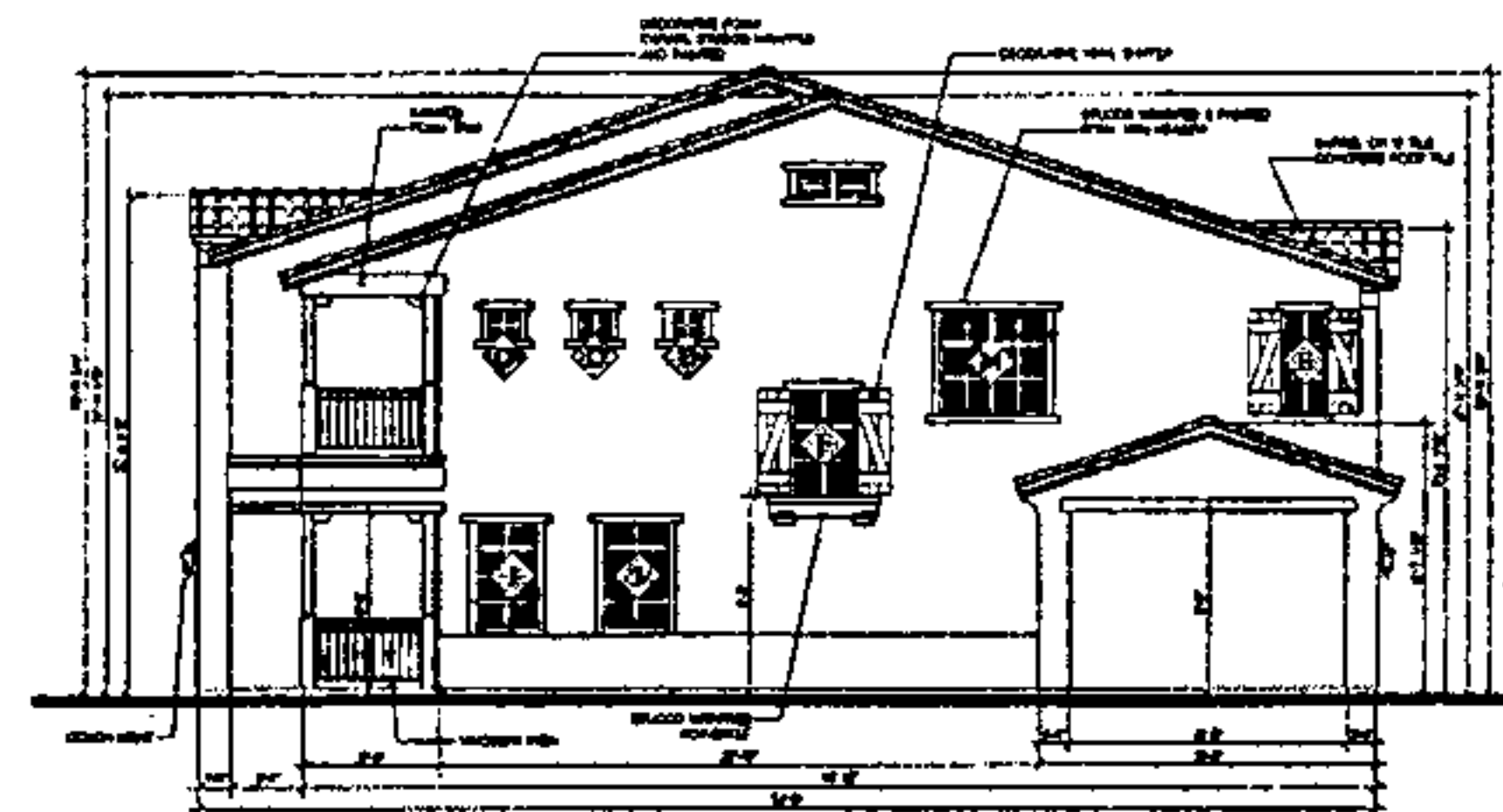
Front



Left



Rear



Right

Scale: 1/8" = 1'-0"



Conceptual 4-Plex Building Elevation; B Elevation  
 Cantata  
 Tract 5 at the Trails  
 Albuquerque, NM

Longford Homes

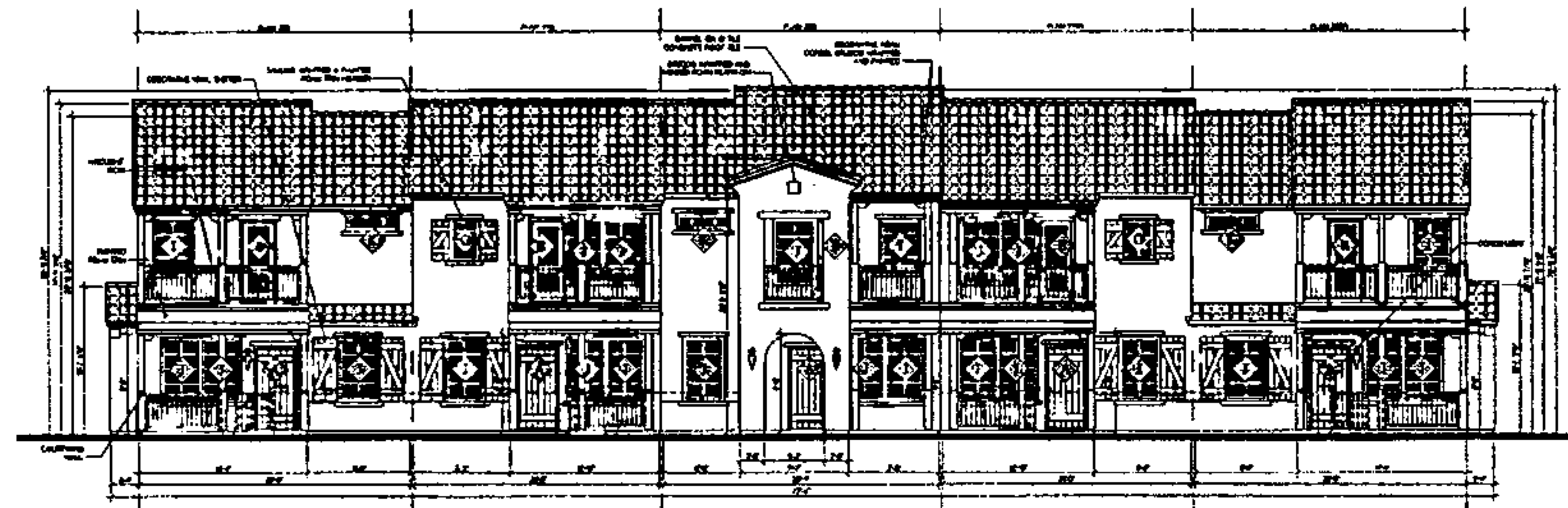
KTGY Job No: 2006-1124

DOOR & WINDOW SCHEDULE	
A	3068 SOLID WOOD DOOR
B	2168 FRENCH DOOR
C	1600 GARAGE DOOR
D	1616 FIXED GLASS WINDOW
E	2654 FIXED GLASS WINDOW
F	3854 FIXED GLASS WINDOW
G	2830 SINGLE HUNG WINDOW
H	2530 SINGLE HUNG WINDOW
I	3040 SINGLE HUNG WINDOW
J	3050 SINGLE HUNG WINDOW
K	4010 SLIDING GLASS WINDOW
L	5040 SLIDING GLASS WINDOW
M	5050 SLIDING GLASS WINDOW

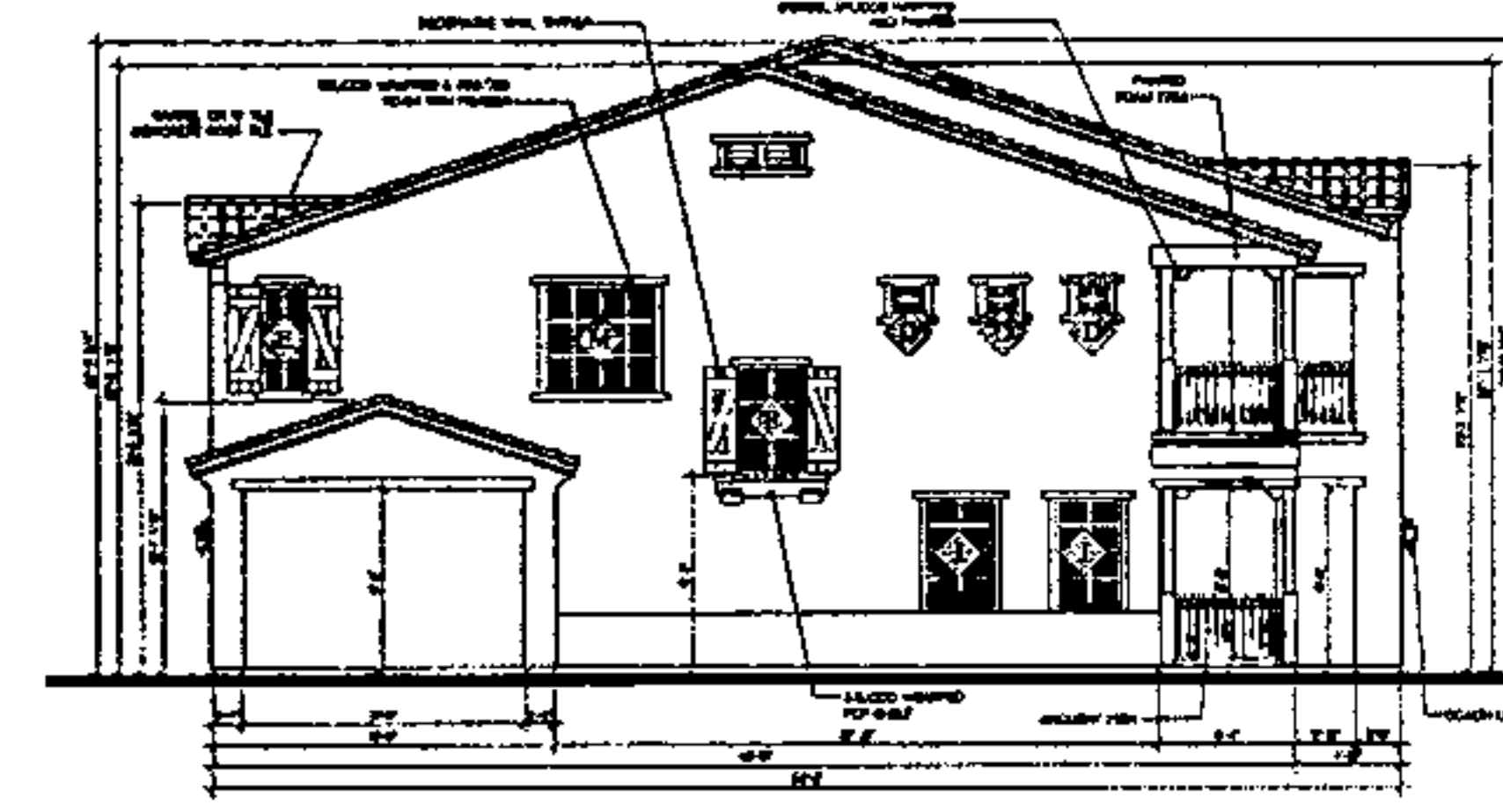
COLOR SCHEDULE	
SCHEME 1	
PRIMARY:	105 BAMBOO
SECONDARY:	115 COTTONWOOD
TRIM:	DE542 CANDLE IN THE WIND
FASICA/GARAGE:	DE424 MIDNIGHT BROWN
DOORS/SHUTTERS:	DE424 TREASURE CHEST
ROOF:	233 SANDSTONE FLASHED
SCHEME 2	
PRIMARY:	116 ADOBE
SECONDARY:	117 STRAW
TRIM:	DE593 PALE BEACH
FASICA/GARAGE:	DE603 TEA BAG
DOORS/SHUTTERS:	DE448 SUNKIN SHIP
ROOF:	233 WEATHERED ADOBE
SCHEME 3	
PRIMARY:	135 SAHARA
SECONDARY:	105 BAMBOO
TRIM:	DE419 SUMMerville BROWN
FASICA/GARAGE:	DE419 VERONA BEACH
DOORS/SHUTTERS:	DE279 VELVET CLOVER
ROOF:	233 WEATHERED ADOBE
SCHEME 4	
PRIMARY:	106 BUCKSKIN
SECONDARY:	125 LA LUZ
TRIM:	DE418 SAND DUNE
FASICA/GARAGE:	DE441 ALMOND LATTE
DOORS/SHUTTERS:	DE441 DARK PEWTER
ROOF:	233 SANDSTONE FLASHED
NOTES	
STUCCO: EL REY STUCCO	
PAINT: DUNN EDWARDS	
ROOF: EAGLE ROOFING	



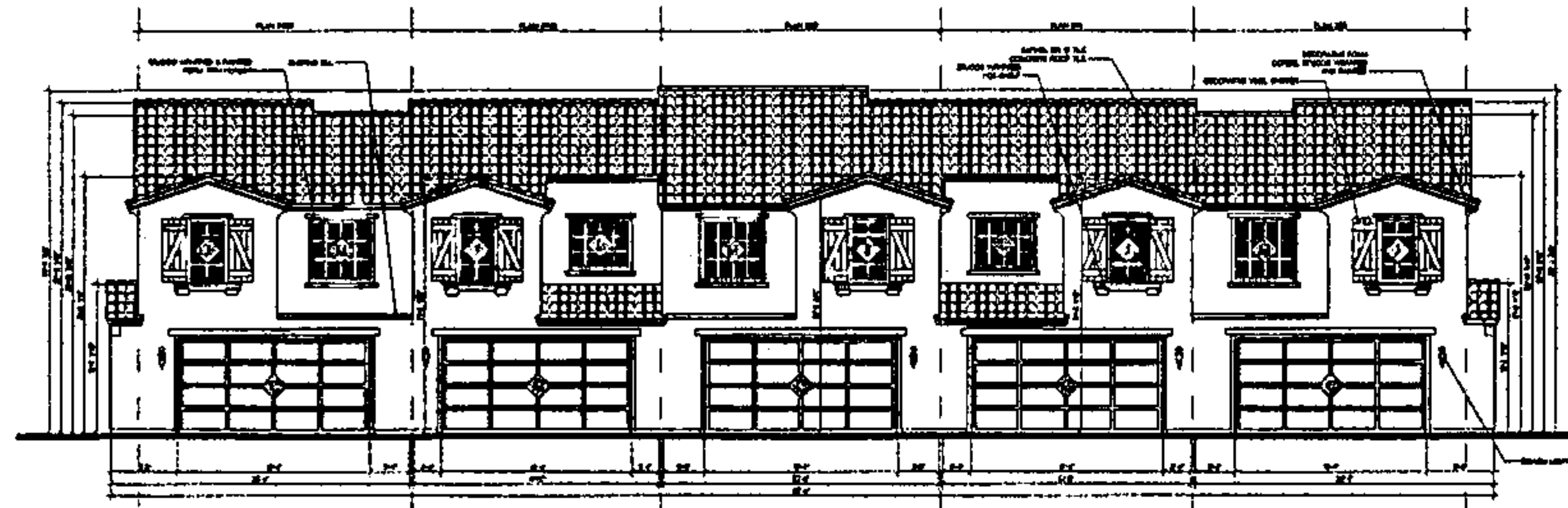
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 SHEET 5 OF 9



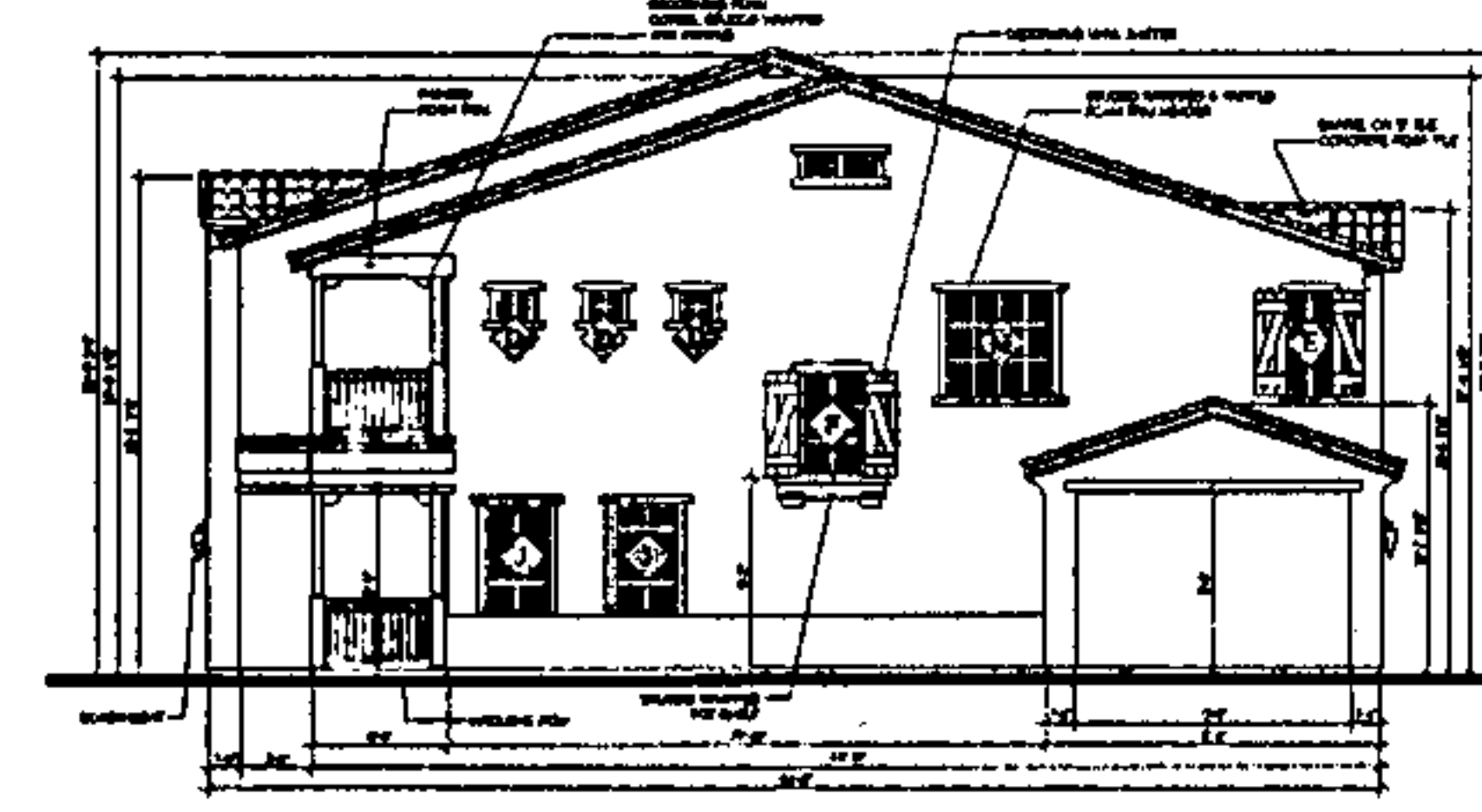
Front



Left



Rear



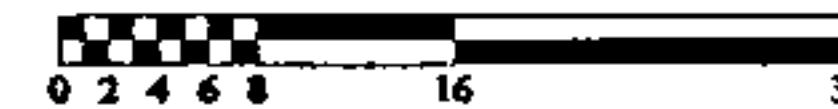
Right

DOOR & WINDOW SCHEDULE	
A	2068 SOLID WOOD DOOR
B	2888 FRENCH DOOR
C	16080 GARAGE DOOR
D	1616 FIXED GLASS WINDOW
E	2050 FIXED GLASS WINDOW
F	3050 FIXED GLASS WINDOW
G	2230 SINGLE HUNG WINDOW
H	2650 SINGLE HUNG WINDOW
I	3040 SINGLE HUNG WINDOW
J	3250 SINGLE HUNG WINDOW
K	4300 SLIDING GLASS WINDOW
L	5040 SLIDING GLASS WINDOW
M	5050 SLIDING GLASS WINDOW

COLOR SCHEDULE	
SCHEME 1	
PRIMARY:	105 BAMBOO
SECONDARY:	115 COTTONWOOD
TRIM:	DE642 CANDLE IN THE WIND
FASICA/GARAGE:	DE620 MIDNIGHT BROWN
DOORS/SHUTTERS:	DE624 TREASURE CHEST
ROOF:	253 SANDSTONE FLASHED
SCHEME 2	
PRIMARY:	116 ADOBE
SECONDARY:	113 STRAW
TRIM:	DE619 PALE BEACH
FASICA/GARAGE:	DE602 TRA BAG
DOORS/SHUTTERS:	DE418 SUNKIN SHIP
ROOF:	2530 WEATHERED ADOBE
SCHEME 3	
PRIMARY:	135 SAHARA
SECONDARY:	105 BAMBOO
TRIM:	DE419 SUMMERVILLE BROWN
FASICA/GARAGE:	DE415 VERONA BEACH
DOORS/SHUTTERS:	DE429 VELVET CLOVER
ROOF:	2530 WEATHERED ADOBE
SCHEME 4	
PRIMARY:	106 BUCKSKIN
SECONDARY:	125 LA LUZ
TRIM:	DE428 SAND DUNE
FASICA/GARAGE:	DE643 ALMOND LATTE
DOORS/SHUTTERS:	DE644 DARK PEWTER
ROOF:	253 SANDSTONE FLASHED

NOTES	
STUCCO: EL RBY STUCCO	
PAINT: DUNN EDWARDS	
ROOF: EAGLE ROOFING	

Scale: 1/8" = 1'-0"



Conceptual 5-Plex Building Elevation; B Elevation  
 Cantata  
 Tract 5 at the Trails  
 Albuquerque, NM

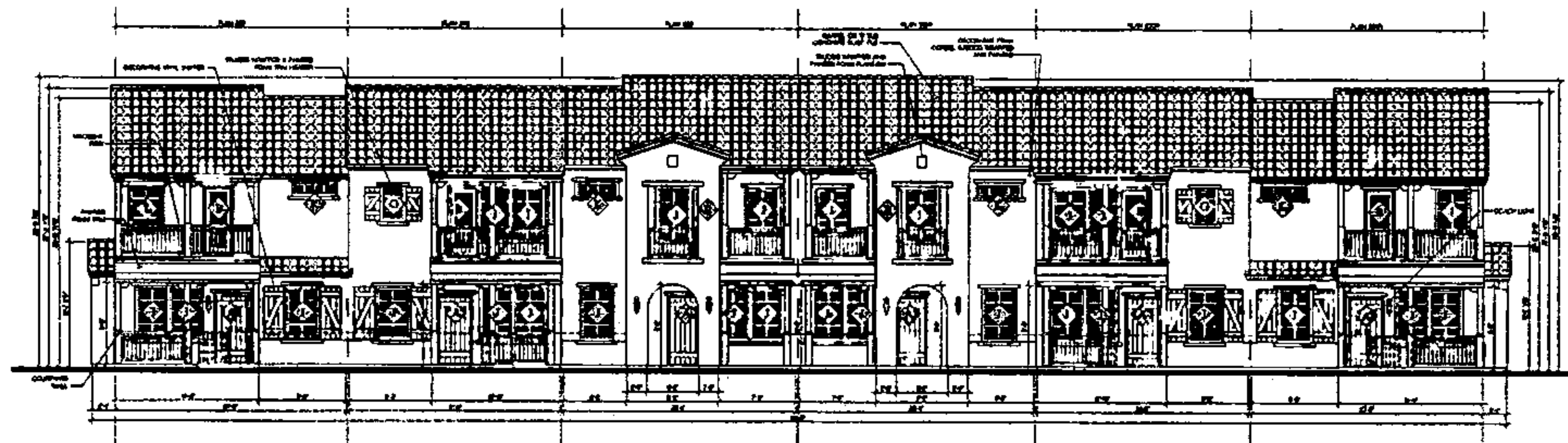
Longford Homes

KTGY Job No: 2006-1124

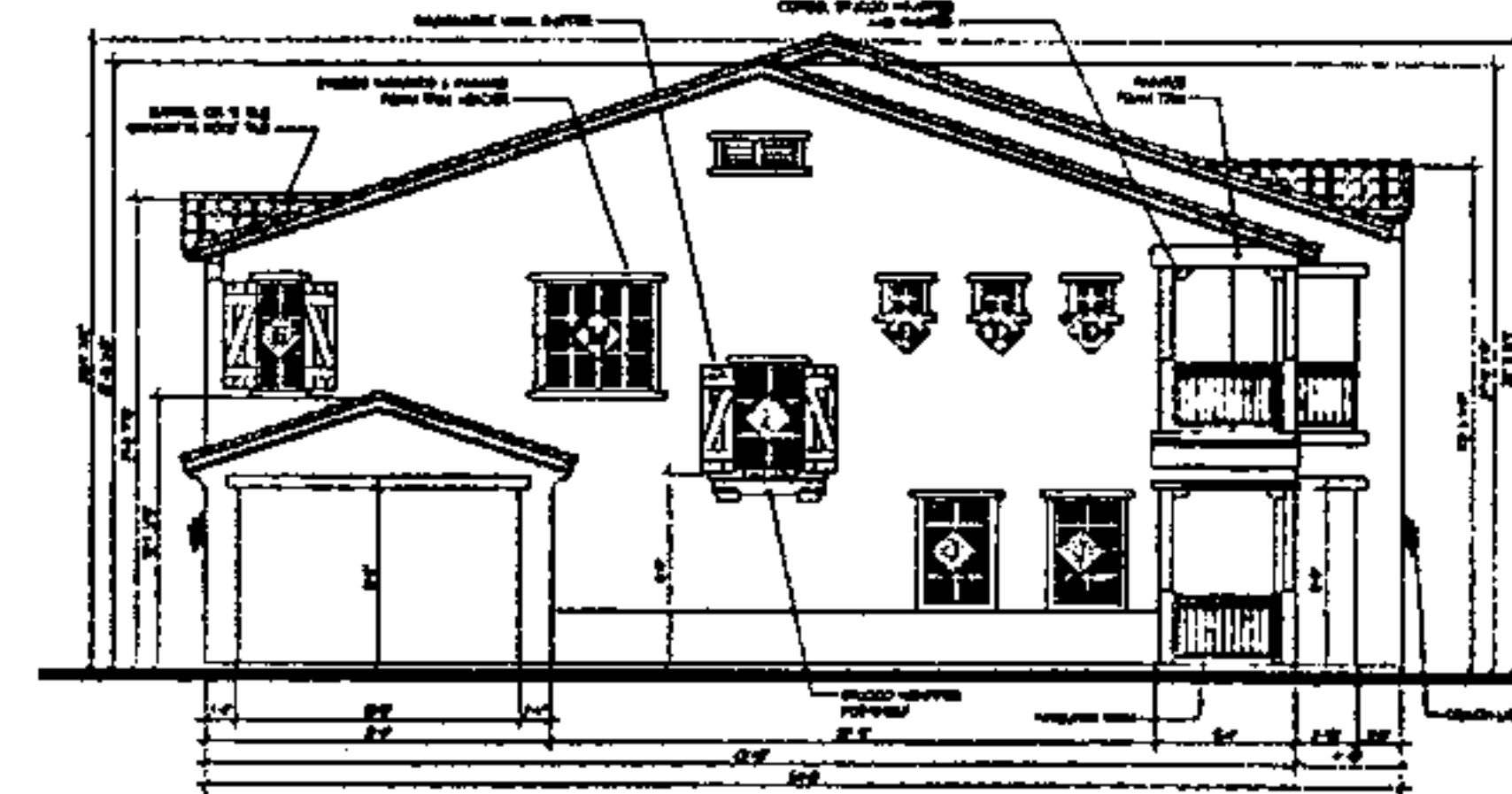


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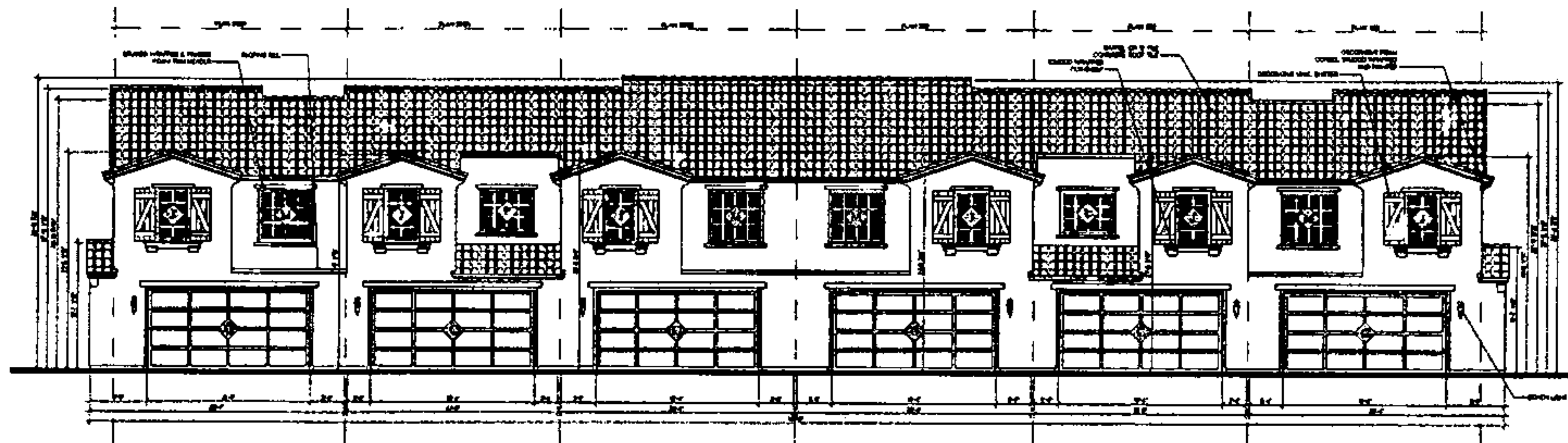




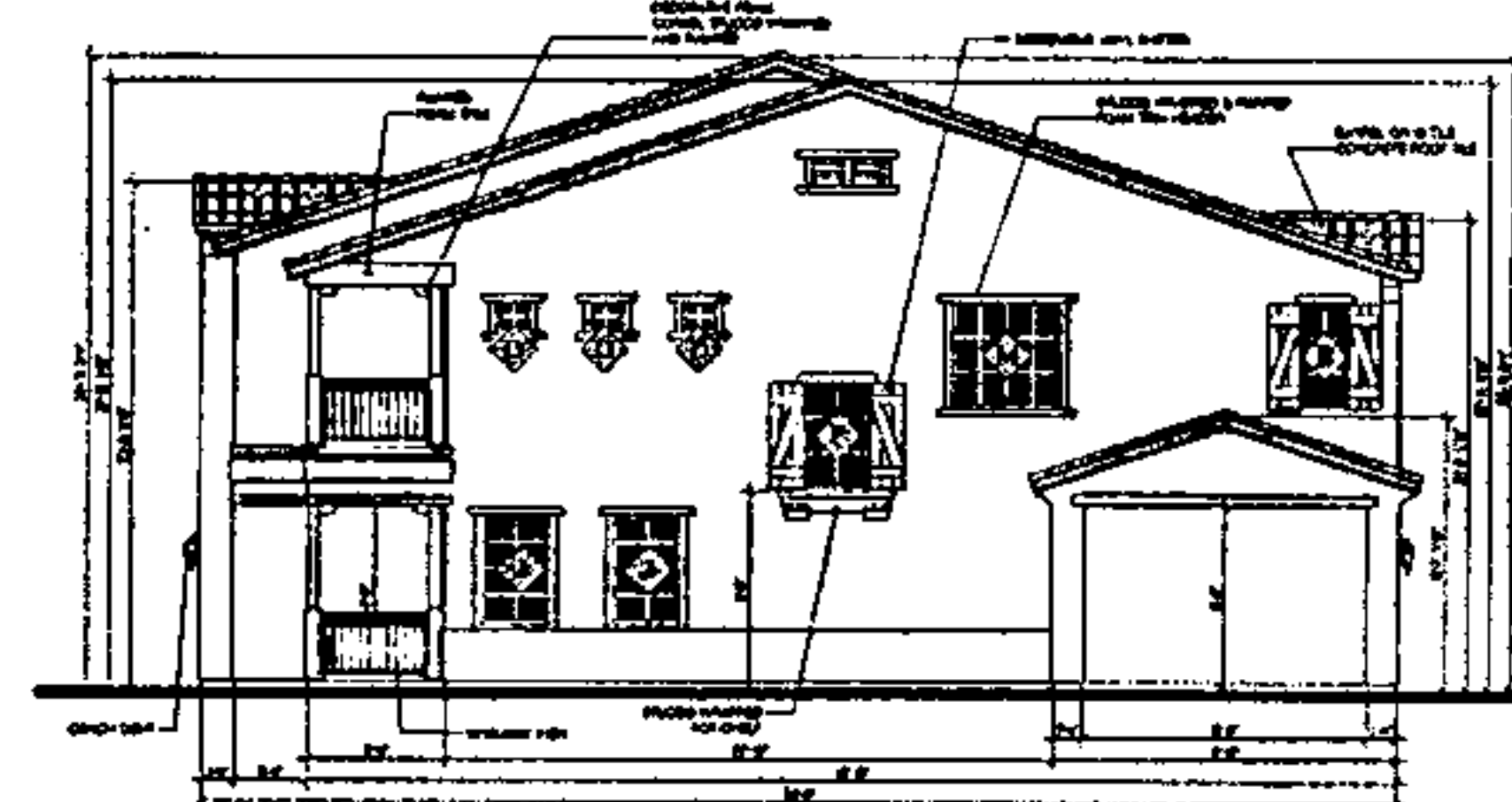
Front



Left



Rear

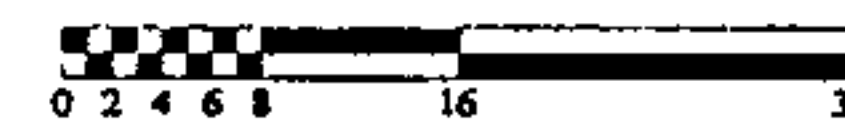


Right

DOOR & WINDOW SCHEDULE	
A	3068 SOLID WOOD DOOR
B	2568 FRENCH DOOR
C	1600 GARAGE DOOR
D	1616 FIXED GLASS WINDOW
E	2050 FIXED GLASS WINDOW
F	3050 FIXED GLASS WINDOW
G	2038 SINGLE HUNG WINDOW
H	2650 SINGLE HUNG WINDOW
I	3040 SINGLE HUNG WINDOW
J	3650 SINGLE HUNG WINDOW
K	4016 SLIDING GLASS WINDOW
L	5048 SLIDING GLASS WINDOW
M	5050 SLIDING GLASS WINDOW

COLOR SCHEDULE	
<b>SCHEME 1</b>	
PRIMARY:	105 BAMBOO
SECONDARY:	115 COTTONWOOD
TRIM:	DE542 CANDLE IN THE WIND
FASICA/GARAGE:	DE610 MIDNIGHT BROWN
DOORS/SHUTTERS:	DE624 TREASURE CHEST
ROOF:	253 SANDSTONE FLASHED
<b>SCHEME 2</b>	
PRIMARY:	116 ADOBE
SECONDARY:	111 STRAW
TRIM:	DE699 PALE BEACH
FASICA/GARAGE:	DE602 TEA BAG
DOORS/SHUTTERS:	DE648 SUNKIN SHIP
ROOF:	2530 WEATHERED ADOBE
<b>SCHEME 3</b>	
PRIMARY:	135 SAHARA
SECONDARY:	105 BAMBOO
TRIM:	DE619 SUMMerville BROWN
FASICA/GARAGE:	DE615 VERONA BEACH
DOORS/SHUTTERS:	DE629 VELVET CLOVER
ROOF:	2530 WEATHERED ADOBE
<b>SCHEME 4</b>	
PRIMARY:	106 BUCKSKIN
SECONDARY:	123 LA LUZ
TRIM:	DE612 SAND DUNE
FASICA/GARAGE:	DE641 ALMOND LATTE
DOORS/SHUTTERS:	DE614 DARK PRATER
ROOF:	253 SANDSTONE FLASHED
<b>NOTES</b>	
STUCCO: EL REY STUCCO	
PAINT: DUNN EDWARDS	
ROOF: EAQLE ROOFING	

Scale: 1/8" = 1'-0"



Conceptual 6-Plex Building Elevation; B Elevation  
 Cantata  
 Tract 5 at the Trails  
 Albuquerque, NM

Longford Homes

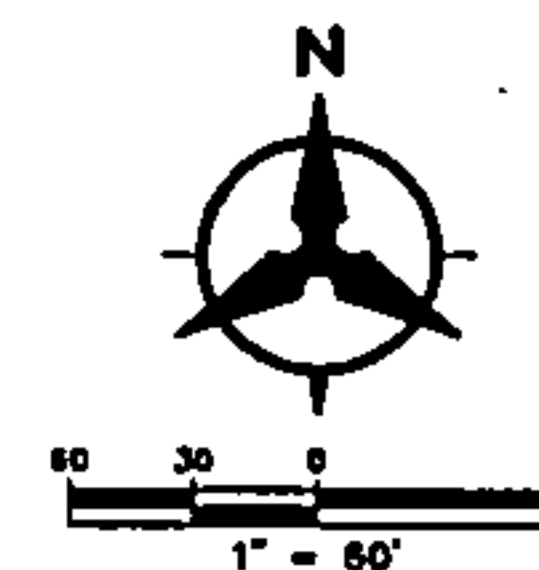
KTOY Job No: 2006-1124



05/09/2007  
 SHEET 7 OF 9

TRACT 1  
THE TRAILS UNIT 2

TRACT 2  
THE TRAILS UNIT 2



3.26 ACRES  
FUTURE PUBLIC PARK / OPEN SPACE  
(Not a part of this Project)

**DRAINAGE CONCEPT:**

The proposed development of the Cantata at the Trails consists of 260 single family units including 3-pieces, 4-pieces, 5-pieces and 6-pieces on approximately 17.5 acres. A park is located northwest of the development is 3.3 acres and will not impact the drainage of the developed site.

Cantata at the Trails is located on Albuquerque's West Mesa and is bounded on the north and east by Outridge Street, on the west by Universe Blvd and on the south by TreeLine East. The present condition of the area is more graded in the southern two thirds and undisturbed in the northern third. The site slopes gradually to the south west corner of the tract.

The site has been mass graded to closely match existing drainage patterns with slopes ranging from 0.5% to 3%. An average of 4 feet of fill has been imported to raise the site above the preexisting undeveloped site where it is assumed that significant basalt exists. This assumption is based on design and development of previous projects in the area.

Storm runoff in Cantata at the Trails will be conveyed by an inverted crown and a concrete valley gutter in all the streets. Three (3) intake basins are proposed and the runoff from each basin will be captured in pits on grade as required by COA street capacity criteria. Each basin has a low point that will ultimately capture all remaining flows and be conveyed by the existing 30" storm drain and a proposed 36" storm drain. All flows will drain to the existing 48" storm drain in Universe Blvd.

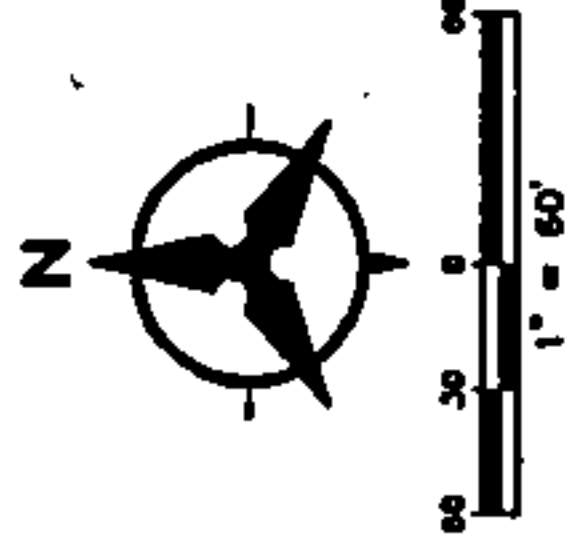
CONCEPTUAL GRADING AND DRAINAGE PLAN  
FOR SUBDIVISION AND BUILDING PERMIT  
**CANTATA AT THE TRAILS**

Prepared for:  
CANTATA AT THE TRAILS INC.  
7007 Jefferson St. NE  
Suite A  
Albuquerque, NM 87109

Prepared by:  
Bohannon Huston  
7500 Jefferson NE  
Albuquerque, NM 87109  
5/11/07

**Bohannon Huston**

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ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



LEGEND	
---	PROPERTY LINE
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
---	EXISTING STORM DRAIN
---	PROPOSED SANITARY SEWER
---	PROPOSED WATER LINE
---	PROPOSED STORM DRAIN
○	PROPOSED SANITARY SEWER MANHOLE

**UTILITY CONCEPT:**

The proposed development of the site are condominium. The intent of the project is to provide public water and sanitary sewer systems within the site.

**Sanitary Sewer System:**

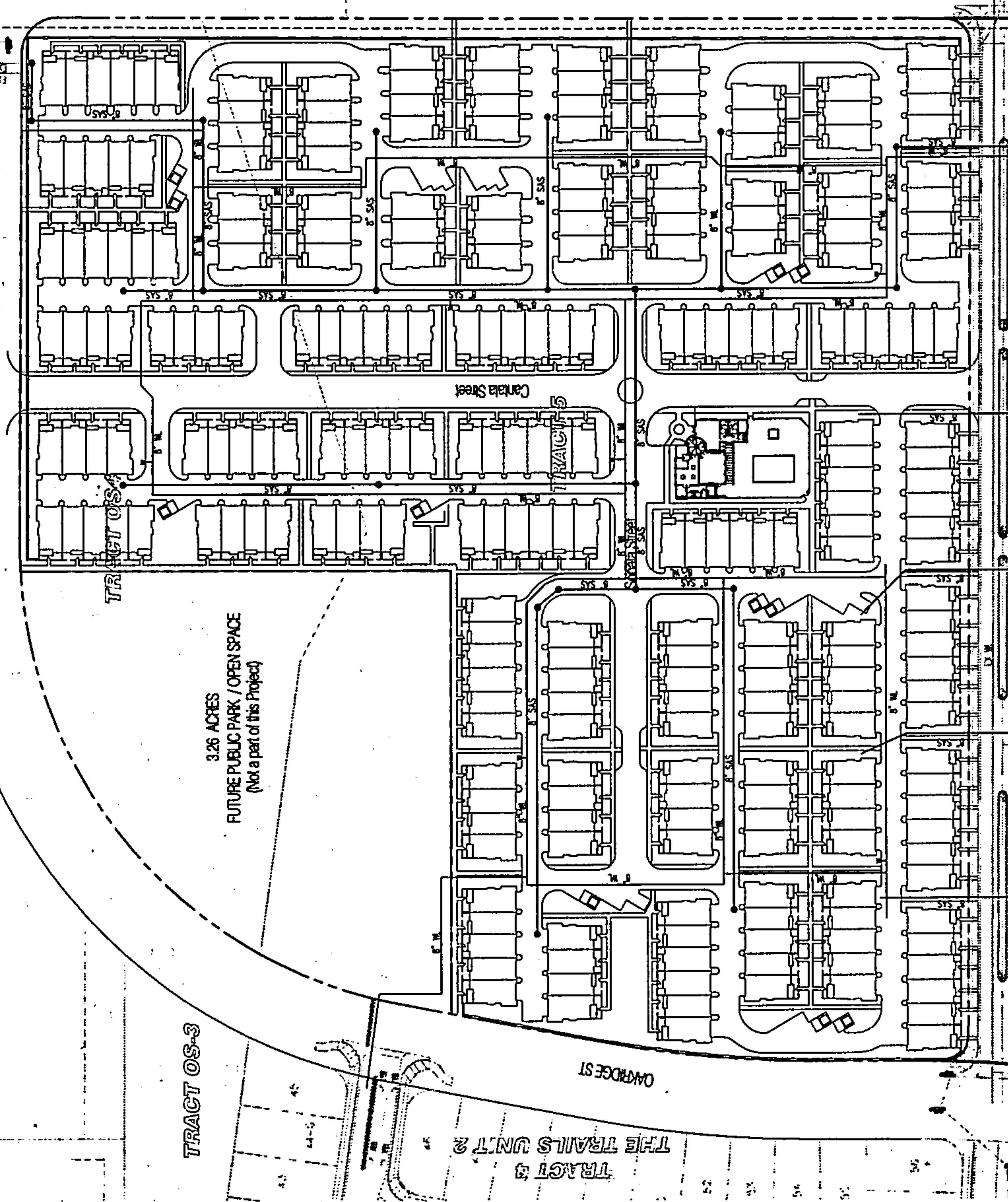
The sanitary sewer system is proposed to be an 8" diameter pvc pipe for the main located in the internal roads and alleys as shown. There is adequate slope on the site to provide for collection in the 8" system to serve the site. Buildings on the site will consist of multiple units to be serviced by the main line. The system will outfall to a proposed 8" sewer line in Treeline Drive.

**Water System:**

The water system is proposed to be an 8" diameter pvc pipe located in the internal roads and alleys as shown. The water service connection will be to a proposed 8" water line in Treeline Drive. Water lines will be extended through the development to the west and north to provide looped water systems for other developments within the Trails master planned community. Buildings on the site will consist of multiple units serviced by the main line. Multiple service meters will be sized throughout the site. Meters will serve one or more buildings depending on locations and final design of the water system. It is anticipated that the service lines to individual units will be 3/4" lines.

TRACT 2  
THE TRAILS UNIT 2

TRACT 3  
THE TRAILS UNIT 2



Prepared for:  
CANTATA AT THE TRAILS INC.  
7007 Jefferson St. NE  
Suite A  
Albuquerque, NM 87109

Prepared by:  
Bohannon Husion  
7500 Jefferson NE  
Albuquerque, NM 87109  
511/107

CONCEPTUAL UTILITY PLAN  
FOR SUBDIVISION AND BUILDING PERMIT  
**CANTATA AT THE TRAILS**

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME Cantata at the Trails, Inc.  
AGENT Bohannon Huston, Inc.  
ADDRESS 7500 Jefferson St. NE  
PROJECT & APP # 1002962/07DRB-00613-00615  
PROJECT NAME Cantata at the Trails, ~~Inc.~~

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 770.00 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75.00 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision (X) Site Development Plan (X) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 865.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque  
Treasury Division

City Of Albuquerque  
Treasury Division

5/11/2007 11:29AM LOC: ANNX  
RECEIPT# 00076520 WSH 006 TRANSH 0021  
Account 441006 Fund 0110  
Activity 4983000 TRSCXG  
Trans Amt \$865.00  
J24 Misc \$770.00

Thank You

5/11/2007 11:28AM LOC: ANNX  
RECEIPT# 00076519 WSH 006 TRANSH 0021  
Account 441032 Fund 0110  
Activity 3424000 TRSCXG  
Trans Amt \$865.00  
J24 Misc \$20.00

Thank You

City Of Albuquerque  
Treasury Division

5/11/2007            11:29AM            LOC: ANNX  
RECEIPT# 00076521 WSH# 006    TRANS# 0021  
Account 441018            Fund 0110  
Activity 4971000            TRSCXG  
Trans Amt                    \$865.00  
J24 Misc                     \$75.00  
CK                            \$865.00  
CHANGE                      \$0.00

Thank You

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from May 22, 2007 To June 6, 2007

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Stephanie Walton  
(Applicant or Agent)

5-11-07  
(Date)

I issued 2 signs for this application, 5/11/07 Stephanie Walton  
(Date) (Staff Member)

DRB PROJECT NUMBER: 100 2962

B-2 outside

No. of Units: 260  
Nearest Major Streets: Oakridge  
& Woodmont

**FIGURE 12**

**SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B)**

**AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS**

THIS AGREEMENT is made this 13<sup>th</sup> day of September, 2007, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Cantata at The Trails, Inc. ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] Nevada Corporation, whose address is 3007 E. Warm Springs Rd. Las Vegas, NV and whose telephone number is 702-454-5300 is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Tract 5 & OS 4, The Trails, Unit 2, recorded on 07-30-07 in the records of the Bernalillo County Clerk at Document # 2007110194, pages 1 through 1 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Cantata at The Trails, Inc. ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Cantata at The Trails describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 13th day of June, 2008 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 730078.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As per required City - approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by SurvTek, and construction surveying of the private Improvements shall be performed by SurvTek. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Bohannan Huston Inc., and inspection of the private Improvements shall be performed by Bohannan Huston Inc., both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider



shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Western Technologies, and field testing of the private Improvements shall be performed by Western Technologies, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field-testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field-testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Irrevocable Letter of Credit #20070122LNV  
Amount: \$127,378.48 Name of Financial Institution or Surety  
providing Guaranty: 1<sup>st</sup> National Bank of Nevada  
Date City first able to call Guaranty: June 13, 2008  
[Construction Completion Deadline]: June 13 20 08  
If Guaranty other than a Bond, last day City able to call Guaranty is:  
August 13, 20 08  
Additional information: n/a

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety, which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

By [Signature]: Kelly Calhoun  
Name: Kelly Calhoun  
Title: Vice-President  
Dated: 8/29/07

CITY OF ALBUQUERQUE

[Signature]  
City Engineer

Dated: 9-13-07

[Signature]

[Signature]  
8-31-07

OFFICIAL SEAL  
Evelyn Lopez-Chave  
NOTARY PUBLIC  
STATE OF NEW MEXICO



SUBDIVIDER'S NOTARY

STATE OF New Mexico )  
COUNTY OF Bernalillo ) ss.

My Comm. Exp. 3-18-08

This instrument was acknowledged before me on 29th day of AUGUST, 20 07 by [name of person:] Kelly Calhoun, [title or capacity, for instance, "President" or "Owner":] Vice-President of [Subdivider:] Cartata at The Trails, Inc.

[Signature]  
Notary Public

My Commission Expires: 3-18-08

CITY'S NOTARY

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO) ss.

This instrument was acknowledged before me on 13 day of September, 20 07 by Richard Douste, City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation

[Signature]  
Notary Public

My Commission Expires:

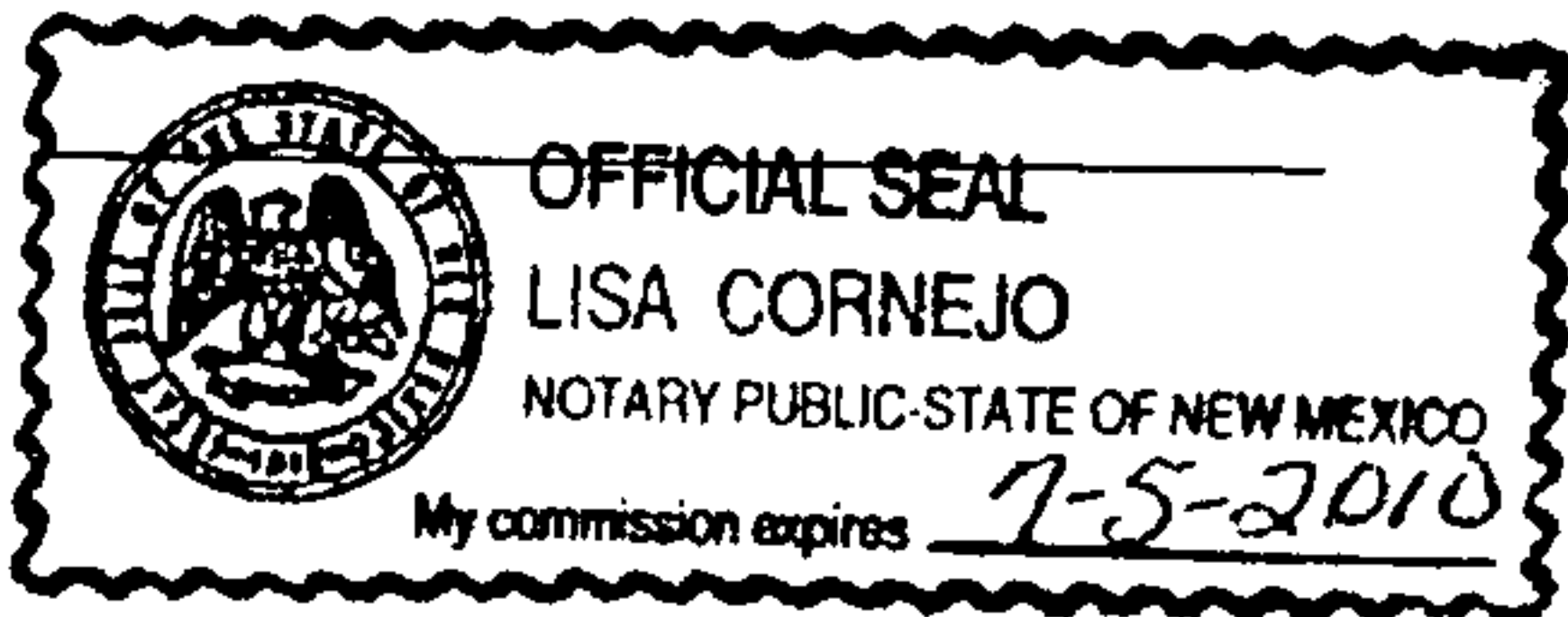


EXHIBIT A AND POWER OF ATTORNEY ATTACHED

Current DRC Project No 730078

Date Submitted: June 26, 2007  
 Date Site Plan Approved: 6/27/07  
 Date Preliminary Plat Approved: 6/27/07  
 Date Preliminary Plat Expires: 6/27/08

**ORIGINAL**

Figure 12  
**INFRASTRUCTURE LIST**  
 EXHIBIT "A"  
 TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST  
**CANTATA AT THE TRAILS**

ORB Project No 1002902  
 Application no. 07 DEB-00613

Following is a summary of PUBLIC and PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC ROADWAY IMPROVEMENTS</b>									
B-2*	730078*	50' F-EOP	(1) ARTERIAL PAVING W/ PCC CURB & GUTTER ON EAST ONLY <b>MEDIAN CURB &amp; GUTTER</b>	UNIVERSE BLVD.	OAKRIDGE STREET	TREELINE AVENUE	/	/	/
B-2*	730078*	6' WIDE	PCC SIDEWALK ON EAST SIDE	UNIVERSE BLVD	OAKRIDGE STREET	TREELINE AVENUE	/	/	/
B-2*	730078*	24' F-EOP	(2) ARTERIAL PAVING W/ PCC CURB & GUTTER ON WEST SIDE ONLY	OAKRIDGE STREET	TREELINE AVENUE	UNIVERSE BLVD.	/	/	/
B-2*	730078*	6' WIDE	PCC SIDEWALK ON WEST SIDE	OAKRIDGE STREET	TREELINE AVENUE	UNIVERSE BLVD.	/	/	/
B-2	730079	34' F-EOP	(3) ARTERIAL PAVING W/ PCC CURB & GUTTER ON NORTH SIDE ONLY	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
B-2	730078	6' WIDE	PCC SIDEWALK ON NORTH SIDE	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
B-1	730078	30' F-F	DRIVEWAY CUT	OAKRIDGE STREET	CANATA STREET		/	/	/
B-1	730078	11' WIDE	MODIFY MEDIAN FOR LEFT TURN	OAKRIDGE STREET	OAKRIDGE STREET	CANATA STREET	/	/	/

\*1 Built with CPN 730084 (SIAA) FG with 730078 @ 10% of cost.  
 \*2 Built with CPN 730084 (SIAA) FG with 730078 @ 20% of cost.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC WATERLINE IMPROVEMENTS (NMU)</b>									
NA	UT	8" DIA	(3) WATERLINE CONNECTION FH'S, MJ'S, AND RJ'S	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		8" DIA	WATERLINE CONNECTION FH'S, MJ'S, AND RJ'S	SONATA STREET	200' EAST OF CANTATA	WEST TERMINUS	/	/	/
		8" DIA	WATERLINE CONNECTION FH'S, MJ'S, AND RJ'S	PUBLIC WTR AND SAS EASEMENTS (w/in PRIVATE ALLEYS)	TREELINE AVENUE	OAKRIDGE STREET	/	/	/

<b>PUBLIC SANITARY SEWER IMPROVEMENTS (NMU)</b>									
		8" DIA	(3) SANITARY SEWER W/ MH'S	TREELINE AVENUE	OAKRIDGE STREET	UNIVERSE BLVD.	/	/	/
		8" DIA	SANITARY SEWER W/ MH'S	SONATA STREET	200' EAST OF CANTATA	WEST TERMINUS	/	/	/
		8" DIA	SANITARY SEWER W/ MH'S	PUBLIC WTR AND SAS EASEMENTS (w/in PRIVATE ALLEYS)	TREELINE AVENUE	OAKRIDGE STREET	/	/	/

730034

ut FG.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC STORM DRAIN IMPROVEMENTS</b>									
<del>B-1</del>	<del>730074</del>	18" 36"	(3) STORM DRAIN PIPE W/ MH'S	TREELINE AVENUE	CANTATA STREET	UNIVERSE BLVD.	/	/	/
B-1	730075	18" 54"	STORM DRAIN PIPE W/ MH'S	UNIVERSE BLVD.	OAKRIDGE STREET	POND K	/	/	/
B-1	730077	2.05 AC-FT	POND J	WEST SIDE OF UNIVERSE BLVD.			/	/	/
B-1	730078	9.5 AC-FT	POND K	WEST SIDE OF UNIVERSE BLVD.			/	/	/
<b>NOTES</b> A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.									

<b>PRIVATE STORM DRAIN IMPROVEMENTS</b>									
B-1	730070	18" 30" DIA	STORM DRAIN PIPE W/ INLETS	CANTATA STREET	TREELINE AVENUE	700' NORTH	/	/	/
B-1	730073	18" 30" DIA	STORM DRAIN PIPE W/ INLETS	SONATA STREET	CANTATA STREET	200' EAST	/	/	/

- (1) UNIVERSE BLVD. IMPROVEMENTS CONSTRUCTED WITH CPN 730084
- (2) OAKRIDGE STREET IMPROVEMENTS CONSTRUCTED WITH CPN 730084
- (3) TREELINE AVE. IMPROVEMENTS CONSTRUCTED WITH CPN 730087

SCOTT STEFFEN, PE  
PREPARED BY: PRINT NAME

*Scott Steffen*  
DRB CHAIR

*Christina Henderson*  
PARKS & GENERAL SERVICES

6/27/07  
DATE

BOHANNAN HUSTON INC.  
FIRM

*Scott Steffen*  
TRANSPORTATION DEVELOPMENT

6-27-07  
DATE

*Scott Steffen*  
SIGNATURE

*Regina A. Roe*  
UTILITY DEVELOPMENT

*Budley B. Bingham*  
CITY ENGINEER

6/27/07  
DATE

MAXIMUM TIME ALLOW TO CONSTRUCT  
IMPROVEMENTS WITHOUT A DRB EXTENSION

NEW MEXICO UTILITIES INC.

DATE

REVISION	DATE	DESIGN REVIEW COMMITTEE REVISIONS	AGENT/OWNER
		DRB CHAIR	
		USER DEPARTMENT	

# FINANCIAL GUARANTY AMOUNT

08/02/2007

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

**Project ID #: 730078, Cantata at the Trails, Phase/Unit #: 1**

Requested By: **Scott Steffen, P.E.**

Approved estimate amount:		\$81,313.00
Contingency Amount:	10.00%	\$8,131.30
Subtotal:		\$89,444.30
NMGRT	6.875%	\$6,149.30
Subtotal:		\$95,593.60
Engineering Fee	6.60%	\$6,309.18
Testing Fee		\$0.00
Subtotal:		\$101,902.78
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
<b>TOTAL FINANCIAL GUARANTY REQUIRED</b>		<b><u>\$127,378.48</u></b>

APPROVAL:

DATE:

*Stephen Woodall*

8-2-07

Notes: B-2, 10% contingency, Offsite paving, grading and drainage cert is required prior to release of FG.





**LETTER OF CREDIT**

August 15, 2007

IRREVOCABLE LETTER OF CREDIT AND AGREEMENT NO. 20070122LNV

AMOUNT: \$127,378.48

Bruce J. Perlman, Ph.D.  
Chief Administrative Officer  
City of Albuquerque  
P. O. Box 1293  
Albuquerque, NM 87103

RE: Letter of Credit for: Cantata at the Trails, Inc., a Nevada corporation

City of Albuquerque Project No: 730078  
Project Name: Cantata at the Trails, Phase/Unit#: 1

Dear Mr. Perlman:

This letter is to advise the City of Albuquerque ("City") that, at the request of, Cantata at the Trails, Inc., a Nevada corporation ("Subdivider"), First National Bank of Nevada, a national banking association ("Financial Institution") whose address is 17600 N. Perimeter Drive, Scottsdale, AZ 85255, has established this Irrevocable Letter of Credit (the "Letter of Credit") in the sum of ONE HUNDRED TWENTY-SEVEN THOUSAND THREE HUNDRED SEVENTY-EIGHT AND 48/100 DOLLARS (US \$127,378.48) (the "Stated Amount") for the exclusive purpose of providing the financial assurance which the City requires Subdivider to provide for the installation of the improvements which must be constructed at Cantata at the Trails, Unit 1 Project No: 730078 (the "Project"). The amount of the Letter of Credit is 125% of the City's estimated cost of construction of improvements comprising the Project as required by the City's Subdivision Ordinance. The improvements comprising the Project are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 9.13.07, in the records of the Clerk of Bernalillo County, New Mexico in Book NA, at pages NA, as amended (the "Agreement"). *Document #2007131694*

A Draft or Drafts for any amount up to, but not in excess of the Stated Amount is/are available at sight upon the presentation to Financial Institution at 17600 N. Perimeter Drive, Scottsdale, AZ 85255 between August 15, 2007 and August 13, 2008 (the "Operative Period").

When presented for negotiation, the Draft(s) is/are to be accompanied by the City's notarized certification stating:

- 1) Cantata at the Trails, Inc. has failed to comply with the terms of the Agreement;
- 2) the undersigned is the Chief Administrative Officer of the City of Albuquerque and is authorized to sign this certification; and
- 3) the amount of the Draft does not exceed 125% of the City's estimated cost of completing the improvements specified in the Agreements.

We hereby agree with the drawer of Draft(s) drawn under and in compliance with the terms of this credit that such Draft(s) will be duly honored upon presentation to the drawee if negotiated during the Operative Period.

The Draft(s) drawn under this credit must contain the clause: "Drawn under Letter of Credit and Agreement No. 20070122LNV of First National Bank of Nevada, 17600 N. Perimeter Drive, Scottsdale, AZ 85255 dated August 15, 2007 and the original Letter of Credit must be endorsed on the reverse side with the amount of each draft. This Letter of Credit must accompany each draft and be attached to the draft which exhausts this credit.

This Letter of Credit for the benefit of the City of Albuquerque shall be irrevocable until the earliest to occur of the following:

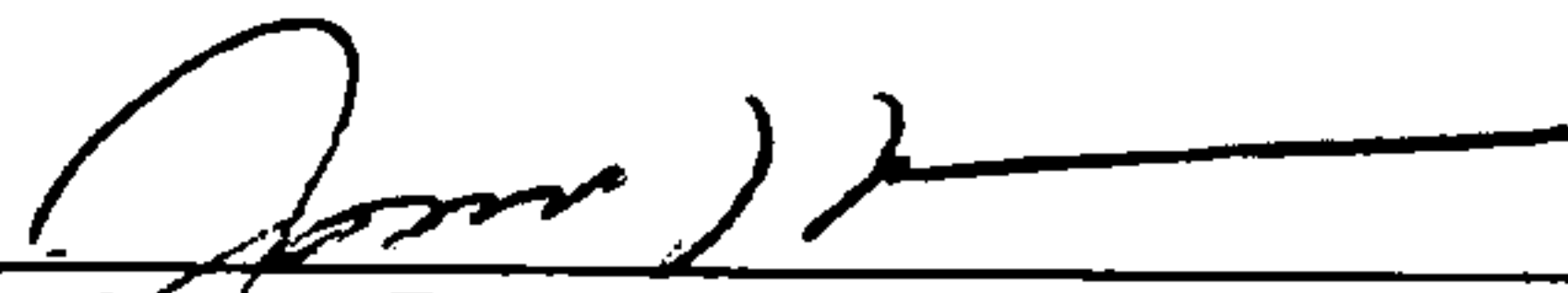
1. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
2. City notification of Cantata at the Trails, Inc.'s failure to comply with the terms of the Agreement, and payment by Certified Check from Financial Institution to the City of Albuquerque of 125% of the City's estimated costs of completing the improvements specified in the Agreement; or
3. Expiration of the date August 13, 2008; or
4. Written termination of this Letter of Credit by the City of Albuquerque, signed by its Chief Administrative Officer.

This Letter of Credit will terminate at 5:00 o'clock p.m., New Mexico time, August 13, 2008.

This credit is subject to the Uniform Customs and Practice for Documentary Credits (1993 Revision), International Chamber of Commerce Publication No. 500.


Very truly yours,

FIRST NATIONAL BANK OF NEVADA

  
By: James Regan  
Title: VP/Regional Manager Real Estate Loan Documentation

ACCEPTED:

CITY OF ALBUQUERQUE

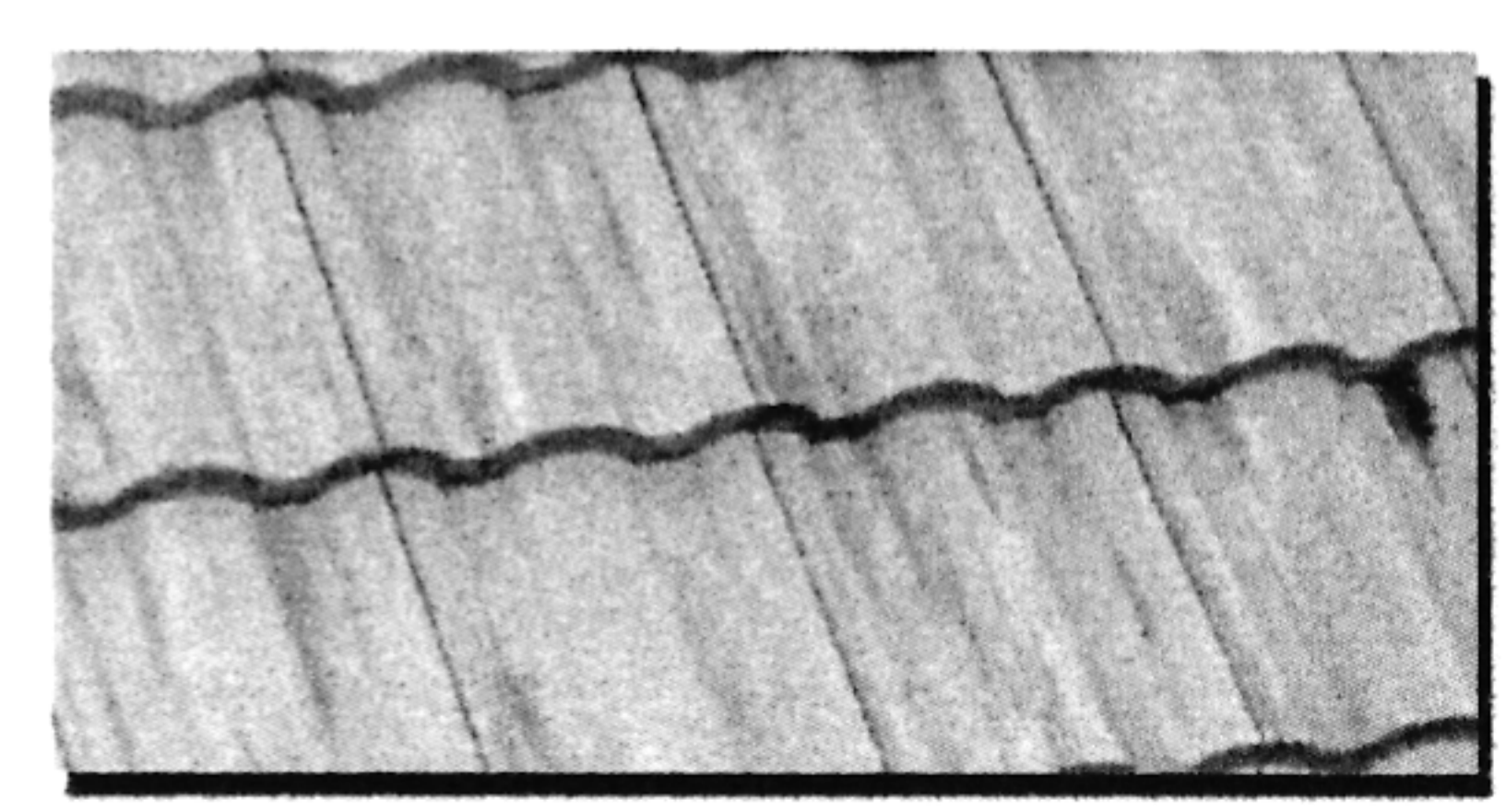
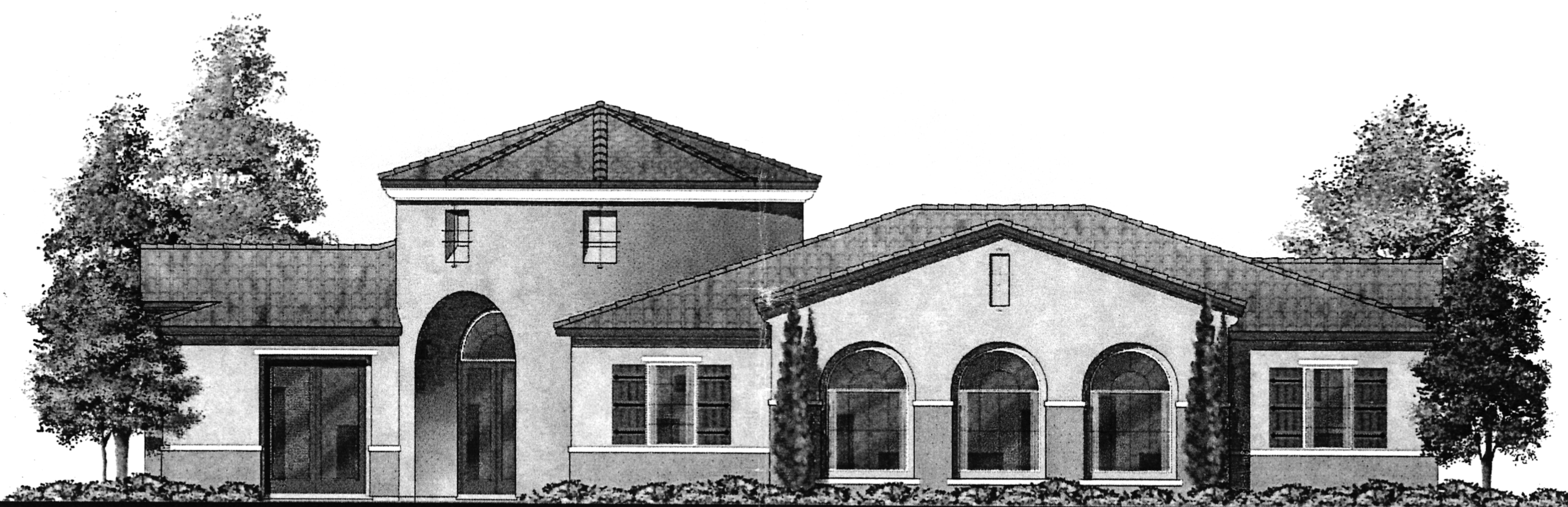
By:   
Bruce J. Perlman, Ph.D.  
Chief Administrative Officer

Dated: 8-13-07

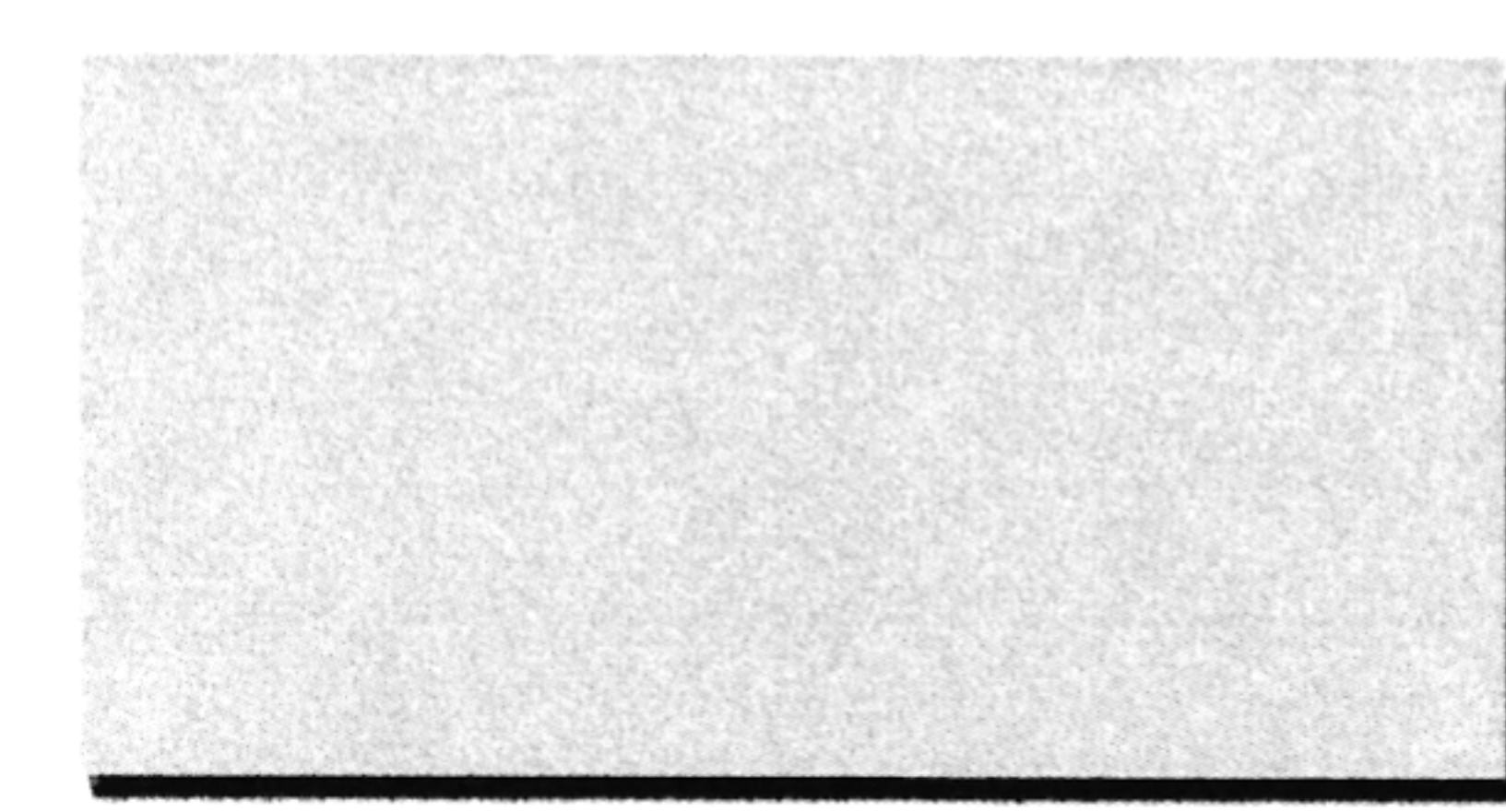
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*8-31-07*

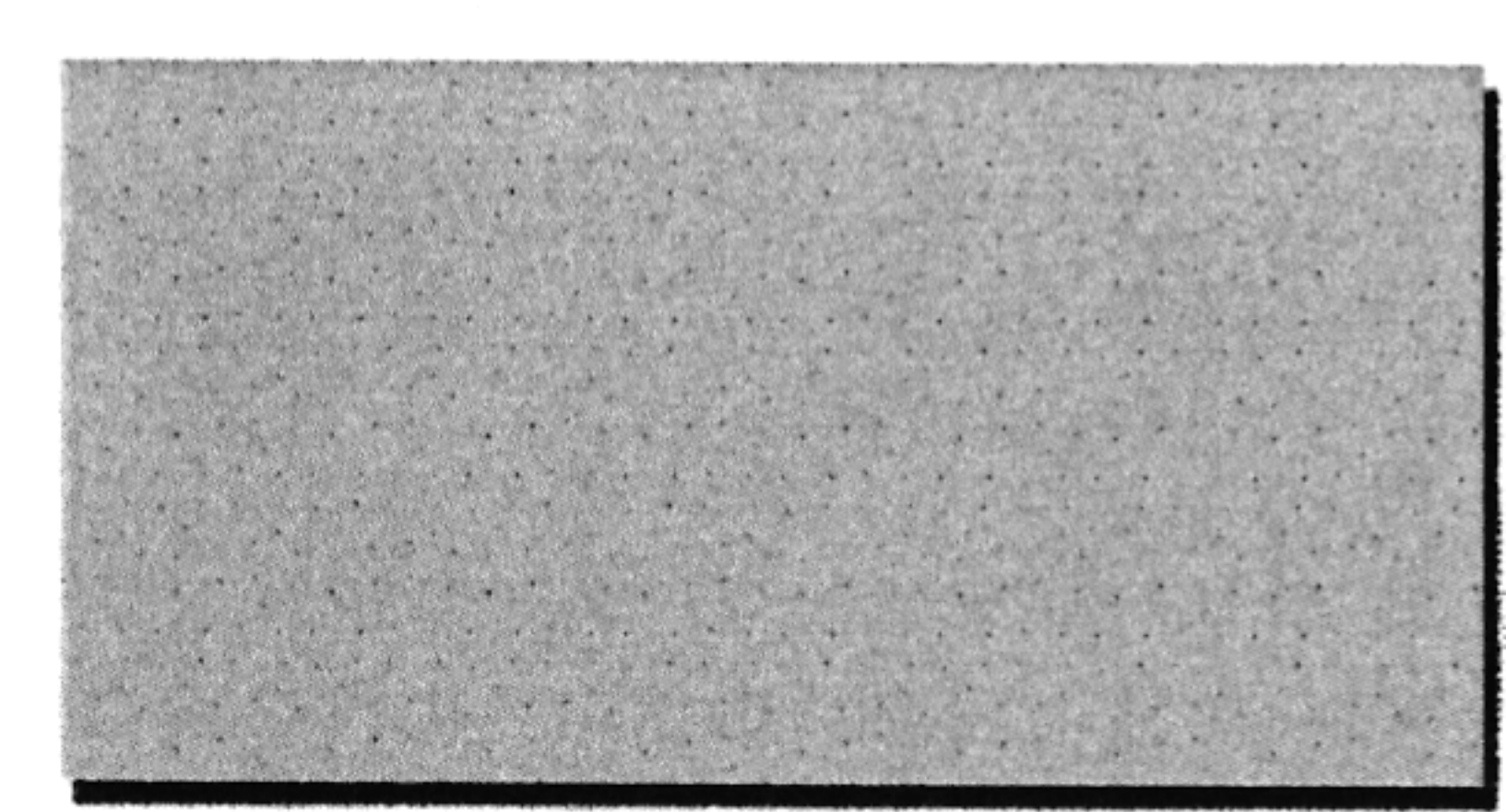
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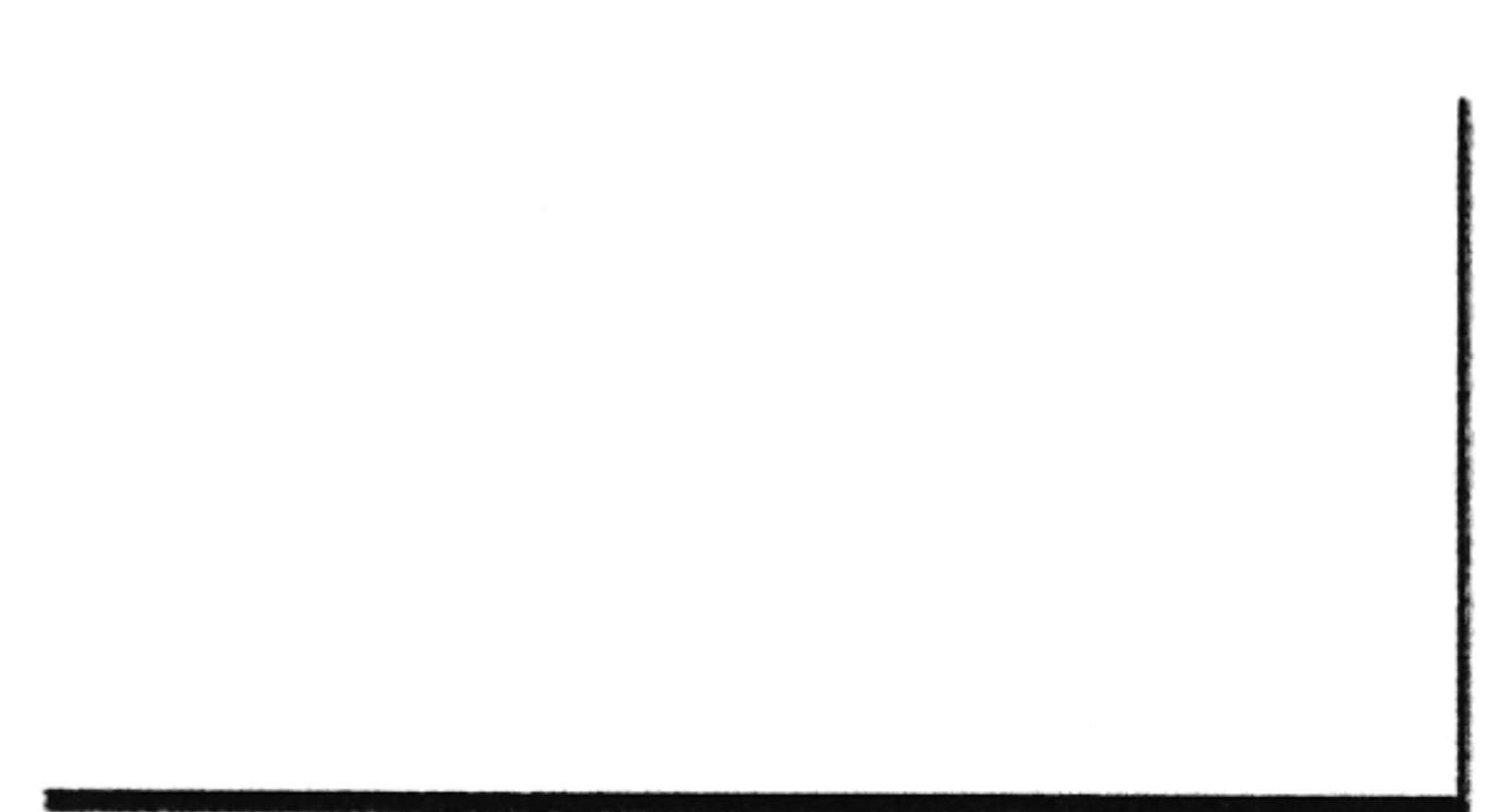
**ROOF**  
Sandstone Flashed  
2553



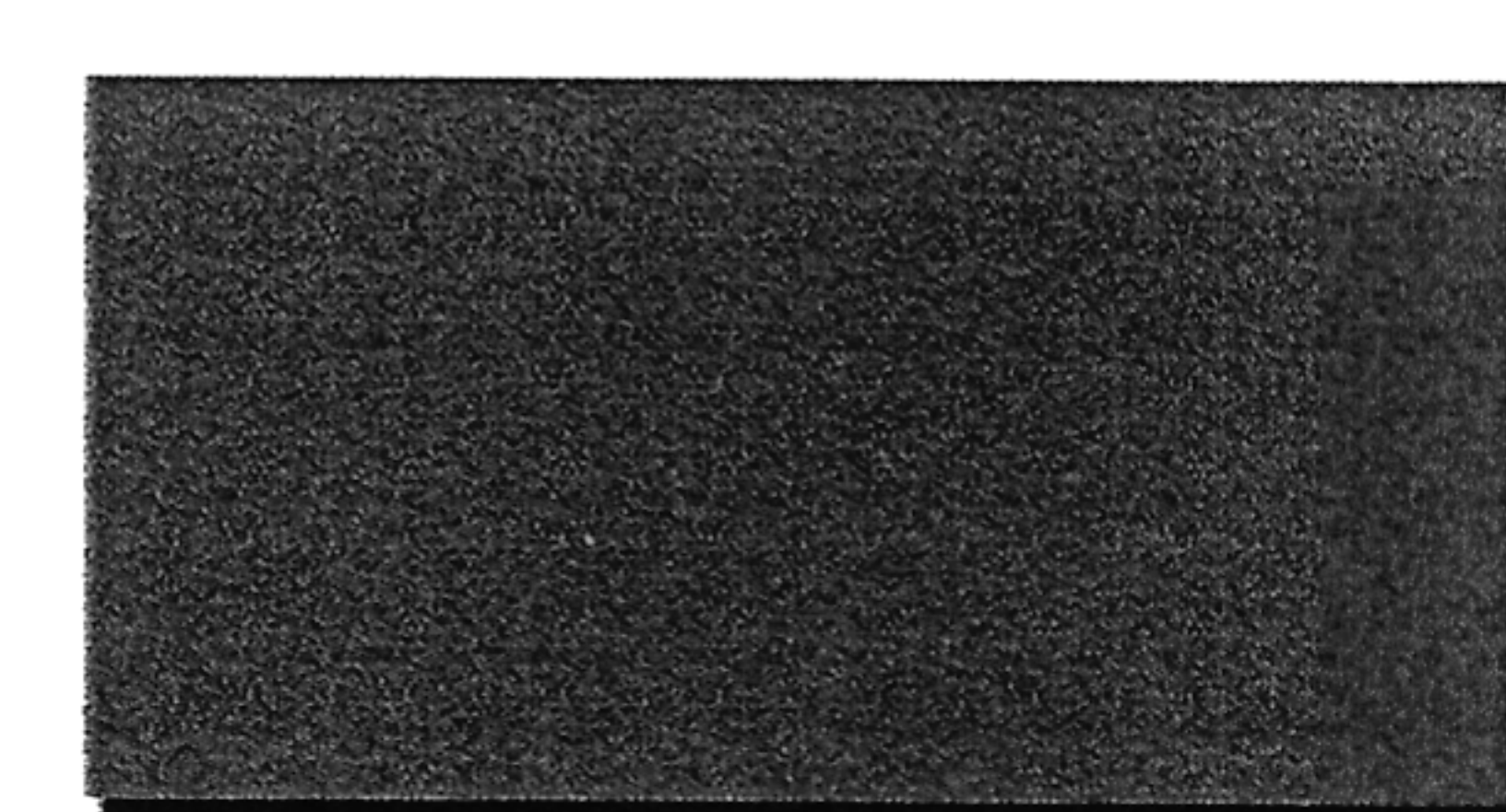
**PRIMARY STUCCO**  
Bamboo  
105



**SECONDARY STUCCO**  
Cottonwood  
115



**TRIM**  
Candle in the Wind  
DE5442



**FASCIA/GARAGE**  
Midnight Brown  
DE6210



**ACCENT**  
Treasure Chest  
DE6224

CONCEPTUAL ELEVATION  
CLUBHOUSE  
SCHEME #1

ROOFING: 

STUCCO: 

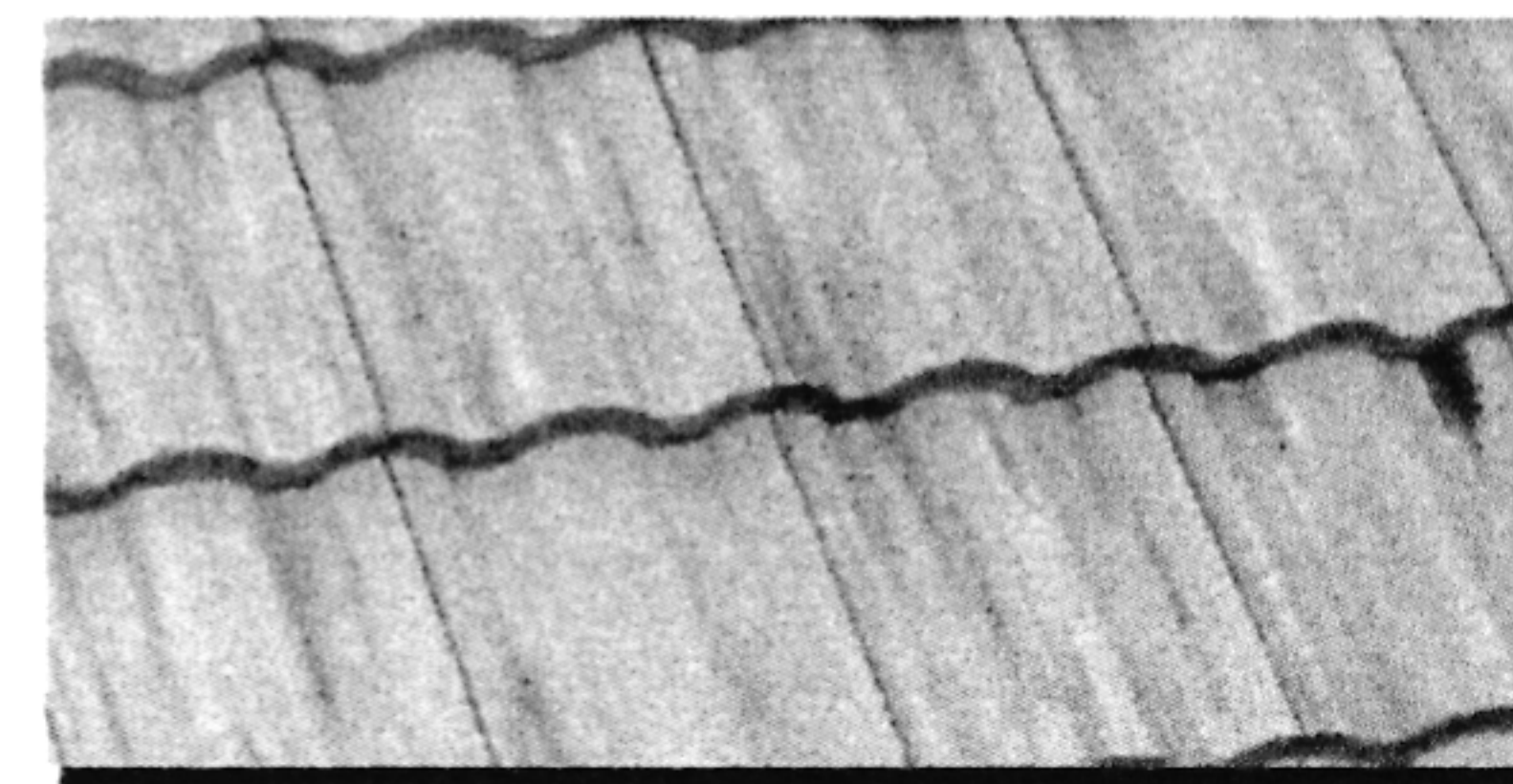
PAINT: 

KTGY Job# 2007-0176

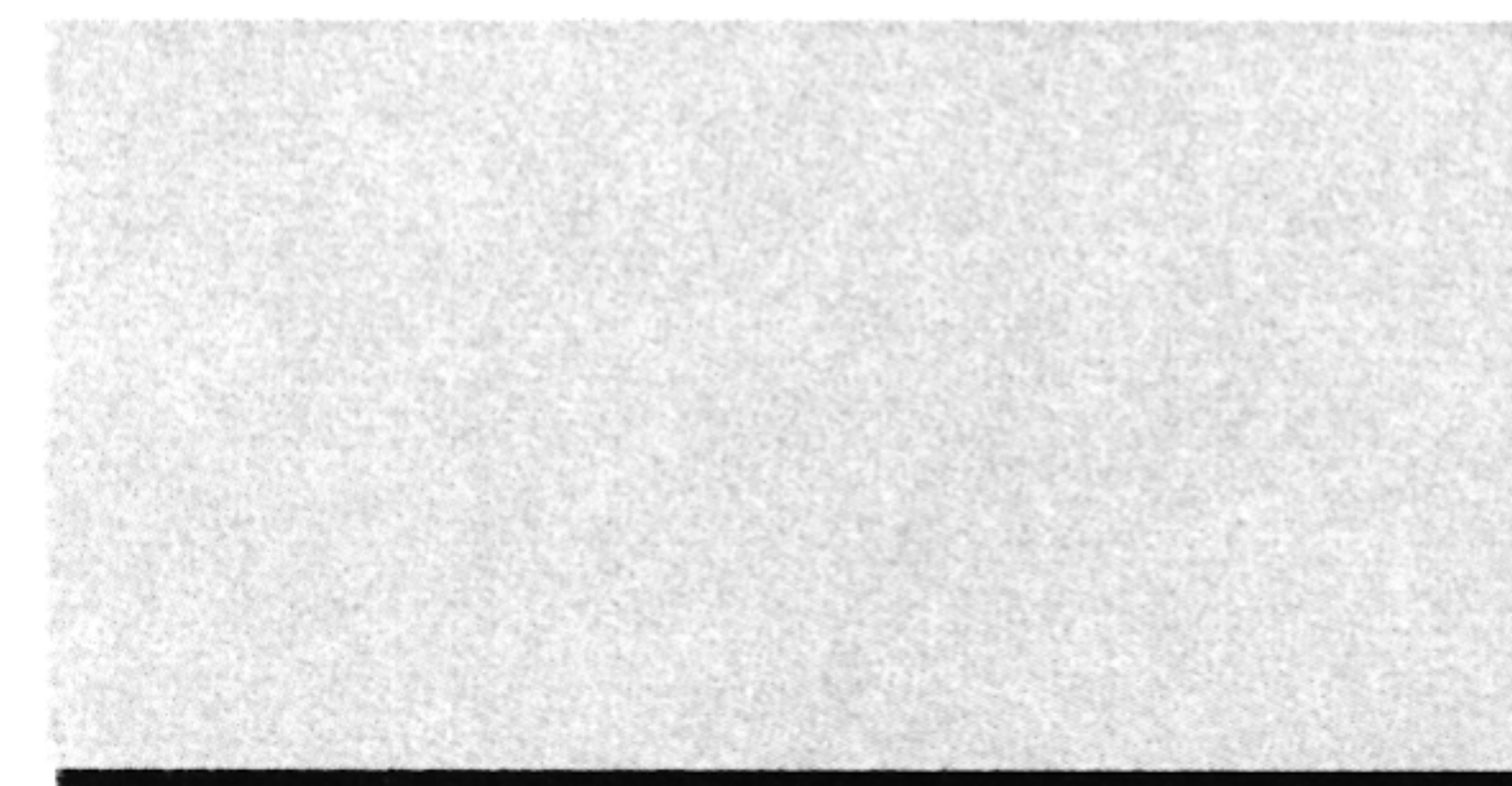


*Cantata @*  
**The Trails**  
Albuquerque, New Mexico

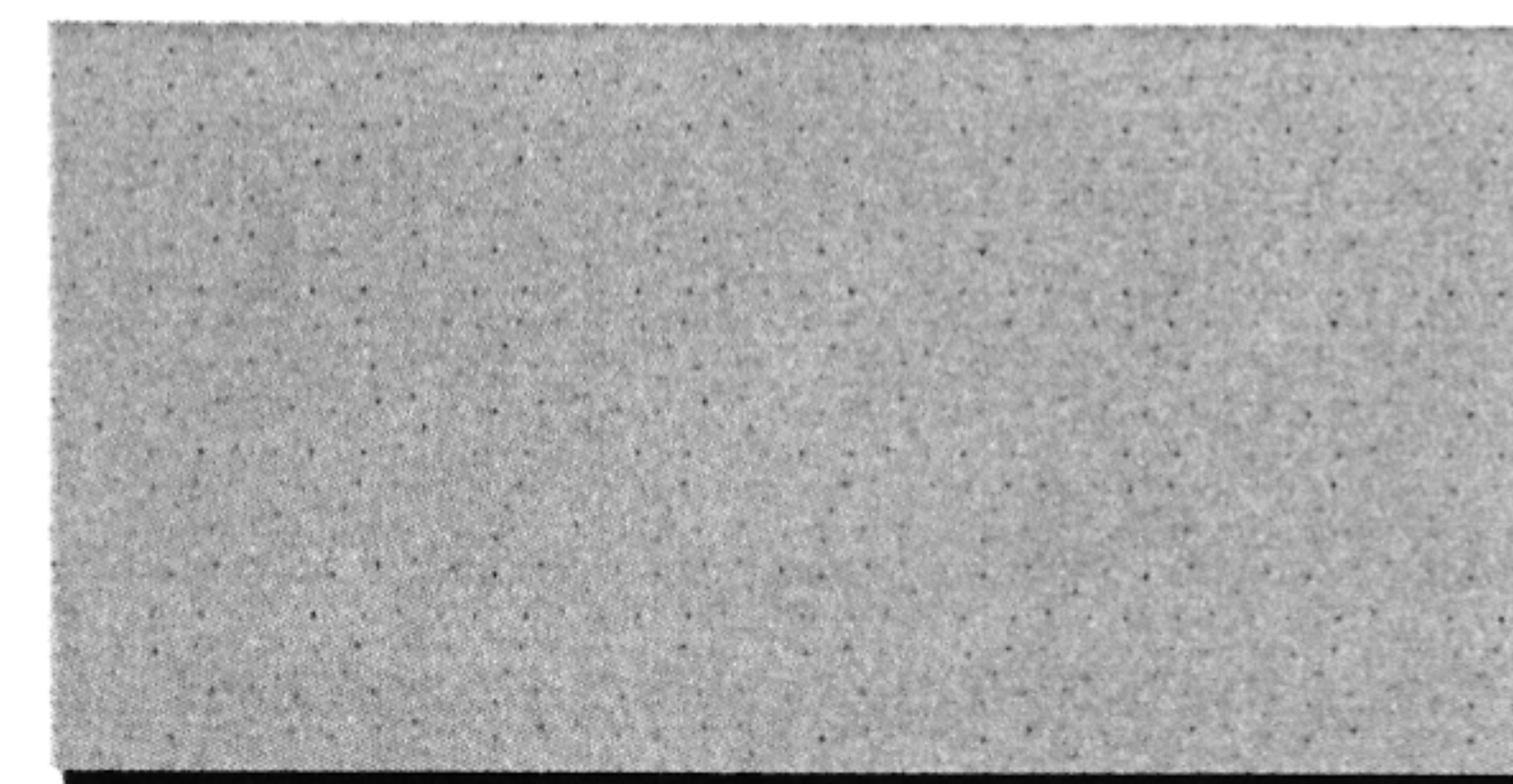




**ROOF**  
Sandstone Flashed  
2553



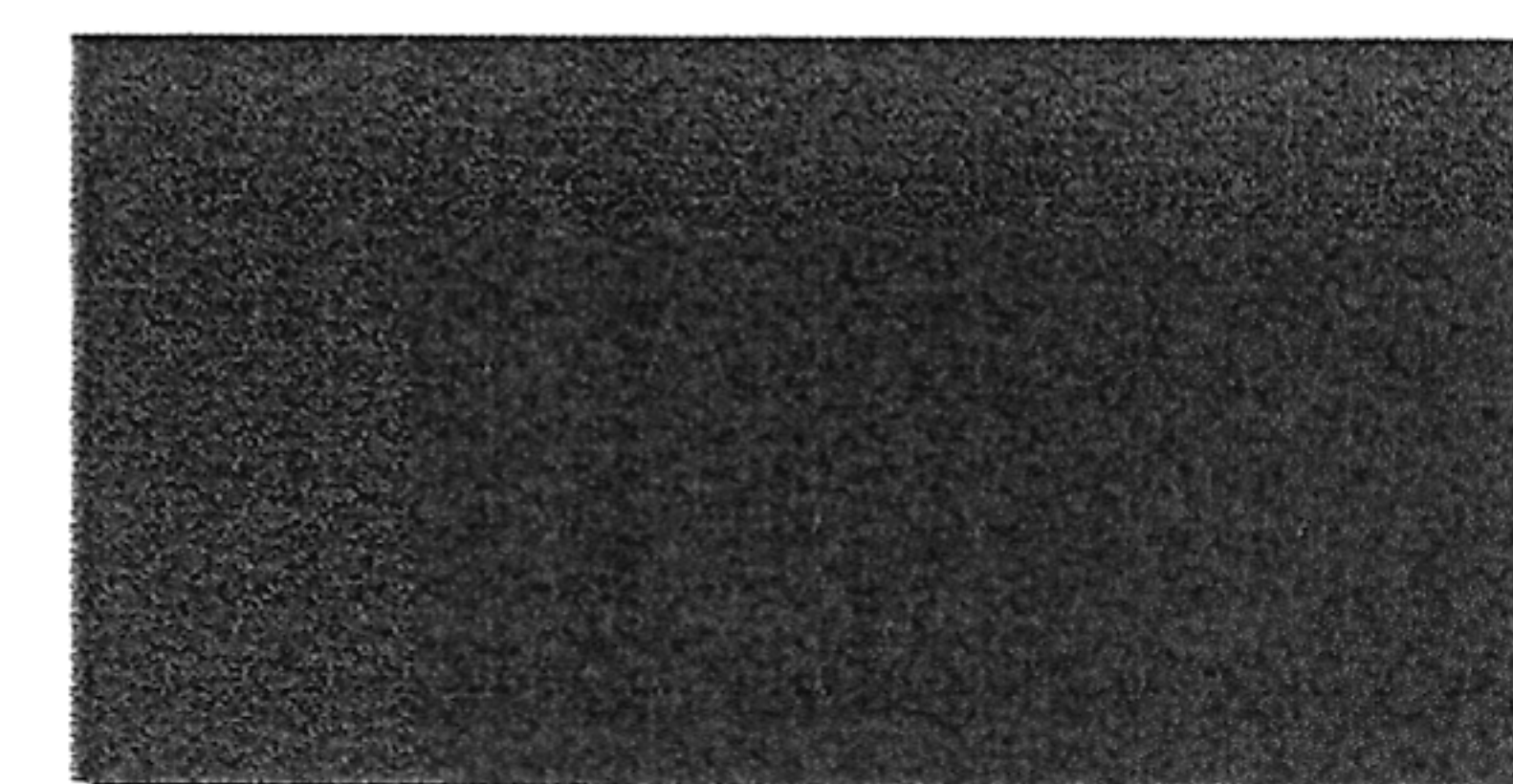
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Bamboo  
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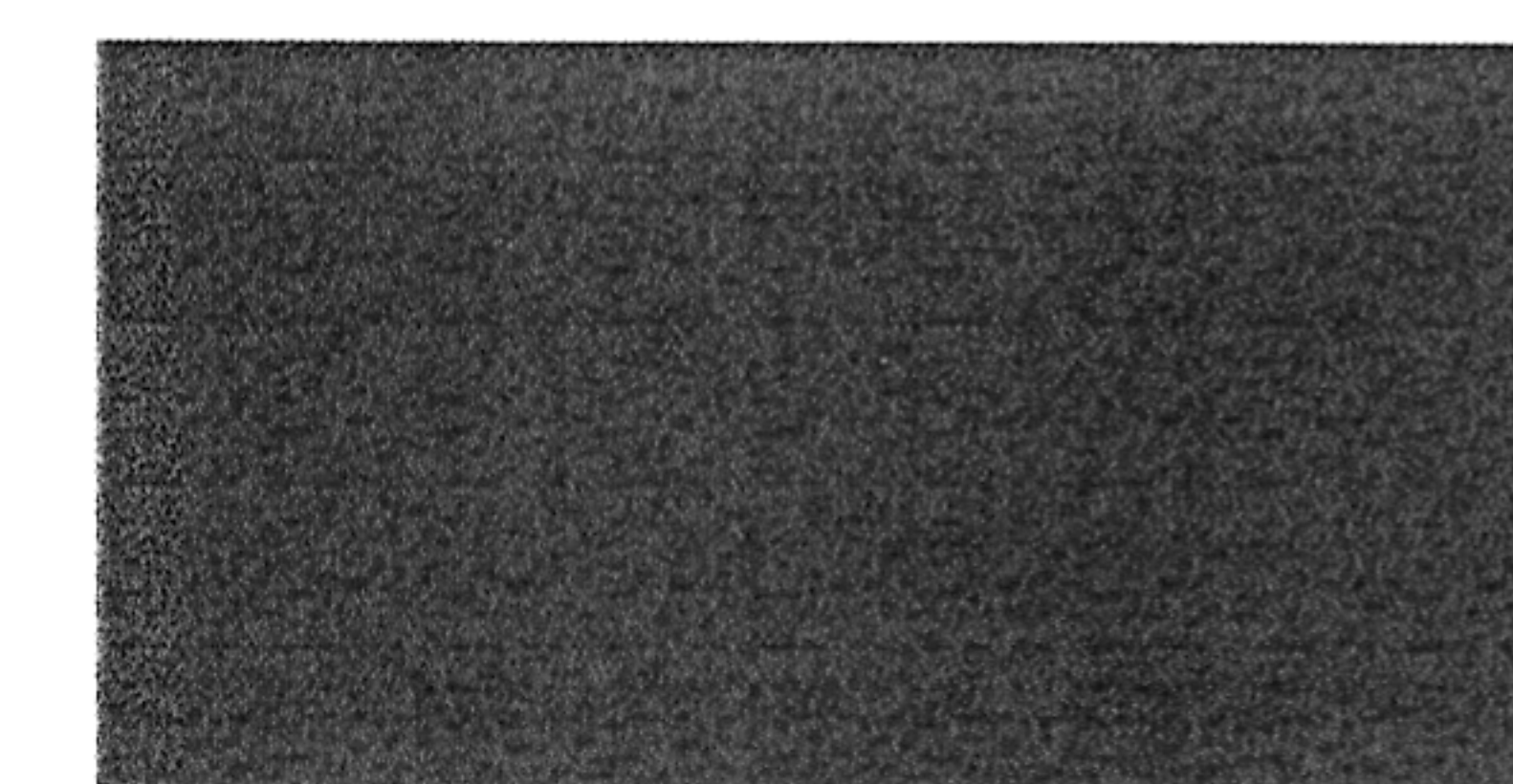
**SECONDARY STUCCO**  
Cottonwood  
115



**TRIM**  
Candle in the Wind  
DE5442



**FASCIA/GARAGE**  
Midnight Brown  
DE6210



**ACCENT**  
Treasure Chest  
DE6224

CONCEPTUAL ELEVATION  
3 - PLEX A ELEVATION  
SCHEME #1

ROOFING:  EAGLE  
ROOFING PRODUCTS

STUCCO:  El Rey  
Stucco

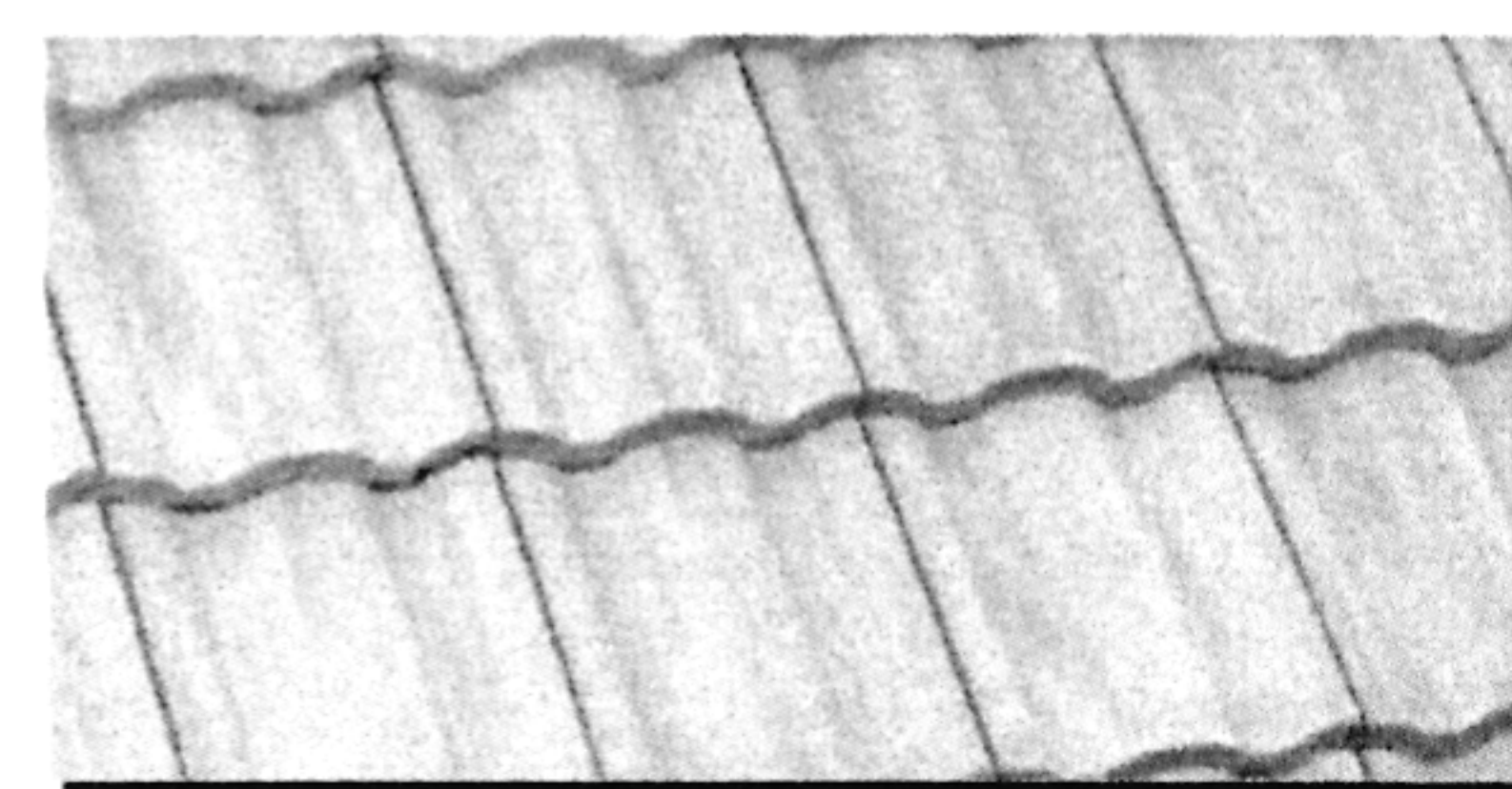
PAINT:  DUNN EDWARDS  
PAINTS

KTGY Job# 2006-1124

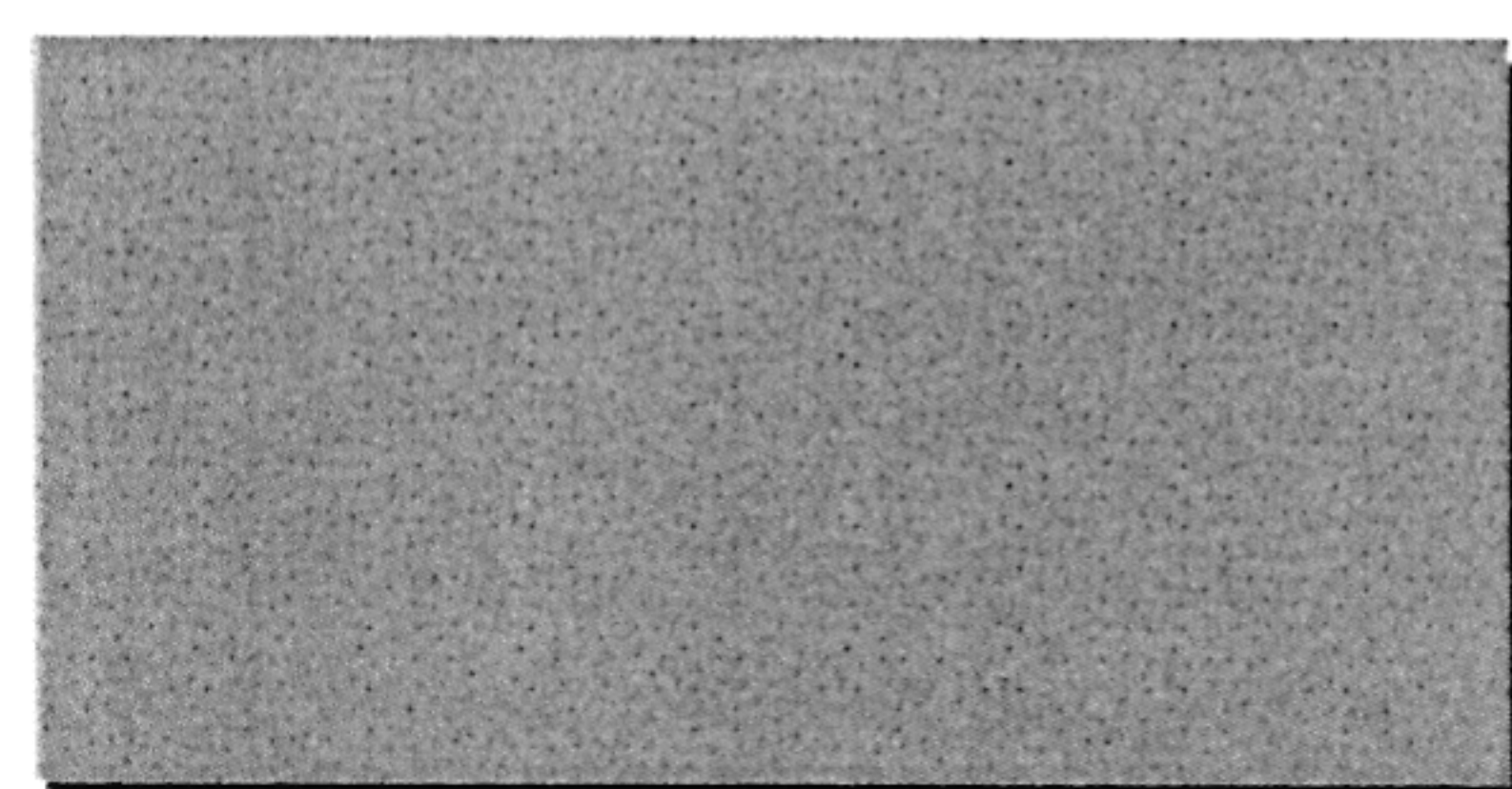


*Cantata @*  
**The Trails**  
Albuquerque, New Mexico





**ROOF**  
Weathered Adobe  
2530



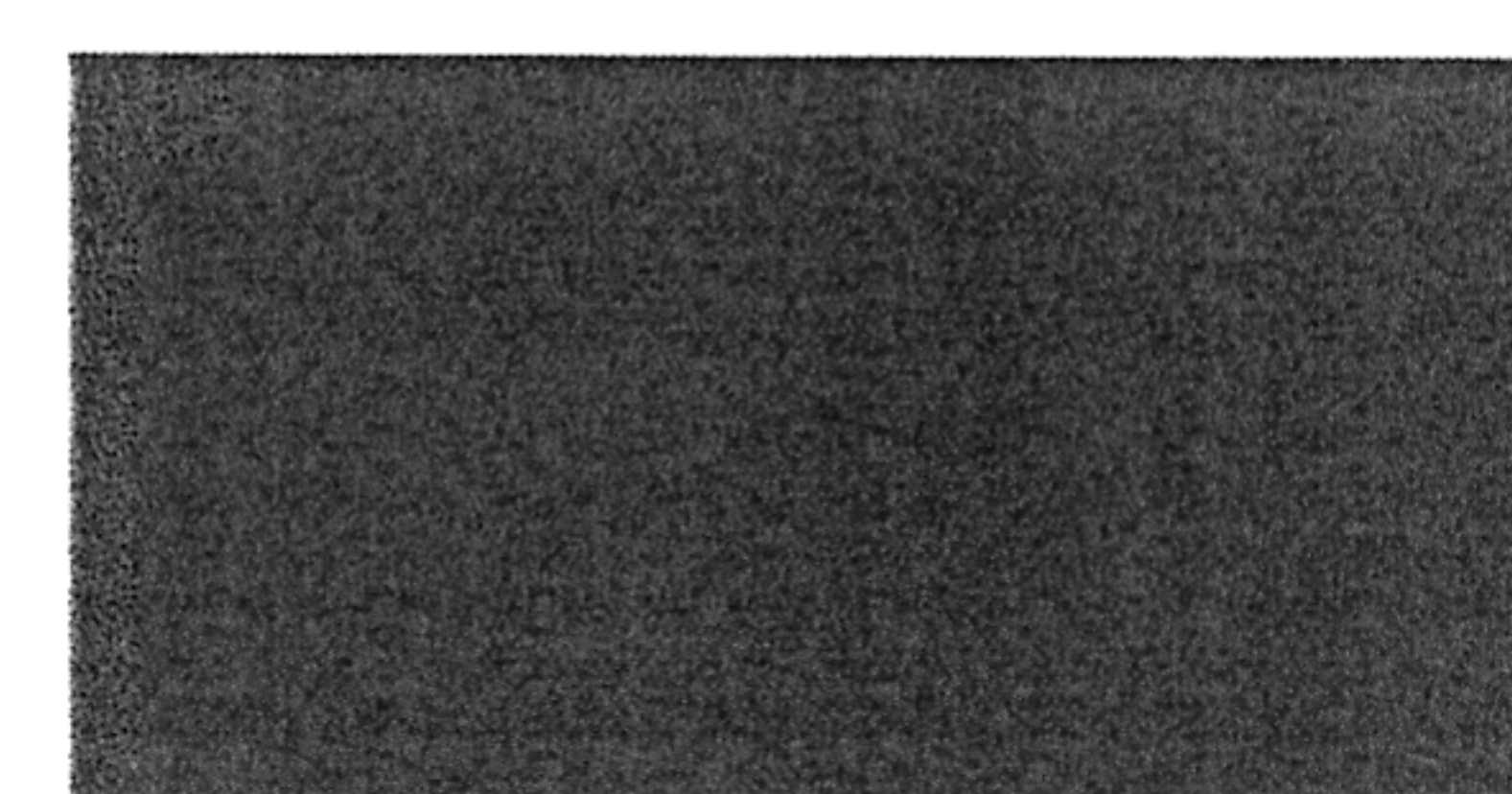
**PRIMARY STUCCO**  
Adobe  
116



**SECONDARY STUCCO**  
Straw  
122



**TRIM**  
Pale Beach  
DE6199




**FASCIA/GARAGE**  
Tea Bag  
DE6062



**ACCENT**  
Sunken Ship  
DEA148

CONCEPTUAL ELEVATION  
4 - PLEX B ELEVATION  
SCHEME #2

ROOFING: 

STUCCO: 

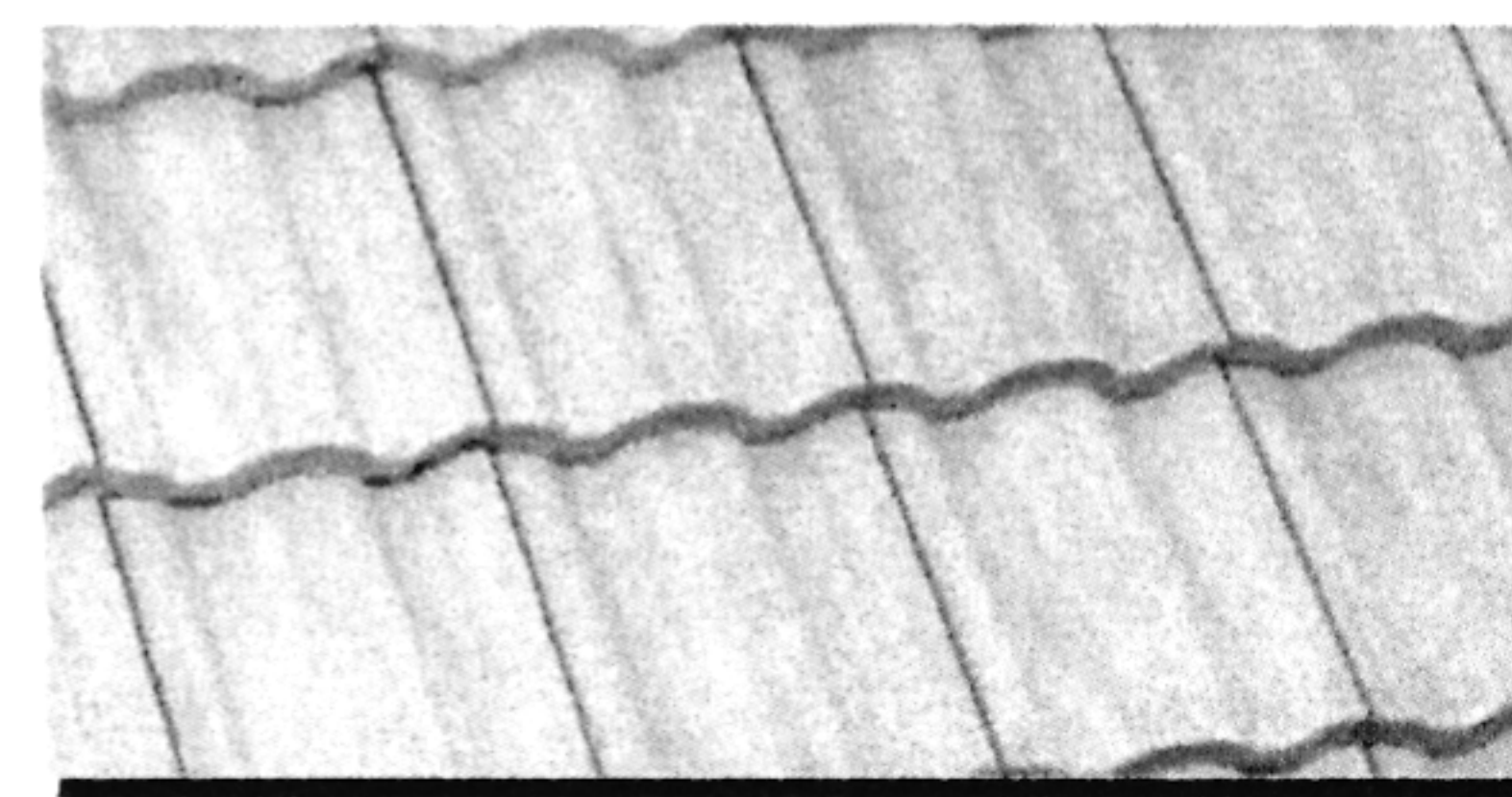
PAINT: 

KTGY Job# 2006-1124

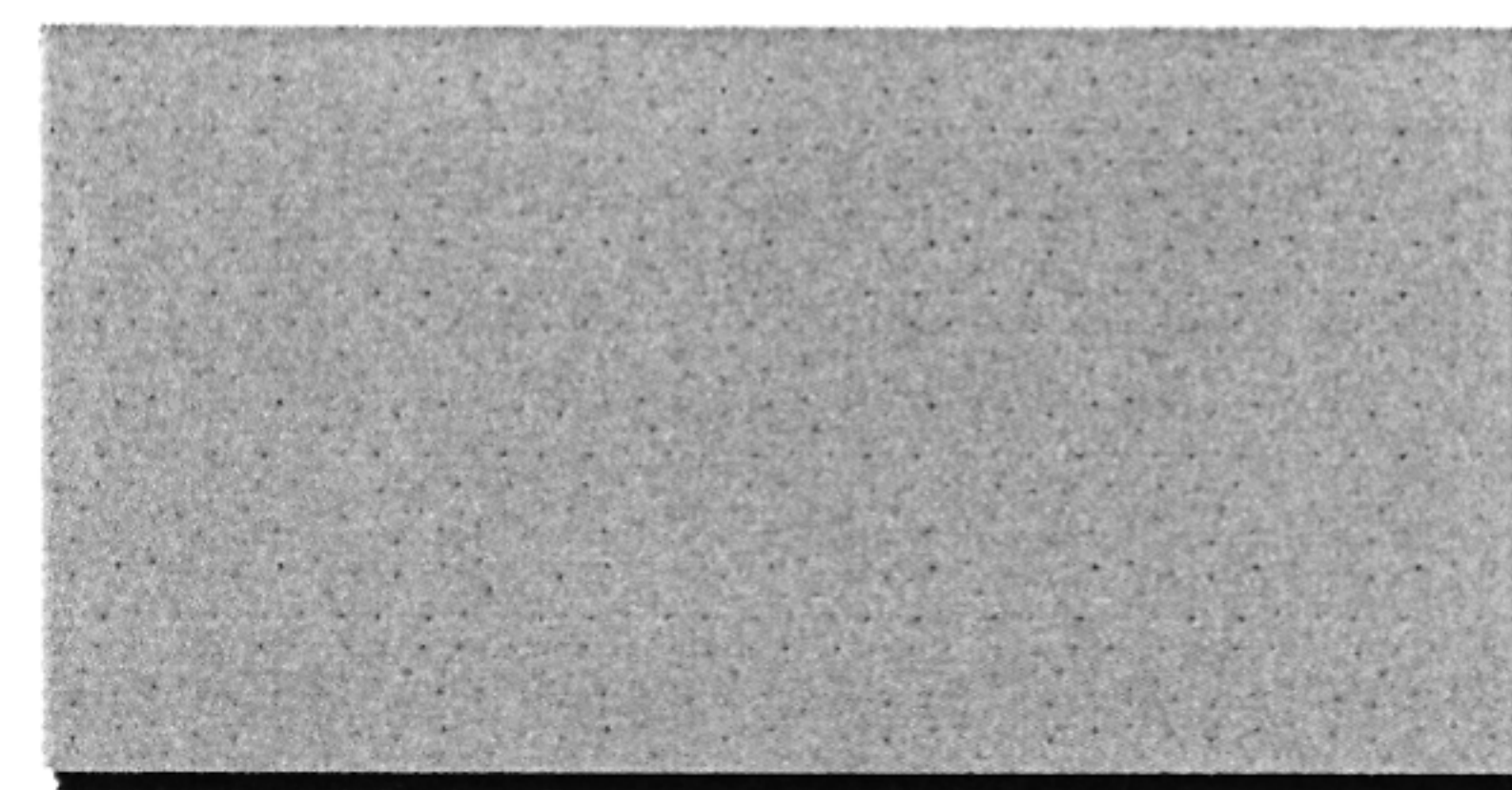


*Cantata @*  
**The Trails**  
Albuquerque, New Mexico

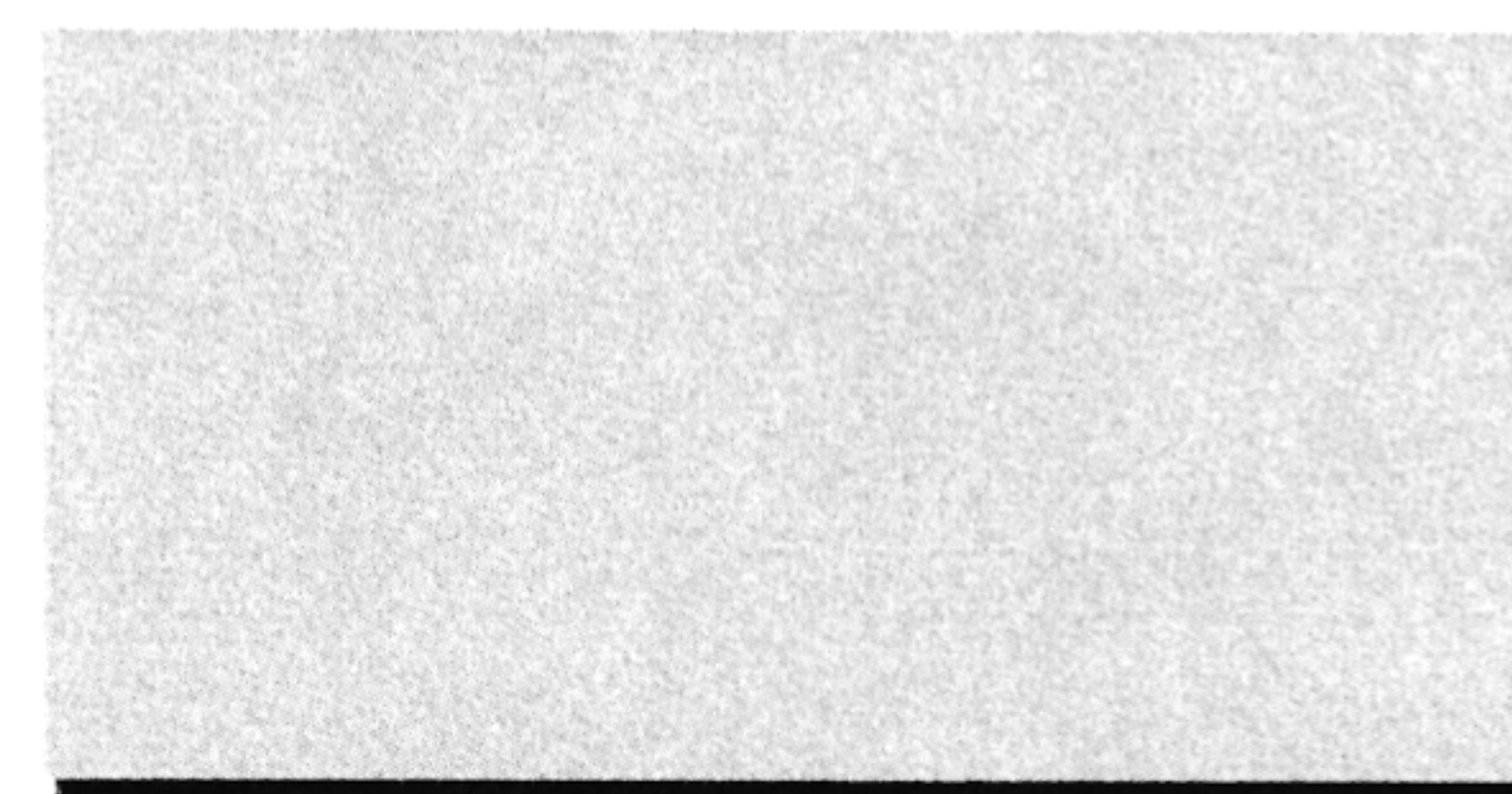




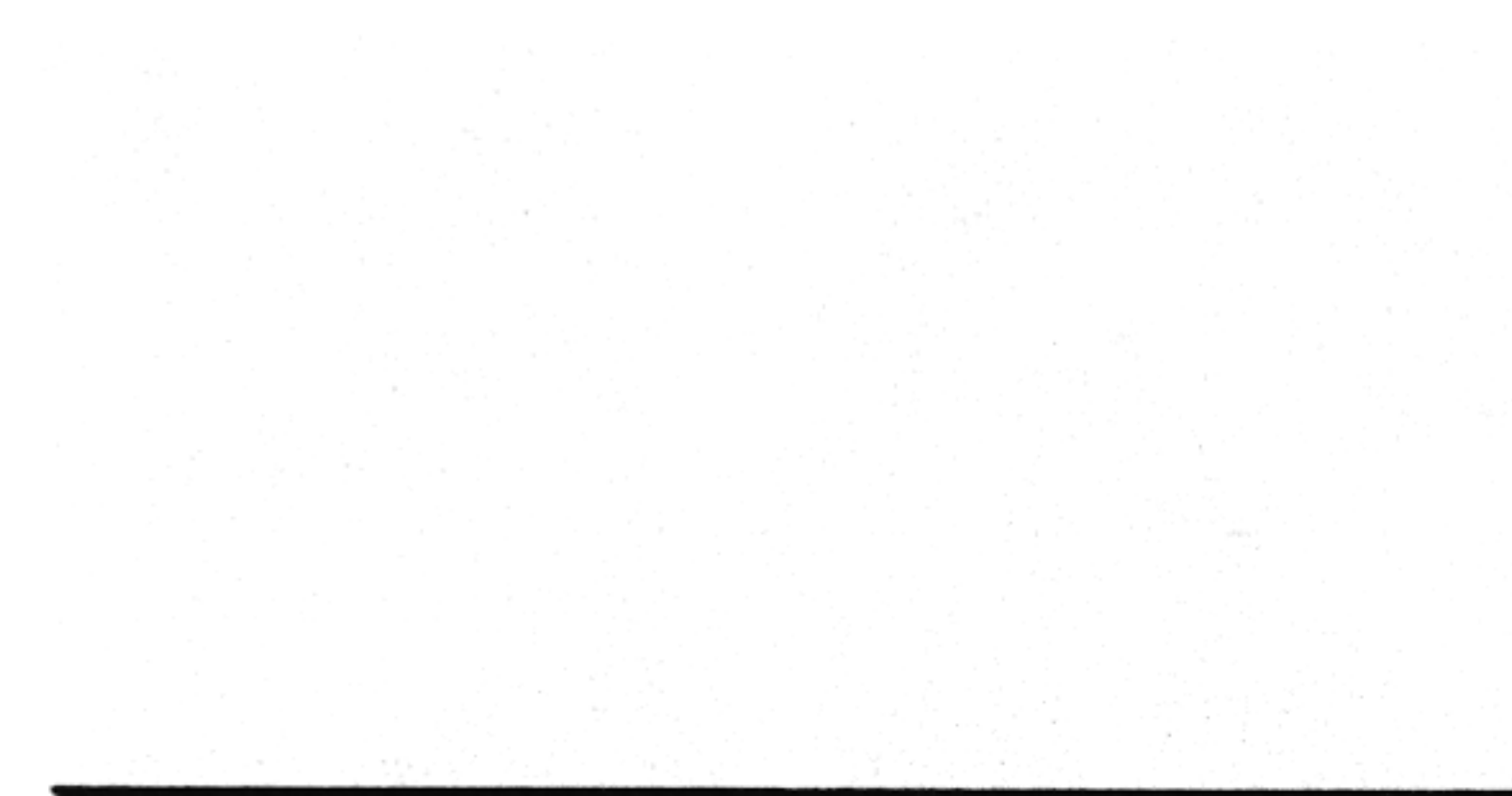
**ROOF**  
Weathered Adobe  
2530



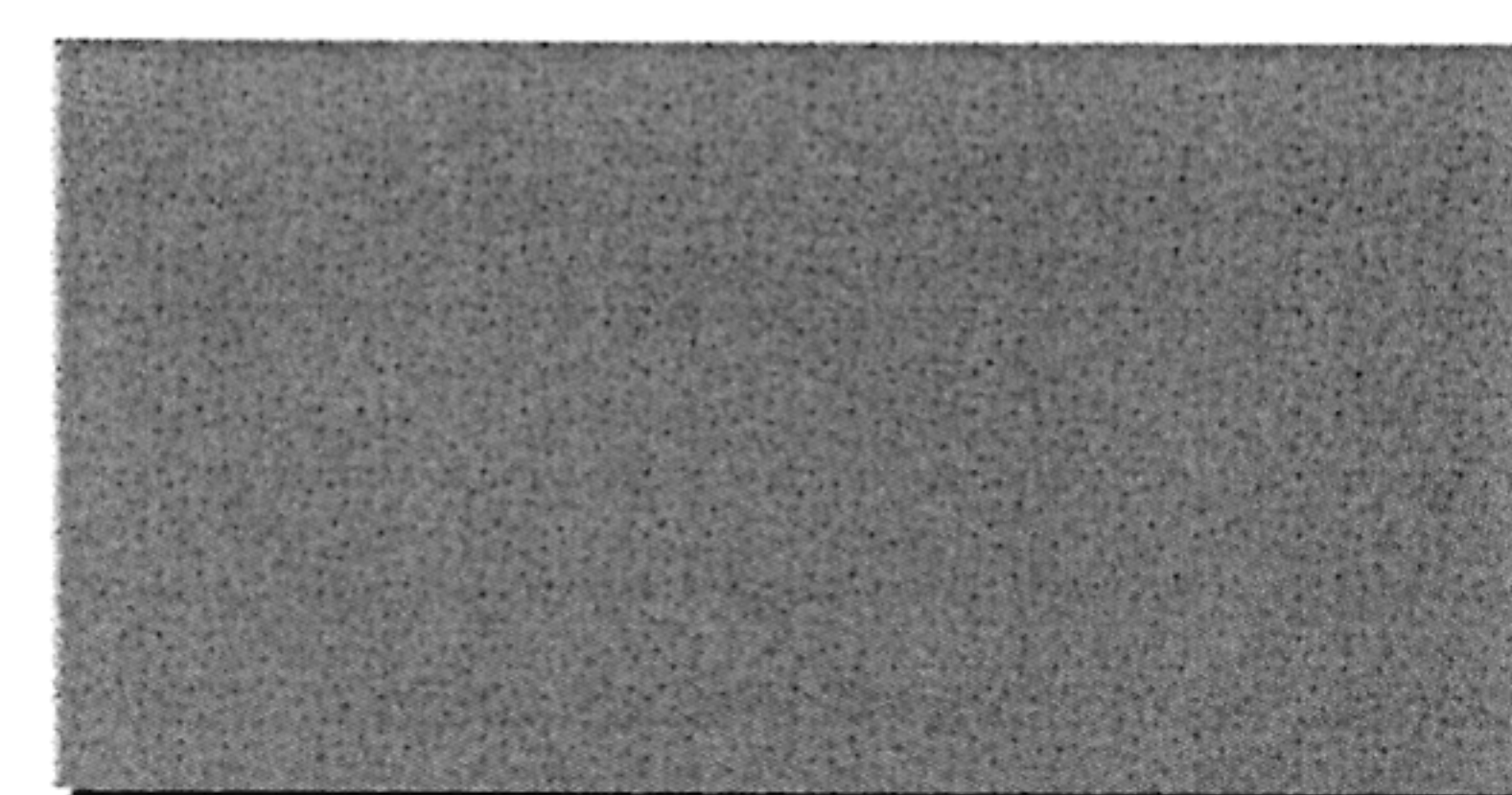
**PRIMARY STUCCO**  
Sahara  
135



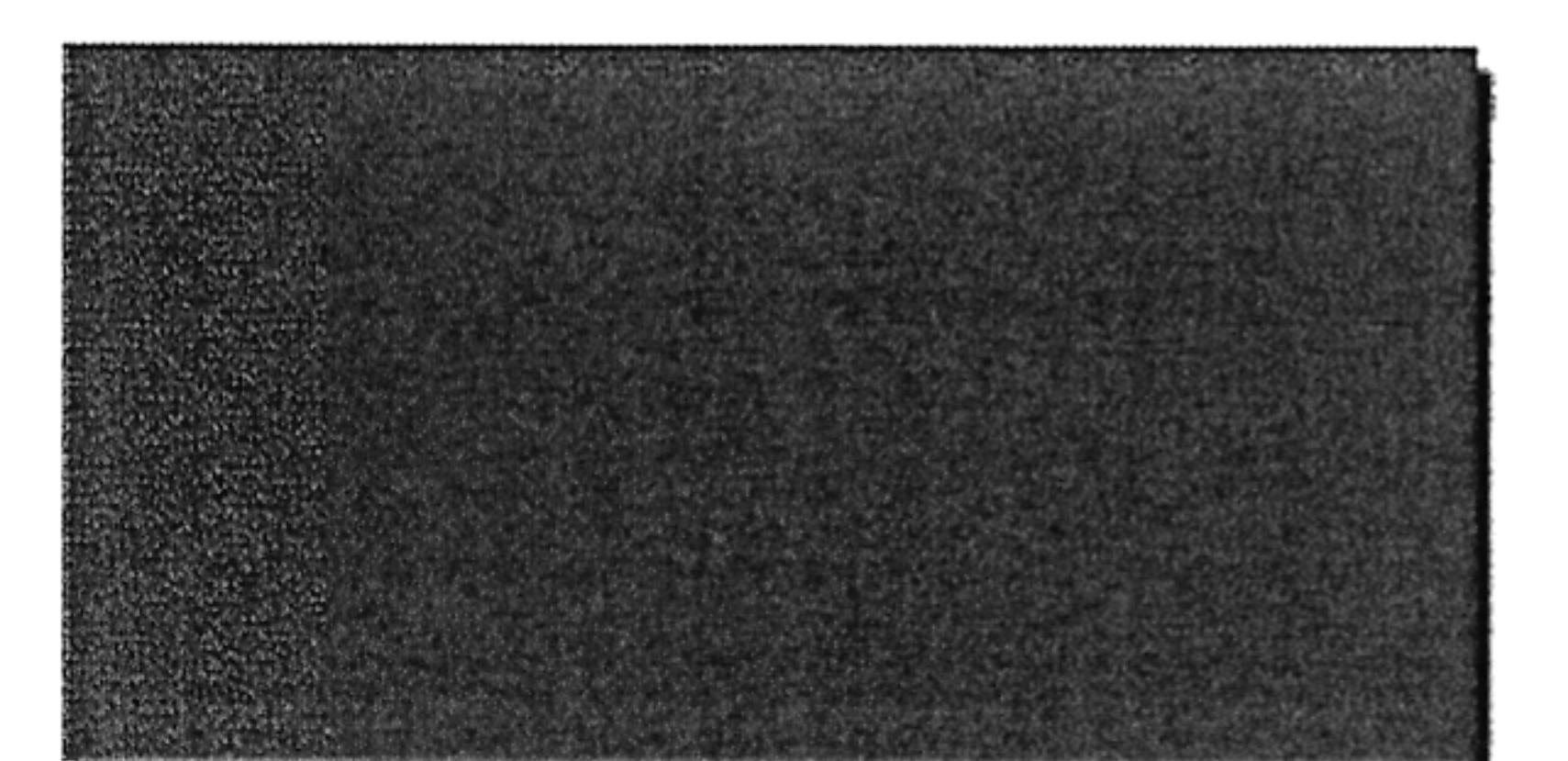
**SECONDARY STUCCO**  
Bamboo  
105



**TRIM**  
Summerville Brown  
DE6139



**FASCIA/GARAGE**  
Verona Beach  
DE6135



**ACCENT**  
Velvet Clover  
DE6293

CONCEPTUAL ELEVATION  
5 - PLEX B ELEVATION  
SCHEME #3

ROOFING: 

STUCCO: 

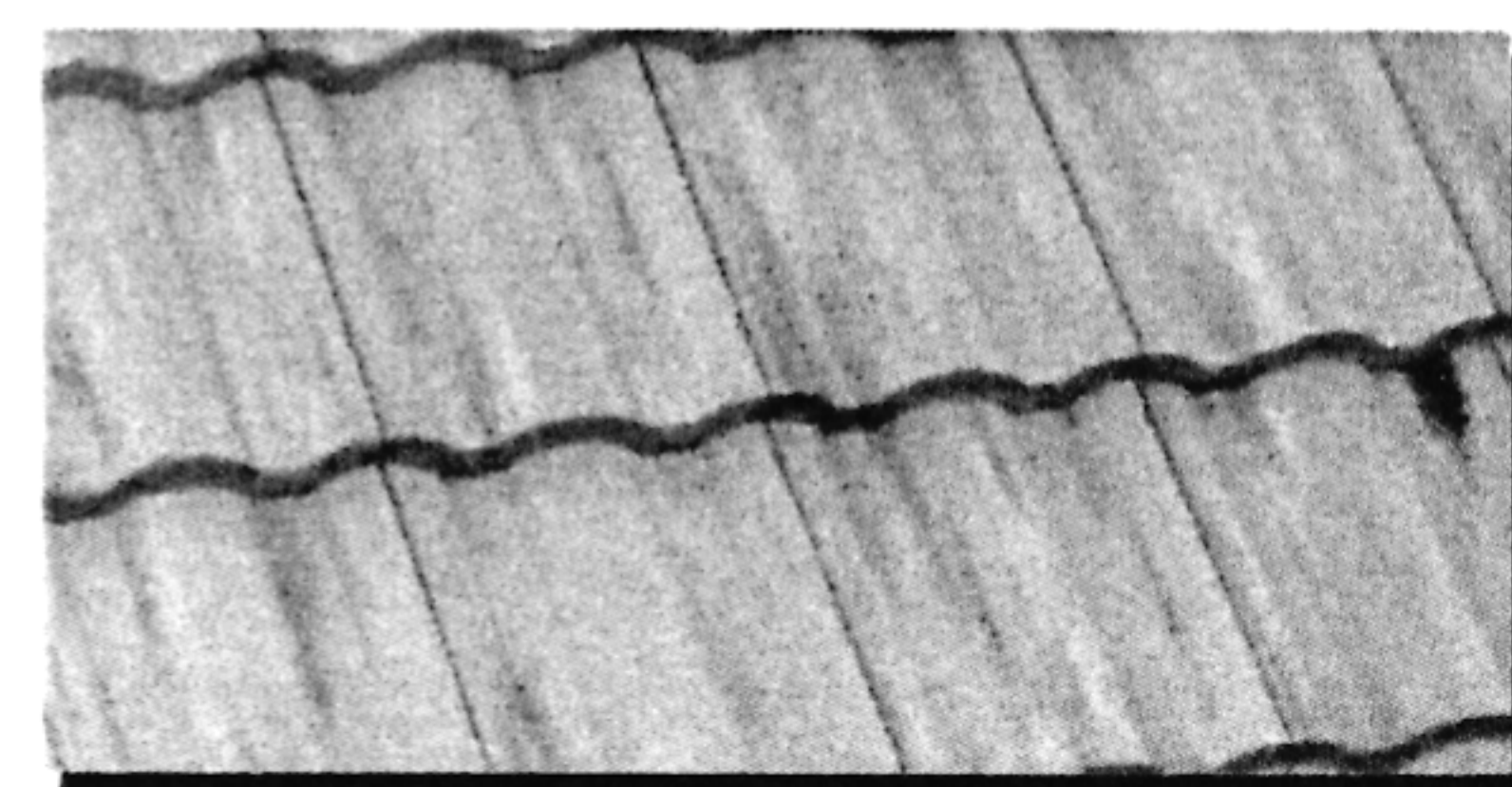
PAINT: 

KTGY Job# 2006-1124



*Cantata @*  
**The Trails**  
Albuquerque, New Mexico

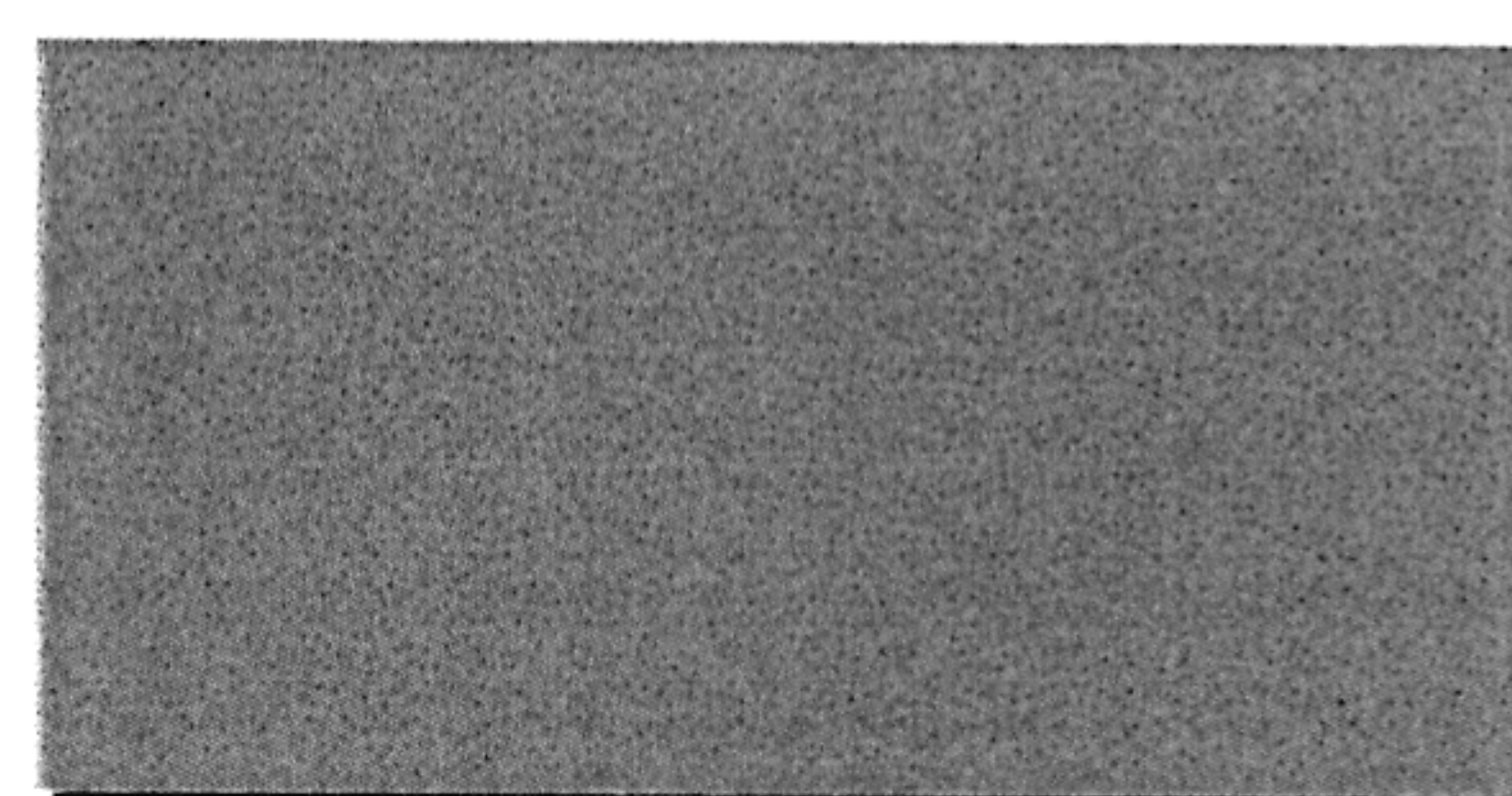




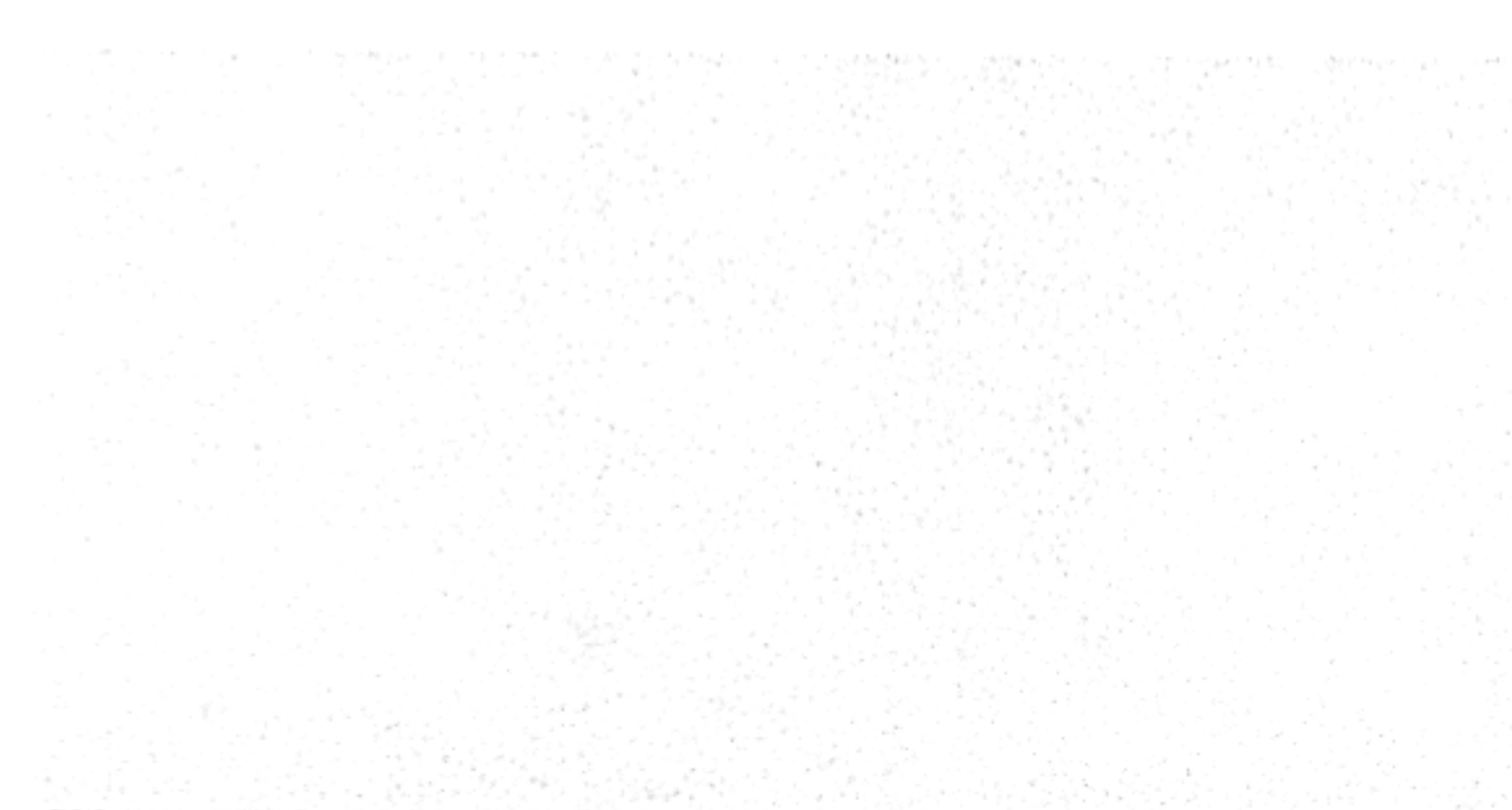
**ROOF**  
Sandstone Flashed  
2553



**PRIMARY STUCCO**  
Buckskin  
106



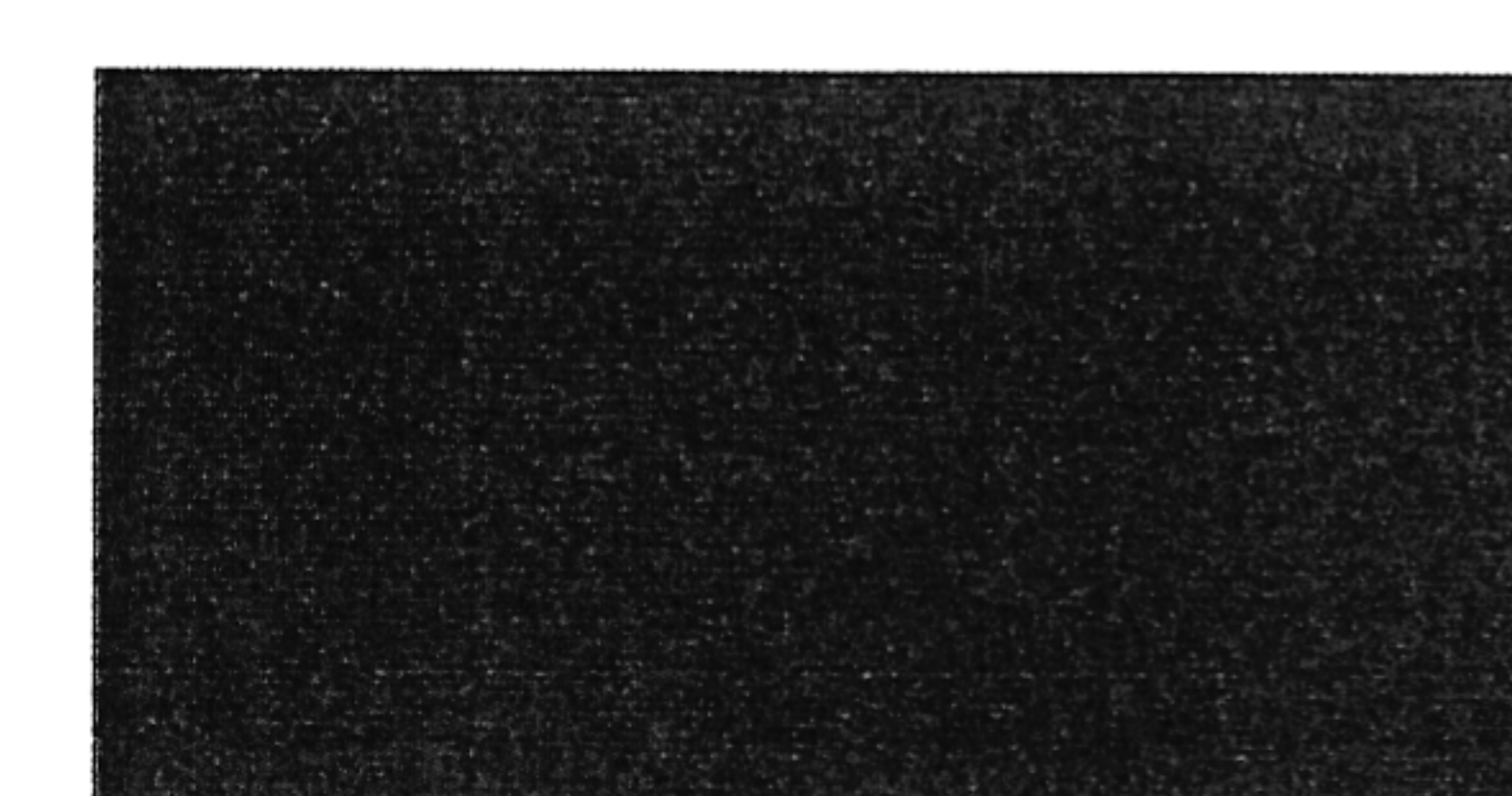
**SECONDARY STUCCO**  
La Luz  
125



**TRIM**  
Sand Dune  
DE6128





**FASCIA/GARAGE**  
Almond Latte  
DE6143



**ACCENT**  
Dark Pewter  
DE6314

CONCEPTUAL ELEVATION  
6 - PLEX A ELEVATION  
SCHEME #4

ROOFING:  **EAGLE!**  
ROOFING PRODUCTS

STUCCO:  **El Rey**  
Stucco

PAINT:  **Dunn Edwards**  
PAINTS

KTGY Job# 2006-1124



*Cantata @*

*The Trails*

*Albuquerque, New Mexico*



**KTGY GROUP, INC.**  
Architecture • Planning  
17992 Mitchell South, Irvine CA 92614  
T. (949) 851.2133 F. (949) 851.5156



# DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00358 (SBP)

Project # 1002962

Project Name TRAILS UNIT 2

Agent: J.S. ROGERS ARCHITECTS PC

Phone No.: \_\_\_\_\_

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/04/07 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \* LMD CAP RADII PER DPM

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: SHA

Scorpio  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): "SRBP" Title OR form

EPC 9A on signature block OR  
 \_\_\_\_\_  
 \_\_\_\_\_

**Planning must record this plat. Please submit the following items:**

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.

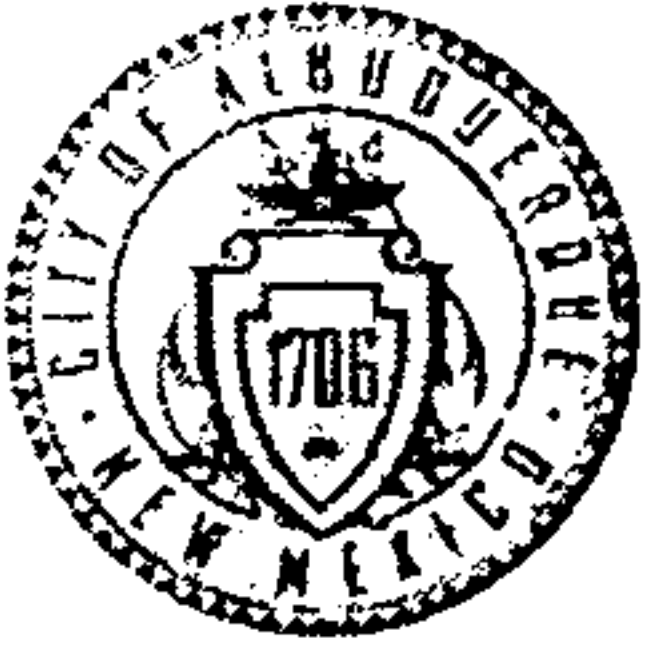
**3 copies of the approved site plan. Include all pages.**

- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1002962





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. . .  
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**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

April 4, 2007

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:00 P.M.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1002371**  
07DRB-00286 Major-One Year SIA

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or any portion of Tract(s) 1-A-1, Block(s) 15, **ALBAN HILLS**, zoned SU-1 FOR R-2 W/CHURCH RELATED USES located on LA ORILLA RD NW between COORS BLVD NW and the CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB-00286, 03DRB-02150, 05DRB-00560, 03DRB-02085, 03DRB-02086] (D-12) **ONE-YEAR SIA WAS APPROVED.**

2. **Project # 1000985**  
07DRB-00292 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for PALOMAS INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 1-A, Block(s) 12, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned SU-2 C-1 located on SAN PEDRO NE between PASEO DEL NORTE NE and PALOMAS NE. (D-18) **TWO-YEAR SIA WAS APPROVED.**

3. **Project # 1003790**  
07DRB-00297 Major-SiteDev Plan Subd  
07DRB-00298 Minor-Vacation of Private Easements  
07DRB-00299 Minor-Prelim&Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for MCT INDUSTRIES INC request(s) the above action(s) for all or any portion of Tract(s) B, C-1 & C-2, **NORTH GATEWAY**, zoned IP located on BALLOON FIESTA PARKWAY NE between SAN MATEO BLVD NE and I-25 NE containing approximately 23 acre(s). (B-18) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD AND FOUR COPIES OF THE PLAN. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT "B" IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 04/04/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/1/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: 61-FEET OF RIGHT-OF-WAY ON BALLOON FIESTA COURT IS REQUIRED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

4. **Project # 1004623**  
07DRB-00294 Major-SiteDev Plan  
BldPermit

BERENT GROTH ARCHITECT agent(s) for RAUL LOPEZ request(s) the above action(s) for all or any portion of Lot(s) 13-16, Block(s) 3, **ROMERO ADDITION**, zoned SU-1 for legal office and/or residence, located on 5<sup>TH</sup> ST NW between SUMMER NW and MCKINLEY NW containing approximately 1 acre(s). [Deferred from 4/4/07] (J-14) **DEFERRED AT THE AGENT'S REQUEST TO 4/25/07.**

5. **Project # 1002739**  
06DRB-01621 Major-Vacation of Public Easements  
06DRB-01622 Major-Vacation of Pub Right-of-Way  
06DRB-01623 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118<sup>TH</sup> ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] [Deferred from 12/6/06, 12/13/06 & 12/20/06] [Deferred from 1/3/07, 1/10/07, 1/17/07, 1/24/07, 1/31/07, 2/7/07, 2/21/07, 3/07/07 & 03/21/07 & 4/4/07] (P-8) **DEFERRED AT THE BOARD'S REQUEST TO 4/11/07.**

6. **Project # 1002984**  
07DRB-00238 Major-Vacation of Pub Right-of-Way

SANDRA LEVINSON & HAROLD GILL request(s) the above action(s) for all or any portion of Lot(s) 6, Block(s) 7, **VOLCANO CLIFFS, UNIT 2**, zoned R-1 located on KIBO DR NW between RIMROCK DR NW and SHIPROCK CT NW containing approximately 1 acre(s). [Deferred from 3/28/07] (E-10) **WITHDRAWN AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. ~~Project # 1002962~~  
07DRB-00358 Minor-SiteDev Plan  
BldPermit/EPC

J. S. ROGERS ARCHITECTS PC agent(s) for THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS request(s) the above action(s) for all or any portion of Tract(s) 10, **TRAILS, UNIT 2**, zoned SU-1 FOR CHURCH located on WOODMONT AVE NW between RAINBOW BLVD NW and UNIVERSE NW containing approximately 5 acre(s). [Carmen Marrone for David Stallworth, EPC Case Planner] (C-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/4/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES AND TRANSPORTATION DEVELOPMENT FOR MINOR CORRECTIONS ON THE 15-FOOT END CAP RADII.**

8. **Project # 1005360**  
07DRB-00372 Minor-SiteDev Plan  
BldPermit

KENT TRAUERNICHT agent(s) for STEVE SCHAUK request(s) the above action(s) for all or any portion of Lot(s) 45, **ALAMEDA BUSINESS PARK**, zoned SU-2 FOR IP-EP located on CALLE ALAMEDA NE , between PASEO ALAMEDA NE and ALAMEDA PARK DR NE containing approximately 1 acre(s). [REF: 07ZHE-00120] *[Deferred from 4/4/07]* (C-16) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

9. **Project # 1000504**  
07DRB-00378 Minor-SiteDev Plan  
BldPermit

NCA ARCHITECTS agent(s) for JEFFERSON PLAZA LLC request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP, located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 6 acre(s). [REF: 07DRB-00364] *[Indef deferred from 4/4/07]* (E-17) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

07DRB-00364 Minor-Prelim&Final Plat  
Approval

SURV-TEK INC agent(s) for CINCO BISCO LIMITED request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 9 acre(s). [REF: 00DRB-00608] *[Indef deferred from 4/4/07]* (E-17) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

10. **Project # 1001523**  
07DRB-00341 Minor-SiteDev Plan  
BldPermit

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or any portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1-IP FOR LIGHT INDUSTRIAL USES located on UNSER BLVD NW between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] *[Deferred from 3/28/07 & 4/4/07]* (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

07DRB-00207 Minor-Prelim&Final Plat  
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] *[Deferred from 2/28/07] [Indef deferred from 3/14/07] [Deferred from 3/28/07 & 4/4/07]* (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

#### MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1004178**  
07DRB-00374 Minor-Ext of SIA for Temp  
Defer SDWK

GARCIA KRAEMER & ASSOCIATES agent(s) for NM ONE CALL request(s) the above action(s) for all or any portion of Tract(s) G-1 & G-2, Block(s) 27, **MESA VILLAGE**, zoned O-1 located on EUBANK BLVD NE between LOMAS BLVD NE and WALKER NE containing approximately 2 acre(s). [REF: 05DRB01013, 07DRB00018] (J-20) **A TWO-YEAR EXTENSION TO THE FOUR YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

12. **Project # 1000572**  
07DRB-00383 Major-Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or any portion of Tract(s) A, THE PRESIDIO (to be known as **THE PRESIDIO, UNIT 1**) zoned SU-1 PRD located on CHICO RD NE between EUBANK BLVD NE and MORRIS ST NE containing approximately 24 acre(s). [REF: 06DRB01714, 06DRB01715, 06DRB01783, 06DRB01778, 06DRB01779, 06DRB01781] (K-21) **FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR THE HOMEOWNERS ASSOC.SIGNATURE, CORRECTED ZONING, MASTER COVENANTS RECORDING DATE ON THE PLAT AND TO RECORD.**

13. **Project # 1003928**  
07DRB-00394 Minor-Subd Design (DPM)  
Variance  
07DRB-00395 Minor-Sidewalk Variance

SURVEYS SOUTHWEST agent(s) for JIM MOCHO request(s) the above action(s) for LOT 16D **TOHATCHI ADDITION & LOT 12, BLOCK C, J. M. MOORE REALTY COMPANY'S 3RD ADDITION**, zoned R-1 residential zone located on MOUNTAIN RD NW between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 1 acre(s). [REF: 06DRB01203] (J-13) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT "C" IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT "C" IN THE PLANNING FILE.**

07DRB-00068 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for JIM MOCHO request(s) the above action(s) for LOT 16D, **TOHATCHI ADDITION & LOT 12, BLOCK C, J M MOORE REALTY COMPANY'S 3RD ADDITION**, zoned R-1 residential zone, located on MOUNTAIN RD NW, between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 1 acre(s). [REF: 06DRB01203] *[Deferred from 1/31/07 & Indef deferred on 2/14/07]* (J-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/4/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/8/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS: A 30-FOOT PUBLIC WATER AND SEWER EASEMENT IS REQUIRED. A 6-FOOT DEDICATION ALONG MOUNTAIN ROAD IS REQUIRED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

14. **Project # 1005458**  
07DRB-00379 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for DAN MUNIZA request(s) the above action(s) for all or any portion of Tract(s) Q, **TOWN OF ATRISCO GRANT, NORTHERN UNIT**, zoned C-1/P located on COORS RD NW between REDLANDS RD NW and ATRISCO DR NW containing approximately 4 acre(s). [*Indef deferred from 4/4/07*] (G-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

15. **Project # 1002176**  
07DRB-00393 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for CASH FLOW PROPERTIES LLC request(s) the above action(s) for all or any portion of Lot(s) 51-P1 & 52-P, **COVERED WAGON SUBDIVISION**, zoned SU-1 FOR SINGLE FAMILY RES located on COVERED WAGON AVE SE between LANIER DR SE and WATERFALL DR SE containing approximately 1 acre(s). [*Shown under Project 1005466 in error.*] (L-23) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

16. **Project # 1004355**  
07DRB-00351 Minor-Prelim&Final Plat  
Approval

WILSON & COMPANY INC agent(s) for KB HOME NEW MEXICO request(s) the above action(s) for all or any portion of Lot(s) 16-21, Block(s) 6, **VISTA VIEJA SUBDIVISION, UNIT 2**, zoned R-D located on TIERRA VIEJA ST NW between HAWK EYE RD NW and GO WEST RD NW containing approximately 1 acre(s). [REF: 06DRB01340] (D-9) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT FOR LOCATION OF METER BOXES AND PLANNING TO RECORD THE PLAT.**

17. **Project # 1004994**  
07DRB-00382 Minor-Prelim&Final Plat  
Approval
- MARK GOODWIN & ASSOCIATES PA agent(s) for COLLATZ-PICKARD LLC request(s) the above action(s) for all or any portion of Anasazi Ridge, Unit 1, Tract E and Tract A, Seville Subdivision, Unit 7A (to be known as **ANASAZI RIDGE, UNIT 1A**) zoned R-1 located on MCMAHON BLVD NW between ANASAZI RIDGE AVE NW and BASKET WEAVER PL NW containing approximately 1 acre(s). (A-10) **INDEFINITELY DEFERRED ON A NO SHOW.**
18. **Project # 1005132**  
07DRB-00386 Minor-Prelim&Final Plat  
Approval  
07DRB-00385 Minor-Vacation of Private  
Easements
- PRECISION SURVEYS INC agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or any portion of Tract(s) B & C, (to be known as **PASEO NUEVO 2, TRACTS B-1 & C-1**) zoned SU-2, 0-1 located on HOLLY AVE NE, between SAN PEDRO DR NE and VILLE CT NE containing approximately 2 acre(s). [REF: 07DRB00137] (C-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO THE TRANSPORTATION DEVELOPMENT TO CORRECT - CROSS-ACCESS EASEMENT. THE VACATION OF THE PRIVATE EASEMENT(S) WAS APPROVED AS SHOWN ON EXHIBIT "B" IN THE PLANNING FILE.**
19. **Project # 1005363**  
07DRB-00346 Minor-Prelim&Final Plat  
Approval
- TERRAMETRICS OF NEW MEXICO agent(s) for GIL CORDOVA request(s) the above action(s) for all or any portion of the north half of Lot(s) 33, **ALVARADO GARDENS, UNIT 3**, zoned RA-2 located on RIO GRANDE BLVD NW between CANDELARIA RD NW and GRIEGOS RD NW containing approximately 2 acre(s). [Deferred from 3/28/07] (G-12 & G-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/4/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**



**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

20. **Project # 1004071**  
07DRB-00376 Minor-Sketch Plat or Plan
- JEFF MORTENSEN & ASSOCIATES INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS & NEW MEXICO STATE LAND OFFICE request(s) the above action(s) for all or any portion of Tract(s) C, **ANCIENT MESA**, zoned RO-20 located on RAINBOW BLVD NW between COMPASS DR NW and PETROGYLPH NATIONAL MONUMENT containing approximately 144 acre(s). [REF: 05DRB00511, 05DRB00512, 05DRB00513] (C-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
21. **Project # 1005456**  
07DRB-00373 Minor-Sketch Plat or Plan
- FAITH HOME BUILDERS INC request(s) the above action(s) for all or any portion of Lot(s) 1-8, Block(s) 4, **ESPERAZA ADDITION**, zoned C-1 located on SAN MATEO BLVD SE between SOUTHERN AVE SE and KATHRYN SE containing approximately 1 acre(s). (L-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
22. **Project # 1005459**  
07DRB-00380 Minor-Sketch Plat or Plan
- RAIMUND MCCLAIN agent(s) for KRISTINA YU request(s) the above action(s) for all or any portion of Lot(s) 12 & 13, **RIDGECREST ADDITION**, zoned R-2 located on ROSS PLACE SE, between JACKSON SE and CREST SE containing approximately 1 acre(s). (L-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. **Project # 1005460**  
07DRB-00384 Minor-Sketch Plat or Plan

PLAZA SURVEYS agent(s) for NICOLAS PACHECO request(s) the above action(s) for all or any portion of Tract(s) 36B1, **M.R.G.C.D. MAP #35**, zoned RA-2 located on MOYA NW between GABALDON NW and LOS LUCEROS NW containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

24. **Project # 1005461**  
07DRB-00387 Minor-Sketch Plat or Plan

EDWARD GABALDON agent(s) for BERLINDA GABALDON request(s) the above action(s) for all or any portion of Lot(s) 15, Block(s) 4, **MELENDRES SUBDIVISION**, zoned R-3 located on PALOMAS SE between ANDERSON SE and KATHRYN SE containing approximately 1 acre(s). (L-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

25. **Project # 1005467**  
07DRB-00392 Minor-Sketch Plat or Plan

MATTHEW COHEN request(s) the above action(s) for all or any portion of Tract(s) 283A, **M.R.G.C.D. MAP #38**, zoned R-1 located on MOUNTAIN RD NW, between CONSUELO PL NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1005462**  
07DRB-00388 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or any portion of Tract(s) 2A, **INDIAN RIDGE SUBDIVISION**, zoned O-1 located on MENAUL BLVD NE between JUAN TABO BLVD NE and CHELWOOD PARK BLVD NE containing approximately 2 acre(s). (H-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

27. **Project # 1005463**  
07DRB-00389 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for YUNG T HSIEH request(s) the above action(s) for all or any portion of Lot(s) 4, **LANDS OF LW BARRETT**, zoned RD (9 DU ACRE) located on SAGE RD SW, between 86<sup>TH</sup> ST SW and SAN IGNACIO RD SW containing approximately 2 acre(s). (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

28. **Project # 1005464**  
07DRB-00390 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for ESMAIL HAIDARI request(s) the above action(s) for all or any portion of Lot(s) 32, Tract(s) A, **NORTH ALBUQUERQUE ACRES**, zoned R-LT residential zone located on PALOMAS AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). (D-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

29. **Project # 1005465**  
07DRB-00391 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for DUKE CITY DISTRIBUTING request(s) the above action(s) for all or any portion of Tract(s) C, SOUTH BROADWAY INDUSTRIAL ACRES (to be known as **DUKE CITY SUBDIVISION**) zoned SU-2 HM located on WOODWARD RD SE, between BROADWAY BLVD SE and 2ND ST SE containing approximately 4 acre(s). (M-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

30. Approval of the Development Review Board Minutes for March 28, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR MARCH 28, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:00 P.M.

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002962**

**AGENDA ITEM NO: 7**

**SUBJECT:**

Site Plan for Building Permit

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

No adverse comments.

An approved SIA with Financial Guarantee(s) is required prior to site plan approval.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**RESOLUTION:**    Signed IL

APPROVED ; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

(3 SIA,  
copies)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** APRIL 4, 2007

(C-9/D008)

**J · S · ROGERS ARCHITECTS · PC**

821 Mountain Road NW · Albuquerque · NM 87102 T. 505-247-1168 F. 505-247-0262

**MEMO**

Date: March 29, 2007  
Project: 1002962 - LDS Ventana Ward Meetinghouse  
To: DRB Board Members  
From: Josh Hilton – J.S. Rogers Architects

---

Ladies and Gentlemen,

The information you received today, consisting of a revised Site, Grading and Landscape plan for the above referenced project, is included herein for your review, and intended to supplement the initial submittal referenced above. Our office met with Mr. Brito to discuss the submittal, and as a result of this meeting we have altered the plan to accommodate Mr. Brito's concerns. The modification is to the crosswalks in vehicular areas. Our initial plans indicated these were to be painted asphalt crosswalks, but upon review of the EPC Conditions Mr. Brito noted that the crosswalks are required to be in an alternate material from the standard asphalt (Item 6.c of Notice of Decision). Upon further discussion, it was agreed that the crosswalks could be located in areas paved with concrete, provided a control joint pattern in keeping with that of sidewalks, and be striped with paint. Additionally, it would be indicated on the plans that striping is to be maintained on an annual basis. We have made the following modifications to the plans in response to this issue:

- Added clarification to intended concrete paving.
- Added notation to indicate typical crosswalk treatment.
- Removed the crosswalk from the main south entrance to the building.
- Added crosswalk access to storage shed on south.
- Added general note addressing striping maintenance requirement.

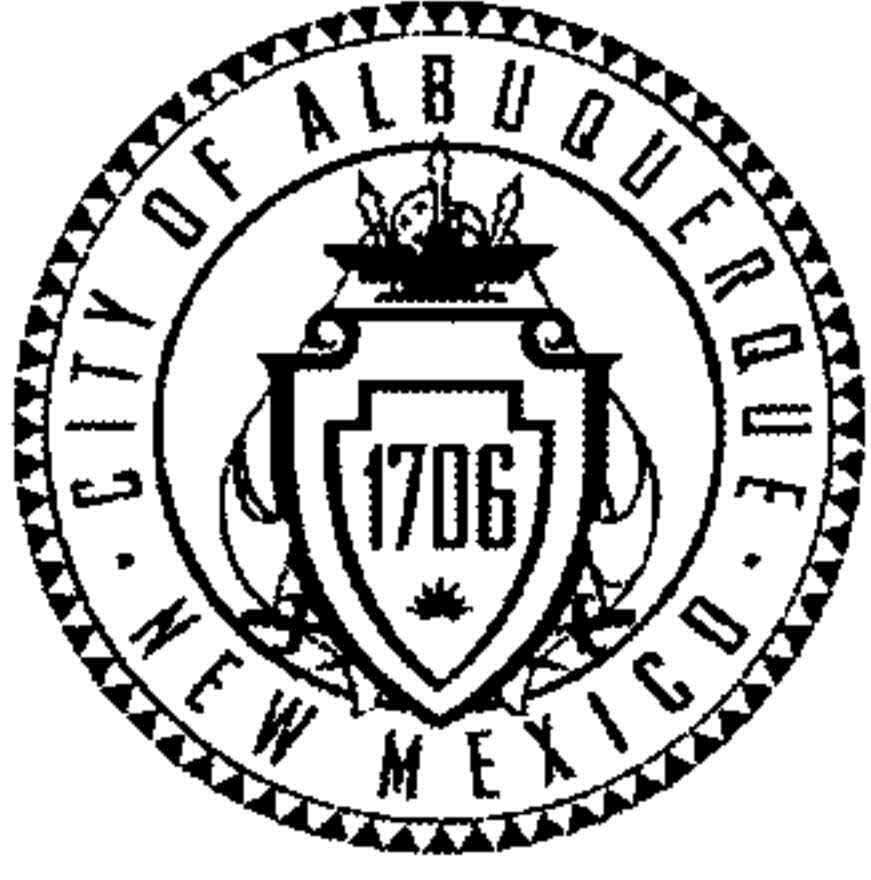
The Drainage and Landscape plans have not changed, other than to reflect our modification.

Thank you for your consideration of this information.

Cc: File

0514\PRELIM\MEMO8\0514-DRB





**City of Albuquerque  
Planning Department  
Interoffice Memo**

#7

**Date:** 2 April 2007

**To:** Sheran Matson, DRB Chair

**From:** Russell Brito, Dev. Rvw. Div. Mngr.

Handwritten initials "RB" in black ink.

**RE:** Project # 1002962

The applicant met with EPC staff on 29 March 2007. The submitted site development plan for building permit meets all EPC conditions of approval.

*Title on SP sheet.*

*EPC A on signature block.*



**J · S · ROGERS ARCHITECTS · PC**

821 Mountain Road NW, Albuquerque, NM 87102 T: 505-247-1168 F: 505-247-0262

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Thank you for your consideration of this information.

Cc: File

0514\PRELIM\MEMO8\0514-DRB

**LDS VENTANA WARD MEETINGHOUSE**  
**DRB SUBMISSION - EPC PROJECT NO.: 1002962**

March 20, 2007

Ms. Sheran Matson  
DRB Chair  
City Of Albuquerque  
600 Roma NW  
Albuquerque, NM 87102

Dear Ms Matson:

Per Development Review Board requirements for final sign-off for E.P.C. approved site development plan for building permit, the following conditions imposed by the E.P.C. in the Official Notice of Decision issued on December 15, 2005, have been addressed as described on the drawings and herein.

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

*The applicant understands that the DRB has final sign-off authority over the site development plan included in this submittal. This letter shall serve to explain the modifications to the site plan since the EPC hearing and conditions imposed therein.*

2. Prior to DRB sign-off, the applicant shall meet with the staff planner to ensure that any conditions of approval are adequately addressed.

*The applicant met with Senior Planner Carmen Marrone on September 19, 2006, to review the site plan modifications. Ms. Marrone indicated at the time that the plan appeared to address the EPC Conditions adequately. There were four items Ms. Marrone indicated should be included or incorporated into the site plan, all of which have been addressed, as follows:*

- a. *The Location Map on sheet SD1.1 should show a larger area.*
- b. *A drawing should be included to describe concrete benches.*
- c. *Bicycle and motorcycle parking should be added to parking tabulations.*
- d. *Access sidewalk from the neighborhood to the east should be widened from 6 feet to 8 feet.*

3. All observed format-related deficiencies brought to the attention of the applicant by the staff planner shall be satisfactorily addressed on the final site plan. Correct legal descriptions for all new divisions of land within the project area shall be reflected on the final site plan. All site layouts shall be consistent on all sheets of the final site plan submittal.

*The applicant has addressed all deficient items noted either in the Notice of Decision or in meetings with staff planners.*

4. Conditions of approval for the proposed Site Development Plan for Subdivision and Site Development Plan for Building Permit shall include:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (Std. Dwg. 2430), driveways (Std. Dwg. 2425), private entrances (Std. Dwg. 2426), and wheel chair ramps (Std. Dwg. 2441).

*Infrastructure adjacent to the proposed site development plan has been provided, or is guaranteed by, The Trails LLC as a portion of the Trails Unit 2 development. Please refer to the attached letter from Longford Homes LLC regarding future construction of Indian Hills Road to the East of the project site.*

- b. Define land configurations, including medians and turn bays, for Rainbow Boulevard, Woodmont Avenue, and the intersection of both. This is necessary for locating the site drives in the proper location, which are being assumed as full access.

*All configurations are indicated on the site plan as requested. Following a site plan review with Wilfred Gallegos of Transportation Development it was determined that only the Woodmont Avenue site drive will have full access while a right-in right-out configuration will be constructed on Rainbow Boulevard. All site drives have been located at the proper distances from nearby intersections in accordance with Traffic Engineering requirements and City Standard details. Details of this meeting are documented in the January 12<sup>th</sup>, letter from JMA included with this application.*

- c. Right turn and/or left turn lanes may be required at site drives. Provide queuing analysis.

*A queing analysis has been completed and the appropriate turn lanes have been incorporated into the plan. The January 12<sup>th</sup>, 2007 letter from JMA referenced above describes the queing analysis completed by the project engineer to define these installations.*

- d. Driveways to be 36' wide minimum to accommodate individual turning movements and to provide adequate width for solid waste, fire and delivery services.

*Driveway access at Woodmont Avenue has been increased to 36' wide as requested. Access at Rainbow Boulevard has been increased to 30' wide, as full access is no longer permitted at this site drive. This width provides adequate turning space for fire, solid waste and delivery vehicles per City standards for this reduced configuration. The proposed future access to Indian Hills Drive to the east is 24' wide, as it will serve a residential neighborhood. The current plan has been reviewed by both Solid Waste and Fire Department representatives and has been deemed acceptable for access by their vehicles.*

- e. The main site drive intersecting Woodmont Avenue will need to be re-aligned such that it is completely perpendicular with Woodmont Avenue and is not skewed internally with another drive aisle. See Rainbow Boulevard site drive as an example. May need to be relocated.

*The main site drive intersecting Woodmont Avenue has been realigned to meet Woodmont Avenue in a perpendicular manner. Additionally it has been shifted to the east to provide more room for internal automobile queing.*

- f. Adequate site distance will need to be maintained at site drives (see AASHTO for requirements).

*All AASHTO requirements have been met with regard to site distances and clearsite lines. Site distances have been calculated to take into account curves in the roadway and grade changes along the Woodmont street frontage. Site distances and clear sight lines are indicated on the plan.*

- g. It is not clear if this site plan is located on a separate tract. Therefore, if platting is required, it will need to be a concurrent DRB action.

*This site plan is located on it's own Tract, identified as Tract 10 of The Trails Unit 2. Since the EPC review a plat has been filed and*

*recorded with the County describing the modified conditions. The property description on the site plan reflects the information on that recorded document.*

- h. Provide 24' drive aisle widths.

*All drive aisle widths are 24' wide as required. Drive widths are indicated on the plan.*

- i. Provide end aisle caps per DPM.

*End aisle caps have been provided per Development Process Manual. End caps are indicated on the plan.*

- j. Site plan shall comply and be designed per DPM Standards.

*The site plan has been designed per, and complies with, DPM standards.*

- 5. With respect to site plan layout and configuration, the following conditions shall apply:

- a. The applicant shall provide minimum pedestrian amenities such as benches and/or tables for the plazas surrounding the meetinghouse; the details of these amenities shall be provided on the final site plan.

*Benches have been provided at the two main entrance plazas of the meetinghouse, as indicated on the enlarged site plan on sheet SD1.2. A detail of the bench can also be found on sheet SD1.2. The Church does not wish to encourage outdoor activities associated with tables at the main building entries so the plans limit the response to this Condition to the benches indicated on the plans.*

- b. The final site plan shall provide for substantive artificial or natural shading of all pedestrian walkways, entrances, plazas and open spaces.

*The site is heavily landscaped with shading trees at all the pedestrian locations identified. The attached landscape plans describe the specifics of the proposed landscape installation..*

- c. No refuse enclosures shall be prominently placed between any public street and any building façade. Details on proposed refuse enclosures shall be demonstrated on the final site plan.

*The refuse enclosure is located so as to be easily accessible but still screened from public view. Refuse enclosure details are included on sheet SD1.2.*

6. With respect to considerations regarding vehicular access, parking and circulation, the following conditions shall apply:

- a. The applicant shall clarify the basis for the depicted right-of-way width of Woodmont Avenue on the final site plan. A thoroughfare designation as determined by the MRCOG may also accompany this clarification on the site plan.

*Woodmont Avenue has been fully constructed in accordance with the recorded plat and City Standard Details. The depicted right-of-way width on the plans is consistent with constructed conditions for a Collector Street.*

- b. A minimum of 15 bicycle spaces and 3 motorcycle parking spaces shall be provided on the site plan.

*Bicycle parking has been provided at the front and rear of the meetinghouse to total the requested 15 spaces. Motorcycle parking spaces are indicated on the site plan with an 'M', and are dispersed through the parking lot.*

- c. Details on pedestrian crossings shall be shown on the final site plan. Pedestrian walkways through vehicular areas shall be clearly demarcated through such paving materials as colored concrete, brick or concrete pavers. Clear and distinct separation between pedestrian walkways and vehicular travel or parking areas shall be maintained.

*Pedestrian crosswalks are indicated on the site plan. Walks shall be concrete paved, with 5'-0" control joint patterns and striped to be visible and distinct from the remainder of paving surfaces. A note has been added to the site plan to ensure the maintenance and upkeep of the painted striping on an annual basis.*

- d. All proposed pedestrian walkways adjacent to parking areas shall contain a minimum width of eight feet (8').

*Walkways adjacent to parking areas have been modified to an eight foot (8') width, and are indicated as such on the site plan.*

- e. The present pedestrian link to Woodmont Avenue shall be either redesigned or relocated in order to provide optimum pedestrian access to the site.

*The pedestrian access to Woodmont Avenue has been repositioned as a part of the reorientation of the access drive (Item 4e). The walk has direct at-grade access to the Church property from the public sidewalk.*

- 7. With respect to considerations regarding lighting, security, walls and fences, the following conditions shall apply:

- a. The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provided downward light emission and prevent both light trespass and upward light pollution. The details and specifications of proposed site lighting shall be provided on the final site plan.

*On-site lighting has been designed by a registered electrical engineer to comply with all City standards. All exterior lighting will be provided with cut-off shielding. A detail of the proposed light poles and fixtures is provided on sheet SD1.2.*

- b. All pedestrian walkways and common areas shall be adequately illuminated. Light standards for parking lot illumination shall not exceed sixteen feet (16') in height, and walkway illumination shall not exceed twelve feet (12') in height.

*On-site lighting has been designed by a registered electrical engineer to comply with all City standards. Light pole heights have been limited to those required by the EPC. A detail of the proposed light poles and fixtures is provided on sheet SD1.2.*

- c. The final site plan shall include language prohibiting the installation of chain-link, barbed-wire or concertina fencing on the premises.

*There is no fencing on the premises and a statement prohibiting its installation has been included on the site plan.*

- d. Any parking that will be visible from any vantage along an existing or future public street shall be screened by a minimum three-foot-high, solid wall or earthen berm, in addition to any proposed landscaping.

*Parking along the eastern edge of the site is screened by an earthen berm as indicated on the site plan. The remaining on-site parking is*

*set below the grade of the adjacent streets by a minimum of three feet (3').*

8. With respect to considerations regarding architecture and signage, the following conditions shall apply:

- a. All building colorations shall be in accordance with Appendix E of the Northwest Mesa Escarpment Plan (NMEP).

*Building colors were selected to comply fully with the NMEP. A note has been added to the plan to that effect. Stucco and accent brick colors are of a natural tone and will blend with the colors and finishes of the surrounding community.*

- b. All on-site signage shall be in accordance with the guidelines specified in Policy Thirteen (13) of the NMEP. The final site plan shall include details on proposed sign design and illumination. No off-premise signage shall be permitted on the site.

*The only sign on the project is mounted on the west façade of the building. This sign is a recessed stone sign of approximately five square feet and is under all the guidelines and limitations described in the NMEP. A note has been added to the plan to that effect. No illuminated or freestanding signage is planned for this project.*

9. With respect to considerations regarding landscaping, the following conditions shall apply:

- a. The final landscape plan shall clearly identify which areas shall be covered in gravel, colored rock or decorative rip-rap.

*Landscape plans identify all ground cover to be utilized on the project.*

- b. All proposed vegetation shall comply with Appendix D of the NMEP.

*All vegetation is in compliance with Appendix D of the Northwest Mesa Escarpment Plan. A note has been added to the site plan to that effect.*

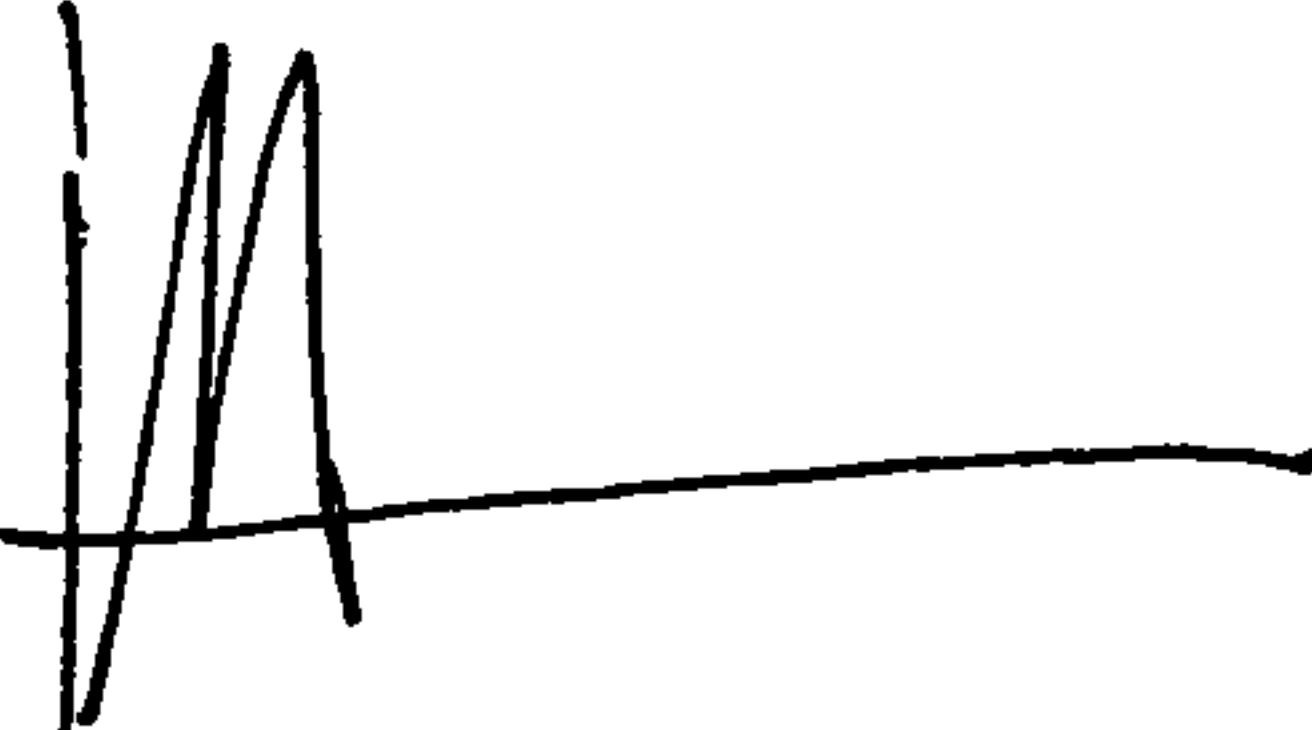
10. The project shall comply with all SWMD ordinances and requirements.

*The project has been designed to comply with all SWMD ordinances and requirements. The plan as submitted has been reviewed and approved by the Solid Waste Department.*



The above represents our written response to the EPC Conditions in connection with this project.

Respectfully:

A handwritten signature in black ink, consisting of a vertical line on the left, a horizontal line extending to the right, and a stylized 'M' shape above the horizontal line.

James S. Rogers, AIA

Current DRC  
Project Number:

**ORIGINAL**

FIGURE 12

**INFRASTRUCTURE LIST**

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

**LDS Ventana Meetinghouse**

Tract 10-A, The Trails, Unit 2

Date Submitted: 04/04/07  
Date Site Plan Approved: 04/04/07  
Date Preliminary Plat Approved: N/A  
Date Preliminary Plat Expires: N/A  
DRB Project No.: 1002962  
DRB Application No.: 07-DRB-00358

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer	
		50'+Trans	Left Turn Lane in Exist. Median	Woodmont	TBD @ DRC	Woodmont Entrance	/	/	/	
		150'	Right Turn Taper	Rainbow	150' South of Entry	Rainbow Entrance	/	/	/	
		6'	Sidewalk Along Rainbow Taper	Rainbow	150' South of Entry	Rainbow Entrance	/	/	/	
		8"	Public (NMUI) Fire Hydrant & Line	Center of Site	Woodmont	FH Location	/	/	/	
		4	Sidewalk	Future Indian Hills	Woodmont	SE Corner of Site				
1				Street Lights per DPM Standards						
2				Engineer's Certification of Grading and Drainage is Required for F.G. Release						

AGENT / OWNER | DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

**J. Graeme Means**  
NAME (print)

*[Signature]* 4/4/07  
DRB CHAIR - date

*[Signature]* 4/4/07  
PARKS & GENERAL SERVICES - date

**Jeff Mortensen & Assoc.**  
FIRM

*[Signature]* 4-4-07  
TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

*[Signature]* 3/16/07  
SIGNATURE - date

*[Signature]* 4/4/07  
UTILITY DEVELOPMENT - date

*[Signature]* 4-3-07  
NMUI - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
EXTENSION: \_\_\_\_\_

*[Signature]* 4/4/07  
CITY ENGINEER - date

\_\_\_\_\_ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

# 1002A 62  
# 7



March 16, 2007

Sheran Matson  
Chair  
Development Review Board  
Planning Department  
City of Albuquerque

Hand Delivered

Re: Tract 10, Unit 2, The Trails Site Development Plan  
Authorization for Tract 10 to Grade onto Tract 9a  
Commitment to Build Future Public Road

Dear Sheran,

The owners of Tract 10, Unit 2, The Trails will submit or have submitted a Site Development Plan for Building Purposes for Tract 10. The Site Development Plan includes a grading plan that proposes grading onto Tract 9a, owned by The Trails. In addition Tract 10 proposes taking access to a future road located adjacent to and east of Tract 10, planned for construction on Tract 9a. This letter addresses The Trails position relative to these matters.

#### Grading Plan

The Trails is aware of the proposal for Tract 10 to grade onto limited portions of Tract 9a. The Trails approves of the grading plan, limited to the plan as submitted to DRB. No easement will be required. The portion of Tract 9a affected by the proposed grading is a private park and detention pond, owned and maintained by The Trails. The design for the park/pond anticipated import and fill grading by Tract 10 onto Tract 9a. In no does the proposed grading adversely impact or compromises the function of the private park and detention basin. The proposed design better integrates the uses of Tract 9a and Tract 10 as was intended by the original planning.

#### Tract 9a Future Road

East of and adjacent to Tract 10, on Tract 9a is proposed a public road. The primary purpose of the public road is to provide an entrance (Entrance Road) to the planned development within Tract 9a. Currently Tract 9a is on the DRB agenda for preliminarily



plat approval. Revisions to the current plan are being made to accommodate the new Volcano Heights Sector Plan requirements. The proposed Entrance Road is on the Tract 9a infrastructure list.

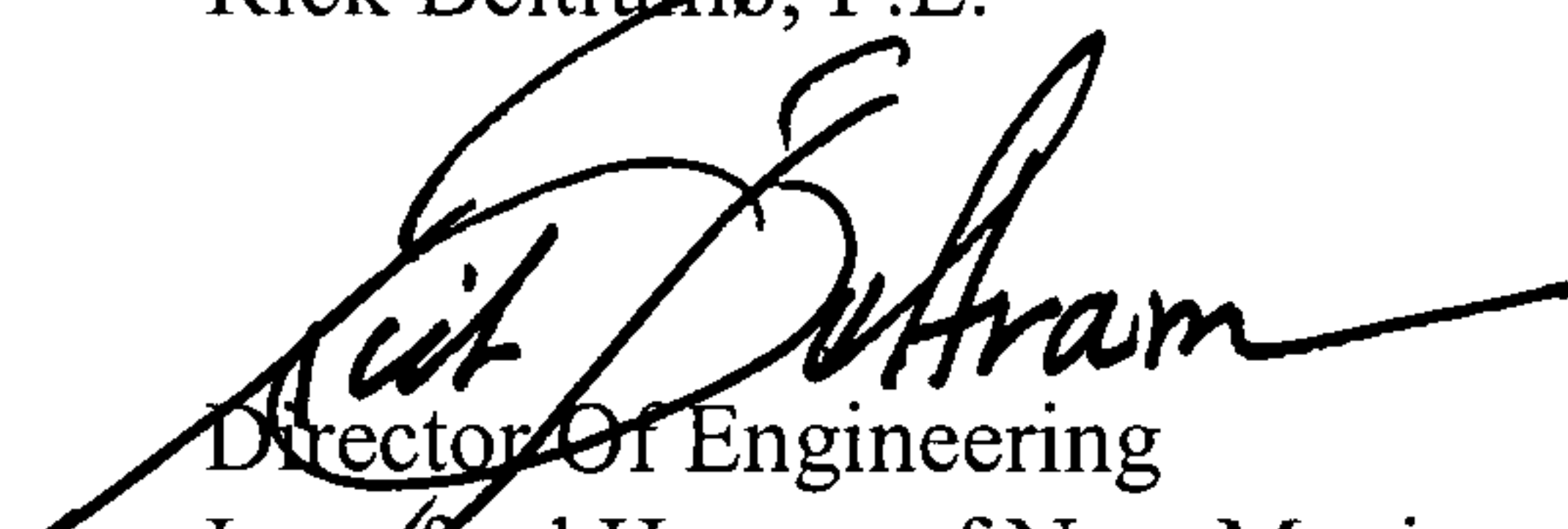
Tract 10 has 2 primary access points, one at Rainbow Blvd. and one at Woodmont Blvd. The site plan proposes a third access point onto the Tract 9a Entrance Road. The Trails agrees to construct this road and make available to tract 10 the access point, as shown on the site development plan. The Trails expects no cost sharing from Tract 10 for the Entrance Road.

The Trails plans on building this road with the development of Tract 9a when such development is warranted. Tract 9a is planned for construction within 1 year. However, the estimated construction date is highly dependant on market conditions and therefore The Trails makes no guarantee as to when this road will be constructed.

The Trails supports approval of the Site Development Plan and the related DRB actions. Should you have any questions relative to this DRB site plan application please call me at 761-9911.

Sincerely,

Rick Beltramo, P.E.



Director Of Engineering  
Longford Homes of New Mexico

CC: John Murtagh, Division, President, The Trails  
Kelly Calhoun, Div. Vice President, The Trails  
Tom Robinson, Director Of Legal Affairs, Longford Group, Inc.  
Jim Rodgers, J.S. Rodgers, Architects, PC  
Joe Christensen, The Church of Jesus Christ of Latter-Day Saints  
Brad Bingham, P.E., City DRB, Hydrology  
Wilfred Gallegos, P.E., City DRB, Transportation

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: The Church of Jesus Christ of Latter Day Saints PHONE: 801-240-5174  
Utah Salt Lake City Project Management  
 ADDRESS: 1765 S. 4250 West FAX: 801-606-7808  
 CITY: Salt lake City STATE UT ZIP 84104-4833 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_  
 AGENT (if any): J.S. Rogers Architects, PC PHONE: 505-247-1168  
 ADDRESS: 821 Mountain Road NW FAX: 505-247-0262  
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: info@jrsrogersarchitects.com

DESCRIPTION OF REQUEST: DRB final sign off for E.P.C. approved site development plan for building permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract 10 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. Trails Unit 2  
 Current Zoning: SU-1 Church Proposed zoning: \_\_\_\_\_  
 Zone Atlas page(s): C-9-Z No. of existing lots: 1 No. of proposed lots: \_\_\_\_\_  
 Total area of site (acres): 5.11 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill?  No  
 UPC No. 100906430322640101 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: \_\_\_\_\_ Woodmont Ave. NW  
 Between: RAINBOW BLVD. NW and UNIVERSE NW

CASE HISTORY: Carmen Massey for David Stallwood Case Planner  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, V, S, etc.): \_\_\_\_\_  
DRB# 1002962, City Dev# 730084, Project# 1002962

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 3/20/07  
 (Print) JAMES. S. ROGERS \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB - 00358</u>	<u>SBP</u>	<u>PS</u>	<u>\$ 0.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	<u>\$</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CAF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	<u>\$</u>
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	<u>\$</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>4-4-07</u>	_____	_____	<u>\$ 20.00</u>

Joseph [Signature] 3-20-07 Project # 1002962

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Completed Site Plan for Subdivision Checklist
  - Infrastructure List, if relevant to the site plan
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JAMES S. ROGERS  
 \_\_\_\_\_  
 Applicant name (print)

[Signature]  
 \_\_\_\_\_  
 Applicant signature / date

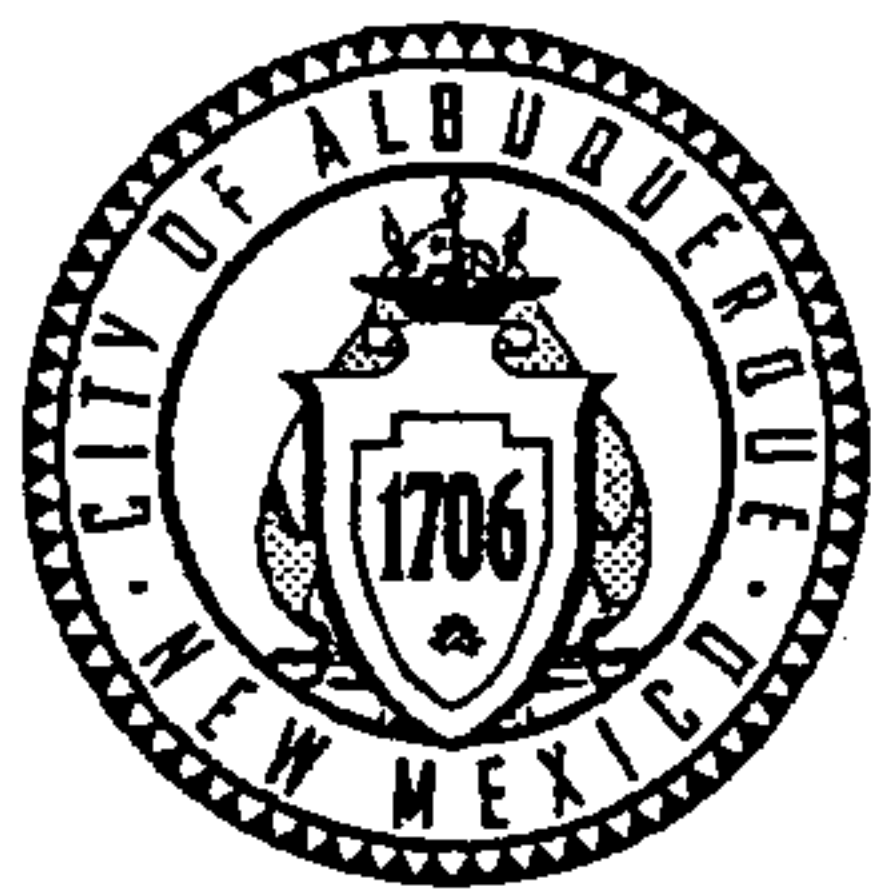
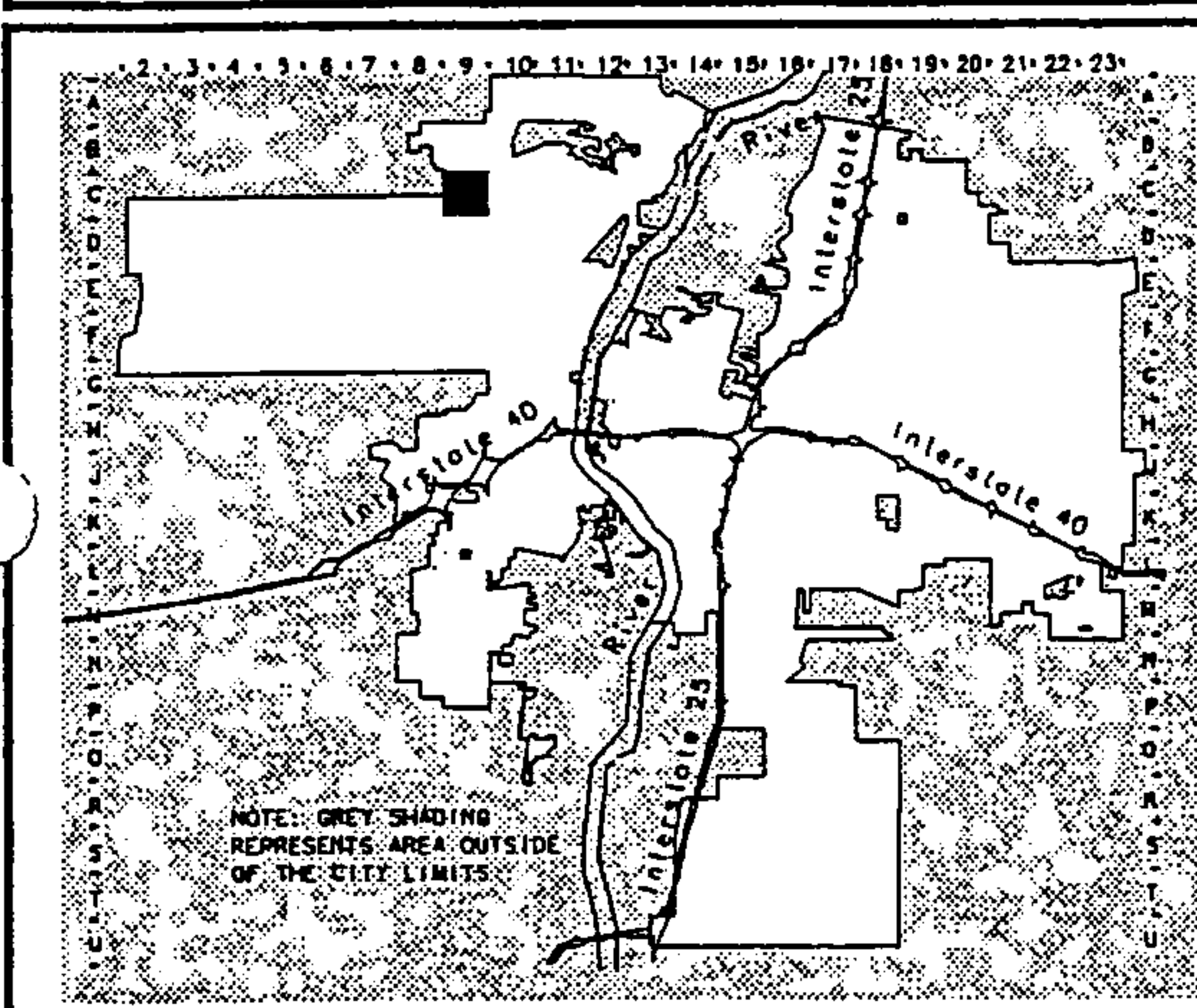
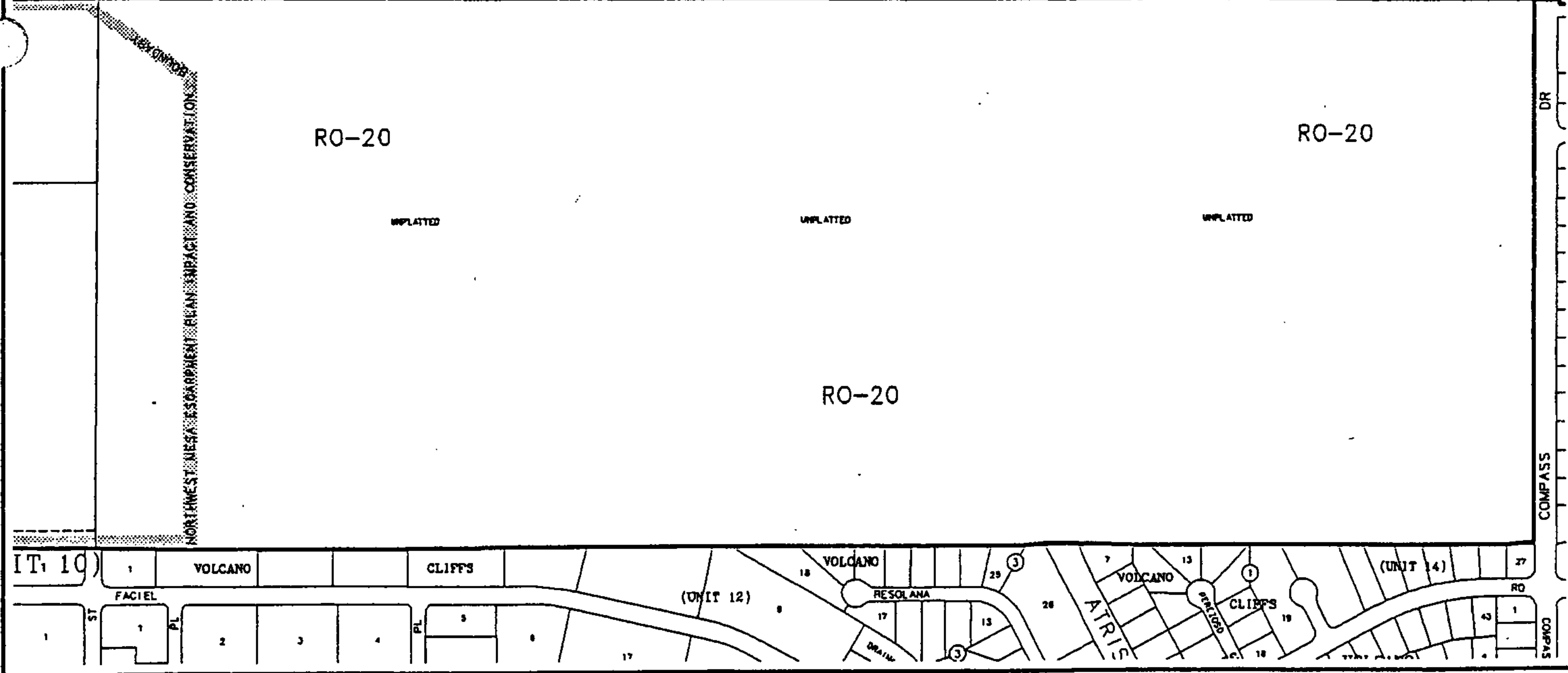
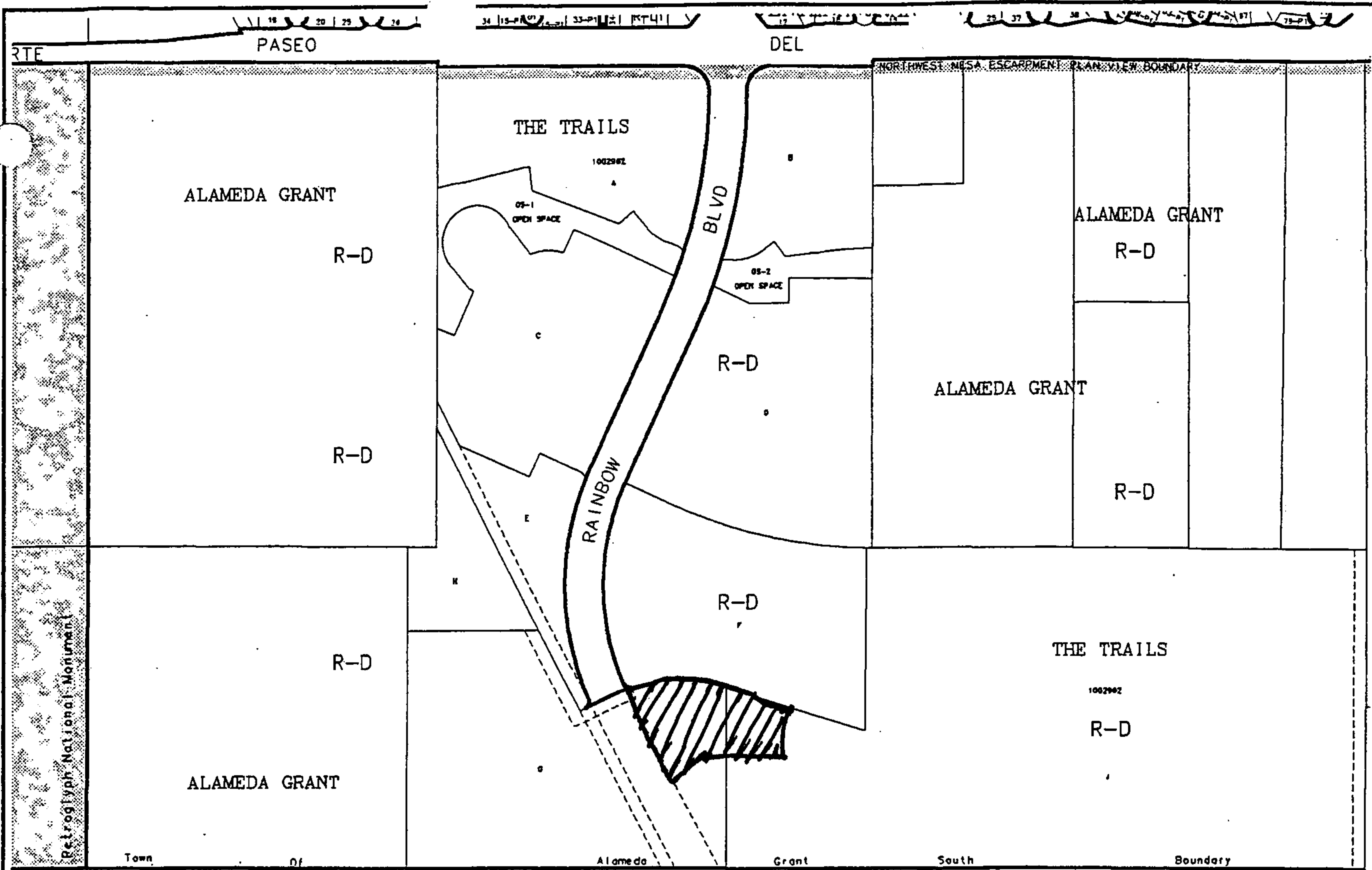


Form revised JUNE 2005

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 07 DRB - \_\_\_\_\_ - 00358  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

[Signature] 3-20-07  
 \_\_\_\_\_  
 Planner signature / date

**Project # 100 2962**



**A G I S**  
 Albuquerque Geographic Information System  
 PLANNING DEPARTMENT

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**Zone Atlas Page**

**C-9-Z**

Map Amended through May 04, 2004



March 16, 2007

Sheran Matson  
Chair  
Development Review Board  
Planning Department  
City of Albuquerque

Hand Delivered

Re: Tract 10, Unit 2, The Trails Site Development Plan  
Authorization for Tract 10 to Grade onto Tract 9a  
Commitment to Build Future Public Road

Dear Sheran,

The owners of Tract 10, Unit 2, The Trails will submit or have submitted a Site Development Plan for Building Purposes for Tract 10. The Site Development Plan includes a grading plan that proposes grading onto Tract 9a, owned by The Trails. In addition Tract 10 proposes taking access to a future road located adjacent to and east of Tract 10, planned for construction on Tract 9a. This letter addresses The Trails position relative to these matters.

#### Grading Plan

The Trails is aware of the proposal for Tract 10 to grade onto limited portions of Tract 9a. The Trails approves of the grading plan, limited to the plan as submitted to DRB. No easement will be required. The portion of Tract 9a affected by the proposed grading is a private park and detention pond, owned and maintained by The Trails. The design for the park/pond anticipated import and fill grading by Tract 10 onto Tract 9a. In no does the proposed grading adversely impact or compromises the function of the private park and detention basin. The proposed design better integrates the uses of Tract 9a and Tract 10 as was intended by the original planning.

#### Tract 9a Future Road

East of and adjacent to Tract 10, on Tract 9a is proposed a public road. The primary purpose of the public road is to provide an entrance (Entrance Road) to the planned development within Tract 9a. Currently Tract 9a is on the DRB agenda for preliminarily





plat approval. Revisions to the current plan are being made to accommodate the new Volcano Heights Sector Plan requirements. The proposed Entrance Road is on the Tract 9a infrastructure list.

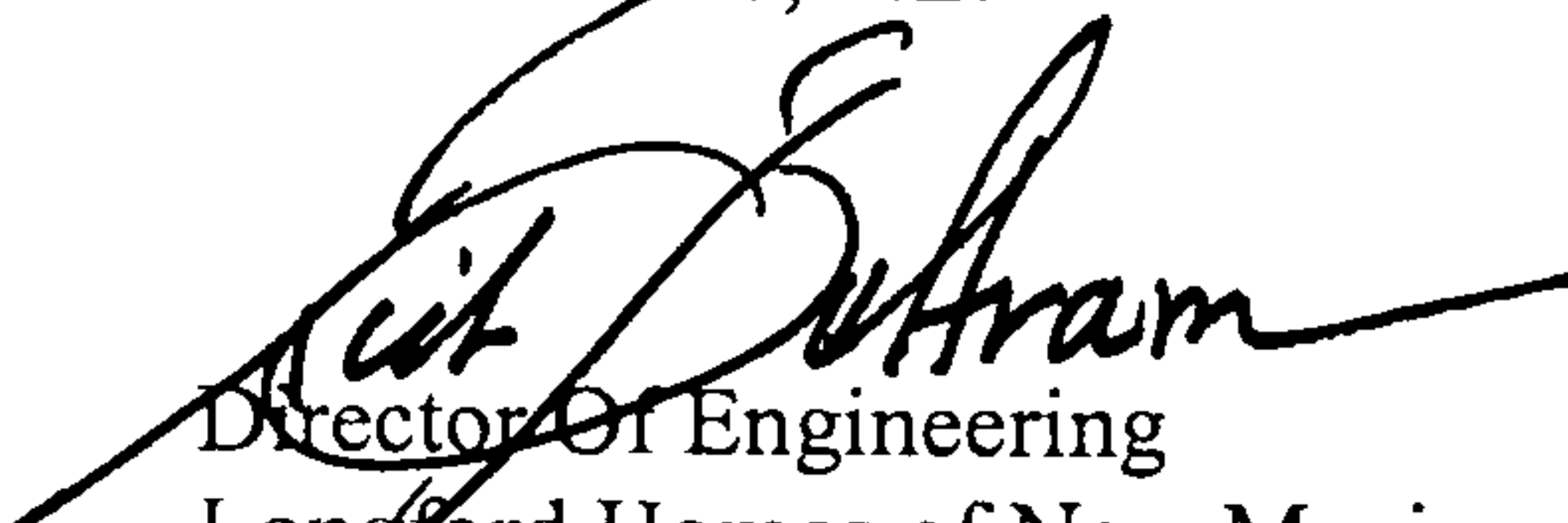
Tract 10 has 2 primary access points, one at Rainbow Blvd. and one at Woodmont Blvd. The site plan proposes a third access point onto the Tract 9a Entrance Road. The Trails agrees to construct this road and make available to tract 10 the access point, as shown on the site development plan. The Trails expects no cost sharing from Tract 10 for the Entrance Road.

The Trails plans on building this road with the development of Tract 9a when such development is warranted. Tract 9a is planned for construction within 1 year. However, the estimated construction date is highly dependant on market conditions and therefore The Trails makes no guarantee as to when this road will be constructed.

The Trails supports approval of the Site Development Plan and the related DRB actions. Should you have any questions relative to this DRB site plan application please call me at 761-9911.

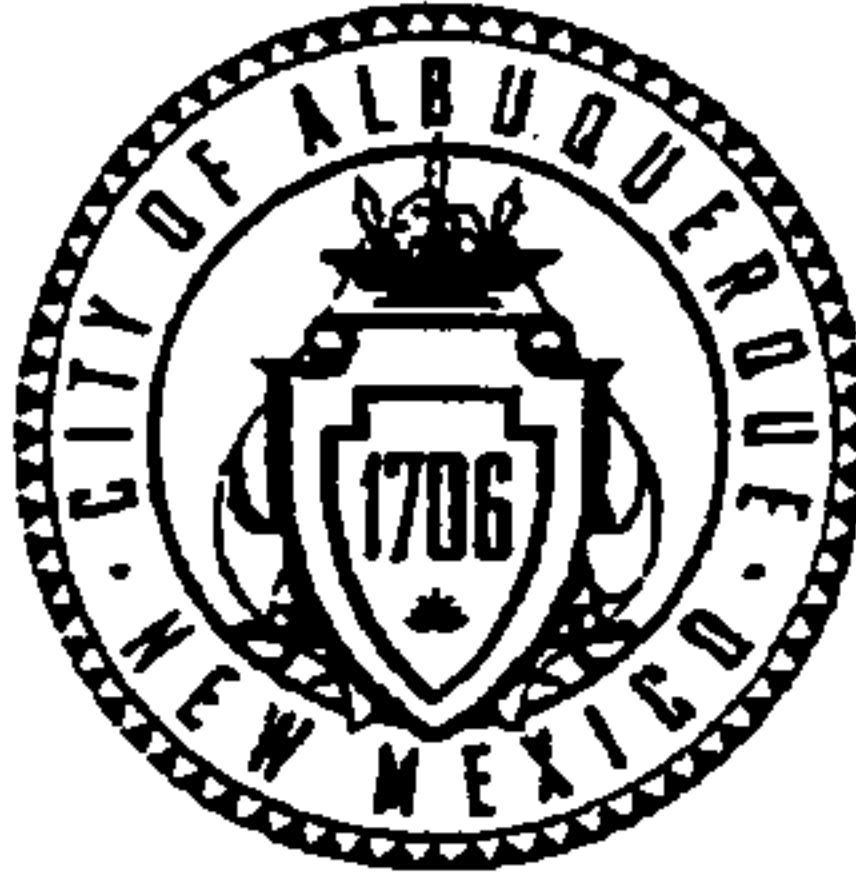
Sincerely,

Rick Beltramo, P.E.



Director Of Engineering  
Longford Homes of New Mexico

CC: John Murtagh, Division, President, The Trails  
Kelly Calhoun, Div. Vice President, The Trails  
Tom Robinson, Director Of Legal Affairs, Longford Group, Inc.  
Jim Rodgers, J.S. Rodgers, Architects, PC  
Joe Christensen, The Church of Jesus Christ of Latter-Day Saints  
Brad Bingham, P.E., City DRB, Hydrology  
Wilfred Gallegos, P.E., City DRB, Transportation



City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: December 15, 2005

## OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002962\***  
05EPC-01692 Zone Map Amendment  
05EPC 01746 EPC Site Development Plan-  
Building Permit

The Church of Jesus Christ of Latter-Day Saints  
1765 S. 4250 West  
Salt Lake City, UT, 84104-4833

LEGAL DESCRIPTION: for all or a portion of Tract 10, **The Trails Subdivision, Unit 2**, a zone map amendment from R-D Residential and Related Uses to SU-1 for CHURCH, located at the southeast corner of RAINBOW BLVD. NW and WOODMONT AVE. NW, containing approximately 6 acres. (C-9) David Stallworth, Staff Planner

On December 15, 2005 the Environmental Planning Commission voted to approve Project 1002962/05EPC-01692, a zone map amendment from R-D to SU-1/Church and Incidental Facilities, for a portion of Tract 10, Trails Subdivision, U-2, based on the following Findings:

### FINDINGS:

1. This is a request for consideration and approval of a zone map amendment from R-D to SU-1/Church and Incidental Facilities for a vacant +/-5.11-acre portion of an overall +/-14.2-acre site identified as **Tract 10, Trails Subdivision, U-2**.
2. The request is for the development of a proposed +/-17000-square-foot meetinghouse for members of the Church of Jesus Christ of Latter Day Saints.
- 3.- The zone change request satisfies several key land use policies of the *City/County Comprehensive Plan*, most notably:
  - a. *Land Use Policies II.B.5.d, II.B.5.i, II.B.5.k, II.B.5.l and II.B.5.m* – The site plan review process plays a crucial role in maintaining area values, ensuring a safe, visually amenable and integral development, promoting economic development, stimulating neighborhood redevelopment, and providing the opportunity for affected residents to participate and offer input relative to the proposed development of the property.

- b. *Land Use Policy II.B.5.e* – The applicant shall be responsible for all necessary public improvements and utility extensions related to this project.
  - c. *Land Use Policy II.B.5.g* – The applicant will provide for bike lanes adjacent to the subject area along Rainbow Boulevard.
4. The zone change request will satisfy several key policies of the *West Side Strategic Plan (WSSP)* through the site plan review process, most notably *Policy 4.10* (pedestrian design/accessibility and promotion of transit use), *Policy 4.8* (view shed preservation of the Northwest Mesa Escarpment) and both *Goals 12* (facilitation of basic community services) and *10* (community sustainability).
  5. The zone change request satisfies several key policies of the *Northwest Mesa Escarpment Plan (NMEP)* through the site plan review process, most notably *Policy 20* (building design, coloration and construction), *Policy 21* (building height limitations, view preservation of the Northwest Mesa from the east), and both *Policies 13 and 12* (overall view preservation of, and from, the Northwest Mesa Escarpment).
  6. There is no demonstrative evidence that the public health, safety and welfare will be compromised with the change in zoning; the request does not conflict with subsection 1.A of Resolution 270-1980.
  7. The requested zone change is to facilitate the construction of a community-oriented place of worship; the proposed zone change will not compromise area land use stability and therefore does not conflict with subsection 1.B of Resolution 270-1980.
  8. The zone change request furthers several key policies of both the *City/County Comprehensive Plan*, the *West Side Strategic Plan* and the *Northwest Mesa Escarpment Plan*; the project does not conflict with subsections 1.C and 1.D.3 of Resolution 270-1980 and is therefore advantageous to both the community and the City.
  9. There is no demonstrative evidence that the zone change request is in significant conflict with subsections 1.E through 1.H of Resolution 270-1980.
  10. The zone change request does not constitute a “spot” or a “strip” zone, as outlined in subsections 1.I and 1.J of Resolution 270-1980, respectively.
  11. The applicant is authorized to request a zone map amendment on the subject property.
  12. There is no public opposition regarding the zone change request.
  13. Incidental facilities as defined by the applicant will be limited to seminary facilities.
-

On December 15, 2005 the Environmental Planning Commission voted to approve Project 1002962/05EPC-01746, a site development plan for building permit, for a portion of Tract 10, Trails Subdivision, U-2, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for consideration and approval of a site development plan for building permit on a +/-5.11-acre portion of an overall +/-14.2-acre site identified as **Tract 10, Trails Subdivision, U-2**.
2. The request is for the development of a proposed +/-17000-square-foot meetinghouse for members of the Church of Jesus Christ of Latter Day Saints.
3. The site plan review process plays a crucial role in maintaining area values, ensuring a safe, visually amenable and integral development, promoting economic development, stimulating neighborhood redevelopment, and providing the opportunity for affected residents to participate and offer input relative to the proposed development of the property. With the implementation of recommended conditions, the proposed site development plan will satisfy *Policies II.B.5.d, II.B.5.i, II.B.5.k, II.B.5.l and II.B.5.m* of the *City/County Comprehensive Plan*.
4. The applicant will be responsible for all necessary public improvements and utility extensions related to this project; the proposed site development plan satisfies *Policy II.B.5.e* of the *City/County Comprehensive Plan*.
5. The applicant will provide for bike lanes adjacent to the subject area along Rainbow Boulevard; the proposed site development plan satisfies *Policy II.B.5.g* of the *City/County Comprehensive Plan*.
6. With recommended conditions, the proposed site development plan will satisfy several key policies of the *West Side Strategic Plan*, most notably *Policy 4.10* (pedestrian design/accessibility and promotion of transit use) and *Policy 4.8* (view shed preservation of the Northwest Mesa Escarpment).
7. With recommended conditions, the proposed site development plan will satisfy several key policies of the *Northwest Mesa Escarpment Plan*, most notably *Policy 20* (building design, coloration and construction), *Policy 21* (building height limitations, view preservation of the Northwest Mesa from the east), and both *Policies 13 and 12* (overall view preservation of, and from, the Northwest Mesa Escarpment).
8. The applicant is authorized to request consideration and approval of a site development for building permit purposes on the subject property.

9. There is no public opposition to the proposed site development plan.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant shall meet with the staff planner to ensure that any conditions of approval are adequately addressed.
3. All observed format-related deficiencies brought to the attention of the applicant by the staff planner shall be satisfactorily addressed on the final site plan. Correct legal descriptions for all new divisions of land within the project area shall be reflected on the final site plan. All site layouts shall be consistent on all sheets of the final site plan submittal.
4. Conditions of approval for the proposed Site Development Plan for Subdivision and Site Development Plan for Building Permit shall include:
  - SELLER ✓ a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - ✓ b. Define land configurations, including medians and turn bays, for Rainbow Boulevard, Woodmont Avenue and the intersection of both. This is necessary for locating the site drives in the proper location, which are being assumed as full access.
  - c. Right turn and/or left turn lanes may be required at site drives. Provide queuing analysis.
  - ✓ d. Driveways to be 36' wide minimum to accommodate individual turning movements and to provide adequate width for solid waste, fire and delivery vehicles.
  - ✓ e. The main site drive intersecting Woodmont Avenue will need to be re-aligned such that it is completely perpendicular with Woodmont Avenue as is not skewed internally with another drive aisle. See Rainbow Boulevard site drive as an example. May need to be re-located.
  - ✓ f. Adequate site distance will need to be maintained at site drives (see AASHTO for requirements).

- g. It is not clear if this site plan is located on a separate tract. Therefore, if platting is required, it will need to be a concurrent DRB action.
  - ✓ h. Provide 24' drive aisle widths.
  - ✓ i. Provide end aisle caps per DPM.
  - ✓ j. Site plan shall comply and be designed per DPM Standards.
5. With respect to site plan layout and configuration, the following conditions shall apply:
- ✓ a. The applicant shall provide minimum pedestrian amenities such as benches and/or tables for the plazas surrounding the meetinghouse; the details and specifications of these amenities shall be provided on the final site plan.
  - ✓ b. The final site plan shall provide for substantive artificial or natural shading of all pedestrian walkways, entrances, plazas and open spaces.
  - ✓ c. No refuse enclosures shall be prominently placed between any public street and any building facade. Details on proposed refuse enclosures shall be demonstrated on the final site plan.
6. With respect to considerations regarding vehicular access, parking and circulation, the following conditions shall apply:
- a. The applicant shall clarify the basis for the depicted right-of-way width of Woodmont Avenue on the final site plan. A thoroughfare designation as determined by the MRCOG may also accompany this clarification on the site plan.
  - ✓ b. A minimum of 15 bicycle spaces and 3 motorcycle parking spaces shall be provided on the site plan.
  - ✓ c. Details on pedestrian crossings shall be shown on the final site plan. Pedestrian walkways through vehicular areas shall be clearly demarcated through such paving materials as colored concrete, brick or concrete pavers. Clear and distinct separation between pedestrian walkways and vehicular travel or parking areas shall be maintained.
  - ✓ d. All proposed pedestrian walkways adjacent to parking areas shall contain a minimum width of eight feet (8').
  - ✓ e. The present pedestrian link to Woodmont Avenue shall be either redesigned or relocated in order to provide optimum pedestrian access to the site.
7. With respect to considerations regarding lighting, security, walls and fences, the following conditions shall apply:
- ✓ a. The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution. The details and specifications of proposed site lighting shall be provided on the final site plan.
  - ✓ b. All pedestrian walkways and common areas shall be adequately illuminated. Light standards for parking lot illumination shall not exceed sixteen feet (16') in height, and walkway illumination shall not exceed twelve feet (12') in height.
  - ✓ c. The final site plan shall include language prohibiting the installation of chain-link, barbed-wire or concertina fencing on the premises.

- ✓ d. Any parking that will be visible from any vantage along an existing or future public street shall be screened by a minimum three-foot-high, solid wall or earthen berm, in addition to any proposed landscaping.
8. With respect to considerations regarding architecture and signage, the following conditions shall apply:
- a. All building colorations shall be in accordance with Appendix E of the Northwest Mesa Escarpment Plan (*NMEP*).
  - b. All on-site signage shall be in accordance with the guidelines specified in Policy Thirteen (13) of the *NMEP*. The final site plan shall include details on proposed sign design and illumination. No off-premise signage shall be permitted on the site.
9. With respect to considerations regarding landscaping, the following conditions shall apply:
- a. The final landscape plan shall clearly identify which areas shall be covered in gravel, colored rock or decorative rip-rap.
  - b. All proposed vegetation shall comply with Appendix D of the *NMEP*.
10. The project will comply with all SWMD ordinances and requirements.

**IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY DECEMBER 30, 2005 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.**

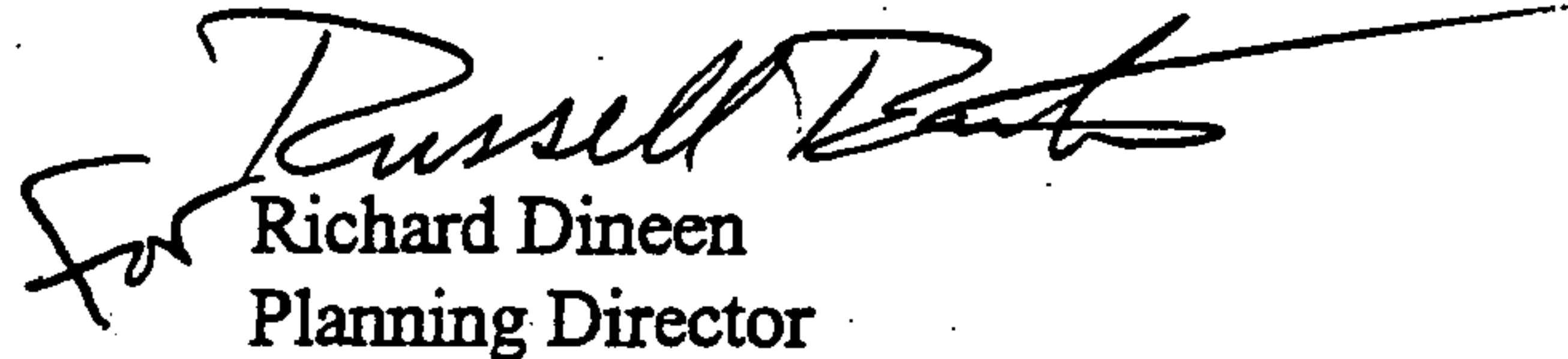
**Appeal to the City Council:** Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION  
DECEMBER 15, 2005  
PROJECT #1002962  
PAGE 7 OF 7

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

  
Richard Dineen  
Planning Director

RD/DS/ac

cc: JS Rogers Architects PC, 821 Mountain Road NW, Albuquerque, NM 87102



**LDS VENTANA WARD MEETINGHOUSE**  
DRB SUBMISSION - EPC PROJECT NO.: 1002962

March 20, 2007

Ms. Sheran Matson  
DRB Chair  
City Of Albuquerque  
600 Roma NW  
Albuquerque, NM 87102

Dear Ms Matson:

Per Development Review Board requirements for final sign-off for E.P.C. approved site development plan for building permit, the following conditions imposed by the E.P.C. in the Official Notice of Decision issued on December 15, 2005, have been addressed as described on the drawings and herein.

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

*The applicant understands that the DRB has final sign-off authority over the site development plan included in this submittal. This letter shall serve to explain the modifications to the site plan since the EPC hearing and conditions imposed therein.*

2. Prior to DRB sign-off, the applicant shall meet with the staff planner to ensure that any conditions of approval are adequately addressed.

*The applicant met with Senior Planner Carmen Marrone on September 19, 2006, to review the site plan modifications. Ms. Marrone indicated at the time that the plan appeared to address the EPC Conditions adequately. There were four items Ms. Marrone indicated should be included or incorporated into the site plan, all of which have been addressed, as follows:*

- a. *The Location Map on sheet SD1.1 should show a larger area.*
- b. *A drawing should be included to describe concrete benches.*
- c. *Bicycle and motorcycle parking should be added to parking tabulations.*
- d. *Access sidewalk from the neighborhood to the east should be widened from 6 feet to 8 feet.*

3. All observed format-related deficiencies brought to the attention of the applicant by the staff planner shall be satisfactorily addressed on the final site plan. Correct legal descriptions for all new divisions of land within the project area shall be reflected on the final site plan. All site layouts shall be consistent on all sheets of the final site plan submittal.

*The applicant has addressed all deficient items noted either in the Notice of Decision or in meetings with staff planners.*

4. Conditions of approval for the proposed Site Development Plan for Subdivision and Site Development Plan for Building Permit shall include:
  - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (Std. Dwg. 2430), driveways (Std. Dwg. 2425), private entrances (Std. Dwg. 2426), and wheel chair ramps (Std. Dwg. 2441).

*Infrastructure adjacent to the proposed site development plan has been provided, or is guaranteed by, The Trails LLC as a portion of the Trails Unit 2 development. Please refer to the attached letter from Longford Homes LLC regarding future construction of Indian Hills Road to the East of the project site.*

- b. Define land configurations, including medians and turn bays, for Rainbow Boulevard, Woodmont Avenue, and the intersection of both. This is necessary for locating the site drives in the proper location, which are being assumed as full access.

*All configurations are indicated on the site plan as requested. Following a site plan review with Wilfred Gallegos of Transportation Development it was determined that only the Woodmont Avenue site drive will have full access while a right-in right-out configuration will be constructed on Rainbow Boulevard. All site drives have been located at the proper distances from nearby intersections in accordance with Traffic Engineering requirements and City Standard details. Details of this meeting are documented in the January 12<sup>th</sup>, letter from JMA included with this application.*

- c. Right turn and/or left turn lanes may be required at site drives. Provide queuing analysis.

*A queing analysis has been completed and the appropriate turn lanes have been incorporated into the plan. The January 12<sup>th</sup>, 2007 letter from JMA referenced above describes the queing analysis completed by the project engineer to define these installations.*

- d. Driveways to be 36' wide minimum to accommodate individual turning movements and to provide adequate width for solid waste, fire and delivery services.

*Driveway access at Woodmont Avenue has been increased to 36' wide as requested. Access at Rainbow Boulevard has been increased to 30' wide, as full access is no longer permitted at this site drive. This width provides adequate turning space for fire, solid waste and delivery vehicles per City standards for this reduced configuration. The proposed future access to Indian Hills Drive to the east is 24' wide, as it will serve a residential neighborhood. The current plan has been reviewed by both Solid Waste and Fire Department representatives and has been deemed acceptable for access by their vehicles.*

- e. The main site drive intersecting Woodmont Avenue will need to be re-aligned such that it is completely perpendicular with Woodmont Avenue and is not skewed internally with another drive aisle. See Rainbow Boulevard site drive as an example. May need to be relocated.

*The main site drive intersecting Woodmont Avenue has been realigned to meet Woodmont Avenue in a perpendicular manner. Additionally it has been shifted to the east to provide more room for internal automobile queing.*

- f. Adequate site distance will need to be maintained at site drives (see AASHTO for requirements).

*All AASHTO requirements have been met with regard to site distances and clearsite lines. Site distances have been calculated to take into account curves in the roadway and grade changes along the Woodmont street frontage. Site distances and clear sight lines are indicated on the plan.*

- g. It is not clear if this site plan is located on a separate tract. Therefore, if platting is required, it will need to be a concurrent DRB action.

*This site plan is located on it's own Tract, identified as Tract 10 of The Trails Unit 2. Since the EPC review a plat has been filed and*

*recorded with the County describing the modified conditions. The property description on the site plan reflects the information on that recorded document.*

- h. Provide 24' drive aisle widths.

*All drive aisle widths are 24' wide as required. Drive widths are indicated on the plan.*

- i. Provide end aisle caps per DPM.

*End aisle caps have been provided per Development Process Manual. End caps are indicated on the plan.*

- j. Site plan shall comply and be designed per DPM Standards.

*The site plan has been designed per, and complies with, DPM standards.*

- 5. With respect to site plan layout and configuration, the following conditions shall apply:

- a. The applicant shall provide minimum pedestrian amenities such as benches and/or tables for the plazas surrounding the meetinghouse; the details of these amenities shall be provided on the final site plan.

*Benches have been provided at the two main entrance plazas of the meetinghouse, as indicated on the enlarged site plan on sheet SD1.2. A detail of the bench can also be found on sheet SD1.2. The Church does not wish to encourage outdoor activities associated with tables at the main building entries so the plans limit the response to this Condition to the benches indicated on the plans.*

- b. The final site plan shall provide for substantive artificial or natural shading of all pedestrian walkways, entrances, plazas and open spaces.

*The site is heavily landscaped with shading trees at all the pedestrian locations identified. The attached landscape plans describe the specifics of the proposed landscape installation..*

- c. No refuse enclosures shall be prominently placed between any public street and any building façade. Details on proposed refuse enclosures shall be demonstrated on the final site plan.

*The refuse enclosure is located so as to be easily accessible but still screened from public view. Refuse enclosure details are included on sheet SD1.2.*

6. With respect to considerations regarding vehicular access, parking and circulation, the following conditions shall apply:

- a. The applicant shall clarify the basis for the depicted right-of-way width of Woodmont Avenue on the final site plan. A thoroughfare designation as determined by the MRCOG may also accompany this clarification on the site plan.

*Woodmont Avenue has been fully constructed in accordance with the recorded plat and City Standard Details. The depicted right-of-way width on the plans is consistent with constructed conditions for a Collector Street.*

- b. A minimum of 15 bicycle spaces and 3 motorcycle parking spaces shall be provided on the site plan.

*Bicycle parking has been provided at the front and rear of the meetinghouse to total the requested 15 spaces. Motorcycle parking spaces are indicated on the site plan with an 'M', and are dispersed through the parking lot.*

- c. Details on pedestrian crossings shall be shown on the final site plan. Pedestrian walkways through vehicular areas shall be clearly demarcated through such paving materials as colored concrete, brick or concrete pavers. Clear and distinct separation between pedestrian walkways and vehicular travel or parking areas shall be maintained.

*Pedestrian crosswalks are indicated on the site plan. Walks shall be painted in white striped pattern to be visible and distinct from the remainder of paving surfaces with wear resistant paint.*

- d. All proposed pedestrian walkways adjacent to parking areas shall contain a minimum width of eight feet (8').

*Walkways adjacent to parking areas have been modified to an eight foot (8') width, and are indicated as such on the site plan.*

- e. The present pedestrian link to Woodmont Avenue shall be either redesigned or relocated in order to provide optimum pedestrian access to the site.

*The pedestrian access to Woodmont Avenue has been repositioned as a part of the reorientation of the access drive (Item 4e). The walk has direct at-grade access to the Church property from the public sidewalk.*

7. With respect to considerations regarding lighting, security, walls and fences, the following conditions shall apply:

- a. The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provided downward light emission and prevent both light trespass and upward light pollution. The details and specifications of proposed site lighting shall be provided on the final site plan.

*On-site lighting has been designed by a registered electrical engineer to comply with all City standards. All exterior lighting will be provided with cut-off shielding. A detail of the proposed light poles and fixtures is provided on sheet SD1.2.*

- b. All pedestrian walkways and common areas shall be adequately illuminated. Light standards for parking lot illumination shall not exceed sixteen feet (16') in height, and walkway illumination shall not exceed twelve feet (12') in height.

*On-site lighting has been designed by a registered electrical engineer to comply with all City standards. Light pole heights have been limited to those required by the EPC. A detail of the proposed light poles and fixtures is provided on sheet SD1.2.*

- c. The final site plan shall include language prohibiting the installation of chain-link, barbed-wire or concertina fencing on the premises.

*There is no fencing on the premises and a statement prohibiting its installation has been included on the site plan.*

- d. Any parking that will be visible from any vantage along an existing or future public street shall be screened by a minimum three-foot-high, solid wall or earthen berm, in addition to any proposed landscaping.

*Parking along the eastern edge of the site is screened by an earthen berm as indicated on the site plan. The remaining on-site parking is set below the grade of the adjacent streets by a minimum of three feet (3').*

8. With respect to considerations regarding architecture and signage, the following conditions shall apply:

- a. All building colorations shall be in accordance with Appendix E of the Northwest Mesa Escarpment Plan (NMEP).

*Building colors were selected to comply fully with the NMEP. A note has been added to the plan to that effect. Stucco and accent brick colors are of a natural tone and will blend with the colors and finishes of the surrounding community.*

- b. All on-site signage shall be in accordance with the guidelines specified in Policy Thirteen (13) of the NMEP. The final site plan shall include details on proposed sign design and illumination. No off-premise signage shall be permitted on the site.

*The only sign on the project is mounted on the west façade of the building. This sign is a recessed stone sign of approximately five square feet and is under all the guidelines and limitations described in the NMEP. A note has been added to the plan to that effect. No illuminated or freestanding signage is planned for this project.*

9. With respect to considerations regarding landscaping, the following conditions shall apply:

- a. The final landscape plan shall clearly identify which areas shall be covered in gravel, colored rock or decorative rip-rap.

*Landscape plans identify all ground cover to be utilized on the project.*

- b. All proposed vegetation shall comply with Appendix D of the NMEP.

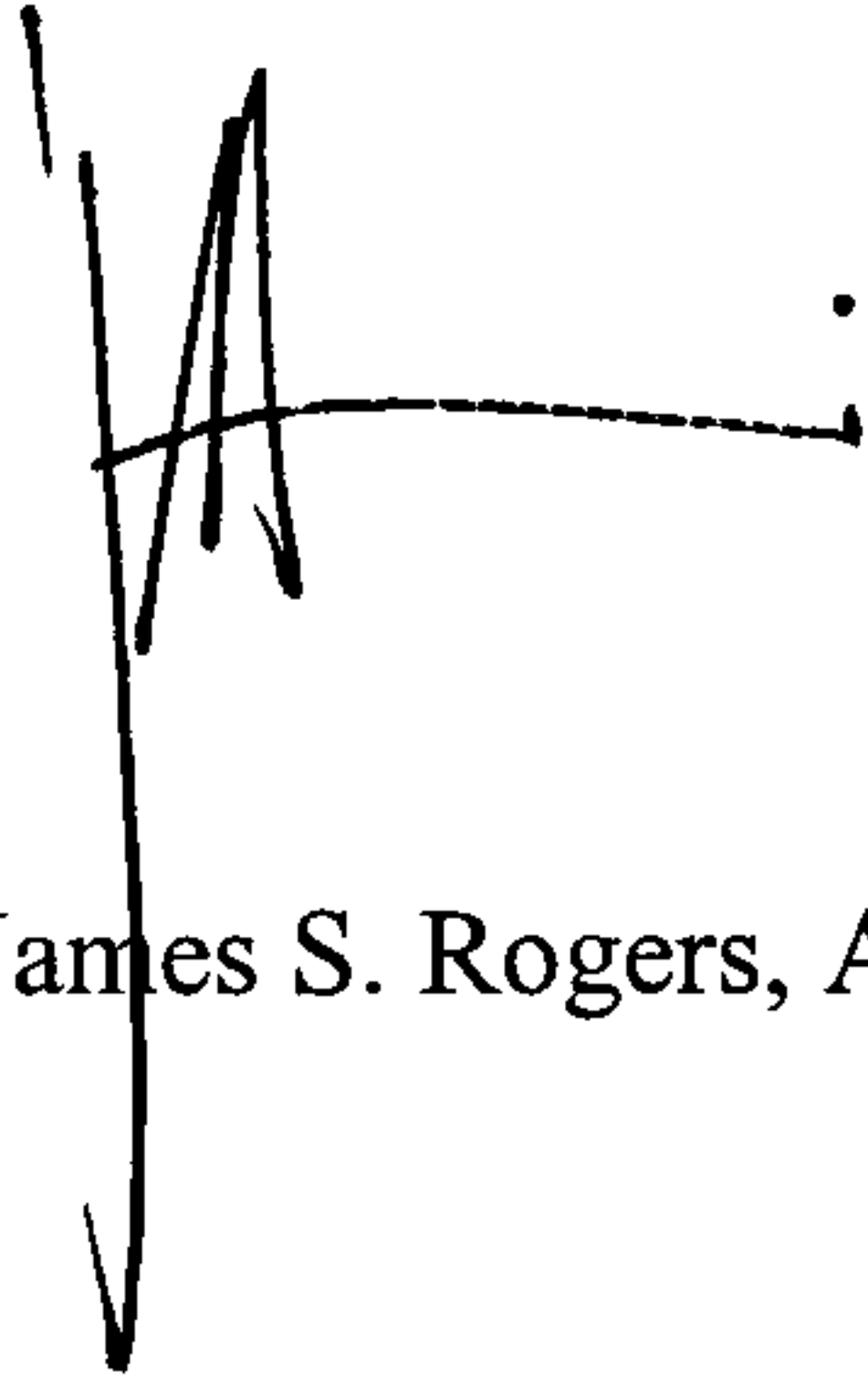
*All vegetation is in compliance with Appendix D of the Northwest Mesa Escarpment Plan. A note has been added to the site plan to that effect.*

10. The project shall comply with all SWMD ordinances and requirements.

*The project has been designed to comply with all SWMD ordinances and requirements. The plan as submitted has been reviewed and approved by the Solid Waste Department.*

The above represents our written response to the EPC Conditions in connection with this project.

Respectfully:

A handwritten signature in black ink, appearing to read 'James S. Rogers', with a horizontal line extending to the right and a vertical line extending downwards.

James S. Rogers, AIA



**INFRASTRUCTURE LIST**

**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**  
**LDS Ventana Meetinghouse**  
**Tract 10-A, The Trails, Unit 2**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		50'+Trans	Left Turn Lane in Exist. Median	Woodmont	TBD @ DRC	Woodmont Entrance	/	/	/
		150'	Right Turn Taper	Rainbow	150' South of Entry	Rainbow Entrance	/	/	/
		6'	Sidewalk Along Rainbow Taper	Rainbow	150' South of Entry	Rainbow Entrance	/	/	/
		8"	Public (NMUI) Fire Hydrant & Line	Center of Site	Woodmont	FH Location	/	/	/

**NOTES**

- 1 \_\_\_\_\_ Street Lights per DPM Standards
- 2 \_\_\_\_\_ Engineer's Certification of Grading and Drainage is Required for F.G. Release

**AGENT / OWNER** **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

**J. Graeme Means**  
NAME (print)

\_\_\_\_\_  
DRB CHAIR - date

\_\_\_\_\_  
PARKS & GENERAL SERVICES - date

**Jeff Mortensen & Assoc.**  
FIRM

\_\_\_\_\_  
TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_  
AMAFCA - date

  
SIGNATURE - date

\_\_\_\_\_  
UTILITY DEVELOPMENT - date

\_\_\_\_\_  
NMUI - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
EXTENSION: \_\_\_\_\_

\_\_\_\_\_  
CITY ENGINEER - date

\_\_\_\_\_  
- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS

UTAH SALT LAKE CITY  
PROJECT MANAGEMENT OFFICE  
1765 South 4250 West  
Salt Lake City, Utah 84104-4633  
Phone: 1-801-240-0026  
Facsimile: 1-801-840-1470  
3 November 2005

City of Albuquerque Planning Dept.  
Attn: April Candelaria  
Plaza del Sol  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: SE Corner of Rainbow Blvd. & Woodmont Ave. NW  
Albuquerque, NM

To Whom It May Concern:

Jim Rogers of J.S. Rogers Architects will be acting as our representative in all meetings and will be submitting documents as required by the jurisdiction, in reference to this property.

Sincerely,


*Don Wahlen*  
Don Wahlen  
Project Manager

On the 3rd day of November, 2005  
personally appeared before me Diane M. Urry the  
signer



My Commission Expires 6/1/2009

*Diane M. Urry*  
Notary Public  
Salt Lake County  
Residing In

 <b>ENGINEERS &amp; SURVEYORS</b>	JEFF MORTENSEN & ASSOCIATES, INC. 6010-B MIDWAY PARK BLVD. NE ALBUQUERQUE NEW MEXICO 87109	P: 505.345.4250 F: 505.345.4254 ESTABLISHED 1977

2005.049.5

January 12, 2007

Wilfred Gallegos, PE, Section Head  
 Design Transportation Development Section  
 City of Albuquerque Planning Department  
 600 Second Street N.W.  
 Albuquerque, NM 87102

Re: Ventana LDS Meetinghouse @ Woodmont NW and Rainbow NW – Project # 1002962

Wilfred,

Transmitted herewith are turning movement and sight distance calculations that will support an upcoming DRB request for Site Plan for Building Permit approval. The Plan was delegated to DRB for signoff at the December 15, 2005 EPC hearing subject to Conditions of Approval. This transmittal addresses right and left turn analyses at the two entrances, and also sight distance.

**1) Entrances** – Minimal traffic is anticipated during the week due to the anticipated functions and use of the facility. The main use of the building is be for Sunday morning services which will occur in 3 shifts. The site contains 136 parking spaces, and we have taken your reasonable recommendation that as many as 40 cars may arrive in a concentrated peak 20 minute span prior to each service. Splitting the traffic between the Woodmont and Rainbow entrances indicates 20 vehicles entering at each for an estimated arrival rate of 1 per minute.

**A) Rainbow** – Without median access, all vehicles will enter as right turns. Rainbow is a Principal Arterial with a design speed of 50 mph. Per DPM 23.6.B.13, 40-60 arrivals per peak hour (0.67-1.00 per minute) warrants a right turn deceleration taper with a length of 150 ft. This will be shown on the site plan and identified on an infrastructure list.

**B) Woodmont** – With full median access, the 20 arriving vehicles over a 20 minute peak will be split between left and right turns for an estimated arrival time of 0.5 per minute. This rate is below the requirement for a right turn taper so one will not be proposed. Per DPM 23.6.B.14, left turn lanes for 0.25-1.00 arrivals per minute require a turnbay length of 50' plus transition. Woodmont is a collector street with a design speed of 35 mph and therefore requires 150' reverse curve radii for the transition to create the 12' lane. This turn lane will be shown on the site plan and identified on an infrastructure list.

<b>PRINCIPALS</b>	JEFFREY G. MORTENSEN, P.E.	JUAN M. CALA	CHARLES G. CALA, JR., P.S.
GRADY E. BARRENS	J. GRAEME MEANS, P.E.	RICHARD C. WHITE	JOSEPH M. SOLOMON, JR., P.S.

January 12, 2007

Page 2 of 2

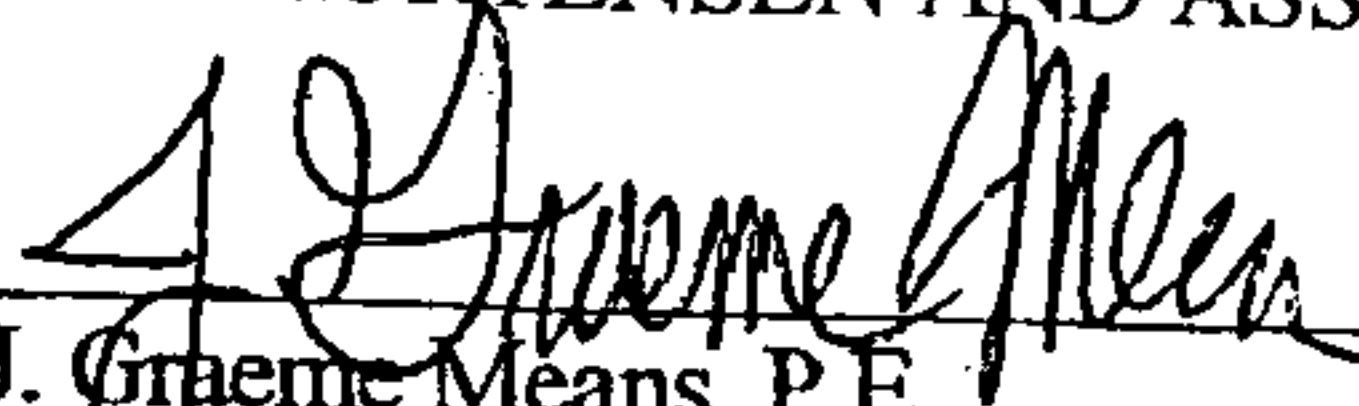
2) **Sight Distance** – Rainbow is a straight alignment and there is 16 feet of public right-of-way between the face of curb and the property line. Visibility is not restricted by geometry. Woodmont, however, has a curving alignment and eastbound vehicles on Woodmont will need visibility across a portion of the site to have adequate stopping sight distance to the proposed entrance. Woodmont is a Collector street with design speed of 35 mph. Per the AASHTO Green Book, this results in a wet stopping sight distance of 225-250 ft. Because the road is sloped downhill at approximately 6%, this distance needs to be lengthened by 30% (interpolating from table 3-2) with a resultant distance of 292.5 ft – 325 ft.

The sight distance line and restricted area will be shown on the forthcoming site plan.

Please let me know if you have any questions or comments regarding this analysis.

Sincerely,

JEFF MORTENSEN AND ASSOCIATES, INC.

 1/12/07  
J. Graeme Means, P.E.  
Principal

GM:\*

xc: Jim Rogers



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME The Church of Jesus LOS  
AGENT J.S. Rogers Arc.  
ADDRESS 821 Mountain Rd NW  
PROJECT & APP # 1002962/07DRB-00358  
PROJECT NAME \_\_\_\_\_

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ \_\_\_\_\_ 441006/4983000 DRB Actions
- \$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ \_\_\_\_\_ 441018/4971000 Public Notification
- \$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

J.S. Rogers Architects, P.C.  
821 Mountain Road NW  
Albuquerque, NM 87102  
505-247-1168

BANK OF ALBUQUERQUE, NA  
Albuquerque, New Mexico  
www.bankofalbuquerque.com  
95-660/1070

8785

3/20/2007

PAY TO THE ORDER OF City of Albuquerque

\$\*\*20.00

Twenty and 00/100 \*\*\*\*\* DOLLARS

City of Albuquerque

3/20/2007 3:54 PM TEL: 511X  
RECEIPT# 00072E.0 WCH-006 TRANS# 0045  
Account #441032 Filed 01/13  
Activity J-1000 TRC# 10  
Trans Amt. \$20.00  
J24 Misc \$20.00  
CK \$0.00  
CHANGE

MEMO 0514 Ventana DRB Submission

008785 107006606 2020159546

© 2005 INTUIT INC # 225 1-800-433-8870



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

August 9, 2006

**3. Project # 1002962**  
06DRB-01021 Major-Two Year SIA

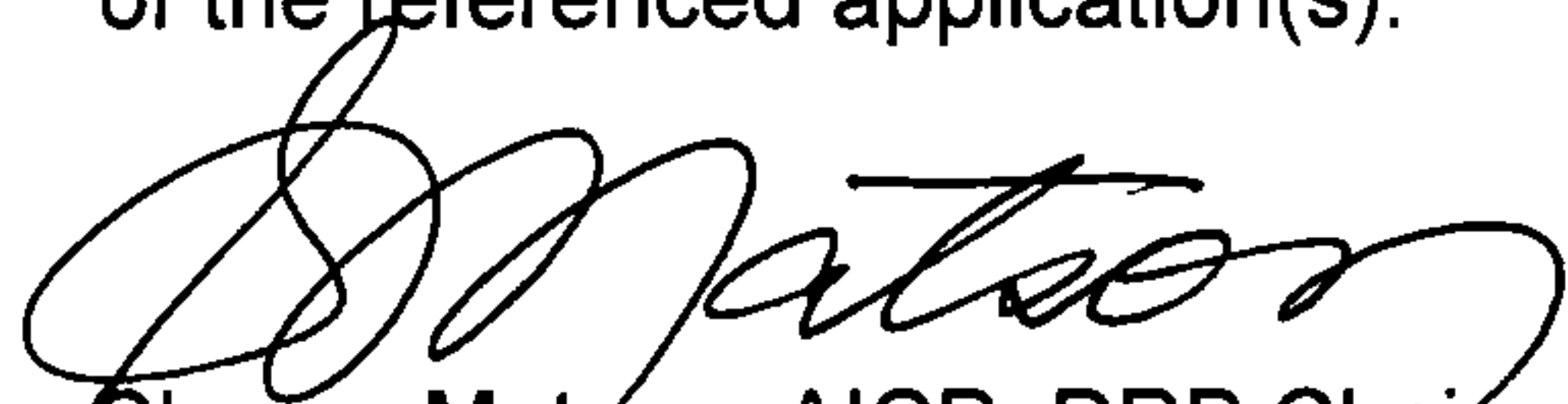
WILSON & COMPANY agent(s) for THE TRAILS LLC, RICK BELTRAMO PE request(s) the above action(s) for all or a portion of Tract(s) A, B, C, D & F, **THE TRAILS**, TRACT A, HERITAGE, UNIT 1, TRACT B, HERITAGE, UNIT 2, TRACT C, SANTA FE @ THE TRAILS, UNIT 1, TRACT D, TAOS @ THE TRAILS, UNIT 1 AND TRACT F, RESERVE @ THE TRAILS, UNIT 1, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and WOODMONT AVE NW containing approximately 76 acre(s). [REF: 05DRB00297, 05DRB00308] (Listed as Proj.1002928 in error) (C-9)

At the August 9, 2006, Development Review Board meeting, a two-year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by August 24, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

Cc: The Trails LLC, Attn: Rick Beltramo PE, 7007 Jefferson St NE, Ste A, 87109  
Wilson & Co., Attn: Steve Salazar, 2600 The American Rd, Ste. #100, Rio Rancho, NM  
87124  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
File



#3

#1002962

8-9-06

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002962 AGENDA#: 3 DATE: 8/9/06

1. Name: Rob Peltz Address: 7007 Jellison Zip: 57109
2. Name: Steve Schlager Address: Wilbur's Po. Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_



# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002962**

**AGENDA ITEM NO: 3**

**SUBJECT:**

SIA Extension

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

P.O. Box 1293

No adverse comments.

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:** 2<sup>nd</sup>

APPROVED X; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** AUGUST 9, 2006



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

August 9, 2006

**Project # 1002962**  
**06DRB-01021 Major-Two Year SIA**

WILSON & COMPANY agent(s) for THE TRAILS LLC, RICK BELTRAMO PE request(s) the above action(s) for all or a portion of Tract(s) A, B, C, D & F, **THE TRAILS**, TRACT A, HERITAGE, UNIT 1, TRACT B, HERITAGE, UNIT 2, TRACT C, SANTA FE @ THE TRAILS, UNIT 1, TRACT D, TAOS @ THE TRAILS, UNIT 1 AND TRACT F, RESERVE @ THE TRAILS, UNIT 1, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and WOODMONT AVE NW containing approximately 76 acre(s). [REF: 05DRB00297, 05DRB00308] (Listed as Proj.1002928 in error) (C-9)

- AMAFCA No adverse comments.
- COG No adverse comments.
- Transit No adverse comments.
- Zoning Enforcement No adverse comments.
- Neighborhood Coordination No Association(s).

APS **Taos at the Trails** is part of a larger project known as The Trails, which will consist of a total of approximately 2,000 dwelling units. The Trails will impact Ventana Ranch Elementary, James Monroe Middle School, and Cibola High School. **Currently all three schools are exceeding capacity.**

School	2006-07 Projections	2006-07 Capacity	Space Available
Ventana Ranch	1,130	850	-280
James Monroe	1,520	1,274	-246
Cibola	3,071	2,300	-771

A new northwest high school will open with a 9<sup>th</sup> grade academy in 2007. The remainder of the high school will open in 2008. The new northwest high school will relieve overcrowding at Cibola High School.

## APS

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

Provide new capacity (long term solution)  
Construct new schools or additions  
Add portables  
Use of non-classroom spaces for temporary classrooms  
Lease facilities  
Use other public facilities  
Improve facility efficiency (short term solution)  
Schedule Changes  
Double sessions  
Multi-track year-round  
Other  
Float teachers (flex schedule)  
Shift students to Schools with Capacity (short term solution)  
Boundary Adjustments / Busing  
Grade reconfiguration  
Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

Police Department	No crime prevention or CPTED comments at this time.
Fire Department	No adverse comments.
PNM Electric & Gas	No adverse comments.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	No comments received.
M.R.G.C.D.	No comments received.
Open Space Division	No adverse comments.
City Engineer	The Hydrology section has no objection to the extension request.
Transportation Development	

What is the difference between the previous request and this one?  
(Rainbow??)

Parks & Recreation

No objection.

Utilities Development

No objection to Extension request.

Planning Department

No objection.

Impact Fee Administrator

No comment on extension of SIA.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

Cc: The Trails LLC, Attn: Rick Beltramo PE, 7007 Jefferson St NE, Ste A, 87109  
Wilson & Co., Attn: Steve Salazar, 2600 The American Rd, Ste. #100, Rio Rancho,  
NM 87124

~~008~~  
~~1002928~~  
8321  
1002928

**CITY OF PLANNING  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

6/6/06  
~~2/2/08~~

**Meeting Date:** AUGUST 9, 2006  
**Zone Atlas Page:** C-9-Z  
**Notification Radius:** 100 Ft.

1002962  
**Project#** ~~1002928~~  
**App#**06DRB-01020

**Cross Reference and Location:** RAINBOW BLVD NW BETWEEN PASEO DEL NORTE NW AND WOODMONT AVE NW

**Applicant:** THE TRAILS, LLC ATTN: RICK BELTRAMO, PE  
**Address:** 7007 JEFFERSON STREET NE STE# A  
ALBUQUERQUE, NM 87109

**Agent:** STEVE SALAZAR, PE-WILSON AND COMPANY  
2600 THE AMERICAN RD STE# 100  
RIO RANCHO, NM 87124

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** JULY 21, 2006  
**Signature:** YVONNE SAAVEDRA

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

<p style="text-align: right;">Supplemental form</p> <p><b>SUBDIVISION</b> <span style="float: right;"><b>S</b></span></p> <p><input checked="" type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation <span style="float: right;"><b>V</b></span></p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p><b>SITE DEVELOPMENT PLAN</b> <span style="float: right;"><b>P</b></span></p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC) <span style="float: right;"><b>L</b></span></p>	<p style="text-align: right;">Supplemental form</p> <p><b>ZONING &amp; PLANNING</b> <span style="float: right;"><b>Z</b></span></p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p><b>APPEAL / PROTEST of...</b> <span style="float: right;"><b>A</b></span></p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: The Trails, LLC Attn: Rick Beltramo, PE PHONE: (505)761-9911

ADDRESS: 7007 Jefferson Street NE Ste. A FAX: (505) 761-9922

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: rbeltramo@longfordgroup.com

Proprietary interest in site: Owner List all owners: The Trails, LLC

AGENT (if any): Steve Salazar, PE - Wilson and Company PHONE: (505) 348-4000

ADDRESS: 2600 The American Rd. Suite 100 FAX: (505) 898-8501

CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: sjsalazar@wilsonco.com

DESCRIPTION OF REQUEST: Requests Major - Two Year Extension of Subdivision Improvements Agreement

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract D of ~~Bull~~ Plat of The Trails Block: N/A Unit: N/A

Subdiv. / Adn. TBK Taos at The Trails (Tract D at The Trails)

Current Zoning: RD Proposed zoning: No Change

Zone Atlas page(s): C 9 Z No. of existing lots: 91 No. of proposed lots: n/a

Total area of site (acres): 18.4 ac Density if applicable: dwellings per gross acre: 4.94 dwellings per net acre: 4.94

Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill?  No

UPC No. 100906430838621710 MRGCD Map No. N/A

LOCATION OF PROPERTY BY STREETS: On or Near: Rainbow Blvd. NW

Between: Paseo del Norte NW and Woodmont Ave. NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): DRB #1002928, DRC# 730082, app.03-01532, 05-00308

Check-off if project was previously reviewed by Sketch Plat/Plan, or Pre-application Review Team . Date of review: 7/13/06

SIGNATURE [Signature] DATE 7/13/06

(Print) Steve J. Salazar, PE  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<p><input checked="" type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input checked="" type="checkbox"/> F.H.D.P. density bonus</p> <p><input checked="" type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>DADRBS - 01020</u></p> <p><u>ADD</u></p> <p><u>CMF</u></p> <p>Hearing date <u>8-9-06</u></p>	<p>Action</p> <p><u>SIA</u></p> <p><u>ADD</u></p> <p><u>CMF</u></p>	<p>S.F.</p> <p><u>512</u></p>	<p>Fees</p> <p>\$ <u>50.00</u></p> <p>\$ <u>75.00</u></p> <p>\$ <u>20.00</u></p> <p>\$</p> <p>\$</p> <p>Total</p> <p>\$ <u>145.00</u></p>
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[Signature] 7/14/06  
Planner signature / date

Project # 1002928

**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL**

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
  - Proposed Infrastructure List
  - Design elevations & cross sections of perimeter walls
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed plat
  - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.  
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
  - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.  
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

**MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT**

**(Temporary sidewalk deferral uses FORM-V)**

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

**DRB Public hearings are approximately ONE MONTH after the filing deadline.** Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Steve Salazar, PE  
Applicant name (print)

[Signature]  
Applicant signature / date

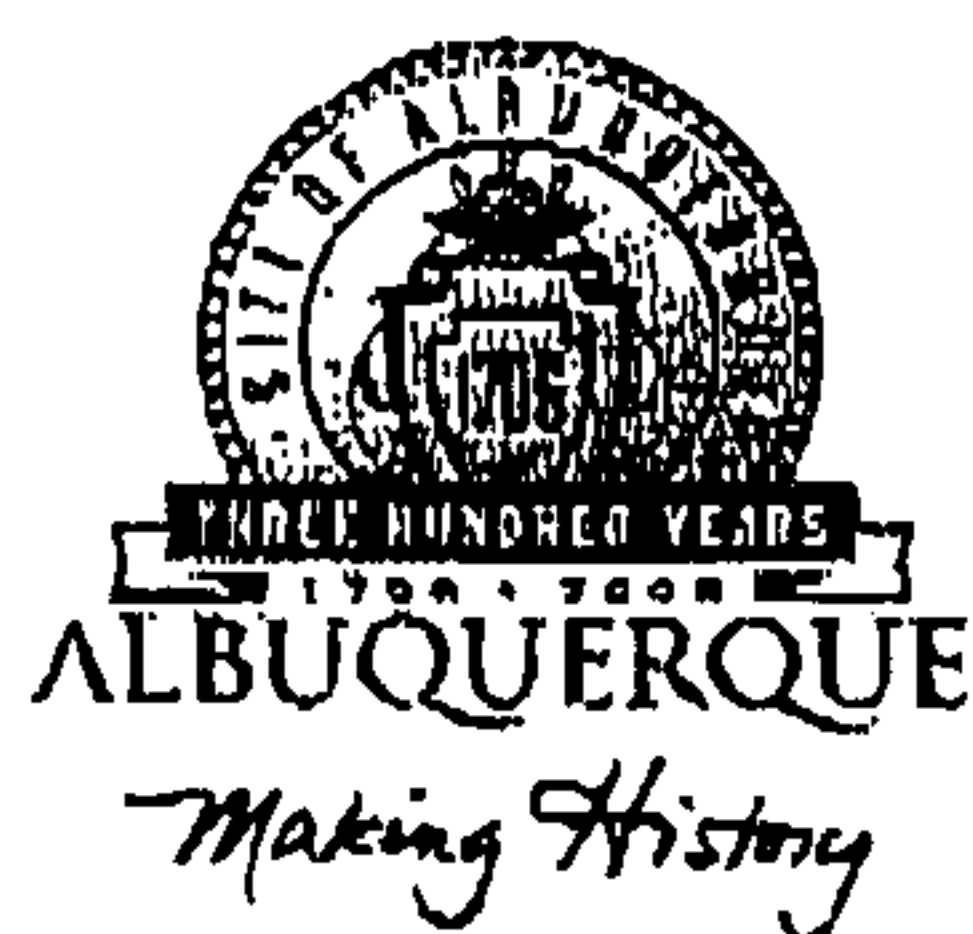


Form revised 9/01, 8/03 and 9/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
DuDRB - - 01020  
Ki-Sis 7/14/06  
 Planner signature / date

**Project #** 1002928



*City of Albuquerque*  
P.O. Box 1293, Albuquerque, NM 87103

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

July 13, 2006

Planning Department  
Plaza Del Sol Building  
600 Second St. NW  
Second Floor (924-3860)

This letter will serve to notify you that on **July 13, 2006:**

**CONTACT NAME:** STEVE J. SALAZAR, PE

**COMPANY OR AGENCY:** WILSON AND COMPANY  
2600 THE AMERICAN ROAD, SUITE 100  
RIO RANCHO, NM 87124  
PHONE: 505-898-8021/FAX: 898-8501

contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at **TAOS AT THE TRAILS** zone map **C-9**.

*Our records indicate that as of July 13, 2006, there were no Recognized Neighborhood Associations in this area.*

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

Stephani Winklepleck  
Neighborhood Program Coordinator  
OFFICE OF NEIGHBORHOOD COORDINATION  
PLANNING DEPARTMENT

planningnrnaform(05/18/06)



**WILSON  
& COMPANY**

2600 American Rd. SE, Suite 100  
Rio Rancho, NM 87124  
505-898-8021  
505-898-8501 Fax

CERTIFIED MAIL

13 July 2006

Ms. Laura Horton  
Ventana Ranch Neighborhood Association  
7224 Cascada Road NW  
Albuquerque, NM 87114  
(505) 792-9227

Re: **Neighborhood Association Notification**  
Taos at The Trails (COA # 730082, DRB# 1002928)  
Extension of Subdivision Improvements Agreement

Dear Ms. Horton:


This letter is to inform the Ventana Ranch NA that Wilson & Company, Inc., acting as agents for The Trails, LLC, is requesting an extension of subdivision improvements agreements for the construction of the Taos at the Trails Unit I, subdivision improvements. We are requesting the SIA extension to complete the construction of the improvements in the Taos Subdivision.

Attached is a zone atlas map showing the location of this project for your reference.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, August 9<sup>th</sup>, 2006 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 898-8021.

WILSON & COMPANY

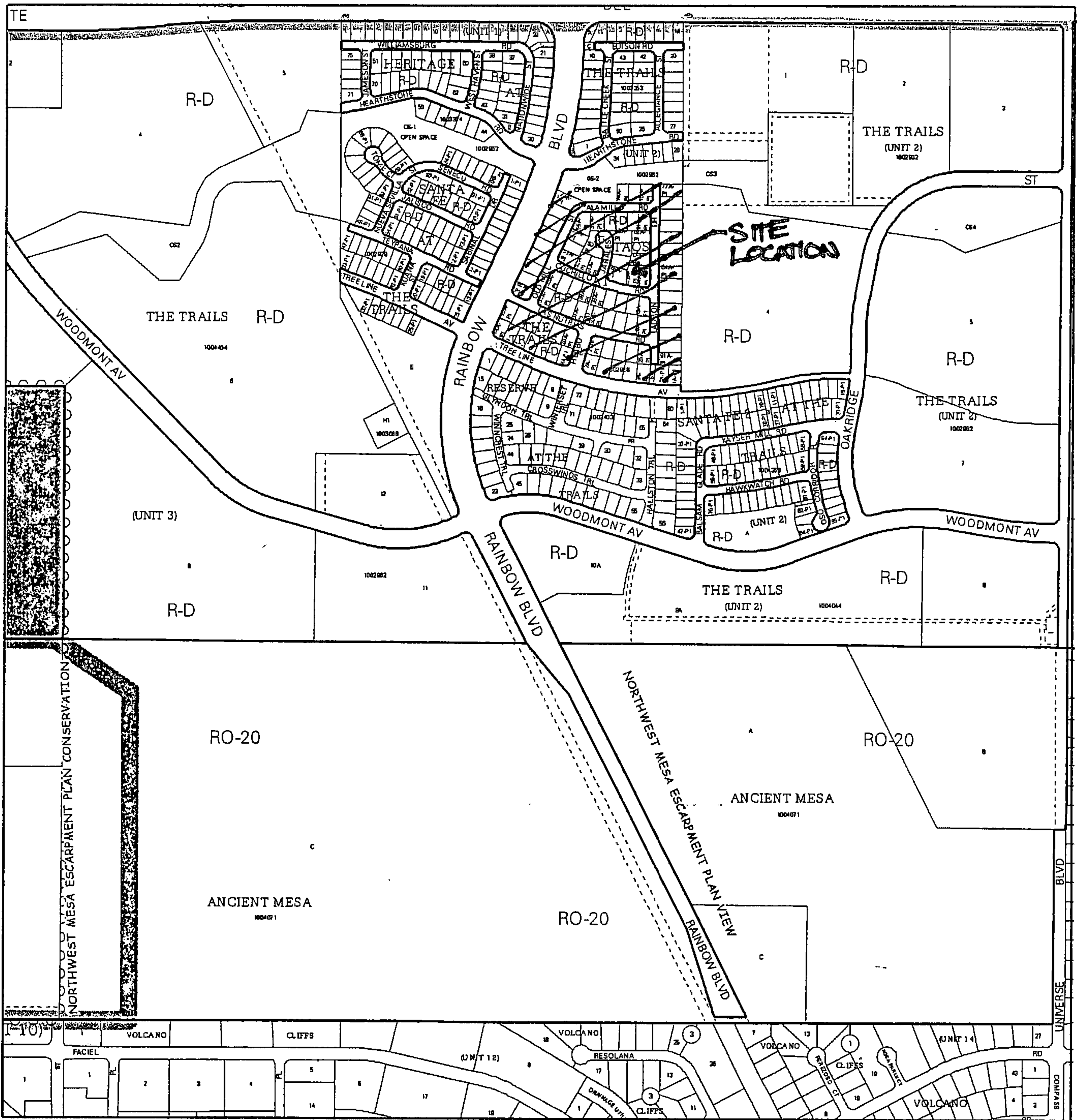
  
Steve J. Salazar, P.E.  
Project Manager  
Email: [jsalazar@wilsonco.com](mailto:jsalazar@wilsonco.com)

7005 0390 0001 6083 0831

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(Domestic Mail Only; No Insurance Coverage Provided)	
For delivery information visit our website at <a href="http://www.usps.com">www.usps.com</a>	
OFFICIAL USE	
Postage	\$ 0.39
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.64
UNIT ID: 0127	
Postmark Here	
Clerk: KTG19	
07/13/06	

Sent To  
Ms. Laura Horton - Ventana Ranch NA.  
Street, Apt. No.,  
or PO Box No. 7224 Cascada Rd NW  
City, State, ZIP+4  
Albuquerque NM 87114

PS Form 3800, June 2002 See Reverse for Instructions



For more current information and more details visit <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-09-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Map amended through: 6/21/2006



**WILSON  
& COMPANY**

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For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$ 0.39
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 4.64</b>

UNIT ID: 0127  
Postmark Here  
Clerk: KTGH19  
07/13/06

CERTIFIED MAIL

13 July 2006

Mr. Bruce Nyberg  
Ventana Ranch Neighborhood Association  
6824 Brushfield Road NW  
Albuquerque, NM 87114  
(505) 792-9227

Sent To  
 MK Bruce Nyberg - Ventana Ranch NA  
 Street, Apt. No.,  
 or PO Box No. 6824 Brushfield Rd NW  
 City, State, ZIP+4  
 Albuquerque NM 87114

PS Form 3800, June 2002 See Reverse for Instructions

Re: **Neighborhood Association Notification**  
Taos at The Trails (COA # 730082, DRB# 1002928)  
Extension of Subdivision Improvements Agreement

Dear Mr. Nyberg:

This letter is to inform the Ventana Ranch NA that Wilson & Company, Inc., acting as agents for The Trails, LLC, is requesting an extension of subdivision improvements agreements for the construction of the Taos at the Trails Unit I, subdivision improvements. We are requesting the SIA extension to complete the construction of the improvements in the Taos Subdivision.

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If you have any questions concerning this project, please contact me at (505) 898-8021.

WILSON & COMPANY

Steve J. Salazar, P.E.  
Project Manager  
Email: [sjsalazar@wilsonco.com](mailto:sjsalazar@wilsonco.com)

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*Planning*

100906432245520406	LEGAL: LT 2 9 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906431745420405	LEGAL: LT 3 0 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906431245420404	LEGAL: LT 3 1 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430745320403	LEGAL: LT 3 2 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430245220402	LEGAL: LT 3 3 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906429545120401	LEGAL: LT 3 4 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430044221647	LEGAL: TR 0 S-2 BULK PLAT OF THE TRAILS A REPLAT OF A PORT LAND USE: PROPERTY ADDR: 00000 OWNER NAME: TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906436943210103	LEGAL: TR 0 S-3 BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING LAND USE: PROPERTY ADDR: 00000 OWNER NAME: THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906429843321646	LEGAL: LT 9 3-P1 PLAT FOR TAOS AT THE TRAILS CONT .1148 A LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906430343321645	LEGAL: LT 9 2-P1 PLAT FOR TAOS AT THE TRAILS CONT .1034 A LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906430743321644	LEGAL: LT 9 1-P1 PLAT FOR TAOS AT THE TRAILS CONT .1034 A LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120

100906431143321643	LEGAL: LT 9 0-P1 PLAT FOR TAOS AT THE TRAILS CONT .1118 A LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906432343521642	LEGAL: LT 1 30-P 1 PLAT FOR TAOS AT THE TRAILS CONT .1328 LAND USE: PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906437638010102	LEGAL: TR 4 BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A LAND USE: PROPERTY ADDR: 00000 OWNER NAME: THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906426843021648	LEGAL: LT 9 4-P1 PLAT FOR TAOS AT THE TRAILS CONT .1687 A LAND USE: PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906432343121641	LEGAL: LT 1 29-P 1 PLAT FOR TAOS AT THE TRAILS CONT .1104 LAND USE: PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906426642521649	LEGAL: LT 9 5-P1 PLAT FOR TAOS AT THE TRAILS CONT .0992 A LAND USE: PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906432342721640	LEGAL: LT 1 28-P 1 PLAT FOR TAOS AT THE TRAILS CONT .1106 LAND USE: PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906426442221650	LEGAL: LT 9 6-P1 PLAT FOR TAOS AT THE TRAILS CONT .0963 A LAND USE: PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906432342321639	LEGAL: LT 1 27-P 1 PLAT FOR TAOS AT THE TRAILS CONT .1108 LAND USE: PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906427641721724	LEGAL: LT 8 2-P1 PLAT FOR TAOS AT THE TRAILS CONT .1480 A LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906428141821723	LEGAL: LT 8 3-P1 PLAT FOR TAOS AT THE TRAILS CONT .0981 A LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120

## RECORDS WITH LABELS

PAGE 3

100906428641821722	LEGAL: LT 8 4-P1 PLAT FOR TAOS AT THE TRAILS CONT .1040 A LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906429041821721	LEGAL: TR A PLAT FOR TAOS AT THE TRAILS CONT .0648 AC LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906429341821720	LEGAL: LT 8 5-P1 PLAT FOR TAOS AT THE TRAILS CONT .1105 A LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906429841821719	LEGAL: LT 8 6-P1 PLAT FOR TAOS AT THE TRAILS CONT .0990 A LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906430241821718	LEGAL: LT 8 7-P1 PLAT FOR TAOS AT THE TRAILS CONT .0990 A LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906430741821717	LEGAL: LT 8 8-P1 PLAT FOR TAOS AT THE TRAILS CONT .0990 A LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906431141821716	LEGAL: LT 8 9-P1 PLAT FOR TAOS AT THE TRAILS CONT .1074 A LAND USE: PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906426241821651	LEGAL: LT 9 7-P1 PLAT FOR TAOS AT THE TRAILS CONT .0953 A LAND USE: PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906432341921638	LEGAL: LT 1 26-P 1 PLAT FOR TAOS AT THE TRAILS CONT .1109 LAND USE: PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906426341521652	LEGAL: LT 9 8-P1 PLAT FOR TAOS AT THE TRAILS CONT .0949 A LAND USE: PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906432341521637	LEGAL: LT 1 25-P 1 PLAT FOR TAOS AT THE TRAILS CONT .1250 LAND USE: PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120

## RECORDS WITH LABELS

PAGE 4

100906425941121653	LEGAL: LT 9 9-P1 PLAT FOR TAOS AT THE TRAILS CONT .0949 A LAND USE: PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906427541021725	LEGAL: LT 8 1-P1 PLAT FOR TAOS AT THE TRAILS CONT .1230 A LAND USE: PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906428340621704	LEGAL: LT 7 7-P1 PLAT FOR TAOS AT THE TRAILS CONT .1947 A LAND USE: PROPERTY ADDR: 00000 JARALES OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906429841021705	LEGAL: LT 7 0-P1 PLAT FOR TAOS AT THE TRAILS CONT .1375 A LAND USE: PROPERTY ADDR: 00000 JARALES OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906430841021715	LEGAL: LT 6 9-P1 PLAT FOR TAOS AT THE TRAILS CONT .1205 A LAND USE: PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906432341021636	LEGAL: LT 1 24-P 1 PLAT FOR TAOS AT THE TRAILS CONT .1113 LAND USE: PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906425740821654	LEGAL: LT 1 00-P 1 PLAT FOR TAOS AT THE TRAILS CONT .0948 LAND USE: PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906427340621726	LEGAL: LT 8 0-P1 PLAT FOR TAOS AT THE TRAILS CONT .0991 A LAND USE: PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906432340721635	LEGAL: LT 1 23-P 1 PLAT FOR TAOS AT THE TRAILS CONT .1115 LAND USE: PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906430840621714	LEGAL: LT 6 8-P1 PLAT FOR TAOS AT THE TRAILS CONT .1088 A LAND USE: PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120
100906429840521706	LEGAL: LT 7 1-P1 PLAT FOR TAOS AT THE TRAILS CONT .1233 A LAND USE: PROPERTY ADDR: 00000 JARALES OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD	LAS VEGAS	NV	89120

RECORDS WITH LABELS

PAGE 5

100906425640421655	LEGAL: LT 1 01-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0947	LAND USE:	RD	LAS VEGAS	NV	89120
100906427140221727	LEGAL: LT 7 9-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0989 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906432340221634	LEGAL: LT 1 22-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1116	LAND USE:	RD	LAS VEGAS	NV	89120
100906425440021656	LEGAL: LT 1 02-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0946	LAND USE:	RD	LAS VEGAS	NV	89120
100906430840121713	LEGAL: LT 6 7-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1088 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906427839721702	LEGAL: LT 7 6-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1433 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906429839921707	LEGAL: LT 7 2-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 JARALES OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1485 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906426939821701	LEGAL: LT 7 8-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1085 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906428339521703	LEGAL: LT 7 5-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1386 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906432339921633	LEGAL: LT 1 21-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1118	LAND USE:	RD	LAS VEGAS	NV	89120
100906425239621657	LEGAL: LT 1 03-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0946	LAND USE:	RD	LAS VEGAS	NV	89120

RECORDS WITH LABELS

PAGE 6

100906430839621712	LEGAL: LT 6 6-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1088 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906429439221708	LEGAL: LT 7 4-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1358 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906425039321658	LEGAL: LT 1 04-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0945	LAND USE:	RD	LAS VEGAS	NV	89120
100906432339521632	LEGAL: LT 1 20-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1119	LAND USE:	RD	LAS VEGAS	NV	89120
100906430039021709	LEGAL: LT 7 3-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1531 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906430839221711	LEGAL: LT 6 5-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1088 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906424938921659	LEGAL: LT 1 05-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0944	LAND USE:	RD	LAS VEGAS	NV	89120
100906432339021631	LEGAL: LT 1 19-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1262	LAND USE:	RD	LAS VEGAS	NV	89120
100906426238721826	LEGAL: LT 5 2-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1023 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906426638621825	LEGAL: LT 5 3-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0955 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906426938421824	LEGAL: LT 5 4-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0955 A	LAND USE:	RD	LAS VEGAS	NV	89120

## RECORDS WITH LABELS

PAGE 7

100906424738521660	LEGAL: LT 1 06-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0943	LAND USE: RD LAS VEGAS NV	89120
100906430838621710	LEGAL: LT 6 4-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1277 A	LAND USE: RD LAS VEGAS NV	89120
100906427338221823	LEGAL: LT 5 5-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0955 A	LAND USE: RD LAS VEGAS NV	89120
100906432338621630	LEGAL: LT 1 18-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1122	LAND USE: RD LAS VEGAS NV	89120
100906427738121822	LEGAL: LT 5 6-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0955 A	LAND USE: RD LAS VEGAS NV	89120
100906424538121661	LEGAL: LT 1 07-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 OLD MILL OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1351	LAND USE: RD LAS VEGAS NV	89120
100906428138021821	LEGAL: LT 5 7-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1253 A	LAND USE: RD LAS VEGAS NV	89120
100906425837921801	LEGAL: LT 5 1-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1058 A	LAND USE: RD LAS VEGAS NV	89120
100906432338221629	LEGAL: LT 1 17-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1124	LAND USE: RD LAS VEGAS NV	89120
100906428337321807	LEGAL: TR B PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1585 AC	LAND USE: RD LAS VEGAS NV	89120
100906428937721820	LEGAL: LT 5 8-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1116 A	LAND USE: RD LAS VEGAS NV	89120

## RECORDS WITH LABELS

PAGE 8

100906426237721802	LEGAL: LT 5 0-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0988 A	LAND USE: RD LAS VEGAS NV	89120
100906429337621819	LEGAL: LT 5 9-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0996 A	LAND USE: RD LAS VEGAS NV	89120
100906429837621818	LEGAL: LT 6 0-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0996 A	LAND USE: RD LAS VEGAS NV	89120
100906426537521803	LEGAL: LT 4 9-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0987 A	LAND USE: RD LAS VEGAS NV	89120
100906430237521817	LEGAL: LT 6 1-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0996 A	LAND USE: RD LAS VEGAS NV	89120
100906432337821628	LEGAL: LT 1 16-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1126	LAND USE: RD LAS VEGAS NV	89120
100906430637421816	LEGAL: LT 6 2-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0996 A	LAND USE: RD LAS VEGAS NV	89120
100906431037321815	LEGAL: LT 6 3-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 CUCHILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1165 A	LAND USE: RD LAS VEGAS NV	89120
100906426937321804	LEGAL: LT 4 8-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0987 A	LAND USE: RD LAS VEGAS NV	89120
100906427337221805	LEGAL: LT 4 7-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0987 A	LAND USE: RD LAS VEGAS NV	89120
100906423837121920	LEGAL: LT 2 2-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1066 A	LAND USE: RD LAS VEGAS NV	89120



RECORDS WITH LABELS

PAGE 9

100906432337421627	LEGAL: LT 1 15-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1127	LAND USE:	RD	LAS VEGAS	NV	89120
100906427837121806	LEGAL: LT 4 6-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1117 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906424236921919	LEGAL: LT 2 3-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0949 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906428636821808	LEGAL: LT 4 5-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1081 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906424536821918	LEGAL: LT 2 4-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0949 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906429036721809	LEGAL: LT 4 4-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0960 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906432337021626	LEGAL: LT 1 14-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1270	LAND USE:	RD	LAS VEGAS	NV	89120
100906424936621917	LEGAL: LT 2 5-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0949 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906429436621810	LEGAL: LT 4 3-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0960 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906429836521811	LEGAL: LT 4 2-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0960 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906430236521812	LEGAL: LT 4 1-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0960 A	LAND USE:	RD	LAS VEGAS	NV	89120

RECORDS WITH LABELS

PAGE 10

100906425336421916	LEGAL: LT 2 6-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0955 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906430636421813	LEGAL: LT 4 0-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0960 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906431036321814	LEGAL: LT 3 9-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1116 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906425636221915	LEGAL: LT 2 7-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0966 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906432336621625	LEGAL: LT 1 13-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1131	LAND USE:	RD	LAS VEGAS	NV	89120
100906423436221901	LEGAL: LT 2 1-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1317 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906426036121914	LEGAL: LT 2 8-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0966 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906423926021902	LEGAL: LT 2 0-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0931 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906426435921913	LEGAL: LT 2 9-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0966 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906426835821912	LEGAL: LT 3 0-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0966 A	LAND USE:	RD	LAS VEGAS	NV	89120
100906432336221624	LEGAL: LT 1 12-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1132	LAND USE:	RD	LAS VEGAS	NV	89120

RECORDS WITH LABELS

PAGE 11

100906424235821903	LEGAL: LT 1 9-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0931 A LAND USE: RD LAS VEGAS NV	89120
100906427235621911	LEGAL: LT 3 1-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1069 A LAND USE: RD LAS VEGAS NV	89120
100906424635621904	LEGAL: LT 1 8-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0931 A LAND USE: RD LAS VEGAS NV	89120
100906425035421905	LEGAL: LT 1 7-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0943 A LAND USE: RD LAS VEGAS NV	89120
100906432335721623	LEGAL: LT 1 11-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1134 LAND USE: RD LAS VEGAS NV	89120
100906425435321906	LEGAL: LT 1 6-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0948 A LAND USE: RD LAS VEGAS NV	89120
100906428435321613	LEGAL: LT 3 2-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1169 A LAND USE: RD LAS VEGAS NV	89120
100906428835221614	LEGAL: LT 3 3-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1062 A LAND USE: RD LAS VEGAS NV	89120
100906425735121907	LEGAL: LT 1 5-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0948 A LAND USE: RD LAS VEGAS NV	89120
100906429335121615	LEGAL: LT 3 4-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1062 A LAND USE: RD LAS VEGAS NV	89120
100906429735021616	LEGAL: LT 3 5-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1062 A LAND USE: RD LAS VEGAS NV	89120

RECORDS WITH LABELS

PAGE 12

100906432335421622	LEGAL: LT 1 10-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1136 LAND USE: RD LAS VEGAS NV	89120
100906426135021908	LEGAL: LT 1 4-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0948 A LAND USE: RD LAS VEGAS NV	89120
100906430234921617	LEGAL: LT 3 6-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1062 A LAND USE: RD LAS VEGAS NV	89120
100906430634921618	LEGAL: LT 3 7-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1062 A LAND USE: RD LAS VEGAS NV	89120
100906426534921909	LEGAL: LT 1 3-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .0948 A LAND USE: RD LAS VEGAS NV	89120
100906431134921619	LEGAL: LT 3 8-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LAS NUTRIAS OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1214 A LAND USE: RD LAS VEGAS NV	89120
100906426934721910	LEGAL: LT 1 2-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1033 A LAND USE: RD LAS VEGAS NV	89120
100906432335021621	LEGAL: LT 1 09-P 1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1137 LAND USE: RD LAS VEGAS NV	89120
100906422834522001	LEGAL: LT 1 PLA T FOR THE RESERVE AT THE TRAILS SUBDIVISIO PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
10090642333422002	LEGAL: LT 2 PLA T FOR THE RESERVE AT THE TRAILS SUBDIVISIO PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906428134321601	LEGAL: LT 1 1-P1 PLAT FOR TAOS AT THE TRAILS PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	CONT .1090 A LAND USE: RD LAS VEGAS NV	89120

100906428534221602	LEGAL: LT 1 0-P1 PLAT FOR TAOS AT THE TRAILS CONT .1004 A LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906432334521620	LEGAL: LT 1 08-P 1 PLAT FOR TAOS AT THE TRAILS CONT .1383 LAND USE: PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906423834022003	LEGAL: LT 3 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906429034121603	LEGAL: LT 9 -P1 PLAT FOR TAOS AT THE TRAILS CONT .1004 AC LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906429434121604	LEGAL: LT 8 -P1 PLAT FOR TAOS AT THE TRAILS CONT .1004 AC LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906429834021605	LEGAL: LT 7 -P1 PLAT FOR TAOS AT THE TRAILS CONT .1004 AC LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906424233822004	LEGAL: LT 4 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430333921606	LEGAL: LT 6 -P1 PLAT FOR TAOS AT THE TRAILS CONT .1004 AC LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906430733921607	LEGAL: LT 5 -P1 PLAT FOR TAOS AT THE TRAILS CONT .1004 AC LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906431533821609	LEGAL: TR C PLAT FOR TAOS AT THE TRAILS CONT .0611 AC LAND USE: PROPERTY ADDR: 00000 OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906431133821608	LEGAL: LT 4 -P1 PLAT FOR TAOS AT THE TRAILS CONT .1004 AC LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120

100906424733622005	LEGAL: LT 5 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906431833821610	LEGAL: LT 3 -P1 PLAT FOR TAOS AT THE TRAILS CONT .1059 AC LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906432233721611	LEGAL: LT 2 -P1 PLAT FOR TAOS AT THE TRAILS CONT .1064 AC LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906432733721612	LEGAL: LT 1 -P1 PLAT FOR TAOS AT THE TRAILS CONT .1211 AC LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906425133422006	LEGAL: LT 6 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906437129210101	LEGAL: TR 6 BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A LAND USE: PROPERTY ADDR: 00000 OWNER NAME: INDUS DEVELOPMENT LTD CO OWNER ADDR: 08224 CALLE PRIMERA	NW ALBUQUERQUE NM	87120
100906425633222007	LEGAL: LT 7 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906426233022008	LEGAL: LT 8 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906423431922035	LEGAL: TR P R PL AT FOR THE RESERVE AT THE TRAILS SUBDIVISI LAND USE: PROPERTY ADDR: 00000 OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906427632622209	LEGAL: LT 7 2 PL AT FOR THE RESERVE AT THE TRAILS SUBDIVISI LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906428332422210	LEGAL: LT 7 3 PL AT FOR THE RESERVE AT THE TRAILS SUBDIVISI LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109

100906428832322211	LEGAL: LT 7 4 PL AT FOR THE RESERVE AT THE TRAILS SUBDIVISI LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906429332322212	LEGAL: LT 7 5 PL AT FOR THE RESERVE AT THE TRAILS SUBDIVISI LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906429832222213	LEGAL: LT 7 6 PL AT FOR THE RESERVE AT THE TRAILS SUBDIVISI LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430332122214	LEGAL: LT 7 7 PL AT FOR THE RESERVE AT THE TRAILS SUBDIVISI LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430932122215	LEGAL: LT 7 8 PL AT FOR THE RESERVE AT THE TRAILS SUBDIVISI LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906431832022216	LEGAL: LT 7 9 PL AT FOR THE RESERVE AT THE TRAILS SUBDIVISI LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906432531922217	LEGAL: LT 8 0 PL AT FOR THE RESERVE AT THE TRAILS SUBDIVISI LAND USE: PROPERTY ADDR: 00000 TREE LINE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, August 9, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

**Project # 1003469**

06DRB-00997 Major-Two Year SIA

LLAVE CONSTRUCTION INC request(s) the above action(s) for all or a portion of Lot(s) 25-27, Block(s) 2, Tract(s) 3, **OAKLAND HEIGHTS UNIT 3**, zoned R-D (3 DU/A) located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 3 acre(s). [REF: 04DRB-00891, 04DRB-00892] (C-20)

**Project # 1002928**

06DRB-01020 Major-Two Year SIA

WILSON & COMPANY agent(s) for THE TRAILS LLC, RICK BELTRAMO PE request(s) the above action(s) for all or a portion of Tract(s) D, THE TRAILS (to be known as **TAOS @ THE TRAILS**) zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and WOODMONT AVE NW containing approximately 18 acre(s). [REF: 03DRB01532, 05DRB00308] (C-9)

*1002962*  
**Project # ~~1002928~~**

06DRB-01021 Major-Two Year SIA

WILSON & COMPANY agent(s) for THE TRAILS LLC, RICK BELTRAMO PE request(s) the above action(s) for all or a portion of Tract(s) A, B, C, D & F, **THE TRAILS, TRACT A, HERITAGE, UNIT 1, TRACT B, HERITAGE, UNIT 2, TRACT C, SANTA FE @ THE TRAILS, UNIT 1, TRACT D, TAOS @ THE TRAILS, UNIT 1 AND TRACT F, RESERVE @ THE TRAILS, UNIT 1**, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and WOODMONT AVE NW containing approximately 76 acre(s). [REF: 05DRB00297, 05DRB00308] (C-9)

**Project # 1000560**

06DRB-01023 Major-SiteDev Plan BldPermit

NEW MEXICO CANCER CENTER agent(s) for HARTMAN & MAJEWSKI DESIGN GROUP request(s) the above action(s) for all or a portion of Tract(s) 1A-2-B-1, **JOURNAL CENTER**, zoned IP industrial park zone, located on HEADLINE BLVD NE, between PASEO DEL NORTE NE and LANG AVE NE containing approximately 6 acre(s). [REF: 05DRB00546, 05DRB00527] (D-17)

**SEE PAGE 2 . . .**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

**PAGE 2**

**Project # 1004675**

06DRB-01026 Major-Preliminary Plat Approval  
06DRB-01027 Major-Vacation of Public  
Easements  
06DRB-01028 Minor-Subd Design (DPM)  
Variance  
06DRB-01029 Minor-Sidewalk Waiver  
06DRB-01030 Minor-Temp Defer SDWK


MARK GOODWIN & ASSOCIATES PA agent(s) for T. S. MCNANEY request(s) the above action(s) for all or a portion of Tract(s) 1, SP KINSCHERFFLAND AND SW ¼ ON NE ¼, SEC 35, T11N, R2E (to be known as **VISTA DE LA LUZ**) zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAIL NW and DELLYNE AVE NW containing approximately 28 acre(s). [REF: 06DRB00836] (F-11)

**Project # 1004644**

06DRB-01017 Major-Preliminary Plat Approval  
06DRB-01018 Minor-Temp Defer SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (C-9)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 24, 2006.**

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

<p style="text-align: center;">Supplemental form</p> <p><b>SUBDIVISION</b> <span style="float: right;"><b>S</b></span></p> <p><input checked="" type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation <span style="float: right;"><b>V</b></span></p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p><b>SITE DEVELOPMENT PLAN</b> <span style="float: right;"><b>P</b></span></p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC) <span style="float: right;"><b>L</b></span></p>	<p style="text-align: center;">Supplemental form</p> <p><b>ZONING &amp; PLANNING</b> <span style="float: right;"><b>Z</b></span></p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p><b>APPEAL / PROTEST of...</b> <span style="float: right;"><b>A</b></span></p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: The Trails, LLC Attn: Rick Beltramo, PE PHONE: (505)761-9911

ADDRESS: 7007 Jefferson Street NE Ste. A FAX: (505) 761-9922

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: rbeltramo@longfordgroup.com

Proprietary interest in site: Owner List all owners: The Trails, LLC

AGENT (if any): Steve Salazar, PE - Wilson and Company PHONE: (505) 348-4000

ADDRESS: 2600 The American Rd. Suite 100 FAX: (505) 898-8501

CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: jsalazar@wilsonco.com

**DESCRIPTION OF REQUEST:** Requests Major - Two Year Extension of Subdivision Improvements Agreement

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract A, B, C, D, F of Bulk Land Plat of The Trails Block: N/A Unit:

Subdiv. / Addn. (Heritage Unit I) (Heritage Unit II, Santa Fe Trails and Reserve at The Trails (Tract D at The Trails)) CS

Current Zoning: RD Proposed zoning: No Change

Zone Atlas page(s): C 9 Z No. of existing lots: n/a No. of proposed lots: n/a

Total area of site (acres): 76 ac Density if applicable: dwellings per gross acre:  dwellings per net acre:

Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill?  No

UPC No. 100906430838621710 MRGCD Map No. N/A

LOCATION OF PROPERTY BY STREETS: On or Near: Rainbow Blvd. NW

Between: Paseo del Norte NW and Woodmont Ave. NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): DRB #1002928, 1002929, DRC# 730081, 738481, 738482, 730083, 730082, 738483.

Check-off if project was previously reviewed by Sketch Plat/Plan, or Pre-application Review Team . Date of review: 7/13/06

SIGNATURE [Signature] DATE 7/13/06

(Print) Steve J. Salazar, PE  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06 DRB - 01021</u>	<u>SIA</u>	<u>500</u>	\$ <u>50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>-</u>	<u>CMF</u>	<u>-</u>	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	<u>-</u>	<u>Adv.</u>	<u>-</u>	\$ <u>75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	<u>-</u>	<u>-</u>	<u>-</u>	\$ <u>-</u>
<input type="checkbox"/> Case history #s are listed	<u>-</u>	<u>-</u>	<u>-</u>	\$ <u>-</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	<u>-</u>	<u>-</u>	<u>-</u>	\$ <u>-</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus	<u>-</u>	<u>-</u>	<u>-</u>	\$ <u>-</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	<u>-</u>	<u>-</u>	<u>-</u>	\$ <u>-</u>
	Hearing date <u>August 9, 2006</u>			Total \$ <u>145.00</u>

[Signature] Planner signature / date

Project # 10029162  
~~1002928~~

**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL**

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Proposed Infrastructure List
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately **ONE MONTH** after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately **ONE MONTH** after the filing deadline. **Your attendance is required.**

**MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (Temporary sidewalk deferral uses FORM-V)**

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately **ONE MONTH** after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Steve Salazar, PE  
 Applicant name (print)  
[Signature] 7/13/06  
 Applicant signature / date



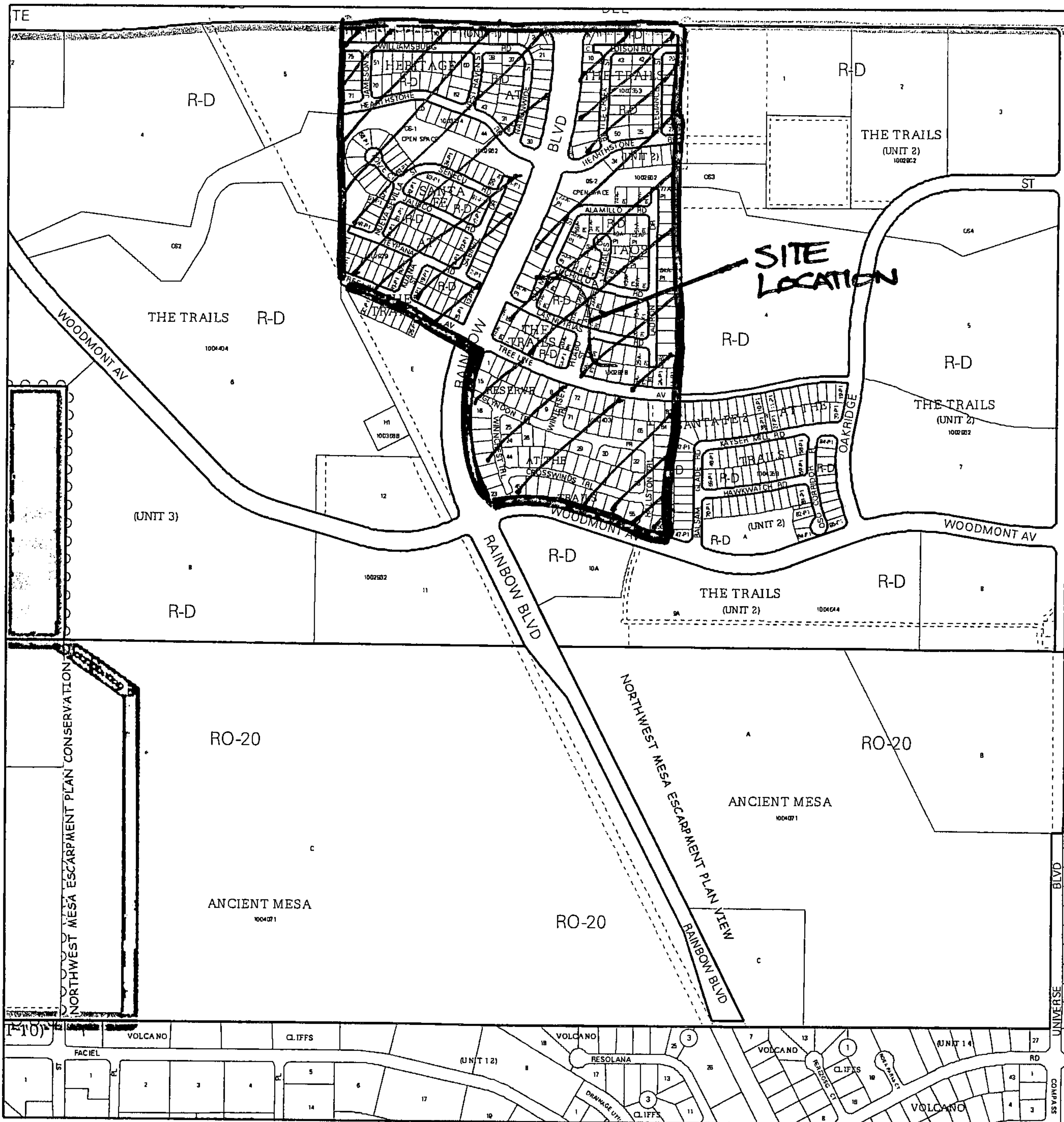
Form revised 9/01, 8/03 and 9/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 06DRB - \_\_\_\_\_ - 01021  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

[Signature] 7/14/06  
 Planner signature / date  
**Project #** 1002928  
2962





For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 6/21/2006

Note: Grey Shading Represents Area Outside of the City Limits.

Zone Atlas Page:  
**C-09-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



**WILSON  
& COMPANY**

2600 American Rd. SE, Suite 100  
Rio Rancho, NM 87124  
505-898-8021  
505-898-8501 Fax

Albuquerque  
Arlington  
Colorado Springs  
Denver  
El Paso  
Fort Worth  
Houston  
Kansas City  
Las Cruces  
Lenexa  
Los Angeles  
Omaha  
Phoenix  
Rio Rancho  
Salina  
San Bernardino

13 July 2006

**Sheran Matson, Chairperson**  
**City of Albuquerque**  
**Development Review Board**  
Plaza Del Sol  
600 Second Street NW  
Albuquerque, NM 87103

Re: *Tracts A, B, C, D, and R at The Trails*  
*(Heritage Units I, II, Santa Fe, Taos, Reserve at the Trails)*  
*Extension of Subdivision Improvements Agreement*  
COA Project Number – 730081, 730082, 730083, 738481, 738482, 738483 (DRB #  
1002929); WCI Project #X4218008

Dear Sheran:

This letter is to inform the **City of Albuquerque, Development Review Board** that Wilson & Company, Inc., acting as agents for The Trails LLC, is submitting an extension of Subdivision Improvements Agreement for the above subject property.

The following explanation is the reason for the extension of the subdivision improvements agreement. Longford is requesting extension of SIA to complete the construction of the Storm Drain outfall until the Boca Negra Dam has been constructed. This Boca Negra Project is currently under construction, thus the outfall for the Trails Subdivision is dependent of the Boca Negra. The Storm Drain outfall will be constructed per the COA infrastructure project 761281 per COA standards.

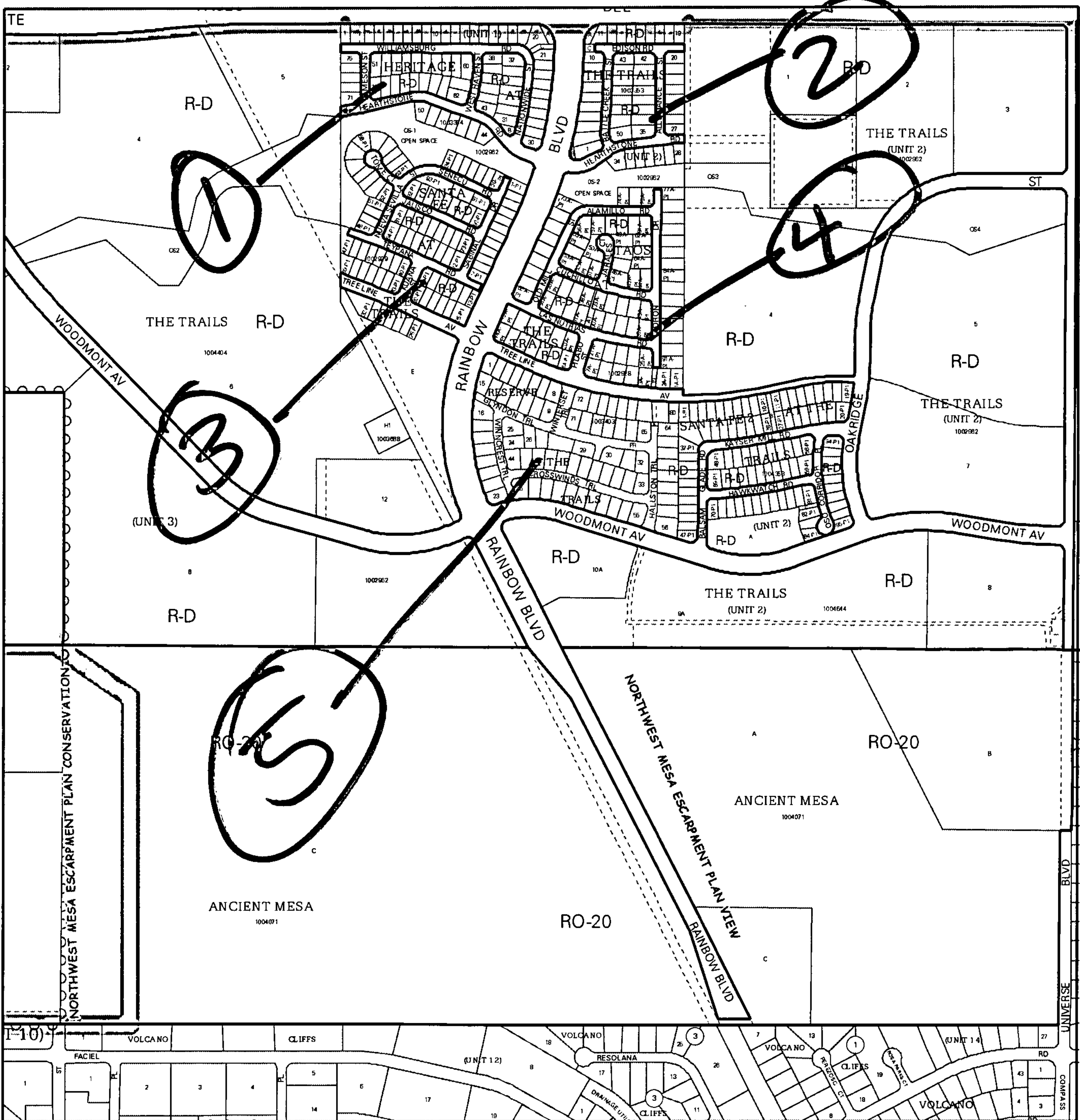
Attached are the items requested by the DRB for the extension of SIA.

If you have any questions concerning this proposed project, please contact me at (505) 898-8021.

WILSON & COMPANY



Steve J. Salazar, P.E.  
Email: [sjsalazar@wilsonco.com](mailto:sjsalazar@wilsonco.com)



For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 6/21/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-09-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from July 25, 2006 To August 9, 2006

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Angela Waldor  
(Applicant or Agent)

7/14/06  
(Date)

I issued 2 signs for this application,

7/14/06  
(Date)

Andrew Jones  
(Staff Member)

DRB PROJECT NUMBER: ~~1002928~~ 1002962

06 DRB-01021

**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME The Trails, LLC  
 AGENT Wilson Co - Steve Salazar  
 ADDRESS 2600 American Rd. Suite 100  
 PROJECT & APP # 1002928/06 DRB-01021  
 PROJECT NAME 1002962 The Trails (Two yr ext. SEA)

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 50.00 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75.00 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
 Major/Minor Subdivision  Site Development Plan  Bldg Permit  
 Letter of Map Revision  Conditional Letter of Map Revision  
 Traffic Impact Study

City Of Albuquerque  
Treasury Division

\$ 145.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

7/14/2006 11:07AM LOC: ANNX  
 RECEIPT# 00061294 WSH 008 TRAN# 0023  
 ACCOUNT 441018 FUND 0110  
 Activity 4971000 TRSCXG  
 Trans Amt \$145.00  
 J24 Misc \$75.00  
 CK \$145.00  
 CHANGE \$0.00  
 Thank You

City Of Albuquerque  
Treasury Division

7/14/2006 11:06AM LOC: ANNX  
 RECEIPT# 00061295 WSH 008 TRAN# 0023  
 Account 441006 Fund 0110  
 Activity 4983000 TRSCXG  
 Counterreceipt.doc 6/21/04  
 Trans Amt \$145.00  
 J24 Misc

\$50.00  
Thank You

City Of Albuquerque  
Treasury Division


7/14/2006 11:06AM LOC: ANNX  
 RECEIPT# 00061294 WSH 008 TRAN# 0023  
 Account 441032 Fund 0110  
 Activity 3424000 TRSCXG  
 Trans Amt \$145.00  
 J24 Misc

\$20.00  
Thank You

# PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1

BEING A REPLAT OF  
TRACT A, THE TRAILS  
WITHIN THE TOWN OF ALAMEDA GRANT  
PROJECTED SECTION 16,  
T. 11 N., R. 2 E., NMPM  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2004

ent, projected Section  
lpaal Meridian, City of  
TRACT A, THE TRAILS  
1 for record in the  
xico on December 15,  
acres more or less.



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6147264  
Page: 1 of 3  
09/22/2004 02:40P  
Bk-2004C Pg-294

Mary Herrera Bernal. Co. PLAT R 17.00

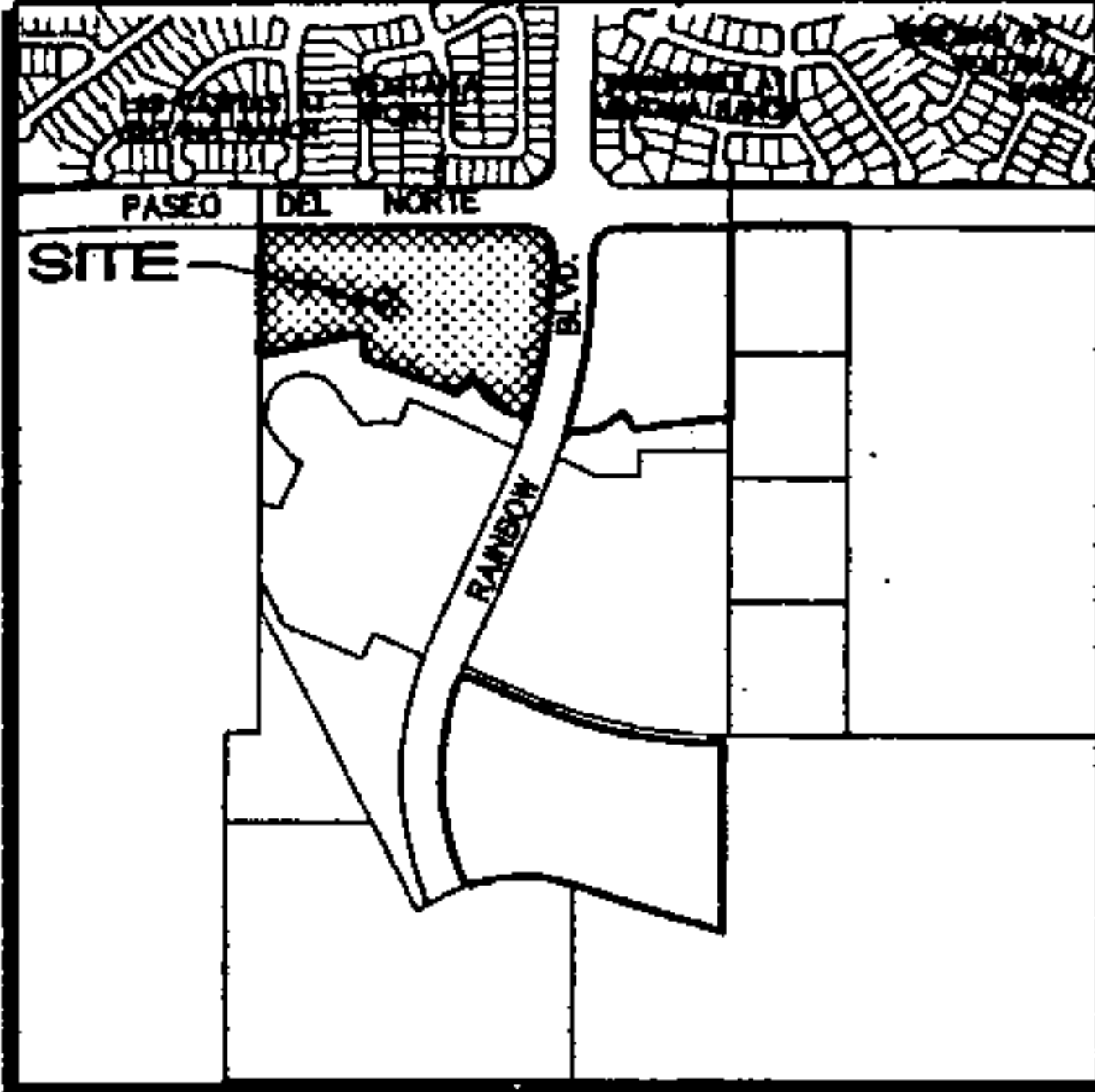
s a the vacated  
dedicate public  
to serve the

and in accordance with the  
thereof and said Owner(s)  
public rights-of-way shown  
ranty covenants and do  
shown hereon including the  
s t ein; and all public  
t u of gas, electrical power  
distribution lines, conduits, and  
rown or indicated, and  
n and maintenance, and the  
s) and/or Proprietor(s) do  
arrant that they hold among  
land subdivided, and do  
deed.

APPLICATION NO. 04-01416  
Utility Approvals

<u>Leonard G. Mart</u> PNM ELECTRIC SERVICES DIVISION	<u>8-27-04</u> DATE
<u>Leonard G. Mart</u> PNM GAS SERVICES DIVISION	<u>8-27-04</u> DATE
<u>David R. Muller</u> QWEST	<u>8-27-04</u> DATE
<u>Rita Eicks</u> COMCAST	<u>8-27-04</u> DATE
<u>[Signature]</u> NEW MEXICO UTILITIES City Approvals	<u>9-22-04</u> DATE

TALOS LOG NO.: XX XX XX



C-9-Z VICINITY MAP 1"=750'±

SUBDIVISION DATA / NOTES

- 1. Total Number of Existing Tracts: 1
2. Total Number of Lots created: 75
3. Total Number of Tracts created: 3
4. Gross Subdivision Acreage: 13.8860 Ac.
5. Total Mileage of Full Width Streets Created: 0.5962
6. Bearings are New Mexico State Plane Grid Bearings (Central Zone)
7. Distances are ground distances.
8. Bearings and distances in parentheses are record.
9. Basis of boundary are the following plats (and documents) of record entitled:
10. Field Survey performed on March, 2003.
11. Title Report: None provided.
12. This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
13. Basis of boundary is from the plats of record entitled:
UNPLATTED LAND OF "VOLCANO SIX LIMITED"
TRACT OS-1 OPEN SPACE
TRACT OS-2 OPEN SPACE
UNPLATTED LAND OF "THE ARCHDIOCESE OF SANTA FE"
UNPLATTED LAND OF "PARADISE WEST INC."
PLAT OF "THE TRAILS, TRACT D" (12-15-03, 03C-375)
PLAT OF "THE TRAILS, TRACT J" (12-15-03, 03C-375)
PLAT OF "THE TRAILS, TRACT C" (12-15-03, 03C-375)
all being records of Bernalillo County, New Mexico.
14. Current Zoning: R-D.
15. City Standard Utility Note B:
"City of Albuquerque Water and Sanitary Sewer Service to XXX must be verified and coordinated with the Public Works Department, City of Albuquerque."
16. Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719".
17. All property corners to be set with 5/8" rebar with cap "ALS LS 7719".



P.O. BOX 30791, ALBU, N.M. 87190
800-884-1900

1324APT1.DWG 08/23/04

LEGAL DESCRIPTION

A tract of land situate within the Town of Alameda Grant, projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A, THE TRAILS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 15, 2003 in Book 2003C, Page 375 and containing 13.8660 acres more or less.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tracts and the vacated easements into residential lots, to create 2 tracts (Tract A & Tract B), to dedicate public rights-of-way, and to grant those easements necessary to serve the residential development.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

OWNER

HERITAGE AT THE TRAILS HOMEOWNERS ASSOCIATION

RICHARD BRESSAN Date
PRESIDENT

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO }

This instrument was acknowledged before me on 2004, by Richard Bressan as President of Heritage at the Trails Homeowners Association, a New Mexico Non-Profit Corporation, on behalf of said Corporation.

My Commission Expires: \_\_\_\_\_

Notary Public

OWNER

CENTEX HOMES

NORMAN A. GREGORY Date
LAND DEVELOPMENT MANAGER

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO }

This instrument was acknowledged before me on 2004, by Norman A. Gregory as Land Development Manager of Centex Homes, a X, on behalf of said X.

My Commission Expires: \_\_\_\_\_

Notary Public

PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1

BEING A REPLAT OF TRACT A, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JUNE 2004

APPROVALS

Table with columns for Department/Division and Date. Includes: PNM ELECTRIC SERVICES DIVISION, PNM GAS SERVICES DIVISION, QWEST, COMCAST, NEW MEXICO UTILITIES, CITY SURVEYOR, REAL PROPERTY DIVISION, ENVIRONMENTAL HEALTH DEPARTMENT, TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, UTILITIES DEVELOPMENT, PARKS AND RECREATION DEPARTMENT, AMAFCA, CITY ENGINEER, DRB CHAIRPERSON, PLANNING DEPARTMENT.

SURVEYOR'S CERTIFICATION

I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revised effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief.

Timothy Aldrich, P.S. No. 7719

Date

SHEET 1 OF 3

NOTES:

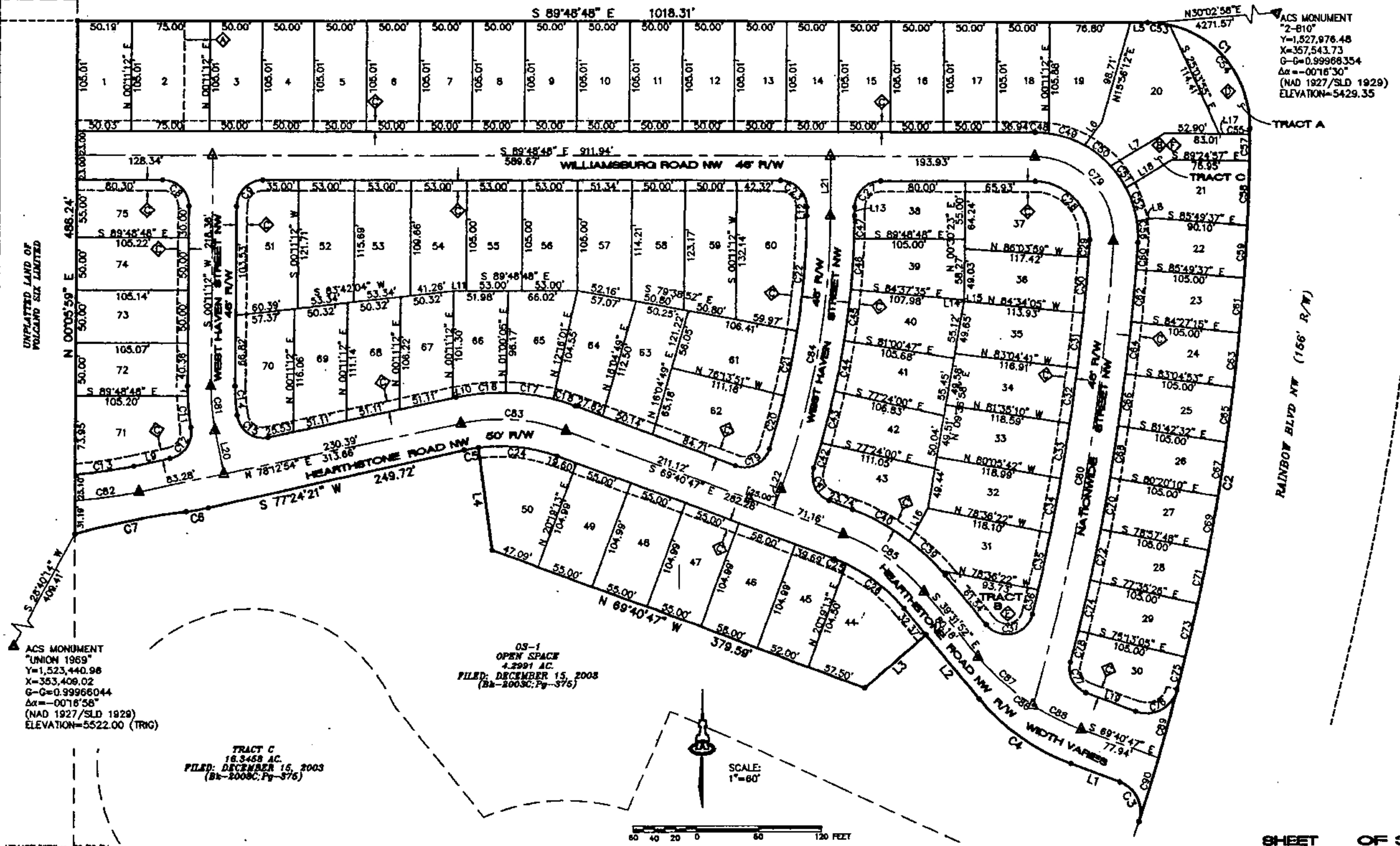
- 1. SEE SHEET 3 FOR CURVE AND LINE TABLES.
2. SEE SHEET 3 FOR EASEMENT NOTES.
3. DISTANCES IN BRACKETS ARE MONUMENT DISTANCES.

LEGEND

- FOUND 5/8" REBAR WITH CAP "LS 5978" (TYP.)
SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
PROPERTY LINE
ADJOINING PROPERTY LINE
CENTERLINE MONUMENT

PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1

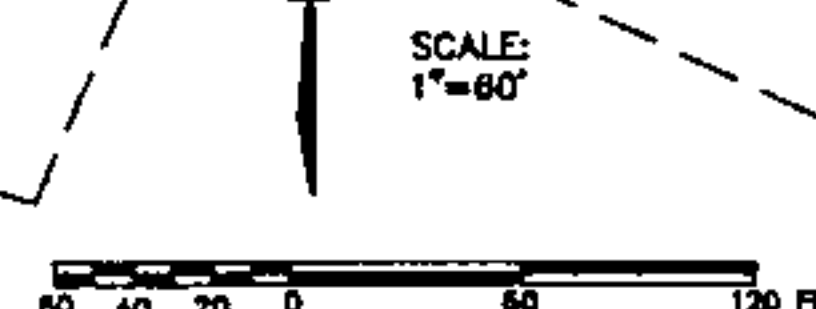
BEING A REPLAT OF TRACT A, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JUNE 2004



ACS MONUMENT "UNION 1969" Y=1,523,440.98 X=353,426.02 G=C=0.99966044 Δα=-0016'58" (NAD 1927/SLD 1929) ELEVATION=5522.00 (TRIG)

TRACT C 18.3468 AC. FILED: DECEMBER 15, 2003 (Bk-2003C-Pg-376)

OS-1 OPEN SPACE 4.2991 AC. FILED: DECEMBER 15, 2003 (Bk-2003C-Pg-376)



SHEET 1 OF 3

# PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2

BEING A REPLAT OF  
TRACT B, THE TRAILS  
WITHIN THE TOWN OF ALAMEDA GRANT  
PROJECTED SECTION 16,  
T. 11 N., R. 2 E., NMPM  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2004



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Page: 1 of 3  
09/22/2004 02:46P  
Bk-2004C Pg-295

Mary Herrera Bern. Co. PLAT R 17.00

nt, projected Section  
pal Meridian, City of  
TRACT B, THE TRAILS  
for record in the  
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into residential lots,  
grant those  
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thereof and said Owner(s)  
ublic rights-of-way shown  
ranty covenants and do  
shown hereon including the  
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u of gas, electrical power  
listriution lines, conduits, and  
own or indicated, and  
1 and maintenance, and the  
) and/or Proprietor(s) do  
arrant that they hold among  
land subdivided, and do  
eed.

APPLICATION NO. 1003333  
APPLICATION NO. 04-0413  
Utility Approvals

<u>Leon D. Mads</u> PNM ELECTRIC SERVICES DIVISION	<u>8-27-04</u> DATE
<u>Leon D. Mads</u> PNM GAS SERVICES DIVISION	<u>8-27-04</u> DATE
<u>David R. Muller</u> QWEST	<u>8-27-04</u> DATE
<u>Rita E. Sacks</u> COMCAST	<u>8-27-04</u> DATE
<u>[Signature]</u> NEW MEXICO UTILITIES City Approvals	<u>9-22-04</u> DATE



CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C7	203.00	155.84	61.99	152.04	N 74°22'22" E	43°59'04"
C8	632.00	5.55	2.77	5.55	N 81°32'59" W	0°30'10"
C9	30.00	42.06	25.33	39.71	S 57°38'08" W	80°21'37"
C10	2328.00	708.41	355.84	703.70	N 09°08'45" E	17°23'09"
C11	100.00	158.70	99.82	141.15	S 45°17'41" W	89°47'02"
C102	169.00	134.24	70.89	130.74	N 81°22'23" E	45°30'39"
C103	180.00	77.37	39.29	76.78	S 70°35'55" W	24°37'42"
C104	150.00	17.94	8.98	17.93	S 86°40'22" W	8°51'17"
C105	150.00	89.61	48.19	88.28	S 14°15'07" E	24°13'40"
C106	30.00	55.89	40.50	48.21	S 38°11'50" E	109°58'31"
C107	136.00	57.39	29.14	56.98	N 75°29'10" E	24°21'30"
C108	25.00	37.00	22.83	33.72	N 20°34'23" E	84°48'04"
C109	26.00	39.54	25.27	36.56	S 63°11'43" E	90°37'04"
C110	173.00	73.49	37.31	72.94	S 08°09'28" E	24°20'22"
C111	127.00	46.95	23.23	45.70	S 07°31'14" E	20°43'53"
C112	25.00	40.43	26.19	36.17	N 43°29'03" W	82°39'31"
C113	25.00	36.11	23.87	34.53	S 48°30'37" W	87°20'29"
C114	25.00	39.27	25.00	35.36	N 44°48'48" W	80°00'00"
C115	25.00	39.27	25.00	35.36	S 45°11'12" W	90°00'00"
C116	25.00	36.24	22.14	33.15	N 41°42'59" E	83°03'33"
C117	25.00	42.30	28.23	37.43	S 48°17'01" E	98°58'27"
C118	173.00	20.89	10.36	20.88	S 88°40'22" W	8°51'14"
C119	157.00	64.58	43.34	63.56	S 87°48'48" W	30°51'55"
C120	127.00	15.19	7.61	15.18	S 88°40'22" W	8°51'14"
C121	173.00	8.02	3.01	8.02	S 01°30'34" W	1°59'38"
C122	173.00	41.35	20.77	41.25	S 05°59'47" E	13°41'42"
C123	173.00	28.12	13.08	28.09	S 17°03'08" E	8°39'01"
C124	203.00	41.63	20.89	41.56	S 77°22'18" W	11°45'00"
C125	2328.00	82.56	31.28	82.85	N 13°50'14" E	13°22'23"
C126	2328.00	43.08	21.54	43.08	N 12°32'15" E	10°33'37"
C127	2328.00	57.93	28.97	57.93	N 11°17'40" E	12°53'32"
C128	2328.00	80.74	28.37	80.74	N 09°57'28" E	11°45'55"
C129	2328.00	50.56	25.28	50.56	N 08°42'38" E	11°44'40"
C130	2328.00	55.44	27.72	55.44	N 07°24'23" E	12°15'52"
C131	2328.00	55.29	27.65	55.29	N 06°02'37" E	12°13'38"
C132	2328.00	50.16	25.08	50.16	N 04°44'46" E	11°44'04"
C133	2328.00	50.04	25.04	50.06	N 03°30'45" E	11°13'58"
C134	2328.00	56.92	27.98	56.92	N 02°12'28" E	12°23'35"
C135	2328.00	45.38	22.69	45.38	N 00°57'41" E	10°07'01"
C136	100.00	134.21	79.40	124.36	S 36°51'03" W	78°53'47"
C137	109.00	22.49	11.29	22.45	S 83°44'34" W	12°33'15"
C138	157.00	79.55	40.85	78.70	S 68°53'47" W	29°01'53"
C139	187.00	8.03	2.81	8.03	S 82°19'45" W	1°30'02"
C140	127.00	8.87	4.84	8.86	S 85°29'39" W	4°21'40"
C141	127.00	5.53	2.76	5.52	S 88°51'12" W	2°29'33"

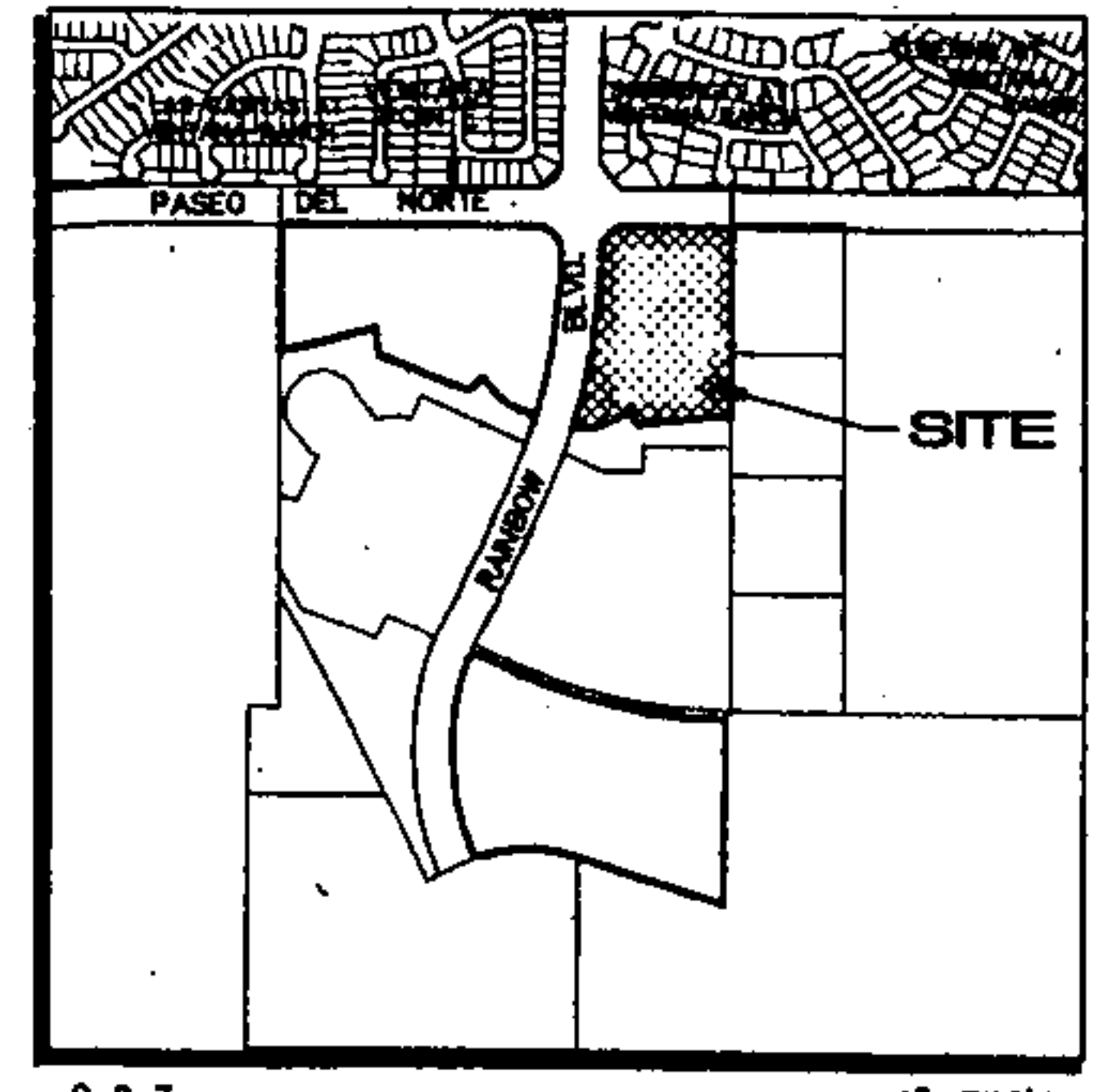
C1-C6 NOT USED  
C12-C101 NOT USED

LINE	BEARING	DISTANCE
L5	N 37°37'10" W	78.44
L6	S 52°22'30" W	48.21
L24	S 00°11'12" E	48.00
L25	S 31°22'56" E	18.46
L27	N 83°14'48" E	1.56
L28	S 89°34'01" E	56.47
L29	N 82°22'50" E	33.43
L30	S 89°34'01" E	56.47
L31	S 08°50'39" E	65.67
L32	N 08°50'39" E	33.79
L33	N 08°50'39" E	99.46
L34	N 88°06'48" E	19.73

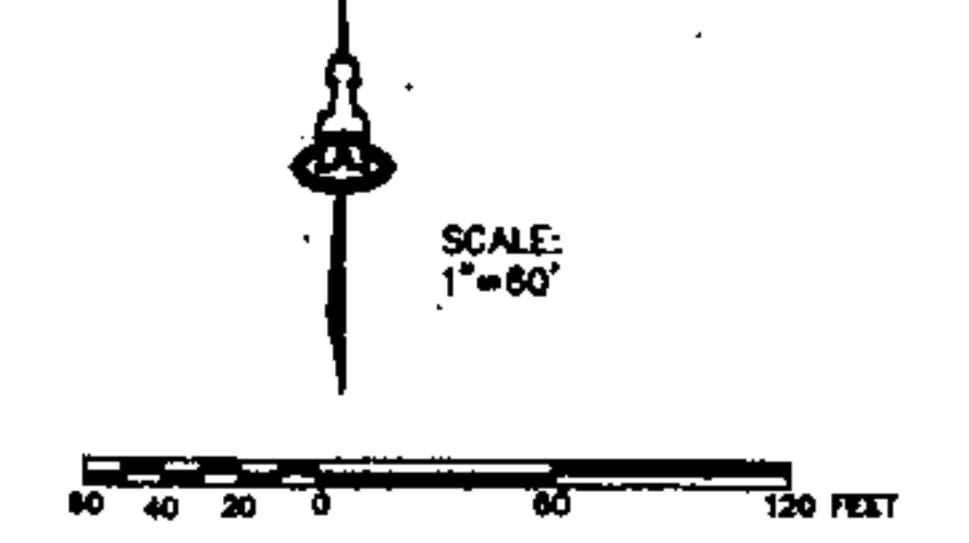
L1-L4 NOT USED  
L7-L23 NOT USED

LEGEND

- SET 5/8" REBAR WITH CAP 'ALS LS 7719' (TYP.)
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT



FLAT FOR  
**HERITAGE AT THE TRAILS SUBDIVISION UNIT 2**  
BEING A REPLAT OF TRACT B OF THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 1 N, R. 2 E, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MARCH 2004



LEGAL DESCRIPTION

TRACT B, THE TRAILS, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE BULK PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 15, 2003, IN VOLUME 2003C, FOLIO 375.

ACS BENCHMARK

ACS MONUMENT "2-B-10" LOCATED 1 MI.± WEST OF PARADISE BLVD. AND LA PAZ. ELEVATION: 5429.35

SITE DATA

1. TOTAL LAND AREA = 9.4495 ACRES.
2. NUMBER OF EXISTING TRACTS IS 1.
3. NUMBER OF PROPOSED RESIDENTIAL LOTS IS 50.
4. NUMBER OF PROPOSED TRACTS IS 2.
5. CURRENT ZONING: R-D.
6. ALL STREETS WILL MEET CITY STANDARDS AND WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE. NO LOT SHALL HAVE DIRECT ACCESS TO PASO DEL NORTE OR RAINBOW BLVD.
7. ALL STREETS HAVE RIGHT-OF-WAY AND PAVING WIDTHS PER DPM STANDARDS.
8. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

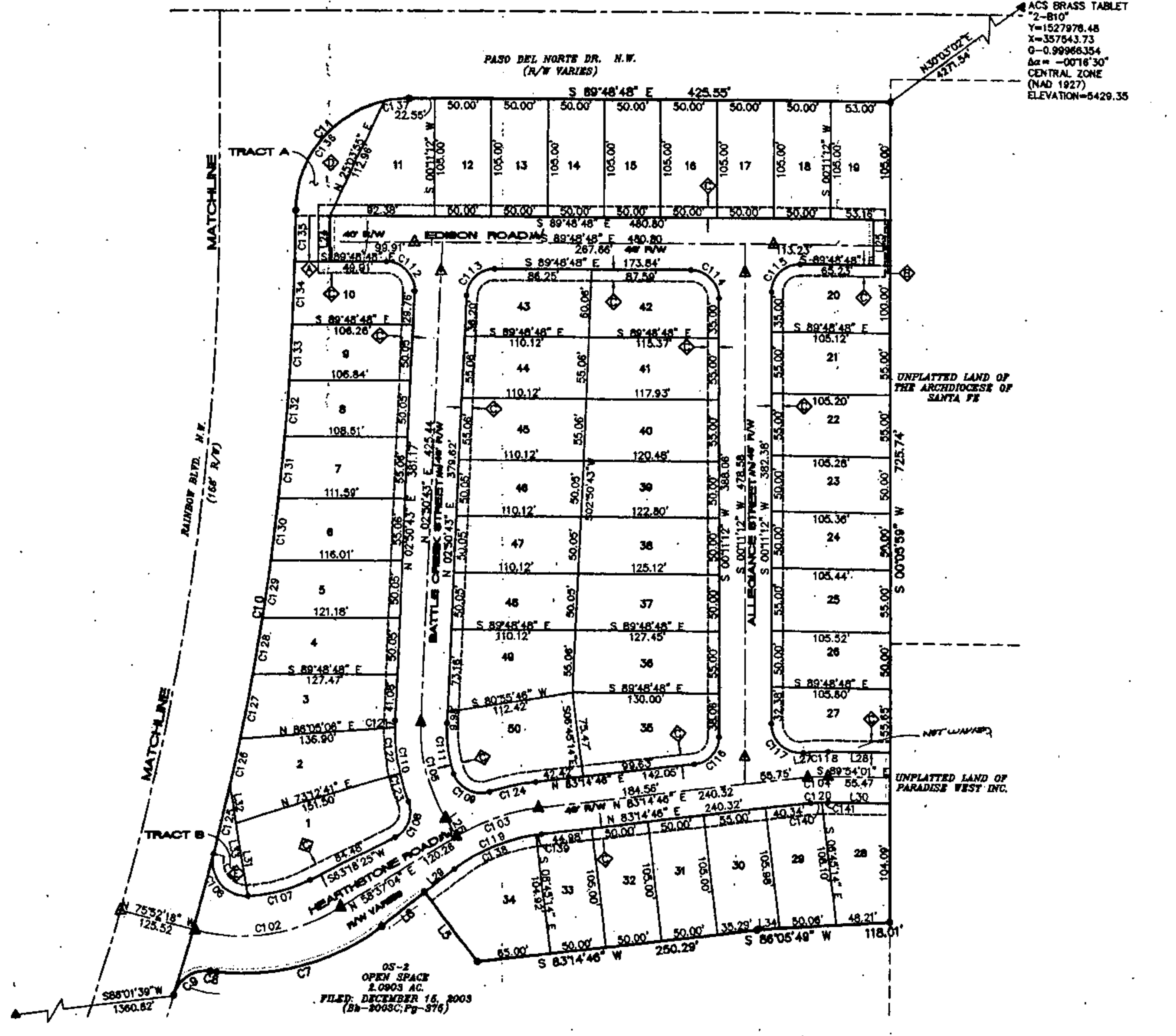
NOTES

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #7719"
2. ALL STREET CENTERLINE POINTS SHOWN THIS WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, PLS #7719"
3. BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARINGS WILL BE NAD83 GRID BEARINGS.
5. DISTANCES WILL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
7. OPEN SPACE AREA HAS BEEN MET BY DEDICATION OF TRACTS OS-1 AND OS-2 PER BULK PLAT OF THE TRAILS (12/15/03, 2003C-375).

EASEMENT NOTES

- A. 40' PUBLIC SANITARY SEWER EASEMENT GRANTED TO NEW MEXICO UTILITIES, INC. AND PUBLIC DRAINAGE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT.
- B. 40' DRAINAGE EASEMENT FOR EMERGENCY OVERFLOW GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT.
- C. 10' WIDE PUBLIC UTILITY EASEMENT (P.U.E.) TO BE GRANTED BY FINAL PLAT.
- D. TRACT A SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HERITAGE AT THE TRAILS.
- E. TRACT B SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HERITAGE AT THE TRAILS.

ACS BRASS TABLE  
"UNION 1969"  
Y=1523440.96  
X=353409.02  
G=0.99996304  
Az = -00°16'56"  
CENTRAL ZONE  
(NAD 1923)  
ELEVATION=5522.0



**APPROVED**

*J. B. [Signature]* 3-26-04  
CITY SURVEYOR DATE

**OWNERSHIP**

*Norman A. Gregory* 3/25/04  
NORMAN A. GREGORY DATE  
LAND DEVELOPMENT MANAGER  
CENTEX HOMES


ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico

128-PLM-DW/04 03/22/04

**SHEET 1 OF 1**

ected Section 16, Township 11 North,  
Bernalillo County, New Mexico being  
d on said plat filed for record in  
n December 15, 2003 in Book 2003C,

PLAT FOR  
SANTA FE AT THE TRAILS  
WITHIN THE  
TOWN OF ALAMEDA GRANT  
PROJECTED SECTION 16  
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MAY, 2004

  
Mary Herrera Bernal. Co. PLAT R 17.00  
2004136738  
6156235  
Page: 1 of 3  
09/29/2004 09:09A  
Bk-2004C Pg-369

PROJECT NUMBER: ~~1002962~~ 1002929  
Application Number: ~~04-00719~~

PLAT APPROVAL

Utility Approvals:

Leah S. Muth 9-15-04  
PNM Electric Services Division Date  
Leah S. Muth 9-15-04  
PNM Gas Services Division Date  
Greg 9-15-04  
Qwest Date  
Rita Suckow 9-15-04  
Comcast Date

City Approvals:

J. B. Hart 5-11-04  
City Surveyor Date  
NA 9/15/04  
Real Property Division Date  
NA 9/15/04  
Environmental Health Department Date  
Rob 9-15-04  
Traffic Engineering, Transportation Division Date  
Roger A. Heen 9-15-04  
Utilities Development Date  
Christina Sanderson  
Date



PLAT FOR  
 SANTA FE AT THE TRAILS  
 WITHIN THE  
 TOWN OF ALAMEDA GRANT  
 PROJECTED SECTION 16  
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MAY, 2004



SEE SHEET 3 OF 3 FOR  
 CURVE AND LINE DATA

SEE SHEET 3 OF 3 FOR  
 LOT AREAS

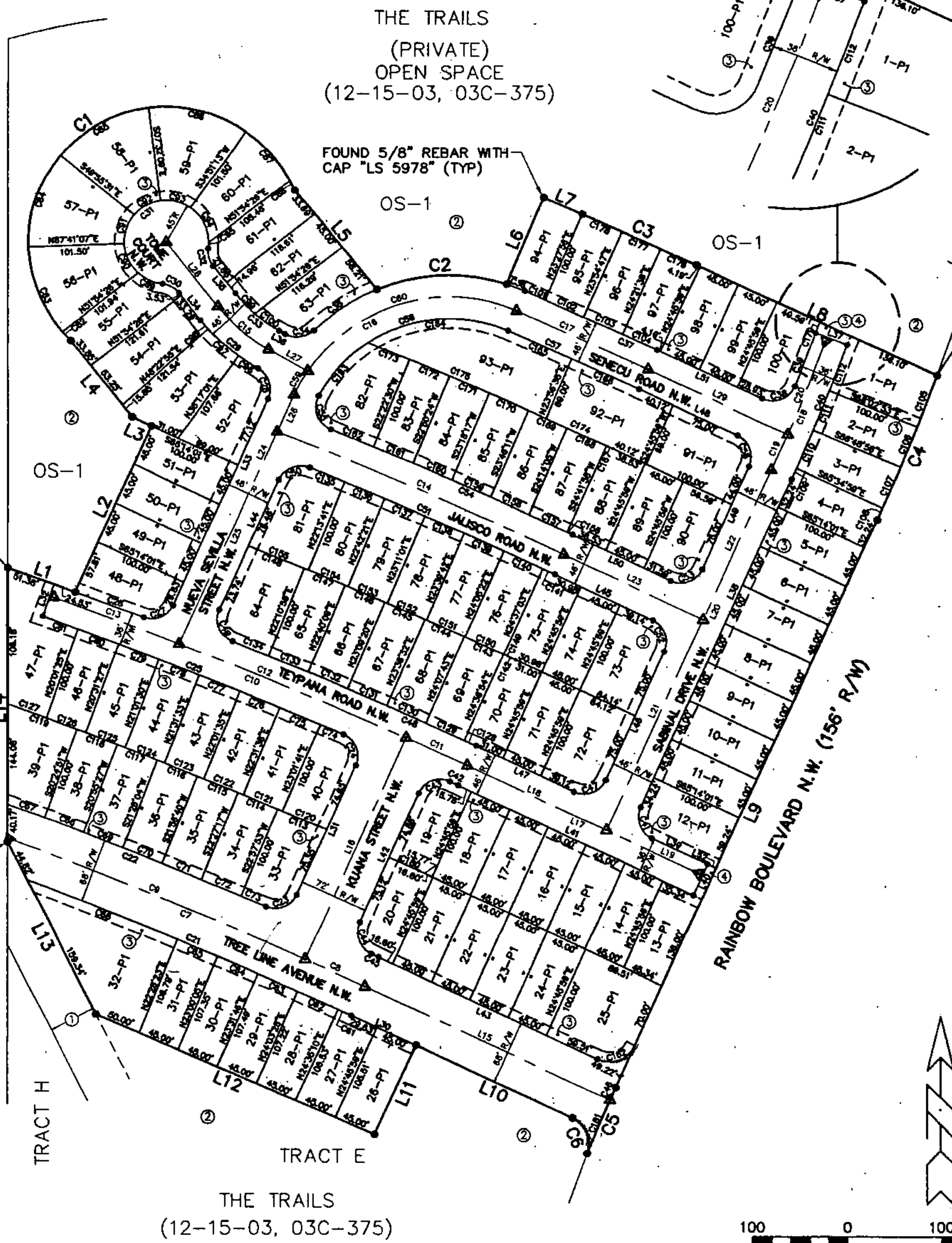
ACS MONUMENT  
 "UNION 1969"  
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 X=353,409.02  
 G-G=0.99966044  
 Δα=-00°16'58"  
 (NAD 1927/SLD 1929)  
 ELEVATION=5522.00 (TRIG)

ACS MONUMENT  
 "2-B10"  
 Y=1,527,976.48  
 X=357,543.73  
 G-G=0.99966354  
 Δα=-00°16'30"  
 (NAD 1927/SLD 1929)  
 ELEVATION=5429.35

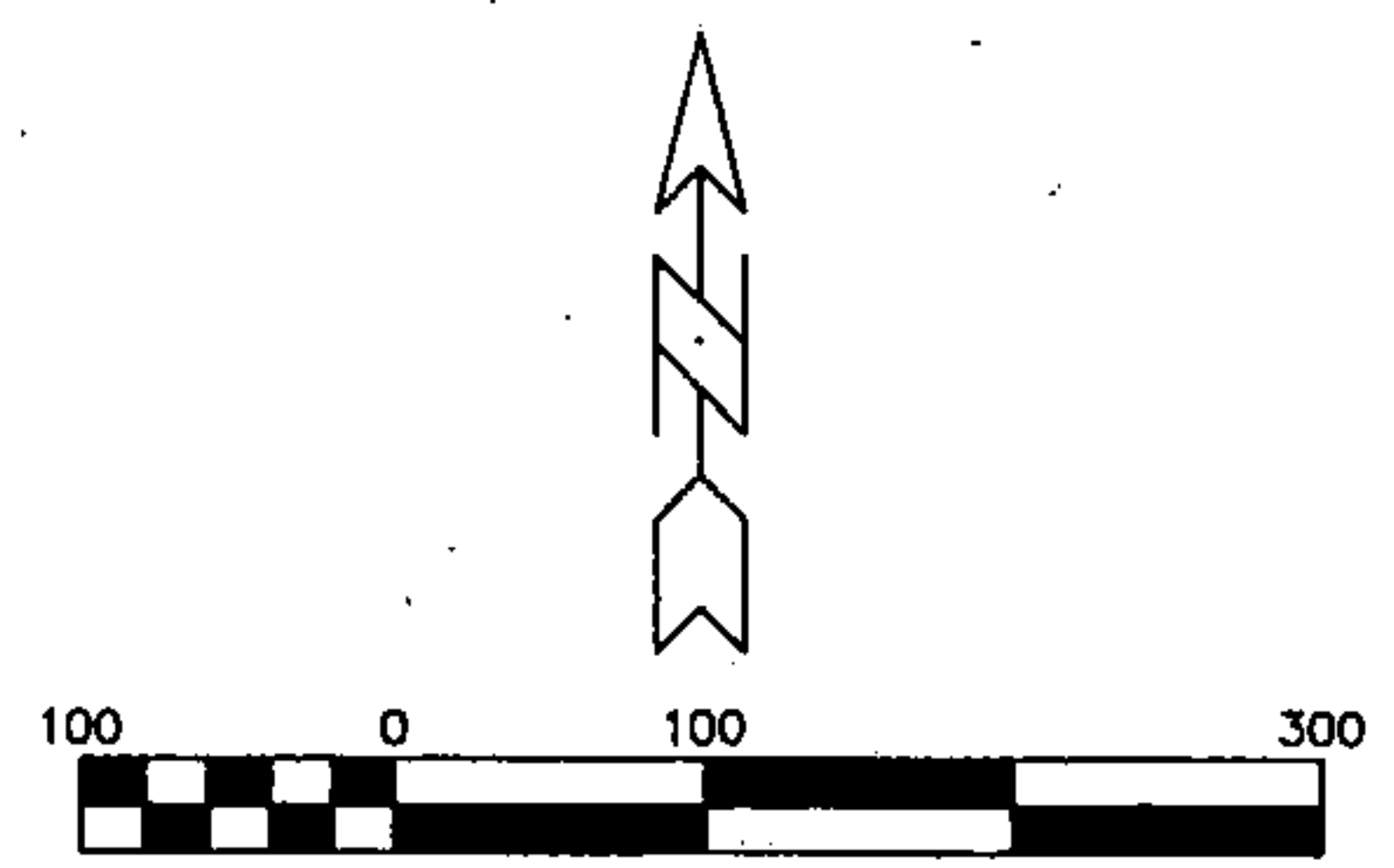
ALL STREETS ARE DEDICATED TO THE  
 CITY OF ALBUQUERQUE IN FEE SIMPLE  
 WITH WARRANTY COVENANTS. (4.4143 AC.)

FOUND 5/8" REBAR WITH  
 CAP "LS 5978" (TYP)

UNPLATTED LANDS OF  
 VOLCANO SIX LIMITED



- EASEMENTS**
- ① EXISTING 50' SOUTHERN UNION GAS COMPANY ACCESS RIGHT-OF-WAY EASEMENT (09-16-30, BK. 112, PG. 514) (03-29-56, BK. D346, PG. 356)
  - ② EXISTING C.O.A. BLANKET EASEMENT ON TRACT OS-1 FOR PUBLIC ACCESS, PUBLIC OPEN SPACE, PUBLIC STORM AND C.O.A. & NMUI BLANKET EASEMENT FOR PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENT (12-15-03, BK. 2003C, PG. 375)
  - EXISTING C.O.A. BLANKET EASEMENT ON TRACTS C AND E FOR PUBLIC CROSS-LOT STORM DRAIN, PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENTS (12-15-03, BK. 2003C, PG. 375)
  - ③ 10' PUE (GRANTED BY THIS PLAT)
  - ④ PUBLIC DRAINAGE AND PEDESTRIAN ACCESS EASEMENT (GRANTED TO THE C.O.A. BY THIS PLAT) PUBLIC WATER AND SANITARY SEWER EASEMENT (GRANTED TO N.M.U.I. BY THIS PLAT)



Scale 1" = 100' ft

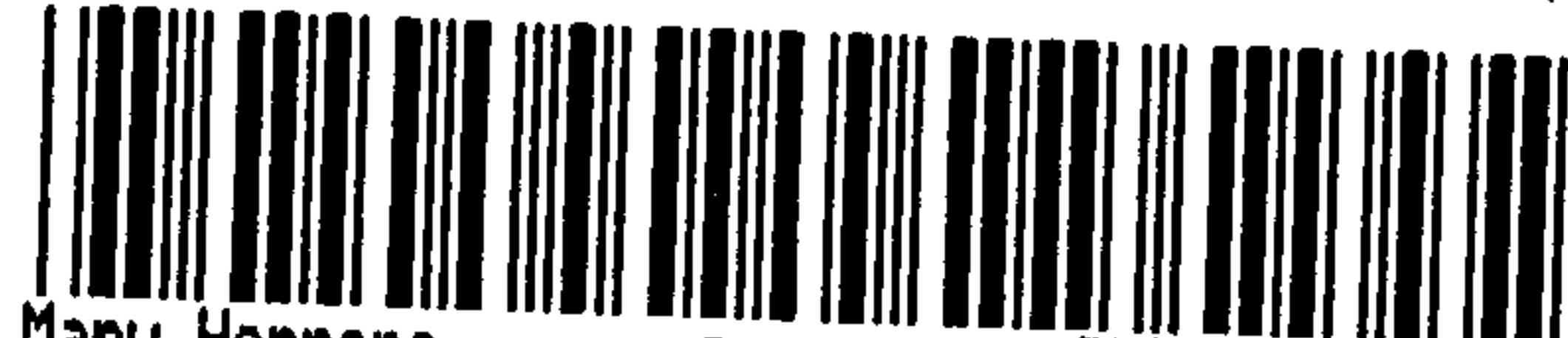
REVISED: 09-14-04

Drawn By: RJA	Date: 05-10-04
Checked By: TA	Drawing Name: 03039PL1.DWG
Job No.: 03-039	Sheet: 2 of 3

*[Handwritten Signature]*  
 05-14-04

**ALDRICH LAND SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990



Mary Herrera

Bern. Co. PLAT

R 27.00

2005034401

6230448

Page: 1 of 5

03/11/2005 11:39A

Bk-2005C Pg-96

**PLAT OF  
TAOS AT THE TRAILS**

(BEING A REPLAT OF TAOS AT THE TRAILS)

WITHIN

**THE TOWN OF ALAMEDA GRANT**

IN

**SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST**

**NEW MEXICO PRINCIPAL MERIDIAN**

**CITY OF ALBUQUERQUE**


**BERNALILLO COUNTY, NEW MEXICO**


FEBRUARY, 2005


Project No. 1002928

Application No. 05-00308


APPROVALS

  
\_\_\_\_\_  
Traffic Engineer, City of Albuquerque  
Public Works Department  
Date 3-2-05

  
\_\_\_\_\_  
City Surveyor, City of Albuquerque  
Public Works Department  
Date 2-10-05

  
\_\_\_\_\_  
Utility Development Division, City of  
Albuquerque Public Works Department  
Date 3-2-05

  
\_\_\_\_\_  
Albuquerque Metropolitan Arroyo Flood  
Control Authority  
Date 3/2/05

  
\_\_\_\_\_  
Date 3/2/05

**EXISTING EASEMENTS**

All existing easements are listed below and shown herein as hereby granted by this plat.

- 1. Existing 10' Public Utility Easement per plat filed 8-28-2004, Vol. 2004C, Page 310
- 2. Existing 2' Private Drainage Easement per plat filed 8-28-2004, Vol. 2004C, Page 310
- 3. Existing Public Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 4. Existing 10' Public Utility Easement per plat filed 8-28-2004, Vol. 2004C, Page 310
- 5. Existing Public Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 6. Existing Public Utility Easement per plat filed 8-28-2004, Vol. 2004C, Page 310
- 7. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 8. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 9. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 10. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 11. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 12. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 13. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 14. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 15. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 16. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 17. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 18. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 19. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310
- 20. Existing Private Storm Drainage per plat filed 8-28-2004, Vol. 2004C, Page 310

**PLAT OF  
TRACT 4  
THE TRAILS**  
(BEING A REPLAT OF TRACT 4 AT THE TRAILS)  
WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
SECTION 18, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BENICILLO COUNTY, NEW MEXICO  
FEBRUARY, 2005



NOTES:  
1. A 10' Public Utility Easement is shown on the plat of said lot on shown and independent thereof.  
2. All Public Utility Easements are hereby granted by this plat.  
3. The City of Albuquerque is the owner of the Public Utility Easements shown on this plat.

TRACT OS-2  
THE TRAILS

TRACT OS-1  
THE TRAILS

**SURV TEK, INC.**  
Creating the Future  
Surveying, Mapping, GIS, Engineering, Real Estate, and Construction  
10000 North Central Expressway, Suite 1000, Dallas, Texas 75243  
Phone: 972-987-1000  
Fax: 972-987-1001  
www.survtex.com

GRAPHIC SCALE  
1 inch = 60 feet

SEE SHEET 3 OF 4

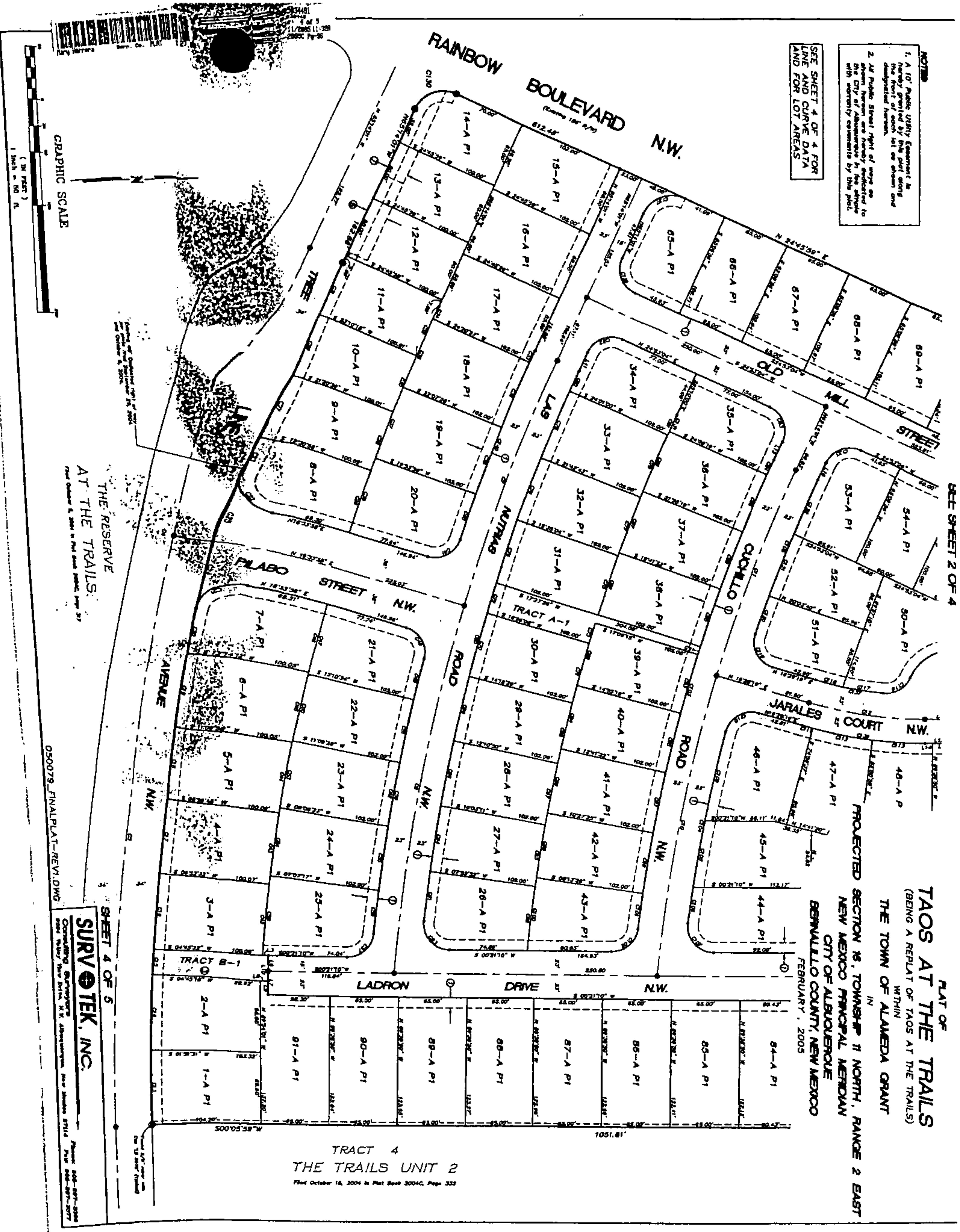
SEE SHEET 4 OF 4 FOR  
LINE AND CURVE DATA  
AND FOR LOT AREAS

050079\_FINAL.PLT-REV.DWG

SHEET 3 OF 5

NOTES  
 1. A 10' Public Utility Easement is shown for the utility line as indicated by the dashed line.  
 2. All Public Street right of way are shown. Easements are shown as indicated by the dashed line. Easements are shown as indicated by the dashed line.

SEE SHEET 4 OF 4 FOR LINE AND CURVE DATA AND FOR LOT AREAS



PLAT OF  
**TAOS AT THE TRAILS**  
 (BEING A REPLAT OF TAOS AT THE TRAILS)  
 WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO MUNICIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNILLO COUNTY, NEW MEXICO  
 FEBRUARY, 2005

TRACT 4  
 THE TRAILS UNIT 2  
 Plat October 18, 2004 in Plat Book 2004C, Page 322

SHEET 4 OF 5  
**SURVOTEK, INC.**  
 050079\_FINAL.PLAT-REV.DWG

GRAPHIC SCALE  
 1 Inch = 50 Feet

5

Mary Herrera Bern. Co. PLAT R 17.00 Bk-2004C Pg-317  
2004141261  
6154750  
Page: 1 of 3  
10/06/2004 03:07P

PLAT FOR  
THE RESERVE AT THE TRAILS  
SUBDIVISION

BEING A REPLAT OF  
TRACT F, THE TRAILS  
WITHIN THE TOWN OF ALAMEDA GRANT  
PROJECTED SECTION 16,  
T. 11 N., R. 2 E., NMPM  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2004



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND  
PAID ON UPG # *See Plat*

PROPERTY OWNER OF RECORD:  
*Blair Mtn Rainbow Co LLC*

BERNALILLO COUNTY TREASURER'S OFFICE

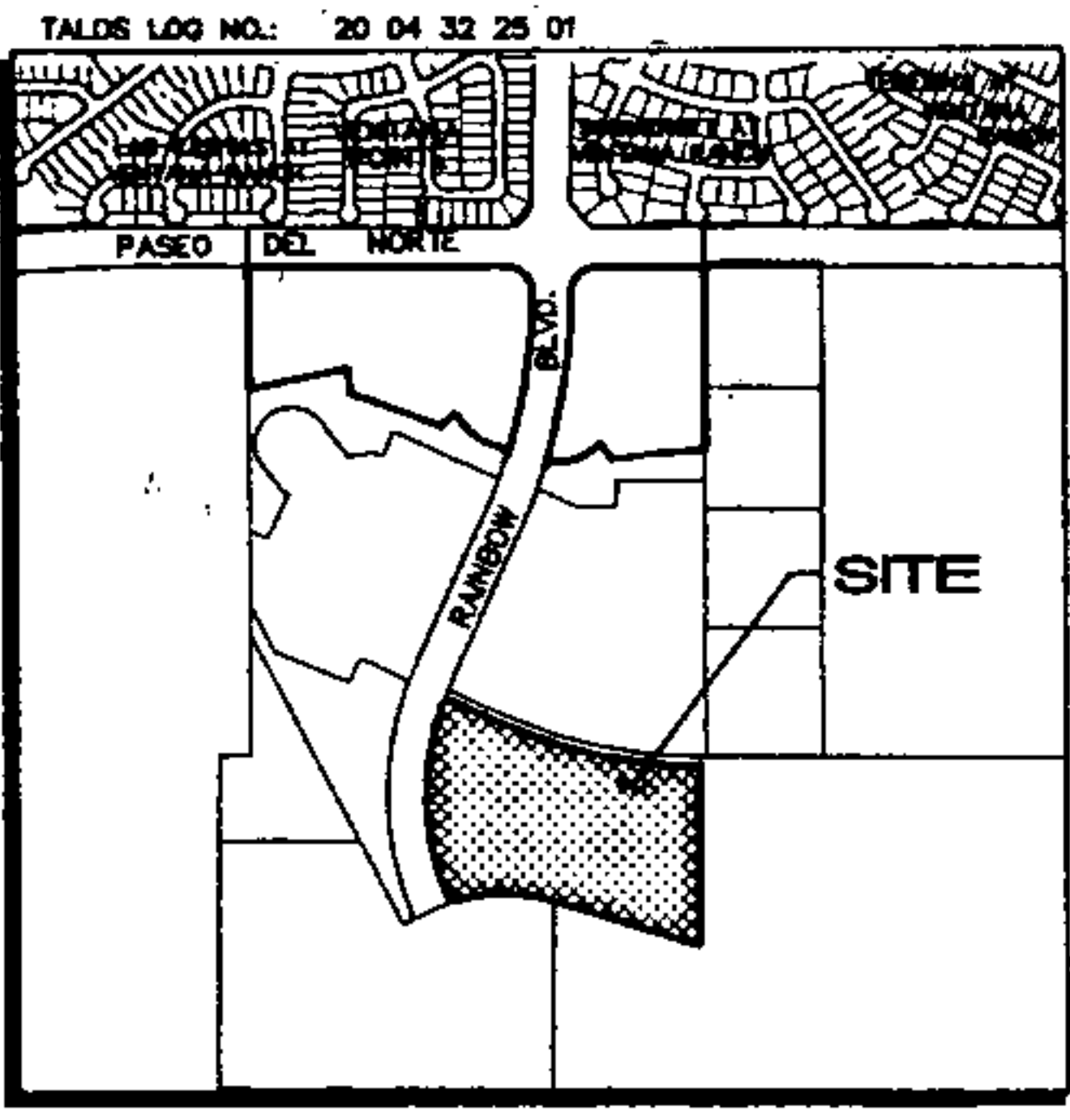
*Danny Vigil* *de actoy*

APPROVALS  
DRB PROJECT NO. 1003403  
APPLICATION NO. 04-DRB-01493  
Utility Approvals

*Leah D. Marks*  
PNM ELECTRIC SERVICES DIVISION

*9-16-04*

Alameda Grant, projected Section  
exico Principal Meridian, City of  
aing all of TRACT F, THE TRAILS  
d plat filed for record in the  
y, New Mexico on December 15,  
ig 17.2070 acres more or less.



C-9-Z VICINITY MAP 1"=750'±

- SUBDIVISION DATA / NOTES**
- Total Number of Existing Tracts: 1
  - Total Number of Lots created: 80
  - Total Number of Tracts created: 2
  - Gross Subdivision Acreage: 17,207.0 Ac.
  - Total Mileage of Full Width Streets Created: 0.5962
  - Bearings are New Mexico State Plane Grid Bearings (Central Zone).
  - Distances are ground distances.
  - Bearings and distances in parentheses are record.
  - Base of boundary are the following plats (and documents) of record entitled: PLAT OF "THE TRAILS" (12-15-03, 03C-375)
  - Field Survey performed on March, 2003.
  - Title Report: None provided.
  - This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
  - Base of boundary is from the plats of record entitled: UNPLATTED LAND OF "VOLCANO SIX LIMITED" TRACT 05-1 OPEN SPACE TRACT 05-2 OPEN SPACE UNPLATTED LAND OF "THE ARCHDIOCESE OF SANTA FE" UNPLATTED LAND OF "PARADISE WEST INC." PLAT OF "THE TRAILS, TRACT D" (12-15-03, 03C-375) PLAT OF "THE TRAILS, TRACT J" (12-15-03, 03C-375) PLAT OF "THE TRAILS, TRACT G" (12-15-03, 03C-375) all being records of Bernalillo County, New Mexico.
  - Current Zoning: R-D.
  - These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area, water and sanitary sewer system capabilities are based on the NMU, Inc. facilities, not the City of Albuquerque.
  - Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719".
  - All property corners to be set with 5/8" rebar with cap "ALS LS 7719".

**ALDRICH LAND SURVEYING**  
 P.O. BOX 36701, ALBUQ., N.M. 87190  
 505-884-1990

**LEGAL DESCRIPTION**

A tract of land situate within the Town of Alameda Grant, projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT F, THE TRAILS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 15, 2003 in Book 2003C, Page 375 and containing 17,207.0 acres more or less.

**DISCLOSURE STATEMENT**

The intent of this plat is to subdivide the subject tracts and the vacated easements into residential lots, to create 2 tracts, to dedicate public rights-of-way, and to grant those easements necessary to serve the residential development.

**FREE CONSENT AND DEDICATION**

The subdivision shown hereon is with the free consent and in accordance with the desire of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities thereon; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

**OWNER (RECEIVING TRACTS A & PR BY THIS PLAT)**  
 RESERVE AT THE TRAILS HOMEOWNERS ASSOCIATION

RICHARD T. BRESSAN Date  
 PRESIDENT

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO } SS  
 COUNTY OF BERNALILLO }  
 This instrument was acknowledged before me on \_\_\_\_\_  
 2004, by Richard T. Bressan as President of Reserve at the Trails  
 Homeowners Association, a New Mexico Non-Profit Corporation, on behalf  
 of said Corporation.  
 My Commission Expires: \_\_\_\_\_

Notary Public

**OWNER**  
 CENTEX HOMES

NORMAN A. GREGORY Date  
 LAND DEVELOPMENT MANAGER

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO } SS  
 COUNTY OF BERNALILLO }  
 This instrument was acknowledged before me on \_\_\_\_\_  
 2004, by Norman A. Gregory as Land Development Manager of Centex Homes,  
 a Nevada General Partnership, on behalf of said General Partnership.  
 My Commission Expires: \_\_\_\_\_

Notary Public

**PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION**  
 BEING A REPLAT OF TRACT F, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N., R. 2 E., NMMP CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AUGUST 2004

**APPROVALS**

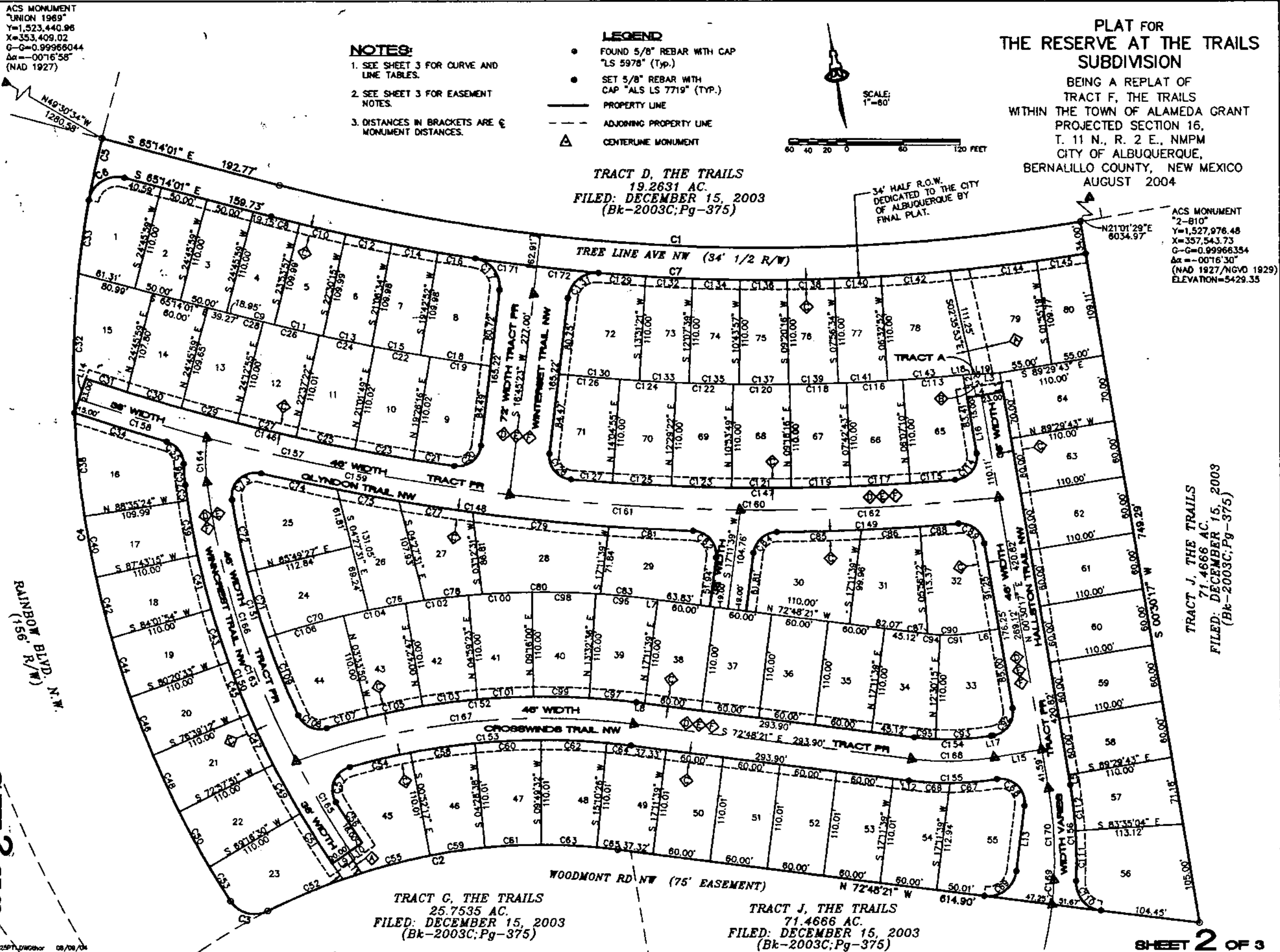
ENR PROJECT NO. 1003403  
 APPLICATION NO. \_\_\_\_\_  
 Utility Approvals

PNM ELECTRIC SERVICES DIVISION	DATE
PNM GAS SERVICES DIVISION	DATE
QWEST	DATE
COMCAST	DATE
NEW MEXICO UTILITIES	DATE
City Approvals	
CITY SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**SURVEYOR'S CERTIFICATION**

I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief.

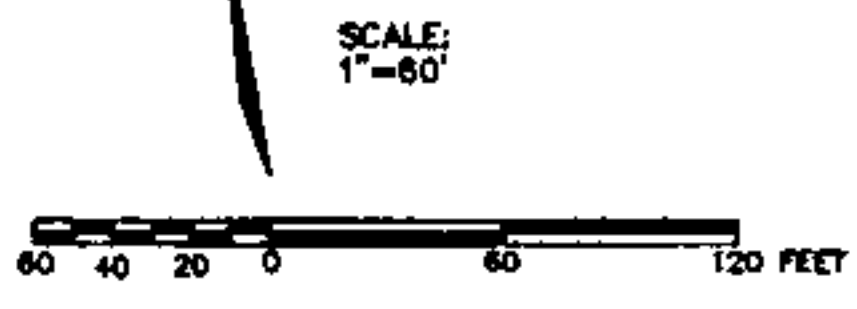
Timothy Aldrich, P.S. No. 7719 Date  
**SHEET 1 OF 3**



**PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION**  
 BEING A REPLAT OF TRACT F, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N., R. 2 E., NMMP CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AUGUST 2004

- NOTES:**
- SEE SHEET 3 FOR CURVE AND LINE TABLES.
  - SEE SHEET 3 FOR EASEMENT NOTES.
  - DISTANCES IN BRACKETS ARE MONUMENT DISTANCES.

- LEGEND**
- FOUND 5/8" REBAR WITH CAP "LS 5978" (TYP.)
  - SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
  - PROPERTY LINE
  - ADJOINING PROPERTY LINE
  - CENTERLINE MONUMENT



TRACT D, THE TRAILS  
 19.2631 AC.  
 FILED: DECEMBER 15, 2003  
 (Bk-2003C;Pg-375)

ACS MONUMENT  
 "2-B10"  
 Y=1,527,976.48  
 X=357,543.73  
 G=0.99966354  
 Az=001°16'55"  
 (NAD 1927/NGVD 1929)  
 ELEVATION=5429.35

TRACT C, THE TRAILS  
 25.7535 AC.  
 FILED: DECEMBER 15, 2003  
 (Bk-2003C;Pg-375)

TRACT J, THE TRAILS  
 71.4666 AC.  
 FILED: DECEMBER 15, 2003  
 (Bk-2003C;Pg-375)

TRACT J, THE TRAILS  
 71.4666 AC.  
 FILED: DECEMBER 15, 2003  
 (Bk-2003C;Pg-375)

725022  
 SHEET 2 OF 29

**SHEET 2 OF 3**



**OFFICIAL NOTICE OF DECISION**

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

APR 23 2004

APRIL 21, 2004

**4. Project # 1003354**

04DRB-00458 Major-Vacation of Public Easements  
04DRB-00457 Major-Preliminary Plat Approval  
04DRB-00459 Minor-Temp Defer SDWK  
04DRB-00461 Minor-Sidewalk Waiver

ISAACSON & ARFMAN P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) A, THE TRAILS, (to be known as HERITAGE @ THE TRAILS, UNIT 1, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 14 acre(s). [REF: 1002962, 03DRB-01528] (C-9)

At the April 21, 2004, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

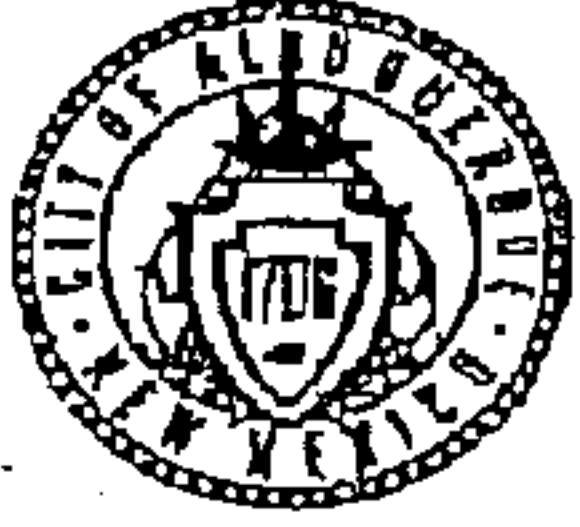
**FINDINGS:**

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

**CONDITIONS:**

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
3. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

With the signing of the infrastructure list dated 4/21/04 and approval of the grading plan engineer stamp dated 3/24/04 the preliminary plat was approved with the following condition of final plat:



**OFFICIAL NOTICE OF DECISION  
PAGE 2**

An approved perimeter wall submittal is required prior to construction taking place.

Temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file.

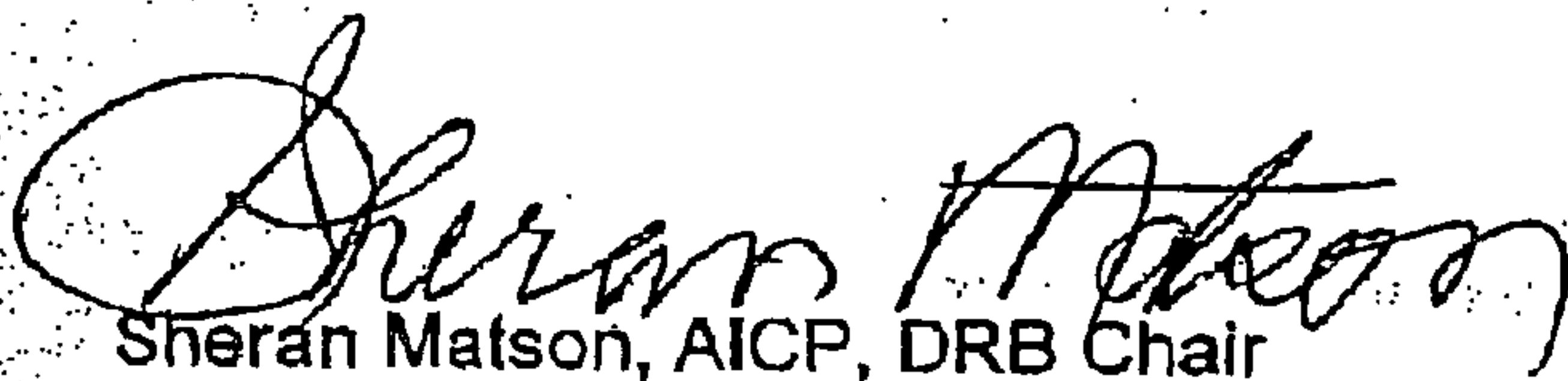
If you wish to appeal this decision, you must do so by May 6, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Sheran Matson, AICP, DRB Chair

cc: Isaacson & Arfman PA, 128 Monroe St NE, 87108  
Centex Homes, 5120 Masthead NE, 87109  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg  
File

**OFFICIAL NOTICE OF DECISION**

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

APRIL 21, 2004

- 5. Project # 1003353**  
04DRB-00454 Major-Vacation of Public Easements  
04DRB-00452 Major-Preliminary Plat Approval  
04DRB-00456 Minor-Sidewalk Waiver  
04DRB-00453 Minor- Temp Deferral of Sidewalk

ISAACSON & ARFMAN, P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) B, THE TRAILS, (To be known as **HERITAGE @ THE TRAILS, UNIT 2**, zoned R-D, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 10 acre(s). [REF: 1002962, 03DRB-01528 (C-9) THE

At the April 21, 2004, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

**FINDINGS:**

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

**CONDITIONS:**

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
3. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

With the signing of the infrastructure list dated 4/21/04 and approval of the grading plan engineer stamp dated 3/24/04 the preliminary plat was approved with the following condition of final plat:

An approved perimeter wall submittal is required prior to construction taking place.



**OFFICIAL NOTICE OF DECISION  
PAGE 2**

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The sidewalk waiver exhibit has been revised to show Lot 27 is not included.

Temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

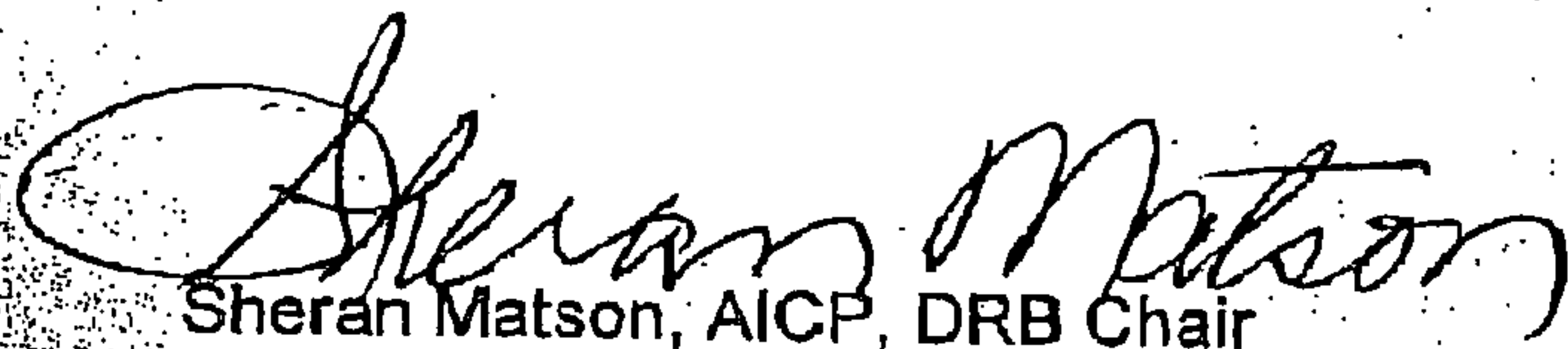
If you wish to appeal this decision, you must do so by May 6, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Sheran Matson, AICP, DRB Chair

cc: Isaacson & Arfman PA, 128 Monroe St NE, 87108

Centex Homes, 5120 Masthead NE, 87109

Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.

Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg  
File



**OFFICIAL NOTICE OF DECISION**

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

JANUARY 7, 2004

- 1. **Project # 1002929**
- 03DRB-01531 Major-Preliminary Plat Approval
- 03DRB-01535 Minor-Sidewalk Waiver
- 03DRB-01533 Minor-Temp Defer SDWK

DENISH - KLINE agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) C < aka Santa Fe @ The Trails >, **THE TRAILS**, zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 17 acre(s). [Deferred from 12-31-03] (C-9)

At the January 7, 2004 Development Review Board meeting, with the signing of the Infrastructure list dated today and the grading and drainage plan dated 12-24-03, the preliminary plat was approved. A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. Temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by January 22, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

JANUARY 7, 2004

**2. Project # 1002928**

03DRB-01532 Major-Preliminary Plat Approval  
03DRB-01534 Minor-Temp Defer SDWK  
03DRB-01536 Minor-Sidewalk Waiver

BOHANNAN HUSTON, INC./ DENISH-KLINE & agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of Tract(s) D TBKA TAOS @ THE TRAILS, THE TRAILS, POR. OF TR. 4, BLACK RANCH, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD. NW and UNIVERSE BLVD. NW containing approximately 20 acre(s). [REF: 1002928] [Deferred from 12-31-03] (C-09)

At the January 7, 2004, Development Review Board meeting, with the signing of the infrastructure list dated today and the grading and drainage plan dated 12-24-03, the preliminary plat was approved. A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. Temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by January 22, 2004, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

**OFFICIAL NOTICE OF DECISION**

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

June 16, 2004

**Project # 1003403**  
04DRB-00634 Minor-Sidewalk Waiver

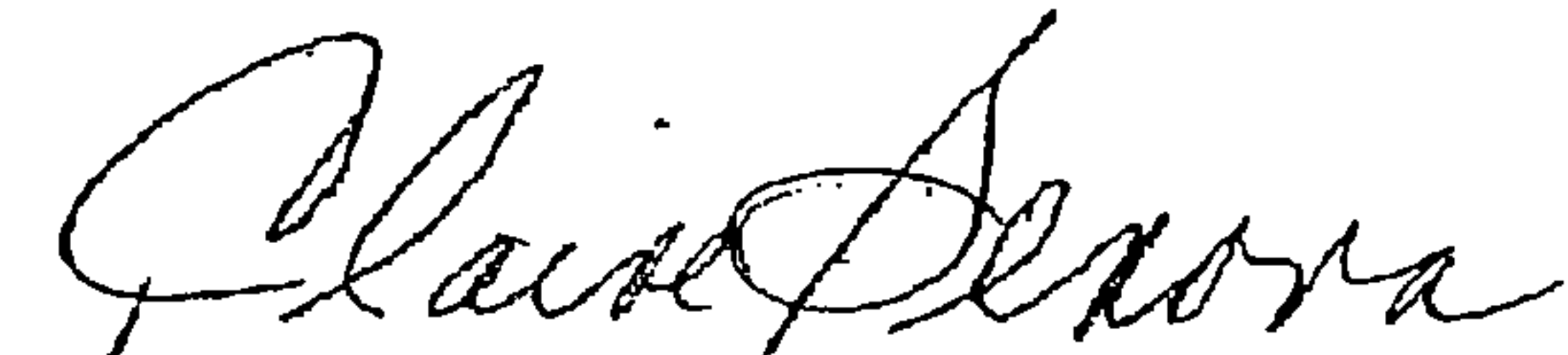
ISAACSON & ARFMAN, P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) F, THE TRAILS (to be known as **THE RESERVE AT THE TRAILS**, zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and TOWN OF ALAMEDA GRANT SOUTH BOUNDARY containing approximately 18 acre(s). [REF: 1002962, 03DRB-01528] (Deferred from 5/19/04, 6/2/04) [On 6/9/04 the Preliminary Plat, Vacation of Public Easements and Temporary Deferral of Sidewalks was approved. The above request was omitted in error.] (C-9)

At the June 16, 2004, Development Review Board meeting, a sidewalk variance for waiver of sidewalk was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by July 1, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Sheran Matson, AICP, DRB Chair

cc: Isaacson & Arfman PA, 128 Monroe St NE, 87108  
Centex Homes, 5120 Masthead NE, 87109  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg  
File

**ORIGINAL**

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: March 26, 2004  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: 4/21/04  
Date Preliminary Plat Expires: 4/21/05  
DRB Project No.: 1003353  
DRB Application No.: 04DRB-00452

⚠ 6/24/04

HERITAGE AT THE TRAILS, UNIT 2

PROPOSED NAME OF PLAT

TRACT B, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
		28' F-F	Residential Paving	Edison Road	Battlecreek Street	Allegiance Street	/	/	/
		24' F-F	Residential Paving	Edison Road	Tract A	Battlecreek Street	/	/	/
		24' F-F	Residential Paving	Edison Road	Allegiance Street	Lot 19	/	/	/
		28' F-F	Residential Paving	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	Hearthstone Road	Battlecreek Street	east property line	/	/	/
		50' F-F (incl Median)	Residential Paving	Hearthstone Road	Rainbow Blvd	Battlecreek Street	/	/	/
		31' F-F (half of full width)	Arterial Paving	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
			Modified Procedure "C" <del>10</del>	<del>Paseo del Norte</del>			/	/	/
		31' F-F (half of full width)	Arterial Paving Paseo del Norte	Rainbow Blvd	East #		/	/	/
		Sld. or Mntbl	Curb and Gutter (6)	Edison Road	Tract A	Lot 19	/	/	/

See note 9

MAY 04 2006 4:35PM  
JACSON & ARFMAN  
P. 10



SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		Std. or Mntbl	Curb and Gutter (6)	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Hearthstone Road	Rainbow Blvd	east property line	/	/	/
		Median	Curb and Gutter	Hearthstone Road	Rainbow Blvd	E. of Battlecreek Street	/	/	/
		Std.	Curb and Gutter (7) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		Median	Curb and Gutter (7) (West Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Edison Road	Tract A	Lot 19	/	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Edison Road	Battlecreek Street	Allegiance Street	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (North Side Only)	Hearthstone Road	Rainbow Blvd	Battlecreek Street	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	Battlecreek Street	east property line	/	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Hearthstone Road	Lot 34	east property line	/	/	/
		6'	PCC Sidewalk (7) (East Side Only) <i>Both sides</i>	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		10'	Asphalt Trail <i>UNIT 11</i>	Tract 05-2	West Pl	East Pl	/	/	/
		6"	Waterline	Edison Road	Battlecreek Street	Lot 19	/	/	/
		6"	Waterline	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		6"	Waterline	Allegiance Street	Edison Road	Hearthstone Road	/	/	/

ORIGINAL

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SIA Sequence #	COA DRC Project #					Private Inspector	City Inspector	City Const Engineer
		8"	Waterline	Hearthstone Road	Rainbow Blvd	east property line	/	/
		8"	Waterline	Offsite easement	Hearthstone Road	Ladron Drive (Taos at the Trails)	/	/
		20"	Waterline (7)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/
							/	/
		8"	SAS	Edison Road	Rainbow Blvd	Lot 19	/	/
		8"	SAS	Battlecreek Street	Edison Road	Hearthstone Road	/	/
		8"	SAS	Allegiance Street	Edison Road	Hearthstone Road	/	/
		8"	SAS	Hearthstone Road	Battlecreek Street	east property line	/	/
		8"	SAS	Offsite easement	Hearthstone Road	Ladron Drive (Taos at the Trails)	/	/
		8" - 12"	SAS (7)	Tracts D, F, & J	Ladron Drive (Taos at the Trails)	Universe Blvd	/	/
		750 gpm	Temp SAS Lift Station (7)	Tract J	Universe Blvd		/	/
		8"	Temporary SAS Force Main (7)	Universe Blvd	Tree Line Avenue	Paseo del Norte	/	/
							/	/
		18"-48"	RCP Storm Drain	Edison Road	Rainbow Blvd	Lot 19	/	/
		42"-48"	RCP Storm Drain	Allegiance Street	Edison Road	Hearthstone Road	/	/
		18"-48"	RCP Storm Drain	Hearthstone Road	Rainbow Blvd	Pond D	/	/
		6.46 Ac-Ft	Retention Pond on unplatted land east of Tract B, The Trails. (Pond D) w/ easmt, Covenant & Agreement, and emergency overflow				/	/

SIA Sequence #	COA DRC Project #
-------------------	----------------------



\$250,000 drainage mitigation contribution by Proc B' mod

Temporary Storm Drain Pump Station & Force Main (8) Univerec Blvd Pond L Las Ventanas Dam

Private Inspector	City Inspector	City Const Engineer
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/

Perimeter Walls (not to be financially guaranteed)

Water meter for landscaping

MAY 04 2006 4:35PM


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1

p. 13

NOTES:

- 1. Sidewalks to be deferred v
- 2. Residential lighting per DF
- 3. Grading and Drainage Cer
- 4. All water to include fire hys
- 5. Storm drain sizes are subj
- 6. Curb & gutter on both side
- 7. Adjacent portions of Raint
- 8. Offsite Traffic Mitigation Fr
- 9.  Includes removal and repla  
Planning Department in ad
- 10. by Modified Proc
- 11. Trail to be built
- 12. Landscape Main  
in the public ric

Seq:

AGENT/OWNER

Genevieve Donart, PE  
NAME (print)

Isaacson & Arfman, P.A.  
FIRM

*Genevieve Donart 4/20/10*  
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
SION: \_\_\_\_\_

\_\_\_\_\_

REVISION	DATE
1	6/24/10

Current DRC Project Number: **ORIGINAL**

FIGURE 12  
INFRASTRUCTURE LIST

Date Submitted: March 24, 2004  
 Date Site Plan Approved: 5/21/04  
 Date Preliminary Plat Approved: 5/21/04  
 Date Preliminary Plat Expires: 1003354  
 DRB Project No.: 04DRB-00457  
 DRB Application No.: 6/29/04

EXHIBIT "A"  
 TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST  
 HERITAGE AT THE TRAILS, UNIT 1  
 PROPOSED NAME OF PLAT

TRACT A, THE TRAILS  
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and sponsor/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector
		28' F-F	Residential Paving	Williamsburg Road	West Property Line	Nationwide Street	/	/
		28' F-F	Residential Paving	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/
		28' F-F	Residential Paving	Jameson Street	Williamsburg Road	Hearthstone Road	/	/
		28' F-F	Residential Paving	West Haven Street	Williamsburg Road	Hearthstone Road	/	/
		32' F-F	Residential Paving	Hearthstone Road	West Property Line	Nationwide Street	/	/
		50' F-F (incl Median)	Residential Paving	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/
	730081	31' F-F (half of full width)	Arterial Paving (6)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/
			Modified Procedure <del>5X</del> - <u>sure note 9</u> Paseo del Norte				/	/
		31' F-F (half of full width)	Arterial Paving (11)	Paseo del Norte W. Prop. line	Rainbow Blvd		/	/
		Sid. or Median	Curb and Gutter (6)	Williamsburg Road	West Property Line	Nationwide Street	/	/
		Sid. or Median	Curb and Gutter (6)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/

P 0103354  
 04DRB-00457  
 5/21/04  
 5/21/04  
 1003354  
 04DRB-00457  
 6/29/04  
 Mary Herrera  
 Bern. Co.

ORIGINAL

SIA Sequence #	COA DRC Project #					Private Inspector	City Inspector	City Const Engineer	
		Std. or Mntbl	Curb and Gutter (6)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		Median	Curb and Gutter	Hearthstone Road	E. of Nationwide Street	Rainbow Blvd.	/	/	/
B-1	730081	Std.	Curb and Gutter (8) (West Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		Median	Curb and Gutter (8) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (North Side Only)	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Hearthstone Road	West PL - Lot 50	East PL - Lot 44	/	/	/
B-1	730081	10'	Asphalt Trail (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		10'	Asphalt Trail (12)	Tract 05-1	West PL	East PL	/	/	/
		8"	Waterline	Public Easement on Lot 2	Paseo Del Norte	Williamsburg Road	/	/	/
		6"	Waterline	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		6"	Waterline	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/

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**NOTES:**

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Not used
8. Adjacent portions of Rainbow Blvd to be built by a separate project. (DRB Project#1002962, CPN#730081) Rainbow Blvd not financially guaranteed with this project.
9. Offsite Traffic Mitigation Fees of \$585 per lot to be paid by Modified Procedure "C" (non-work order): \$585/lot x 75 lots = \$42,375
10. ~~Includes removal and replacement of existing asphalt. To be deferred. Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRC procedure review.~~
11. *by Modified Procedure 'c' (non-work order) is an option (concurrent from AMDr*
12. *Trail to be built by a separate project*

AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Genevieve Donart, PE <small>NAME (print)</small>	<i>Sharon Watson</i> 4/21/04 <small>DRB CHAIR - date</small>	<i>Christina Danbora</i> 4/21/04 <small>PARKS &amp; GENERAL SERVICES - date</small>	
Isaacson & Arman, P.A. <small>FIRM</small>	<i>Sharon Watson</i> 4-21-04 <small>TRANSPORTATION DEVELOPMENT - date</small>		<small>AMAFCA - date</small>
<i>Genevieve Donart</i> 4/21/04 <small>SIGNATURE - date</small>	<i>Roger Alvar</i> 4/21/04 <small>UTILITY DEVELOPMENT - date</small>		<small>- date</small>
<small>MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION:</small>	<i>Brad L. Bigham</i> 4-21-04 <small>CITY ENGINEER - date</small>		<small>- date</small>

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
A	6/24/04	<i>Sharon Watson</i>	<i>Brad Bigham</i>	<i>Genevieve Donart</i>

13. *landscape Maintenance Agreement between city and the H.O.A. is required for landscaping in the public right-of-way.*

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Current DRC Project No. \_\_\_\_\_

Date Submitted: January 8, 2004

Date Site Plan Approved: N/A

Date Preliminary Plat Approved: 1/7/04

Date Preliminary Plat Expires: 1/7/05

Application No. 03 DRB01531  
DRB Project No. 1002920

**ORIGINAL**

Figure 12

**INFRASTRUCTURE LIST**

EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

SANTA FE AT THE TRAILS (TRACT C)

2 6/23/04

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC ROADWAY IMPROVEMENTS</b>									
<u>B-1</u>	<u>730081</u>	31' F-F	ARTERIAL PAVING W/ PCC CURB & GUTTER & 10' WIDE ASPHALT TRAIL ON WEST SIDE ONLY	<u>RAINBOW BLVD.</u>	PASEO DEL NORTE	TRACT E	/	/	
			TEMPORARY PAVING FOR TURNAROUND	<u>RAINBOW BLVD.</u>	SOUTH END OF TRACT E		/	/	
		40' F-F	MAJOR LOCAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES* SIDEWALK ON SOUTH SIDE FROM LOT 26 TO RAINBOW BLVD. WITH 8' MEDIAN	TREE LINE AVENUE	WEST BOUNDARY	RAINBOW BLVD.	/	/	
		<del>50' F-F</del>	TEMPORARY PAVING FOR TURNAROUND AT WEST BOUNDARY						
		<del>30' F-F</del>	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES WITH MEDIAN	KUANA STREET	TREE LINE AVENUE	TEYPANA ROAD	/	/	
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	TEYPANA ROAD	NUEVA SEVILLA ST.	SABINAL DRIVE	/	/	
		22' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON SOUTH SIDE ONLY*	TEYPANA ROAD	NUEVA SEVILLA ST.	WEST STUB TERMINUS	/	/	
		22' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON SOUTH SIDE ONLY*	TEYPANA ROAD	SABINAL DRIVE	EAST STUB TERMINUS	/	/	
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	JALISCO ROAD	NUEVA SEVILLA ST.	SABINAL DRIVE	/	/	

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 Page 17 of 34  
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Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector
28" F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4" WIDE SIDEWALK ON BOTH SIDES* SIDEWALK WAIVED ALONG CUL-DE-SAC TERMINUS	TOME COURT NUEVA SEVILLA ST.	CUL-DE-SAC TERMINUS	NUEVA SEVILLA STREET	/	/
28" F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4" WIDE SIDEWALK ON BOTH SIDES*	SENUCU ROAD SABINAL DRIVE	TEYPANA ROAD	SENUCU ROAD	/	/
28" F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4" WIDE SIDEWALK ON BOTH SIDES*	SENUCU ROAD SABINAL DRIVE	NUEVA SEVILLA ST.	SABINAL DRIVE	/	/
28" F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4" WIDE SIDEWALK ON BOTH SIDES*	SABINAL DRIVE	TEYPANA ROAD	SENUCU ROAD	/	/
22" F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4" WIDE SIDEWALK ON EAST SIDE ONLY*	SABINAL DRIVE	SENUCU ROAD	NORTH STUB TERMINUS	/	/

\* SIDEWALKS TO BE DEFERRED.

STREET LIGHTS AS PER COA DPM

MODIFIED PROCEDURE 'C'

OFFSITE TRAFFIC MITIGATION FEE: \$666/LOT X 100 LOTS = \$66600

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SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector
		18"-36" DIA	RCP W/ NEC. MYS, LATERALS & INLETS	TREE LINE AVENUE, WEST BOUNDARY	RAINBOW BLVD.		/	/
MB-1	730081	18"-64" DIA	RCP W/ NEC. MYS, LATERALS & INLETS	TEYPANA ROAD	EAST STUB TERMINUS	TRACT D, F, AND J BLANKET DRAINAGE EASEMENT	/	/
		18"-36" DIA	RCP W/ NEC. MYS, LATERALS & INLETS	RAINBOW BLVD.	TREE LINE AVENUE	TEYPANA ROAD	/	/
		8.3 ACRE-FT	TEMPORARY EARTHEN RETENTION POND W/ AGREEMENT AND COVENANT	TRACT J			/	/
MB-1	730081		TEMPORARY EARTHEN RETENTION POND W/ AGREEMENT AND COVENANT	TRACT J			/	/

TEMPORARY EARTHEN SWALE TRACT F AND J, BLANKET DRAINAGE EASEMENT W/ AGREEMENT & COVENANT

NOTE: A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PARTS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.

29" RCP SD SENEUCU SABINAL 200' WEST

24-36" RCP SD SABINAL SENEUCU POND D

73-ACFT RETENTION POND D TRACT A W/ AGREEMENT + COVENANT Page 2 of 5





ORIGINAL

NINA LEUNG  
 PREPARED BY: PRINT NAME  
 DRB CHAIR  
Sham Matory 1/7/04 DATE  
Christina Stantoni 1/7/04 DATE  
 PARKS & GENERAL SERVICES  
 Recreation  
 BOHANNAN HUSTON INC.  
 FIRM:  
John M. Matory 1-6-04 DATE  
 TRANSPORTATION DEVELOPMENT  
 ANAFCA  
Anna C. Matory 1-6-04 DATE  
 TRANSPORTATION DEVELOPMENT  
 ANAFCA  
Brad L. Blum 1-7-04 DATE  
 CITY ENGINEER  
 MAXIMUM TIME ALLOWED TO CONSTRUCT  
 IMPROVEMENTS WITHOUT A DRB EXTENSION  
 [ ]  
 NEW MEXICO UTILITIES INC.  
 DATE 1-5-04

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT OWNER
1	4/2/04	[Signature]	[Signature]	[Signature]
2	6/23/04	[Signature]	[Signature]	[Signature]

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Current DRC  
Project No.

**ORIGINAL**

Figure 12  
**INFRASTRUCTURE LIST**

EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

**TAOS AT THE TRAILS (TRACT D)**

Date Submitted: January 6, 2004

Date Site Plan Approved: NA

Date Preliminary Plat Approved: 1/7/04

Date Preliminary Plat Expires: 1/7/05

Application No. 03 DRB-0153

DRB Project No. 1002928

6/23/04

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crst Engineer
<b>PUBLIC ROADWAY IMPROVEMENTS</b>									
<u>B-1</u>	<u>730081</u>	31' F-F	ARTERIAL PAVING W/ PCC CURB & GUTTER & PCC 8' WIDE SIDEWALK ON EAST SIDE	<u>RAINBOW BLVD.</u>	TRACT E	PASEO DEL NORTE	/	/	
			TEMPORARY PAVING FOR TURNAROUND	<u>RAINBOW BLVD.</u>	SOUTH END OF TRACT E		/	/	
		20' F-F	MAJOR LOCAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON NORTH SIDE* WITH 8' MEDIAN	TREE LINE AVENUE	RAINBOW BLVD.	EAST BOUNDARY	/	/	
		12' F-E	TEMPORARY PAVING TEMPORARY TURNAROUND AT EAST BOUNDARY	TREE LINE AVENUE	RAINBOW BLVD.	EAST BOUNDARY	/	/	
		<u>X</u> 18' F-F <u>50'</u>	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES WITH MEDIAN	PILABO STREET	TREE LINE AVENUE	LAS NUTRIAS ROAD	/	/	
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	LAS NUTRIAS ROAD	OLD MILL STREET	LADRON DRIVE	/	/	
		22' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON SOUTH SIDE ONLY*	LAS NUTRIAS ROAD	RAINBOW BLVD.	OLD MILL STREET	/	/	
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	OLD MILL STREET	LAS NUTRIAS ROAD	ALAMILLO ROAD	/	/	
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	LADRON DRIVE	LAS NUTRIAS ROAD	ALAMILLO ROAD	/	/	

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COA DRC Project #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector
		22' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON EAST SIDE ONLY*	LADRON DRIVE	NORTH STUB TERMINUS	ALAMILLO ROAD	/	/
		22' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON EAST SIDE ONLY*	LADRON DRIVE	LAS NUTRIAS ROAD	SOUTH STUB TERMINUS	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	CUCHILLO ROAD	OLD MILL STREET	LADRON DRIVE	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	JARPALES COURT	CUL-DE-SAC TERMINUS	CUCHILLO ROAD	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK ON BOTH SIDES*	ALAMILLO ROAD	OLD MILL STREET	LADRON DRIVE	/	/

\* SIDEWALKS TO BE DEFERRED.

STREET LIGHTS AS PER COA DPM

MODIFIED PROCEDURE 'C'

OFFSITE TRAFFIC MITIGATION FEE: \$985/LOT X 130 LOTS = \$79450

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 Page: 23 of 34  
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SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector
		18"-54" DIA	RCP W/ NEC. M.P.S., LATERALS & INLETS	TREE LINE AVENUE	SP-EASEMENT @ LADRON	EAST BOUNDARY	/	/
		18"-54" DIA	RCP W/ NEC. M.P.S., LATERALS & INLETS	LADRON DRIVE	CUCHILLO ROAD	TREE LINE AVENUE	/	/
		18"-36" DIA	RCP W/ NEC. M.P.S., LATERALS & INLETS	LAS NUTRIAS ROAD	RAINBOW BLVD.	LADRON DRIVE	/	/
B-1	730081	18"-36" DIA	RCP W/ NEC. M.P.S., LATERALS & INLETS	RAINBOW BLVD.	TREE LINE AVENUE	LAS NUTRIAS ROAD	/	/
		9.3 ACRE-FT	TEMPORARY EARTHEN SWALS	TRACT F AND J, BLANKET DRAINAGE EASEMENT			/	/
			MANAGEMENT & COVENANT				/	/
			TEMPORARY EARTHEN RETENTION POND	TRACT J			/	/
MB-1	730081		TEMPORARY EARTHEN RETENTION POND	TRACT J			/	/

PUBLIC STORM DRAIN IMPROVEMENTS

NOTE: A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.

REMOVAL & REPLACEMENT OF EXISTING ASSESSMENT - FINANCIAL GUARANTY AMOUNT TO BE REVIEWED AND APPROVED BY THE CITY OF ACQUERQUE HYDROLOGY PLANNING DEPARTMENT IN ADDITION TO THE STANDARD DRC PROCEDURE REVIEW. (See Attachment 2)

TEMPORARY EARTHEN RETENTION POND - 150,000 drainage mitigation

MANAGEMENT & COVENANT







ORIGINAL

NINA LEUNG  
PREPARED BY: PRINT NAME

BOHANNAN HUSTON INC.  
FIRM

Signature: *Nina Leung* DATE: 1-6-04

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

Signature: *[Signature]* DATE: 1-5-04

DRB CHAIR  
Signature: *[Signature]* DATE: 1-7-04

PARKS & GENERAL SERVICES - RECREATION  
Signature: *Christina Sandoral* DATE: 1-7-04

TRANSPORTATION DEVELOPMENT  
Signature: *[Signature]* DATE: 1-7-04

UTILITY DEVELOPMENT  
Signature: *Roger Sheen* DATE: 4/7/04

NEW UTILITIES INC.  
Signature: *[Signature]* DATE: 1-5-04

AMAFCA  
Signature: *Layton M. Mays* DATE: 1-6-04

CITY ENGINEER  
Signature: *Bruce H. Byles* DATE: 1-7-04

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRB CHAIR	UTILITIES DEPARTMENT	AGENT/OWNER
1	4/2/04	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>
2	6/23/04	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>

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Mary Herrera

Current DRC  
Project Number:

**ORIGINAL**

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: April 23, 2004  
Date Site Plan Approved: N/A  
Date Preliminary Plat Approved: 6/2/04  
Date Preliminary Plat Expires: 1/2/05  
DRB Project No.: 003103  
DRB Application No.: 04-00132

6/24/04

RESERVE AT THE TRAILS

PROPOSED NAME OF PLAT

TRACT F, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
		28' F-F	Residential Paving (7)	Glyndon Tr	Wincrest Tr	Hallston Tr	/	/	/
		28' F-F	Residential Paving (7)	Crosswinds Tr	Wincrest Tr	Hallston Tr	/	/	/
		28' F-F	Residential Paving (7)	Wincrest Tr	Glyndon Tr	Crosswinds Tr	/	/	/
		28' F-F	Residential Paving (7)	Hallston Tr	Glyndon Tr	Crosswinds Tr	/	/	/
		22' F-F	Residential Paving (7)	Glyndon Tr	Wincrest Tr	west to hammerhead	/	/	/
		22' F-F	Residential Paving (7)	Glyndon Tr stub	Glyndon Tr	south to hammerhead	/	/	/
		22' F-F	Residential Paving (7)	Wincrest Tr	Crosswinds Tr	south to hammerhead	/	/	/
		22' F-F	Residential Paving (7)	Hallston Tr	Glyndon Tr	north to hammerhead	/	/	/
		28' 22' F-F	Residential Paving (7) (gated exit)	Hallston Tr	Crosswinds Tr	Woodmont Rd	/	/	/
		50' F-F (incl Median)	Residential Paving (7) (gated entrance/exit)	Winterset Tr	Tree Line Ave	Glyndon Tr	/	/	/

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SIA Sequence #	COA DRC Project #	Private Inspector	City Inspector	City Const Engineer					
					PCC Sidewalk (1) (South Side Only)	Glyndon Tr	Winncrest Tr	Hallston Tr	
					PCC Sidewalk (1) (Both Sides)	Crosswinds Tr	Winncrest Tr	Hallston Tr	
					PCC Sidewalk (1) (West Side Only)	Winncrest Tr	Glyndon Tr	hammerhead	
					PCC Sidewalk (1) (East Side Only)	Winncrest Tr	Glyndon Tr	Crosswinds Tr	
					PCC Sidewalk (1) (East Side Only)	Hallston Tr	hammerhead	Woodmont Rd	
					PCC Sidewalk (1) (West Side Only)	Hallston Tr	Glyndon Tr	Crosswinds Tr	
					PCC Sidewalk (Both Sides)	Winncrest Tr	Tree Line Ave	Glyndon Tr	
					PCC Sidewalk (1) (South Side Only)	Tree Line Ave	Rainbow Blvd	East Property Line	
					PCC Sidewalk (1) (North Side Only)	Woodmont Rd	Rainbow Blvd	East Property Line	
					PCC Sidewalk (1) (East Side Only)	Rainbow Blvd	Tree Line Ave	Woodmont Rd	
					Perimeter Walls	(not subject to financial guaranty)			
					median curbs & gutters	Winncrest Tr	hammerhead	Winncrest Tr	
					Waterline	Glyndon Tr	Winncrest Tr	Hallston Tr	
					Waterline	Glyndon Tr stub	Glyndon Tr	hammerhead	
					Waterline	Crosswinds Tr	Winncrest Tr	Hallston Tr	
					Waterline	Winncrest Tr	Glyndon Tr	Crosswinds Tr	

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SIA Sequence #	COA DRC Project #	Private Inspector		City Inspector		City Const Engineer	
		Inspector	Inspector	Inspector	Inspector	Engineer	Engineer
		4"	Waterline	Winncrest Tr	Crosswinds Tr	hammerhead	/
		4"	Waterline	Hallston Tr	hammerhead	Glyndon Tr	/
		6"	Waterline	Hallston Tr	Glyndon Tr	Woodmont Rd	/
		6"	Waterline	Winterset Tr	Tree Line Ave	Glyndon Tr	/
		8"	Waterline	Tree Line Ave	Rainbow Blvd	East Property Line	/
		8"	Waterline	Woodmont Rd	Rainbow Blvd	East Property Line	/
		20"	Waterline (8)	Rainbow Blvd	Tree Line Ave	Woodmont Rd	/
			Water meter for landscaping				/
							/
		6"	SAS	Glyndon Tr	hammerhead	Hallston Tr	/
		8"	SAS	Glyndon Tr Club	Glyndon Tr	hammerhead	/
		8"	SAS	Crosswinds Tr	Winncrest Tr	Hallston Tr	/
		8"	SAS	Winncrest Tr	Glyndon Tr	hammerhead	/
		8"	SAS (8)	Hallston Tr	Tree Line Ave	Woodmont Rd	/
		8"	SAS	Tree Line Ave	Rainbow Blvd	East Property Line	/
		8"	SAS	Woodmont Rd	Rainbow Blvd	Hallston Tr	/
		8" - 12"	SAS (8)	Tract J	Woodmont Rd	Universe Blvd	/
		750 gpm	Temp SAS Lift Station (8)	Tract J	Universe Blvd		/


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 Page: 38 of 34  
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 BK-R2 Pg 1-553  
 R 21 06  
 Bern. Co. PERC  
 Harry Herrera

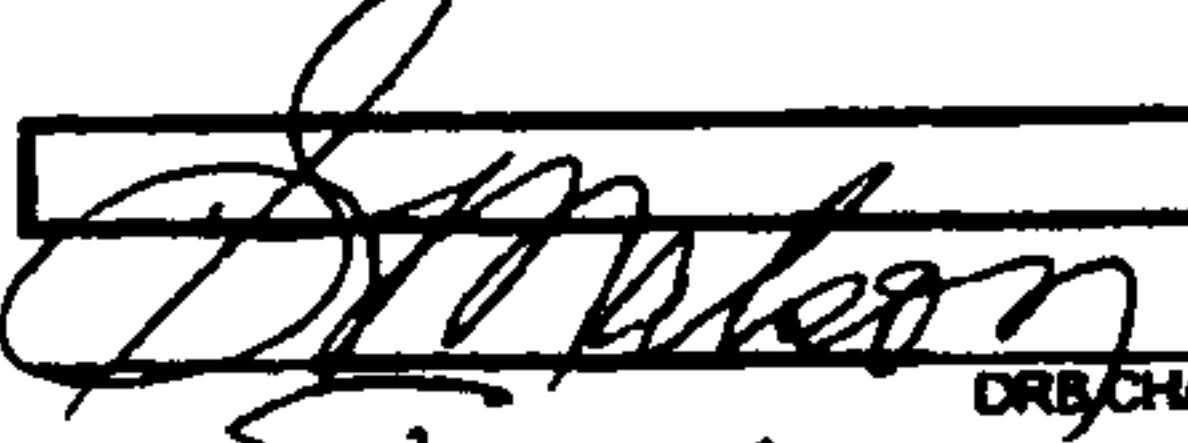






ORIGINAL

NOTES:

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Where noted, streets are privately and maintained by the Homeowner's Association.
8. Adjacent portions of Rainbow Blvd and other offsite improvements to be built by a separate project. (DRB Project#1002962, CPN#730081)
9. Offsite Traffic Mitigation Fees of \$565 per lot to be paid by Modified Procedure "C" (non-work order): \$565/lot x 79 lots = \$44,635
10.  Includes removal and replacement of existing asphalt. To be deferred. Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRC procedure review.
11. The Homeowner's Association shall maintain landscaping within the right-of-way. A Landscape Agreement is required between the City of Albuquerque and the Homeowner's Association.

AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Genevieve Donart, PE NAME (print)	 DRB CHAIR - date	Christina Santoral PARKS & GENERAL SERVICES - date	
Isaacson & Arfman, P.A. FIRM	6-9-04 TRANSPORTATION DEVELOPMENT - date	6/2/04 AMFCA - date	
Genevieve Donart SIGNATURE - date	Danny S. Nunez UTILITY DEVELOPMENT - date	 - date	C-204
	Bradley Biken CITY ENGINEER - date	6/7/04	

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: \_\_\_\_\_

DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
1	6/24/04		Brad Biken	Genevieve Donart

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 Page 32 of 34  
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 Bern. Co. REG  
 R 75.00  
 Ex-162 Pg-433  
 Lary Herrera

15

*Joel Longford Herrera*

*Joel Longford Herrera*  
761-9911  
12.2.05

This Agreement made this 10<sup>th</sup> day of November, 2005, by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and (name of developer/subdivider) The Tevils LLC ("Developer"), whose address is 2007 Jefferson St NE Suite A and whose telephone number is (505) 761-9911 is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

WHEREAS, the City and the Developer entered into an Agreement on the 11<sup>th</sup> day of August, 2004, which was recorded in the office of the Clerk of Bernalillo County, New Mexico on 8/13/2004, at Book Misc. A-82, pages 4574 through 4594, ("Earlier Agreement"), by which the Developer agreed to complete the construction of certain infrastructure improvements on or before the 9<sup>th</sup> day of September, and

WHEREAS, the Earlier Agreement was amended by an Extension Agreement dated \_\_\_\_\_ recorded \_\_\_\_\_, in Book Misc. \_\_\_\_\_, pages \_\_\_\_\_ through \_\_\_\_\_, records of Bernalillo County, New Mexico, extending the construction deadline to \_\_\_\_\_, and

WHEREAS, it appears that the Developer will be unable to complete construction of the improvements by the deadline specified in the Agreement; and

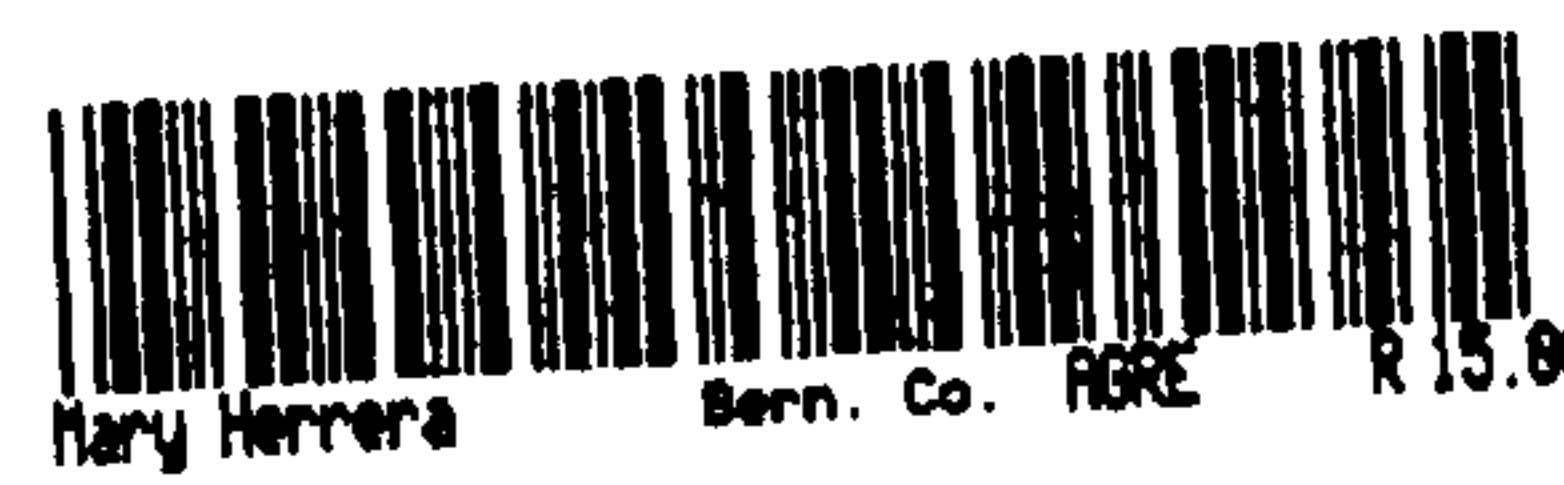
WHEREAS, the City is willing to grant Developer an extension of time in which to complete construction of all or part of the improvements, provided the Developer posts an acceptable financial guaranty, as required by the City's Subdivision Ordinance and the Development Process Manual; and

WHEREAS, the Developer is able to provide the required financial guaranty;

NOW THEREFORE in consideration of the above and the mutual promises contained herein, the parties agree:

1. The required completion date for construction of the improvements, as set forth in the attached Exhibit A, is extended (Complete either A or B):
  - A. for all improvements, the 30<sup>th</sup> day of November, 2006 *ADG*
  - B. on portions of the improvements as follows:
 

IMPROVEMENTS	COMPLETION DATE



2685177286  
6373338  
Page: 1 of 4  
12/01/2005 01:57P  
Bk-A187 Pg-6812

2. With this Extension Agreement, Developer has provided the City with the following financial guaranty:

Type of Financial Guaranty: Subdivision  
Amount: \$1,250,000.00 Subdivision Bond # 8235 025  
Name of Financial Institution or Surety providing Guaranty: Developers Surety and Indemnity Co.  
Date City first able to call Guaranty (Construction Completion Deadline): August 11, 2006  
If Guaranty other than a Bond, last day City able to call Guaranty is: \_\_\_\_\_  
Additional information: \_\_\_\_\_

3. The parties agree that all terms and conditions of the Earlier Agreement not in conflict with this Extension Agreement shall remain valid, in force, and binding upon the parties. By executing this Agreement, the parties only intention is to extend the construction completion deadline established in the Earlier Agreement and establish a revised financial guaranty for the benefit of the City.

Executed on the date stated in the first paragraph of this Agreement.

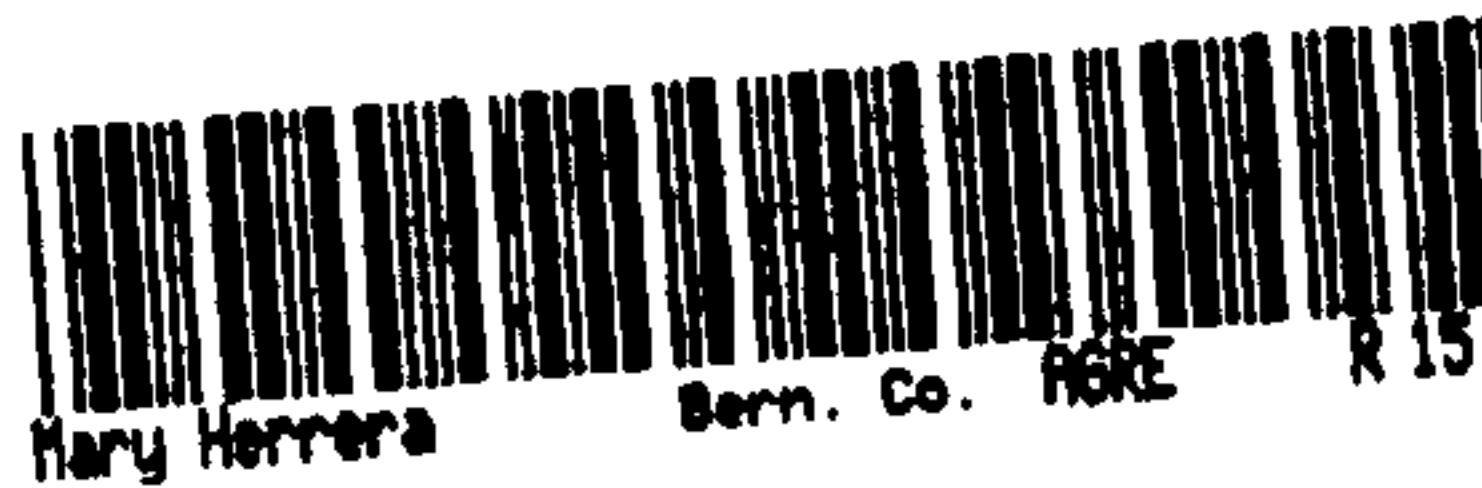
DEVELOPER:

By (Signature): [Signature]  
Name: John K. Murken  
Title: President  
Dated: 11/9/05

CITY OF ALBUQUERQUE:  
[Signature]  
City Engineer  
Dated: 11-29-05

By (Signature) [Signature]  
Name: Brian Anderson  
Title: Division Vice President  
Dated: 11/10/05

[Signature] [Signature]  
11-17-05



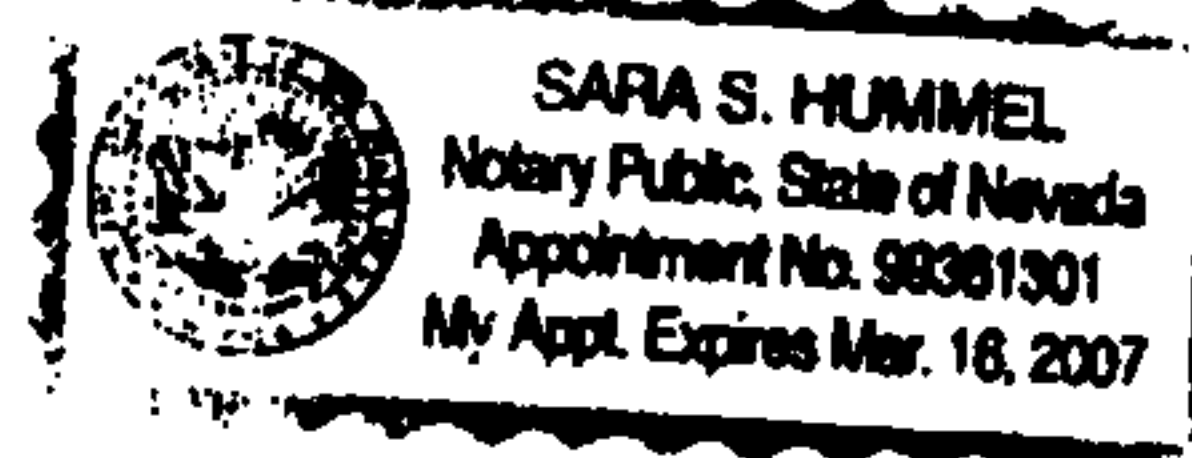
DEVELOPER'S NOTARY

STATE OF Nevada )  
COUNTY OF Clark ) ss.

This instrument was acknowledged before me on 9<sup>th</sup> day of Nov, 2005 by (name of person:) John Mestaj, (title or capacity, for instance, "President" or "Owner") President of (Developer:) The Trails, LLC

Sara S. Hummel  
Notary Public

My Commission Expires:  
3/16/07



CITY'S NOTARY

STATE OF New Mexico  
COUNTY OF Bernalillo ss.

This instrument was acknowledged before me on 28<sup>th</sup> day of November, 2005 by Richard Serrate, City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Storiat Saavedra  
Notary Public

My Commission Expires:  
11-25-2007

Barcode with text: Mary Herrera, Bern. Co. AGRE, R 15.00, 2005177266, 6373338, Page: 3 of 4, 12/01/2005 01:57P, Bk-A167 Pg-6812

DEVELOPER'S NOTARY

STATE OF New Mexico  
COUNTY OF Bernalillo ss.

This instrument was acknowledged before me on 10<sup>th</sup> day of November  
2005 by (name of person:) Brian Anderson (title or  
capacity, for instance "President" or "Owner") Division Vice President  
of (Developer:) The Trails LLC

Dorcas Saavedra  
Notary Public

My Commission Expires:  
11-25-2007

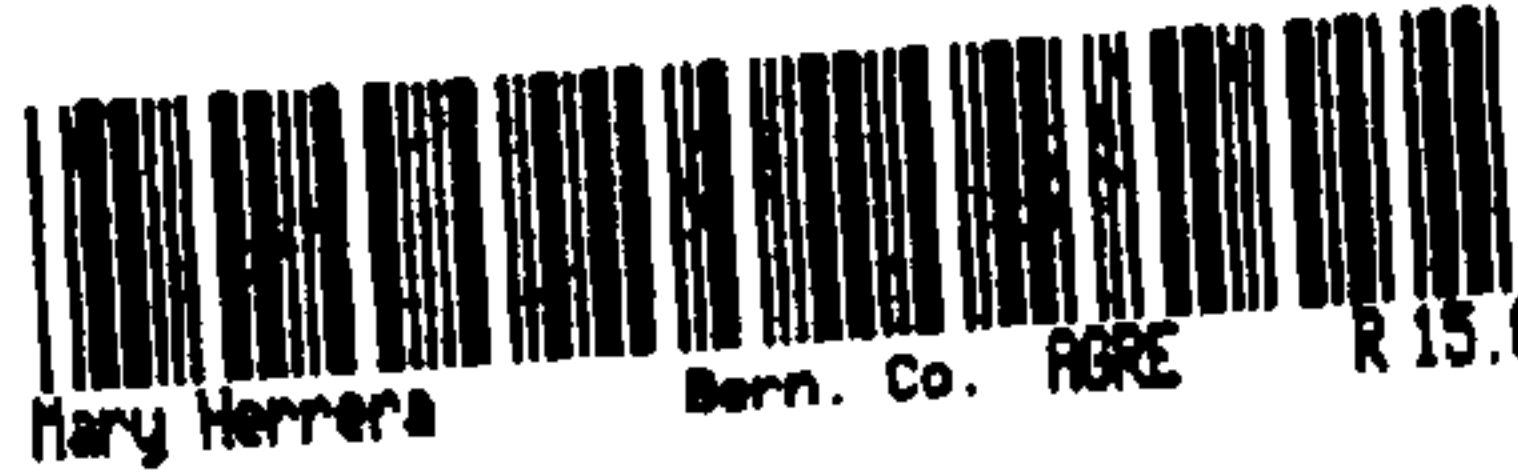
CITY'S NOTARY

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) ss.

This instrument was acknowledged before me on \_\_\_\_\_ day of \_\_\_\_\_  
20\_\_\_\_ by \_\_\_\_\_, City Engineer of the City of  
Albuquerque, a municipal corporation, on behalf of said corporation.

\_\_\_\_\_  
Notary Public

My Commission Expires:  
\_\_\_\_\_



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6373338  
Page: 4 of 4  
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FIGURE 12

SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B Modified Non-Work Order)  
Project No. 730081

AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 11th day of August, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and The Trails, LLC ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] Nevada Limited Liability Company, whose address is 7007 Jefferson St. N.E., Suite A-B and whose telephone number is (505) 761-9911. This Agreement is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:]

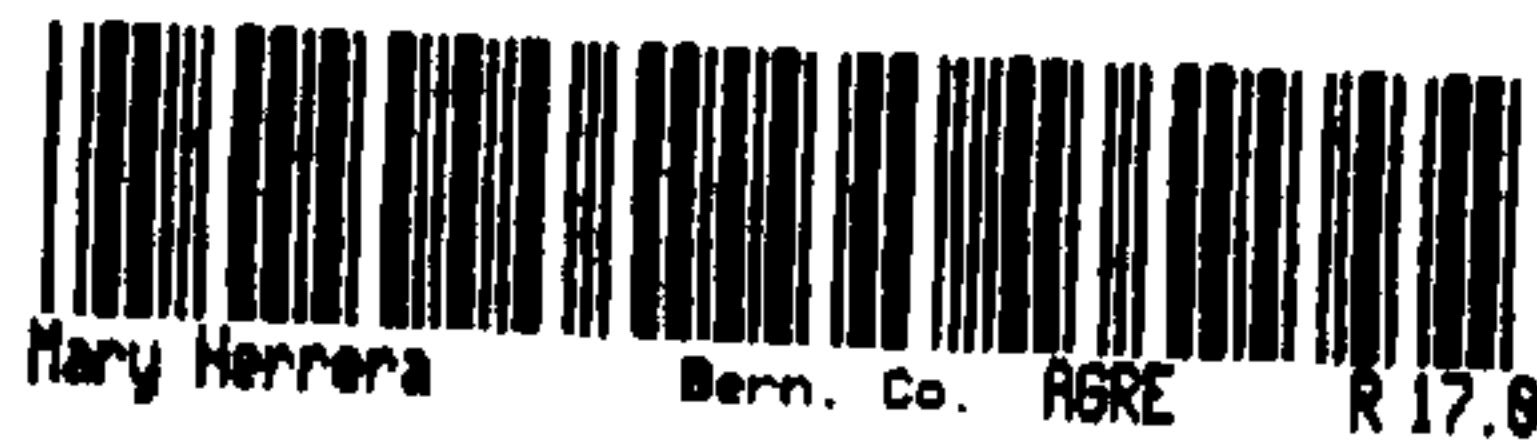
Bulk Plat of The Trails, recorded on Dec. 15, 2003 in the records of the Bernalillo County Clerk at Book 2003C, pages 375 through 378 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] The Trails, LLC ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Preliminary PLAT describing Subdivider's Property. BULK PLAT OF THE TRAILS

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 9th day of SEPTEMBER, 2005 ("Construction Completion Deadline"), at no cost to the City.

Note: To compute the Construction Completion Deadline: the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.



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Page: 1 of 5  
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3. Financial Guaranty. The Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: LETTER OF CREDIT 420321  
 Amount: \$1,250,000.00 Name of Financial Institution or Surety providing Guaranty:  
 Date City first able to call Guaranty:  
 [Construction Completion Deadline]: SEPTEMBER 9, 2005  
 If Guarantee other than a Bond, last day City able to call on Guaranty is: NOVEMBER 9, 2005  
 Additional Information:

4. Completion, Acceptance and Termination. Upon completion of the required infrastructure, the Subdivider shall notify the City Engineer and the Design Review Section of Planning Department. After the City Engineer approves the construction, the City will promptly release this Agreement and the Financial Guaranty.

5. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officers, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

2 of 4

07/02



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 Page: 2 of 5  
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6. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

7. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

8. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

9. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

10. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

11. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

12. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

13. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

14. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

15. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the Subdivider and signed by the City's Legal Department on this form.

16. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



07/02





# FINANCIAL GUARANTY AMOUNT

06/25/2004

Type of Estimate: SIA Procedure - B - Modified Non-W.O.- w/F.G.

Project Description:

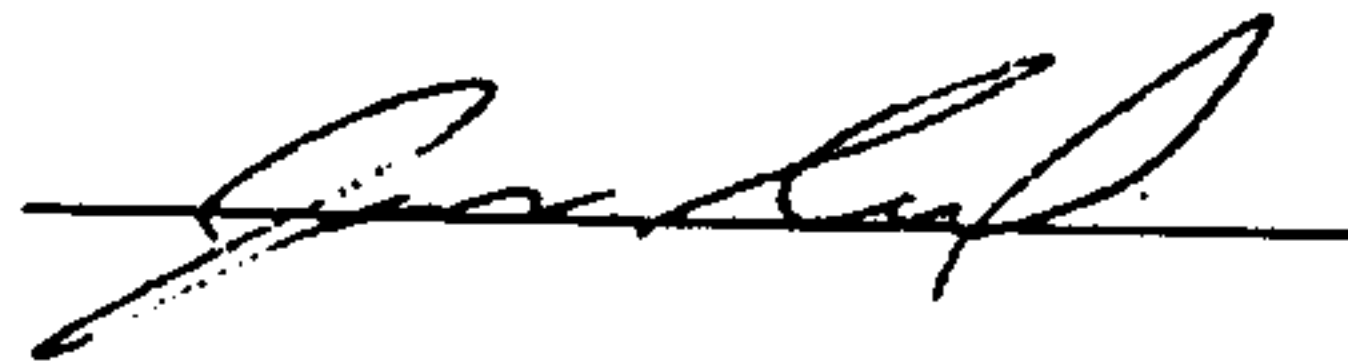
Project ID #: 730081, The Trails Subdivision - Offsite Imp's, Phase/Unit #:

Requested By: Steve Salazar, PE w/ Wilson & Co.

TOTAL FINANCIAL GUARANTY REQUIRED \$1,250,000.00

APPROVAL:

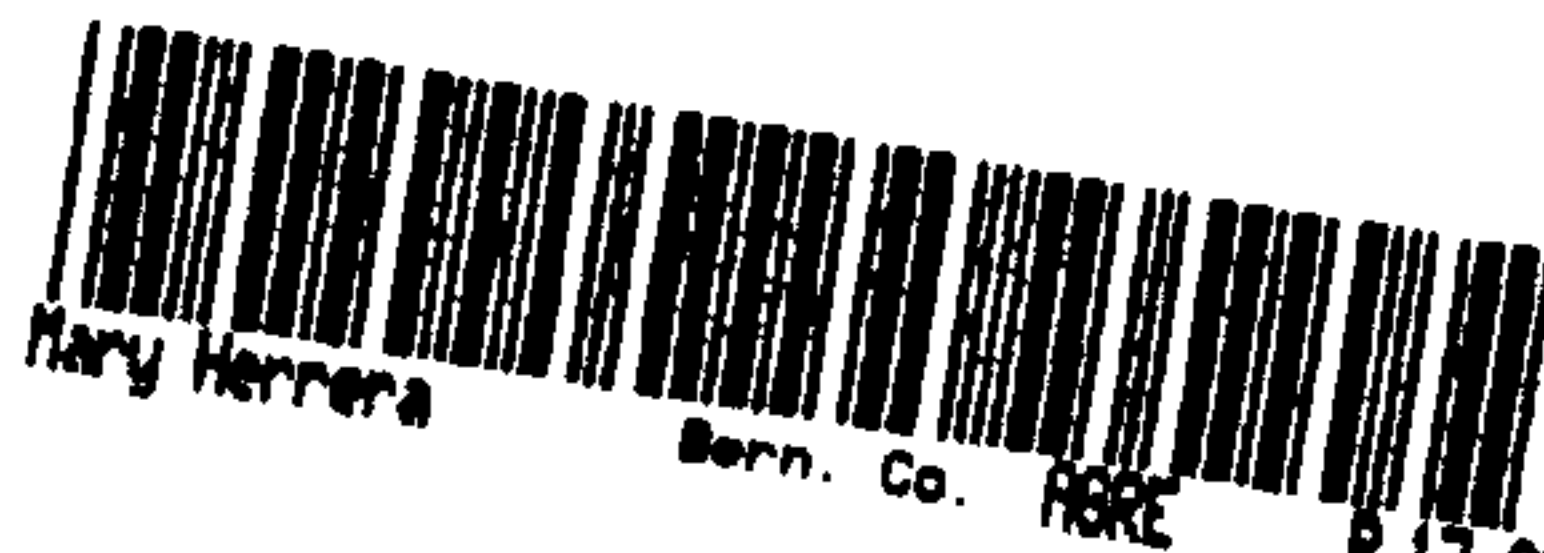
DATE:



6-25-2004

Notes: \$250,000 each for drainage mitigation for The Trails, Tracts A, B, C, D, & F

Tract A	Heritage @ the Trails, Unit 1	738481
Tract B	Heritage @ the Trails, Unit 2	738482
Tract C	Santa Fe @ the Trails	730083
Tract D	Taos @ the Trails	730082
Tract F	Reserve @ the Trails	738483



Mary Herrera

Bern. Co. RGR

R 17.00

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Page: 5 of 5

08/13/2004 02:42P

BK-R82 Pg-4394

8/3/04

UNIVERSITY

Rainbow

Need sign on side FG  
#1500 FEG

Paseo Del Norte

GK TO  
SIGN PLANT

Tract "A"

Rg-Rainbow-730081  
-SD mt-730081

Tract "B"

Rg-Rainbow-730081  
-SRmt 730081

Tract "C"  
(Some of the trails)

Rg-Rainbow-730081  
SRmt-730081  
C mod-730083  
Rb-730083  
Sw-730083

Tract "D"  
(This is the track)

Rg-Rainbow-730081  
SD mt-730081  
SM-730082  
Rb-730082  
Sw-730082

Tract "E"

Rg-Rainbow-730081  
SD mt-730081

OK TO  
SIGN PLANT

Still need on side FG



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#120394  
Page: 13 of 13  
08/13/2004 02:42P  
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# DEVELOPER INQUIRY SHEET

*(To be completed prior to application submittal)*

The Office of Community and Neighborhood Coordination (OCNC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at 924-3914.

CONTACT NAME: Steve J. Salazar, PE

COMPANY NAME: WILSON & COMPANY

ADDRESS: 2600 The American Road. Suite 100

ZIP: 87124

PHONE: (505) 898-8021

FAX: (505) 898-8501

## **NEIGHBORHOOD ASSOCIATION INFORMATION**

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS SEE ATTACHED DESCRIPTION

LOCATED ON Rainbow Blvd. LEGAL DESCRIPTION

BETWEEN Paseo del Norte STREET NAME OR OTHER IDENTIFYING LANDMARK

Woodmont Ave. STREET NAME OR OTHER IDENTIFYING LANDMARK AND

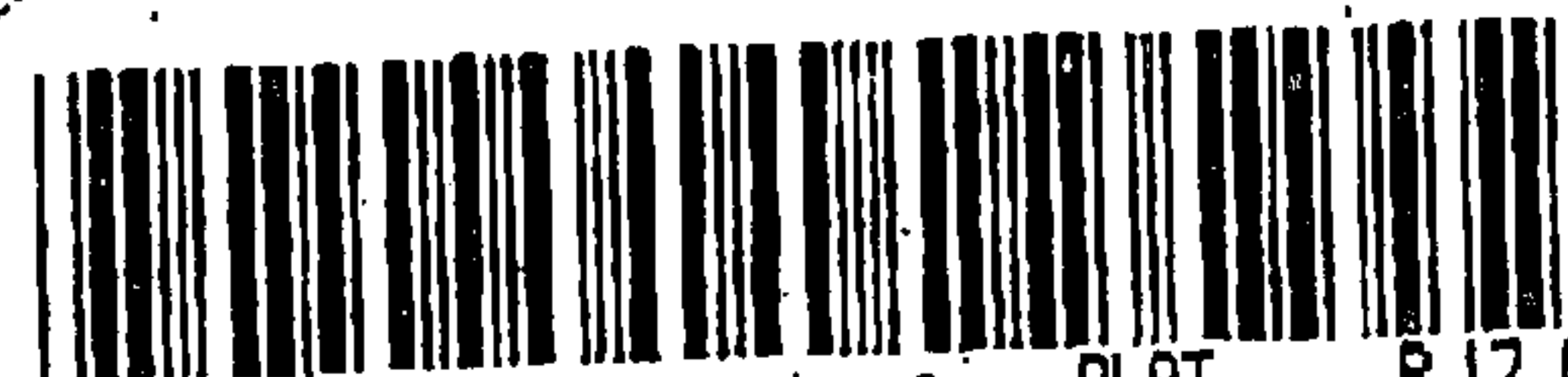
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (C-9-Z).  
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)

ant, projected Section  
lpaal Meridian, City of  
TRACT A, THE TRAILS  
d for record in the  
xico on December 15,  
acres more or less.

# PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1

BEING A REPLAT OF  
TRACT A, THE TRAILS  
WITHIN THE TOWN OF ALAMEDA GRANT  
PROJECTED SECTION 16,  
T. 11 N., R. 2 E., NMPM  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2004



Mary Herrera

Bern. Co.

PLAT

R 17.00

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Page: 1 of 3  
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Bk-2004C Pg-294

s and the vacated  
dedicate public  
y to serve the

nd in accordance with the  
thereof and said Owner(s)  
public rights-of-way shown  
ranty covenants and do  
s shown hereon including the  
es therein; and all public  
it use of gas, electrical power  
distribution lines, conduits, and  
hown or indicated, and  
in and maintenance, and the  
s) and/or Proprietor(s) do  
arrant that they hold among  
; land subdivided, and do  
deed.

APPLICATION NO. 04-01716  
Utility Approvals

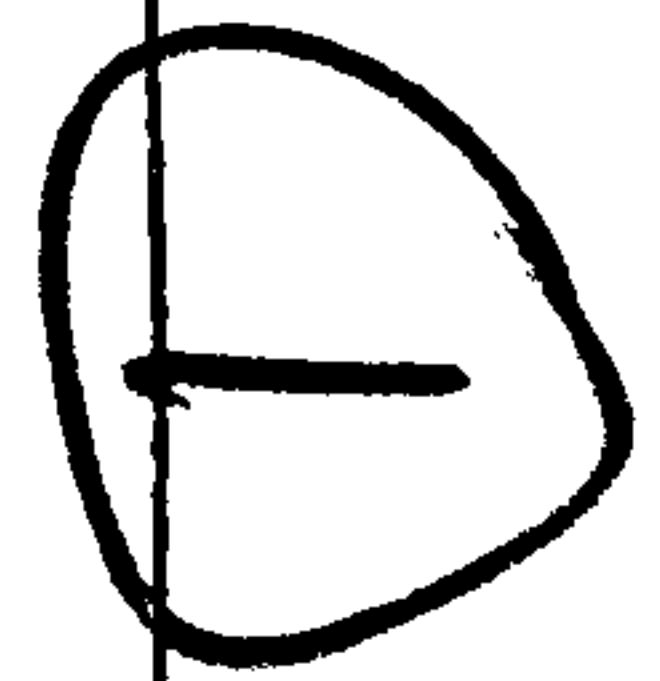
Leonard D. Mart  
PNM ELECTRIC SERVICES DIVISION  
8-27-04  
DATE

Leonard D. Mart  
PNM GAS SERVICES DIVISION  
8-27-04  
DATE

David R. Muller  
QWEST  
8-27-04  
DATE

Rita Ericks  
COMCAST  
8-27-04  
DATE

9-22-04



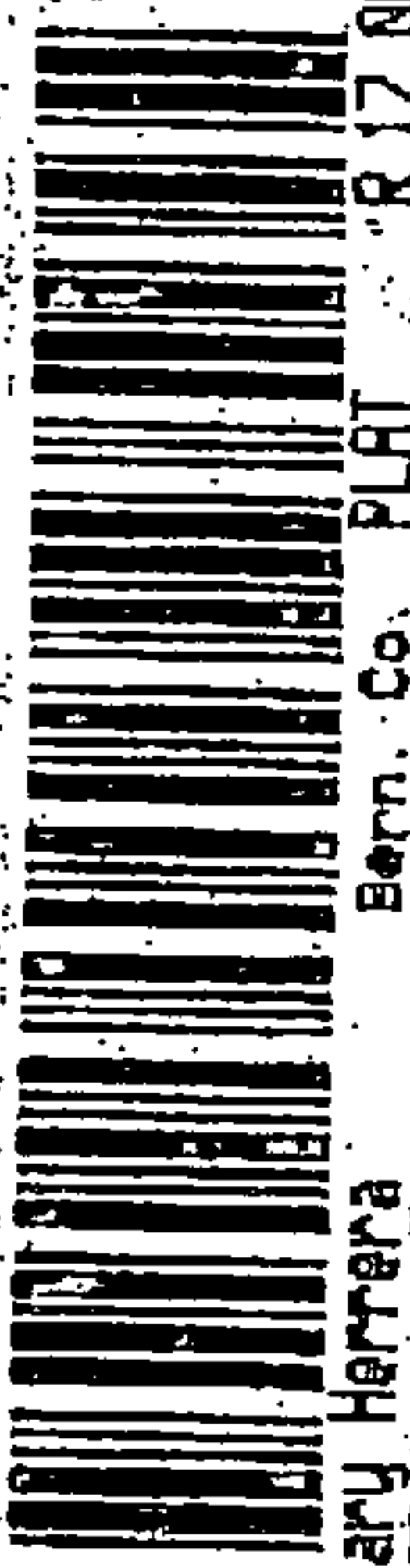
2

# PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2

BEING A REPLAT OF  
TRACT B, THE TRAILS  
WITHIN THE TOWN OF ALAMEDA GRANT  
PROJECTED SECTION 16,  
T. 11 N., R. 2 E., NMPM  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2004

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8147265  
Page: 1 of 3  
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BX-2004C Pg-295

any Herrera Bern. Co. PLAT R 17.00



Projected Section  
of Meridian, City of  
TRACT B, THE TRAILS  
for record in the  
on December 15,  
res more or less.

into residential lots,  
grant those  
and to vacate

in accordance with the  
hereof and said Owner(s)  
blic rights-of-way shown  
inty covenants and do  
shown hereon including the  
therein; and all public  
use of gas, electrical power,  
distribution lines, conduits, and  
own or indicated, and  
and maintenance, and the  
and/or Proprietor(s) do  
rrant that they hold among  
and subdivided, and do  
red.

~~APPROVALS~~  
UNIT APPROVALS  
APPROVAL NO. 04-01415

*Jeanette S. Marks*

PNM ELECTRIC SERVICES DIVISION

8-27-04

DATE

1.

8-27-04

DATE

*David R. Muller*

PNM GAS SERVICES DIVISION

QUEST

8-27-04

DATE

*Rita E. Sicks*

COMCAST

8-27-04

DATE

9-22-04

DATE

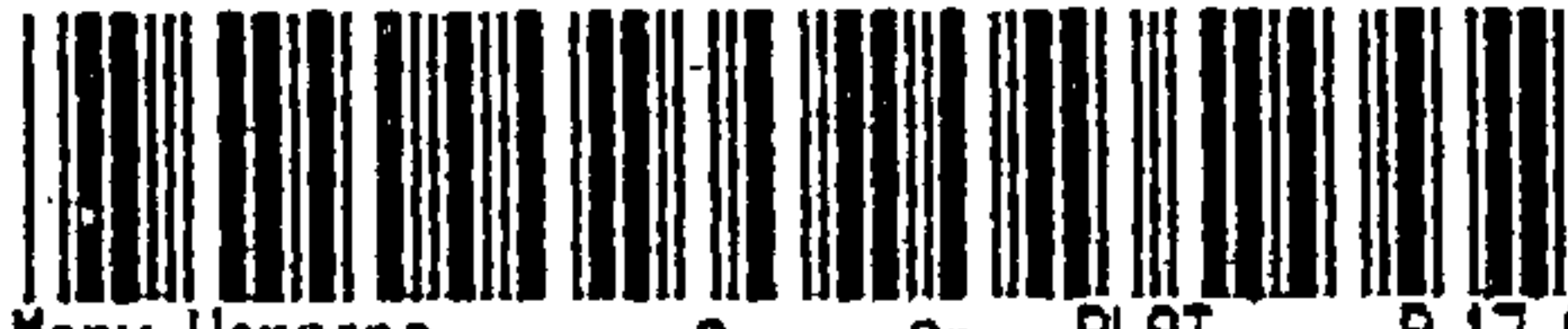
NEW MEXICO UTILITIES

City Approvals

*[Signature]*

ted Section 16, Township 11 North,  
Bernalillo County, New Mexico being  
on said plat filed for record in  
December 15, 2003 in Book 2003C,

PLAT FOR  
SANTA FE AT THE TRAILS  
WITHIN THE  
TOWN OF ALAMEDA GRANT  
PROJECTED SECTION 16  
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MAY, 2004



Mary Herrera

Bern. Co.

PLAT

R 17.00

2004136738

6158235

Page: 1 of 3

09/29/2004 09:09A

Bk-2004C Pg-309

PROJECT NUMBER: 1002962-1002929  
Application Number: 04-00719

PLAT APPROVAL

Utility Approvals:

Leah D. Muth 9-15-04 Date  
PNM Electric Services Division

Leah D. Muth 9-15-04 Date  
PNM Gas Services Division

Greg Smith 9-15-04 Date  
Qwest

Rita Suckser 9-15-04 Date  
Comcast

City Approvals:

John B. Hart 5-11-04 Date  
City Surveyor

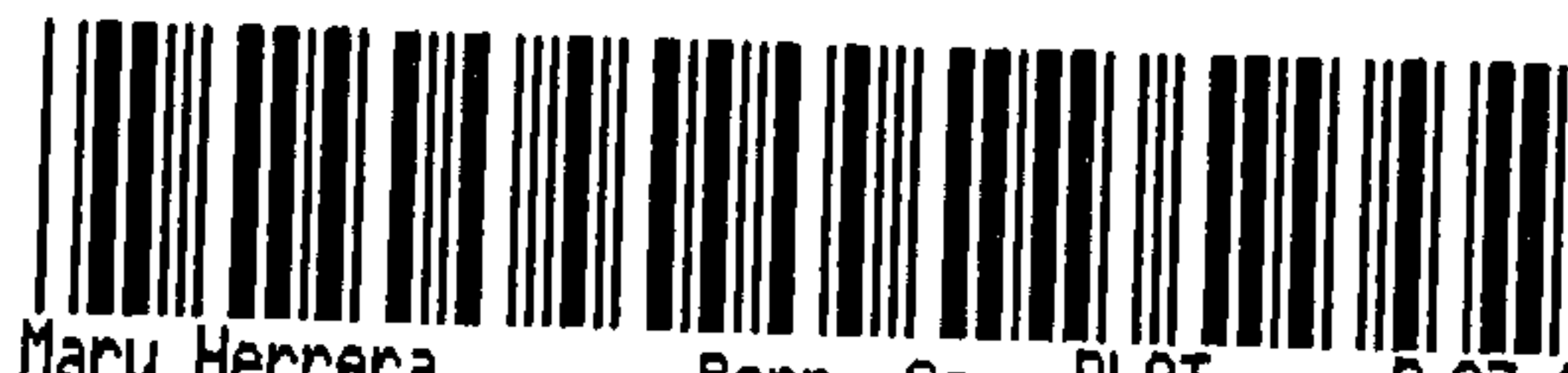
NA 9/15/04 Date  
Real Property Division

NA 9/15/04 Date  
Environmental Health Department

Roger A. Heen 9-15-04 Date  
Traffic Engineering, Transportation Division

Christina Sanderson 9-15-04 Date  
Utilities Development





Mary Herrera

Bern. Co. PLAT

R 27.00

2005034401  
6230448  
Page: 1 of 5  
03/11/2005 11:39A  
Bk-2005C Pg-96

4

**PLAT OF  
TAOS AT THE TRAILS**

(BEING A REPLAT OF TAOS AT THE TRAILS)

WITHIN

**THE TOWN OF ALAMEDA GRANT**

IN

**SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST**

**NEW MEXICO PRINCIPAL MERIDIAN**

**CITY OF ALBUQUERQUE**

**BERNALILLO COUNTY, NEW MEXICO**

FEBRUARY, 2005

Project No. 1002928

Application No. 05-00308

APPROVALS

[Signature] 3-2-05  
Traffic Engineer, City of Albuquerque  
Public Works Department Date

[Signature] 2-10-05  
City Surveyor, City of Albuquerque  
Public Works Department Date

[Signature] 3-2-05  
Utility Development Division, City of  
Albuquerque Public Works Department Date

Bradley L. Bingham 3/2/05  
Albuquerque Metropolitan Arroyo Flood  
Control Authority Date

Bradley L. Bingham 3/2/05



5

Mary Herrera Bern. Co. PLAT R 17.00 Bk-2004C Pg-317  
2004141261  
6154756  
Page: 1 of 3  
10/06/2004 03:07P

PLAT FOR  
THE RESERVE AT THE TRAILS  
SUBDIVISION

BEING A REPLAT OF  
TRACT F, THE TRAILS  
WITHIN THE TOWN OF ALAMEDA GRANT  
PROJECTED SECTION 16,  
T. 11 N., R. 2 E., NMPM  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2004



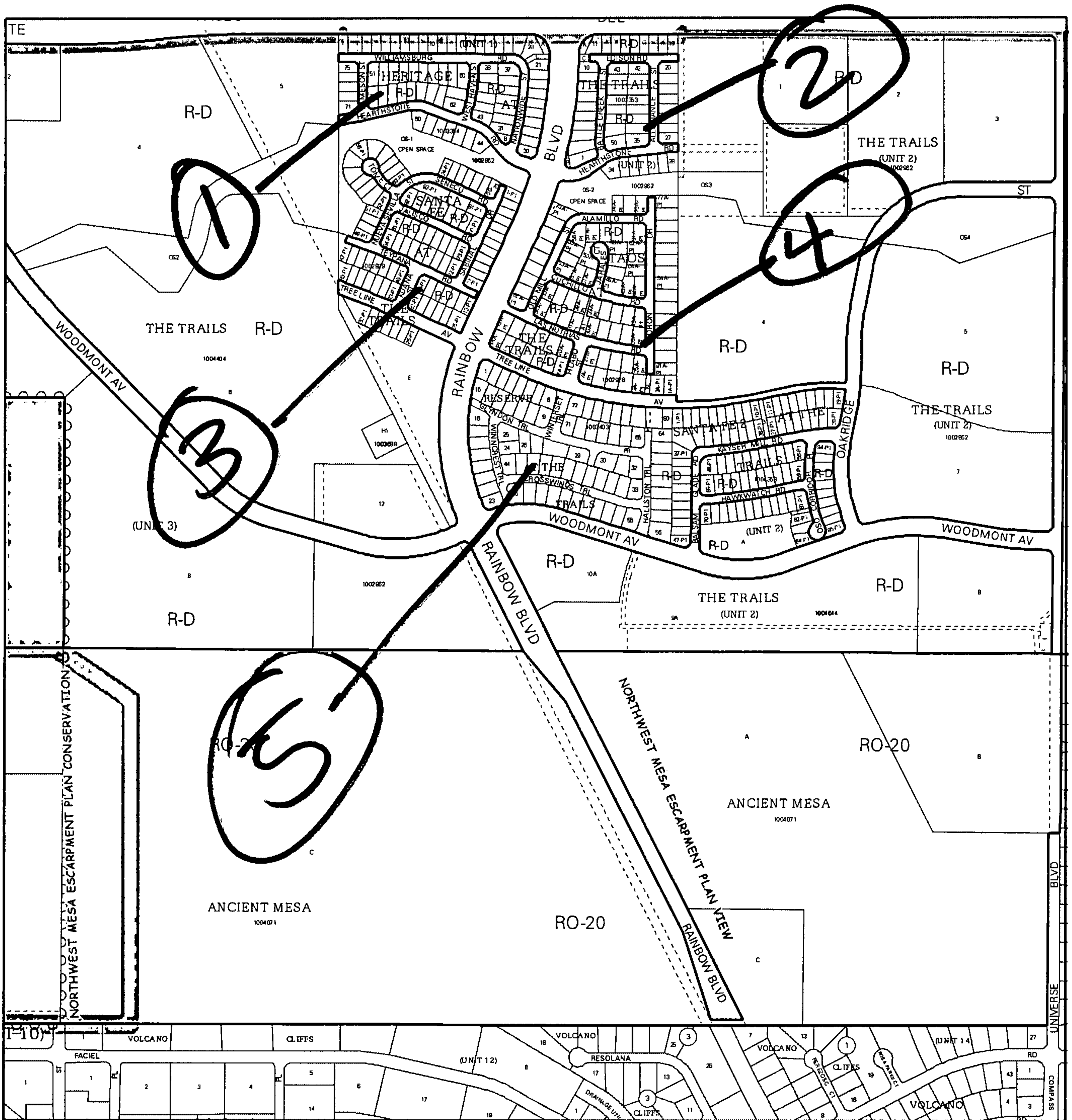
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND  
PAID ON UPG # See Plat  
PROPERTY OWNER OF RECORD  
Blair M. Barber 1000  
BERNALILLO COUNTY TREASURER'S OFFICE  
Danny Vigil Clerk

APPROVALS  
DRB PROJECT NO. 1003403  
APPLICATION NO. 04-DRB-01493  
Utility Approvals

Lead D. M. M. M.  
PNM ELECTRIC SERVICES DIVISION

9-16-04  
DATE

Alameda Grant, projected Section  
Mexico Principal Meridian, City of  
being all of TRACT F, THE TRAILS  
aid plat filed for record in the  
ty, New Mexico on December 15,  
ing 17.2070 acres more or less.



For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 6/21/2006

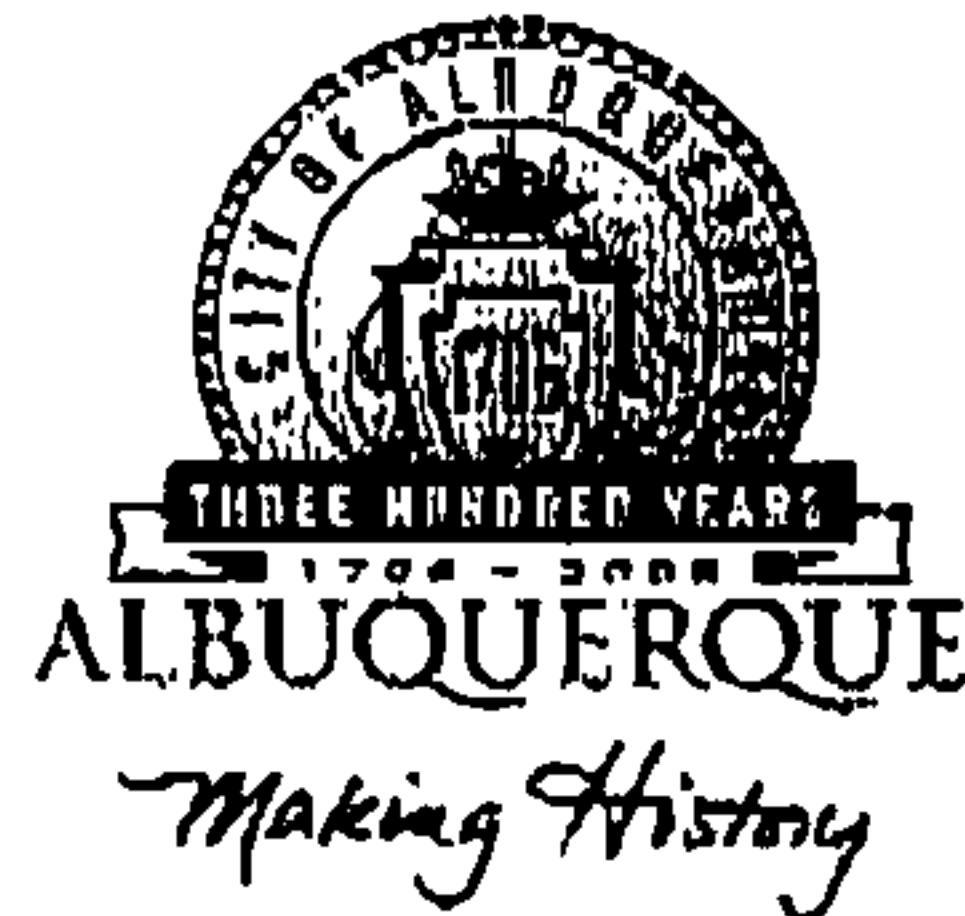
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-09-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

July 13, 2006

Steve J. Salazar, PE  
Wilson and Company  
4900 Lang Avenue NE/87109  
Phone: 348-4121/Fax: 348-4072

Dear Steve:

Thank you for your inquiry of July 13, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **HERITAGE AT THE TRAILS SUBDIVISION UNIT 1, Zone Map: C-9**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

**VENTANA RANCH N.A. (VTR) "R"**

**\*Laura Horton**

7224 Cascada Rd. NW/87114 898-8103 (h) 710-0646 (c)

Bruce Nyberg

6824 Brushfield Rd. NW/87114 890-6559 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

***Stephani Winklepleck***

*Stephani I. Winklepleck*

Neighborhood Program Coordinator

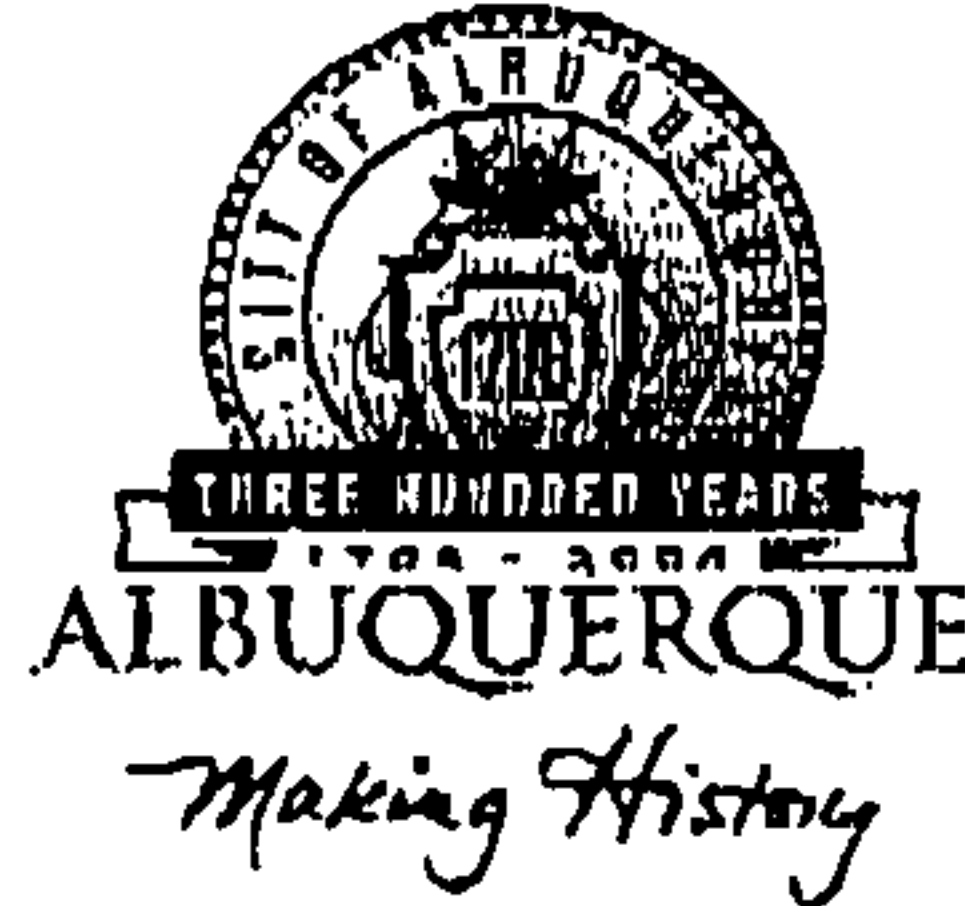
OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

**LETTERS MUST BE SENT TO BOTH**  
**CONTACTS OF EACH**  
**NEIGHBORHOOD ASSOCIATION.**

planningrnaform(10/08/05)

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.



*City of Albuquerque*

P.O. Box 1293, Albuquerque, NM 87103

July 13, 2006

Steve J. Salazar, PE  
Wilson and Company  
4900 Lang Avenue NE/87109  
Phone: 348-4121/Fax: 348-4072

Dear Steve:

Thank you for your inquiry of July 13, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **HERITAGE AT THE TRAILS SUBDIVISION UNIT 2, Zone Map: C-9**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

**VENTANA RANCH N.A. (VTR) "R"**

**\*Laura Horton**

7224 Cascada Rd. NW/87114 898-8103 (h) 710-0646 (c)

Bruce Nyberg

6824 Brushfield Rd. NW/87114 890-6559 (h)

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Sincerely,

***Stephani Winklepleck***

*Stephani I. Winklepleck*

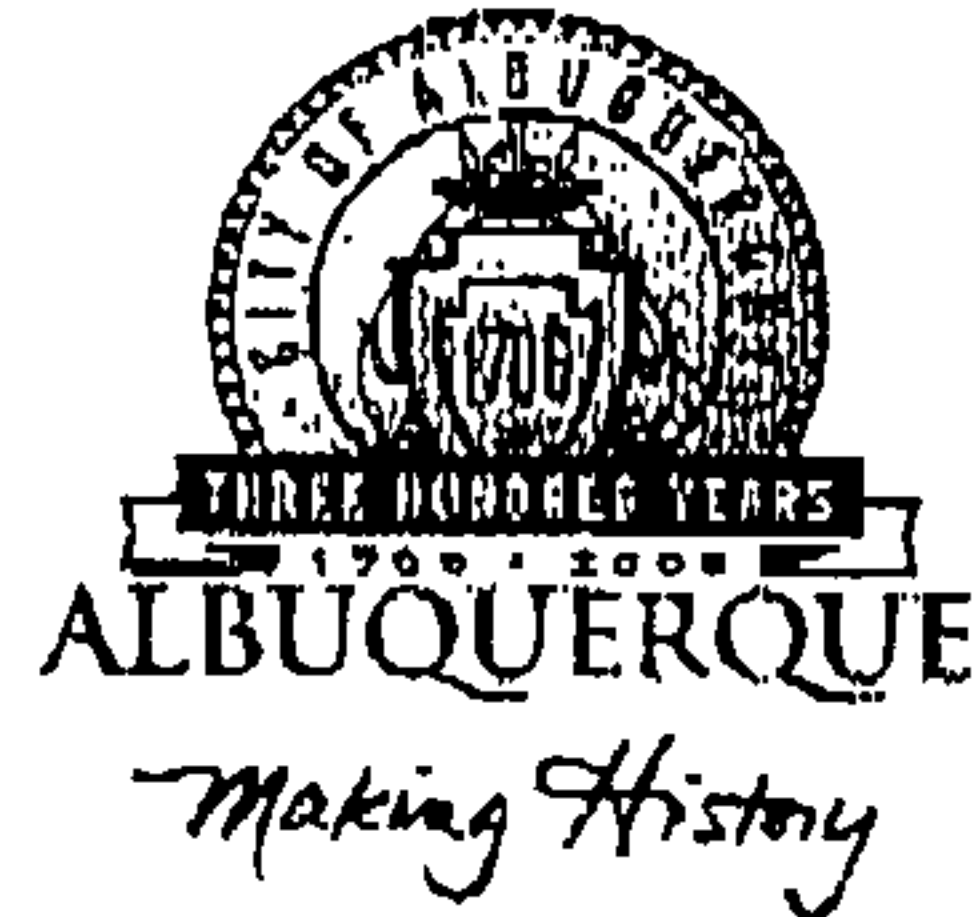
Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

**LETTERS MUST BE SENT TO BOTH  
CONTACTS OF EACH  
NEIGHBORHOOD ASSOCIATION.**

planningrnaform(10/08/05)



*City of Albuquerque*  
P.O. Box 1293, Albuquerque, NM 87103

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July 13, 2006

Planning Department  
Plaza Del Sol Building  
600 Second St. NW  
Second Floor (924-3860)

This letter will serve to notify you that on **July 13, 2006:**

**CONTACT NAME:** STEVE J. SALAZAR, PE  
**COMPANY OR AGENCY:** WILSON AND COMPANY  
2600 THE AMERICAN ROAD, SUITE 100  
RIO RANCHO, NM 87124  
PHONE: 505-898-8021/FAX: 898-8501

contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at **SANTA FE AT THE TRAILS** zone map **C-9**.

*Our records indicate that as of July 13, 2006, there were no Recognized Neighborhood Associations in this area.*

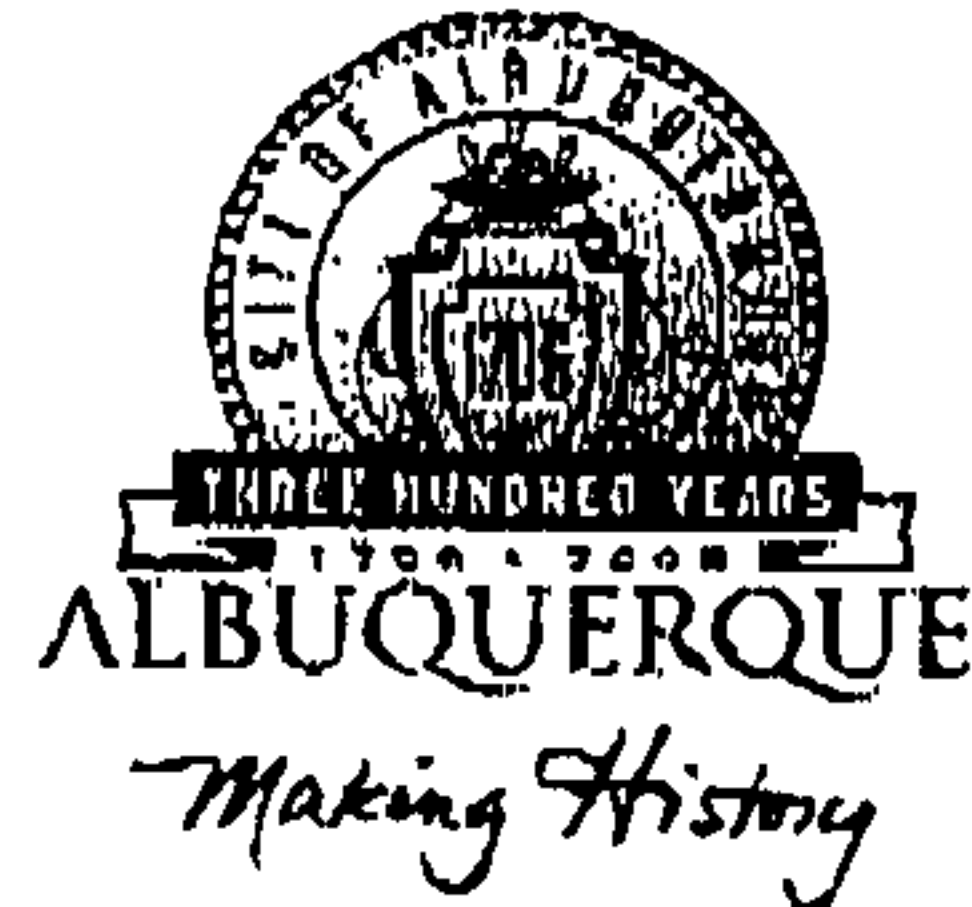
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Sincerely,

*Stephani Winklepleck*

Stephani Winklepleck  
Neighborhood Program Coordinator  
OFFICE OF NEIGHBORHOOD COORDINATION  
PLANNING DEPARTMENT

planningnrnaform(05/18/06)



*City of Albuquerque*  
P.O. Box 1293, Albuquerque, NM 87103

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Plaza Del Sol Building  
600 Second St. NW  
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**COMPANY OR AGENCY:** WILSON AND COMPANY  
2600 THE AMERICAN ROAD, SUITE 100  
RIO RANCHO, NM 87124  
PHONE: 505-898-8021/FAX: 898-8501

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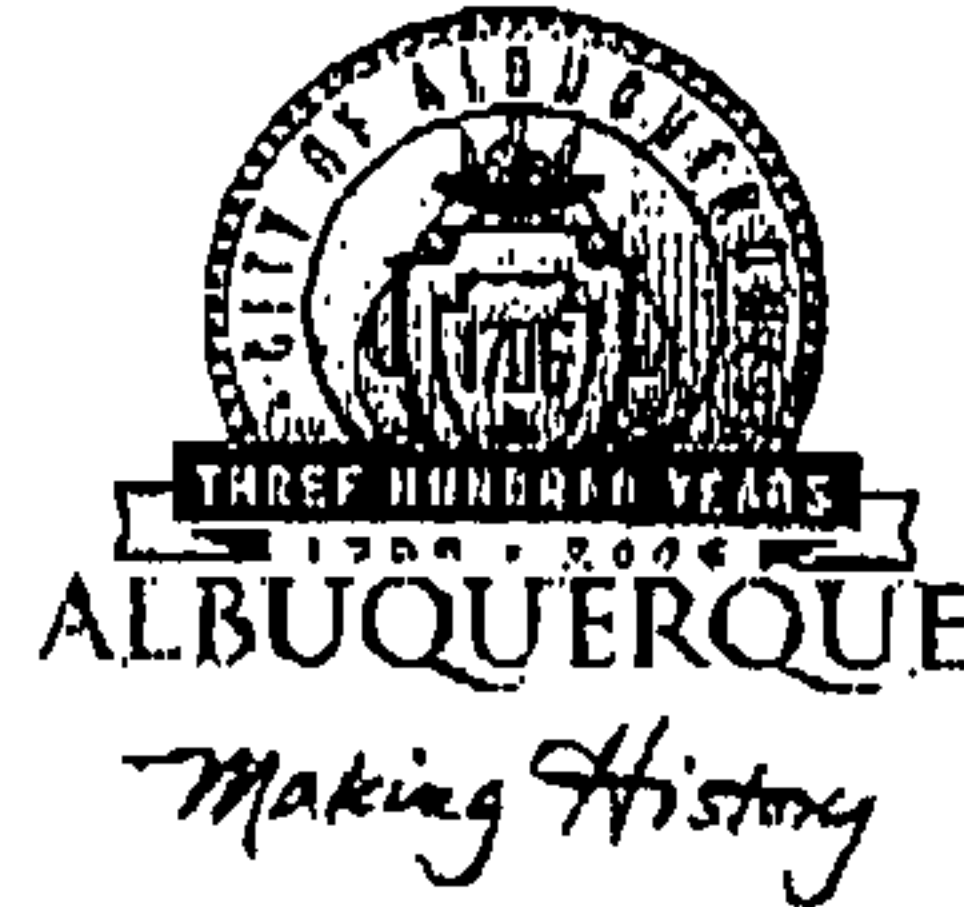
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Sincerely,

*Stephani Winklepleck*

Stephani Winklepleck  
Neighborhood Program Coordinator  
OFFICE OF NEIGHBORHOOD COORDINATION  
PLANNING DEPARTMENT

planningnrnaform(05/18/06)



*City of Albuquerque*  
P.O. Box 1293, Albuquerque, NM 87103

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Stephani Winklepleck  
Neighborhood Program Coordinator  
OFFICE OF NEIGHBORHOOD COORDINATION  
PLANNING DEPARTMENT

planningnrnaform(05/18/06)

**WILSON  
& COMPANY**

2600 American Rd. SE, Suite 100  
Rio Rancho, NM 87124  
505-898-8021  
505-898-8501 Fax

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Arlington  
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Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.64	

Sent To  
Ms. Laura Horton - Ventana Ranch N.A.  
Street, Apt. No.,  
or PO Box No. 7224 Cascada Rd NW  
City, State, ZIP+4  
Albuquerque NM 87114  
PS Form 3800, June 2002 See Reverse for Instructions

CERTIFIED MAIL

13 July 2006

Ms. Laura Horton  
Ventana Ranch Neighborhood Association  
7224 Cascada Road NW  
Albuquerque, NM 87114  
(505) 792-9227

Re: **Neighborhood Association Notification**  
Heritage Unit I, II, Santa Fe, Taos, and Reserve at The Trails (COA #730081, 730082, 730083, 738481, 738482, 738483; DRB# 1002928)  
Extension of Subdivision Improvements Agreement

Dear Ms. Horton:

This letter is to inform the Ventana Ranch NA that Wilson & Company, Inc., acting as agents for The Trails, LLC, is requesting an extension of subdivision improvements agreements for the construction of the drainage outfall for the Trails Subdivision. The construction of the Storm Drain outfall will be constructed once the Boca Negra Dam has been constructed, since the outfall final destination is at this dam.

Attached is a zone atlas map showing the location of this project for your reference.

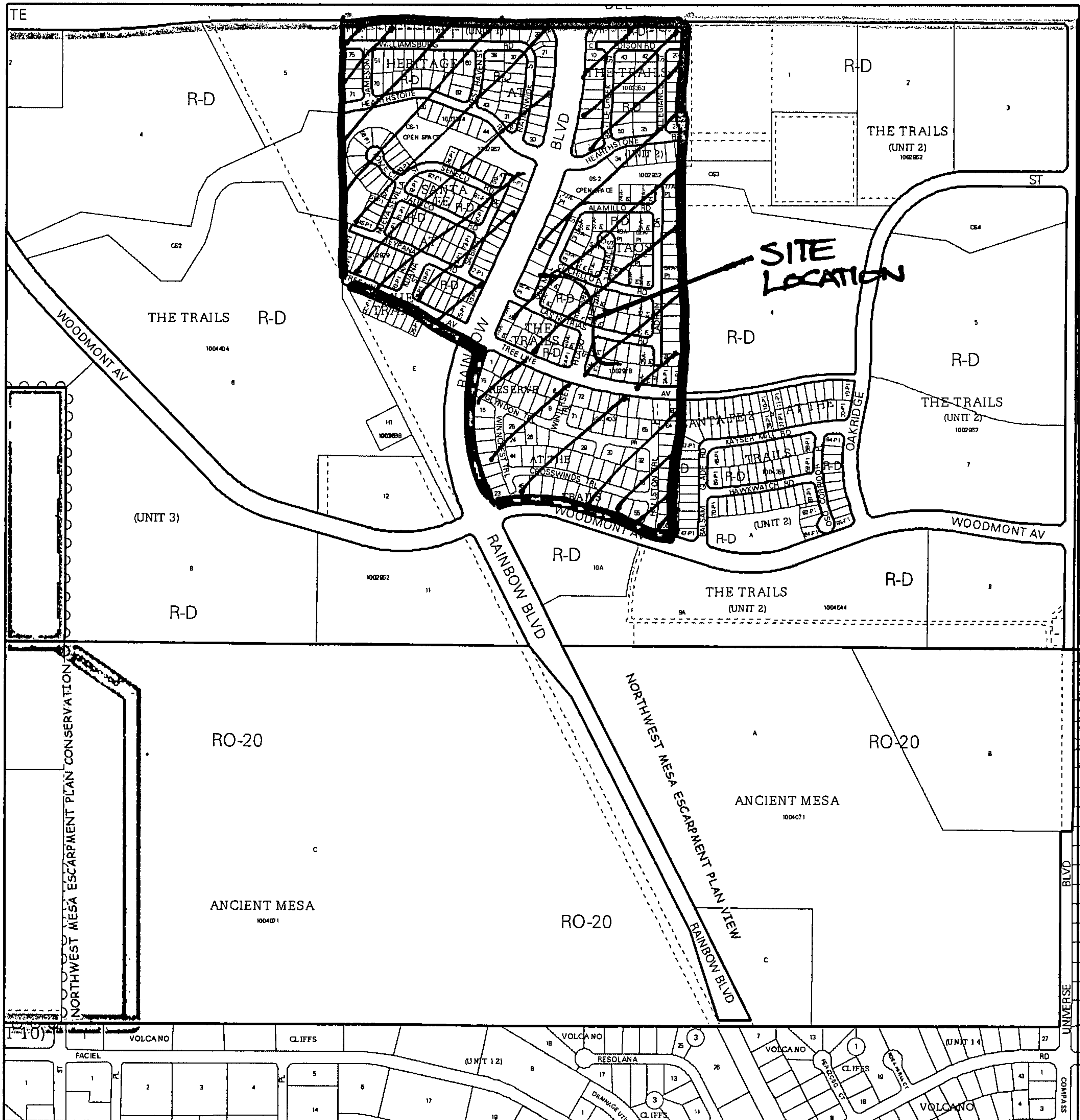
The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, August 9<sup>th</sup>, 2006 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 898-8021.

WILSON & COMPANY

  
Steve J. Salazar, P.E.  
Project Manager  
Email: [sjsalazar@wilsonco.com](mailto:sjsalazar@wilsonco.com)





For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS  
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits.

Zone Atlas Page:  
**C-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

Map amended through: 6/21/2006



**WILSON  
& COMPANY**

2020 6329 2239 0702

7006 0100 0007 2000 0070 9000

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ALBUQUERQUE NM 87114 **OFFICIAL USE**

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Return Receipt Fee (Endorsement Required)	1.85	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.64	

Postmark Here  
Clerk: KTGH19  
07/13/06

Sent To  
MR. Bruce Nyberg-Ventana Ranch NA,  
Street, Apt. No.,  
or PO Box No. 6824 Brushfield Rd NW  
City, State, ZIP+4  
Albuquerque NM 87114

PS Form 3800, June 2002 See Reverse for Instructions

CERTIFIED MAIL

13 July 2006

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 Ventana Ranch Neighborhood Association  
 6824 Brushfield Road NW  
 Albuquerque, NM 87114  
 (505) 792-9227

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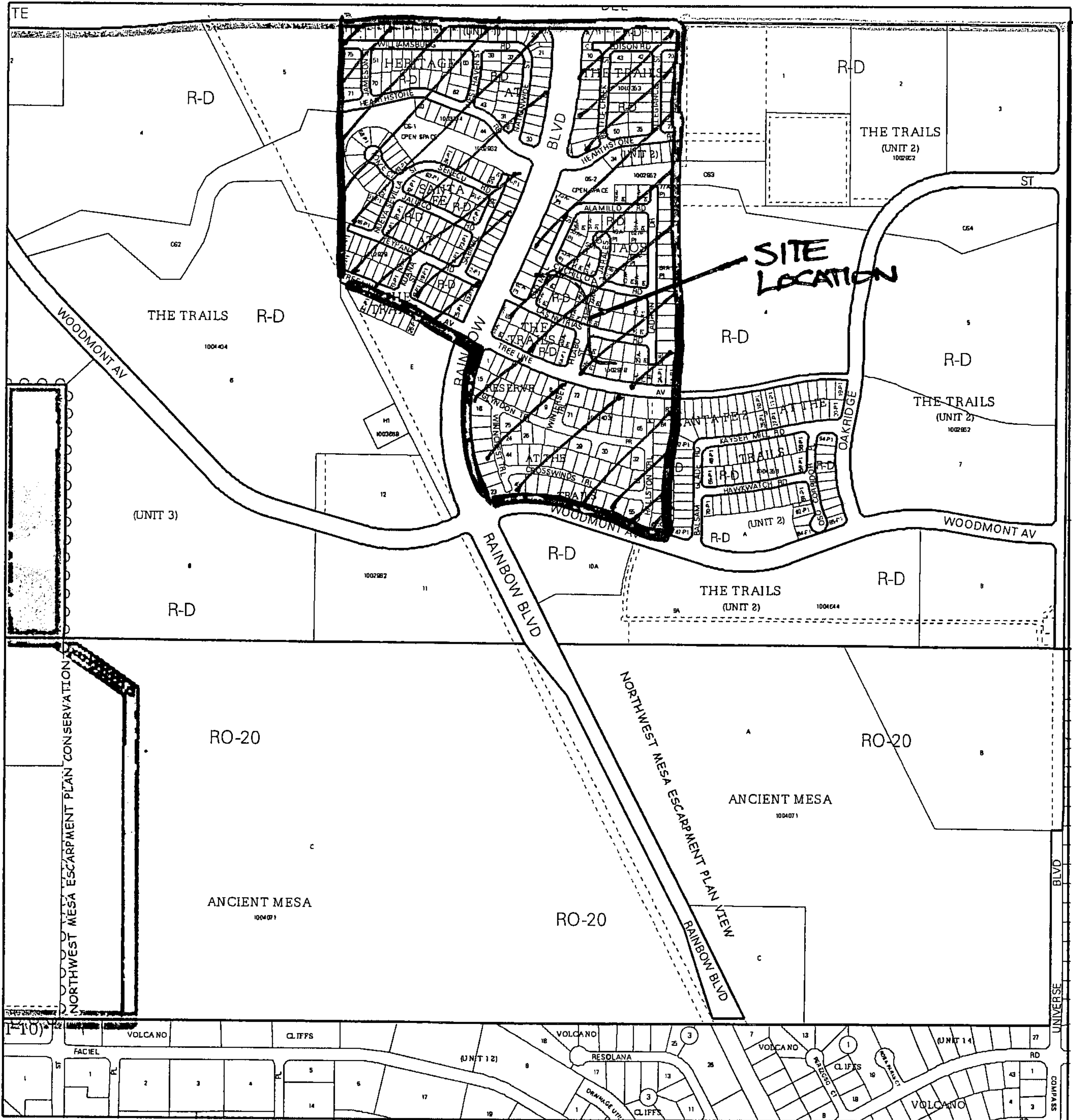
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WILSON & COMPANY

Steve J. Salazar, P.E.  
 Project Manager  
 Email: [sjsalazar@wilsonco.com](mailto:sjsalazar@wilsonco.com)




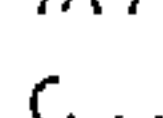

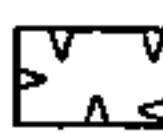





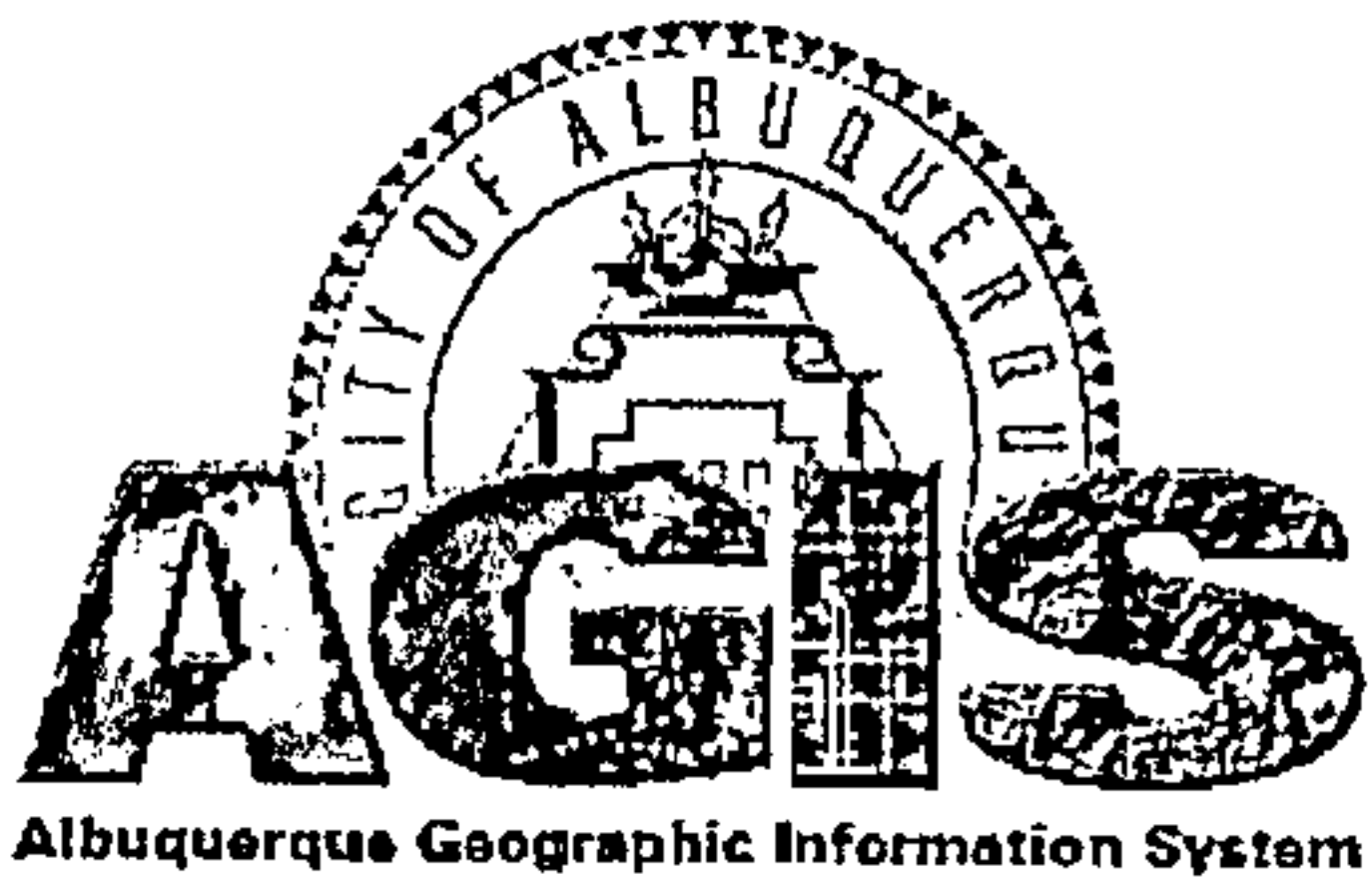
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Zone Atlas Page:

**C-09-Z**

Selected Symbols

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-  Airport Noise Contours
-  Wall Overlay Zone



Map amended through: 6/21/2006

