

#8
 Used
 per your
 copy

A. PROVIDE CONTROL JOINT @ 5'-0" O.C. AND EXPANSION JOINTS @ 20'-0" O.C. AT ALL NEW CONCRETE PAVING.

- KEYED NOTES:
- [1] CMU DUMPSTER ENCLOSURE WITH STUCCO FINISH.
 - [2] 4" THICK CONCRETE SIDEWALK WITH CONTROL JOISTS @ 5'-0" o.c. AND EXPANSION JOINTS @ 20'-0" o.c.
 - [3] 6" HIGH CONCRETE CURB.
 - [4] 9'x18' PARKING SPACES
 - [5] LANDSCAPING WITH DRIP IRRIGATION.
 - [6] HC RAMP.
 - [7] HC PAVEMENT SIGN, TYPICAL OF 4.
 - [8] HC AISLE STRIPING.
 - [9] HC PARKING SIGN, TYPICAL OF 4.
 - [10] 2 1/2" ASPHALTIC CONCRETE PAVING OVER 7" OF AGGREGATE BASE COURSE
 - [11] NEW CITY STANDARD CURB CUT.
 - [12] EXISTING FIRE HYDRANT.
 - [13] 6'-0" HIGH WROUGHT IRON SECURITY FENCE.
 - [14] AUTOMATED SLIDING WROUGHT IRON GATE.
 - [15] WROUGHT IRON PEDESTRIAN GATE, 3'W X 6'H.
 - [16] OFFICE OF INSPECTOR GENERAL DESIGNATED VISITOR PARKING
 - [17] SITE LIGHT WITH CONCRETE POLE BASE.
 - [18] MONUMENT SIGN.
 - [19] BIKE RACK.
 - [20] PAINT CURB RED WITH WITH LETTERING STATING "FIRE LANE NO PARKING."
 - [21] NEW CONCRETE CHANNEL.
 - [22] CONCRETE PATIO.
 - [23] "NO PARKING" AREA WITH STRIPING.
 - [24] EXISTING 10' WIDE PRIVATE DRAINAGE EASEMENT.
 - [25] NEW 5' WIDE CITY SIDEWALK.
 - [26] 5' X 5' CONCRETE PAD.
 - [27] ELECTRICAL TRANSFORMER ON CONCRETE PAD WITH BOLLARDS PER PNM SPECIFICATIONS.
 - [28] 8" CMU MONUMENT SIGN WITH 2-COAT STUCCO FINISH TO MATCH BUILDING OVER BUILDING PAPER AND WIRE MESH.
 - [29] 6" HIGH INDIVIDUAL CLEAR ANODIZED ALUMINUM LETTERS. PROVIDE LETTERING FOR EACH SIDE OF MONUMENT AS NOTED.
 - [30] 8" CMU DUMPSTER ENCLOSURE WITH 2-COAT STUCCO FINISH TO MATCH BUILDING OVER BUILDING PAPER AND WIRE MESH.
 - [31] 4" DIA. PIPE, PAINTED TO MATCH BUILDING.
 - [32] TUBE STEEL GATES WITH METAL PANEL INSERTS, PAINTED TO MATCH BUILDING.

LEGAL DESCRIPTION
 LOT 21, RICHFIELD PARK, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 14, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPLE MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

ADDRESS: 8909 ADAMS STREET NE
 TOTAL SITE AREA: 1.094 ACRES
 70NE MAP: C-17-Z

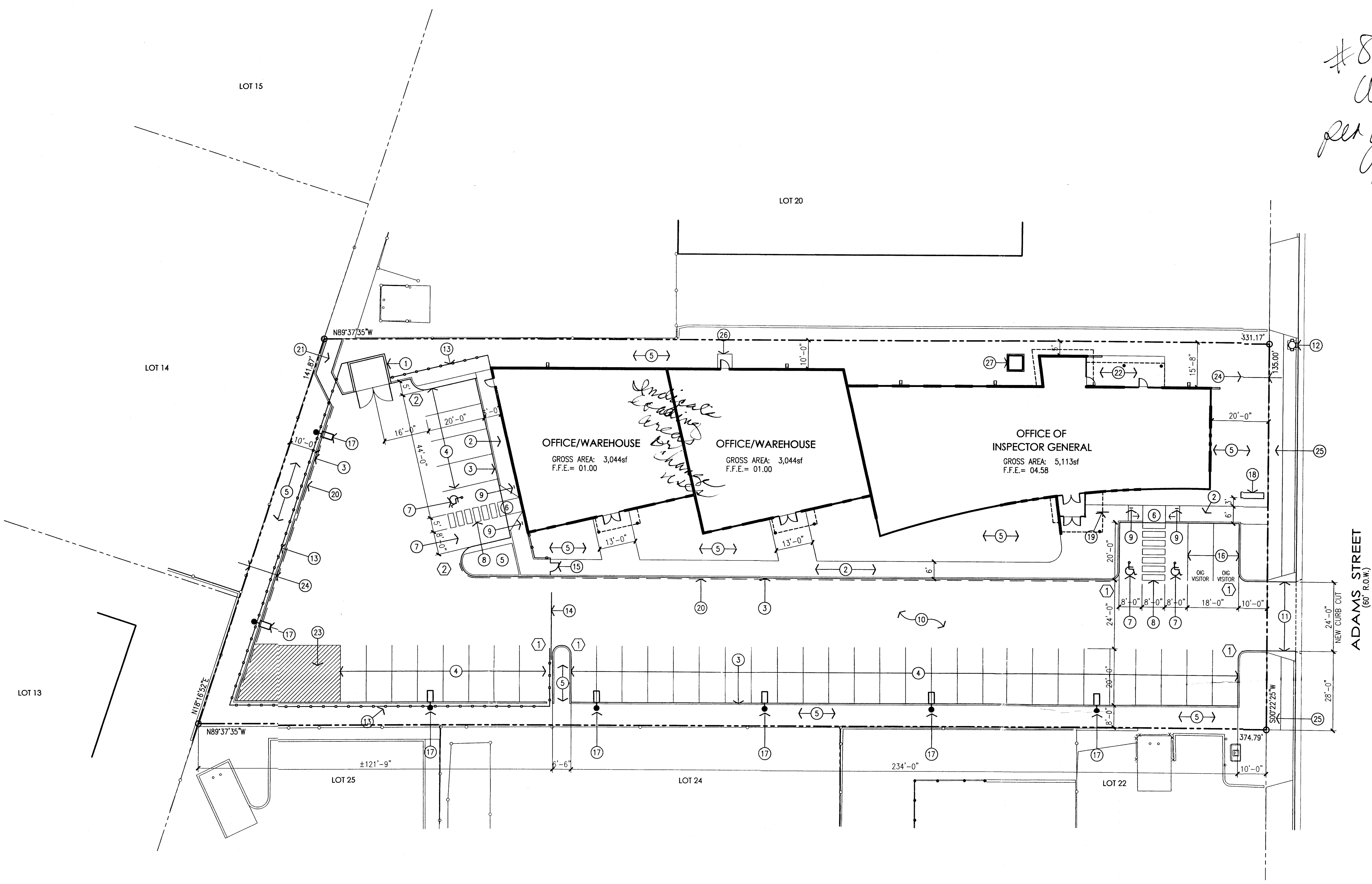
PARKING REQUIREMENTS
 OFFICE OF INSPECTOR GENERAL:
 TOTAL LEASABLE AREA: 3,379/ 200 = 17
 OFFICE WAREHOUSE (EACH)
 ASSUME 1,200sf OFFICE: 1,200/ 200 = 6
 ASSUME 1,844sf WAREHOUSE: 1,844/ 2,000 = 1

TOTAL SPACES REQUIRED: 31 SPACES
 TOTAL SPACES PROVIDED: 44 SPACES INCLUDING 4 HC ACCESSIBLE SPACES

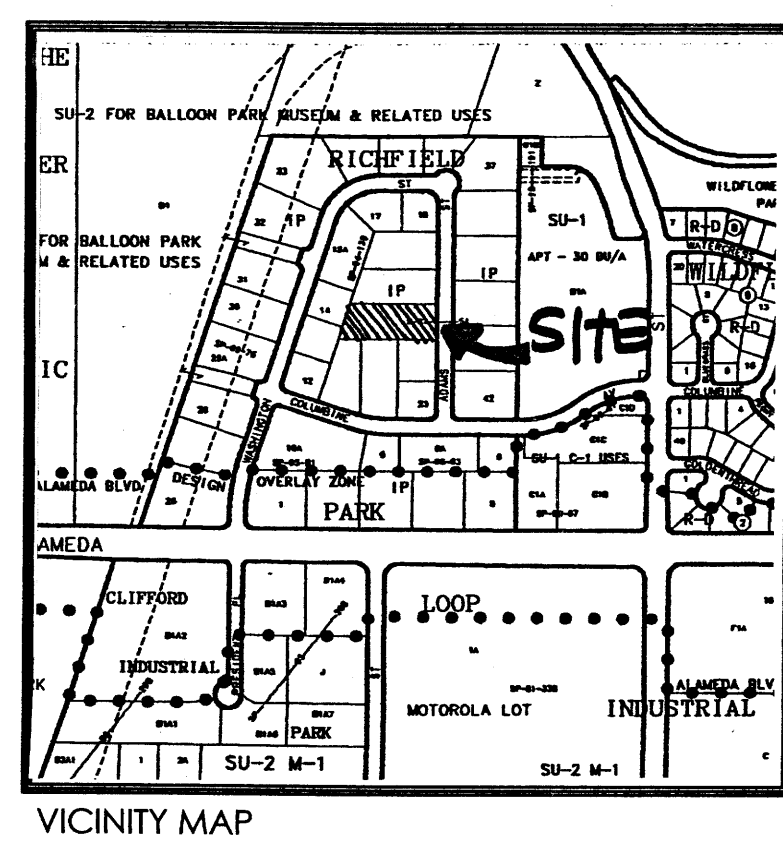
SITE LIGHTING NOTES
 THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
 THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20 FEET.

RADIUS INFORMATION
 (1) RADIUS = 3'-0"
 (2) RADIUS = 5'-0"

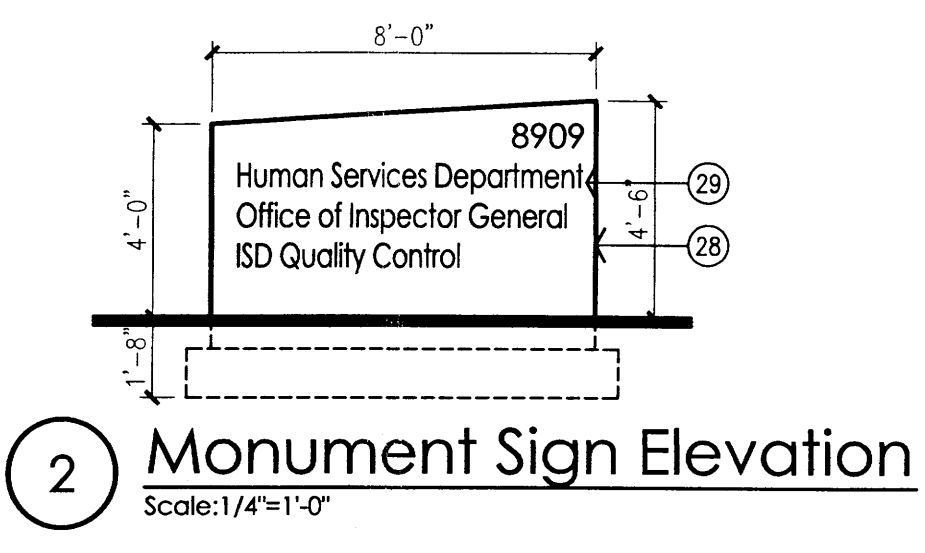
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 Submission
 9/22/03



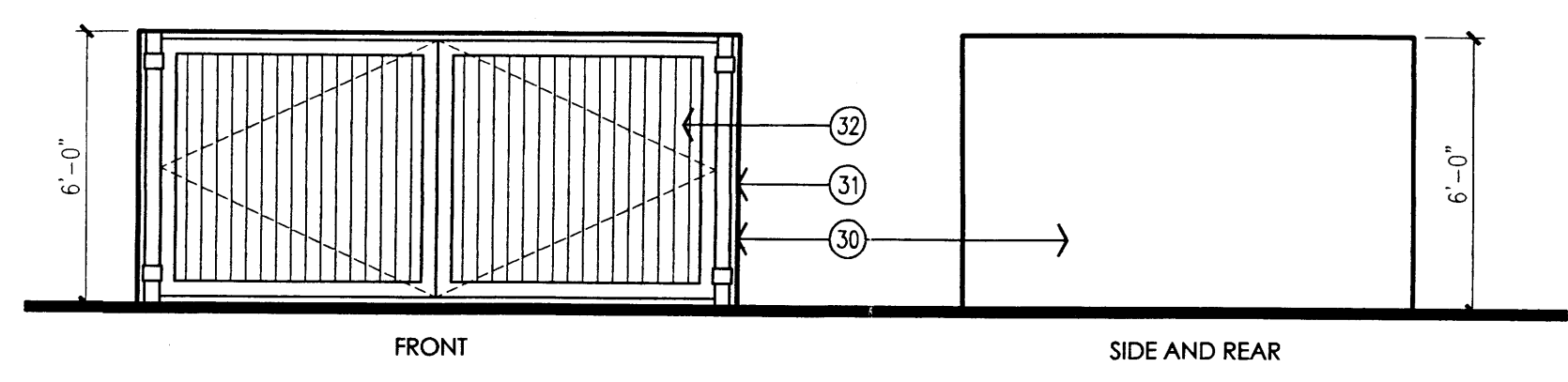
1 Site Plan
 Scale: 1"=20'-0"



VICINITY MAP



2 Monument Sign Elevation
 Scale: 1/4"=1'-0"



3 Dumpster Enclosure Elevation
 Scale: 1/4"=1'-0"

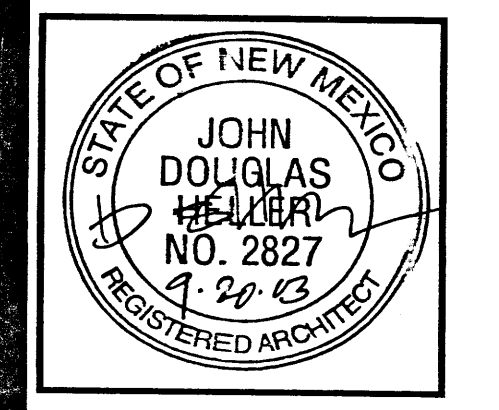
PROJECT NUMBER: 1002964
 Application Number: 03ORB-01548

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

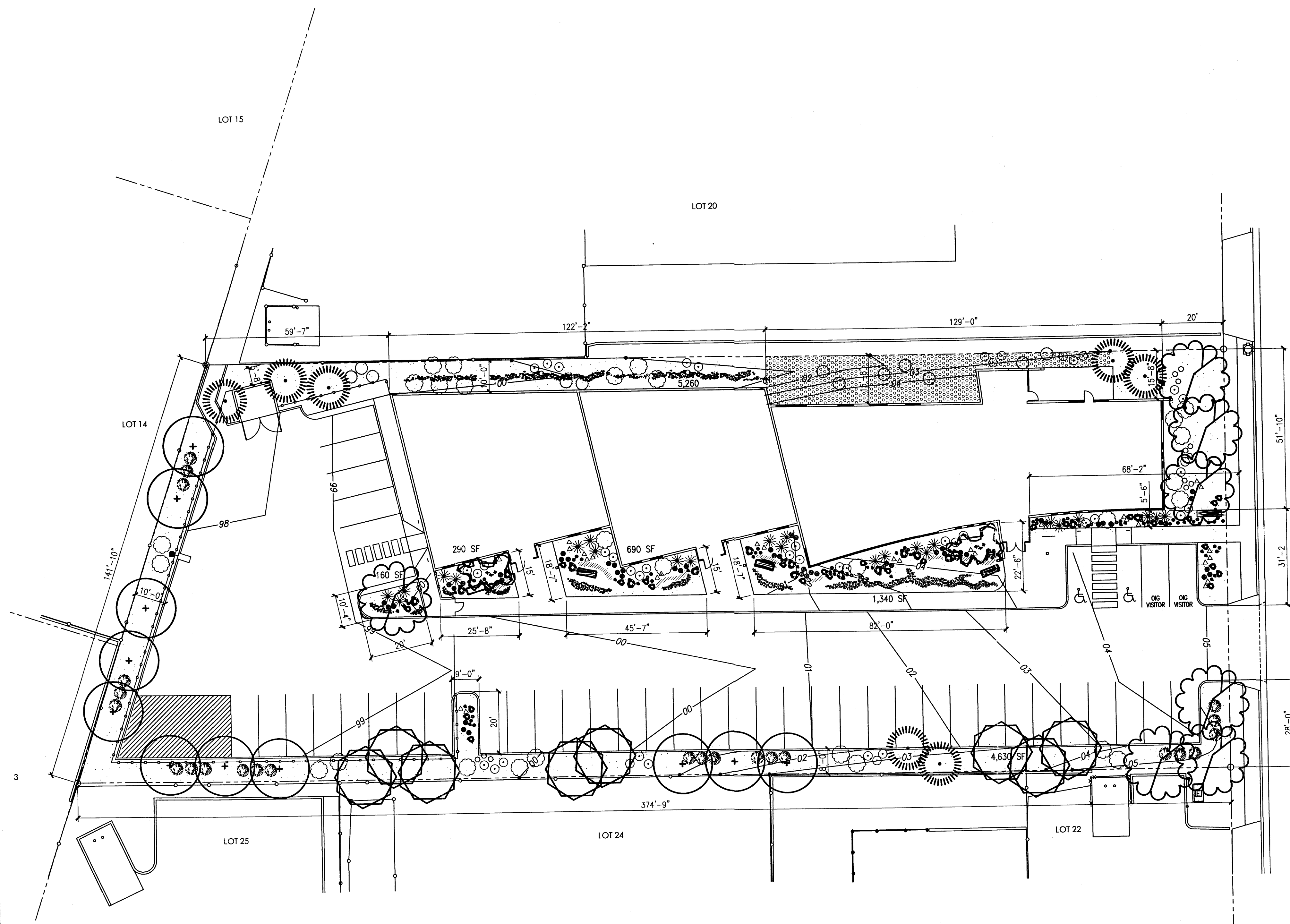
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date	
rev	1 2 3 4

MH
 Mullen Heller
 Architecture P.C.
 1104 Hermosa Drive SE
 Albuquerque 87108
 505 268 4144 [p]
 505 268 4244 [f]



job number	03-12
drawn by	JDH/CV
project manager	JDH
date	09/22/03

project title
 Office of Inspector General
 8909 Adams Street NE
 Albuquerque, NM
 sheet title
 Site Plan for Building Permit



LANDSCAPE LEGEND						
SIZE	COMMON NAME	QUANTITY	APPROX. HEIGHT	AVE. SPREAD	WATER USE	
2 - 2 1/2" GAL	HONEYLOCUST	11	80'	80'	M	
6 - 0'	AUSTRIAN PINE	7	35'	25'	M	
5'	MULTI-TRUNK BIRCH	2	25'	20'	M	
15 GAL	DESERT WILLOW	8	20'	25'	L	
15 GAL	CHINESE NISTACHE	7	60'	60'	M	
5 GAL	RAPHIOLEPIS	24	3'	4'	M	
5 GAL	CRIMSON PIGMY BERBERY	30	1'	2'	M	
5 GAL	DWARF FOUNTAIN GRASS	55	12"	12"	M	
5 GAL	CHERRY SAGE	9	2'	3'	M	
5 GAL	BLUE MIST	44	3'	3'	M	
5 GAL	DWARF CHINMISA	20	4'	4'	L	
5 GAL	APACHE PLUME	12	5'	5'	L	
5 GAL	YUCCA	30	36"	36"	M	
1 GAL	MOONSHINE YARROW, ARTHEMISIA	62	10"	10"	M	
1 GAL	PURPLE EXPLANT 10" AFFART		4"	10"	L	
	SANTA FE BROWN CRUSHER					
	4-0" SANTA ANA TAN					
	2-4" SANTA ANA TAN COBBLE					
	2-4" NATIVE BOULDERS					
	STONE BEACH					

LANDSCAPE NOTES

LANDSCAPE MAINTENANCE AND IRRIGATION SYSTEM MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.

ALL LANDSCAPING SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER. BUBBLERS TO TREES AND (2) DRIP EMITTERS PER SHRUB. POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.

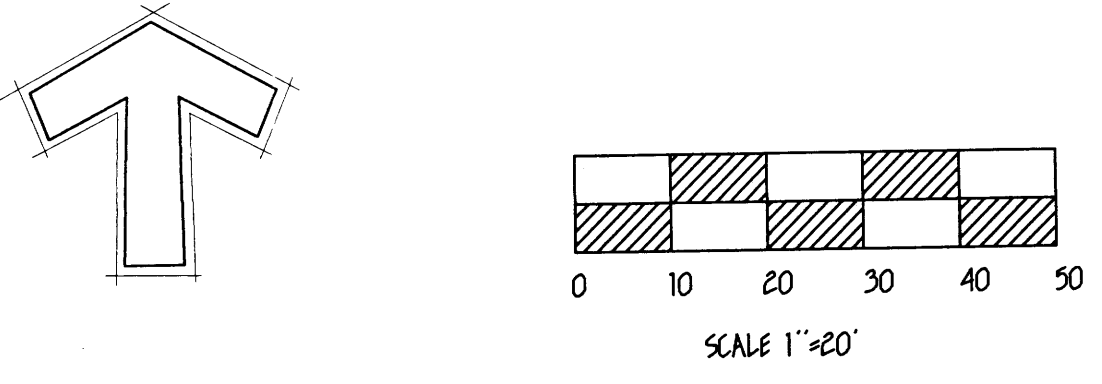
IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE, WATER CONSERVATION AND WASTE WATER ORDINANCE.

ALL LANDSCAPE BEDS SHALL BE PLANTED SO TO ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

LANDSCAPE CALCULATIONS

Total Site Area	47,584 square feet
Total Building Area	11,755 square feet
Net Lot Area	35,829 square feet
Landscape Requirement	15%
Landscape Required	5,375 square feet
Landscape Provided	12,370 square feet



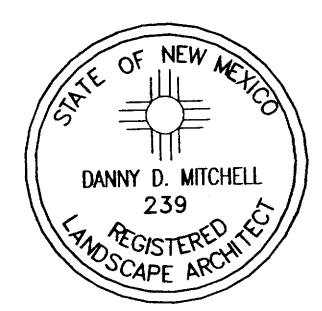
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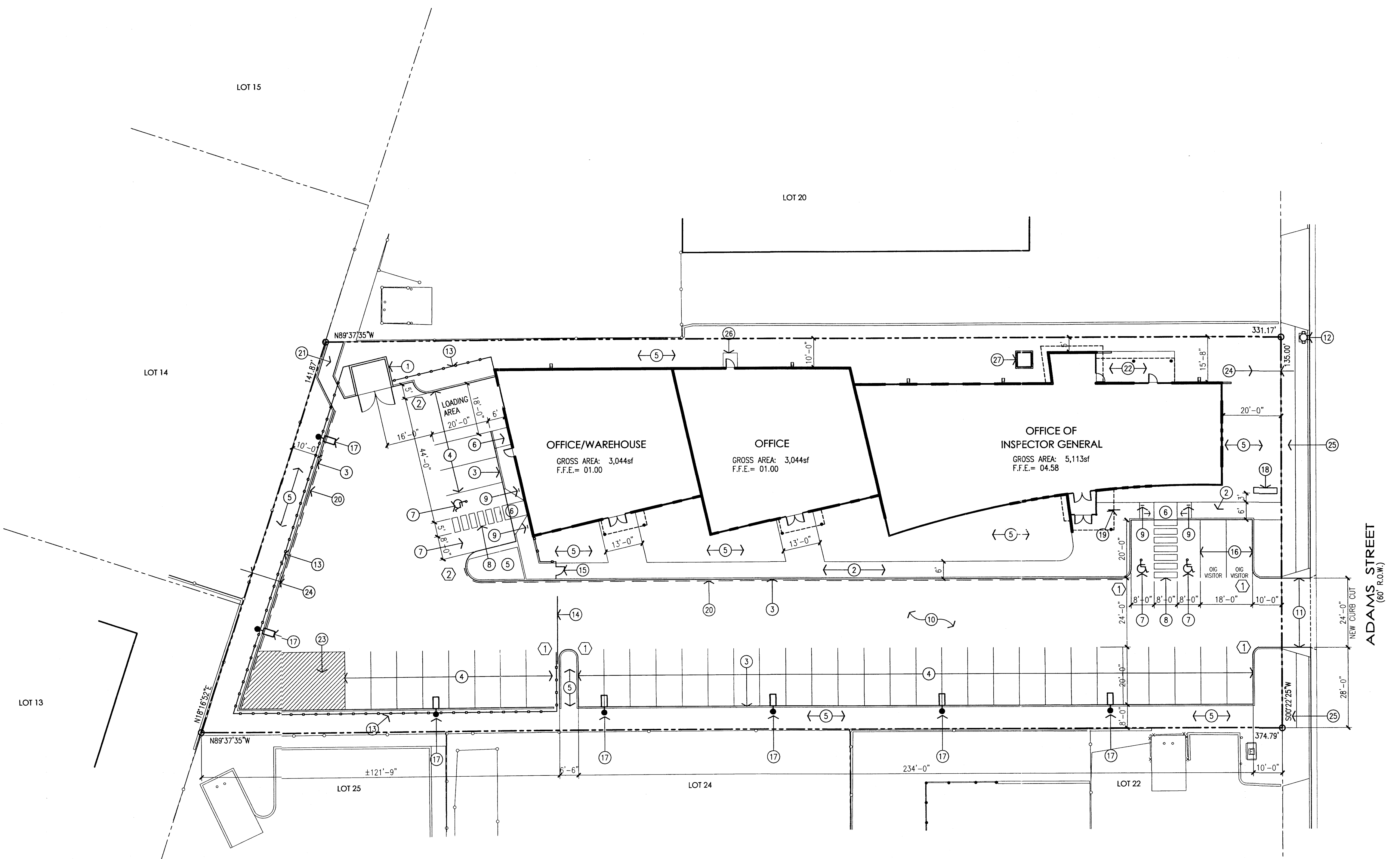
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505 268 4244 [f]

job number 03-12
drawn by SRV/DDM
project manager JDH
date 08/24/03

project title
Office of Inspector General
8809 Adams Street NE
Albuquerque, NM
sheet title
Landscape Plan

Mitchell Associates, LLC
3200 CARLISLE BLVD. NE STE 219
ALBUQUERQUE, NM 87110
(505) 830-6091 LOSW?TUNTER.NET

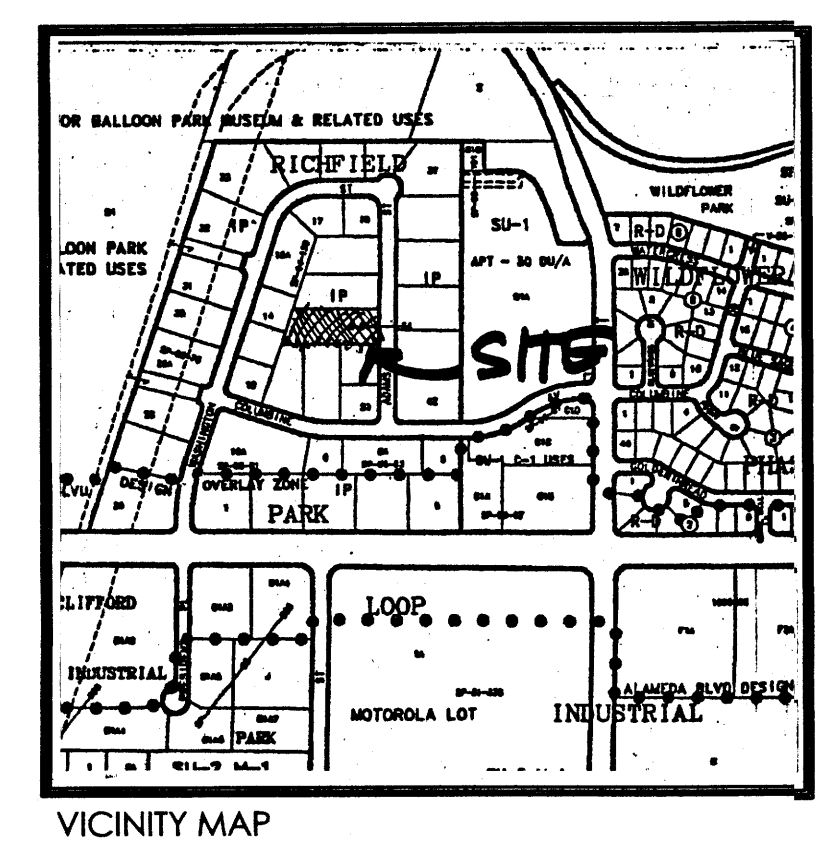
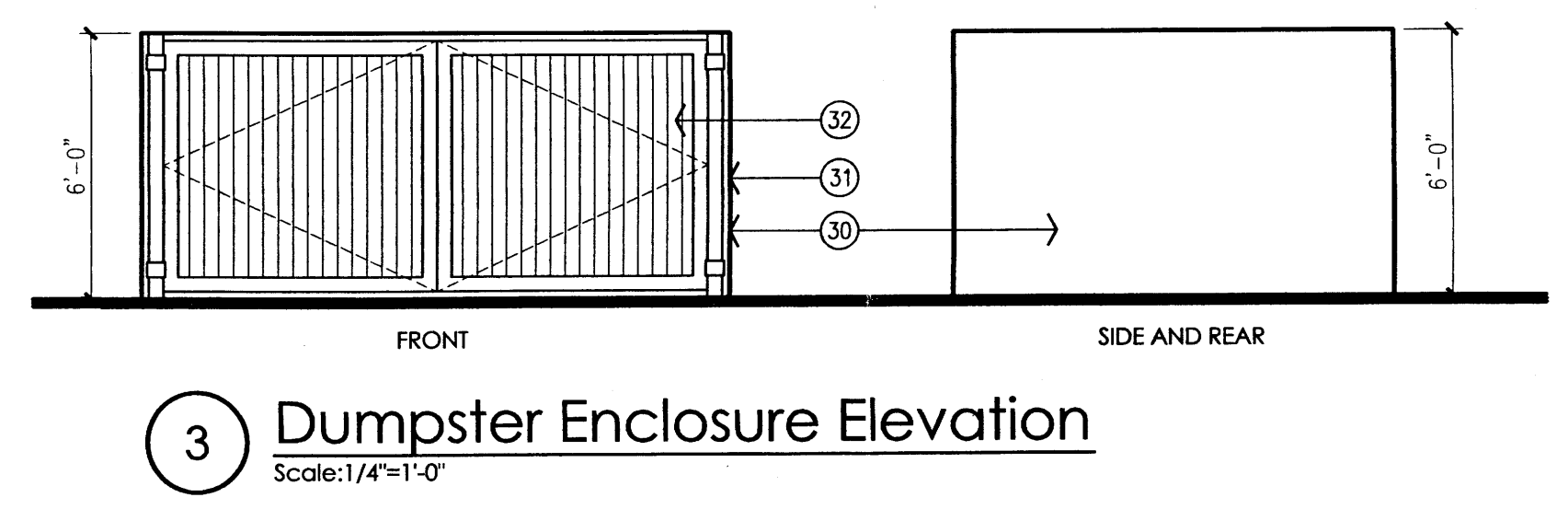
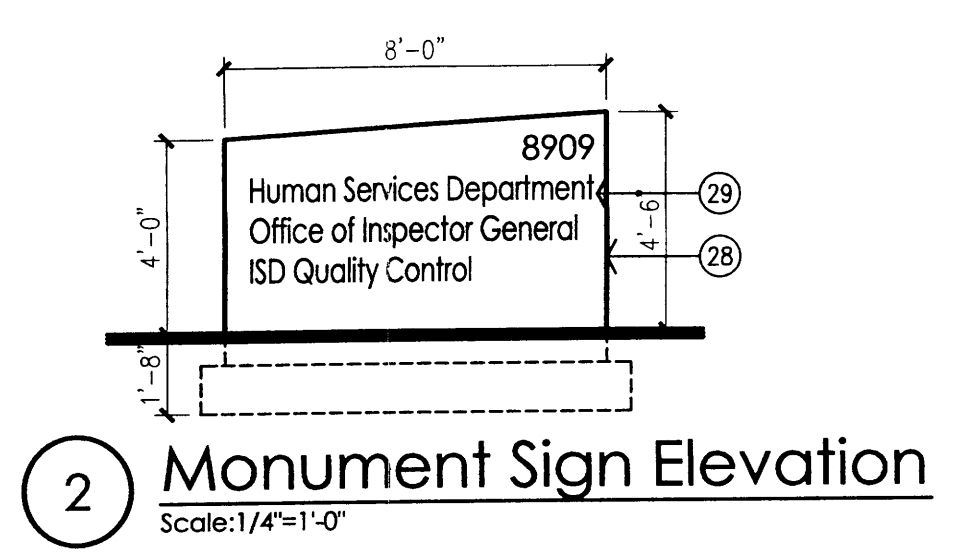




- A. PROVIDE CONTROL JOINT @ 5'-0" O.C. AND EXPANSION JOINTS @ 20'-0" O.C. AT ALL NEW CONCRETE PAVING.
- Sherrin*
for Item #9
10/1/03 URB MING
- KEYED NOTES:
- CMU DUMPSTER ENCLOSURE WITH STUCCO FINISH.
 - 4" THICK CONCRETE SIDEWALK WITH CONTROL JOISTS @ 5'-0" o.c. AND EXPANSION JOINTS @ 20'-0" o.c.
 - 6" HIGH CONCRETE CURB.
 - 9'x18' PARKING SPACES.
 - LANDSCAPING WITH DRIP IRRIGATION.
 - HC RAMP.
 - HC PAVEMENT SIGN, TYPICAL OF 4.
 - HC AISLE STRIPING.
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 - 2 1/2" ASPHALTIC CONCRETE PAVING OVER 7" OF AGGREGATE BASE COURSE.
 - NEW CITY STANDARD CURB CUT.
 - EXISTING FIRE HYDRANT.
 - 6'-0" HIGH WROUGHT IRON SECURITY FENCE.
 - AUTOMATED SLIDING WROUGHT IRON GATE.
 - WROUGHT IRON PEDESTRIAN GATE, 3'W X 6'H.
 - OFFICE OF INSPECTOR GENERAL DESIGNATED VISITOR PARKING.
 - SITE LIGHT WITH CONCRETE POLE BASE.
 - MONUMENT SIGN.
 - BIKE RACK.
 - PAINT CURB RED WITH WITH LETTERING STATING "FIRE LANE NO PARKING."
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- LEGAL DESCRIPTION
 LOT 21, RICHFIELD PARK, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 14, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPLE MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- ADDRESS: 8909 ADAMS STREET NE
- TOTAL SITE AREA: 1.094 ACRES
- ZONE MAP: C-17-Z
- PARKING REQUIREMENTS
 OFFICE OF INSPECTOR GENERAL:
 TOTAL LEASABLE AREA: 3,379/ 200 = 17
- OFFICE
 TOTAL LEASABLE AREA: 3,000/ 200 = 15
- OFFICE/WAREHOUSE
 ASSUME 1,200sf OFFICE: 1,200/ 200 = 6
 ASSUME 1,844sf WAREHOUSE: 1,844/ 2,000 = 1
- TOTAL SPACES REQUIRED: 39 SPACES
 TOTAL SPACES PROVIDED: 42 SPACES INCLUDING 4 HC ACCESSIBLE SPACES
- SITE LIGHTING NOTES
 THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
- THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20 FEET.
- RADIUS INFORMATION
 (1) RADIUS = 3'-0"
 (2) RADIUS = 5'-0"

1 Site Plan
 Scale: 1"=20'-0"



PROJECT NUMBER: 1022964

Application Number: _____

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

revision
 by
 date
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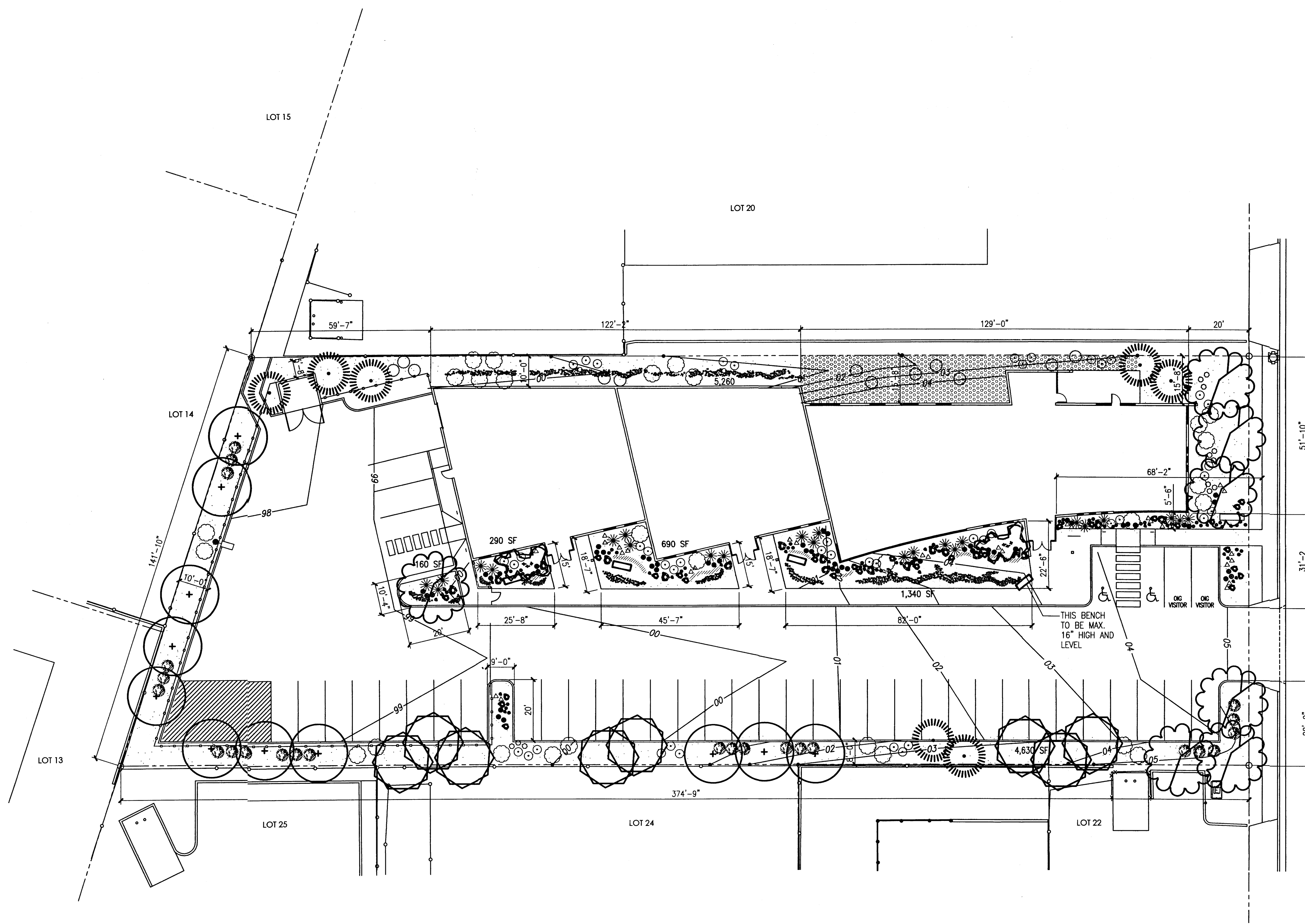
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job number 03-12
 drawn by JBY/CLV
 project manager JDH
 title 10/1/03

project title Office of Inspector General
 8909 Adams Street NE
 Albuquerque, NM
 sheet title Site Development Plan for Building Permit

sheet-
 A001



LANDSCAPE LEGEND					
SIZE	COMMON NAME	QUANTITY	APPROX. HEIGHT	AVE. SPREAD	WATER USE
2 - 2 1/2" GAL	MONEYCUST	11	80'	80'	M
6 - 0"	AUSTRIAN PINE	7	35'	25'	H
5'	MULTI-TRUNK BIRCH	2	25'	20'	M
15 GAL	DESERT WILLOW	8	20'	25'	L
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1 GAL	PURPLE ICEPLANT 10" APART	10	4"	10"	L
SANTA FE BROWN CRUSHER 4-0" SANTA ANA TAN 2-4" SANTA ANA TAN COBBLE 2-4" NATIVE BOLLERS STONE BENCH					

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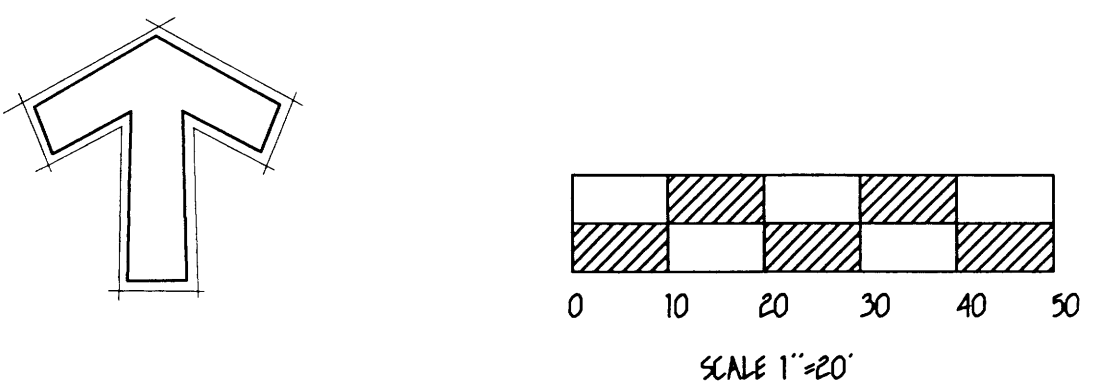
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LANDSCAPE CALCULATIONS

Total Site Area	47,584 square feet
Total Building Area	11,755 square feet
Net Lot Area	35,829 square feet
Landscape Requirement	15%
Landscape Required	5,375 square feet
Landscape Provided	12,370 square feet



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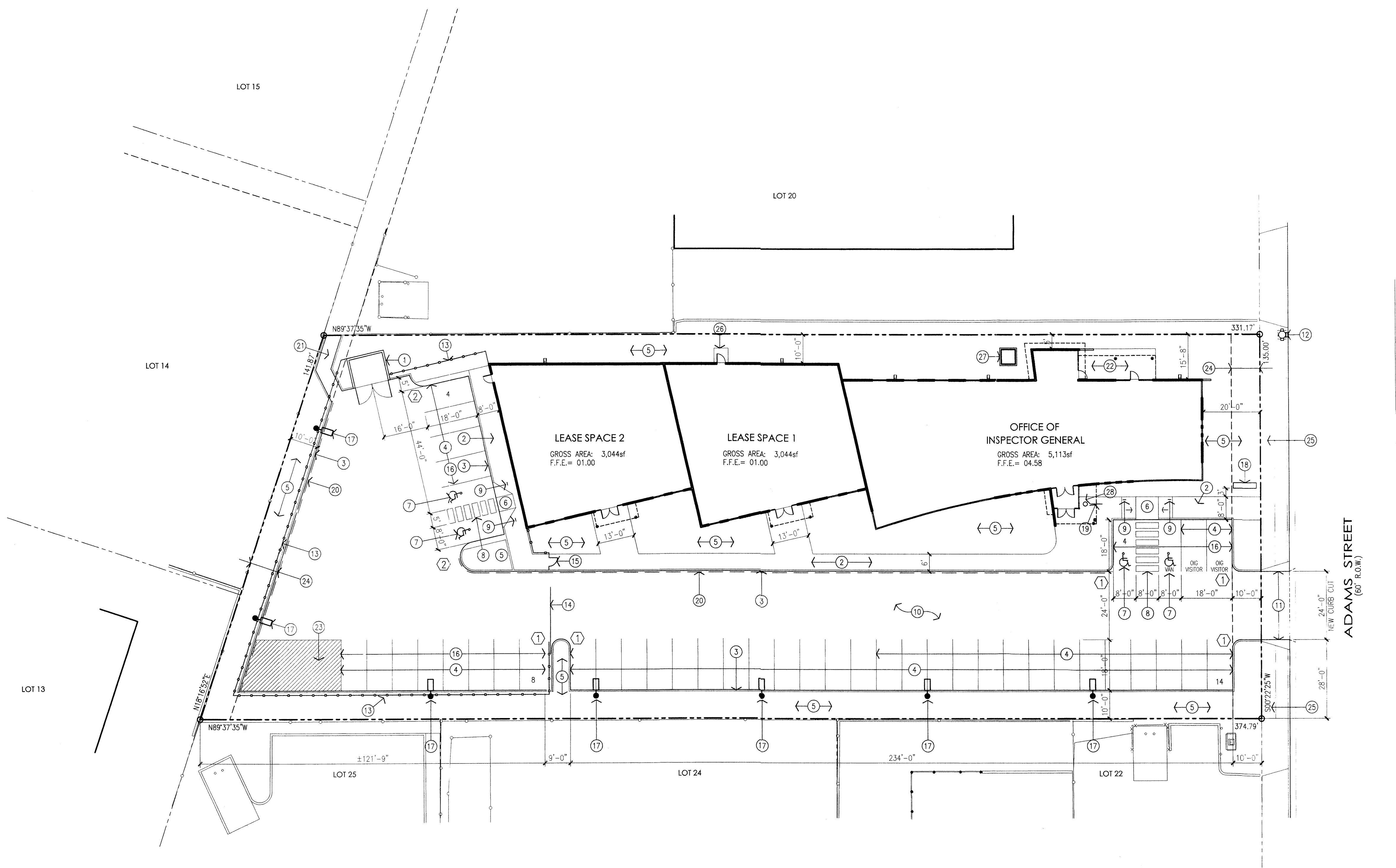
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Office of Inspector General
 8909 Adams Street NE
 Albuquerque, NM
 sheet title
Landscape Plan

sheet-



GENERAL NOTES:
 A. PROVIDE CONTROL JOINT @ 5'-0" O.C. AND EXPANSION JOINT @ 20'-0" O.C. AT ALL NEW CONCRETE PAVING.

- KEYED NOTES:**
- [1] CMU DUMPSTER ENCLOSURE WITH STUCCO FINISH. DUMPSTER PROVIDED BY OWNER.
 - [2] 4" THICK CONCRETE SIDEWALK WITH CONTROL JOISTS @ 5'-0" AND EXPANSION JOINTS @ 20'-0" O.C.
 - [3] 6" HIGH CONCRETE CURB.
 - [4] 9'x18" PARKING SPACES.
 - [5] LANDSCAPING WITH DRIP IRRIGATION.
 - [6] HC RAMP.
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 - [15] WROUGHT IRON PEDESTRIAN GATE, 3'W X 6' H.
 - [16] OFFICE OF INSPECTOR GENERAL DESIGNATED PARKING (2 VISITOR SPACES AND 28 STAFF SPACES)
 - [17] POLE LIGHT WITH CONCRETE BASE.
 - [18] MONUMENT SIGN.
 - [19] BIKE RACK.
 - [20] PAINT CURB RED WITH WITH LETTERING STATING "FIRE LANE PARKING."
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 - [22] CONCRETE PATIO.
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 - [28] TRASH RECEPTACLE.
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 - [30] 6" HIGH INDIVIDUAL CLEAR ANODIZED ALUMINUM LETTERS. F LETTERING FOR EACH SIDE OF MONUMENT AS NOTED
 - [31] 12" DEEP x 18" WIDE CONCRETE FOOTING. SEE STRUCTURAL TYPICAL REINFORCING

LEGAL DESCRIPTION
 LOT 21, RICHFIELD PARK, WITHIN THE ELENA GALLEGOS GRANT, 1 SECTION 14, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW ME

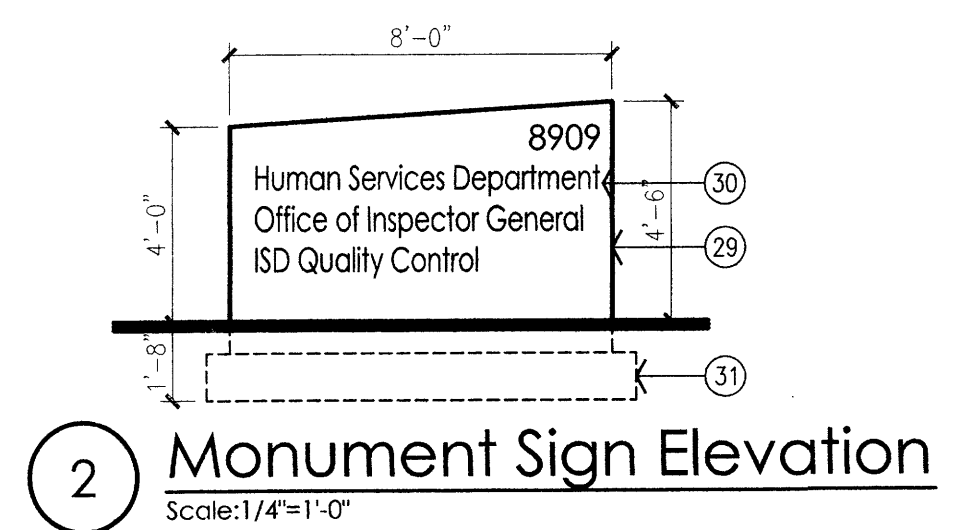
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 FUTURE OFFICE WAREHOUSE (EACH)
 ASSUME 1,200sf OFFICE: 1,200 / 200 = 6
 ASSUME 1,844sf WAREHOUSE: 1,844 / 2,000 = 1

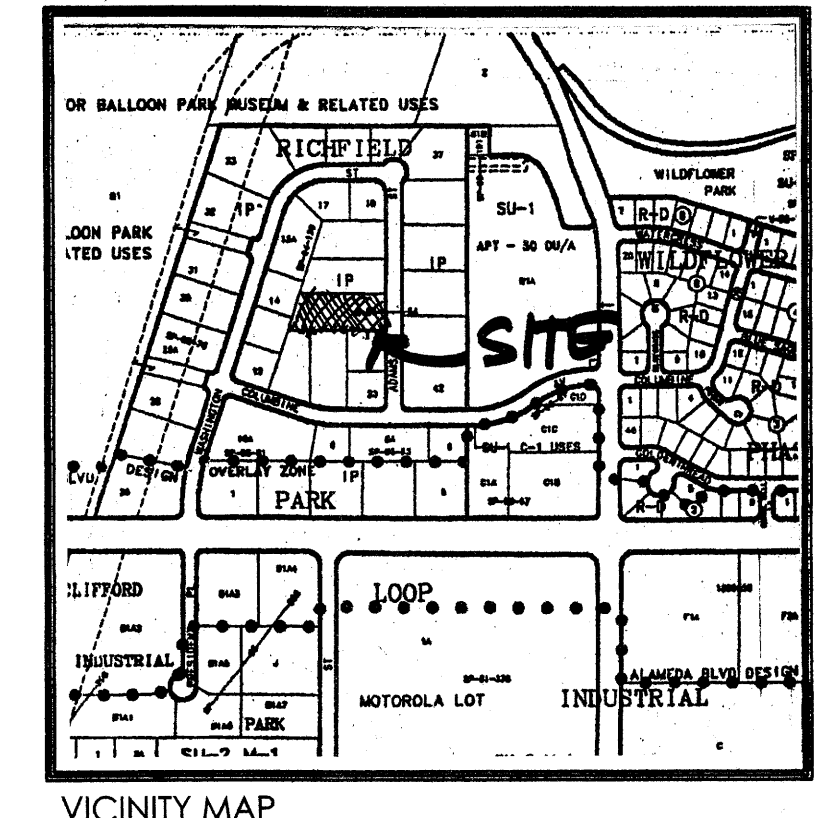
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SIGNATURE BLOCK
 DRB APPROVAL

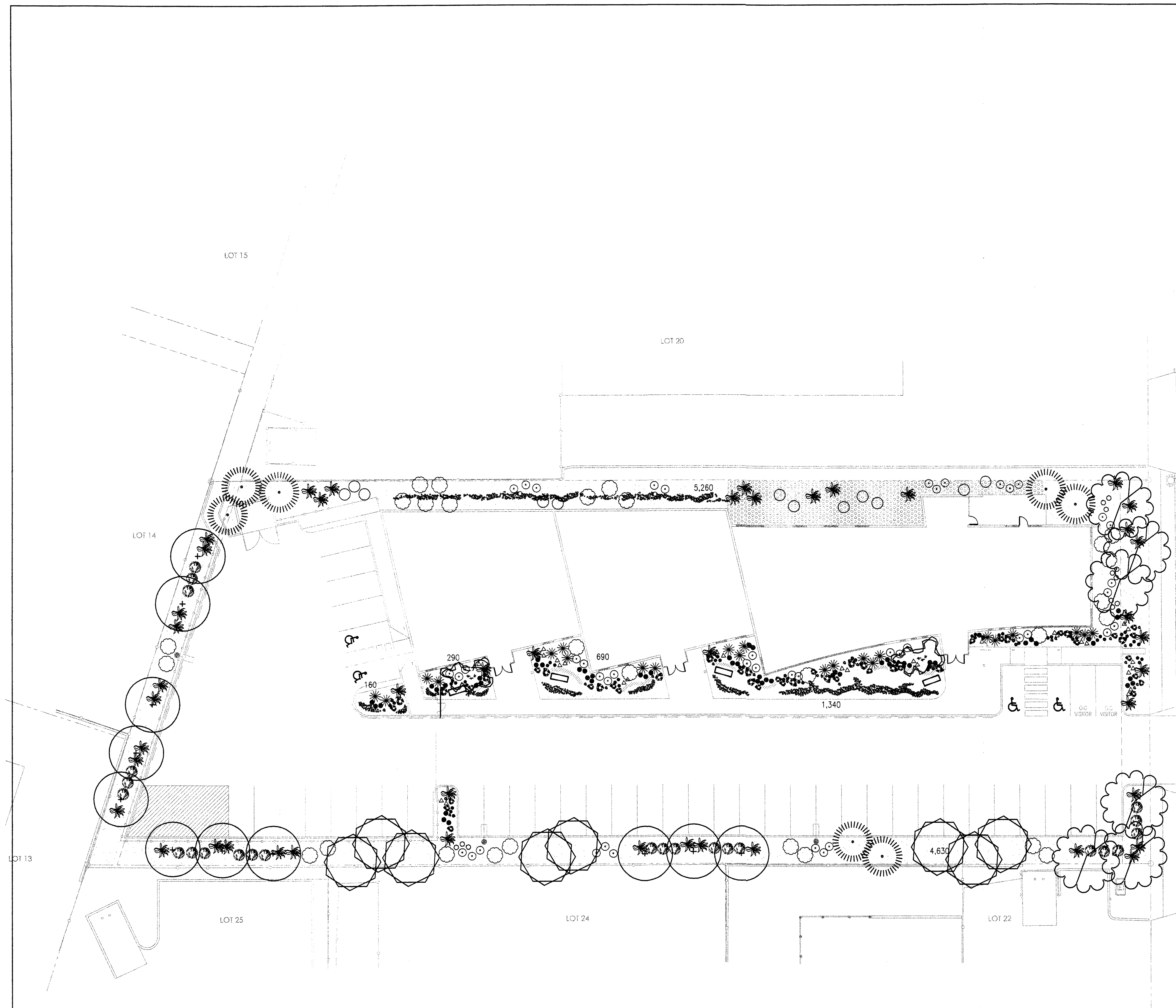
1 Site Plan
 Scale: 1"=20'-0"



2 Monument Sign Elevation
 Scale: 1/4"=1'-0"



VICINITY MAP



Landscape Legend

Size	Common Name	Quantity
2 - 2 1/2" cal	Honeylocust	11
6 - 8'	Austrian Pine	7
5'	Multi-trunk Birch	2
15 Gal	Desert Willow	8
15 Gal	Chinese Pistache	6
5 Gal	Raphiolepis	24
5 Gal	Buffalo Juniper	45
5 Gal	Crimson Pigmy Berberry	30
5 Gal	Dwarf Fountain Grass	55
5 Gal	Cherry Sage	9
5 Gal	Blue Mist	44
5 Gal	Dwarf Chamisa	28
5 Gal	Apache Plume	12
5 Gal	Yucca	30
1 Gal	Moonshine Yarrow, Artemisia	62
1 Gal	Purple Iceplant 18" appart	
	Santa Fe Brown Crusher	
	4-8" Santa Ana Tan	
	2-4" Santa Ana Tan Cobble	
	2-4' Native Boulders	
	Stone Bench	

Landscape Notes

Landscape Maintenance and Irrigation system maintenance shall be the responsibility of the owner.

All Landscaping shall be watered by a complete underground irrigation system operated by automatic timer. Bubblers to trees and (2) drip emitters per shrub. Point of Connection for irrigation system is unknown at current time and will be coordinated in the field.

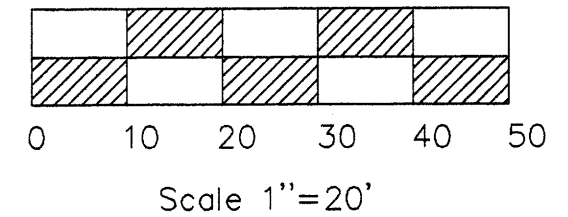
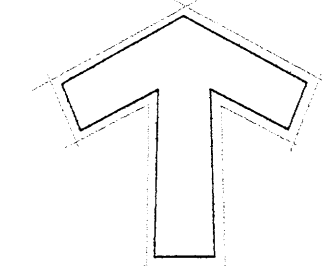
It is the intent of this plan to comply with the City of Albuquerque, water conservation and waste water ordinance.

All landscape beds shall be planted so to achieve 75% live ground cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

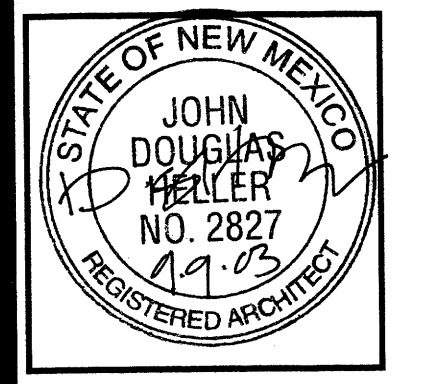
Landscape Calculations

Total Site Area	47,584
Total Building Area	11,755
Net Lot Area	35,829
Landscape Requirement	15%
Landscape Required	5,375
Landscape Provided	12,370



rev	date	by	revision
▲			
▲			
▲			
▲			
▲			

MH
Mullen Heller
 Architecture P.C.
 1104 Hermosa Drive SE
 Albuquerque 87108
 505 268 4144 [p]
 505 268 4244 [f]



job number	03-12
drawn by	SRV/DDM
project manager	JDH
date	08/24/03

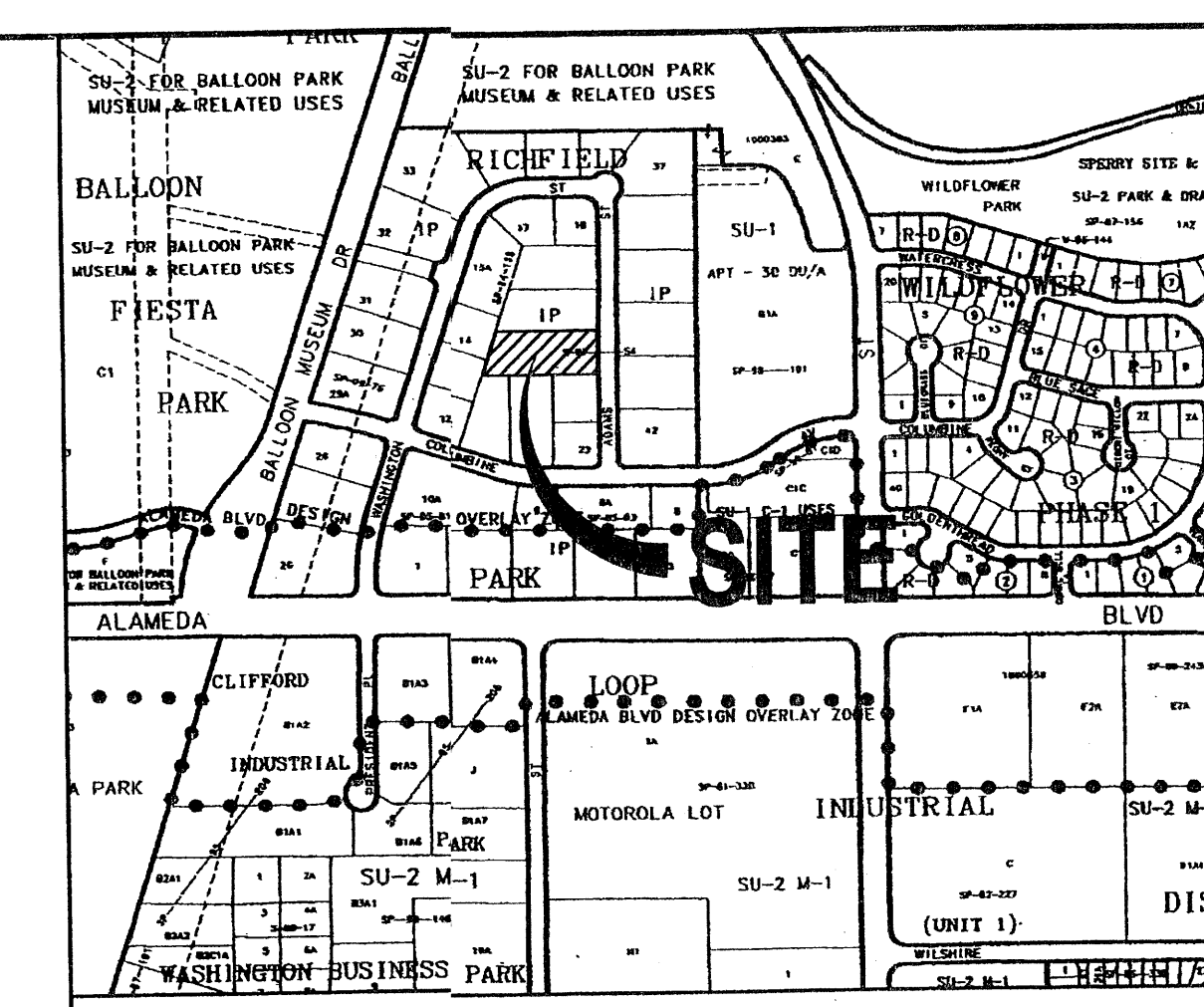
Mitchell Associates, LLC
 3200 Carlisle Blvd. NE, Ste 219
 Albuquerque, NM 87110
 (505) 830-6091 ldsw@thuntek.net



project title
Office of Inspector General
 8909 Adams Street NE
 Albuquerque, NM
 sheet title
Landscape Plan

NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
6. SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE.



VICINITY MAP ZONE MAP: C-17

ACS BENCHMARK

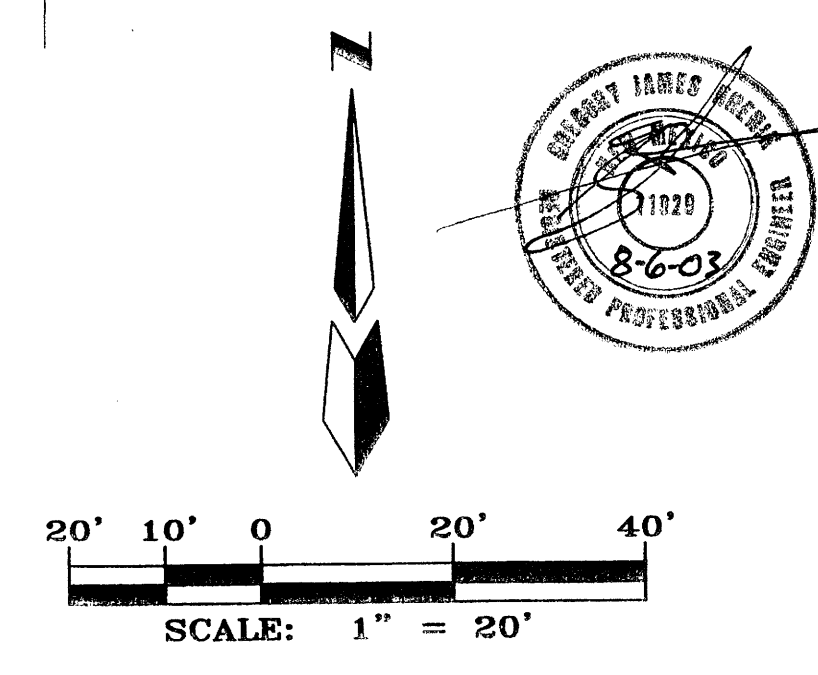
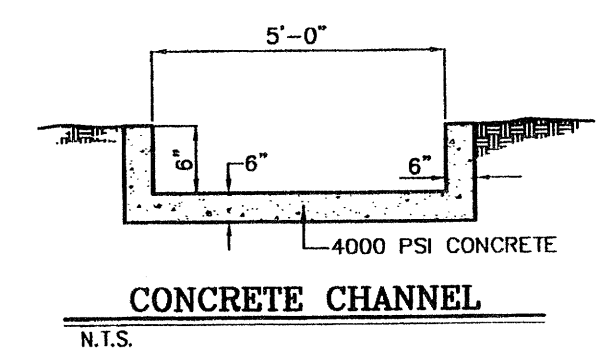
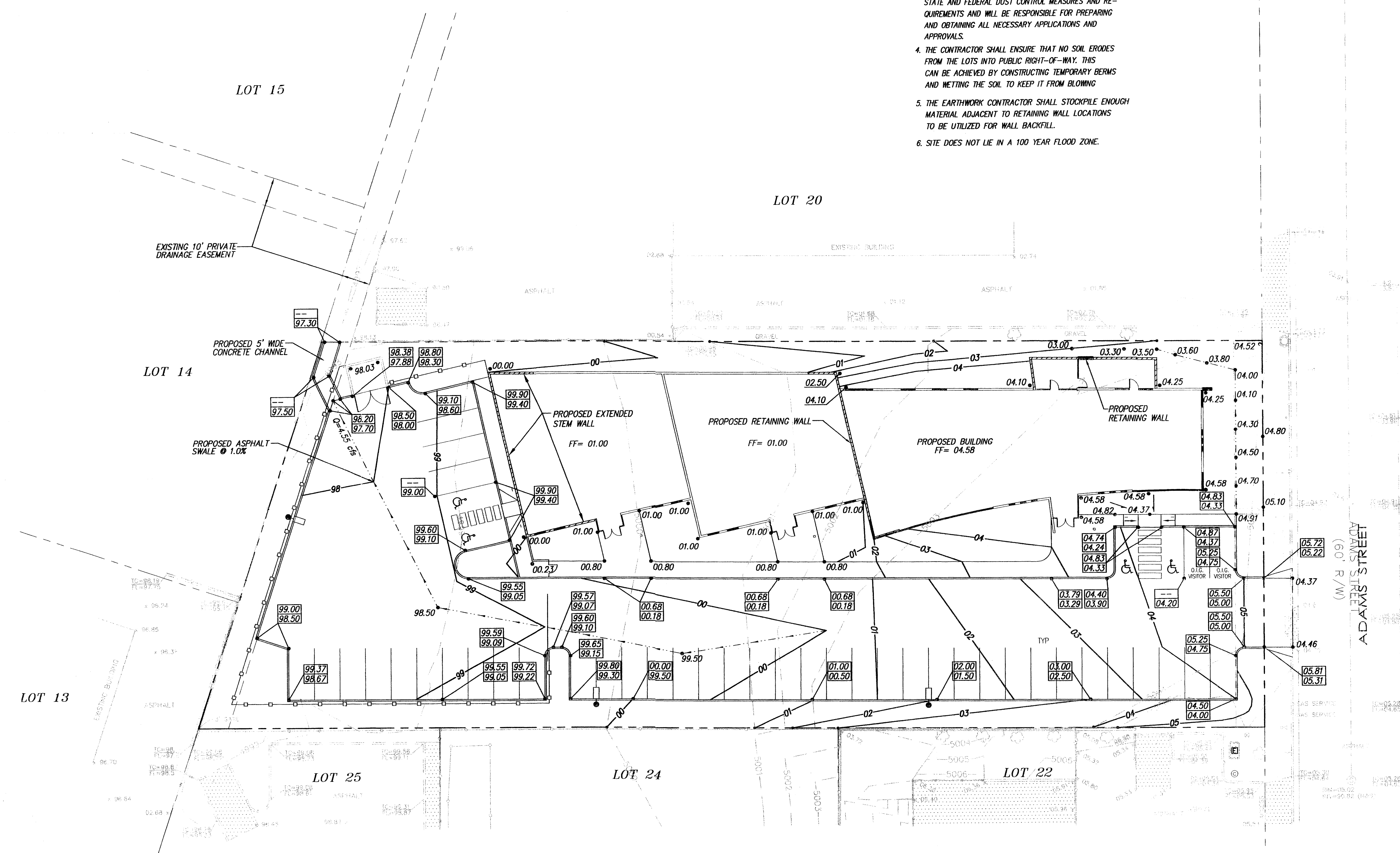
ACS BRASS CAP STAMPED "NAA-9", NEAR THE SOUTHEAST CORNER OF PASEO DEL NORTE AND NORTH DIVERSION CHANNEL. GEOGRAPHIC POSITION (NAD 1927), IN FEET, NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE).
 X = 354,134.18
 Y = 1,518,711.30
 ELEVATION = 5069.270 (NGVD29) IN FEET.

LEGAL DESCRIPTION

LOT 21, RICHFIELD PARK, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 14, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPLE MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

LEGEND

- 5450 --- EXISTING CONTOUR (MAJOR)
- 5451 --- EXISTING CONTOUR (MINOR)
- 00.00 --- EXISTING TOP CURB ELEV
- 00.00 --- EXISTING FLOWLINE ELEV
- 00.00 --- SPOT ELEV
- --- EXISTING CONCRETE CURB
- --- EXISTING CONCRETE/SIDEWALK
- --- EXISTING WALL OR HEAD WALL
- --- EXISTING CHAIN LINK FENCE
- --- EXISTING WOOD FENCE
- --- EXISTING BOLLARD
- --- EXISTING SIGN
- --- EXISTING SANITARY SEWER MANHOLE
- --- EXISTING WATER VALVE
- --- EXISTING SPRINKLER CONTROL VALE
- --- EXISTING ELECTRIC TRANSFORMER
- --- EXISTING TELEPHONE PEDESTAL
- --- EXISTING FIRE HYDRANT
- --- EXISTING TREE
- 01.05 --- PROPOSED SPOT ELEV
- 00.95 --- PROPOSED TOP CURB ELEV
- 00.45 --- PROPOSED FLOWLINE ELEV
- 00 --- PROPOSED CONTOUR LINE
- --- PROPOSED SWALE
- --- PROPOSED RETAINING WALL/STEM WALL



OFFICE OF THE INSPECTOR GENERAL GRADING AND DRAINAGE PLAN

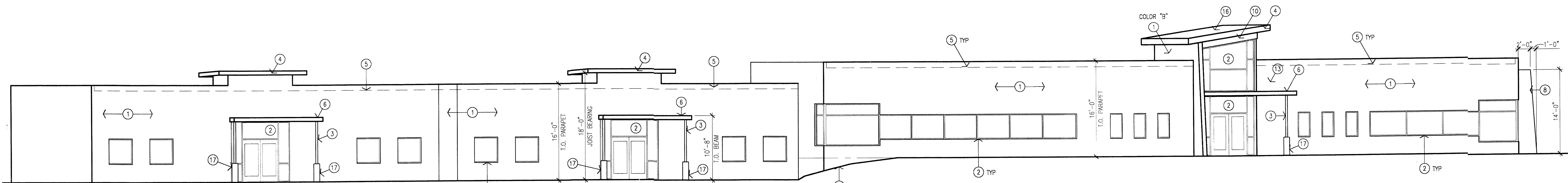
dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: GJK	Drawn: MJR	Checked: DMG	Sheet 1 of 1
Scale: 1" = 20'	Date: 7/29/03	Job: A03078	

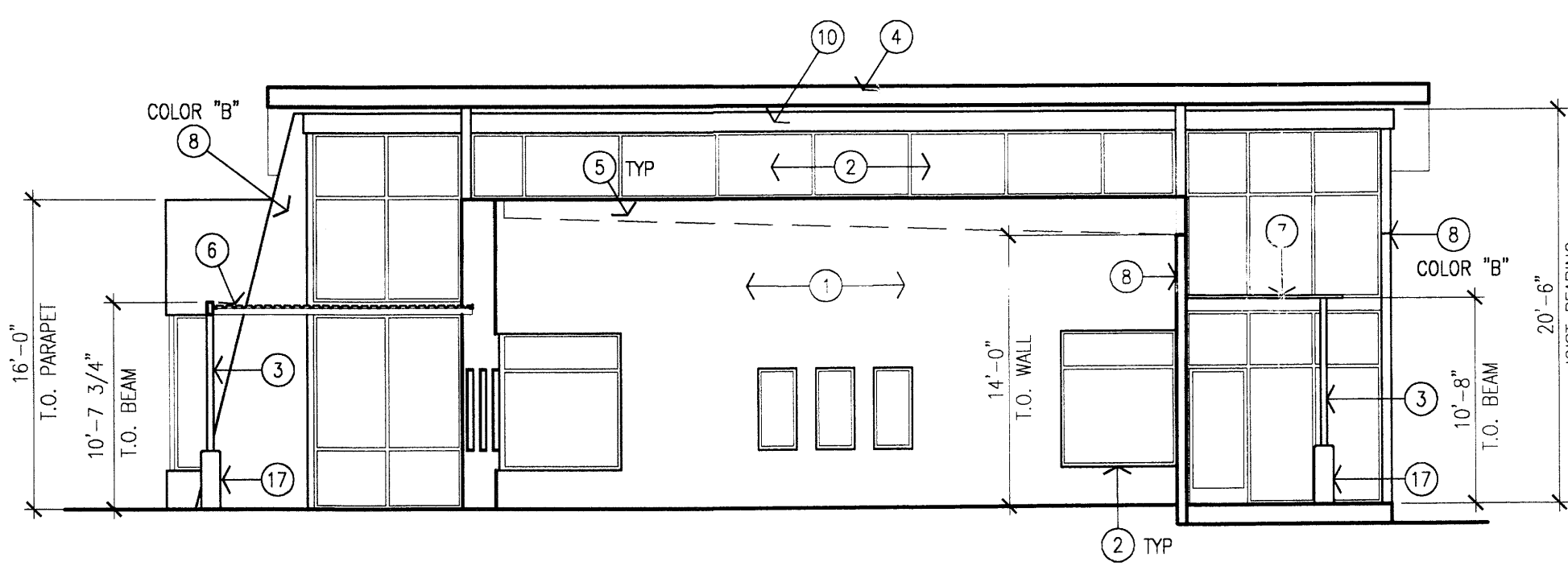
GENERAL NOTE:
A. ALL STUCCO FINISH TO BE COLOR "A" UNLESS NOTED OTHERWISE

- KEYED NOTES
- [1] 2 COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH FROM FULL RANGE OF COLORS.
 - [2] ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING. REFER TO A602 FOR GLAZING LEGEND.
 - [3] STEEL COLUMN, PAINTED.
 - [4] PRE-FINISHED BREAK METAL FASCIA.
 - [5] LINE OF ROOF BEYOND.
 - [6] TUBE STEEL CANOPY, PAINT.
 - [7] TUBE STEEL BEAM, PAINT.

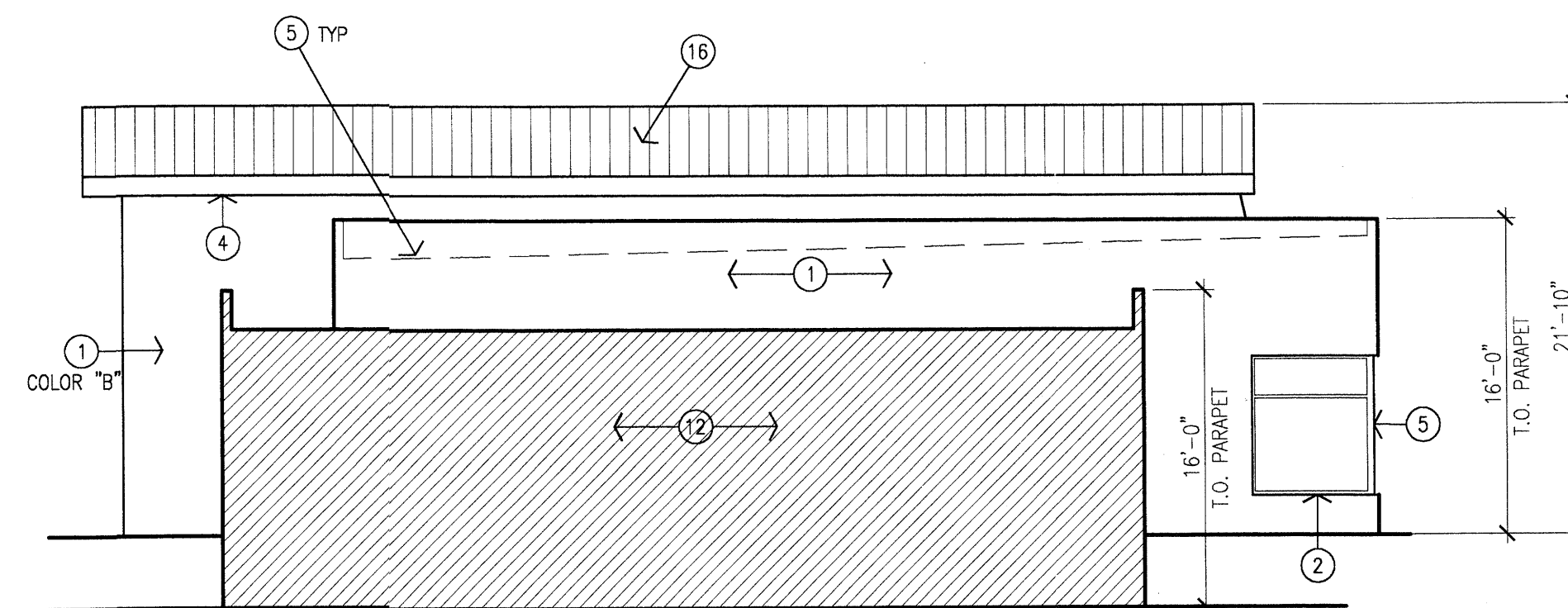
- KEYED NOTES, CONT.
- [8] METAL STUD WING WALL WITH STUCCO FINISH.
 - [9] LINE OF BUILDING BEYOND (SHOWN DASHED)
 - [10] 18 GA. BREAK METAL PANEL
 - [11] NOT USED.
 - [12] BUILDING SECTION NOT SHOWN FOR CLARITY
 - [13] BUILDING MOUNTED SIGNAGE TO STATE: "HUMAN SERVICES DEPARTMENT, OFFICE OF INSPECTOR GENERAL, ISD QUALITY CONTROL."
 - [14] PRE-FINISHED SHEET METAL COLLECTOR BOX AND DOWNSPOUT. SEE 5/A301
 - [15] PROVIDE WATERPROOFING WHERE BUILDING IS RETAINING ADJACENT GRADE
 - [16] STANDING SEAM METAL ROOF.
 - [17] 12" DIA. CONCRETE COLUMN BASE, SEE STRUCTURAL.
 - [18] HOLLOW METAL DOOR AND FRAME. PAINT TO MATCH STUCCO.



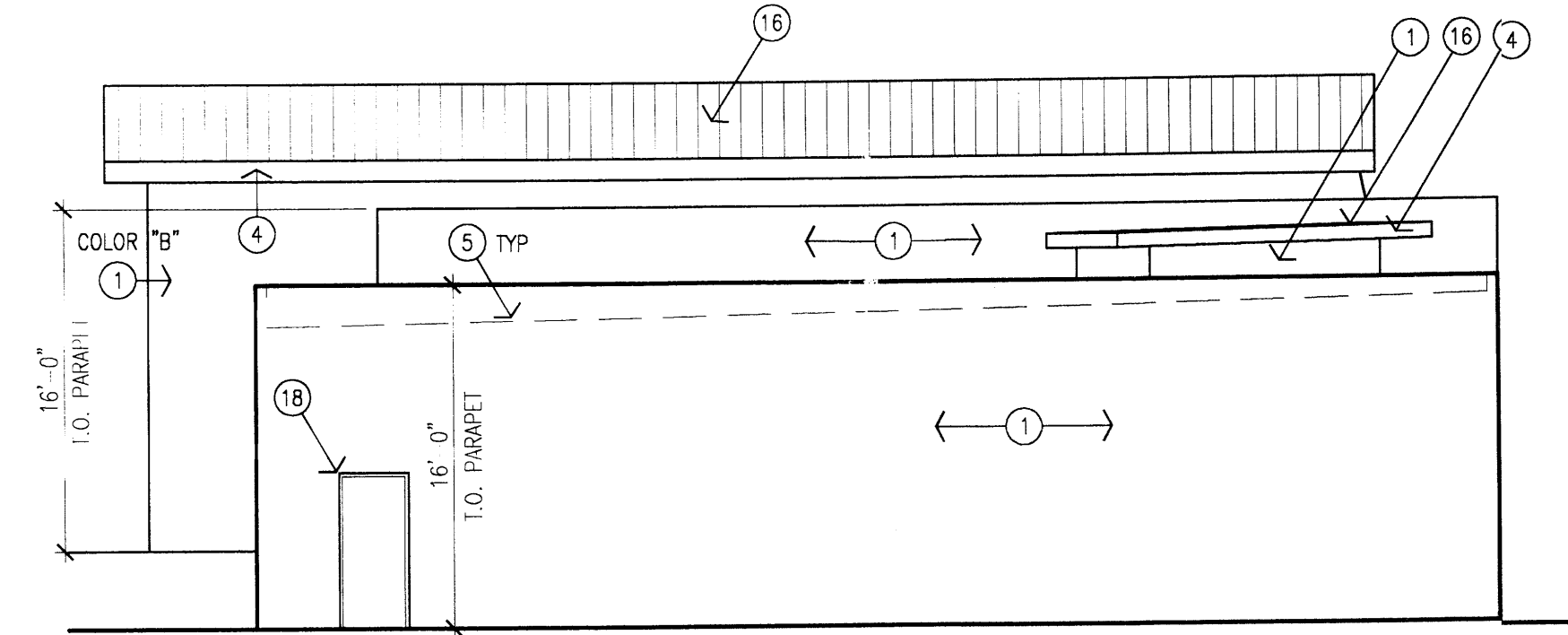
1 South Elevation
Scale: 1/8"=1'-0"



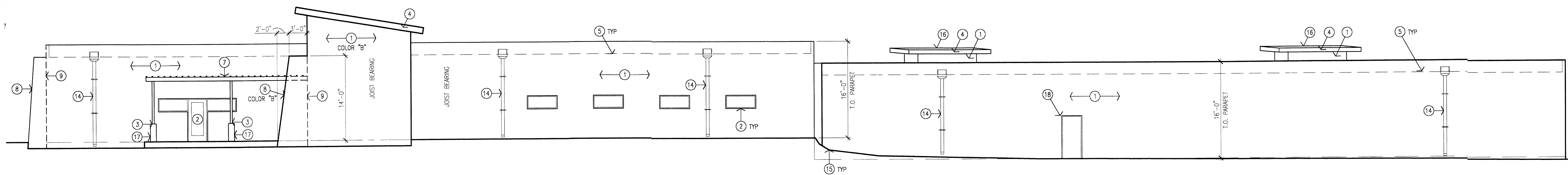
2 East Elevation
Scale: 1/8"=1'-0"



3 West Elevation (Cut)
Scale: 1/8"=1'-0"



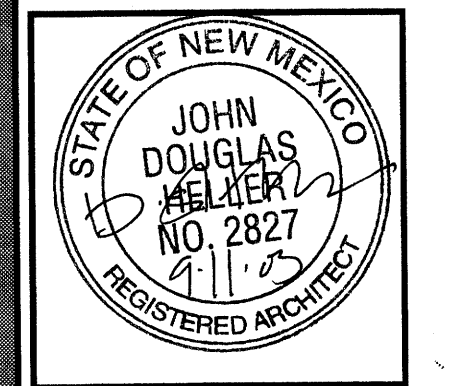
4 West Elevation
Scale: 1/8"=1'-0"



5 North Elevation
Scale: 1/8"=1'-0"

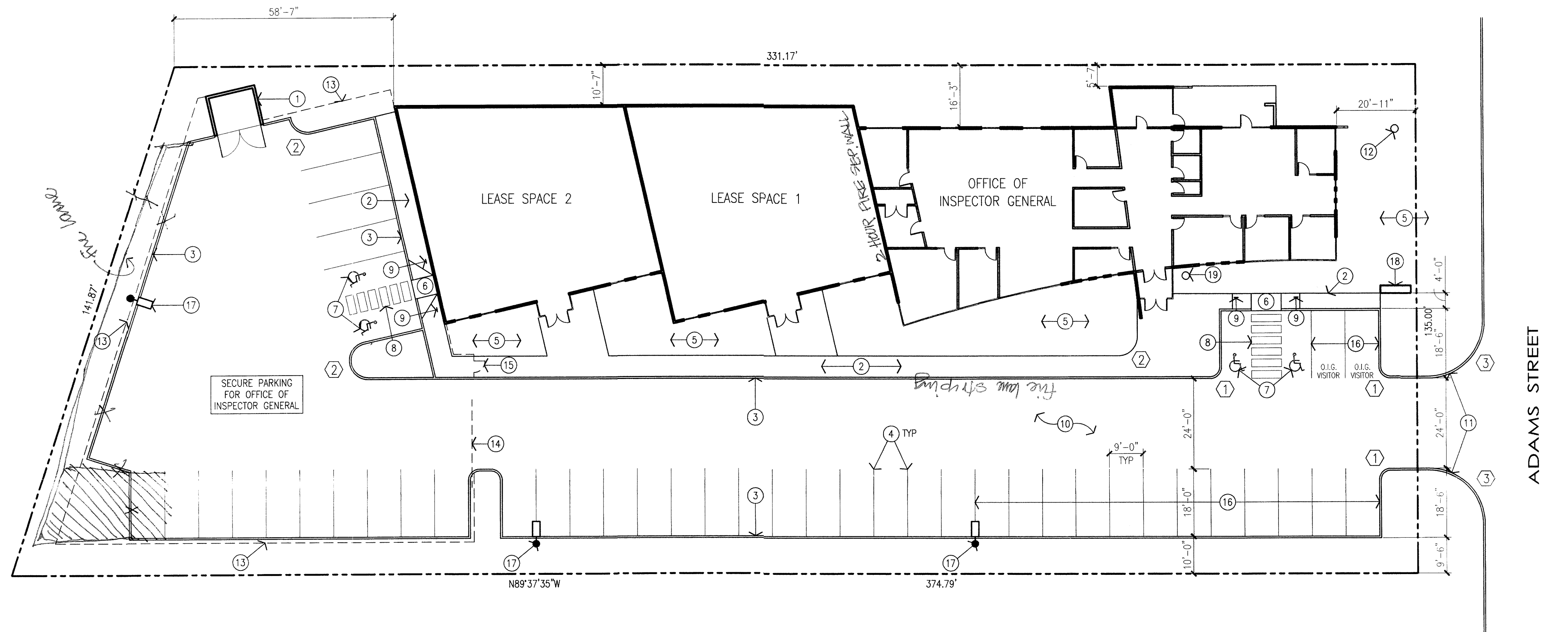
revision	
by	
date	
rev	<div style="display: flex; gap: 5px;"> 123456789101112131415161718 </div>

MH
Mullen Heller
Architecture P.C.
1104 Hermosa Drive SE
Albuquerque 87108
505 268 4144 [p]
505 268 4244 [f]



job number	03-12
drawn by	MAC/CLV
project manager	JDH
date	09/04/03

project title
Office of Inspector General
8909 Adams Street NE
Albuquerque, NM
sheet title
Exterior Elevations



1 Site Plan
Scale: 1"=20'-0"

- KEYED NOTES**
- [1] INTEGRAL COLOR CMU DUMPSTER ENCLOSURE
 - [2] CONCRETE SIDEWALK
 - [3] 6" CONCRETE CURB
 - [4] 9'X18' PARKING SPACES
 - [5] LANDSCAPING
 - [6] HC RAMP
 - [7] HC PAVEMENT SIGN
 - [8] HC AISLE STRIPING
 - [9] HC PARKING SIGN
 - [10] ASPHALT PAVING
 - [11] NEW CURB CUT, SEE CIVIL
 - [12] HYDRANT, EXISTING
 - [13] 6'-0" WROUGHT IRON SECURITY FENCE
 - [14] SLIDING WROUGHT IRON GATE
 - [15] WROUGHT IRON MAN GATE
 - [16] OFFICE OF INSPECTOR GENERAL (DESIGNATED) VISITOR PARKING
 - [17] SITE LIGHTING
 - [18] MONUMENT SIGN
 - [19] TRASH RECEPTACLE

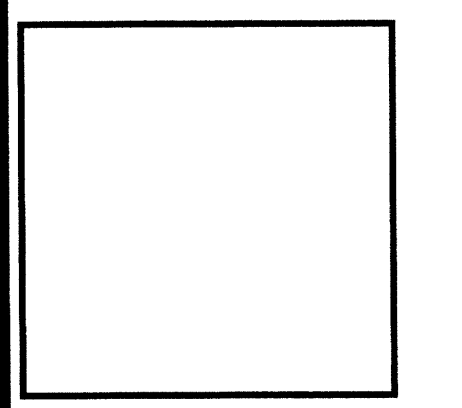
- RADIUS INFORMATION**
- ① RADIUS = 3'-0"
 - ② RADIUS = 5'-0"
 - ③ RADIUS = 15'-0"

ALB PLAND CHECKING OFFICE
024-8011
APPROVED
9-16-03
SIGNATURE & DATE
Michael Heller SWMD
9-16-03 approved
with copy of building plans

revision	
by	
date	
rev	△ △ △ △ △

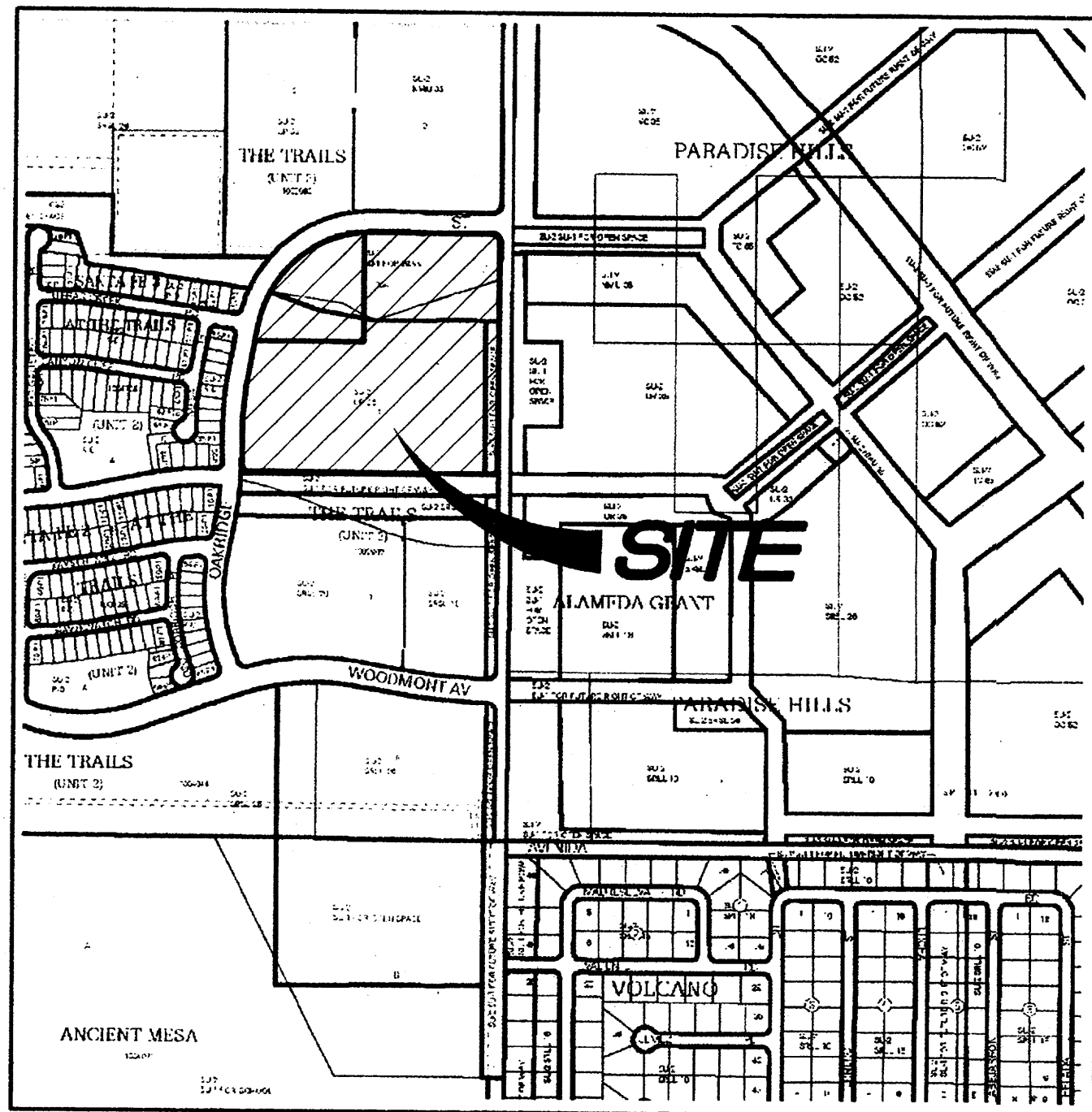
MH
Mullen Heller
Architecture P.C.

1104 Hermosa Drive SE
Albuquerque 87108
505 268 4144 [p]
505 268 4244 [f]



job number	03-12
drawn by	JDH/CLV
project manager	JDH
date	07/14/03

project title
Office of Inspector General
8909 Adams Street NE
Albuquerque, NM
sheet title
Site Plan



VICINITY MAP

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27) and rotated to grid at the Albuquerque Survey Control Monument "7-C10".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9760" unless otherwise indicated.
- U.C.L.S. Log Number: 2007234122
- City of Albuquerque Zone Atlas Page: C-09-Z.
- The Subject property is currently zoned "PARK and SU-2 for Urban Residential" as defined by the Volcano Heights Sector Development Plan.

SUBDIVISION DATA

- Total number of existing Tracts: 2
- Total number of new Tracts created: 3
- Gross Subdivision acreage: 20.7395 Ac.

APS AGREEMENT

The Property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools recorded in the office of the County Clerk of Bernalillo County, New Mexico on 2007-01-05 2007 in Book Page 000-2007121058

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

100901248742110203
THE TRAILS LLC

[Signature] 1026-07
Bernalillo County, Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled other than those specified.

PURPOSE OF PLAT

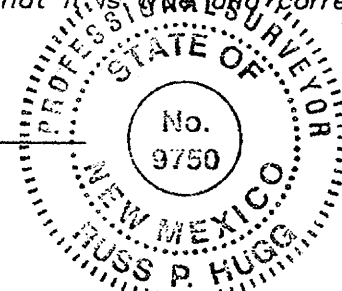
The Purpose of this plat is to:

- Create Tracts A, B and C, Cantada At The Trails, Unit 2 from existing Tract OS-4, The Trails Unit 2 and existing Tract A, Taos at the Trails, Unit 2.
- Show the Public Easements Vacated by 07DRB-70084.
- Show the New Public and Private Easements granted by this plat.
- Tract C as shown hereon will be conveyed to The Trails Community Association, Inc. in fee simple after recording of the final plat. Said Tract C will be maintained by The Trails Community Association, Inc.
- Tract C will be landscaped per the approved landscaping plan and will be maintained by The Trails Community Association, Inc.

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is, in all respects, correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPSS No. 9750
August 21, 2007



PLAT OF
**TRACTS A, B AND C
CANTATA
AT THE TRAILS UNIT 2**
(BEING A REPLAT OF TRACT OS-4, THE TRAILS, UNIT 2
AND TRACT A, TAOS AT THE TRAILS, UNIT 2)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2007

PROJECT NUMBER: 1002962

Application Number: 07DRB-70224

PLAT APPROVAL

Utility Approvals:

<i>[Signature]</i> PNM Gas and Electric Services	10-08-07 Date
<i>[Signature]</i> QWest Corporation	10/8/07 Date
<i>[Signature]</i> Comcast	9.4.07 Date
<i>[Signature]</i> New Mexico Utilities	8-4-07 Date

City Approvals:

for <i>[Signature]</i> City Surveyor Department of Municipal Development	August 27, 2007 Date
<i>[Signature]</i> Real Property Division	Date
<i>[Signature]</i> Environmental Health Department	Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	9-5-07 Date
<i>[Signature]</i> ABCWUA	Date
<i>[Signature]</i> Parks and Recreation Department	9/5/07 Date
<i>[Signature]</i> AMAFCA	9/5/07 Date
<i>[Signature]</i> City Engineer	10/24/07 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	10/24/07 Date

DOCH 2007149700
10/26/2007 11:22 AM Page: 1 of 3
PLAT R: \$17.00 B: 2007C P: 0315 M. Toulouse, Bernalillo County

PLAT OF
TRACTS A, B AND C
CANTATA
AT THE TRAILS UNIT 2
 (BEING A REPLAT OF TRACT OS-4, THE TRAILS, UNIT 2
 AND TRACT A, TAOS AT THE TRAILS, UNIT 2)
 WITHIN
THE TOWN OF ALAMEDA GRANT
 IN
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JUNE, 2007

LEGAL DESCRIPTION

That certain parcel of land located within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising:

All of Tract OS-4, The Trails, Unit 2, as the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" filed in the office of the County Clerk of Bernalillo County, New Mexico on October 18, 2004 in Book 2004C, Page 332

AND

All of Tract A, Taos at The Trails Unit 2, as the same is shown and designated on the plat entitled "SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 5 AND 7, THE TRAILS UNIT 2) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, NEW MEXICO" filed in the office of the County Clerk of Bernalillo County on 10/22/07, 2007 in Book Doc# 20071491699 Page _____

Said parcel contains 20.7395 acres

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "SUMMARY PLAT OF TRACTS A, B AND C, CANTATA (BEING A REPLAT OF TRACT OS-4, THE TRAILS UNIT 2 AND TRACT A, TAOS AT THE TRAILS UNIT 2) SITUATE WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietors(s). Said owner(s) and proprietor(s) do hereby grant the new Public and Private Easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

SECTION 14-14-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition, to approval of this plat or site development plan for subdivision"

OWNER(S)

Owner of Tract A, Taos at The Trails Unit 2 and Tract OS-4 at The Trails Unit 2

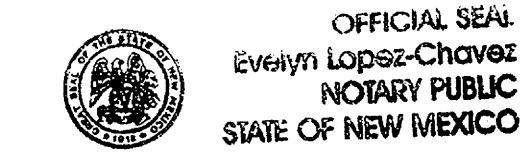
Cantata at The Trails, Inc.
 By: [Signature]
 John K. Murtagh, President

The Trails Community Association, Inc.
 By: [Signature]
 Tracy Murphy, President

LINE TABLE		
LINE	LENGTH	BEARING
L1	110.76'	N00°17'27"E
L2	208.92'	N10°45'07"E
L3	150.12'	N10°45'07"E
L4	58.80'	N10°45'07"E
L5	80.00'	S89°43'50"E
L6	50.00'	S89°43'50"E
L7	50.00'	S89°43'50"E
L8	80.00'	S89°43'50"E

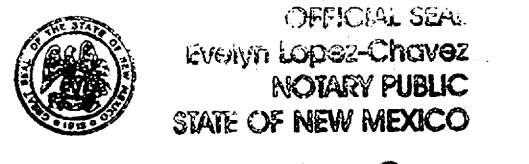
ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS
 The foregoing instrument was acknowledged before me this 20th day of August, 2007, by John Murtagh, President of Cantata at the Trails, Inc.
[Signature] My commission expires 3-18-08
 Notary Public

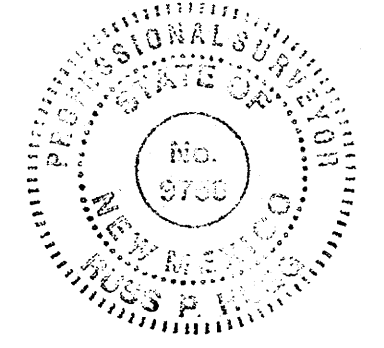


ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS
 The foregoing instrument was acknowledged before me this 20th day of August, 2007, by Tracy Murphy, President of The Trails Community Association, Inc.
[Signature] My commission expires 3-18-08
 Notary Public



CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	22.35'	1239.00'	11.18'	22.35'	N00°48'28"E	1°02'01"
C2	211.98'	1161.00'	106.29'	211.69'	N05°31'17"E	10°27'41"
C3	639.79'	461.00'	383.53'	589.67'	N50°30'39"E	79°31'03"
C4	54.98'	35.00'	35.00'	49.50'	S44°43'50"E	90°00'00"
C5	39.27'	25.00'	25.00'	35.36'	S45°16'10"W	90°00'00"
C6	610.23'	461.00'	359.16'	566.64'	N48°40'25"E	75°50'35"
C7	29.56'	461.00'	14.79'	29.56'	N88°25'56"E	3°40'28"
C8	39.73'	25.00'	25.46'	35.68'	N44°12'11"W	91°03'18"
C9	5.03'	25.00'	2.53'	5.03'	N84°30'03"E	11°32'13"
C10	34.24'	25.00'	20.41'	31.62'	N39°30'03"E	78°27'47"
C11	15.50'	35.00'	7.88'	15.38'	N77°02'32"W	25°22'37"
C12	39.48'	35.00'	22.14'	37.42'	N32°02'32"W	64°37'23"
C13	23.56'	15.00'	15.00'	21.21'	S44°43'50"E	90°00'00"
C14	23.56'	15.00'	15.00'	21.21'	N45°16'10"E	90°00'00"
C15	23.56'	15.00'	15.00'	21.21'	S45°16'10"W	90°00'00"
C16	23.56'	15.00'	15.00'	21.21'	N44°43'50"W	90°00'00"



DOCH 2007149700
 10/26/2007 11:22 AM Page 2 of 3
 PLAT R-17 00 B: 2007C P: 0315 M: Toulouse, Bernalillo County

SURV TEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3388 Fax: 505-897-3377

PLAT OF
TRACTS A, B AND C
CANTATA
AT THE TRAILS UNIT 2
 (BEING A REPLAT OF TRACT OS-4, THE TRAILS, UNIT 2
 AND TRACT A, TAOS AT THE TRAILS, UNIT 2)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2007

DOCM 2007149700

10/26/2007 11:22 AM Page 3 of 3
 PLAT R: \$17.00 B: 2007C P: 0315 M: Toulouse, Bernalillo County

Albuquerque Control Survey Monument "7-C10"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y= 1,521,776.00
 X= 358,954.34
 Ground to grid factor= 0.9996634
 Delta Alpha= -0016'58"
 Elevation= 5422.388 (NGVD29)

VACATED EASEMENTS

Tract OS-4 is subject to a blanket access, public open space and public storm drain easement granted by plat filed October 18, 2004 in Book 2004C, Page 332.

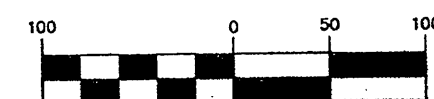
Said Tract OS-4 is also subject to a blanket easement for public water and public sanitary sewer granted to the City of Albuquerque and New Mexico Utilities, Inc. by plat filed October 18, 2005 in Book 2004C, Page 332.

VACATED BY 07DRB-70084.

EASEMENT LINE TABLE

LINE	LENGTH	BEARING
L9	15.00'	N00°18'12"E
L10	265.23'	S89°41'48"E
L11	21.15'	S58°34'07"E
L12	238.36'	N89°42'56"E
L13	15.00'	S00°16'10"W
L14	244.28'	S89°42'56"W
L15	21.24'	N58°34'07"W
L16	261.05'	N89°41'48"W

GRAPHIC SCALE



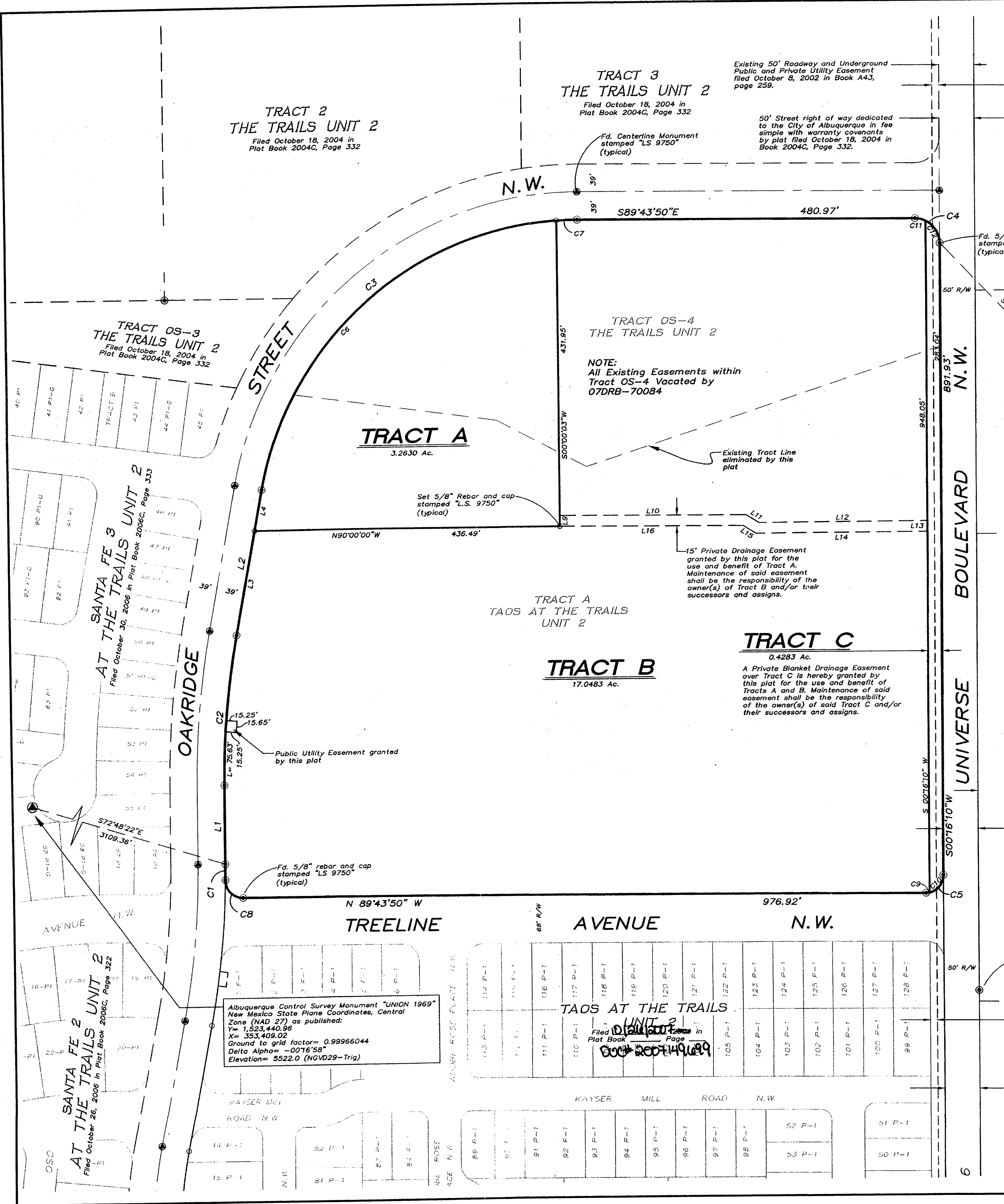
(IN FEET)
 1 inch = 100 ft.

SHEET 3 OF 3

SURVOTEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3368 Fax: 505-897-3377

070485 SUMMPLAT.dwg



TRACT 2
 THE TRAILS UNIT 2
 Filed October 18, 2004 in
 Plat Book 2004C, Page 332

TRACT 3
 THE TRAILS UNIT 2
 Filed October 18, 2004 in
 Plat Book 2004C, Page 332

Existing 50' Roadway and Underground
 Public and Private Utility Easement
 filed October 8, 2002 in Book A43,
 page 259.

50' Street right of way dedicated
 to the City of Albuquerque in fee
 simple with warranty covenants
 by plat filed October 18, 2004 in
 Book 2004C, Page 332.

10' Public Service
 Company Easement
 granted by
 Document #
 2004121843 filed
 August 27, 2004 in
 Book A63 page 1518.

DANIEL DOUGHTY,
 CHRISTINE DOUGHTY,
 FILED (BK.9915, PG.2694)

Fd. 5/8" rebar and cap
 stamped "LS 9750"
 (typical)

SONRISE BAPTIST CHURCH
 FILED: MAY 17, 1999
 (BK.9907, PG.4883)

TRACT OS-4
 THE TRAILS UNIT 2

NOTE:
 All Existing Easements within
 Tract OS-4 Vacated by
 07DRB-70084

TRACT A
 3.2630 Ac.

Set 5/8" Rebar and cap
 stamped "LS 9750"
 (typical)

15' Private Drainage Easement
 granted by this plat for the
 use and benefit of Tract A.
 Maintenance of said easement
 shall be the responsibility of the
 owner(s) of Tract B and/or their
 successors and assigns.

TRACT A
 TAOS AT THE TRAILS
 UNIT 2

TRACT C
 0.4283 Ac.

A Private Blanket Drainage Easement
 over Tract C is hereby granted by
 this plat for the use and benefit of
 Tracts A and B. Maintenance of said
 easement shall be the responsibility
 of the owner(s) of said Tract C and/or
 their successors and assigns.

TRACT B
 17.0483 Ac.

UNPLATTED
 PARCEL 1-6

The Trails, LLC
 Special Warranty Deed
 Filed Sept. 24, 2003
 Book A65, Page 5664

Existing 100' Plains
 Electric Easement

50' Street right of way
 dedicated to the City of
 Albuquerque in fee
 simple with warranty
 covenants by plat filed
 October 18, 2004 in
 Book 2004C, Page
 332.

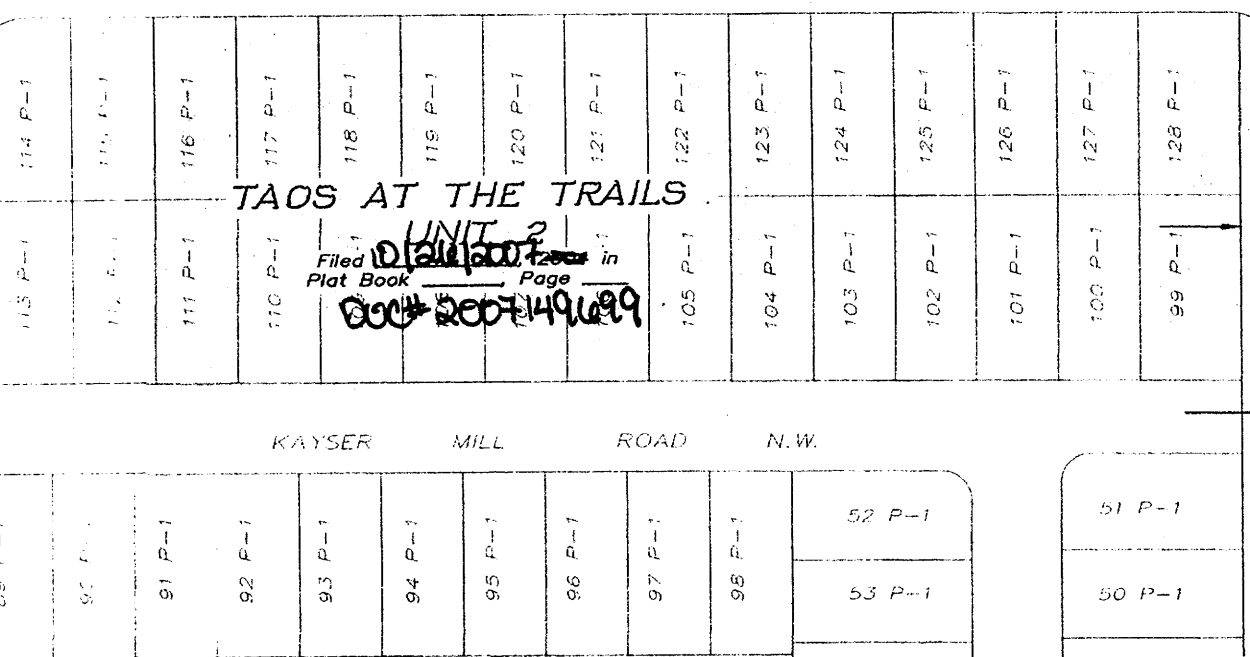
Found 5/8" Rebar and cap
 stamped "LS. 5978"

10' Public Service Company
 Easement granted by
 Document # 2004121843
 filed August 27, 2004 in
 Book A63 page 1518.

Existing 50' Roadway and
 Underground Public and
 Private Utility Easement
 filed October 8, 2002 in
 Book A43, page 259.

Albuquerque Control Survey Monument "UNION 1969"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y= 1,523,440.56
 X= 353,409.02
 Ground to grid factor= 0.99966044
 Delta Alpha= -0016'58"
 Elevation= 5522.0 (NGVD29-Trig)

TAOS AT THE TRAILS



KAYSER MILL
 ROAD N.W.

KAYSER MILL ROAD N.W.

14 P-1
 15 P-1
 16 P-1
 17 P-1
 18 P-1
 19 P-1
 20 P-1
 21 P-1
 22 P-1
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 127 P-1
 128 P-1

PLAT OF
TRACTS A, B AND C
CANTATA
AT THE TRAILS UNIT 2
 (BEING A REPLAT OF TRACT OS-4, THE TRAILS, UNIT 2
 AND TRACT A, TAOS AT THE TRAILS, UNIT 2)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JUNE, 2007

LEGAL DESCRIPTION

That certain parcel of land located within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising:

All of Tract OS-4, The Trails, Unit 2, as the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" filed in the office of the County Clerk of Bernalillo County, New Mexico on October 18, 2004 in Book 2004C, Page 332

AND

All of Tract A, Taos at The Trails Unit 2, as the same is shown and designated on the plat entitled "SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 5 AND 7, THE TRAILS UNIT 2) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, NEW MEXICO" filed in the office of the County Clerk of Bernalillo County on _____, 2007 in Book _____, Page _____.

Said parcel contains 20.7395 acres


FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "SUMMARY PLAT OF TRACTS A, B AND C, CANTATA (BEING A REPLAT OF TRACT OS-4, THE TRAILS UNIT 2 AND TRACT A, TAOS AT THE TRAILS UNIT 2) SITUATE WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietors(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER(S)

Owner of Tract A, Taos at The Trails Unit 2 and Tract OS-4 at The Trails Unit 2

Cantata at The Trails, Inc.

By:  _____
 John K. Murtagh, President

The Trails Community Association, Inc.


By:  _____
 Tracy Murphy, President


LINE TABLE		
LINE	LENGTH	BEARING
L1	110.76'	N00°17'27"E
L2	208.92'	N10°45'07"E
L3	150.12'	N10°45'07"E
L4	58.80'	N10°45'07"E
L5	80.00'	S89°43'50"E
L6	50.00'	S89°43'50"E
L7	50.00'	S89°43'50"E
L8	80.00'	S89°43'50"E

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 20th day of August, 2007, by John Murtagh, President of Cantata at the Trails, Inc.

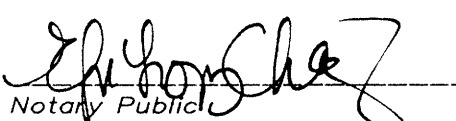
 _____ My commission expires 3-18-08
 Notary Public


 OFFICIAL SEAL
 Evelyn Lopez-Chavez
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Comm. Exp. 3-18-08

ACKNOWLEDGMENT

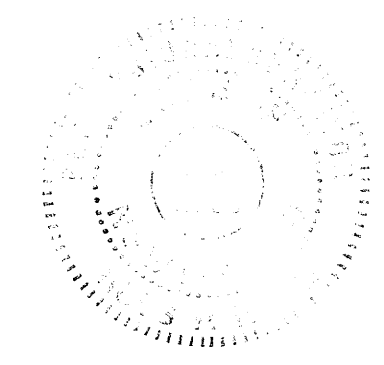
STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 20th day of August, 2007, by Tracy Murphy, President of The Trails Community Association, Inc.

 _____ My commission expires 3-18-08
 Notary Public

 OFFICIAL SEAL
 Evelyn Lopez-Chavez
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Comm. Exp. 3-18-08

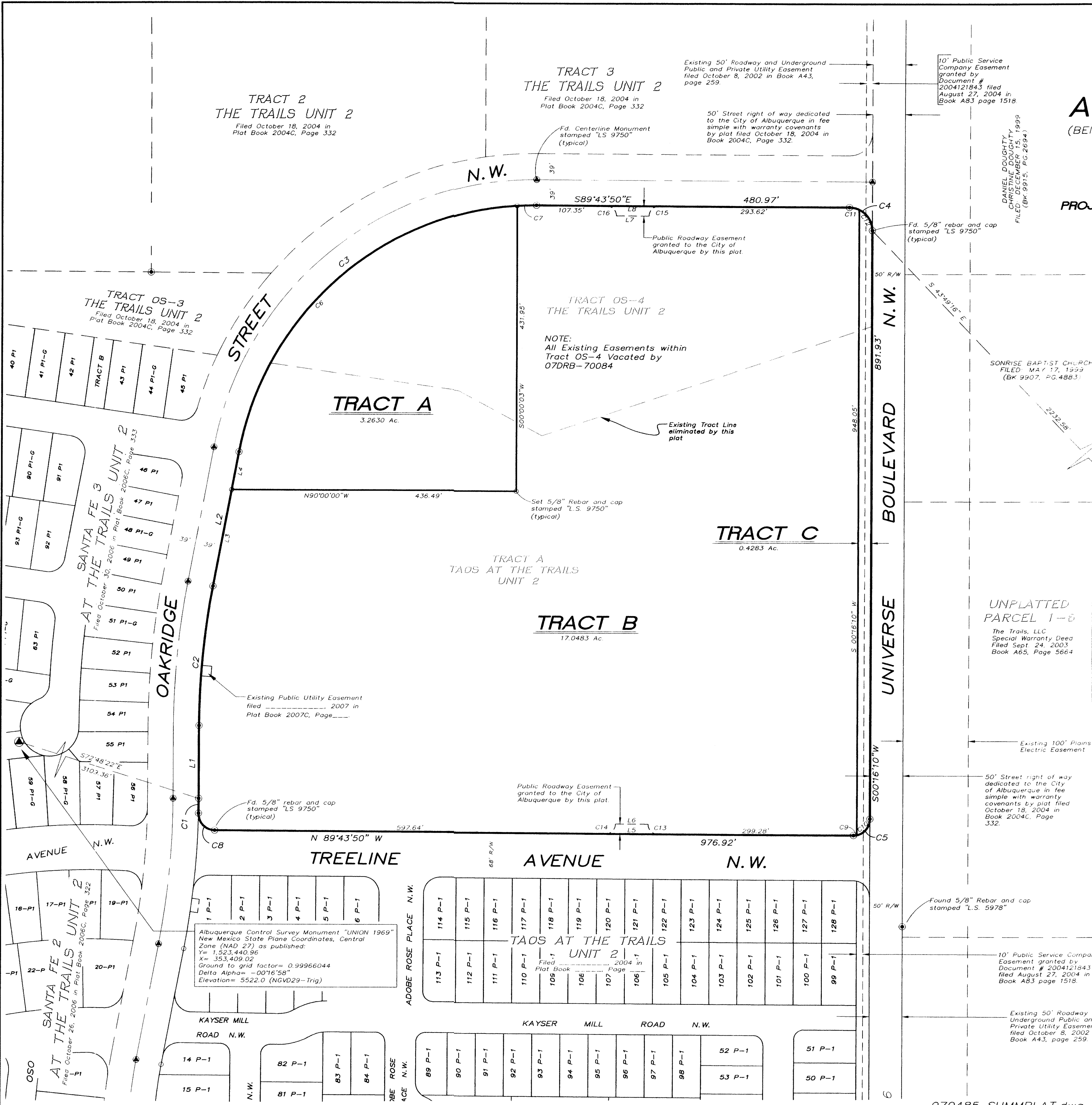
CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	22.35'	1239.00'	11.18'	22.35'	N00°48'28"E	1°02'01"
C2	211.98'	1161.00'	106.29'	211.69'	N05°31'17"E	10°27'41"
C3	639.79'	461.00'	383.53'	589.67'	N50°30'39"E	79°31'03"
C4	54.98'	35.00'	35.00'	49.50'	S44°43'50"E	90°00'00"
C5	39.27'	25.00'	25.00'	35.36'	S45°16'10"W	90°00'00"
C6	610.23'	461.00'	359.16'	566.64'	N48°40'25"E	75°50'35"
C7	29.56'	461.00'	14.79'	29.56'	N88°25'56"E	3°40'28"
C8	39.73'	25.00'	25.46'	35.68'	N44°12'11"W	91°03'18"
C9	5.03'	25.00'	2.53'	5.03'	N84°30'03"E	11°32'13"
C10	34.24'	25.00'	20.41'	31.62'	N39°30'03"E	78°27'47"
C11	15.50'	35.00'	7.88'	15.38'	N77°02'32"W	25°22'37"
C12	39.48'	35.00'	22.14'	37.42'	N32°02'32"W	64°37'23"
C13	23.56'	15.00'	15.00'	21.21'	S44°43'50"E	90°00'00"
C14	23.56'	15.00'	15.00'	21.21'	N45°16'10"E	90°00'00"
C15	23.56'	15.00'	15.00'	21.21'	S45°16'10"W	90°00'00"
C16	23.56'	15.00'	15.00'	21.21'	N44°43'50"W	90°00'00"



**PLAT OF
TRACTS A, B AND C
CANTATA
AT THE TRAILS UNIT 2**

(BEING A REPLAT OF TRACT OS-4, THE TRAILS, UNIT 2
AND TRACT A, TAOS AT THE TRAILS, UNIT 2)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2007



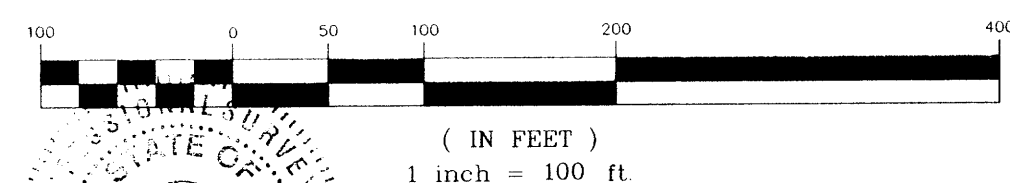
Albuquerque Control Survey Monument "7-C10"
New Mexico State Plane Coordinates, Central
Zone (NAD 27) as published:
Y= 1,521,776.00
X= 358,954.34
Ground to grid factor= 0.9996634
Delta Alpha= -00'16"19"
Elevation= 5422.388 (NGVD29)

VACATED EASEMENTS

Tract OS-4 is subject to a blanket access, public open space and public storm drain easement granted by plat filed October 18, 2004 in Book 2004C, Page 332.
Said Tract OS-4 is also subject to a blanket easement for public water and public sanitary sewer granted to the City of Albuquerque and New Mexico Utilities, Inc. by plat filed October 18, 2005 in Book 2004C, Page 332.
VACATED BY 07DRB-70084.

UNPLATTED PARCEL 1-8
The Trails, LLC
Special Warranty Deed
Filed Sept. 24, 2003
Book A65, Page 566-4

GRAPHIC SCALE



SHEET 3 OF 3

SURVOTEK, INC.
Consulting Surveyors

3884 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

070485 SUMMPLAT.dwg

KEYED EASEMENT NOTES

- ① 10' Public Service Company of New Mexico Easement per document filed August 27, 2004, in Book A83, Page 1518.
- ② 15' Private Drainage Easement per plat filed October 26, 2007, in Volume 2007C, Folio 315.
- ③ Public Utility Easement per plat filed October 26, 2007, in Volume 2007C, Folio 315.
- ④ 50' Roadway and Underground Public and Private Utility Easement filed October 8, 2002 in Book A43, page 209.

TRACT 2
THE TRAILS UNIT 2
Filed October 18, 2004 in Plat Book 2004C, Page 332

TRACT 3
THE TRAILS UNIT 2
Filed October 18, 2004 in Plat Book 2004C, Page 332

TRACT A
CANTATA AT THE TRAILS UNIT 2
Filed 10-26-2007, in Volume 2007C, Folio 315

TRACT OS-3
THE TRAILS UNIT 2
Filed October 18, 2004 in Plat Book 2004C, Page 332

SKETCH PLAT OF
TRACTS B-1 AND B-2
CANTATA AT THE TRAILS UNIT 2
(BEING A REPLAT OF TRACT B, CANTATA AT THE TRAILS UNIT 2)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

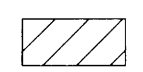
JULY, 2008

LEGAL DESCRIPTION

All of Tract lettered "B" of CANTATA AT THE TRAILS UNIT 2, within the Town of Alameda Grant, in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 26, 2007, in Volume 2007C, Folio 315.

OWNERS

Cantata at the Trails, Inc.
7007 Jefferson Street NE, Ste A
Albuquerque, New Mexico 87109

 Private Access, Water, Sanitary sewer and Drainage Easement for the benefit of Tracts 1 and 2. Said Private Easement to be maintained by the owners of said Tracts.

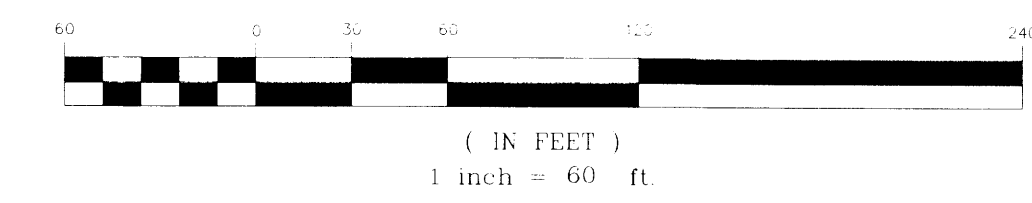
LINE TABLE

LINE	LENGTH	BEARING
L1	110.76'	N50°11'20"E
L2	150.12'	N10°42'10"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	22.35'	1239.00'	11.18'	22.35'	S89°43'50"E	102°01"
C2	211.98'	1161.00'	106.29'	211.63'	S64°11'17"E	102°2'41"
C3	29.56'	461.00'	14.79'	29.56'	S89°43'50"E	3°40'28"
C4	19.50'	35.00'	7.98'	19.32'	S89°43'50"E	22°22'37"
C5	5.03'	22.00'	2.51'	5.03'	S89°43'50"W	11°33'13"
C6	39.73'	25.00'	25.46'	35.62'	S44°11'17"W	91°03'18"

GRAPHIC SCALE



SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3368 Fax: 505-897-3377