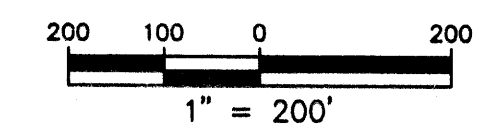
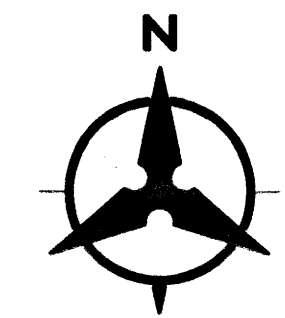
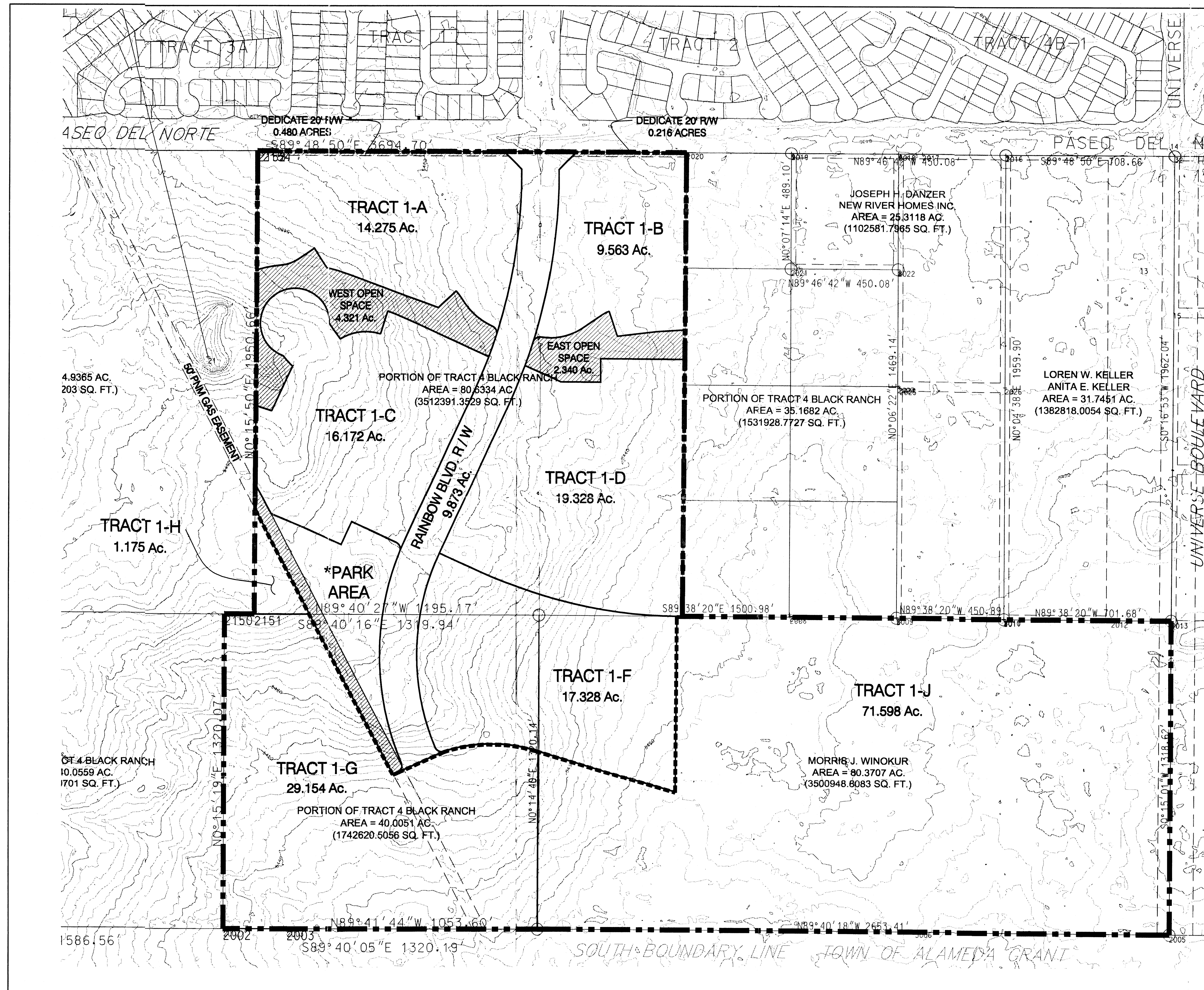


# AREA MAP OF THE TRAILS TRACTS C & D



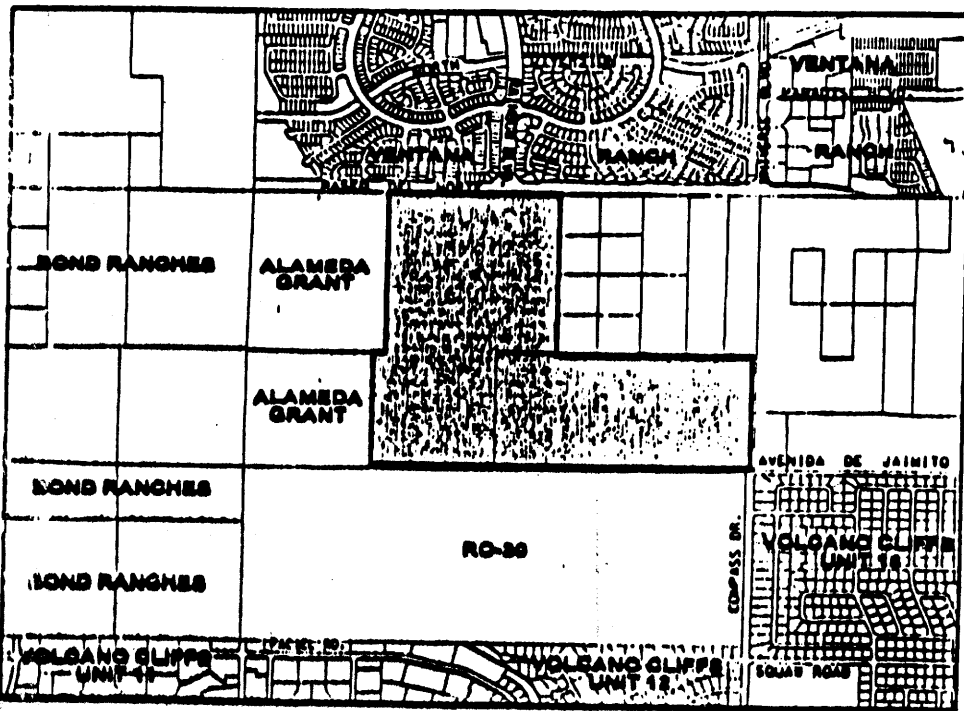
LEGEND	
	SUBDIVISION BOUNDARY LINE
	EXISTING SUBDIVISION BOUNDARY
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	EXISTING FENCE LINE



P:\020276\cdp\Wester\_Plan\OVERALL\_SKETCH.dwg  
August 25, 2003 - 4:06pm

**Bohannon & Huston**  
 Courtyard | 7800 Jefferson St. NE | Albuquerque, NM 87109-6286  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SP-2003352308



**LOCATION MAP**  
**ZONE ATLAS INDEX MAP No. C-9-Z**  
 NOT TO SCALE

**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index No. C-9-Z.
3. Gross Subdivision Acreage: 201.0163 Acres.
4. Total Number of Tracts created: Eleven (11) Tracts.
5. Total Mileage of one-half (1/2) width Streets created: 0.062 mile
6. Date of Survey: August, 2003.
7. Plat is located within the Town of Alameda Grant, within projected Section 16, T11N, R2E, N4PM.

**DISCLOSURE STATEMENT**

The purpose of this Plat is to subdivide a portion of Tract 4, Black Ranch, Albuquerque, New Mexico into Eleven (11) Tracts and to dedicate additional public street right-of-way to the City of Albuquerque.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- PNM Electric Services** for the installation, maintenance and service of underground/overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services** for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWEST** for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast Cable** for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc.** for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

**DESCRIPTION**

A certain tract of land situate within the Town of Alameda Grant, in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, said tract also being a portion of Tract 4, Black Ranch, and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at the northeast corner of the tract herein described, whence the City of Albuquerque survey monument "2-810", having New Mexico State Plane Grid Coordinates for the Central Zone: X=357,543.73; Y=1,527,976.48, bears N30°04'51"E a distance of 4249.77 feet; thence along the easterly boundary line of the tract herein described:  
 S00°21'10"W a distance of 1955.80 feet; thence,  
 S89°38'20"E a distance of 2052.45 feet; thence,  
 S00°16'04"W a distance of 1318.62 feet to the southeast corner of the tract herein described; said point being a USGLO brass cap marking the closing corner for sections 15 and 16 and the south boundary of the Town of Alameda Grant, thence along said Grant boundary,  
 N89°40'18"W a distance of 2653.41 feet to a 1/2" rebar with a 1" survey cap marked "Grisco 8686"; thence,  
 N89°40'05"W a distance of 1320.19 feet to a 1/2" rebar with a 1" survey cap marked "Grisco 8686"; thence along the westerly boundary line of the tract herein described,  
 N00°15'19"E a distance of 1320.07 feet to a 1/2" rebar with a 1" survey cap marked "Grisco 8686"; thence,  
 S89°38'30"E a distance of 124.77 feet to a 3/4" survey cap stamped "LS 6446"; thence,  
 N00°15'50"E a distance of 1951.06 feet to a 3/4" survey cap stamped "LS 6446" at the northwest corner of the tract herein described; thence along the northerly boundary line of the tract herein described,  
 S89°48'48"E a distance of 1799.74 to the point and place of beginning.

This tract contains 201.0163 acres, more or less.

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.

**FREE CONSENT AND DEDICATION**

The foregoing plat of that certain tract of land situate within the Town of Alameda Grant, in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being a portion of Tract 4, Black Ranch, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant all Access, Utility, and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal (Work) it deems appropriate without liability to the City, if Work affects any improvements or encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense take whatever protective measures are required to safeguard the improvements or encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with its free act and deed.

THE TRAILS, LLC

BY: \_\_\_\_\_

John K. Murtugh, President  
 The Trails, LLC

State of New Mexico )  
 County of Bernalillo )

This instrument was acknowledged before me on \_\_\_\_\_ day of \_\_\_\_\_, 2003, by John K. Murtugh, President of The Trails, LLC.

My Commission Expires: \_\_\_\_\_  
 Notary Public

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING, SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT REGULATIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

1. WATER AND SANITARY SEWER AVAILABILITY.
2. FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS.
3. PARK AND OPEN SPACE REQUIREMENTS.
4. DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS.
5. EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ANY SUCH DEVELOPMENT HAS BEEN INITIATED BY THE CITY ENGINEER OR ANY SUCH DEVELOPMENT HAS BEEN INITIATED BY THE CITY ENGINEER FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

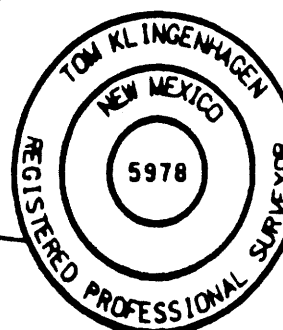
**SURVEYOR'S CERTIFICATION**

I, Thomas G. Klingenhagen, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bohannon-Huston, Inc.  
 Courtyard I  
 7500 Jefferson Street, N.E.  
 Albuquerque, New Mexico 87109  
 (505)823-1000

Thomas G. Klingenhagen  
 New Mexico Professional Surveyor 5978

Date: 8-27-03



**BULK PLAT OF THE TRAILS**  
 (A REPLAT OF A PORTION OF TRACT 4 BLACK RANCH)  
 ALBUQUERQUE, NEW MEXICO  
 AUGUST, 2003

PROJECT NUMBER \_\_\_\_\_

APPLICATION NUMBER \_\_\_\_\_

**PLAT APPROVAL**

UTILITY APPROVALS:

QWEST \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST CABLE \_\_\_\_\_ DATE \_\_\_\_\_

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

PNM GAS SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO UTILITIES, INC. \_\_\_\_\_ DATE \_\_\_\_\_

CITY APPROVALS:

CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

UTILITIES DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

A.M.A.P.C.A. \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

**TAX CERTIFICATION**

PROPERTY OWNER OF RECORD \_\_\_\_\_

BERNALLILLO COUNTY TREASURER'S OFFICE \_\_\_\_\_ DATE \_\_\_\_\_

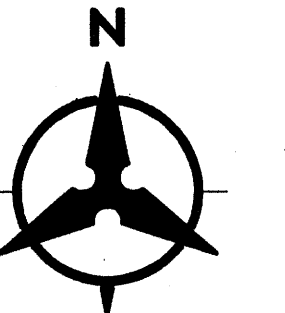
**PNM STAMP**

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

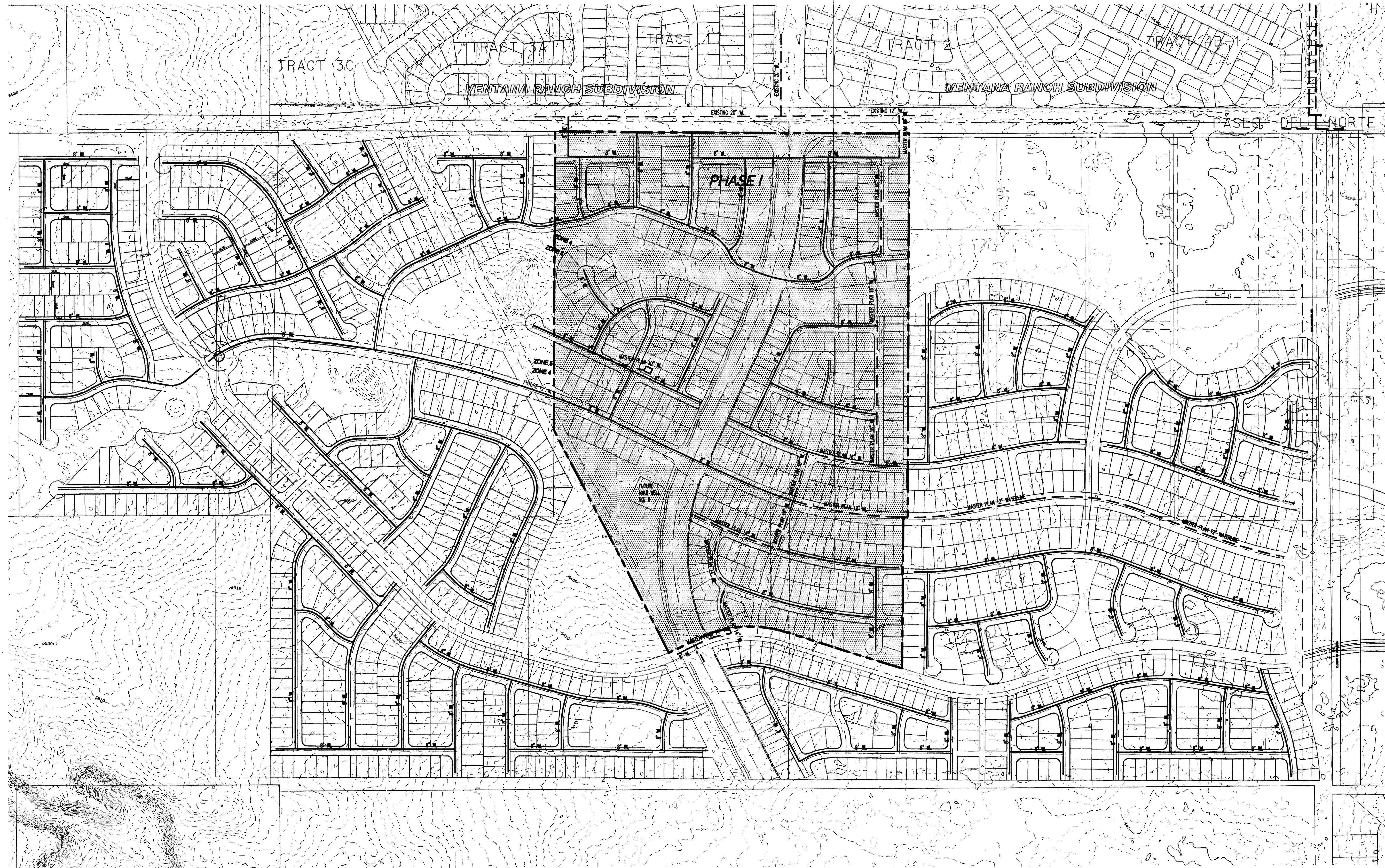
**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4336

ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

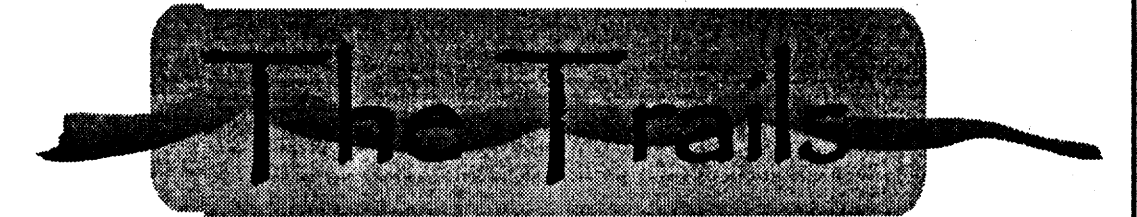


NOT TO SCALE



**LEGEND**

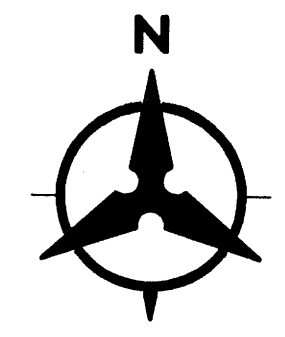
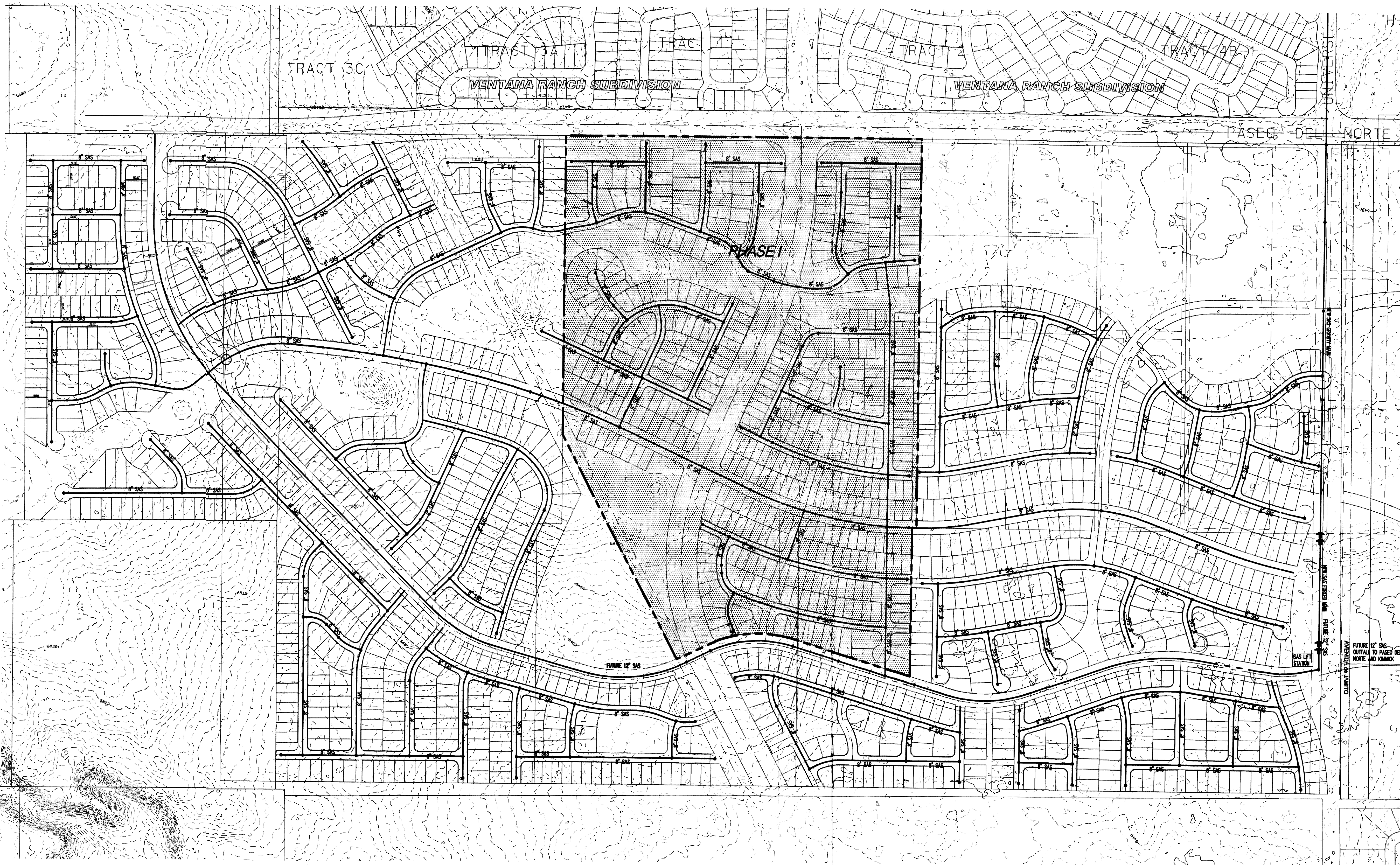
	PROPERTY LINE
	NEW EASEMENT
	8" SAS EXISTING SANITARY SEWER
	8" W EXISTING WATER LINE
	EXISTING STORM DRAIN
	EXISTING WATER METER
	EXISTING CAP
	EXISTING VALVE
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN
	PROPOSED SANITARY SEWER
	PROPOSED WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED VALVE
	PROPOSED HYDRANT
	PROPOSED CAP
	PROPOSED WATER METER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN
	PROPOSED STREET LIGHT



CONCEPTUAL MASTER WATER PLAN  
AUGUST 2003

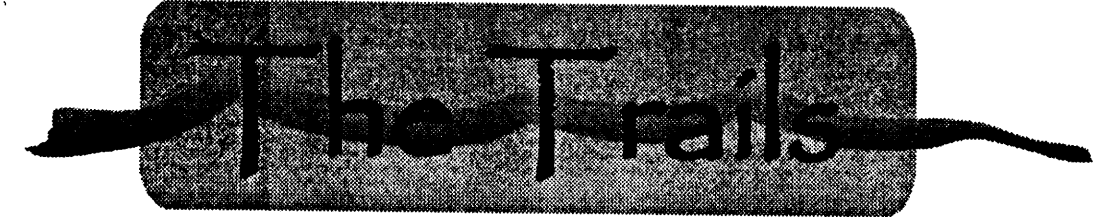
**Bohannon ▲ Huston**

Courtyard | 7000 Jefferson St. NE Albuquerque, NM 87100-4385  
ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES



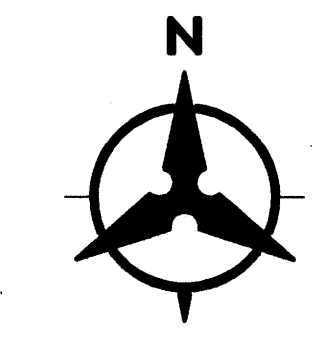
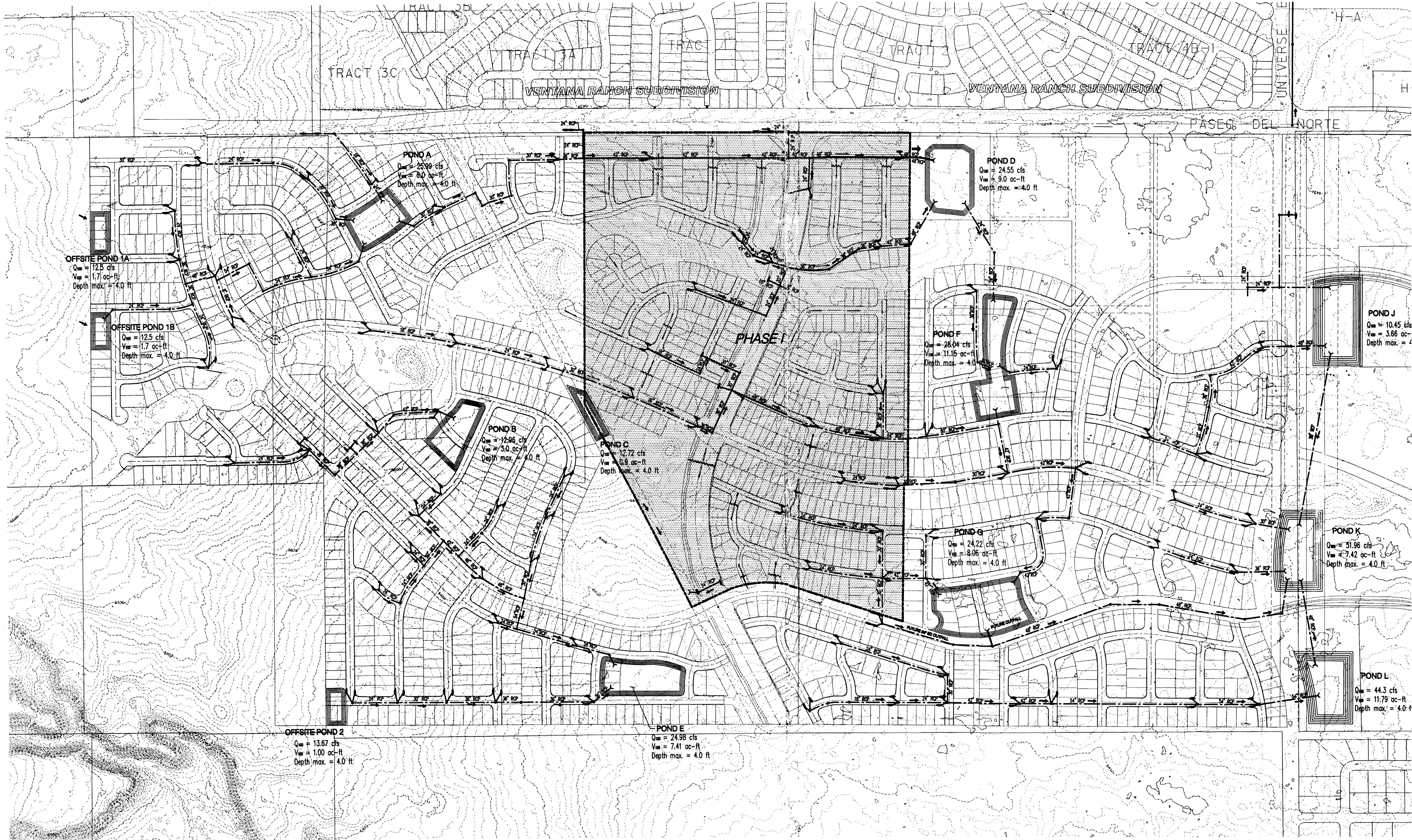
NOT TO SCALE

LEGEND	
—	PROPERTY LINE
—	NEW EASEMENT
— 8" SAS	EXISTING SANITARY SEWER
— 8" W	EXISTING WATER LINE
—	EXISTING STORM DRAIN
■	EXISTING WATER METER
□	EXISTING CAP
⊗	EXISTING VALVE
⊕	EXISTING FIRE HYDRANT
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN
— SAS	PROPOSED SANITARY SEWER
— W	PROPOSED WATER LINE
⊗	PROPOSED VALVE
⊕	PROPOSED HYDRANT
□	PROPOSED CAP
■	PROPOSED WATER METER
●	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED STORM DRAIN
*	PROPOSED STREET LIGHT







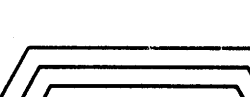

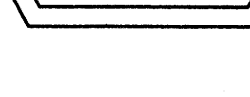
CONCEPTUAL MASTER SAS PLAN  
AUGUST 2003

**Bohannon ▲ Huston**  
 Courtyard | 7000 Jefferson St. NE Albuquerque, NM 87108-4386  
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES



NOT TO SCALE

**LEGEND**

-  PRIVATE PARK
-  PUBLIC PARK
-  TRAFFIC CIRCLE / ROUND ABOUT
-  TEMPORARY RETENTION / PERMANENT DETENTION-SURGE POND
-  PROPOSED STORM DRAIN
-  PROPOSED STORM DRAIN MANHOLE
-  PROPOSED STORM DRAIN INLET

**POND A**  
 $Q_{10} = 25.99$  cfs  
 $V_{10} = 8.0$  ac-ft  
 Depth max. = 4.0 ft

**POND D**  
 $Q_{10} = 24.55$  cfs  
 $V_{10} = 9.0$  ac-ft  
 Depth max. = 4.0 ft

**OFFSITE POND 1A**  
 $Q_{10} = 12.8$  cfs  
 $V_{10} = 1.7$  ac-ft  
 Depth max. = 4.0 ft

**POND J**  
 $Q_{10} = 10.45$  cfs  
 $V_{10} = 3.66$  ac-ft  
 Depth max. = 4.0 ft

**OFFSITE POND 1B**  
 $Q_{10} = 12.5$  cfs  
 $V_{10} = 1.7$  ac-ft  
 Depth max. = 4.0 ft

**POND F**  
 $Q_{10} = 28.04$  cfs  
 $V_{10} = 11.15$  ac-ft  
 Depth max. = 4.0 ft

**POND B**  
 $Q_{10} = 12.96$  cfs  
 $V_{10} = 3.0$  ac-ft  
 Depth max. = 4.0 ft

**POND C**  
 $Q_{10} = 12.72$  cfs  
 $V_{10} = 2.9$  ac-ft  
 Depth max. = 4.0 ft

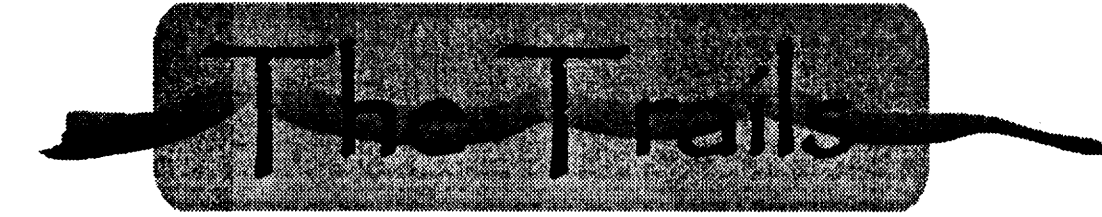
**POND K**  
 $Q_{10} = 31.96$  cfs  
 $V_{10} = 7.42$  ac-ft  
 Depth max. = 4.0 ft

**POND G**  
 $Q_{10} = 24.22$  cfs  
 $V_{10} = 8.06$  ac-ft  
 Depth max. = 4.0 ft

**OFFSITE POND 2**  
 $Q_{10} = 13.67$  cfs  
 $V_{10} = 1.00$  ac-ft  
 Depth max. = 4.0 ft

**POND E**  
 $Q_{10} = 24.98$  cfs  
 $V_{10} = 7.41$  ac-ft  
 Depth max. = 4.0 ft

**POND L**  
 $Q_{10} = 44.3$  cfs  
 $V_{10} = 11.79$  ac-ft  
 Depth max. = 4.0 ft



CONCEPTUAL MASTER DRAINAGE PLAN  
 AUGUST 2003

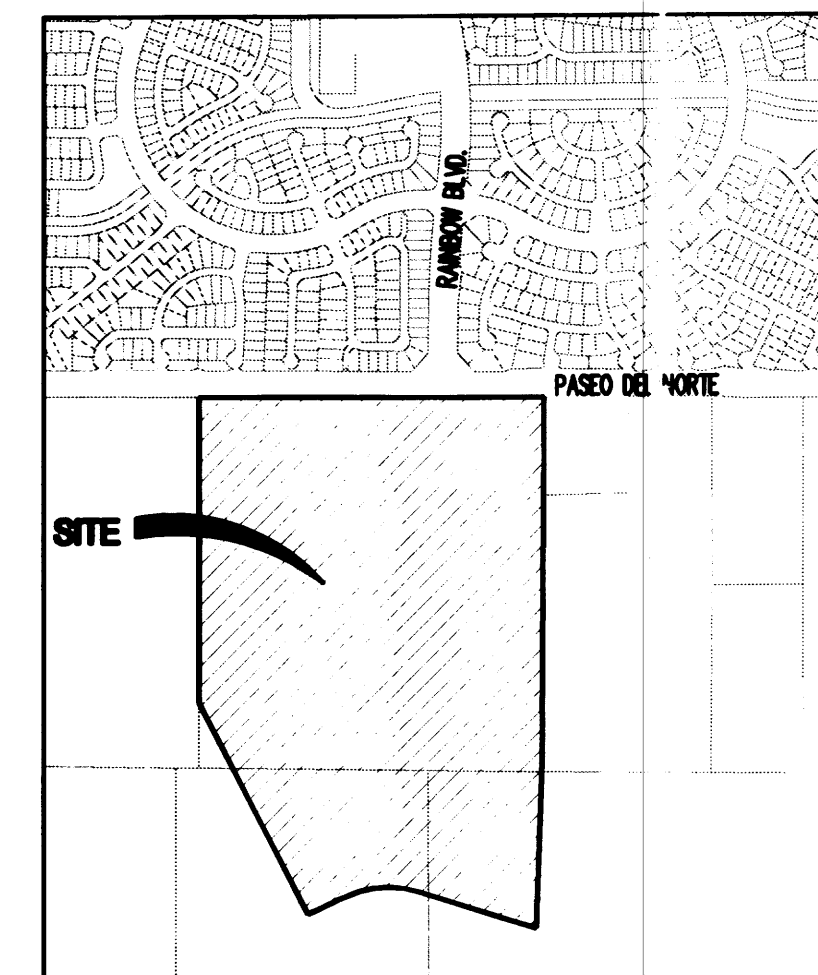
**Bohannon & Huston**  
 Courtyard I 7000 Jefferson St. NE Albuquerque, NM 87109-4898  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

# The Trails

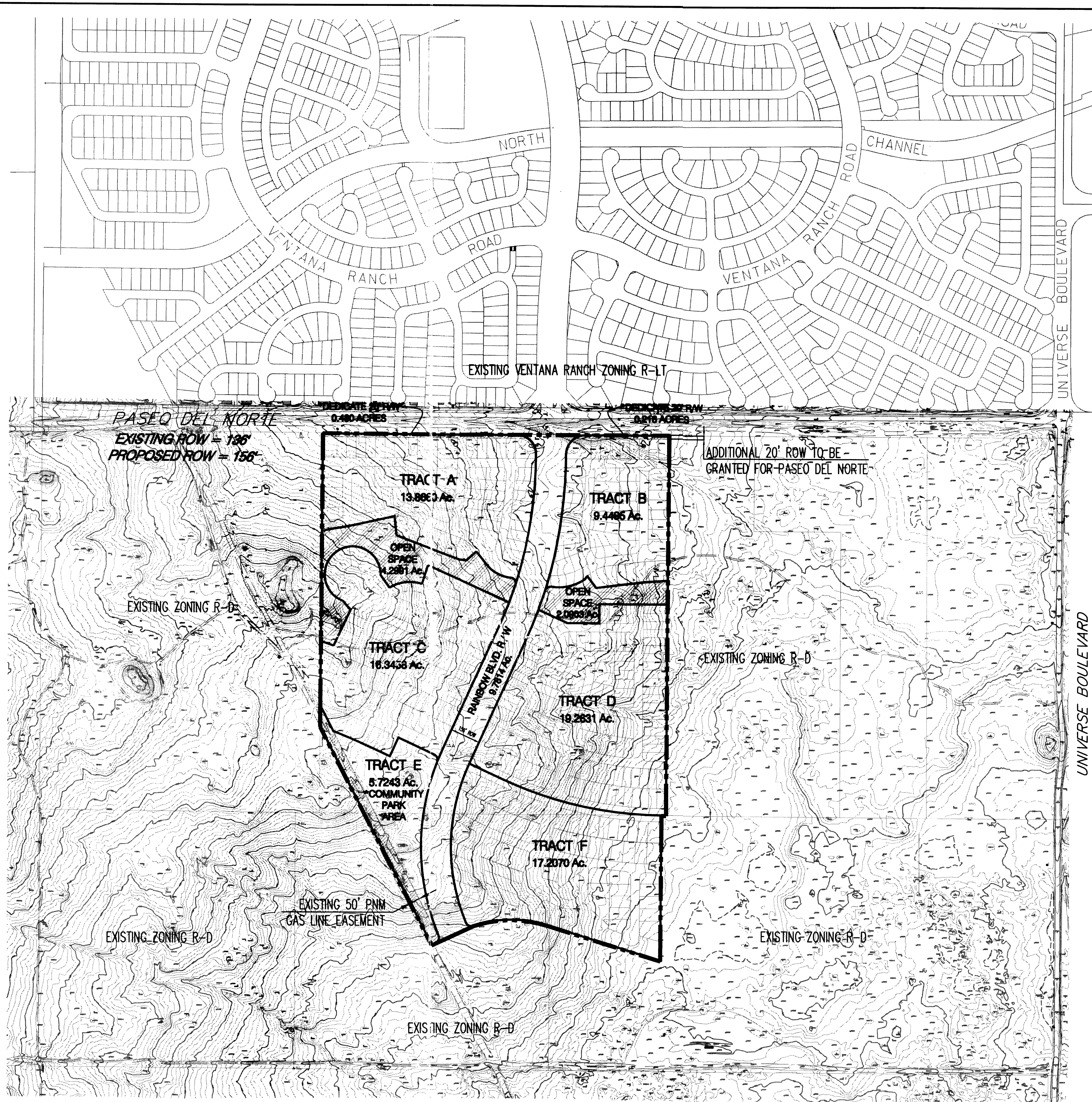
PHASE 1

SITE DEVELOPMENT PLAN  
FOR SUBDIVISION

SITE PLAN



LOCATION MAP  
ZONE ATLAS PAGE B9-Z & C9 Z  
NO SCALE



## GENERAL NOTES

- Existing zoning: RD - proposed zoning: no change.
- Lot size, setbacks and widths for individual subdivision parcels shall conform to the R-T zoning regulations.
- See roadway sections for row width and curb and gutter configuration.
- As described and permitted in Chapter 23 of the City of Albuquerque Development Process Manual, off street parking will be provided in accordance with The P-1, intermittent parking design standards. This is applicable where the roadway right-of-way and pavement widths within individual subdivisions equal 46' and 28' respectively.
- All internal subdivision residential roads are proposed to be 40' row w/ 28' f-f pavement section.
- Entry roadways to individual subdivisions are proposed to be 72' row w/divided entry/exit drive aisles.
- Subdivision lot layouts depicted are for general information only. Exact lot size, configuration, quantity and internal roadway configuration will vary.
- Community park and open space parcel sizes and configuration will be dependent on exact configuration of adjoining subdivision parcels.
- This site development plan package depicts the proposed development for "The Trails" subdivision. Minor modification to parcel boundaries and/or roadway alignments may occur following technical review by city staff. Such modifications, if applicable, will be addressed through the City of Albuquerque platting process.
- Community park area (w/easement) = 5.7243 acres  
Community park area (w/o easement) = 4.1774 acres.
- 20' r/w dedications for Paseo del Norte subtracted from Tracts A & B.

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

Utilities Development \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

\*Environmental Health Department (conditional) \_\_\_\_\_ Date \_\_\_\_\_

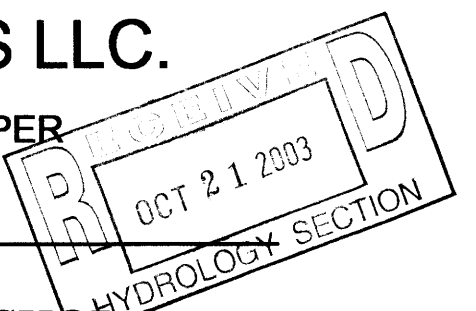
Solid Waste Management \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

\*Environmental Health, necessary 4-10-03

THE TRAILS LLC.

LAND DEVELOPER

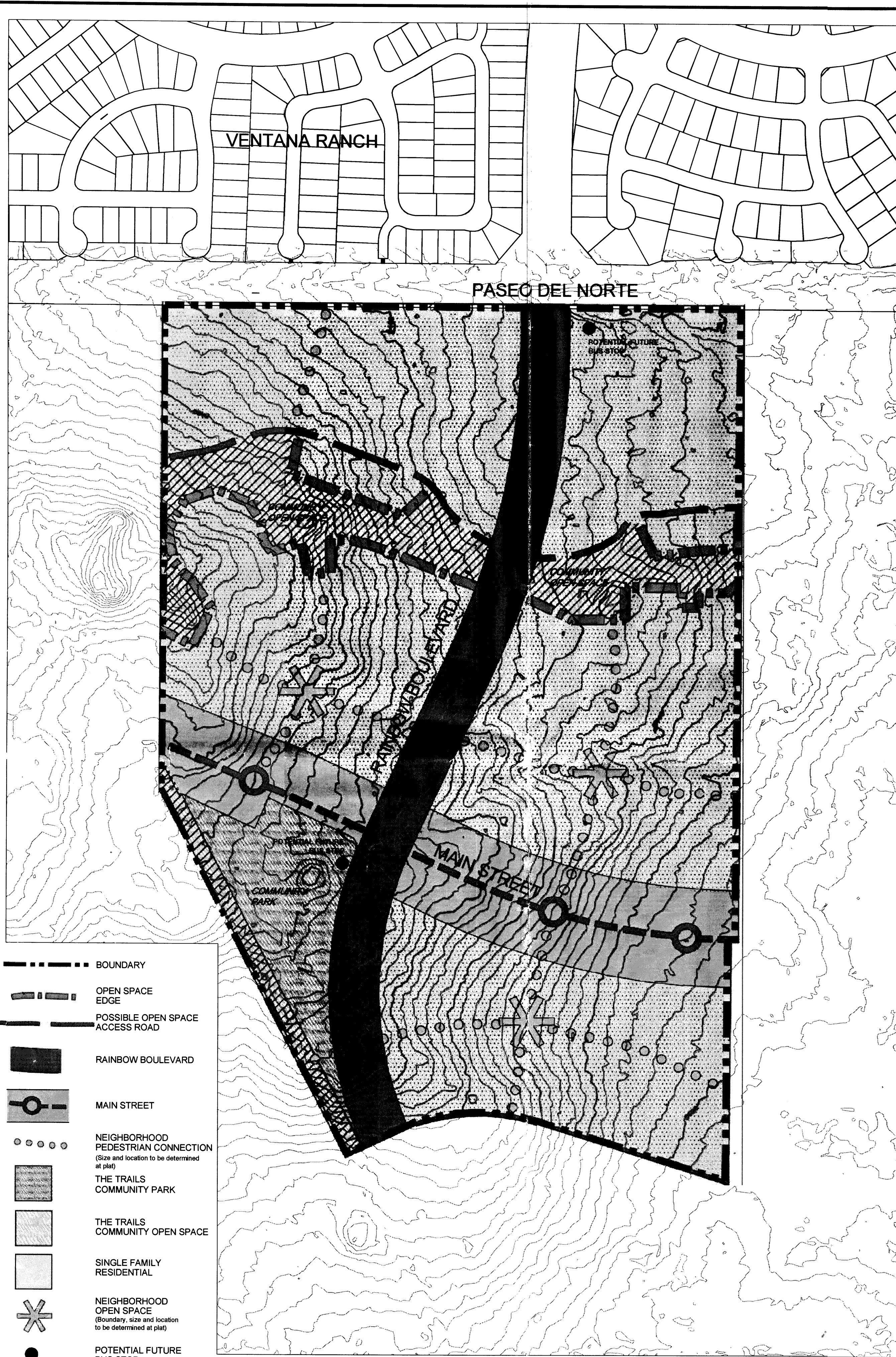


DESIGNWORKSHOP  
LAND PLANNING / LANDSCAPE ARCHITECTURE

DENISH - KLINE & ASSOCIATES  
PLANNING CONSULTANTS

BOHANNAN HUSTON  
CIVIL ENGINEERING

# SITE PLAN



# OVERALL CONCEPT PLAN

## Overall Concept

The Trails - the project name reflects the primary design concept for this new community. The Trails project emphasizes open space, native landscapes, pedestrian trails, walks and connections to create a diverse residential community.

The design is organized to highlight a series of basalt outcrops that exist on the property. These natural rocky high points relate the community design back to the geology that created this land and provide panoramic views of the surrounding natural environment—the basalt volcano peaks to the southwest, the Sandia Mountains to the east, and the winding Rio Grande valley in between. The project plan incorporates these outcrops into a community open space system 'backbone' of multi-use trails and native landscapes.

The individual residential neighborhoods are attached to this backbone and connected to each other by a system of neighborhood trails. From the point of view of the individual residence, neighborhood scale open space and sidewalks connect each residence with pathways to the walking and trails system of the community.

This concept of a walking residential environment is to be further celebrated in the design of a residential 'main street'. Paralleling the open space backbone, 'main street' is a pedestrian promenade that is the urban counterpart to the natural community open space trail. The tree lined median and parkway, pedestrian corner islands, and roundabouts are designed to encourage walking on this street.

At the regional level, all the major streets in The Trails emphasize pedestrian activity. Rainbow Boulevard is envisioned to be offset to one side in its right-of-way, creating a large pedestrian zone all along the west edge of the boulevard. Both sides of Rainbow Boulevard are intended to include multi-use trails that accommodate pedestrians, recreational bicyclists, and other non-motorized users. Rainbow Boulevard is noted as a bike route on the City of Albuquerque Long Range Trails plan.

The trail system is also integrated with a proposed park site. The Trails Community Park is shown on the southwest corner of the intersection of 'main street' and Rainbow Boulevard. This park is intended to be a major destination for the community. The park design will integrate recreational opportunities for toddlers, youths and adults. In future phases, this site will connect directly with another site reserved for public purposes.

## A Diverse Community

The Trails is intended to be a diverse residential community, with a broad economic range and a diversity of uses. Because the site is zoned R-D under the City of Albuquerque Comprehensive Zoning Code, the developer for The Trails has submitted this Site Development Plan for Subdivision. Its approval allows denser development patterns to accommodate families with a wider variety of incomes, in various stages of life, to live at The Trails.

## Part of a Larger Plan

The Trails submission is the beginning of a larger community design that will be presented to the City for review. The Trails is the first part of a sector plan intended to advance the concept of pedestrian environments that respect and enhance the natural landscape within a diverse community of residential, civic, and neighborhood scale commercial-retail services.

## Proposed Land Uses

The Trails site is located directly south of the intersection of Paseo del Norte and Rainbow Boulevard. The site is approximately 99 acres. The Trails is proposed as a single family residential development with tracts for community open space and parks. The Site Development Plan for Subdivision is submitted to obtain approval for allowed higher densities through the site plan process consistent with the provisions of the R-D zone. The Trails is subject to the requirements of the 'View Area' of the Northwest Mesa Escarpment Plan.

Maximum Total Dwelling Units: 450.

Lot Size Range: 3,800 to 7,000 square feet per lot.

Utility providers that have agreed to service this project are:

Water	New Mexico Utilities, Inc.
Sanitary sewer	New Mexico Utilities, Inc.
Electrical	PNM
Natural gas	PNM
Telephone	QWest
Cable	Comcast

## Circulation

### Pedestrian Ingress and Egress

Pedestrians will primarily enter The Trails from the intersection of Paseo del Norte and Rainbow Boulevard. Trails along Rainbow Boulevard are to be designed to create a pedestrian friendly landscaped route into The Trails project from Paseo del Norte. In addition, smaller neighborhood pedestrianways are to be designed from Paseo del Norte via pedestrian openings at cul-de-sacs and road ends into the north neighborhoods. Vehicle access controls are to be included as part of these openings. Internally, The Trails community-wide trail system and walkway connections within and between the neighborhoods are intended to create opportunities for all residents to be active pedestrians.

### Vehicular Ingress and Egress

Vehicles will also enter and leave The Trails by the Paseo del Norte and Rainbow Boulevard intersection. Both Paseo del Norte and Rainbow Boulevard are designated as principal arterials on the City of Albuquerque Long Range Roadways System Plan.

The Trails intends to dedicate right-of-way for Rainbow Boulevard from the intersection with Paseo del Norte to the south end of The Trails site. The Albuquerque Public Works Department has agreed to The Trails development building Rainbow Boulevard within the project site as a medianed four-lane road with bike lanes which would fulfill The Trails commitments to the development of Rainbow Boulevard. Future expansion of Rainbow Boulevard to a six-laned section is to be done by others.

The Trails intends to dedicate twenty feet of right-of-way along the project's Paseo del Norte frontage. This dedication will provide the City of Albuquerque with the full dedicated right-of-way needed for Paseo del Norte to be built as a major arterial. The project also intends to contribute to the mitigation of other off-site traffic impacts identified through the attached Traffic Impact Analysis by means of a development agreement with the City of Albuquerque.

### Street Design

Street designs for The Trails project have two objectives. First is to meet City of Albuquerque safety standards. Second is to be pedestrian friendly. Thus, each road uses the narrowest appropriate road cross-section within current City standards. Evolving national neighborhood street standards emphasize narrower streets to create safer pedestrian neighborhoods. Major intersections are to be designed to clearly mark pedestrian crossings. Along the roadways, other safe pedestrian crossings will be developed as appropriate. Walkways along all streets are to be separated from road edges to increase pedestrian safety. Creating a people friendly vs. auto focused community is of great importance to Albuquerque as a city and The Trails as a project. See Sheet 4 of this submission for general concepts for road cross-sections.

### Internal Vehicular Circulation Requirements

'Main street' will be a unique internal road - as much a community pedestrian promenade as a street. It is to be designed to be the urban counterpart to the main community trail. See the Main Street cross-section on Sheet 4 for the general design concept.

Other internal neighborhood streets are to be designed per the Neighborhood Street Cross-section on Sheet 4.

### Off-Street Parking Requirements

Off-street parking will be provided in accordance with the "P-1", Intermittent Parking Design Standard as described and permitted in Chapter 23 of the City of Albuquerque Development Process Manual.

### Transit Facilities

The Trails is not served by any current or planned City of Albuquerque transit routes. In anticipation of future transit routes, potential locations for future bus stops are noted on the Overall Concept Plan should the City desire in the future to pursue that opportunity.

# The Trails

## PHASE 1

### SITE DEVELOPMENT PLAN FOR SUBDIVISION

### OVERALL CONCEPT PLAN

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

#### DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\*Environmental Health, if necessary 4-10-03

## THE TRAILS LLC.

### LAND DEVELOPER

### DESIGNWORKSHOP

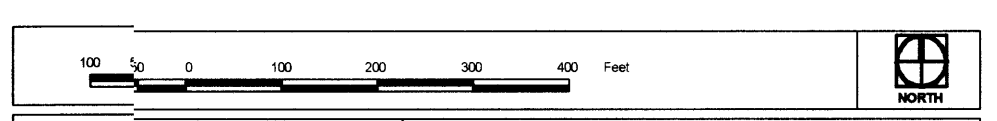
#### LAND PLANNING / LANDSCAPE ARCHITECTURE

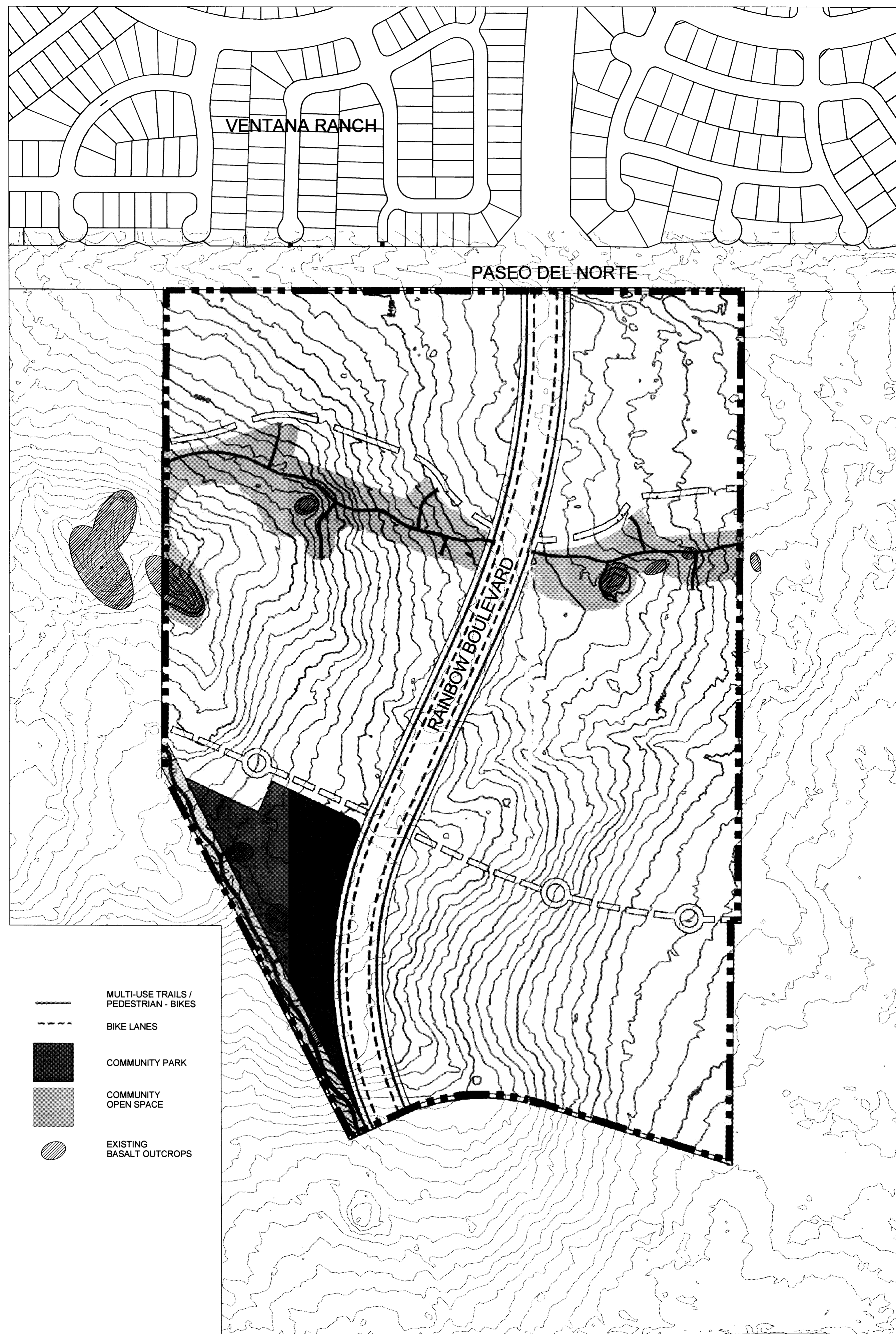
### DENISH - KLINE & ASSOCIATES

#### PLANNING CONSULTANTS

### BOHANNAN HUSTON

#### CIVIL ENGINEERING





# OPEN SPACE / PARKS PLAN

## Landscape Design

### Overall Concept

The Trails landscape concept combines colorful xeric natives and drought-tolerant plants with the existing natural landscape in the community open space.

The plant palettes in the Northwest Mesa Escarpment Plan are to be incorporated into The Trails landscaping as are the requirements of City water and plant ordinance. Developed landscape areas are to be designed with automatic irrigation systems that utilize water conserving low flow and drip components. Terrain management and erosion control requirements will be integrated into the landscape design.

### Community Open Space Landscaping

The majority of the Community Open Space at The Trails will be either existing natural areas or areas revegetated with a mixture of native trees, shrubs and ground covers. The mixture will as much as practical reflect the indigenous plants that exist on site today. To enhance the site's native species, existing plants—such as the magenta-flowered prickly pear cacti—where practical are to be transplanted from areas that are to be built upon to Community Open Space as part of the site-wide landscape approach. Limited portions of the Community Open Space will be improved with colorful native and drought-tolerant plants around high use areas such as trail heads and seating locations to act as buffers for the fragile native landscape. The Community Open Space will allow for drainage and water harvesting features that are integrated with the overall natural land pattern of the site. Where the drainage and water harvesting features occur, they are anticipated to be revegetated with a native plant mix and plants from the plant lists in the Northwest Mesa Escarpment Plan. The Community Open Space will be developed and initially maintained by The Trails developer with future maintenance by either a homeowners association, or other non-profit entity, or the City should it accept dedication of the open space.

### Community Park Landscaping

The Trails anticipates that a portion of the park will remain in its natural landscape condition. This natural area is intended to be a mini-botanical display using signs to interpret the indigenous plants of the site. The Trails development intends to educate and enhance appreciation of the value and uniqueness of the native high desert plants in the middle Rio Grande Valley.

A small area of the Community Park may have drought-tolerant turf to provide an active play area for residents to play ball or enjoy group activities. Colorful native and drought-tolerant plants will be used around the main activity areas of the park to act as a buffer to the more fragile native landscape.

An agreement is currently in process for dedication of the Community Park to the City of Albuquerque Parks and Recreation Department. The park will be developed and initially maintained by The Trails developer with future maintenance by either a homeowners association, or other non-profit entity, or the City as per the agreement for dedication of the park.

### Rainbow Boulevard Streetscape

The Rainbow Boulevard Streetscape design is to use native evergreens, such as junipers and pinons, and flowering native and drought-tolerant trees, shrubs, and perennials to create a colorful and water conserving landscape for the community. The Rainbow Boulevard Streetscape is envisioned as a pedestrian friendly zone where clusters of shade trees may be part of the landscape pattern. Drought tolerant tall grasses that blend with the native landscape are part of the planting concept. The Rainbow Boulevard Streetscape will be built and initially maintained by The Trails developer, with maintenance by a homeowners association or other non-profit entity or the City should it accept dedication of the street in the future. The general concept for the Rainbow Boulevard Streetscape is portrayed on Sheet 4.

### Neighborhood Streetscapes and Open Space Landscaping

Within The Trails neighborhoods, Neighborhood Streetscapes and Open Spaces are to be landscaped to conserve water and be visually pleasing and colorful. In the Neighborhood Streetscapes and Open Spaces, native and drought-tolerant trees, shrubs, and perennials will be allowed based on a plant palette designed specifically for The Trails.

The Neighborhood Streetscapes are to be designed with pedestrian sidewalks and low maintenance landscapes. Designs are to minimize water use. Turf areas will be limited in compliance with City of Albuquerque water conservation ordinances and limited to twenty-five percent of the Neighborhood Open Space.

The design of the Neighborhood Open Spaces are anticipated to be reviewed by The Trails developer for coordination with the community open space and trails concepts. The Neighborhood Streetscapes and Open Spaces will be developed and initially maintained by the neighborhood builder with future maintenance by a homeowners association or other non-profit entity.

### On-lot Landscaping

The Trails community intends, through builder and homeowner covenants, to educate and set guidelines for residential lots that encourage colorful xeric landscapes that celebrate the high desert plants of the Northwest Mesa and strongly limits the use of water-consuming plants. Turf lawns will be limited to a maximum of twenty-five percent of the residential lot. The Trails design guidelines will encourage use of plants marked as xeric or low water use by the local nursery industry. A minimum of one tree will be encouraged in the front yard of each lot to help reduce heat island effects of the overall development. Initial installation of front yard landscaping is to be a builder requirement with maintenance by the homeowner. Design review of the front yard landscape designs will be a homeowner association responsibility or other non-profit entity. It is anticipated that the City will enforce City planting and water conservation ordinances. The Trails developer intends to create illustrative examples of xeric front yard landscape for builders and homeowners to help educate and encourage positive compliance with the landscape covenants.

## Architectural Design

Design of structures at The Trails must comply with the height and color requirements for 'View Areas' of the Northwest Mesa Escarpment Plan. It is planned that the maximum single family residential building height will be in accordance with the R7 residential zone, which is below the allowed maximum building heights in the Northwest Mesa Escarpment Plan. Architectural standards for massing, finish materials and colors will be selected to complement the site's natural earth tones and to reflect the requirements of the Northwest Mesa Escarpment Plan.

The Trails will encourage neighborhood builders to follow the contours of the natural rolling landscape of the site and to accommodate long-range views from the basalt rock outcrops that are in the Community Open Space. The design of perimeter walls that define The Trails community are envisioned to be articulated and finished in textures and colors that complement the sage colored landscape and earth tones of the site and incorporate the requirements of the Northwest Mesa Escarpment Plan. Walls are to be a maximum of six feet from the high ground side. Along the community open space, the design of residential rear yard wall, will be encouraged, to maintain views into the open space. This serves two important purposes, it integrates the open space with the adjacent neighborhoods, and it creates sight lines into the open space which increases personal safety for users of the open space.

The Trails developer intends through builder and homeowner covenants to obtain conformance to architectural standards. A homeowner association design review board will have long-term design review responsibilities for the community architectural standards.

## Signage Design

The Trails will have a comprehensive signage plan for community monumentation, neighborhood entries, community directories, community directional signs, and temporary construction and sales signage. The Trails signage is to be designed with long-lasting durable materials. The community signage plan intends to be consistent with City of Albuquerque sign ordinances for overall size and placement. Traffic control signage will be coordinated to comply with City of Albuquerque standards.

## Lighting Design Concept

The Trails project will respond to New Mexico State 'Night Skies' policies. Shielded light fixtures will be encouraged on the exterior of all buildings. Street lighting will be coordinated and located with the Public Service Co. of New Mexico (PNM).

## Pedestrian Amenities

The trail and walkway system that connects and integrates The Trails community is to be the most important pedestrian amenity. The design of the trails system is to incorporate strategically located seating areas and walking distance markers related to the natural features of the land. The trails system will be designed to connect the neighborhoods with the Community Open Space, the Community Park, the 'Main Street' and in the future other public uses at The Trails.

Sidewalks developed along all neighborhood streets will be constructed of concrete. Community trails may be built from a variety of materials as most appropriate for their intended uses. Trails may be constructed of asphalt, concrete, stabilized soil, or crushed stones.

# The Trails

## PHASE 1

## SITE DEVELOPMENT PLAN FOR SUBDIVISION

## OPEN SPACE / PARK PLAN

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

### DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\*Environmental Health, if necessary 4-10-03

## THE TRAILS LLC.

LAND DEVELOPER

## DESIGNWORKSHOP

LAND PLANNING / LANDSCAPE ARCHITECTURE

## DENISH - KLINE & ASSOCIATES

PLANNING CONSULTANTS

## BOHANNAN HUSTON

CIVIL ENGINEERING

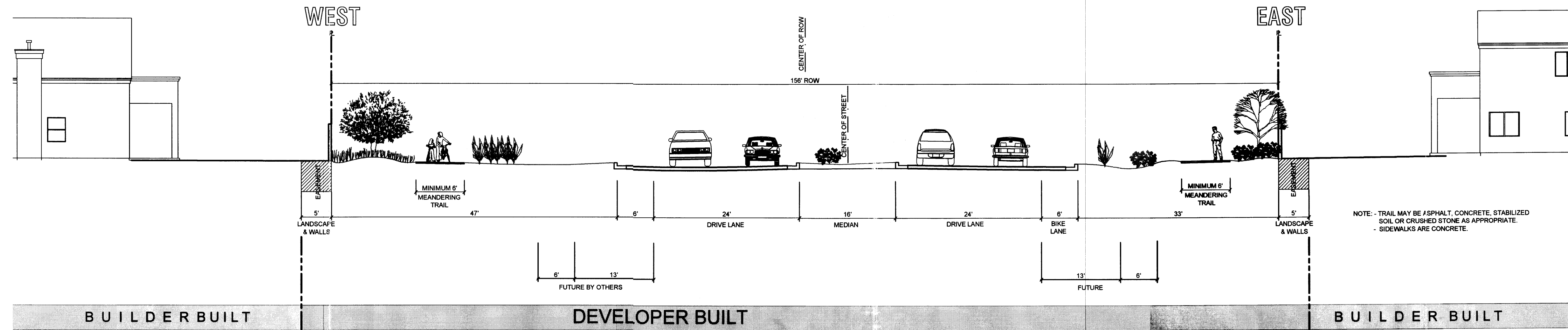


# The Trails

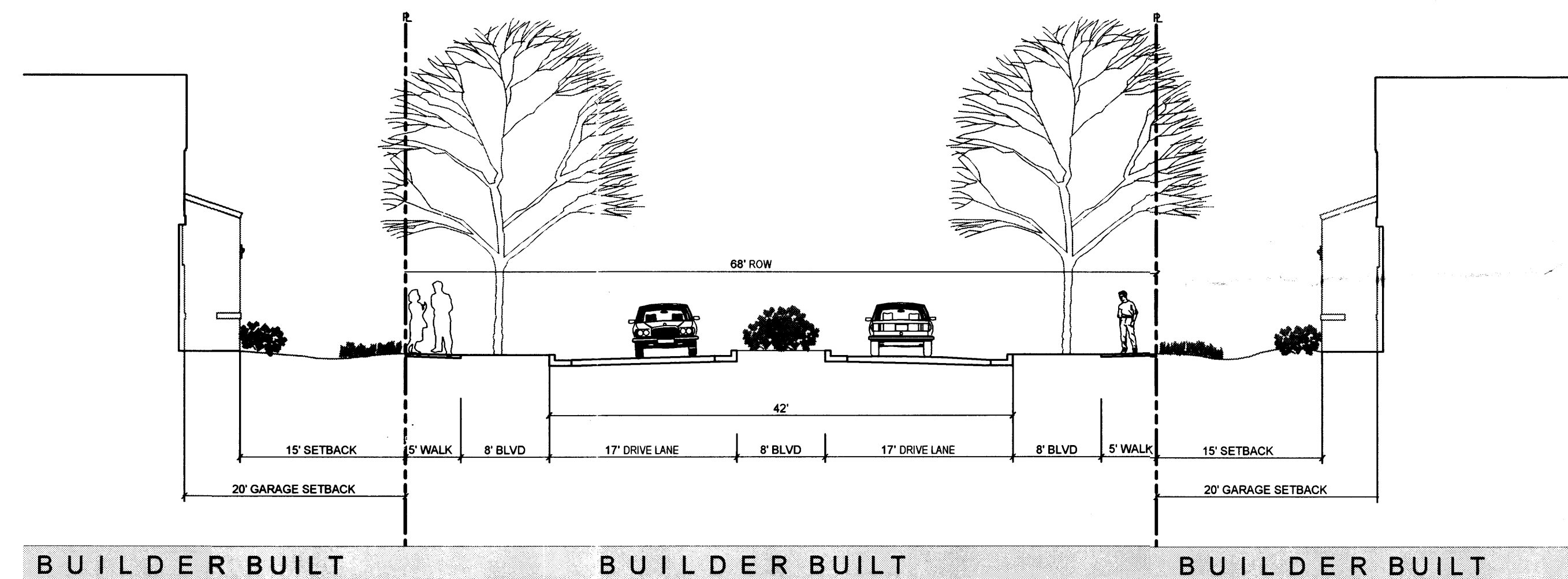
PHASE 1

## SITE DEVELOPMENT PLAN FOR SUBDIVISION

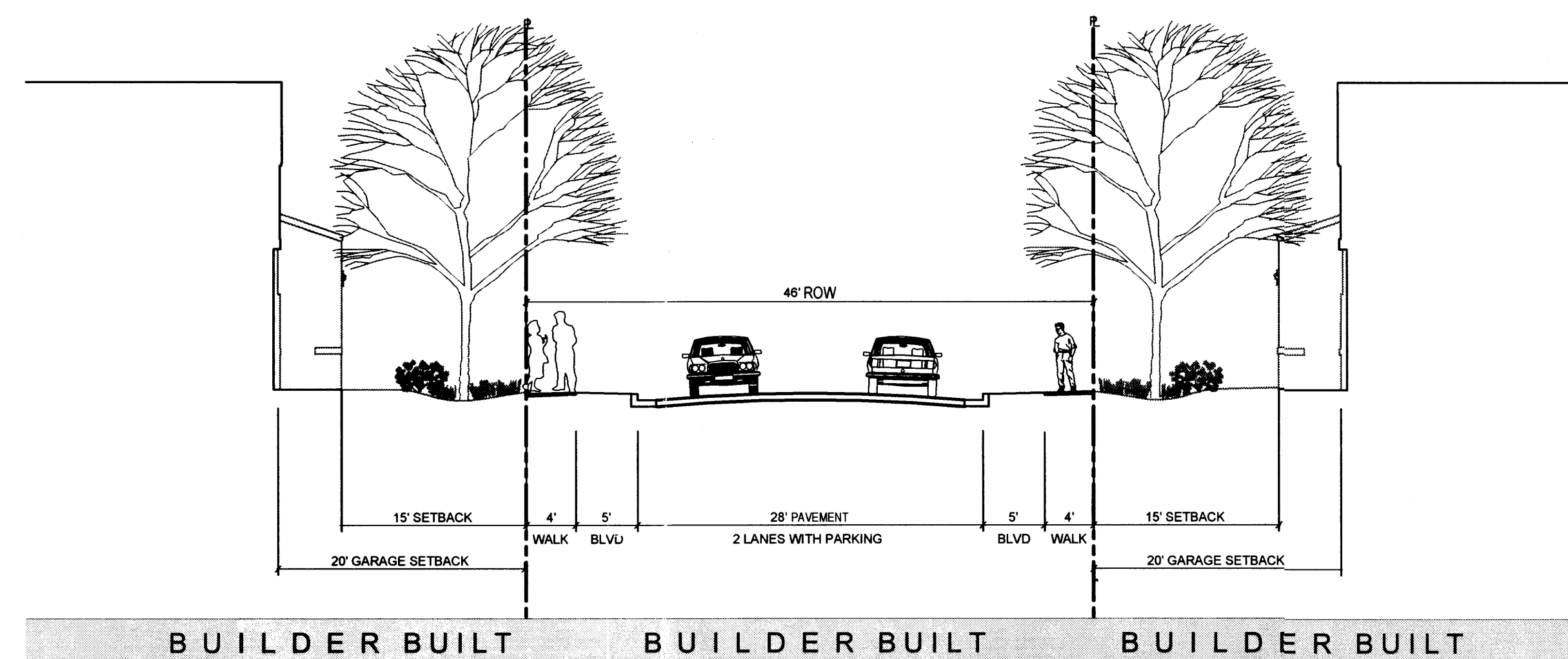
### ROAD CROSS SECTIONS



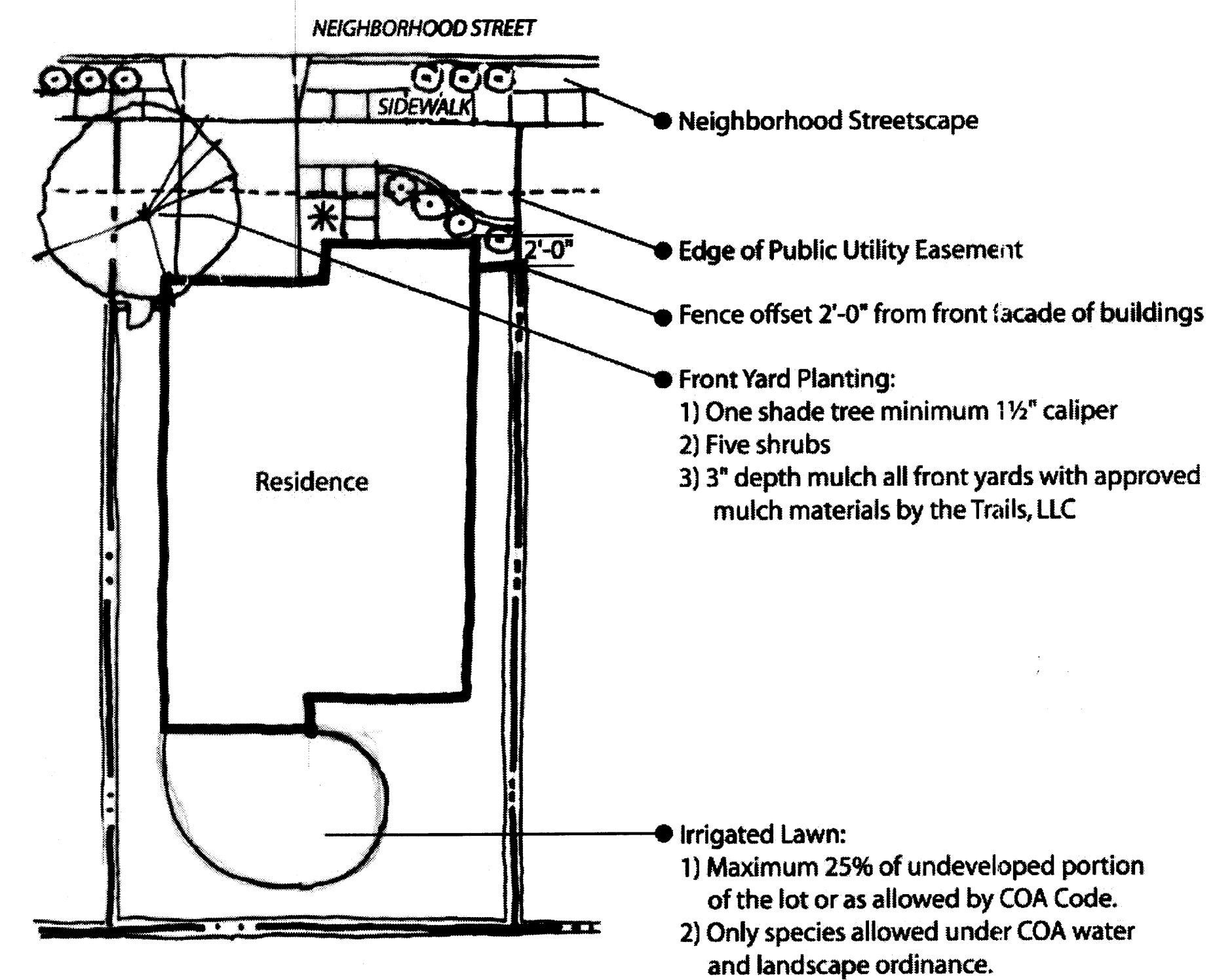
RAINBOW BOULEVARD CROSS-SECTION scale 1:10



MAIN STREET CROSS-SECTION scale 1:10



NEIGHBORHOOD STREET CROSS-SECTION scale 1:10



ON LOT LANDSCAPE REQUIREMENTS

Note: Homes will conform to the maximum building height in the RT zone.

Note: Cross-sections and plans are illustrative in nature and depict what could be built under this site development plan, but do not necessarily represent final design. Final cross-sections and plans will be subject to technical review at preliminary plat.

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

Utilities Development \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

Environmental Health Department (conditional) \_\_\_\_\_ Date \_\_\_\_\_

Solid Waste Management \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

1) If not required health, if necessary 4-10-03

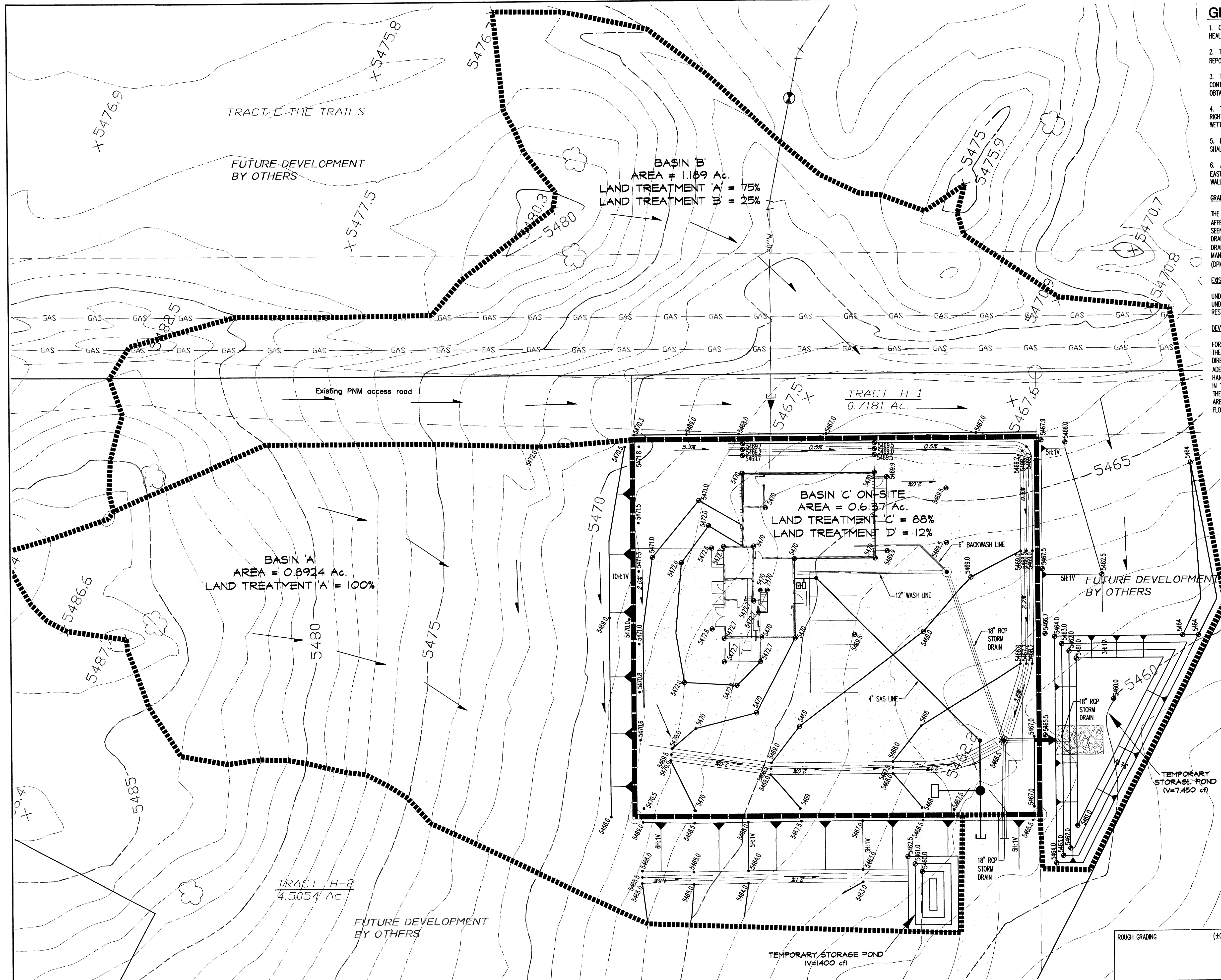
**THE TRAILS LLC.**  
LAND DEVELOPER

**DESIGNWORKSHOP**  
LAND PLANNING / LANDSCAPE ARCHITECTURE

**DENISH - KLINE & ASSOCIATES**  
PLANNING CONSULTANT

**BOHANNAN HUSTON**  
CIVIL ENGINEERING

DATE	PAGE
AUG. 28, 2003	4 OF 4



**GENERAL NOTES**

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATIONS AS NOTED IN THE SOILS REPORT BY VINYARD & ASSOCIATES DATED 10/2004 (V&A PROJECT #04-1-362).
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- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
- ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE, EXCEPT FOR WALL ON EAST SIDE. THIS WALL IS APPROXIMATELY 26' WEST OF THE EASTERN PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSES ONLY.

**GRADING AND DRAINAGE PLAN**

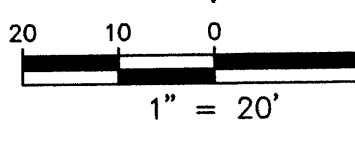
THE WELL SITE IS LOCATED ON A 0.7181 ACRE LOT WITH ONLY 0.6137 ACRES BEING AFFECTED. IT HAS TWO OFFSITE BASINS (SEE GRADING & DRAINAGE SHEET). AS CAN BE SEEN ON THE FEMA MAPPING EXHIBIT, THE SITE IS NOT SUSCEPTIBLE TO FLOODING. ALL DRAINAGE CALCULATIONS ARE DONE IN ACCORDANCE WITH THE BERNALILLO COUNTY DRAINAGE ORDINANCE (96-5) AND THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 22.2. THE DESIGN STORM IS THE 100-YEAR 6-HOUR STORM IN ZONE 1 (DPM CHAPTER 22, FIGURE A-1).

**EXISTING CONDITIONS**

UNDER EXISTING CONDITIONS THE PROJECT SITE IS UNDEVELOPED AND SURROUNDED BY UNDEVELOPED LAND. SINCE FUTURE OFFSITE FLOWS COMING ONTO THE SITE WOULD BE RESTRICTED TO PREDEVELOPMENT LEVELS, ONLY THE EXISTING OFFSITE BASINS ARE USED.

**DEVELOPED CONDITIONS**

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**LEGEND**

- FUTURE PROPERTY BOUNDARY
- BASIN BOUNDARY
- 91.62 91.62 PROPOSED SPOT ELEVATIONS
- × 92.46 EXISTING SPOT ELEVATIONS
- 5470 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
- PROPOSED SLOPE
- ← WALL DRAIN

**Bohannon & Huston, Inc.**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
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**NEW MEXICO UTILITIES, INC.**

**NEW MEXICO UTILITIES, INC.  
 WELL NO. 9 SITE DEVELOPMENT  
 GRADING AND DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Last Design Update			
City Project No.	Zone Map No.	Sheet	Of
	C-9-Z	1	2

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 November 15, 2004 - 1:34pm

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK BY	DATE
FIELD ACCEPTANCE BY	DATE
FIELD DRAWN BY	DATE
FIELD CHECKED BY	DATE
REVISIONS	DATE
DESIGN	DATE

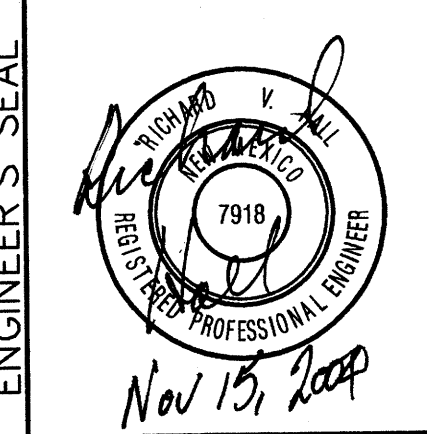
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FIELD NOTES	NO.
ACS BRASS TABLET STAMPED "UNION 1969"	
Geographic Position (NAD 1927)	
N.M. State Plane Coordinates (Central Zone)	
X= 353,409.02 Y= 1,523,440.96	
Ground-to-Grid Factor = 0.99966044	
M.C. = -0016'58"	
(NAD29 - Trng.) Elevation = 5922.0	

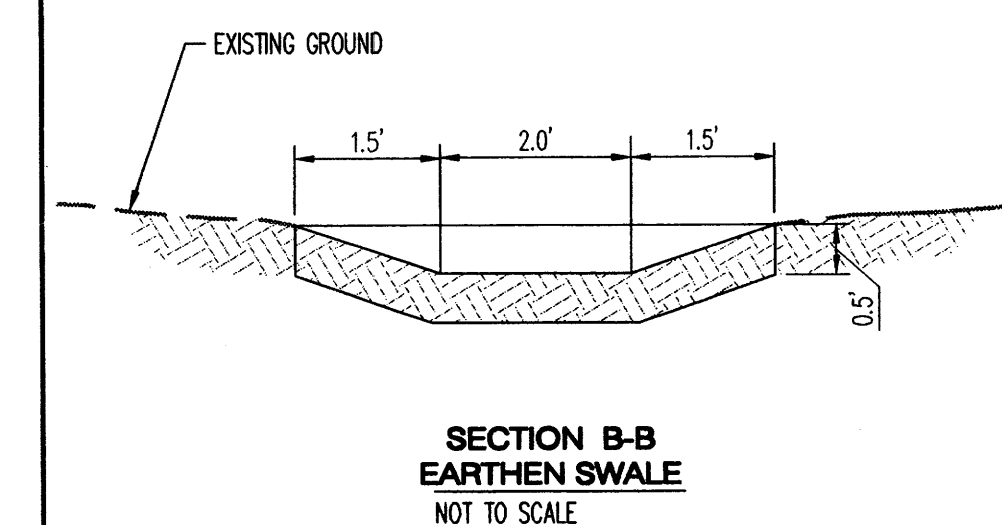
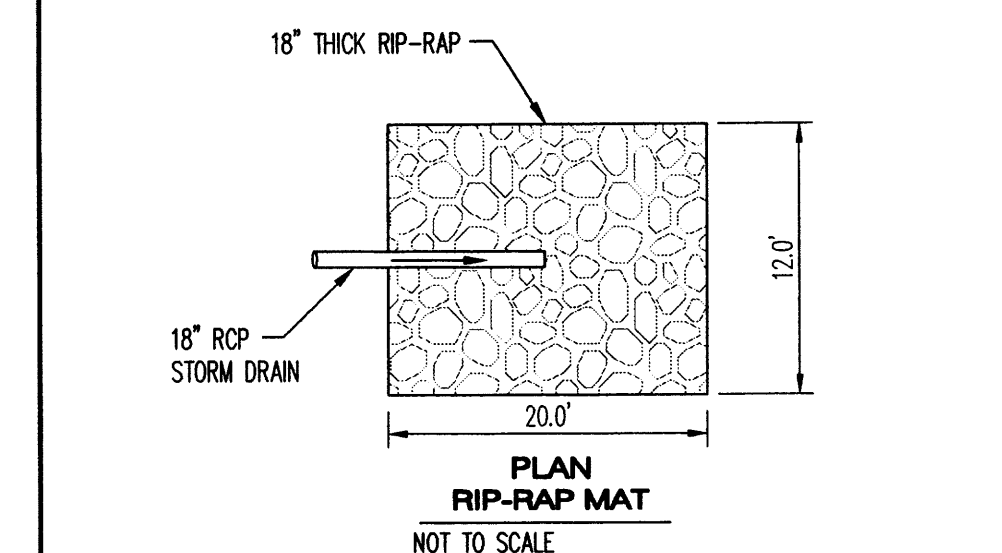
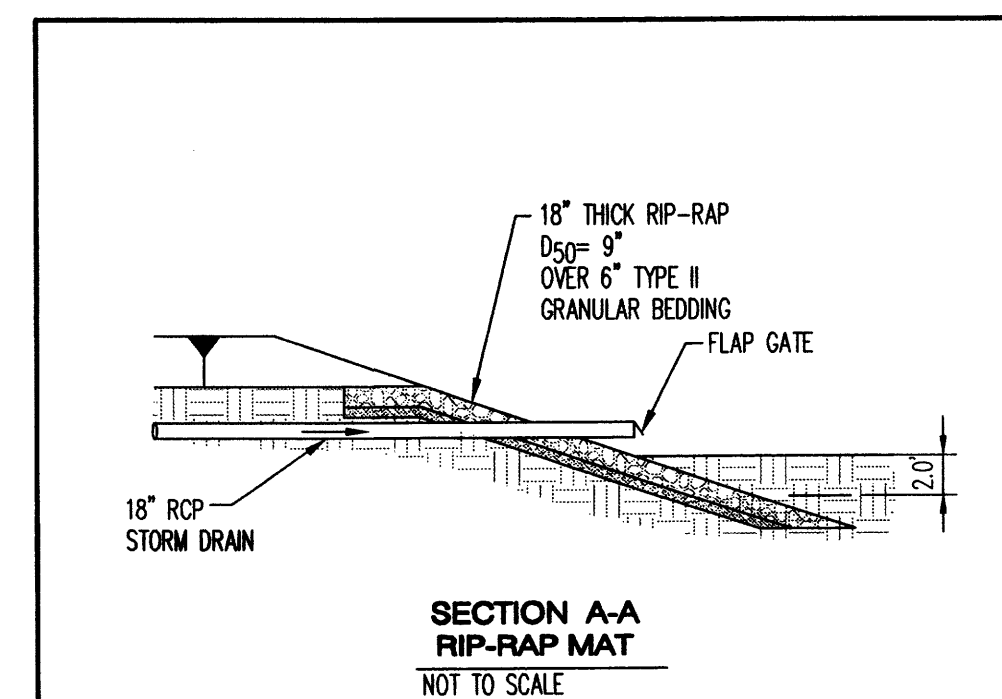
  

ENGINEER'S SEAL	
REVISIONS	DATE
By	DATE
By	DATE
By	DATE
By	DATE
By	DATE

MICROFILM INFORMATION	
RECORDED BY	DATE





ELEVATION	AREA (ft <sup>2</sup> )	INCREMENTAL VOLUME (ft <sup>3</sup> )	CUMULATIVE VOLUME (ft <sup>3</sup> )
5460.00	0.0		
5461.00	1279	639	639
5462.00	1893	1586	2225
5463.00	2594	2243	4468
5464.00	3372	2983	7451

Land Treatment	CFS/Acre	E- Excess Precipitation (6-hr)								
A	1.29	0.44								
B	2.03	0.67								
C	2.87	0.99								
D	4.37	1.97								
			<b>Areas of Land Treatments (%)</b>							
BASIN	Total Area (Ac.)	A	B	C	D	Flowrate <sup>1</sup> (cfs)	6-hr Volume <sup>2</sup> (cu. Ft.)	24-hr Volume <sup>3</sup> (cu. ft.)		
'A' OFF-SITE	0.8924	100	0.0	0.0	0.0	1.15	1424	1424		
'B' OFF-SITE	1.189	75	25	0.0	0.0	1.75	2148	2148		
'C' ON-SITE	0.6137	0.0	0.0	88	12	1.87	2544	2666		
<b>Total=</b>						<b>4.77</b>	<b>6116</b>	<b>6238</b>		

1. Flowrate = (CFS/Acre) \* Area

2. 6-hr Volume = weighted E \* (Aa+Ab+Ac+Ad) / 12 in/ft. \* (43560 sq.ft./acre) (Eq. a-6, page 22-14 DPM)

3. 24-hr Volume = weighted E \* (Aa+Ab+Ac+Ad) + Ab \* (P<sub>1440</sub> - P<sub>360</sub>) / 12 in/ft. \* (43560 sq.ft./acre) (Eq. a-7, page 22-14 DPM)

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AS-BUILT INFORMATION	
CONTRACTOR	DATE
UNION 1969"	
WORK BY	DATE
REVISIONS	DATE
APPROVED BY	DATE
REVISION BY	DATE
DATE	DATE
MICROFILM INFORMATION	
RECORDED BY	DATE
No.	

BENCH MARKS	
ACCS BRASS TABLET STAMPED	UNION 1969"
Geographic Position (NAD 1927)	
N.M. State Plane Coordinates (Central Zone)	
X= 353,409.02 Y= 1,523,440.96	
Ground-to-Grid Factor = 0.99966044	
ΔX = -00'16"58"	
(NGVD29-Trig) Elevation = 5522.0	

SURVEY INFORMATION	
FIELD NOTES	NO.
DATE	BY

ENGINEER'S SEAL

- LEGEND**
- FUTURE PROPERTY BOUNDARY
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  - 91.62 91.62 PROPOSED SPOT ELEVATIONS
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  - ← WALL DRAIN

**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**NEW MEXICO UTILITIES, INC.**

WELL NO. 9 SITE DEVELOPMENT GRADING AND DRAINAGE DETAILS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	C-9-Z	2	2

**GRADING REQUIREMENTS FOR LANDSCAPE IMPROVEMENTS WITHIN ROCK OUTCROPS**

ROCK OUTCROPS EXIST ON THIS SITE. THE CONTRACTOR SHALL GRADE THE SITE TO THE FINISHED GRADES AND ELEVATIONS SHOWN ON THIS PLAN. INCLUDED IN THE SITE GRADING IS ALL ROCK EXCAVATION NECESSARY FOR SITE GRADING, FOUNDATIONS, STRUCTURES, UTILITY AND LANDSCAPE IMPROVEMENTS. ALL AREAS RECEIVING LANDSCAPE IMPROVEMENTS SHALL BE FREE OF ROCK AND HAVE A MAXIMUM DENSITY OF 80% FOR A MINIMUM DEPTH OF 24 INCHES. SHRUBS SHALL REQUIRE A MINIMUM DEPTH OF 36" OVER A 5' DIAMETER AREA. TREES SHALL REQUIRE A 5' MINIMUM DEPTH OVER A 10' x 10' AREA. THE USE OF SPOIL MATERIAL FROM OTHER PORTIONS OF THE SITE IS ACCEPTABLE, SUBJECT TO COA SPECIFICATIONS. SEE LANDSCAPE PLANS FOR SOIL AMENDMENTS ASSOCIATED WITH LANDSCAPING AND PLANTING IMPROVEMENTS.

I CERTIFY THAT THE SITE EXISTING TOPOGRAPHY WAS BASED ON A PHYSICAL SURVEY OF THE PROPERTY AND THAT THE SITE HAS NOT BEEN DISTURBED EXCEPT FOR AN AREA APPROXIMATELY 150 FEET ON A SIDE CENTERED ON THE WELL HEAD. THAT AREA WAS MADE LEVEL DURING THE WELL DRILLING PROJECT.

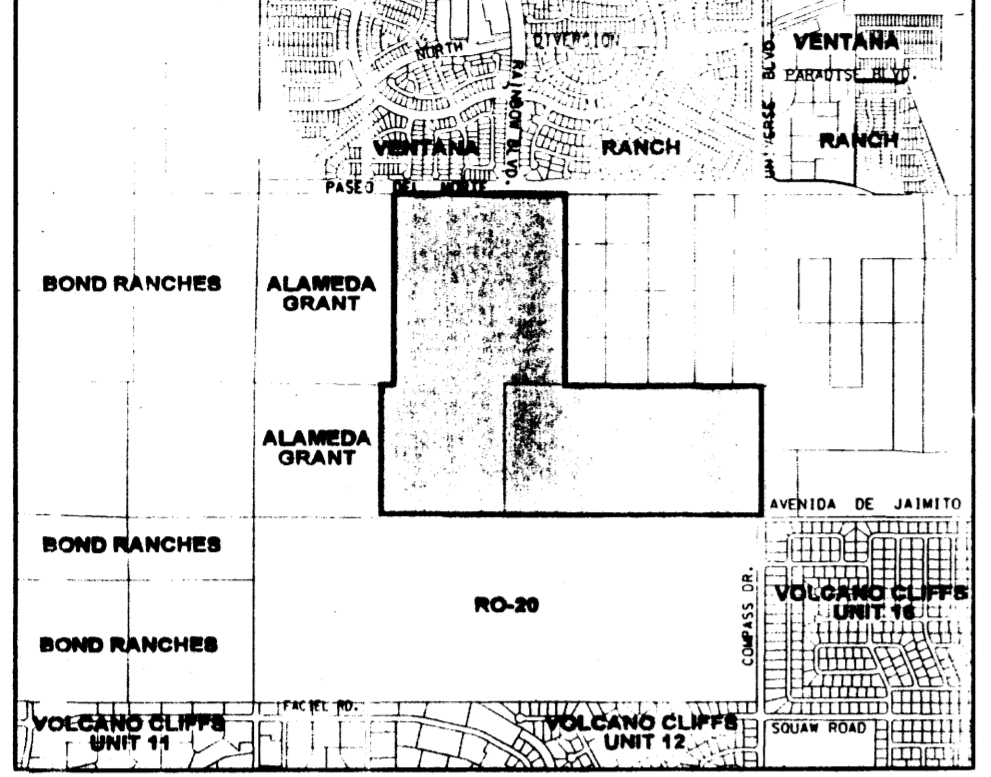
JAMES C. THOMTE

ROUGH GRADING (±0.5')

APPROVED FOR ROUGH GRADING DATE

Approved by KT 10/23/03

SP-2003352308



LOCATION MAP  
ZONE ATLAS INDEX MAP No. C-9-2  
NOT TO SCALE

**SUBDIVISION DATA**

- DRB No. 1002962.
- Zone Atlas Index No. C-9.
- Gross Subdivision Area: 200.9486 Acres.
- Total Number of Tracts created: Nine (9) Tracts.
- Total Mileage of full width Streets created: 0.062 mile
- Date of Survey: August, 2003.
- Plat is located within the Town of Alameda Grant, within projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian.
- Tract OS-1 and Tract OS-2 are Private Open Space areas that will be owned and maintained by The Trails HOA. There shall be no direct vehicular access from adjacent tracts, parcels, or lots.

**DISCLOSURE STATEMENT**

The purpose of this Plat is to subdivide 3 tracts into Nine (9) Tracts, to dedicate additional public street right-of-way to the City of Albuquerque, to grant easements, and to vacate a RW easement.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- PNM Electric Services for the installation, maintenance and service of underground/overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet(10') in front of transformers/switchgear door and five feet (5') on each side.

**DESCRIPTION**

A certain tract of land situate within the Town of Alameda Grant, in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being a portion of Tract 4, Black Ranch, comprising a tract of land described in the Special Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book A55, Page 9572, together with tract of land described in the Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1997 in Book 97-3, Page 2887, together with Parcel A as the same is described in the Real Estate Contract recorded in the office of the County Clerk of Bernalillo County, New Mexico on August 4, 2000 in Book A8, Page 6196, and now being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at the northeast corner of the tract herein described, whence the City of Albuquerque survey monument "2-810", having New Mexico State Plane Grid Coordinates for the Central Zone: X=357,543.73; Y=1,527,976.48, bears N30°11'05"E a distance of 4254.21 feet; thence along the easterly boundary line of the tract herein described, S00°05'59"W a distance of 1955.79 feet; thence, S89°38'20"E a distance of 2052.71 feet; thence, S00°16'09"W a distance of 1315.57 feet to the southeast corner of the tract herein described, said point being a point on the south boundary of the Town Of Alameda Grant, thence along said Grant boundary, N89°40'58"W a distance of 1064.88 feet to a BLM survey monument marking the 6-1/2 mile corner on said Grant; thence, N89°44'34"W a distance of 2642.13 feet to a BLM survey monument marking the 7 mile corner on said Grant; thence, N89°40'32"W a distance of 266.59 feet to the southwest corner of said Parcel A; thence along the westerly boundary line of the tract herein described, N00°15'19"E a distance of 1320.61 feet to a 1/2" rebar with a 1" survey cap marked "Grisco 8686" at the northwest corner of said Parcel A; thence, S89°38'17"E a distance of 121.33 feet; thence, N00°05'59"E a distance of 1951.06 feet to the northwest corner of the tract herein described; thence along the northerly boundary line of the tract herein described, S89°48'48"E a distance of 1799.86 to the point and place of beginning.

This tract contains 200.9486 acres, more or less.

**NOTES**

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927.
- Distances are ground distances.
- All easements of record are shown.
- These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
- Tracts A through G and OS-1 and OS-2 are subject to blanket easements, see sheets 2 and 3.
- No direct access to Puesto Del Norte allowed.

**DOCUMENT NOTE**

Additional documents used in the preparation of this plat:

- Warranty Deed from Horizon-Albuquerque Properties Corp. to Morris J. Winokur recorded May 19, 1960 in Volume D 543, folio 143.
- Warranty Deed from Horizon-Albuquerque Properties Corp. to Joan K. Buck recorded May 9, 1960 in Volume D541, folio 281.
- Warranty Deed from Horizon-Albuquerque Properties Corp. to Arnold Kesten and Benjamin Cohen recorded August 29, 1960.

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

- WATER AND SANITARY SEWER AVAILABILITY.
- FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS.
- PARK AND OPEN SPACE REQUIREMENTS.
- DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS.
- EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

**FREE CONSENT AND DEDICATION**

The foregoing plat of that certain tract of land situate within the Town of Alameda Grant, in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being a portion of Tract 4, Black Ranch, comprising a tract of land described in the Special Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book A55, Page 9572, together with tract of land described in the Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1997 in Book 97-3, Page 2887, together with Parcel A as the same is described in the Real Estate Contract recorded in the office of the County Clerk of Bernalillo County, New Mexico on August 4, 2000 in Book A8, Page 6196 is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and do hereby grant all Access, Utility, and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities thereon and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground/overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City. If work affects any improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or Encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or Encroachments, the Grantee shall, at its own expense take whatever protective measures are required to safeguard the improvements or Encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with its free act and deed.

Owner of the land described in the Special Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book A55, Page 9572, and the land described in the Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1997 in Book 97-3, Page 2887,

BY: *John K. Murtagh*  
John K. Murtagh, President  
The Trails, LLC

OFFICIAL SEAL  
REBECCA J. MONETTE  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My commission expires: 8/23/05

State of New Mexico )  
                                  ) SS  
County of Bernalillo )

This instrument was acknowledged before me on 10 Sept day of Sept, 2003, by  
John K. Murtagh, President of The Trails, LLC.

My Commission Expires: 8/23/2006 *Rebecca Monette*  
Notary Public

THE TRAILS COMMUNITY ASSOCIATION, INC.

BY: \_\_\_\_\_  
Frank Beck, President

STATE OF NEW MEXICO )  
                                  ) SS  
COUNTY OF BERNALILLO )

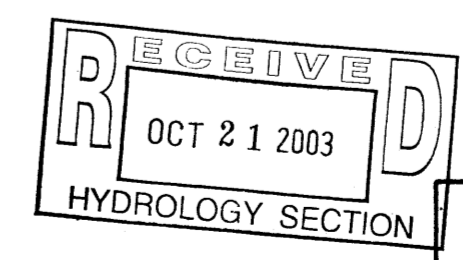
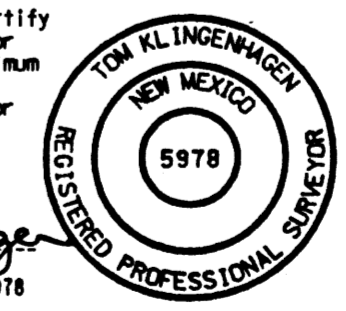
This instrument was acknowledged before me on \_\_\_\_\_, 2003 by  
Frank Beck, President of The Trails Community Association, Inc.

My Commission Expires: \_\_\_\_\_  
Notary Public

**SURVEYOR'S CERTIFICATION**

I, Thomas G. Klingshagen, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the minimum requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance. This is true and accurate to the best of my knowledge and belief.

*Thomas G. Klingshagen*  
Thomas G. Klingshagen  
New Mexico Professional Surveyor 5978  
Date: 9-8-03



**BULK PLAT OF THE TRAILS**  
(A REPLAT OF A PORTION OF TRACT 4 BLACK RANCH)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 2003

PROJECT NUMBER \_\_\_\_\_  
APPLICATION NUMBER \_\_\_\_\_

**PLAT APPROVAL**

UTILITY APPROVALS:

QWEST	<i>David R. Muller</i>	10-6-03
COMCAST CABLE	<i>Paul D. M...</i>	10-6-03
PNM ELECTRIC SERVICES	<i>Paul D. M...</i>	10-6-03
PNM GAS SERVICES	<i>Paul D. M...</i>	10-7-03
NEW MEXICO UTILITIES, INC.	<i>Paul D. M...</i>	10-7-03
CITY APPROVAL	<i>John B. J...</i>	9-11-03
CITY SURVEYOR		
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION		
UTILITIES DEVELOPMENT		
PARKS & RECREATION DEPARTMENT	<i>John M. M...</i>	10-20-03
A.M.A.F.C.A.		
CITY ENGINEER		
DRB CHAIRPERSON, PLANNING DEPARTMENT		
REAL PROPERTY DIVISION		

**TAX CERTIFICATION**

PROPERTY OWNER OF RECORD \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE \_\_\_\_\_ DATE \_\_\_\_\_

**PNM STAMP**

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**Bohannon & Huston**

Courtyard I 7500 Jefferson St NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - EXISTING (ORIGINAL) TRACT LINE
- - - SECTION LINE
- - - RIGHT OF WAY
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- 5/8" REBAR WITH 1 1/4" RED PLASTIC SURVEY CAP STAMPED "LS 5978"
- FOUND 1/2" REBAR W/YELLOW CAP STAMPED "G GRITSKO B686" IN ROCK MOUND
- FOUND USGLO BRASS CAP STAMPED "TA, CC, S16, S15, 1911"
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

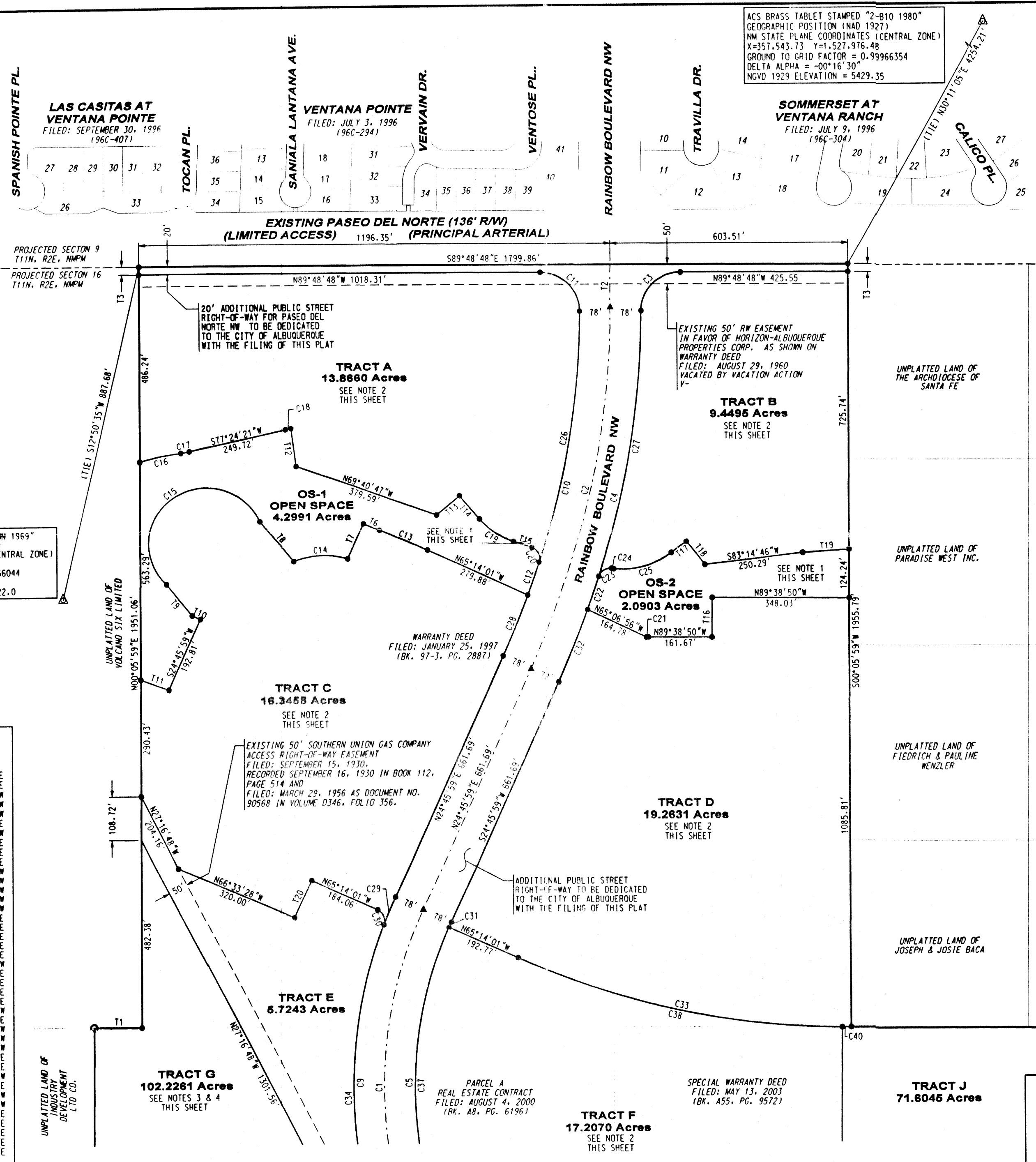
**TANGENT DATA**

ID	BEARING	DISTANCE
T1	S89°38'17"E	121.33'
T2	N00°10'51"E	110.61'
T3	S00°05'59"W	20.00'
T4	S63°55'34"W	8.64'
T5	S63°55'34"W	106.94'
T6	N66°32'14"W	45.00'
T7	S23°27'56"W	101.23'
T8	N39°49'52"W	136.90'
T9	N39°49'52"W	102.95'
T10	N65°14'01"W	22.79'
T11	N70°30'08"W	75.91'
T12	N07°32'45"W	98.18'
T13	S49°04'00"W	76.99'
T14	N39°31'52"W	79.73'
T15	N65°40'47"W	49.86'
T16	S00°21'10"W	100.00'
T17	S52°22'50"W	48.21'
T18	N37°37'10"W	76.44'
T19	S86°05'49"W	118.01'
T20	S24°45'59"W	104.47'
T21	S63°55'34"W	10.97'
T22	S63°55'34"W	126.54'

**CURVE DATA**

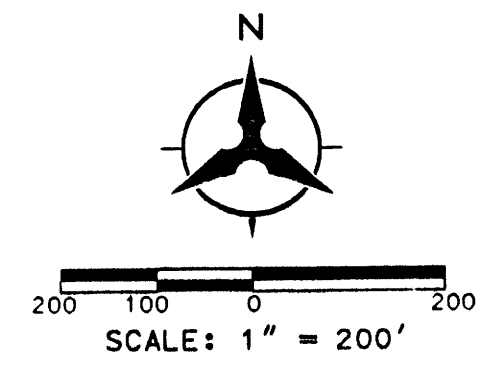
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	49°19'15"	505.02'	946.89'	1100.00'	917.93'	N00°06'22"E
C2	24°35'08"	490.28'	965.47'	2250.00'	958.08'	N12°28'25"E
C3	89°47'02"	99.62'	156.70'	100.00'	141.15'	S45°17'41"W
C4	24°21'48"	502.56'	989.92'	2328.00'	982.48'	S12°35'05"W
C5	47°51'37"	453.59'	853.79'	1022.00'	829.18'	S00°50'01"W
C6	84°12'22"	27.11'	44.09'	30.00'	40.23'	S65°12'08"E
C7	08°46'07"	48.15'	96.11'	628.00'	96.02'	S68°18'37"W
C8	87°11'33"	28.56'	45.65'	30.00'	41.37'	N20°19'47"E
C9	48°01'58"	524.88'	987.55'	1178.00'	958.89'	N00°45'00"E
C10	24°19'35"	468.14'	922.18'	2172.00'	915.27'	N12°35'11"E
C11	90°15'12"	100.44'	157.52'	100.00'	141.73'	N44°41'12"W
C12	02°21'30"	44.71'	89.40'	2172.00'	89.40'	S19°14'35"W
C13	01°18'04"	66.32'	132.63'	5841.00'	132.62'	N65°53'03"W
C14	39°28'24"	72.83'	139.86'	203.00'	137.11'	S87°33'04"W
C15	203°35'05"	520.55'	146.50'	286.82'	555.36'	S23°36'23"W
C16	09°49'03"	53.42'	106.58'	622.00'	106.45'	N78°37'58"E
C17	06°08'08"	10.88'	21.74'	203.00'	21.73'	N80°28'25"E
C18	05°02'54"	6.92'	13.83'	151.00'	13.83'	N79°55'48"E
C19	30°08'55"	54.68'	106.82'	203.00'	105.59'	S54°36'19"E
C20	87°44'37"	28.84'	45.94'	30.00'	41.58'	S25°48'28"E
C21	02°51'03"	2.44'	4.88'	98.00'	4.88'	S88°55'38"W
C22	02°12'24"	44.84'	89.66'	2328.00'	89.66'	N18°53'34"E
C23	80°21'37"	25.33'	42.08'	30.00'	38.71'	N57°58'08"E
C24	00°30'10"	81.77'	5.55'	628.00'	5.55'	S81°35'59"E
C25	43°58'04"	81.99'	155.84'	203.00'	152.04'	N74°22'22"E
C26	17°37'27"	336.71'	668.10'	2172.00'	665.47'	S09°15'07"W
C27	17°23'09"	355.94'	706.41'	2328.00'	703.70'	N09°05'45"E
C28	04°20'39"	82.38'	164.68'	2172.00'	164.64'	S22°35'40"W
C29	03°44'23"	38.46'	76.89'	1178.00'	76.88'	S22°53'47"W
C30	86°15'37"	28.10'	45.17'	30.00'	41.02'	N22°06'13"W
C31	00°49'45"	7.40'	14.79'	1022.00'	14.79'	S41°21'06"E
C32	04°46'16"	96.98'	193.85'	2328.00'	193.79'	N22°22'50"E
C33	24°57'59"	442.78'	871.49'	2000.00'	864.62'	N77°43'01"W
C34	44°17'35"	479.45'	910.66'	1178.00'	888.16'	S01°07'12"E
C35	00°58'11"	5.69'	11.37'	672.00'	11.37'	S64°23'31"W
C36	34°29'59"	195.00'	378.14'	628.00'	372.45'	S89°56'40"W
C37	47°02'11"	444.76'	839.00'	1022.00'	815.64'	N00°25'08"E
C38	24°18'44"	430.81'	848.66'	2000.00'	842.31'	S77°23'23"E
C39	43°16'06"	249.08'	474.25'	628.00'	463.06'	N85°33'37"E
C40	00°39'15"	11.42'	22.83'	2000.00'	22.83'	S89°52'23"E
C41	02°43'32"	26.17'	52.33'	1100.00'	52.32'	S25°55'02"E

ACS BRASS TABLE STAMPED "UNION 1969"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=353,409.02 Y=1,527,440.96  
GROUND TO GRID FACTOR = 0.99966044  
DELTA ALPHA = -00°16'58"  
NGVD 1929 TRIG ELEVATION = 5522.0



ACS BRASS TABLE STAMPED "2-B10 1980"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=357,543.73 Y=1,527,976.48  
GROUND TO GRID FACTOR = 0.99966354  
DELTA ALPHA = -00°16'30"  
NGVD 1929 ELEVATION = 5429.35

**BULK PLAT OF THE TRAILS**  
(A REPLAT OF A PORTION OF TRACT 4 BLACK RANCH)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 2003



**BLANKET EASEMENT NOTES**

1. Tracts OS-1 and OS-2 are subject to a blanket easement for public access, public water, public sanitary sewer and public storm drain easements to be granted to the City of Albuquerque with the filing of this plat.
2. Tracts A, B, C, D, E, & F are subject to a blanket easement for public cross-lot storm drain, public water, and public sanitary sewer easements to be granted to the City of Albuquerque with the filing of this plat.
3. Tract G is subject to a blanket easement for public access, public storm drain, public water and public sanitary sewer easements to be granted to the City of Albuquerque with the filing of this plat.
4. Tract G is subject to a public water easement for a future well site to be granted to the City of Albuquerque with the filing of this plat.

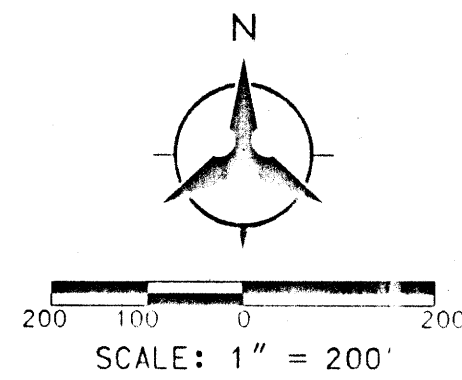


SHEET 2  
SHEET 3

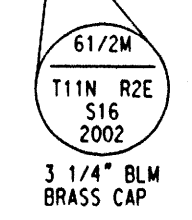
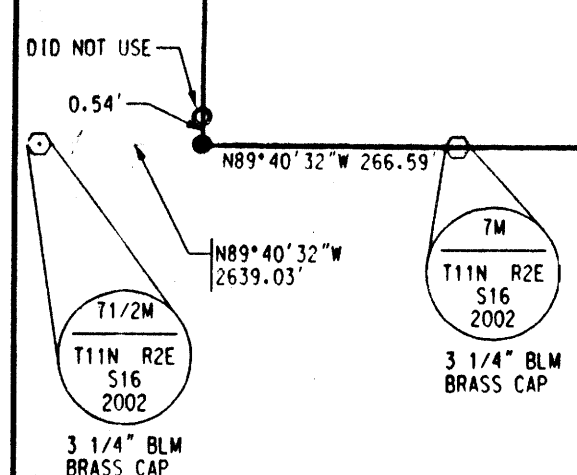
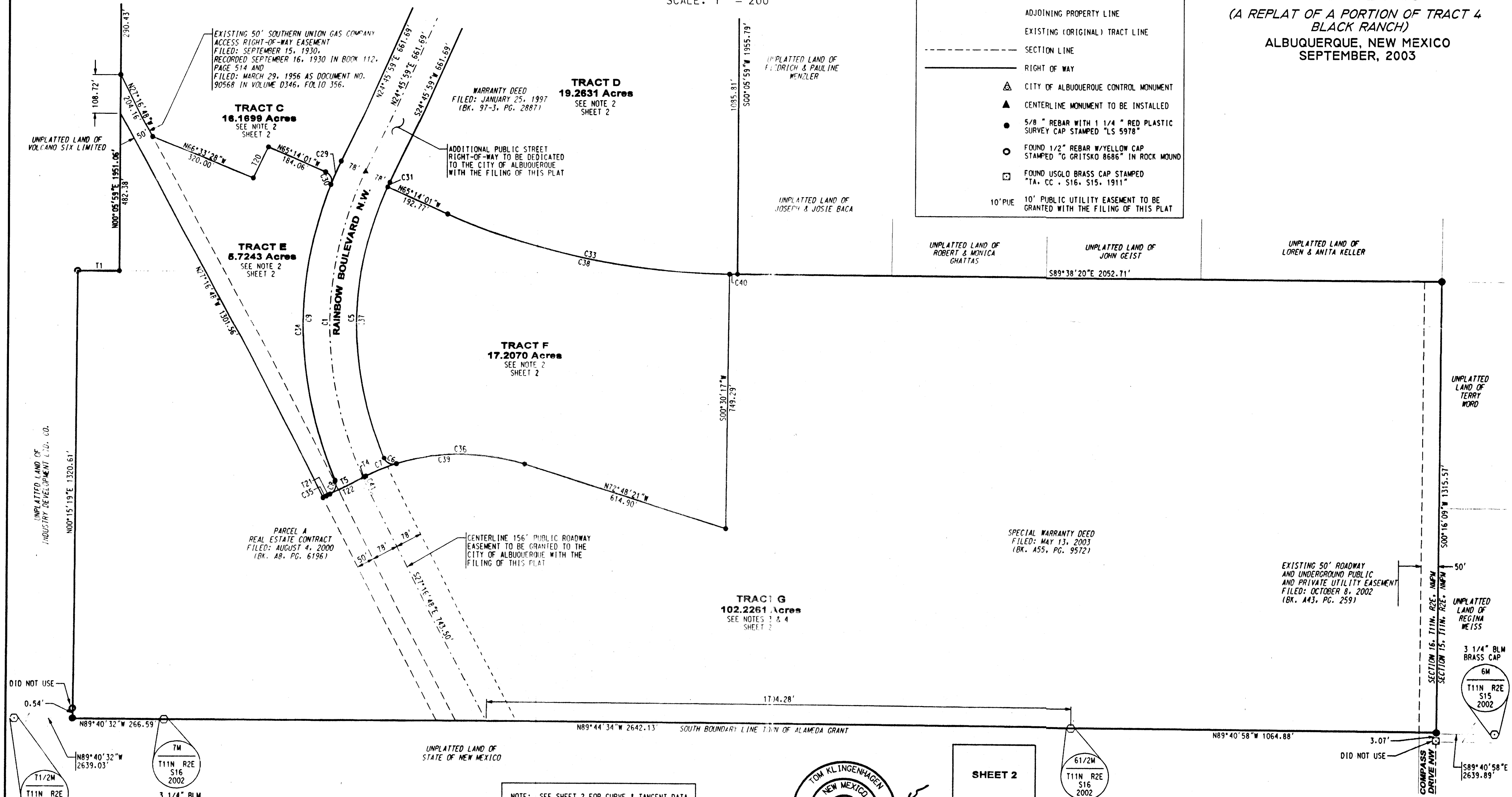
**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

PRELIMINARY  
 APPROVED BY  
 ON 10/22/03

**BULK PLAT OF  
 THE TRAILS**  
 (A REPLAT OF A PORTION OF TRACT 4  
 BLACK RANCH)  
 ALBUQUERQUE, NEW MEXICO  
 SEPTEMBER, 2003



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (ORIGINAL) TRACT LINE
	SECTION LINE
	RIGHT OF WAY
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	5/8" REBAR WITH 1 1/4" RED PLASTIC SURVEY CAP STAMPED "LS 5978"
	FOUND 1/2" REBAR W/YELLOW CAP STAMPED "G GRITSKO 8686" IN ROCK MOUND
	FOUND USGLO BRASS CAP STAMPED "TA. CC. S16. S15. 1911"
	10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

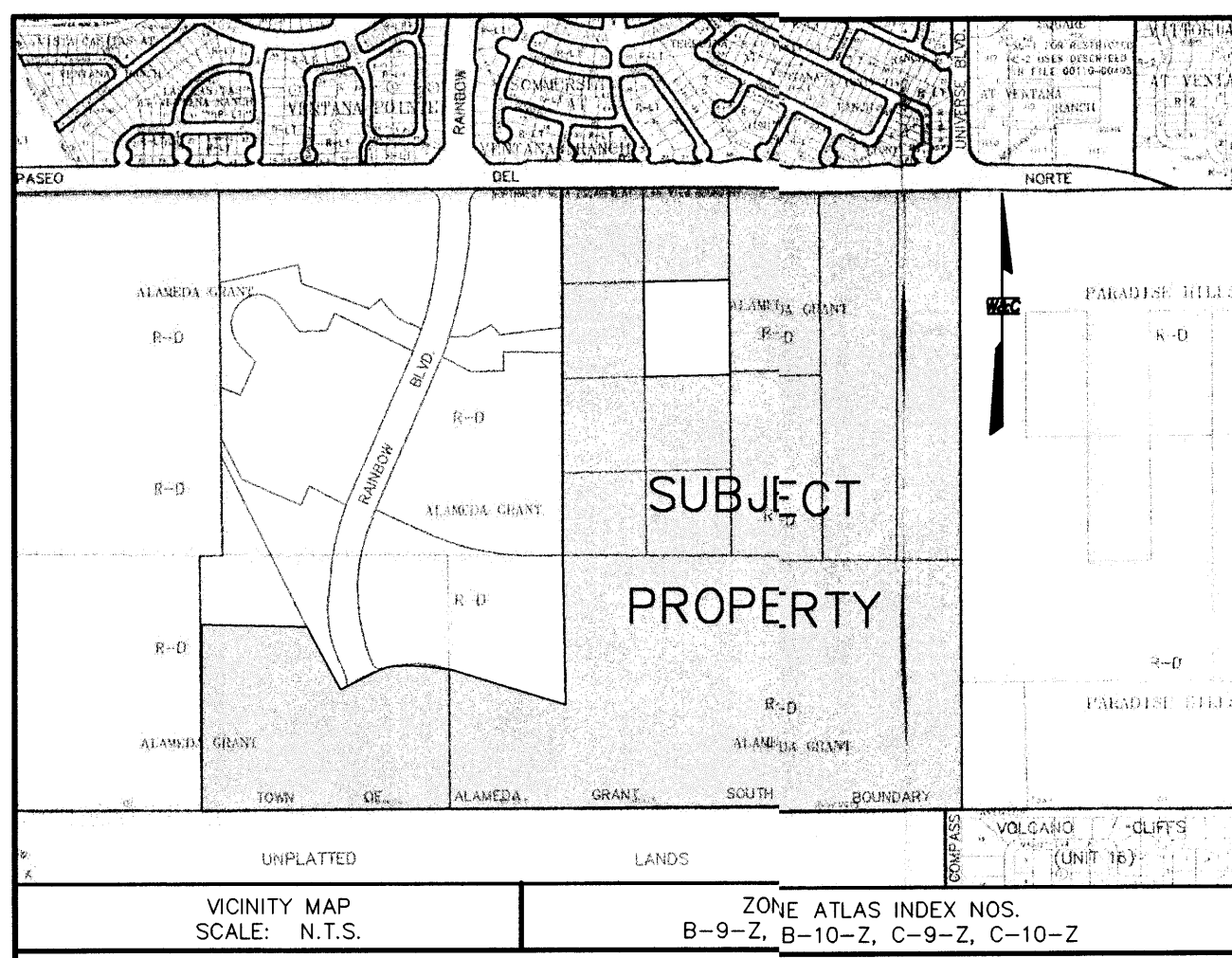


TOM KLINGENHAGEN  
 NEW MEXICO  
 REGISTERED PROFESSIONAL SURVEYOR  
 5978  
 10-8-03

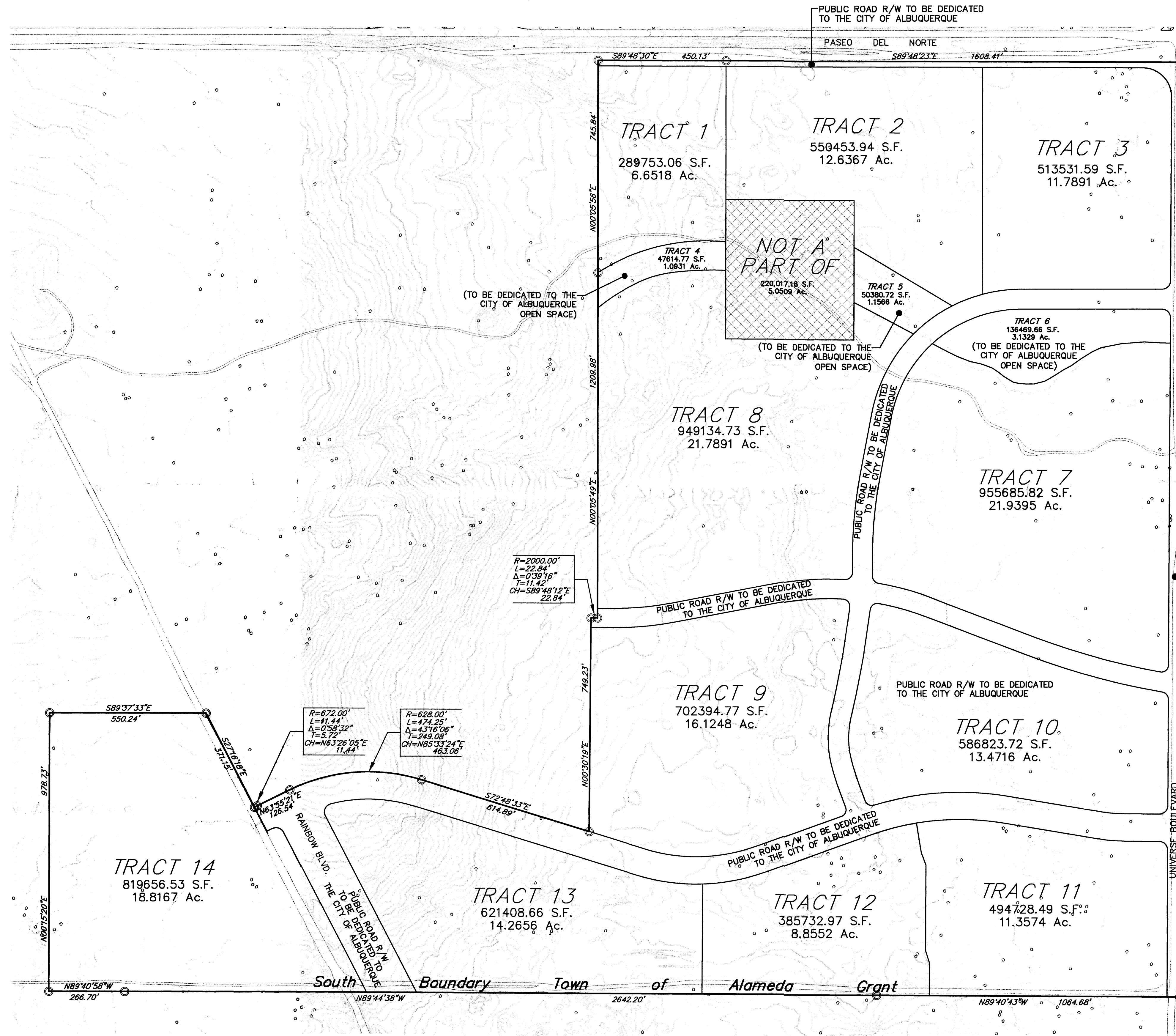
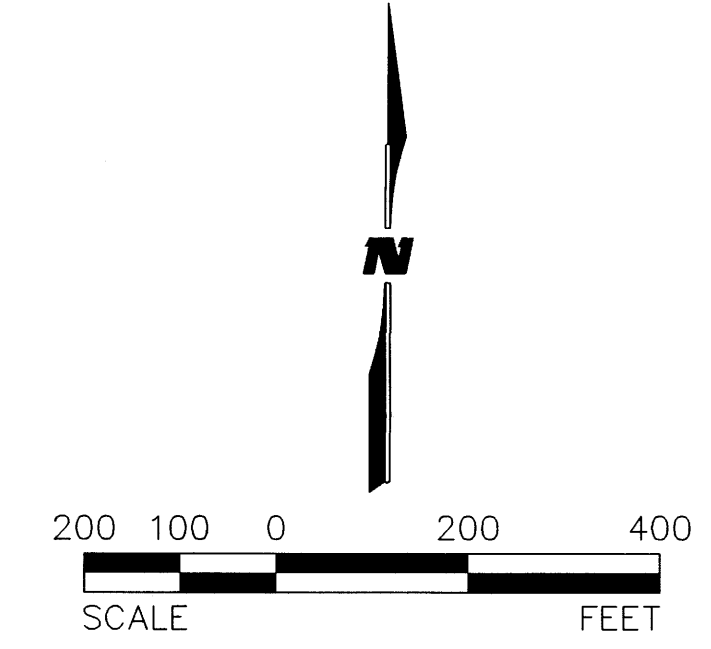
SHEET 2  
 SHEET 3

SHEET 3 OF 3

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



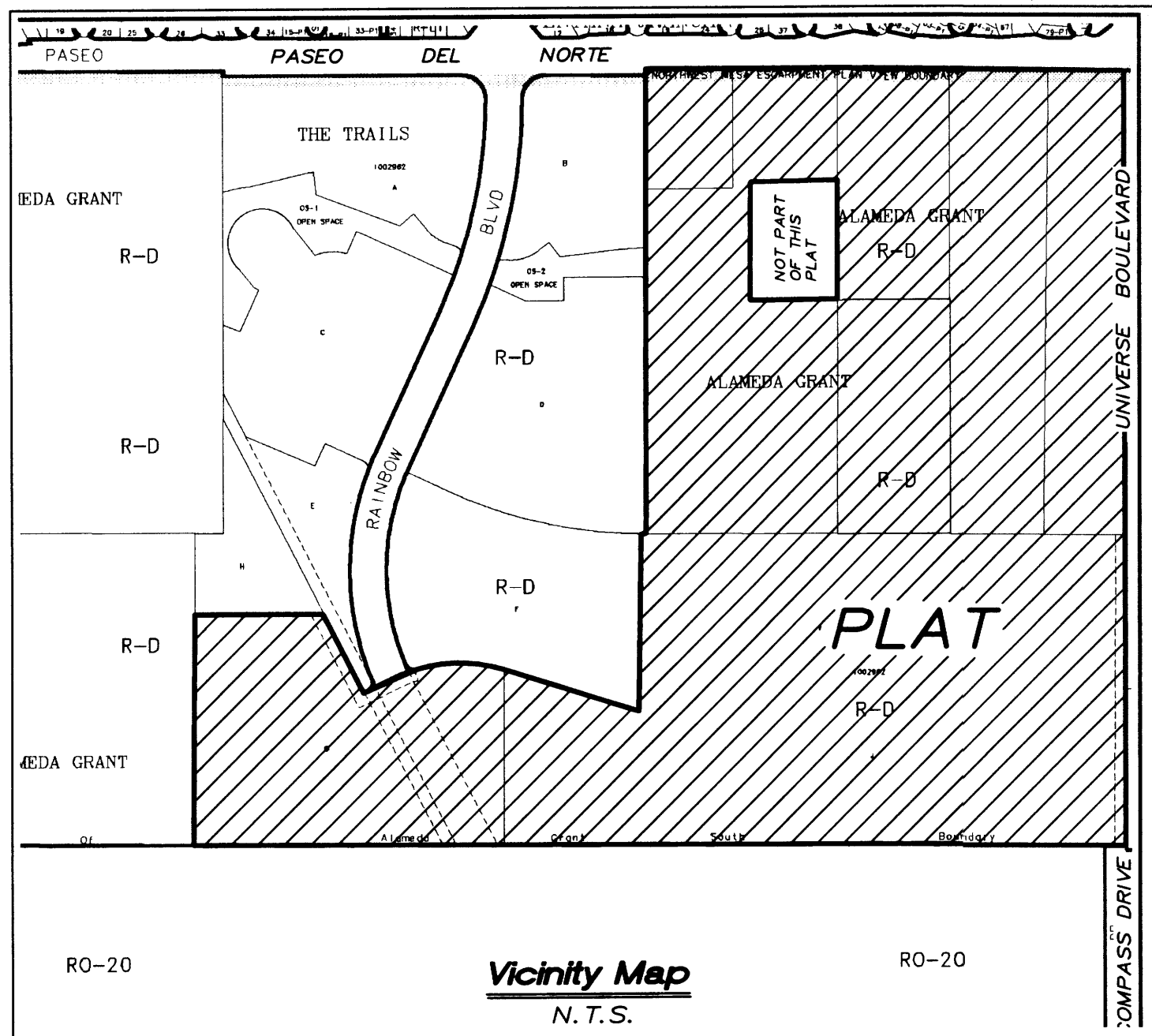
**SKETCH PLAT OF  
BULK LAND TRACTS  
THE TRAILS PHASE II**  
PROJECTED SECTION 16  
TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M.  
TOWN OF ALAMEDA GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JUNE 2004



- NOTES:
- TRACTS 4, 5 AND 6 TO BE DEDICATED TO THE CITY OF ALBUQUERQUE OPEN SPACE.
  - SUBJECT PROPERTY IS CURRENTLY ZONED "RD".
  - ALL ROADWAYS SHOWN ARE TO BE DEDICATED TO THE CITY OF ALBUQUERQUE.

1/2, UNIVERSE ROAD TO BE DEDICATED TO THE CITY OF ALBUQUERQUE

**WILSON  
& COMPANY**  
4900 LANG AVENUE N.E.  
ALBUQUERQUE, NEW MEXICO  
87109  
(505) 348-4000  
SHEET 1 OF 1  
WCEA PROJ. NO. X4-218-008



**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Bernalillo County Treasurer

Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DISCLAIMER**

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

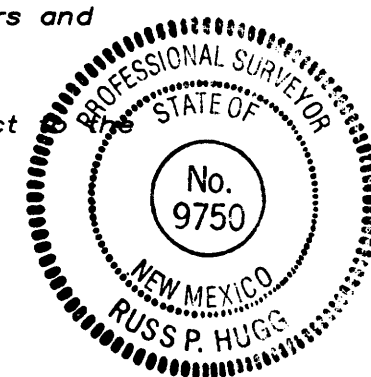
**SHEET INDEX**

- SHEET 1 OF 6 - Approvals, General Notes, Etc...
- SHEET 2 OF 6 - Legal Description, Free consent and dedication
- SHEET 3 OF 6 - Overall Bulk Plat Boundary
- SHEET 4 OF 6 - North 1/2 of Trails Unit 2
- SHEET 5 OF 6 - South 1/2 of Trails Unit 2
- SHEET 6 OF 6 - Curve and Line Tables

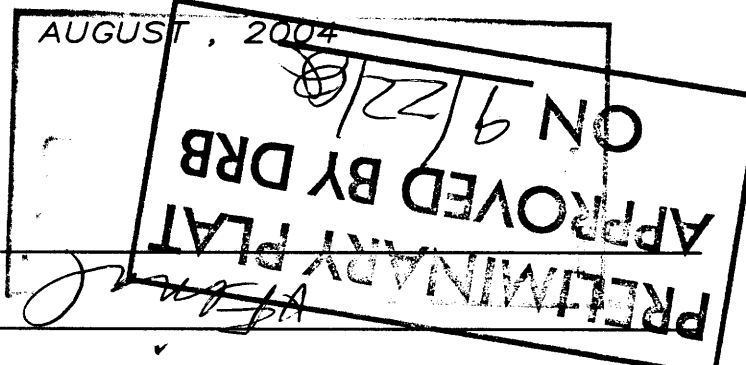
**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct best of my knowledge and belief.

*[Signature]*  
 Russ P. Hugg  
 NMPS No. 9750  
 August 16, 2004



BULK LAND PLAT OF  
**THE TRAILS UNIT 2**  
 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS)  
 WITHIN  
**THE TOWN OF ALAMEDA GRANT**  
 IN  
**PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**



PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

Utility Approvals:

PNM Electric Services	_____	Date	_____
PNM Gas Services	_____	Date	_____
QWest Corporation	_____	Date	_____
Comcast	_____	Date	_____
New Mexico Utilities	_____	Date	_____

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

<i>[Signature]</i> City Surveyor	_____	Date	8-25-04
Real Property Division	_____	Date	_____
Environmental Health Department	_____	Date	_____
Traffic Engineering, Transportation Division	_____	Date	_____
Utilities Development	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMA/FCA	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

**GENERAL NOTES**

1. Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27).
2. Distances are ground.
3. Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
4. All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
5. Albuquerque City Zone Atlas page C-9.
5. U.C.L.S. Log Number 2004340101.
6. No direct access to Paseo Del Norte or Universe Boulevard will be allowed.
7. All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus  $\odot$ . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
8. Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

**SUBMISSION DATA**

1. Total number of existing Tracts: 11
2. Total number of Tracts created: 14
3. Total mileage of full width streets created: 1.40 miles.
4. Gross Subdivision acreage: 189.65 acres.
5. Tracts OS-3 and OS-4 are Private Open Space Areas conveyed to the Trails Unit 2 Homeowners Association. Maintenance of said Tracts shall be the responsibility of said Trails Unit 2 Homeowners Association. There shall be no direct vehicular access from adjacent tracts, parcels or lots.

**DISCLOSURE STATEMENT**

The purpose of this Bulkland Plat is to:

1. Show the various Public Roadway and Utility Easements which were vacated by DRB-\_\_\_\_\_
2. Create the Fourteen (14) Bulk Parcels shown hereon to facilitate platting of future Trails Units.
3. Dedicate the Additional street right of way for Universe Boulevard and Paso Del Norte and the new street right of ways for Rainbow Boulevard, Woodmont Avenue, and Oakridge Street to the City of Albuquerque in fee simple with warranty covenants by this plat.
4. Grant the additional Public Utility Easements as shown hereon.



**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising the following: All of Tracts G and J of the Trails as the same are shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS (A REPLAT OF A PORTION OF TRACT 4, BLACK RANCH), ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2003 in Plat Book 2003C, Page 375; All of those unplatted parcels of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico as described in those certain Warranty Deeds filed in the office of the County Clerk of Bernalillo County, New Mexico on: October 15, 2003 in Book A66, page 3165; August 17, 2003 in Book A65, page 697; September 24, 2003 in Book A65, page 5666; September 17, 2003 in Book A65, page 695; December 15, 2003 in Book A70, page 1736; September 17, 2003 in Book A65, page 694; July 8, 2004 in Book A80, page 5429 and July 2, 2003 in Book A59, page 5015 more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Coordinate System, Central Zone (NAD 27) grid bearings and ground distances as follows:

BEGINNING at the Northeast corner of said Tract G, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) whence the Albuquerque Control Survey Monument "UNION 1969" bears N 23° 28' 16" W, 1559.45 feet distant; Thence,

S 27° 16' 18" E, 370.96 feet along a line common to said Tract G and Tract E of the Trails to the Southwest corner of said Tract E (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

Northeasterly, 11.45 feet on the arc of a curve to the right (said curve having a radius of 672.00 feet, a central angle of 00° 58' 34" and a chord which bears N 64° 24' 38" E, 11.45 feet) to a point of tangency (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 63° 55' 21" E, 126.54 feet to a point of curvature (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

Northeasterly, 474.25 feet on the arc of a curve to the right (said curve having a radius of 628.00 feet, a central angle of 43° 16' 06" and a chord which bears N 85° 33' 24" E, 463.06 feet) to a point of tangency (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

S 72° 48' 33" E, 614.89 feet to the Southeast corner of said Tract F and an angle point on the West line of said Tract J (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 00° 30' 19" E, 749.23 feet along a line common to said Tracts F and J to a point on curve and the Northwest corner of said Tract J (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); said point also being the Northeast corner of said Tract F and a point on curve on the Southerly line of Tract D, The Trails; Thence,

Southeasterly, 22.80 feet along a line common to said Tracts D and F, The Trails on the arc of a curve to the left (said curve having a radius of 2000.00 feet, a central angle of 00° 39' 11" and a chord which bears S 89° 49' 00" E, 22.80 feet) to the Southeast corner of said Tract D (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 00° 06' 04" E, 1955.83 feet along the Easterly line of said Tracts B, D and OS-2, The Trails to the Northeast corner of said Tract B (a 5/8" Rebar and cap stamped "L.S. 5978" found in place), said point being a point on the southerly line of Paseo Del Norte and a point on the South line of Projected Section 16, Township 11 North, Range 2 East; Thence,

S 89° 48' 21" E, 2058.47 feet along said southerly line of Paseo Del Norte and the South line of Projected Section 16, Township 11 North, Range 2 East to the projected section corner common to Sections 9, 10, 15 and 16, Township 11 North, Range 2 East (a 5/8" Rebar and cap stamped "L.S. 9750" set) said point being the Northeast corner of the parcel herein described; Thence,

S 00° 16' 10" W, 1961.76 feet along the East line of Projected Section 16, Township 11 North, Range 2 East to the Northeast corner of said Tract J, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

S 00° 16' 10" W, 1315.62 feet along the said East line of Projected Section 16, Township 11 North, Range 2 East to the Southeast corner of said Tract J, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) said point being a point on the Southerly Boundary of the Town of Alameda Grant; Thence Northwesterly along said Southerly Boundary of the Town of Alameda Grant for the following four (4) courses:

N 89° 40' 43" W, 1064.68 feet to the 6-1/2 mile marker on said Southerly Boundary of the Town of Alameda Grant (a 3-1/4" brass cap found in place); Thence,

N 89° 44' 42" W, 1588.93 feet to the corner common to said Tracts G and J, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 89° 44' 33" W, 1053.27 feet to the 7 mile marker on said Southerly Boundary of the Town of Alameda Grant (a 3-1/4" brass cap found in place); Thence,

N 89° 40' 58" W, 266.70 feet to the Southwest corner said Tract G, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 00° 15' 20" E, 978.73 feet to the Northwest corner said Tract G, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) said point also being the Southwest corner of said Tract H, The Trails; Thence,

S 89° 37' 33" E, 550.24 feet along a line common to said Tracts G and H to the point of beginning of the parcel herein described.

Said parcel contains 189.6538 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising, "BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional and new street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**OWNER(S)**

THE TRAILS, LLC  
Longford Group, Inc., its Manager

By James R. Baker 8-24-04  
James R. Baker, Division President Date

THE TRAILS COMMUNITY ASSOCIATION, INC.

By Tracy Murphy 8/24/04  
Tracy Murphy, President Date

**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of August, 2004, by James R. Baker, Division President of The Trails, LLC.

Rebecca J. Monette My commission expires 8/23/2005

Notary Public OFFICIAL SEAL  
**REBECCA J. MONETTE**  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My commission expires 8/23/2005

**ACKNOWLEDGEMENT**

STATE OF New Mexico  
COUNTY OF Bernalillo SS

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of August, 2004, by Tracy Murphy, President of The Trails Community Association, Inc.

Rebecca J. Monette My commission expires 8/23/2005  
Notary Public

BULK LAND PLAT OF  
**THE TRAILS UNIT 2**  
(BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2004

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

TRACTS 1 thru 12 AND TRACTS OS-3 AND OS-4  
THE TRAILS UNIT 2

The plat of TRACTS 1 THRU 12 AND TRACTS OS-3 AND OS-4, THE TRAILS UNIT 2 has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

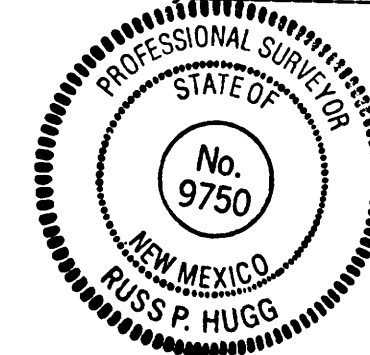
At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for Tracts 1 thru 12 and OS-3 and OS-4, The Trails Unit 2, filed in the office of the County Clerk of Bernalillo County, New Mexico on \_\_\_\_\_, 2004 in Book \_\_\_\_\_, page \_\_\_\_\_.

**BLANKET EASEMENT NOTES**

1. Tracts OS-3 and OS-4 are subject to a blanket access, public open space and public storm drain easements to be granted with the filing of this plat. Said Tracts OS-3 and OS-4 are also subject to a blanket easement for public water and public sanitary sewer to be granted to the City of Albuquerque and New Mexico Utilities, Inc. with the filing of this plat.
2. Existing Tracts G and J, The Trails are subject to a blanket easement for public access, public storm drain, public water and public sanitary sewer granted to the City of Albuquerque by plat filed December 15, 2003 in Plat Book 2003C, page 375.
3. Existing Tracts G, H and J, The Trails are subject to a public water easement for a future well site granted to New Mexico Utilities, Inc. by plat filed December 15, 2003 in Plat Book 2003C, page 375.

Said easement for Tracts G and J VACATED by \_\_\_\_\_



SHEET 2 OF 6  
**SURV TEK, INC.**

# BULK LAND PLAT OF THE TRAILS UNIT 2

(BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS)

WITHIN THE TOWN OF ALAMEDA GRANT

PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 AUGUST, 2004

Albuquerque Central Survey Monument "UNION 1989"  
 New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
 Y= 353,400.02  
 X= 357,543.73  
 Ground to grid factor= 0.9996044  
 Delta Alpha = -07'19.30"  
 Elevation= 5429.35 (NGVD29)  
 Elevate.

Albuquerque Central Survey Monument "2-810"  
 New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
 Y= 1,527,976.48  
 X= 357,543.73  
 Ground to grid factor= 0.99960354  
 Delta Alpha = -07'19.30"  
 Elevation= 5429.35 (NGVD29)  
 Elevate.

## VENTANA RANCH SUBDIVISION

PASEO DEL NORTE  
 (Variable width right of way)

Existing 20' Public Easement for general public road purpose and placement, maintenance and operation of public utilities as reserved in Warranty Deed filed June 19, 1989 in Book D862, page 539  
 VACATED BY DRB.

SECTION 9  
 SECTION 10  
 PROJECTED SECTION 9  
 PROJECTED SECTION 10  
 PROJECTED SECTION 15  
 PROJECTED SECTION 16

TRACT A THE TRAILS

TRACT B THE TRAILS

TRACT C THE TRAILS  
 Filed December 15, 2003 in Plat Book 2003C, Page 375

TRACT OS-2

TRACT D THE TRAILS  
 Filed December 15, 2003 in Plat Book 2003C, Page 375

TRACT E THE TRAILS

TRACT H THE TRAILS

TRACT F THE TRAILS

TRACT G THE TRAILS  
 Filed December 15, 2003 in Plat Book 2003C, Page 375

TRACT J THE TRAILS  
 Filed December 15, 2003 in Plat Book 2003C, Page 375

UNPLATTED PARCEL 1-6

UNPLATTED PARCEL 2-5

UNPLATTED PARCEL 4-7

UNPLATTED PARCEL 3-8

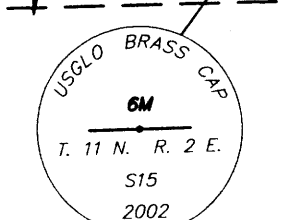
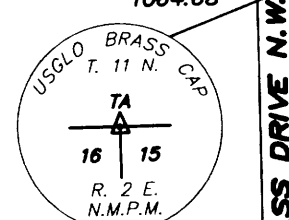
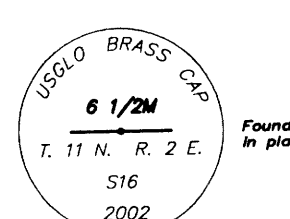
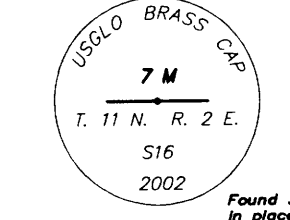
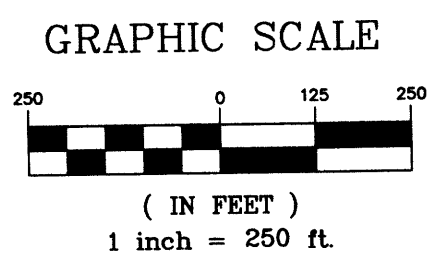
UNPLATTED PARCEL 5-37

UNPLATTED LAND OF INDUSTRY DEVELOPMENT LTD., CO.

UNPLATTED LAND OF STATE OF NEW MEXICO

SOUTH BOUNDARY LINE TOWN OF ALAMEDA GRANT

UNPLATTED LAND OF STATE OF NEW MEXICO



Note: All existing interior Deed lines and Public Roadway and Utility Easements reserved in the original Warranty Deeds contained within the Bulk Plat Boundary as shown and designated hereon, are hereby vacated by this Plat and Vacation Action DRB.

SONRISE BAPTIST CHURCH FILED: MAY 17, 1999 (BK.9907, PG.4863)

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**BULK LAND PLAT OF  
THE TRAILS UNIT 2**

(BEING A REPLAT OF TRACTS G AND J, THE TRAILS  
AND UNPLATTED DEED PARCELS)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN

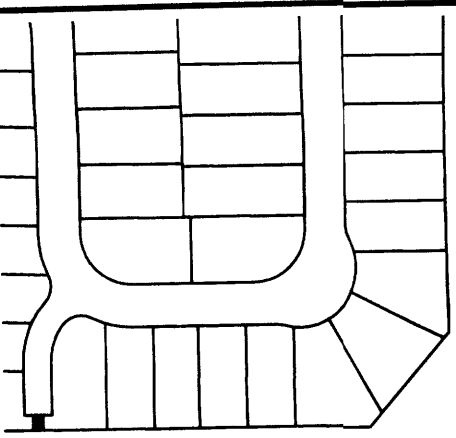
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

PASEO DEL NORTE  
AUGUST, 2004

Albuquerque Control Survey Monument "2-810"  
New Mexico State Plane Coordinates, Central  
Zone (NAD 27) as published:  
Y= 1,527,976.48  
X= 357,543.73  
Ground to grid factor= 0.99966354  
Delta Alpha= -00'16"30"  
Elevation= 5429.35 (NGVD29)

Additional street right of way dedicated to  
the City of Albuquerque in fee simple with  
warranty covenants by this plat.  
(Cross hatched area 4.6902 Ac.)



RAINBOW  
BOULEVARD

VENTANA RANCH SUBDIVISION

PASEO DEL NORTE  
(Variable width right of way)

UNIVERSE  
BOULEVARD

TRACT A  
THE TRAILS  
Filed December 15, 2003 in Plat Book 2003C, Page 375

TRACT 1  
12.3383 Ac.

TRACT 2  
10.3965 Ac.

TRACT 3  
10.5715 Ac.

TRACT OS-1

TRACT B  
THE TRAILS

NOT PART  
OF THIS PLAT  
Lands of Manuel R. Pili

TRACT OS-3  
2.9758 Ac.

TRACT OS-4  
5.0749 Ac.

Albuquerque Control Survey Monument "UNION 1969"  
New Mexico State Plane Coordinates, Central  
Zone (NAD 27) as published:  
Y= 1,523,440.36  
X= 353,409.02  
Ground to grid factor= 0.99966044  
Delta Alpha= -00'16"58"  
Elevation= 5522.0 (NGVD29-Trig)

TRACT C  
THE TRAILS

TRACT OS-2

TRACT D  
THE TRAILS  
Filed December 15, 2003 in Plat Book 2003C, Page 375

TRACT 4  
19.3591 Ac.

TRACT 5  
20.2276 Ac.

Found 5/8" Rebar and cap  
stamped "L.S. 5978"

RAINBOW  
BOULEVARD  
N.W.

TRACT E  
THE TRAILS

TRACT F  
THE TRAILS

TRACT 6  
17.0028 Ac.

TRACT 7  
14.2392 Ac.

TRACT H  
THE TRAILS

TRACT 12  
5.3585 Ac.

OF  
VT LTD., CO.

SEE SHEET 5 OF 6



( IN FEET )  
1 inch = 200 ft.

SHEET 4 OF 6

**SURV TEK, INC.**

Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114

Phone: 505-897-3366  
Fax: 505-897-3377

DANIEL DOUGHTY,  
CHRISTOPHER BERGER, 1999  
FILED: AUGUST 15, 1999  
(BK-9915, PG.2654)

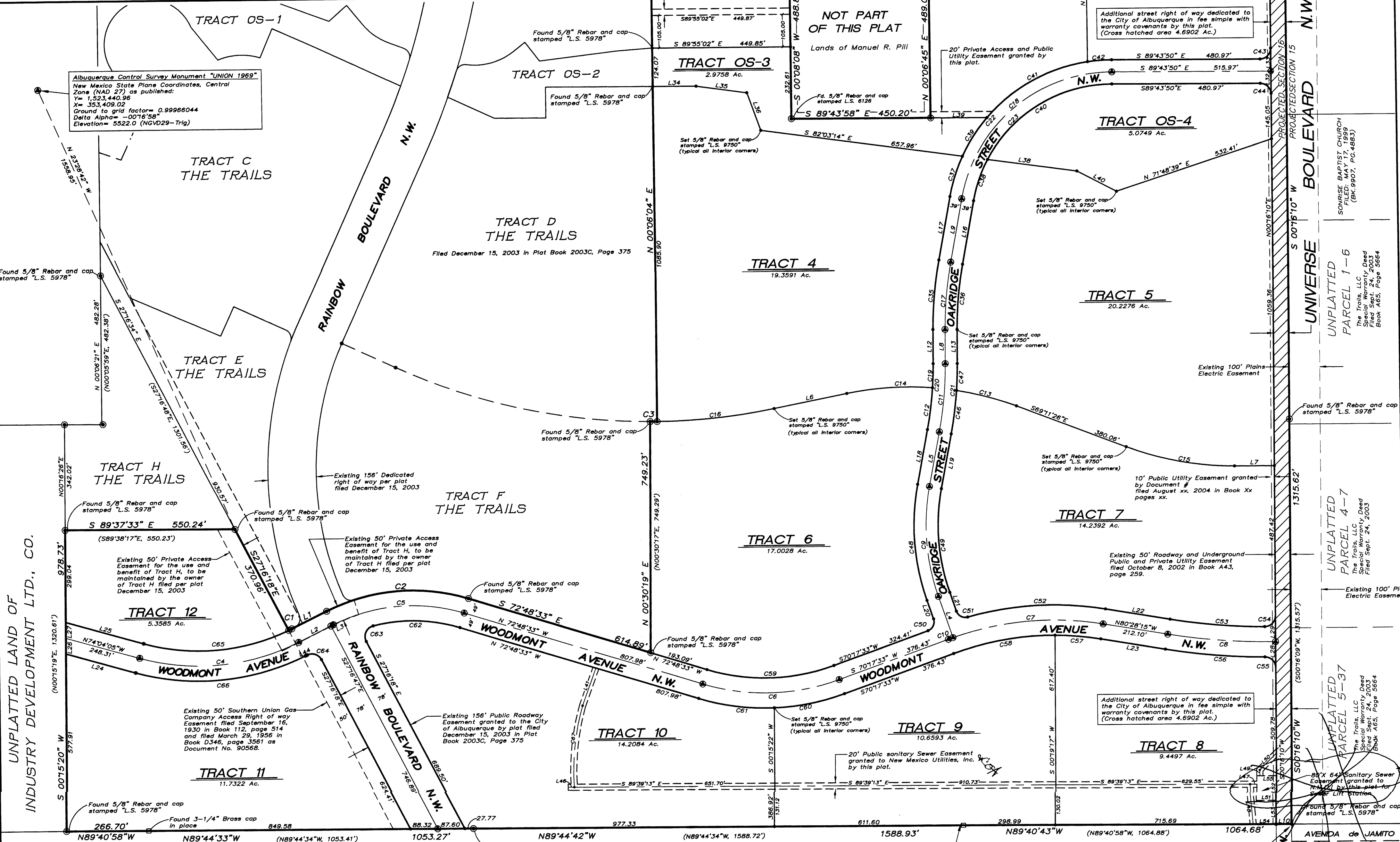
SONRISE BAPTIST CHURCH  
FILED: MAY 17, 1999  
(BK-9907, PG.4883)

UNPLATTED  
PARCEL 1-6  
The Trails, LLC by Deed  
Filed Sept. 24, 2003  
Book A65, Page 5664

UNPLATTED  
PARCEL 4-7  
The Trails, LLC by Deed  
Filed Sept. 24, 2003  
Book A65, Page 5664

Existing 100  
Electric East

Albuquerque Central Survey Monument "UNION 1969"  
New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
Y = 1,523,440.96  
X = 353,409.02  
Ground to grid factor = 0.99966044  
Delta Alpha = -00'16".58  
Elevation = 5522.0 (NGVD29-Trig)



UNPLATTED LAND OF  
INDUSTRY DEVELOPMENT LTD., CO.

SONRISE BAPTIST CHURCH  
FILED: MAY 17, 1999  
(BK-9907, PG-466)

UNPLATTED  
PARCEL 1-6  
The Trails, LLC  
Special Warranty Deed  
Filed Sept. 24, 2003  
Book A65, Page 5664

UNPLATTED  
PARCEL 4-7  
The Trails, LLC  
Special Warranty Deed  
Filed Sept. 24, 2003  
Book A65, Page 5664

UNPLATTED  
PARCEL 5-37  
The Trails, LLC  
Special Warranty Deed  
Filed Sept. 24, 2003  
Book A65, Page 5664

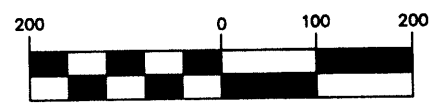
### BULK LAND PLAT OF THE TRAILS UNIT 2

(BEING A REPLAT OF TRACTS G AND J, THE TRAILS  
AND UNPLATTED DEED PARCELS)

WITHIN  
THE TOWN OF ALAMEDA GRANT

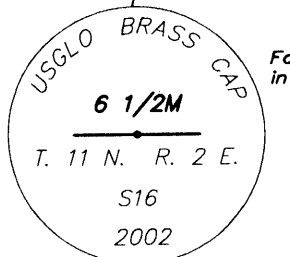
IN  
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2004

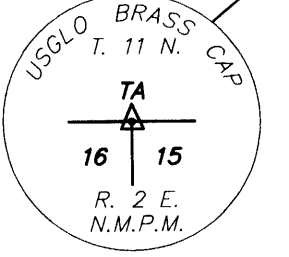


( IN FEET )  
1 inch = 200 ft.

UNPLATTED LAND OF  
STATE OF NEW MEXICO



Found 3-1/4" Brass cap  
in place 3.06 feet South  
of SE corner Tract J



**SURVOTEK, INC.**  
Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

BULK LAND PLAT OF  
**THE TRAILS UNIT 2**  
 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS  
 AND UNPLATTED DEED PARCELS)

WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 AUGUST, 2004

**CURVE TABLE**

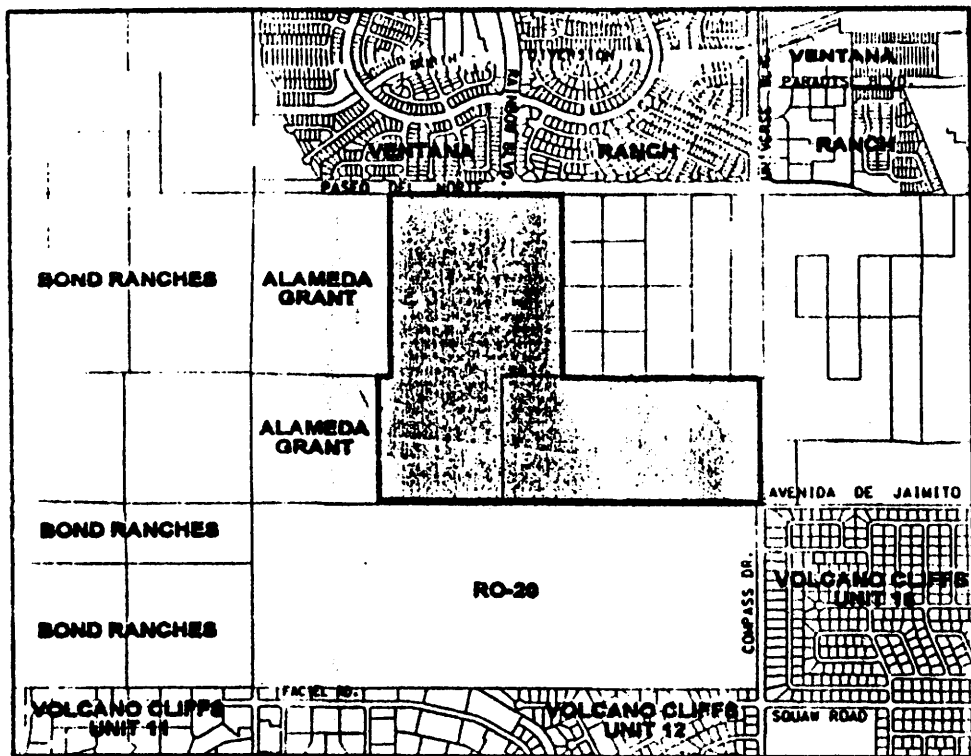
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	11.45'	672.00'	5.72'	11.45'	N64°24'38"E	0°58'34"
C2	474.25'	628.00'	249.08'	463.06'	S85°33'24"W	43°16'06"
C3	22.80'	2000.00'	11.40'	22.80'	S89°49'00"E	0°39'11"
C4	528.64'	721.00'	276.83'	516.88'	N84°55'38"E	42°00'34"
C5	437.25'	579.00'	229.64'	426.93'	S85°33'24"W	43°16'06"
C6	450.80'	700.00'	233.53'	443.05'	N88°44'30"E	36°53'54"
C7	494.53'	1000.00'	252.43'	489.51'	S85°21'43"W	28°20'05"
C8	350.97'	2000.00'	175.94'	350.97'	S85°29'53"E	10°03'16"
C9	362.69'	700.00'	185.51'	358.64'	S03°57'45"E	29°41'11"
C10	15.74'	1000.00'	7.87'	15.74'	S70°44'36"W	0°54'07"
C11	221.79'	1200.00'	111.21'	221.48'	N05°35'09"E	10°35'24"
C12	136.54'	1161.00'	68.35'	136.46'	S07°30'41"W	6°44'18"
C13	200.90'	1000.00'	100.79'	200.56'	N74°56'46"W	11°30'39"
C14	278.67'	1000.00'	140.25'	277.77'	N86°50'22"E	15°58'01"
C15	358.49'	1000.00'	181.19'	356.57'	S79°27'38"E	20°32'24"
C16	384.49'	2000.00'	192.84'	383.90'	N84°21'51"E	11°00'53"
C17	219.10'	1200.00'	109.86'	218.80'	S05°31'17"W	10°27'41"
C18	693.92'	500.00'	415.97'	639.56'	S50°30'39"W	79°31'03"
C19	78.05'	1161.00'	39.04'	78.03'	S02°13'00"W	03°51'06"
C20	214.59'	1061.00'	107.60'	214.28'	N05°35'09"E	10°35'24"
C21	229.00'	1239.00'	114.83'	228.68'	S05°35'09"W	10°35'24"
C22	748.05'	539.00'	448.42'	689.44'	S50°30'39"E	79°31'03"
C23	639.79'	461.00'	383.53'	589.67'	S50°30'39"W	79°31'03"
C24	88.48'	578.00'	44.32'	88.39'	N68°18'40"E	8°46'13"
C25	Deleted					
C26	Deleted					
C27	Deleted					
C28	Deleted					
C29	Deleted					
C30	Deleted					
C31	Deleted					
C32	Deleted					
C33	Deleted					
C34	Deleted					
C35	226.22'	1239.00'	113.43'	225.91'	S05°31'17"W	10°27'41"
C36	211.98'	1161.00'	106.29'	211.69'	S05°31'17"W	10°27'41"
C37	137.94'	539.00'	69.35'	137.56'	S18°05'01"W	14°39'47"
C38	142.75'	461.00'	71.95'	142.18'	N19°37'22"E	17°44'29"
C39	149.64'	539.00'	75.31'	149.16'	S33°22'07"W	15°54'25"
C40	497.05'	461.00'	275.77'	473.32'	N59°22'53"E	61°46'34"
C41	381.94'	539.00'	199.39'	374.00'	S61°37'21"W	40°36'03"
C42	78.52'	539.00'	39.33'	78.45'	S86°05'46"W	8°20'48"
C43	54.98'	35.00'	35.00'	49.50'	N45°16'10"E	90°00'00"
C44	54.98'	35.00'	35.00'	49.50'	N44°43'50"W	90°00'00"
C45	55.02'	35.00'	35.05'	49.53'	N44°46'05"W	90°04'31"
C46	141.74'	1239.00'	70.95'	141.66'	N07°36'12"E	6°33'16"
C47	87.27'	1239.00'	43.65'	87.25'	N02°18'30"E	4°02'08"
C48	382.89'	739.00'	195.85'	378.62'	S03°57'45"E	29°41'11"
C49	342.48'	661.00'	175.18'	338.66'	S03°57'45"E	29°41'11"
C50	46.65'	30.00'	29.53'	42.09'	N25°44'36"E	89°05'53"
C51	45.20'	30.00'	28.14'	41.05'	S61°58'20"E	86°20'01"
C52	451.64'	1049.00'	229.37'	448.16'	S87°11'42"W	24°40'06"
C53	307.92'	1951.00'	154.28'	307.60'	S84°59'32"E	9°02'34"
C54	55.11'	35.00'	35.13'	49.59'	N45°22'41"E	90°13'01"
C55	54.86'	35.00'	34.88'	49.41'	N44°37'51"W	89°48'02"
C56	324.01'	2049.00'	162.34'	323.67'	S85°00'03"E	9°03'37"
C57	149.02'	951.00'	74.66'	148.87'	N84°57'35"W	8°58'41"
C58	336.25'	951.00'	169.90'	334.51'	S80°25'18"W	20°15'31"
C59	419.24'	651.00'	217.18'	412.04'	N88°44'30"E	36°53'54"
C60	233.13'	749.00'	117.51'	232.19'	N79°12'33"E	17°50'00"
C61	249.23'	749.00'	125.78'	248.08'	S82°20'30"E	19°03'54"
C62	285.78'	530.00'	146.45'	282.33'	N88°15'22"W	30°53'38"
C63	63.27'	35.00'	44.45'	55.00'	S24°30'46"W	103°34'08"
C64	54.25'	35.00'	34.28'	48.98'	N71°40'28"W	88°48'21"
C65	481.26'	672.00'	251.47'	471.05'	N85°24'55"E	41°02'00"
C66	564.57'	770.00'	295.65'	552.01'	N84°55'38"E	42°00'34"
C67	268.64'	800.00'	135.60'	267.38'	S06°21'09"W	19°14'23"

**LINE TABLE**

LINE	LENGTH	BEARING
L1	126.54'	N63°55'21"E
L2	126.54'	S63°55'21"W
L3	8.72'	N63°55'21"E
L4	141.45'	N18°48'20"W
L5	179.63'	S10°52'50"W
L6	240.99'	S78°51'21"W
L7	129.13'	S89°43'50"E
L8	110.76'	N00°17'27"E
L9	208.92'	S10°45'07"W
L10	50.00'	N89°40'43"W
L11	50.03'	S17°18'38"E
L12	110.76'	N00°17'27"E
L13	110.76'	N00°17'27"E
L14	446.14'	S27°16'18"E
L15	186.95'	S63°55'34"W
L16	208.92'	S10°45'07"W
L17	208.92'	S10°45'07"W
L18	179.63'	S10°52'50"W
L19	179.63'	S10°52'50"W
L20	63.40'	N18°48'20"W
L21	64.66'	N18°48'20"W
L22	212.10'	N80°28'15"W
L23	212.10'	N80°28'15"W
L24	234.56'	N74°04'05"W
L25	262.06'	N74°04'05"W
L26	50.89'	N00°15'20"E
L27	50.89'	N00°15'20"E
L28	84.18'	N00°16'10"E
L29	83.82'	N00°16'10"E
L30	Deleted	
L31	Deleted	
L32	74.00'	N00°16'10"E
L33	74.00'	N00°16'10"E
L34	140.39'	S89°54'08"E
L35	167.26'	S81°59'57"E
L36	129.67'	S19°31'15"E
L37	Deleted	
L38	292.28'	S82°03'14"E
L39	183.29'	S89°44'24"E
L40	143.83'	S62°09'00"E
L41	130.01'	N19°58'29"E
L42	Deleted	
L43	Deleted	
L44	6.33'	S63°55'20"W
L45	20.00'	N00°06'04"E
L46	20.00'	N89°39'13"W
L47	22.03'	S89°39'13"E
L48	130.27'	S04°49'15"E
L49	18.74'	N00°00'00"W
L50	76.85'	N45°00'00"E
L51	64.00'	S89°43'50"E
L52	80.00'	N00°16'10"E
L53	77.23'	N00°16'10"E
L54	74.47'	S89°40'43"E
L55	54.00'	S89°40'50"E



SP-200352308



LOCATION MAP

ZONE ATLAS INDEX MAP No. C-9-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No. 1002962.
2. Zone Atlas Index No. C-9.
3. Gross Subdivision Acreage: 200.9486 Acres.
4. Total Number of Tracts Created: Eleven (11) Tracts.
5. Total Mileage of full width Streets created: 0.062 mile
6. Date of Survey: August, 2003.
7. Plot is located within the Town of Alameda Grant, within projected Section 16, T11N, R2E, N4PM.
8. Tract OS-1 and Tract OS-2 are Private Open Space areas that will be owned and maintained by the Trails HOA. There shall be no direct vehicular access from adjacent tracts, parcels, or lots.

DISCLOSURE STATEMENT

The purpose of this Plot is to subdivide 3 tracts into Eleven (11) Tracts, to dedicate additional public street right-of-way to the City of Albuquerque, to grant easements, and to vacate a RW easement.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plot are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground/overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of poles, decking, or any structures adjacent to or near easements shown on this plot.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being a portion of Tract 4, Black Ranch, comprising a tract of land described in the Special Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book 455, Page 9572, together with tract of land described in the Warranty Deed recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1997 in Book 97-3, Page 2887, together with Parcel A as the same is described in the Real Estate Contract recorded in the office of the County Clerk of Bernalillo County, New Mexico on August 4, 2000 in Book 48, Page 6196, and now being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at the northeast corner of the tract herein described, whence the City of Albuquerque survey monument "2-810", having New Mexico State Plane Grid Coordinates for the Central Zone: X=357,543.73; Y=1,527,976.48, bears N30°11'05"E a distance of 4254.21 feet; thence along the easterly boundary line of the tract herein described, S00°05'59"W a distance of 1955.79 feet; thence, S89°38'20"E a distance of 2052.71 feet; thence, S00°16'05"W a distance of 1315.57 feet to the southeast corner of the tract herein described, said point being a point on the south boundary of the Town Of Alameda Grant, thence along said Grant boundary, N89°40'58"W a distance of 1064.88 feet to a BLM survey monument marking the 6-1/2 mile corner on said Grant; thence, N89°44'34"W a distance of 2642.13 feet to a BLM survey monument marking the 7 mile corner on said Grant; thence, N89°40'32"W a distance of 266.59 feet to the southwest corner of said Parcel A; thence along the westerly boundary line of the tract herein described, N00°15'19"E a distance of 1320.61 feet to a 1/2" rebar with a 1" survey cap marked "Grisco 8686" at the northwest corner of said Parcel A; thence, S89°38'11"E a distance of 121.33 feet; thence, N00°05'59"E a distance of 1951.06 feet to the northeast corner of the tract herein described; thence along the northerly boundary line of the tract herein described, S89°48'48"E a distance of 1799.86 to the point and place of beginning.

This tract contains 200.9486 acres, more or less.

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Tracts A through J and OS-1 and OS-2 are subject to blanket easements, see sheets 2 and 3.
6. No direct access to Posse Del Norte allowed.

DOCUMENT NOTE

Additional documents used in the preparation of this plot:

- 1. Warranty Deed from Horizon-Albuquerque Propertied Corp. to Morris J. Windur recorded May 19, 1960 in Volume D 543, folio 143.
2. Warranty Deed, from Horizon-Albuquerque Propertied Corp. to Joan K. Buck recorded May 9, 1960 in Volume D541, folio 281.
3. Warranty Deed from Horizon-Albuquerque Propertied Corp. to Arnold Kesten and Benjamin Cohen recorded August 29, 1960.

NOTICE OF SUBDIVISION PLAT CONDITIONS

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

- 1. WATER AND SANITARY SEWER AVAILABILITY.
2. FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS.
3. PARK AND OPEN SPACE REQUIREMENTS.
4. DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS.
5. EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

FREE CONSENT AND DEDICATION

The foregoing plot of that certain tract of land situate within the Town of Alameda Grant, in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being a portion of Tract 4, Black Ranch, comprising a tract of land described in the Special Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book 455, Page 9572, together with tract of land described in the Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1997 in Book 97-3, Page 2887, together with Parcel A as the same is described in the Real Estate Contract recorded in the office of the County Clerk of Bernalillo County, New Mexico on August 4, 2000 in Book 48, Page 6196 is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee Simple with Warranty Covenants and do hereby grant all Access, Utility, and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities thereon and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground/overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City. If work affects any improvements or encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense take whatever protective measures are required to safeguard the improvements or encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with its free act and deed.

Owner of the land described in the Special Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book 455, Page 9572, and the land described in the Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1997 in Book 97-3, Page 2887.

Acknowledged:

THE TRAILS LLC Longford Group Inc., its Manager

By: John K. Murtagh, President

STATE OF NEVADA) SS COUNTY OF CLARK)

This instrument was acknowledged before me on November 7, 2003 by John K. Murtagh, President of The Trails LLC.

My Commission Expires: 5/5/07

Owner of Parcel A

By: Laifazzul Hussain, General Secretary, Indus Development

STATE OF NEW MEXICO) SS COUNTY OF BERNALILLO)

This instrument was acknowledged before me on November 5, 2003 by Laifazzul Hussain, General Secretary, Indus Development, Ltd. Co.

My Commission Expires: May 10, 2004

THE TRAILS COMMUNITY ASSOCIATION, INC.

By: Frank Beck, President

STATE OF NEW MEXICO) SS COUNTY OF BERNALILLO)

This instrument was acknowledged before me on November 7, 2003 by Frank Beck, President of The Trails Community Association, Inc.

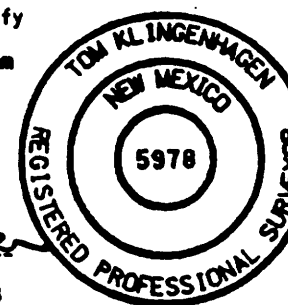
My Commission Expires: 5/5/07

SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenhagen, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plot was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bohannon-Huston, Inc. Courtyard I 7500 Jefferson Street, N.E. Albuquerque, New Mexico 87109 (505)823-1000

Thomas G. Klingenhagen New Mexico Professional Surveyor 5978 Date: 9-8-03



BULK PLAT OF THE TRAILS (A REPLAT OF A PORTION OF TRACT 4 BLACK RANCH) ALBUQUERQUE, NEW MEXICO SEPTEMBER, 2003

PROJECT NUMBER 1002962

APPLICATION NUMBER 03 DRB-01528

PLAT APPROVAL

Table with columns for Utility Approvals (QWEST, COMCAST CABLE, PNM ELECTRIC SERVICES, PNM GAS SERVICE, NEW MEX UTILITIES, INC., CITY APPROVAL, CITY SURVEYOR, ENGINEERING, TRANSPORTATION DIVISION, UTILITIES DEVELOPMENT, PARKS & RECREATION DEPARTMENT, A.M.F.C.A., CITY ENGINEER, DRB CHAIRPERSON, PLANNING DEPARTMENT, REAL PROPERTY DIVISION) and Date.

TAX CERTIFICATION

PROPERTY OWNER OF RECORD SEE ATTACHED BERNALILLO COUNTY TREASURER'S OFFICE DATE 12/11/03

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston

Courtyard I 7500 Jefferson St NE Albuquerque, NM 87109-4335 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (ORIGINAL) TRACT LINE
- SECTION LINE
- RIGHT OF WAY
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- CENTERLINE MONUMENT TO BE INSTALLED
- 5/8" REBAR WITH 1/4" RED PLASTIC SURVEY CAP STAMPED "LS 5978"
- FOUND 1/2" REBAR W/YELLOW CAP STAMPED "G GRITSKO 8686" IN ROCK MOUND
- FOUND USGLO BRASS CAP STAMPED "TA. CC. S16. S15. 1911"
- 10' PUE
- 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

**TANGENT DATA**

ID	BEARING	DISTANCE
T1	S89°38'17"E	121.33'
T2	N00°10'51"E	110.61'
T3	S00°05'59"W	20.00'
T4	S63°55'34"W	8.64'
T5	S63°55'34"W	106.94'
T6	N66°32'14"W	45.00'
T7	S23°27'56"W	101.23'
T8	N38°49'52"W	136.90'
T9	N38°49'52"W	102.95'
T10	N65°14'01"W	22.79'
T11	N70°30'08"W	75.91'
T12	N07°32'45"W	98.18'
T13	S49°04'00"W	76.99'
T14	N39°31'52"W	79.73'
T15	N69°40'47"W	49.86'
T16	S00°21'10"W	100.00'
T17	S52°22'50"W	48.21'
T18	N37°37'10"W	76.44'
T19	S86°05'49"W	118.01'
T20	S24°45'59"W	104.47'
T21	S63°55'34"W	10.97'
T22	S63°55'34"W	126.54'

**CURVE DATA**

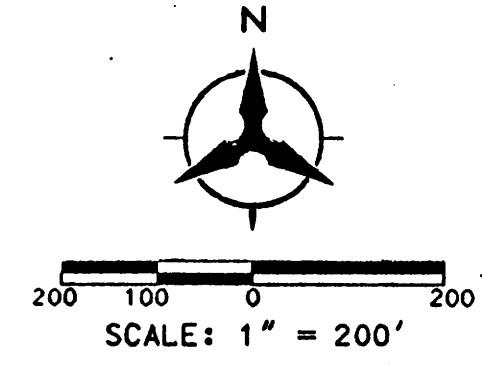
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	49°19'15"	505.02'	946.89'	1100.00'	917.93'	N00°06'22"E
C2	24°35'08"	490.28'	965.47'	2250.00'	958.08'	N12°28'25"E
C3	89°47'02"	156.70'	100.00'	141.15'	545°17'41"W	
C4	24°21'49"	502.56'	989.92'	2328.00'	982.48'	S12°35'05"W
C5	47°51'51"	453.59'	853.79'	1022.00'	829.18'	S00°50'01"W
C6	84°12'22"	27.11'	44.09'	30.00'	40.23'	S65°12'08"E
C7	08°46'01"	48.15'	96.11'	628.00'	96.02'	S68°18'37"W
C8	87°11'33"	28.96'	45.65'	30.00'	41.37'	N20°19'47"E
C9	48°01'58"	524.88'	987.55'	1178.00'	958.89'	N00°45'00"E
C10	24°19'35"	468.14'	922.18'	2172.00'	915.27'	N12°36'11"E
C11	90°15'12"	100.44'	157.52'	100.00'	141.73'	N44°41'12"W
C12	02°21'30"	44.71'	89.40'	2172.00'	89.40'	S19°14'35"W
C13	01°18'04"	66.32'	132.63'	5841.00'	132.62'	N65°53'03"W
C14	39°28'24"	72.83'	139.86'	203.00'	137.11'	S87°33'04"W
C15	203°35'05"	—	520.55'	146.50'	286.82'	S55°36'23"W
C16	09°49'03"	53.42'	106.58'	622.00'	106.45'	N78°37'58"E
C17	06°08'08"	10.88'	21.74'	203.00'	21.73'	N80°28'25"E
C18	05°02'54"	6.92'	13.83'	157.00'	13.83'	N79°55'48"E
C19	30°08'55"	54.68'	106.82'	203.00'	105.59'	S54°36'19"E
C20	87°44'37"	28.84'	45.94'	30.00'	41.58'	S25°48'28"E
C21	02°51'03"	2.44'	4.88'	98.00'	4.88'	S88°55'38"W
C22	02°12'24"	44.84'	89.68'	2328.00'	89.66'	N18°53'34"E
C23	80°21'37"	25.33'	42.08'	30.00'	38.71'	N57°58'08"E
C24	00°30'10"	2.77'	5.55'	632.00'	5.55'	S81°35'59"E
C25	43°59'04"	81.99'	155.84'	203.00'	152.04'	N74°22'22"E
C26	17°37'27"	336.71'	668.10'	2172.00'	665.47'	S09°15'07"W
C27	17°23'09"	355.94'	706.41'	2328.00'	703.70'	N09°05'45"E
C28	04°20'39"	82.38'	164.68'	2172.00'	164.64'	S22°35'40"W
C29	03°44'23"	38.46'	76.89'	1178.00'	76.88'	S22°53'47"W
C30	86°15'37"	28.10'	45.17'	30.00'	41.02'	N22°06'13"W
C31	00°49'45"	7.40'	14.79'	1022.00'	14.79'	N24°21'06"E
C32	04°46'16"	96.98'	193.85'	2328.00'	193.79'	N22°22'50"E
C33	24°57'59"	442.78'	871.49'	2000.00'	864.62'	N77°43'01"W
C34	44°17'35"	479.45'	910.66'	1178.00'	888.16'	S01°07'12"E
C35	00°58'11"	5.69'	11.37'	672.00'	11.37'	S64°23'31"W
C36	34°29'59"	195.00'	378.14'	628.00'	372.45'	S89°56'40"W
C37	47°02'11"	444.76'	839.00'	1022.00'	815.64'	N00°25'08"E
C38	24°18'44"	430.81'	849.66'	2000.00'	842.31'	S71°23'23"E
C39	43°16'06"	249.08'	474.25'	628.00'	463.06'	N89°33'33"E
C40	00°39'15"	11.42'	22.83'	2000.00'	22.83'	S89°52'23"E
C41	02°43'32"	26.17'	52.33'	1100.00'	52.32'	S25°55'02"E

ACS BRASS TABLET STAMPED "UNION 1969" GEOGRAPHIC POSITION (NAD 1927) NM STATE PLANE COORDINATES (CENTRAL ZONE) X=353,409.02 Y=1,523,440.96 GRID TO GRID FACTOR = 0.99966044 DELTA ALPHA = -00°16'58" MGVD 1929 TRIG ELEVATION = 5522.0

ACS BRASS TABLET STAMPED "2-810 1980" GEOGRAPHIC POSITION (NAD 1927) NM STATE PLANE COORDINATES (CENTRAL ZONE) X=357,543.73 Y=1,527,976.48 GRID TO GRID FACTOR = 0.99966354 DELTA ALPHA = -00°16'30" MGVD 1929 ELEVATION = 5429.35

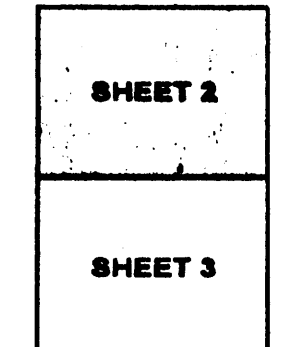
2883222388  
608559  
Page: 2 of 3  
12/15/2003 02:21P  
Mary Herrera Bern. Co. PLAT R 17.88 Bk-2883C Pg-375

**BULK PLAT OF THE TRAILS**  
(A REPLAT OF A PORTION OF TRACT 4 BLACK RANCH)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 2003

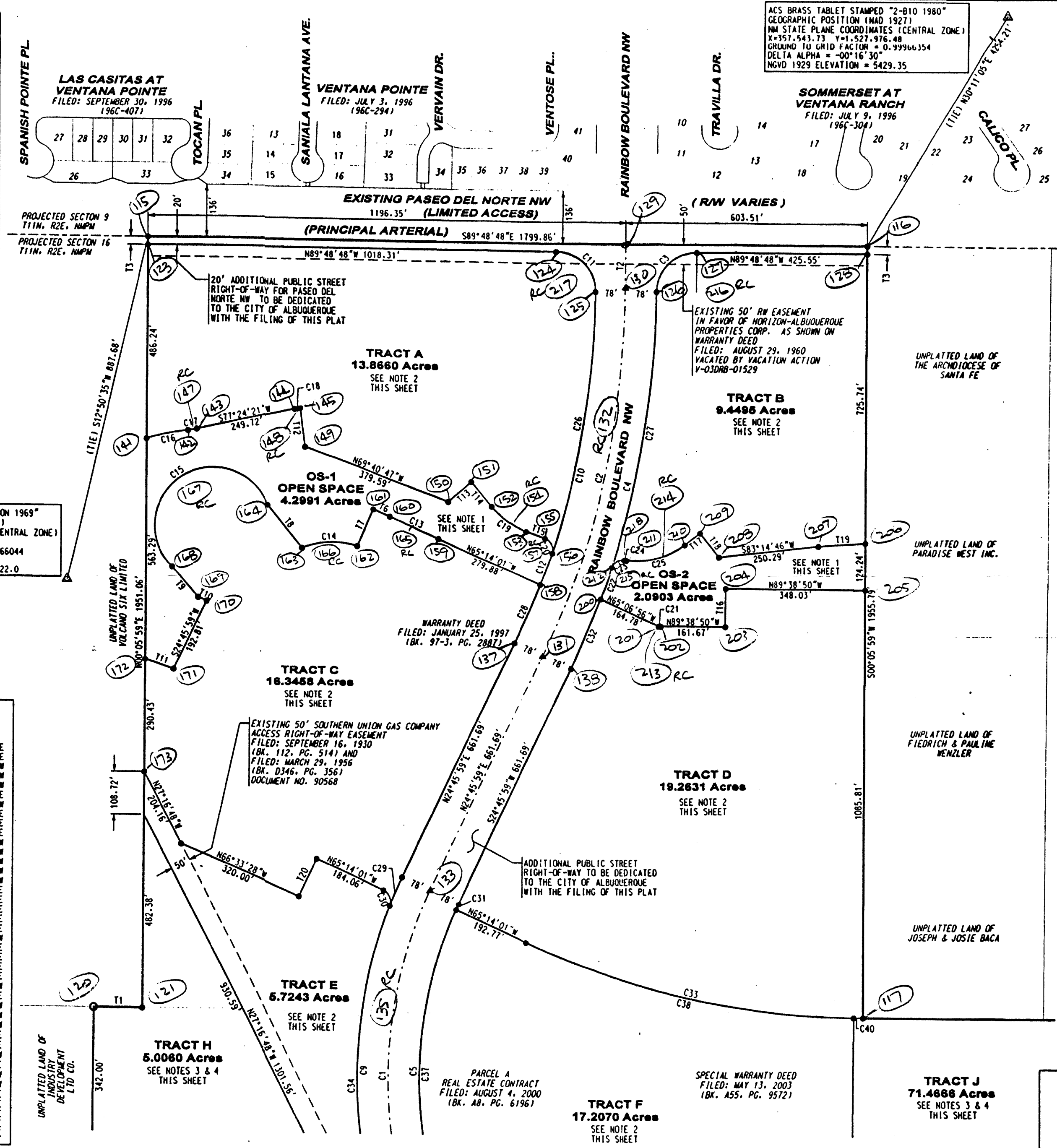


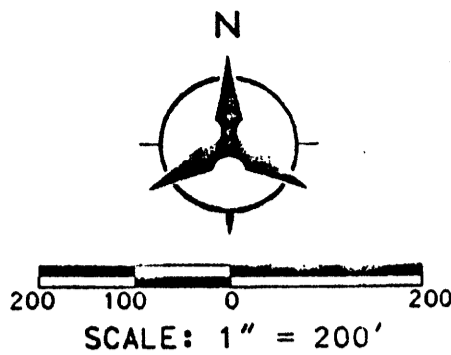
**BLANKET EASEMENT NOTES**

- Tracts OS-1 and OS-2 are subject to a blanket easement for public access, public open space and public storm drain easements to be granted to the City of Albuquerque with the filing of this plat. Tracts OS-1 and OS-2 are also subject to a blanket easement for public water and public sanitary sewer to be granted to the City of Albuquerque and New Mexico Utilities with the filing of this plat.
- Tracts A, B, C, D, E, & F are subject to a blanket easement for public cross-lot storm drain, public water, and public sanitary sewer easements to be granted to the City of Albuquerque with the filing of this plat.
- Tracts G, H, and J are subject to a blanket easement for public access, public storm drain, public water and public sanitary sewer easements to be granted to the City of Albuquerque with the filing of this plat.
- Tracts G, H, and J are subject to a public water easement for a future well site to be granted to the New Mexico Utilities, Inc. with the filing of this plat.



**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87108-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

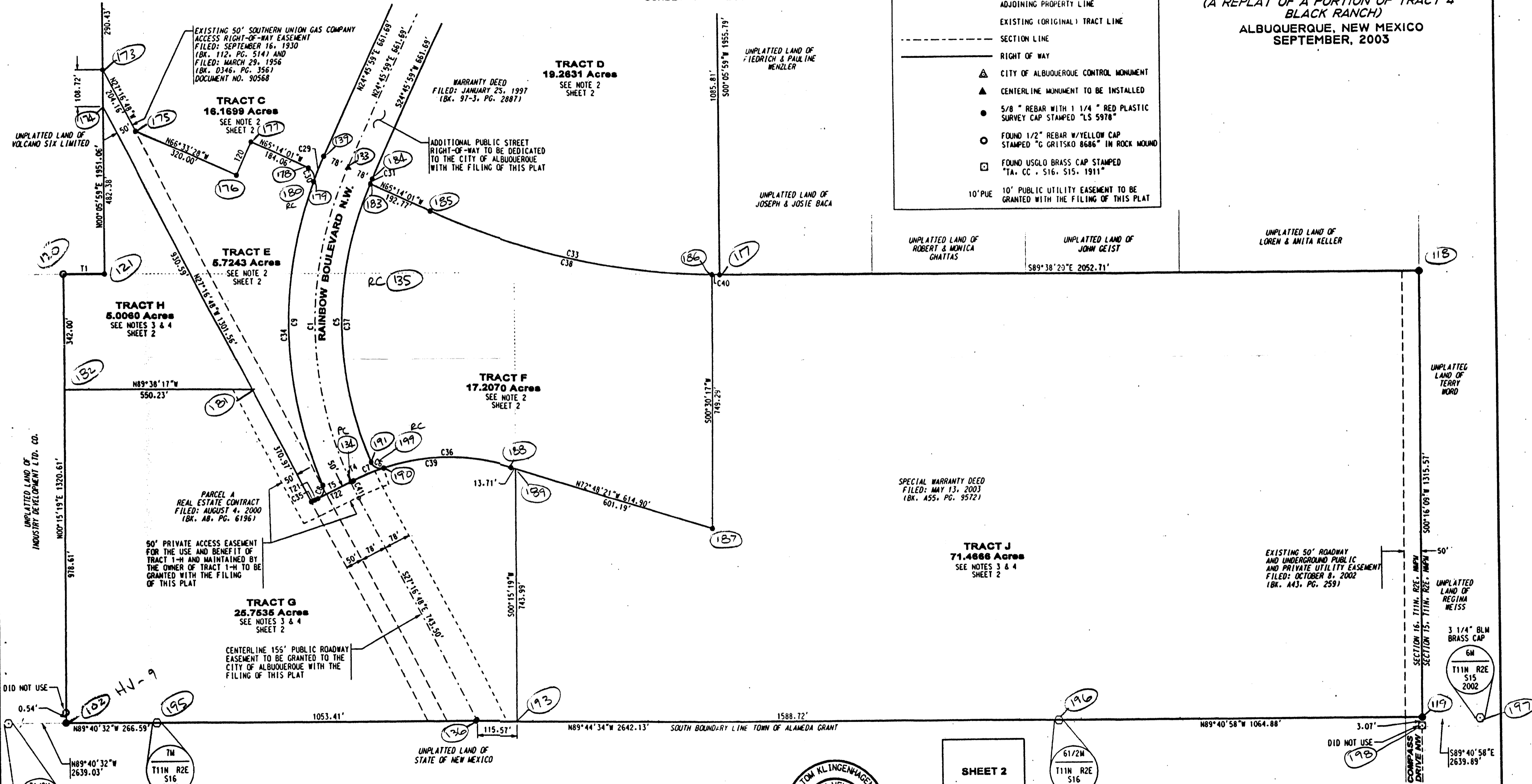




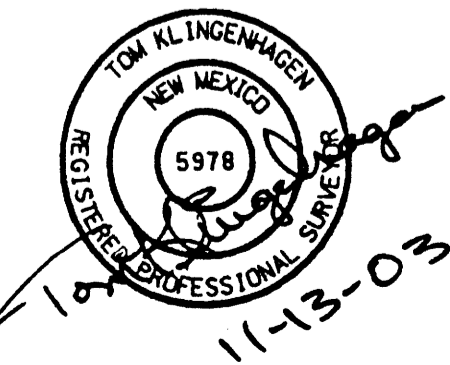
**BULK PLAT OF  
THE TRAILS**  
(A REPLAT OF A PORTION OF TRACT 4  
BLACK RANCH)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 2003

**LEGEND**

	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (ORIGINAL) TRACT LINE
	SECTION LINE
	RIGHT OF WAY
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	5/8" REBAR WITH 1 1/4" RED PLASTIC SURVEY CAP STAMPED "LS 5978"
	FOUND 1/2" REBAR W/YELLOW CAP STAMPED "C GRITSKO 8686" IN ROCK MOUND
	FOUND USGLO BRASS CAP STAMPED "TA. CC. S16. S15. 1911"
	10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT



NOTE: SEE SHEET 2 FOR CURVE & TANGENT DATA



SHEET 2

SHEET 3

SHEET 3 OF 3

**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



**VACATION EXHIBIT**  
**THE TRAILS UNIT 2**

(BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS)

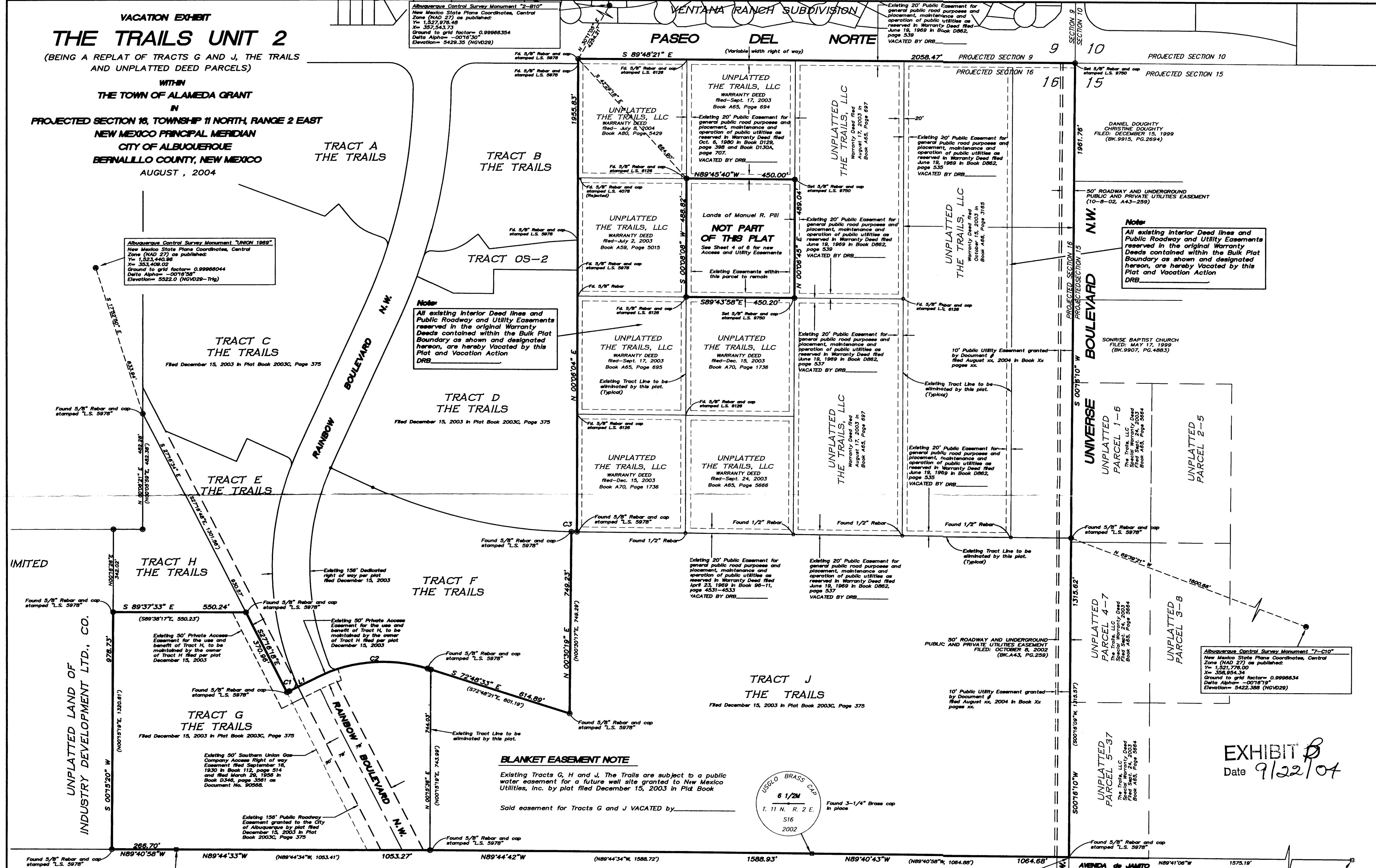
WITHIN  
**THE TOWN OF ALAMEDA GRANT**  
 IN  
**PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
 AUGUST, 2004

Albuquerque Control Survey Monument "UNION 1969"  
 New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
 Y= 1,523,440.99  
 X= 353,409.02  
 Ground to grid factor= 0.99966044  
 Delta Alpha= -00'18"28"  
 Elevation= 5522.0 (NGVD29-Trip)

Albuquerque Control Survey Monument "2-810"  
 New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
 Y= 1,527,876.48  
 X= 357,543.73  
 Ground to grid factor= 0.99966354  
 Delta Alpha= -00'18"30"  
 Elevation= 5429.35 (NGVD29)

Existing 20' Public Easement for general public road purposes and placement, maintenance and operation of public utilities as reserved in Warranty Deed filed June 19, 1969 in Book D862, page 539  
 VACATED BY DRB

PROJECTED SECTION 9  
 PROJECTED SECTION 10  
 PROJECTED SECTION 15  
 PROJECTED SECTION 16

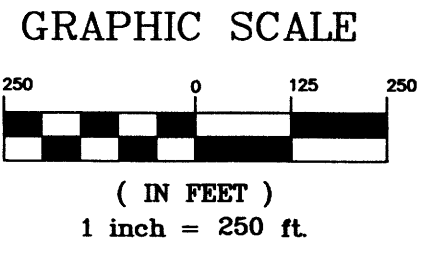
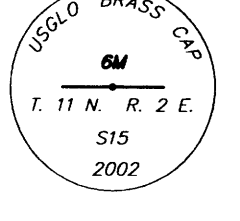
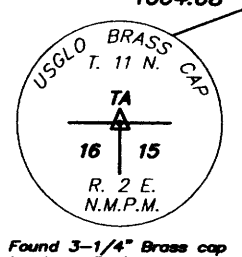
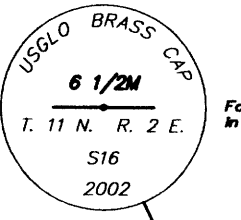
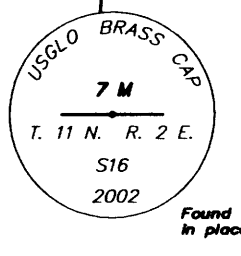


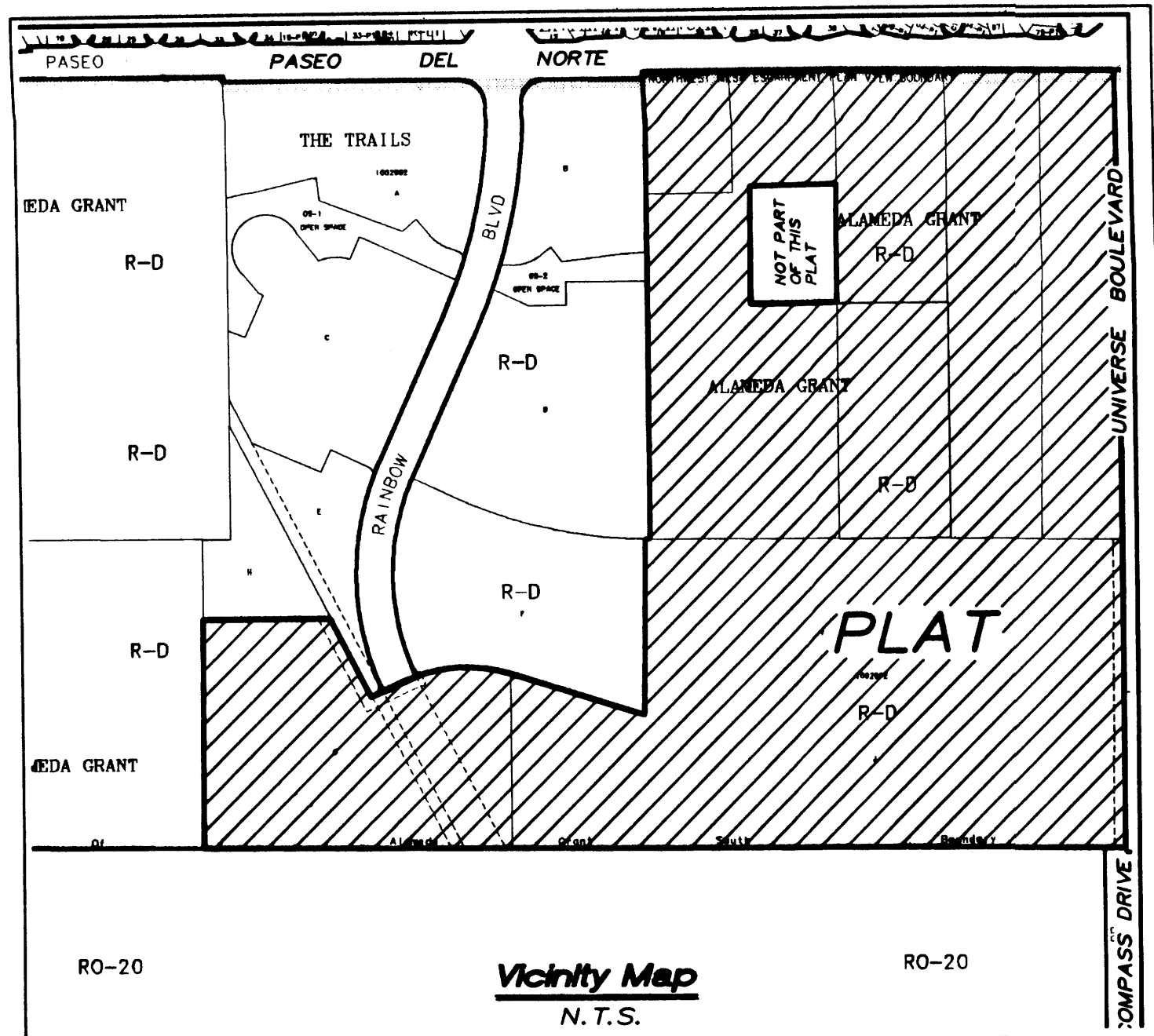
**Note**  
 All existing interior Deed lines and Public Roadway and Utility Easements reserved in the original Warranty Deeds contained within the Bulk Plat Boundary as shown and designated hereon, are hereby Vacated by this Plat and Vacation Action DRB

**Note**  
 All existing interior Deed lines and Public Roadway and Utility Easements reserved in the original Warranty Deeds contained within the Bulk Plat Boundary as shown and designated hereon, are hereby Vacated by this Plat and Vacation Action DRB

**BLANKET EASEMENT NOTE**  
 Existing Tracts G, H and J. The Trails are subject to a public water easement for a future well site granted to New Mexico Utilities, Inc. by plat filed December 15, 2003 in Plat Book  
 Said easement for Tracts G and J VACATED by \_\_\_\_\_

**EXHIBIT B**  
 Date 9/22/04





**GENERAL NOTES**

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27).
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page C-9.
- U.C.L.S. Log Number 2004340101.
- No direct access to Paseo Del Norte or Universe Boulevard will be allowed.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus (C). All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument - Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

**SUBMISSION DATA**

- Total number of existing Tracts: 11
- Total number of Tracts created: 14
- Total mileage of full width streets created: 1.40 miles.
- Gross Subdivision acreage: 189.65 acres.
- Tracts OS-3 and OS-4 are Private Open Space Areas conveyed to the Trails Unit 2 Homeowners Association. Maintenance of said Tracts shall be the responsibility of said Trails Unit 2 Homeowners Association. There shall be no direct vehicular access from adjacent tracts, parcels or lots.

**DISCLOSURE STATEMENT**

The purpose of this Bulkland Plat is to:

- Show the various Public Roadway and Utility Easements which were vacated by DRB-04-1321
- Create the Fourteen (14) Bulk Parcels shown hereon to facilitate platting of future Trails Units.
- Dedicate the Additional street right of way for Universe Boulevard and Paseo Del Norte and the new street right of ways for Rainbow Boulevard, Woodmont Avenue, and Oakridge Street to the City of Albuquerque in fee simple with warranty covenants by this plat.
- Grant the additional Public Utility Easements as shown hereon.

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\* See Attached UPC's & Owners

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC'S.  
 PROPERTY OWNER OF RECORD: 18 Oct 04  
 Bernalillo County Treasurer

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DISCLAIMER**

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

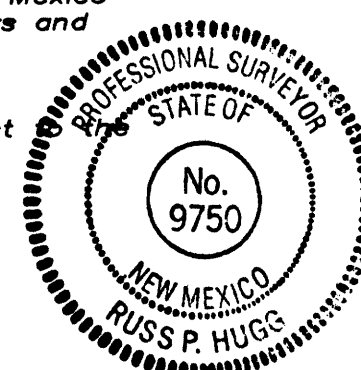
**SHEET INDEX**

- SHEET 1 OF 6 - Approvals, General Notes, Etc...
- SHEET 2 OF 6 - Legal Description, Free consent and dedication
- SHEET 3 OF 6 - Overall Bulk Plat Boundary
- SHEET 4 OF 6 - North 1/2 of Trails Unit 2
- SHEET 5 OF 6 - South 1/2 of Trails Unit 2
- SHEET 6 OF 6 - Curve and Line Tables

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct best of my knowledge and belief.

Russ P. Hugg  
 NMPS No. 9750  
 August 16, 2004



BULK LAND PLAT OF

**THE TRAILS UNIT 2**  
 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS)

WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2004



PROJECT NUMBER: 1002962

Application Number: 04DRB-01322

**PLAT APPROVAL**

**Utility Approvals:**

- Leonard D. Mark 10-15-04  
PNM Electric Services Date
- Leon D. Mark 10-15-04  
PNM Gas Services Date
- David R. Muller 10-11-04  
QWest Corporation Date
- Rita Erickson 9-2-04  
Comcast Date
- [Signature] 9-2-04  
New Mexico Utilities Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

**City Approvals:**

- [Signature] 8-25-04  
City Surveyor Date
- N/A 9/22/04  
Real Property Division Date
- N/A 9/22/04  
Environmental Health Department Date
- [Signature] 9-22-04  
Traffic Engineering, Transportation Division Date
- Roger A. Thea 9-22-04  
Utilities Development Date
- Christine Sandford 9/22/04  
Parks and Recreation Department Date
- Bradley L. Brigham 9/22/04  
AMAFCA Date
- Bradley L. Brigham 9/22/04  
City Engineer Date
- Sharon Madsen 10/18/04  
DRB Chairperson, Planning Department Date

SHEET 1 OF 6

**SURVOTEK, INC.**  
 Consulting Surveyors  
 5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366 Fax: 505-897-3377

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising the following: All of Tracts G and J of the Trails as the same are shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS (A REPLAT OF A PORTION OF TRACT 4, BLACK RANCH), ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2003 in Plat Book 2003C, Page 375; All of those unplatted parcels of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico as described in those certain Warranty Deeds filed in the office of the County Clerk of Bernalillo County, New Mexico on: October 15, 2003 in Book A66, page 3165; August 17, 2003 in Book A65, page 697; September 24, 2003 in Book A65, page 5666; September 17, 2003 in Book A65, page 695; December 15, 2003 in Book A70, page 1736; September 17, 2003 in Book A65, page 694; July 8, 2004 in Book A80, page 5429 and July 2, 2003 in Book A59, page 5015 more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Coordinate System, Central Zone (NAD 27) grid bearings and ground distances as follows:

BEGINNING at the Northeast corner of said Tract G, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) whence the Albuquerque Control Survey Monument "UNION 1969" bears N 23° 28' 16" W, 1559.45 feet distant; Thence,

S 27° 16' 18" E, 370.96 feet along a line common to said Tract G and Tract E of the Trails to the Southwest corner of said Tract E (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

Northeasterly, 11.45 feet on the arc of a curve to the right (said curve having a radius of 672.00 feet, a central angle of 00° 58' 34" and a chord which bears N 64° 24' 38" E, 11.45 feet) to a point of tangency (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 63° 55' 21" E, 126.54 feet to a point of curvature (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

Northeasterly, 474.25 feet on the arc of a curve to the right (said curve having a radius of 628.00 feet, a central angle of 43° 16' 06" and a chord which bears N 85° 33' 24" E, 463.06 feet) to a point of tangency (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

S 72° 48' 33" E, 614.89 feet to the Southeast corner of said Tract F and an angle point on the West line of said Tract J (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 00° 30' 19" E, 749.23 feet along a line common to said Tracts F and J to a point on curve and the Northwest corner of said Tract J (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); said point also being the Northeast corner of said Tract F and a point on curve on the Southerly line of Tract D, The Trails; Thence,

Southeasterly, 22.80 feet along a line common to said Tracts D and F, The Trails on the arc of a curve to the left (said curve having a radius of 2000.00 feet, a central angle of 00° 39' 11" and a chord which bears S 89° 49' 00" E, 22.80 feet) to the Southeast corner of said Tract D (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 00° 06' 04" E, 1955.83 feet along the Easterly line of said Tracts B, D and OS-2, The Trails to the Northeast corner of said Tract B (a 5/8" Rebar and cap stamped "L.S. 5978" found in place), said point being a point on the southerly line of Paseo Del Norte and a point on the South line of Projected Section 16, Township 11 North, Range 2 East; Thence,

S 89° 48' 21" E, 2058.47 feet along said southerly line of Paseo Del Norte and the South line of Projected Section 16, Township 11 North, Range 2 East to the projected section corner common to Sections 9, 10, 15 and 16, Township 11 North, Range 2 East (a 5/8" Rebar and cap stamped "L.S. 9750" set) said point being the Northeast corner of the parcel herein described; Thence,

S 00° 16' 10" W, 1961.76 feet along the East line of Projected Section 16, Township 11 North, Range 2 East to the Northeast corner of said Tract J, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

S 00° 16' 10" W, 1315.62 feet along the said East line of Projected Section 16, Township 11 North, Range 2 East to the Southeast corner of said Tract J, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) said point being a point on the Southerly Boundary of the Town of Alameda Grant; Thence Northwest along said Southerly Boundary of the Town of Alameda Grant for the following four (4) courses:

N 89° 40' 43" W, 1064.68 feet to the 6-1/2 mile marker on said Southerly Boundary of the Town of Alameda Grant (a 3-1/4" brass cap found in place); Thence,

N 89° 44' 42" W, 1588.93 feet to the corner common to said Tracts G and J, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,

N 89° 44' 33" W, 1053.27 feet to the 7 mile marker on said Southerly Boundary of the Town of Alameda Grant (a 3-1/4" brass cap found in place); Thence,  
N 89° 40' 58" W, 266.70 feet to the Southwest corner said Tract G, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place); Thence,  
N 00 15' 20" E, 978.73 feet to the Northwest corner said Tract G, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) said point also being the Southwest corner of said Tract H, The Trails; Thence,  
S 89° 37' 33" E, 550.24 feet along a line common to said Tracts G and H to the point of beginning of the parcel herein described.

Said parcel contains 189.6538 acres, more or less.

**EXCEPTING THEREFROM:**

That certain parcel of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising All of that certain unplatted parcel of land as described in that certain Warranty Deed filed in the office of the County Clerk of Bernalillo County, New Mexico on: January 1, 2000 in Book A1, page 4988 more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Coordinate System, Central Zone (NAD 27) grid bearings and ground distances as follows:

BEGINNING at the Northeast corner of said Warranty Deed parcel whence the Northeast corner of Tract B, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) as the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS (A REPLAT OF A PORTION OF TRACT 4, BLACK RANCH), ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2003 in Plat Book 2003C, Page 375 bears N 42° 29' 18" W, 664.90 feet distant; Thence,

S 89° 45' 40" E, 450.00 feet to the Northeast corner of said Warranty Deed parcel; Thence,

S 00° 06' 45" W, 489.04 feet to the Southeast corner of said Warranty Deed parcel; Thence,

N 89° 43' 58" W, 450.20 feet to the Southwest corner of said Warranty Deed parcel; Thence,

N 00° 08' 08" E, 488.82 feet to the Northeast corner and point of beginning of the parcel herein described.

Said parcel contains 5.0520 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising "BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional and new street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**OWNER(S)**

THE TRAILS, LLC  
Longford Group, Inc., its Manager

By James R. Baker 10-6-04  
James R. Baker, Division President Date

THE TRAILS COMMUNITY ASSOCIATION, INC.

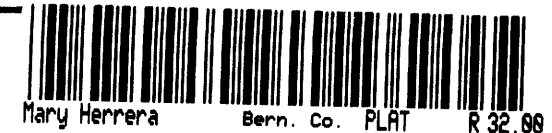
By Tracy Murphy 10-7-04  
Tracy Murphy, President Date

**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 6<sup>th</sup> day of October, 2004, by James R. Baker, Division President of The Trails, LLC.

Abria Jean Sanchez My commission expires 3-19-07  
Notary Public



2884146566  
618663  
Page: 2 of 6  
18/18/2884 03:52P  
Bk-2884C Pg-332

**BULK LAND PLAT OF  
THE TRAILS UNIT 2**  
(BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS)  
WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2004

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

TRACTS 1 thru 12 AND TRACTS OS-3 AND OS-4  
THE TRAILS UNIT 2

The plat of TRACTS 1 THRU 12 AND TRACTS OS-3 AND OS-4, THE TRAILS UNIT 2 has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for Tracts 1 thru 12 and OS-3 and OS-4, The Trails Unit 2, filed in the office of the County Clerk of Bernalillo County, New Mexico on October 15, 2004 in Book 885, page 6187.

**BLANKET EASEMENT NOTES**

- 1. Tracts OS-3 and OS-4 are subject to a blanket access, public open space and public storm drain easements to be granted with the filing of this plat. Said Tracts OS-3 and OS-4 are also subject to a blanket easement for public water and public sanitary sewer to be granted to the City of Albuquerque and New Mexico Utilities, Inc. with the filing of this plat.
- 2. Existing Tracts G and J, The Trails are subject to a blanket easement for public access, public storm drain, public water and public sanitary sewer granted to the City of Albuquerque by plat filed December 15, 2003 in Plat Book 2003C, page 375.
- 3. Existing Tracts G, H and J, The Trails are subject to a public water easement for a future well site granted to New Mexico Utilities, Inc. by plat filed December 15, 2003 in Plat Book 2003C, page 375.

Blanket Easements pertaining to Tracts G and J as defined in Notes 2 and 3 above are VACATED by DRB 04 13221.  
All Blanket Easements pertaining to Tract H are to remain.

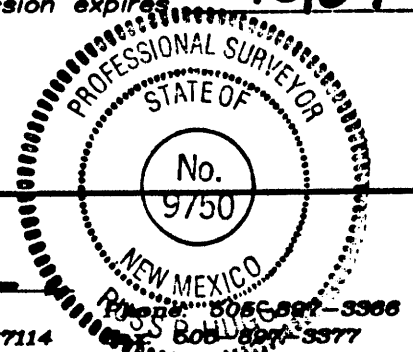
**ACKNOWLEDGEMENT**

STATE OF Nevada  
COUNTY OF Clark SS

The foregoing instrument was acknowledged before me this 7<sup>th</sup> day of October, 2004, by Tracy Murphy, President of The Trails Community Association, Inc.

Crystal House My commission expires 5/5/07  
Notary Public

SHEET 2 OF 6  
**SURV TEK, INC.**  
Consulting Surveyors  
6645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114



# BULK LAND FLAT OF THE TRAILS UNIT 2

(BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS)

WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO AUGUST, 2004

Albuquerque Central Survey Monument "R-810"  
New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
Y= 1,527,876.48  
X= 357,543.73  
Ground to grid factor= 0.99999364  
Delta Alpha= -00'18"30"  
Elevation= 5428.35 (NGVD29)

Existing 20' Public Easement for general public road purposes and placement, maintenance and operation of public utilities as reserved in Warranty Deed filed June 19, 1989 in Book D862, page 539  
VACATED BY 04 DRB-1321

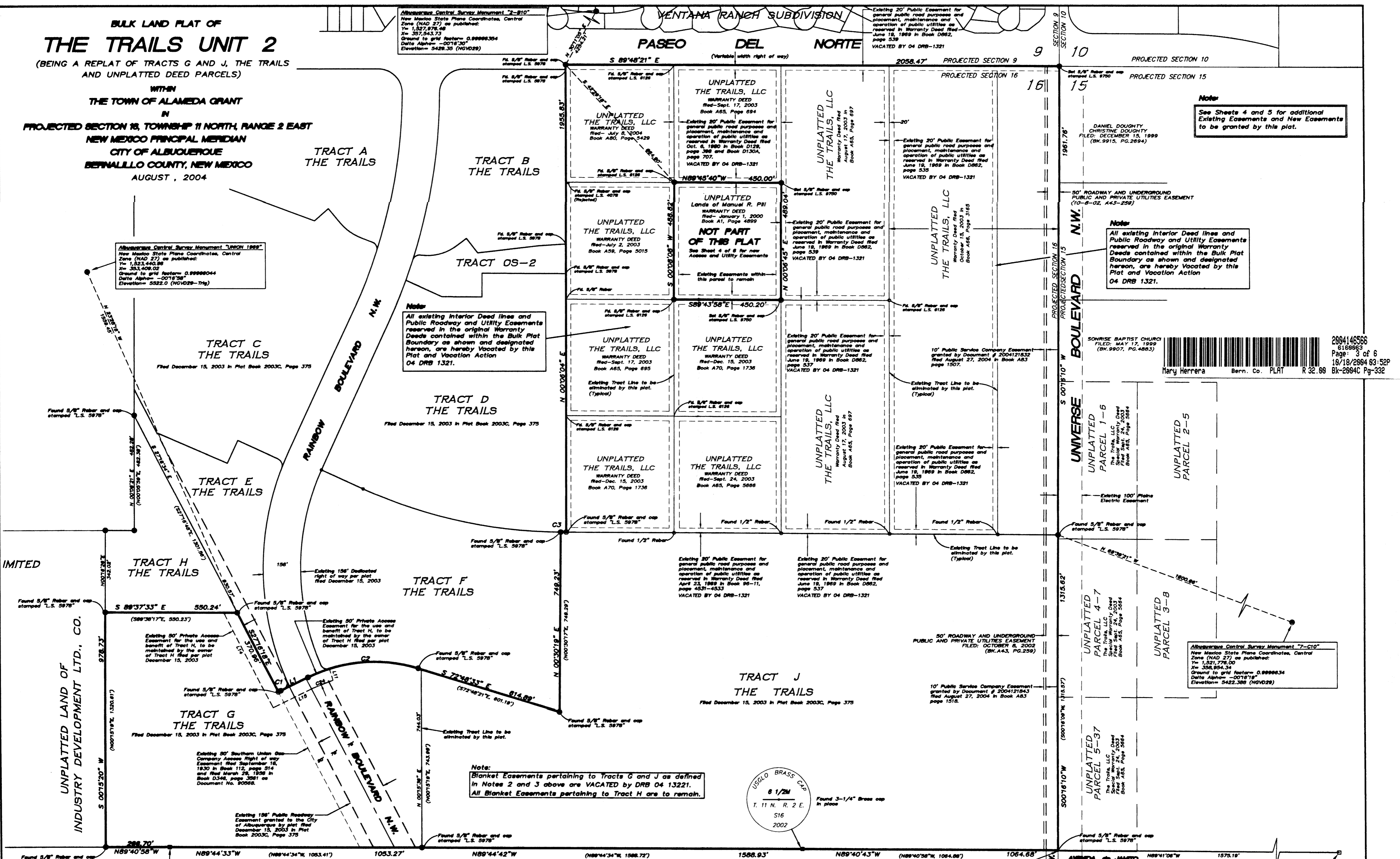
Note:  
All existing interior Deed lines and Public Roadway and Utility Easements reserved in the original Warranty Deeds contained within the Bulk Plat Boundary as shown and designated hereon, are hereby VACATED by this Plat and Vacation Action 04 DRB 1321.

Note:  
All existing interior Deed lines and Public Roadway and Utility Easements reserved in the original Warranty Deeds contained within the Bulk Plat Boundary as shown and designated hereon, are hereby VACATED by this Plat and Vacation Action 04 DRB 1321.

Note:  
See Sheets 4 and 5 for additional Existing Easements and New Easements to be granted by this plat.

Albuquerque Central Survey Monument "UNION 1989"  
New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
Y= 1,523,440.98  
X= 353,409.02  
Ground to grid factor= 0.99999044  
Delta Alpha= -00'18"30"  
Elevation= 5522.0 (NGVD29-71g)

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Page: 3 of 6  
18/18-2884 83-52P  
Bk-2884C Pg-32



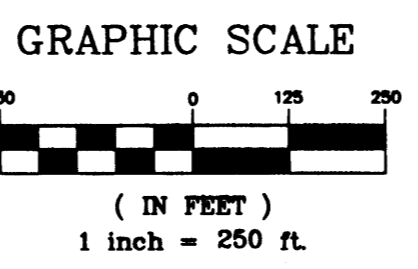
UNPLATTED LAND OF INDUSTRY DEVELOPMENT LTD., CO.

UNPLATTED LAND OF STATE OF NEW MEXICO

SOUTH BOUNDARY LINE TOWN OF ALAMEDA GRANT

UNPLATTED LAND OF STATE OF NEW MEXICO

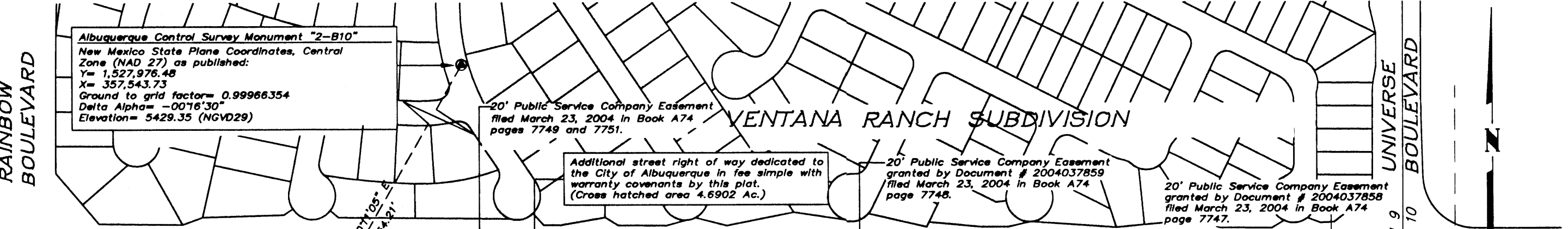
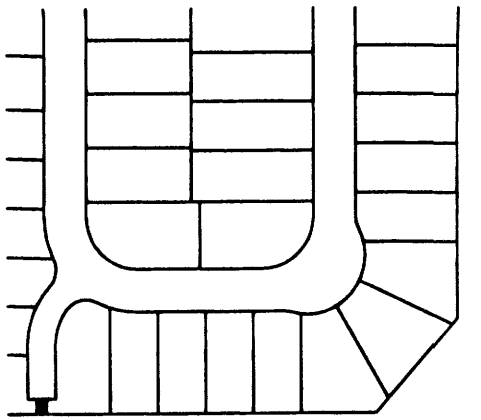
Note:  
See Sheets 4 and 5 for additional Existing Easements and New Easements to be granted by this plat.



**SURVOTEK, INC.**  
Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-5366  
Fax: 505-897-3377

**BULK LAND PLAT OF  
THE TRAILS UNIT 2**  
(BEING A REPLAT OF TRACTS G AND J, THE TRAILS  
AND UNPLATTED DEED PARCELS)

WITHIN  
**THE TOWN OF ALAMEDA GRANT**  
IN  
**PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO PASEO DEL NORTE**  
AUGUST, 2004



**TRACT A  
THE TRAILS**  
Filed December 15, 2003 in Plat Book 2003C, Page 375

**TRACT B  
THE TRAILS**

**TRACT 1**  
12.3383 Ac.

**TRACT 2**  
10.3965 Ac.

**TRACT 3**  
10.5715 Ac.

**TRACT OS-1**

**TRACT OS-2**

**TRACT OS-3**  
2.9758 Ac.

**UNPLATTED  
NOT PART  
OF THIS PLAT**

**TRACT OS-4**  
5.0749 Ac.

**TRACT C  
THE TRAILS**

**TRACT D  
THE TRAILS**  
Filed December 15, 2003 in Plat Book 2003C, Page 375

**TRACT 4**  
19.3591 Ac.

**TRACT 5**  
20.2276 Ac.

**TRACT E  
THE TRAILS**

**TRACT H  
THE TRAILS**

**TRACT F  
THE TRAILS**

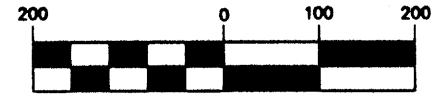
**TRACT 6**  
17.0028 Ac.

**TRACT 7**  
14.2392 Ac.

**TRACT 12**  
5.3585 Ac.

OF  
VT LTD., CO.

SEE SHEET 5 OF 6



( IN FEET )  
1 inch = 200 ft.

SHEET 4 OF 6

**SURVOTEK, INC.**

Consulting Surveyors  
6643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114

Phone: 505-897-3366  
Fax: 505-897-3377

Albuquerque Control Survey Monument "2-B10"  
New Mexico State Plane Coordinates, Central  
Zone (NAD 27) as published:  
Y = 1,527,976.48  
X = 357,543.73  
Ground to grid factor = 0.99966354  
Delta Alpha = -00'16".30"  
Elevation = 5429.35 (NGVD29)

Albuquerque Control Survey Monument "UNION 1989"  
New Mexico State Plane Coordinates, Central  
Zone (NAD 27) as published:  
Y = 1,523,440.96  
X = 353,409.02  
Ground to grid factor = 0.99966044  
Delta Alpha = -00'16".58"  
Elevation = 5522.0 (NGVD29-Trig)

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5169693  
Page: 4 of 6  
18/18/2004 03:52P  
Mary Herrera Bern. Co. PLRT R 32.00 BK-2004C Pg-332

DANIEL BOUCHRY  
CHRISTINE DOUGLASS  
FILED: DECEMBER 15, 1999  
(BK-9915, PG-2694)

SONRIS BAPTIST CHURCH  
FILED: MAY 17, 1999  
(BK-9907, PG-4883)

UNPLATTED  
PARCEL 1-6  
The Trails, LLC  
Special Warranty Deed  
Filed Sept. 24, 2003  
Book A65, Page 5664

UNPLATTED  
PARCEL 4-7  
The Trails, LLC  
Special Warranty Deed  
Filed Sept. 24, 2003  
Book A65, Page 5664

Found 5/8" Rebar and cap stamped "L.S. 5978"

Found 5/8" Rebar and cap stamped "L.S. 5978"

30' Private Temporary Slope Easement granted by document filed July 15, 2004 Book A80, Page 8752

Blanket Drainage Easement granted by document filed July 15, 2004 Book A80, Page 8750

40' Private Access and Public Drainage and Utility Easement granted by this plat.

Found 5/8" Rebar and cap stamped "L.S. 5978"

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20' Public Service Company Easement granted by Document # 2004037859 filed March 23, 2004 in Book A74 page 7745.

20' Public Service Company Easement granted by Document # 2004037859 filed March 23, 2004 in Book A74 page 7745.

20' Public Service Company Easement granted by Document # 2004037859 filed March 23, 2004 in Book A74 page 7745.

10' Public Service Company Easement granted by Document # 2004121832 filed August 27, 2004 in Book A83 page 1507.

10' Public Service Company Easement granted by Document # 2004121832 filed August 27, 2004 in Book A83 page 1507.

Existing 100' Plains Electric Easement

Existing 50' Roadway and Underground Public and Private Utility Easement filed October 8, 2002 in Book A43, page 259.

Additional street right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat. (Cross hatched area 4.6902 Ac.)

40' Private Access and Public Drainage and Utility Easement granted by this plat.

Set 5/8" Rebar and cap stamped "L.S. 9750" (typical all interior corners)

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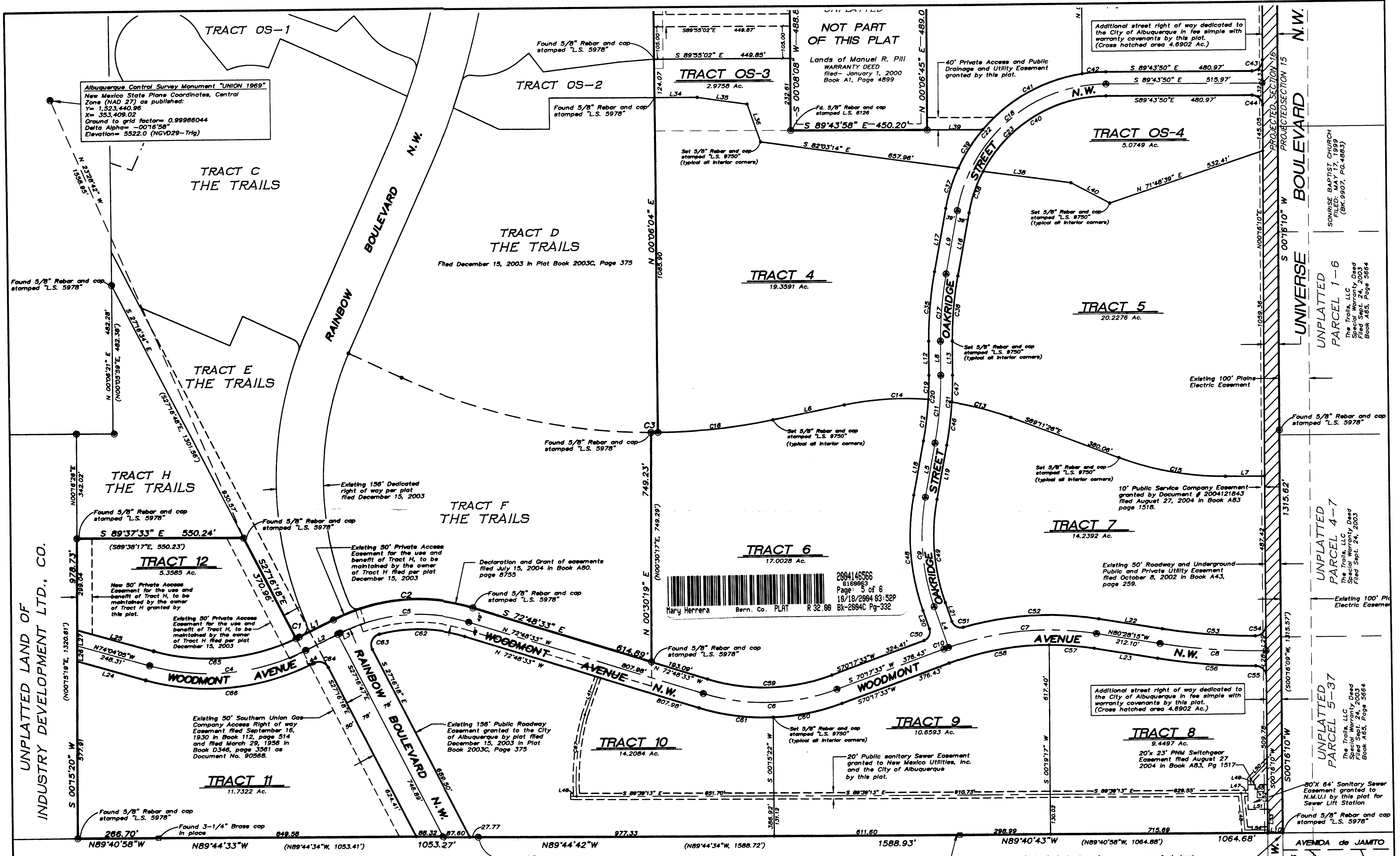
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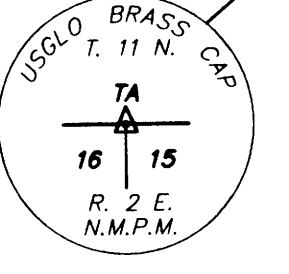
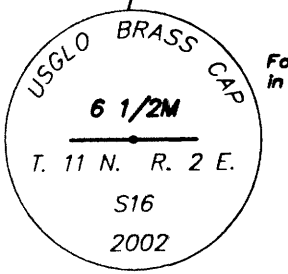
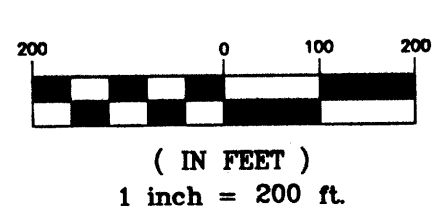
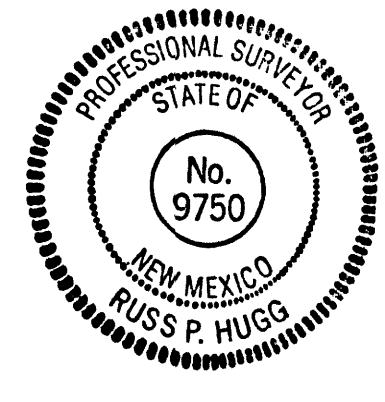


Albuquerque Central Survey Monument "UNION 1969"  
 New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
 Y = 1,323,440.96  
 X = 353,409.02  
 Ground to grid factor = 0.99966044  
 Delta Alpha = -00'16"58"  
 Elevation = 5522.0 (NGVD29-Trig)

UNPLATTED LAND OF INDUSTRY DEVELOPMENT LTD., CO.

UNIVERSE BOULEVARD  
 UNPLATTED PARCEL 1-6  
 UNPLATTED PARCEL 4-7  
 UNPLATTED PARCEL 5-37  
 COMPASS DRIVE N.W.

**BULK LAND PLAT OF THE TRAILS UNIT 2**  
 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS)  
 WITHIN THE TOWN OF ALAMEDA GRANT  
 IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 AUGUST, 2004



UNPLATTED LAND OF STATE OF NEW MEXICO

**BULK LAND PLAT OF**  
**THE TRAILS UNIT 2**  
 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS  
 AND UNPLATTED DEED PARCELS)

WITHIN  
**THE TOWN OF ALAMEDA GRANT**

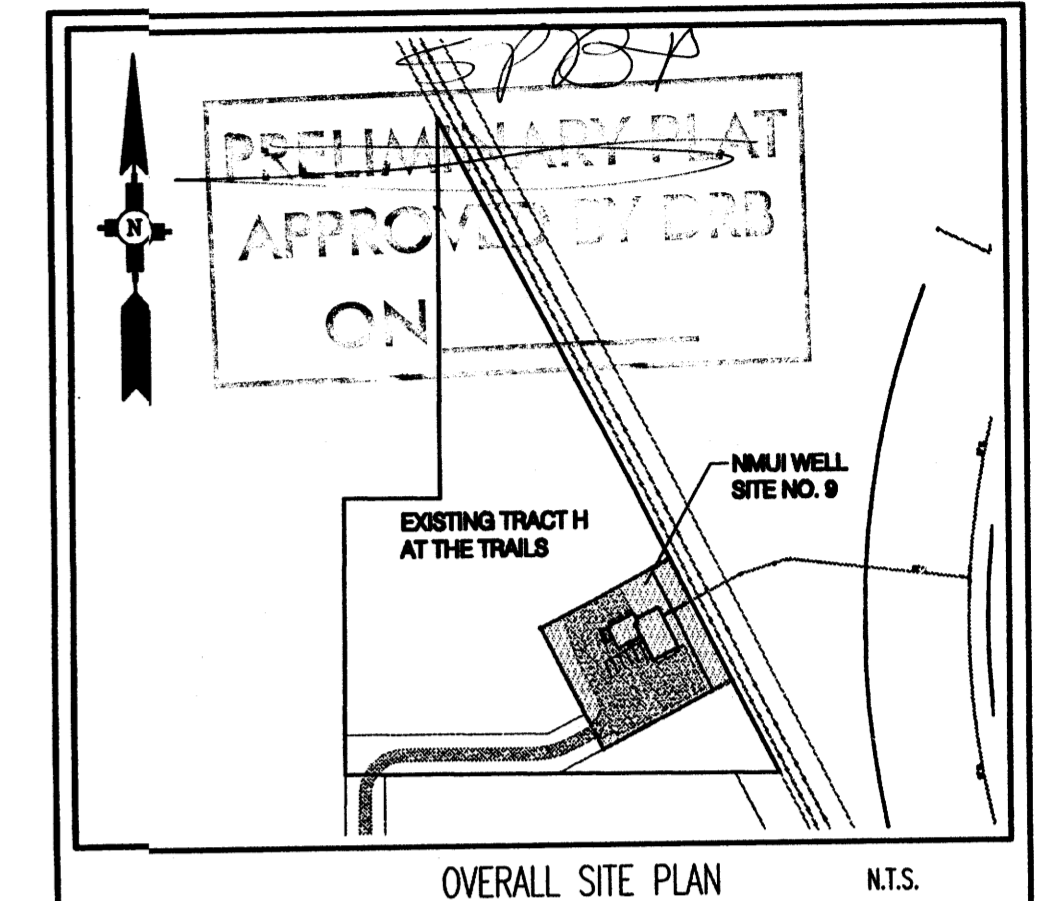
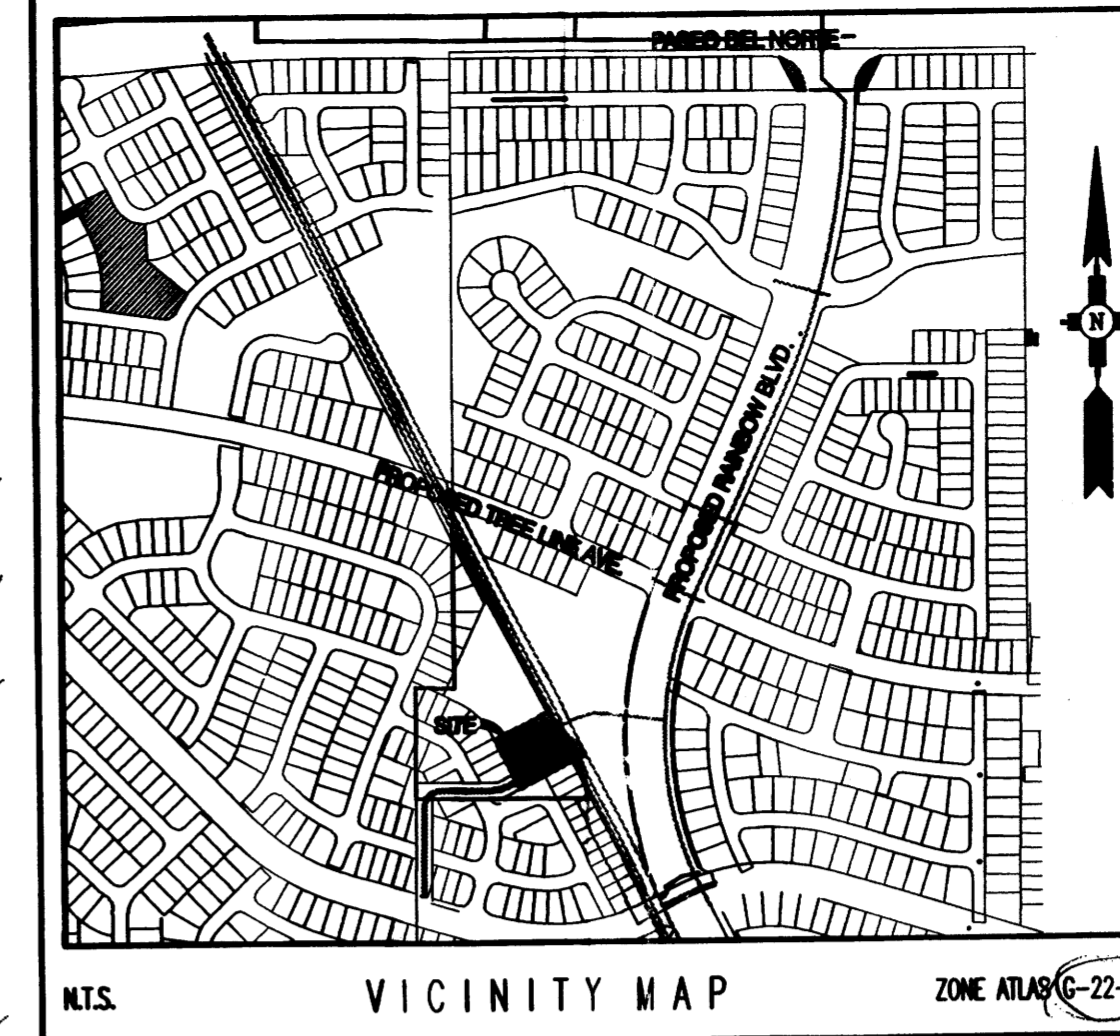
IN  
**PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
 AUGUST, 2004

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	11.45'	672.00'	5.72'	11.45'	N64°24'38"E	0°58'34"
C2	474.25'	628.00'	249.08'	463.06'	S85°33'24"W	43°16'06"
C3	22.80'	2000.00'	11.40'	22.80'	S89°49'00"E	0°39'11"
C4	528.64'	721.00'	276.83'	516.88'	N84°55'38"E	42°00'34"
C5	437.25'	579.00'	229.64'	426.93'	S85°33'24"W	43°16'06"
C6	450.80'	700.00'	233.53'	443.05'	N88°44'30"E	36°53'54"
C7	494.53'	1000.00'	252.43'	489.51'	S85°21'43"W	28°20'05"
C8	350.97'	2000.00'	175.94'	350.92'	S85°29'53"E	10°03'16"
C9	362.69'	700.00'	185.51'	358.64'	S03°57'45"E	29°41'11"
C10	15.74'	1000.00'	7.87'	15.74'	S70°44'36"W	0°54'07"
C11	221.79'	1200.00'	111.21'	221.48'	N05°35'09"E	10°35'24"
C12	136.54'	1161.00'	68.35'	136.46'	S07°30'41"W	6°44'18"
C13	200.90'	1000.00'	100.79'	200.56'	N74°56'46"W	11°30'39"
C14	278.67'	1000.00'	140.25'	277.77'	N86°50'22"E	15°58'01"
C15	358.49'	1000.00'	181.19'	356.57'	S79°27'38"E	20°32'24"
C16	384.49'	2000.00'	192.84'	383.90'	N84°21'51"E	11°00'53"
C17	219.10'	1200.00'	109.86'	218.80'	S05°31'17"W	10°27'41"
C18	693.92'	500.00'	415.97'	639.56'	S50°30'39"W	79°31'03"
C19	78.05'	1161.00'	39.04'	78.03'	S02°13'00"W	03°51'06"
C20	214.59'	1061.00'	107.60'	214.28'	N05°35'09"E	10°35'24"
C21	229.00'	1239.00'	114.83'	228.88'	S05°35'09"W	10°35'24"
C22	748.05'	539.00'	448.42'	689.44'	S50°30'39"E	79°31'03"
C23	639.79'	461.00'	383.53'	589.67'	S50°30'39"W	79°31'03"
C24	88.48'	578.00'	44.32'	88.39'	N68°18'40"E	8°46'13"
C25	Deleted					
C26	Deleted					
C27	Deleted					
C28	Deleted					
C29	Deleted					
C30	Deleted					
C31	Deleted					
C32	Deleted					
C33	Deleted					
C34	Deleted					
C35	226.22'	1239.00'	113.43'	225.91'	S05°31'17"W	10°27'41"
C36	211.98'	1161.00'	106.29'	211.69'	S05°31'17"W	10°27'41"
C37	137.94'	539.00'	69.35'	137.56'	S18°05'01"W	14°39'47"
C38	142.75'	461.00'	71.95'	142.18'	N19°37'22"E	17°44'29"
C39	149.64'	539.00'	75.31'	149.16'	S33°22'07"W	15°54'25"
C40	497.05'	461.00'	275.77'	473.32'	N59°22'53"E	61°46'34"
C41	381.94'	539.00'	199.39'	374.00'	S61°37'21"W	40°36'03"
C42	78.52'	539.00'	39.33'	78.45'	S86°05'46"W	8°20'48"
C43	54.98'	35.00'	35.00'	49.50'	N45°16'10"E	90°00'00"
C44	54.98'	35.00'	35.00'	49.50'	N44°43'50"W	90°00'00"
C45	55.02'	35.00'	35.05'	49.53'	N44°46'05"W	90°04'31"
C46	141.74'	1239.00'	70.95'	141.66'	N07°36'12"E	6°33'16"
C47	87.27'	1239.00'	43.65'	87.25'	N02°18'30"E	4°02'08"
C48	382.89'	739.00'	195.85'	378.62'	S03°57'45"E	29°41'11"
C49	342.48'	661.00'	175.18'	338.66'	S03°57'45"E	29°41'11"
C50	46.65'	30.00'	29.53'	42.09'	N25°44'36"E	89°05'53"
C51	45.20'	30.00'	28.14'	41.05'	S61°58'20"E	86°20'01"
C52	451.64'	1049.00'	229.37'	448.16'	S87°11'42"W	24°40'06"
C53	307.92'	1951.00'	154.28'	307.60'	S84°59'32"E	9°02'34"
C54	55.11'	35.00'	35.13'	49.59'	N45°22'41"E	90°13'01"
C55	54.86'	35.00'	34.88'	49.41'	N44°37'51"W	89°48'02"
C56	324.01'	2049.00'	162.34'	323.67'	S85°00'03"E	9°03'37"
C57	149.02'	951.00'	74.86'	148.87'	N84°57'35"W	8°58'41"
C58	336.25'	951.00'	169.90'	334.51'	S80°25'18"W	20°15'31"
C59	419.24'	651.00'	217.18'	412.04'	N88°44'30"E	36°53'54"
C60	233.13'	749.00'	117.51'	232.19'	N79°12'33"E	17°50'00"
C61	249.23'	749.00'	125.78'	248.08'	S82°20'30"E	19°03'54"
C62	285.78'	530.00'	148.45'	282.33'	N88°15'22"W	30°53'38"
C63	63.27'	35.00'	44.45'	55.00'	S24°30'48"W	103°34'08"
C64	54.25'	35.00'	34.28'	48.98'	N71°40'28"W	88°48'21"
C65	481.26'	672.00'	251.47'	471.05'	N85°24'55"E	41°02'00"
C66	564.57'	770.00'	295.65'	552.01'	N84°55'38"E	42°00'34"
C67	268.64'	800.00'	135.60'	267.38'	S06°21'09"W	19°14'23"

LINE TABLE		
LINE	LENGTH	BEARING
L1	126.54'	N63°55'21"E
L2	126.54'	S63°55'21"W
L3	8.72'	N63°55'21"E
L4	141.45'	N18°48'20"W
L5	179.63'	S10°52'50"W
L6	240.99'	S78°51'21"W
L7	129.13'	S89°43'50"E
L8	110.76'	N00°17'27"E
L9	208.92'	S10°45'07"W
L10	50.00'	N89°40'43"W
L11	50.03'	S17°18'38"E
L12	110.76'	N00°17'27"E
L13	110.76'	N00°17'27"E
L14	446.14'	S27°16'18"E
L15	186.95'	S63°55'34"W
L16	208.92'	S10°45'07"W
L17	208.92'	S10°45'07"W
L18	179.63'	S10°52'50"W
L19	179.63'	S10°52'50"W
L20	63.40'	N18°48'20"W
L21	64.66'	N18°48'20"W
L22	212.10'	N80°28'15"W
L23	212.10'	N80°28'15"W
L24	234.56'	N74°04'05"W
L25	262.06'	N74°04'05"W
L26	50.89'	N00°15'20"E
L27	50.89'	N00°15'20"E
L28	84.18'	N00°16'10"E
L29	83.82'	N00°16'10"E
L30	Deleted	
L31	Deleted	
L32	74.00'	N00°16'10"E
L33	74.00'	N00°16'10"E
L34	140.39'	S89°54'08"E
L35	167.26'	S81°59'57"E
L36	129.67'	S19°31'15"E
L37	Deleted	
L38	292.28'	S82°03'14"E
L39	183.29'	S89°44'24"E
L40	143.83'	S62°09'00"E
L41	130.01'	N19°58'29"E
L42	Deleted	
L43	Deleted	
L44	6.33'	S63°55'20"W
L45	20.00'	N00°06'04"E
L46	20.00'	N89°39'13"W
L47	22.03'	S89°39'13"E
L48	120.23'	S04°49'15"E
L49	18.74'	N00°00'00"W
L50	76.85'	N45°00'00"E
L51	64.00'	S89°43'50"E
L52	80.00'	N00°16'10"E
L53	77.23'	N00°16'10"E
L54	75.36'	S89°40'43"E
L55	54.00'	S89°40'50"E



**SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT  
NEW MEXICO UTILITIES, INC.  
WELL SITE NO. 9  
SITE PLAN**



**GENERAL NOTES:**

- A. EXISTING ZONING: R-D
- B. PROPOSED USE OF BUILDING: PUBLIC UTILITY STRUCTURE - NEW MEXICO UTILITIES, INC., WELL NO. 9.

**KEYED NOTES:**

- ① GRAVEL DRIVING SURFACE.
- ② SPLIT FACE CONCRETE BLOCK PERIMETER WALL. SEE LANDSCAPE PLAN FOR DETAILS.
- ③ TEMPORARY GRAVEL ACCESS DRIVE. FUTURE PERMANENT ACCESS TO BE PROVIDED VIA RESIDENTIAL SUBDIVISION PAVED ROADS.
- ④ EXISTING 50' WIDE P.N.M. GAS LINE EASEMENT.
- ⑤ VEHICULAR ACCESS GATES.
- ⑥ PARKING SPACES.
- ⑦ CONCRETE SIDEWALK.
- ⑧ 20' WATER DISTRIBUTION LINE.
- ⑨ EDGE OF DRIVING SURFACE.
- ⑩ SCREENED MECHANICAL EQUIPMENT ENCLOSED TO MATCH BUILDING CMU.
- ⑪ EXISTING 50' PRIVATE ACCESS EASEMENT.
- ⑫ TRACT H BOUNDARY. (SEE OVERALL SITE PLAN ABOVE)

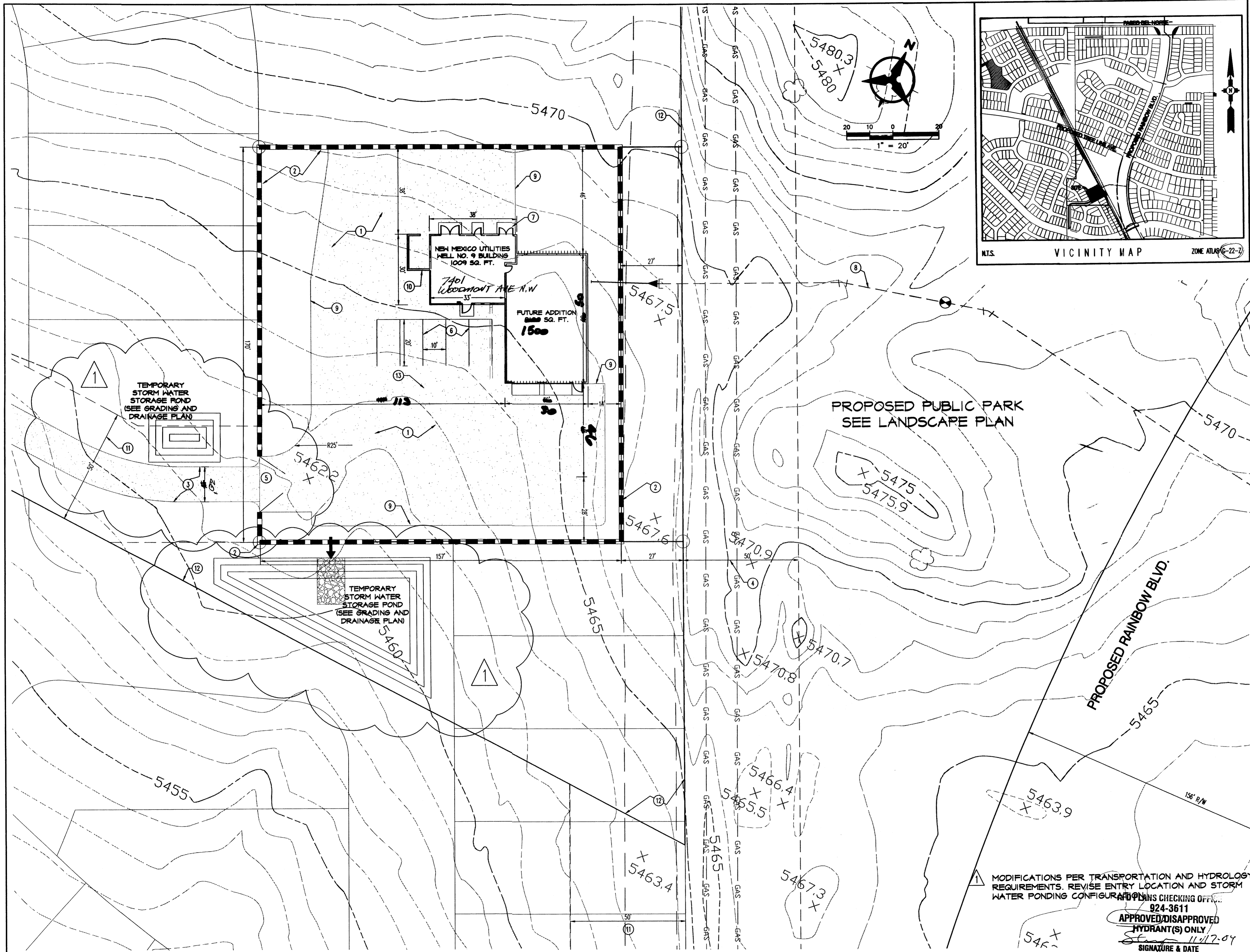
**SITE DEVELOPMENT PLAN APPROVAL:**

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED April 16, 2004 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. E.P.C. Project 1002962/04EPC00299.

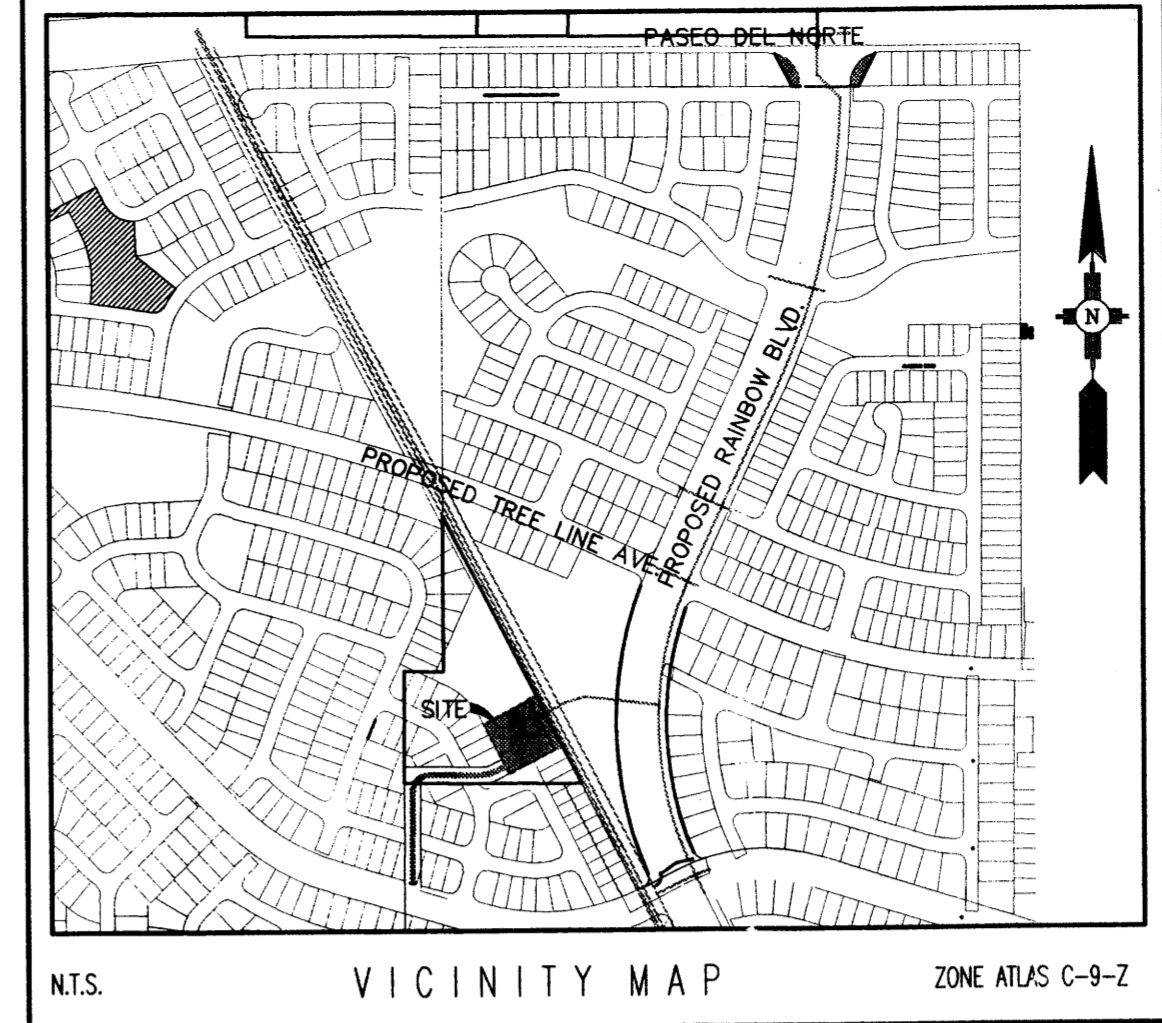
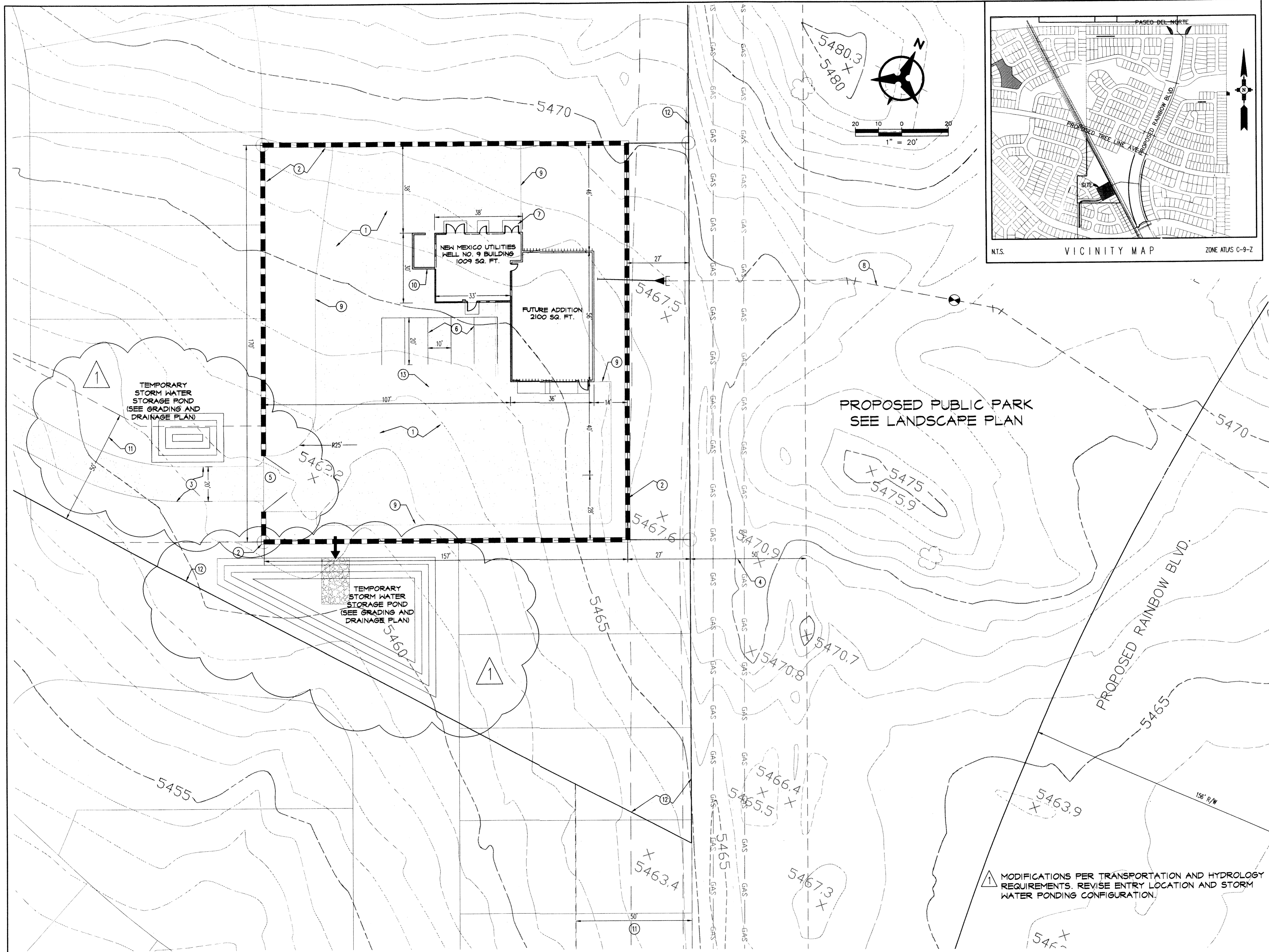
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
<i>Michael Holton</i> SOLID WASTE MANAGEMENT	11-15-04 DATE
DBB CHAIRPERSON, PLANNING DEPARTMENT *Environmental Health, if necessary	12/16/03 DATE

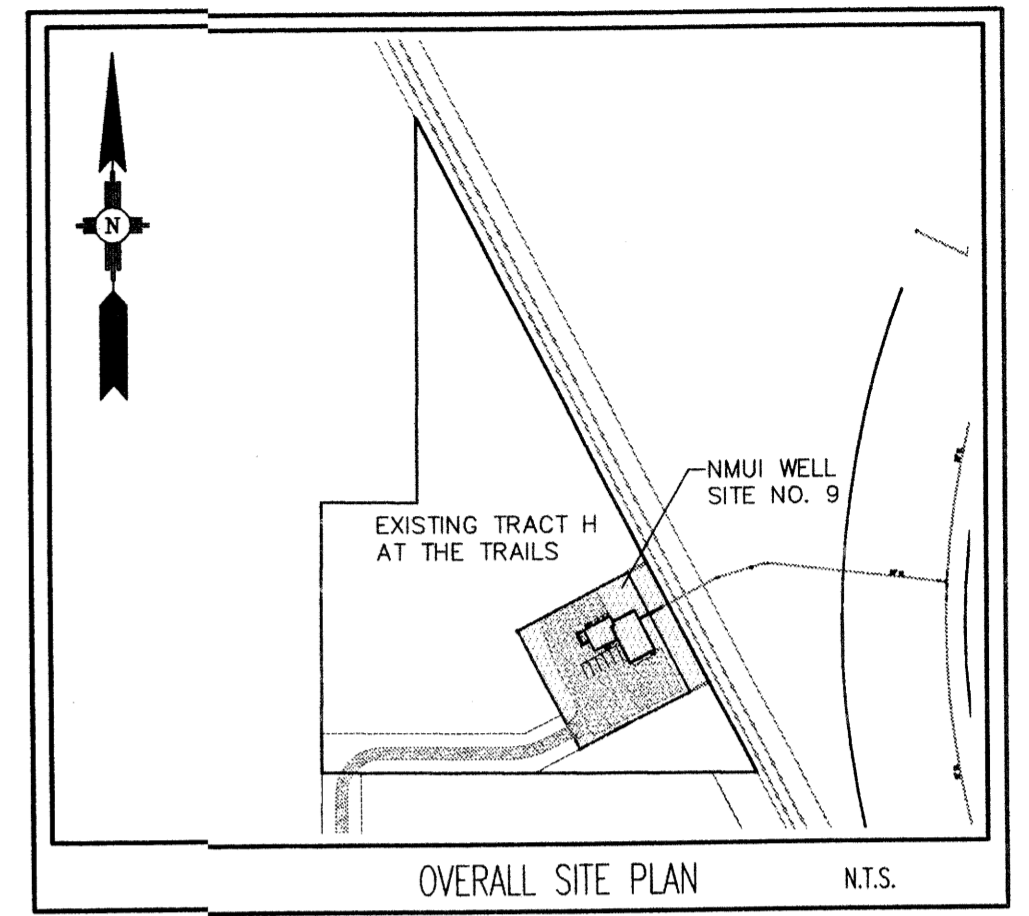
MODIFICATIONS PER TRANSPORTATION AND HYDROLOGY REQUIREMENTS. REVISE ENTRY LOCATION AND STORM WATER PONDING CONFIGURATION.  
PLANS CHECKING OFFICE:  
924-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
*Stamps* 11/17/04  
SIGNATURE & DATE







**SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT**  
**NEW MEXICO UTILITIES, INC.**  
**WELL SITE NO. 9**  
**SITE PLAN**



**GENERAL NOTES:**  
 A. EXISTING ZONING: R-D  
 B. PROPOSED USE OF BUILDING: PUBLIC UTILITY STRUCTURE - NEW MEXICO UTILITIES, INC., WELL NO. 9.

- KEYED NOTES:**
- ① GRAVEL DRIVING SURFACE.
  - ② SPLIT FACE CONCRETE BLOCK PERIMETER WALL. SEE LANDSCAPE PLAN FOR DETAILS.
  - ③ TEMPORARY GRAVEL ACCESS DRIVE. FUTURE PERMANENT ACCESS TO BE PROVIDED VIA RESIDENTIAL SUBDIVISION PAVED ROADS.
  - ④ EXISTING 50' WIDE P.N.M. GAS LINE EASEMENT.
  - ⑤ VEHICULAR ACCESS GATES.
  - ⑥ PARKING SPACES.
  - ⑦ CONCRETE SIDEWALK.
  - ⑧ 20' WATER DISTRIBUTION LINE.
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  - ⑪ EXISTING 50' PRIVATE ACCESS EASEMENT.
  - ⑫ TRACT H BOUNDARY. (SEE OVERALL SITE PLAN ABOVE)

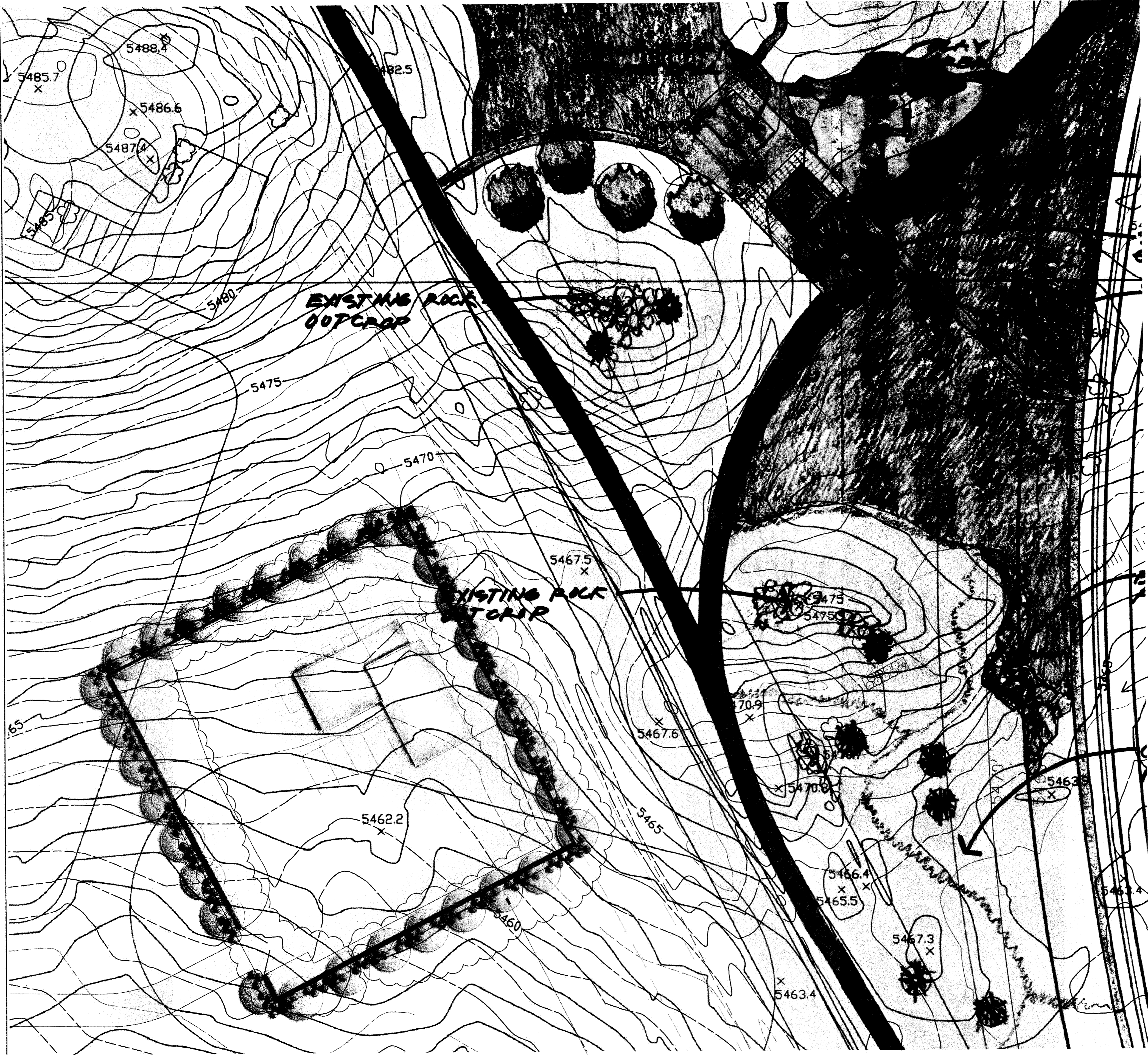
**SITE DEVELOPMENT PLAN APPROVAL:**  
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IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT *Environmental Health, if necessary	DATE 12/16/03

⚠ MODIFICATIONS PER TRANSPORTATION AND HYDROLOGY REQUIREMENTS. REVISE ENTRY LOCATION AND STORM WATER PONDING CONFIGURATION.

**Bohannon & Huston**  
 Consulting | 7000 Jefferson St. NE | Albuquerque, NM 87109-4395  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

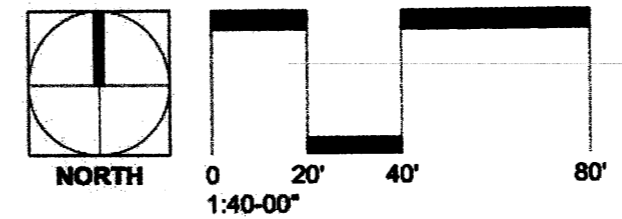


PROPOSED RAINBOW BLVD.

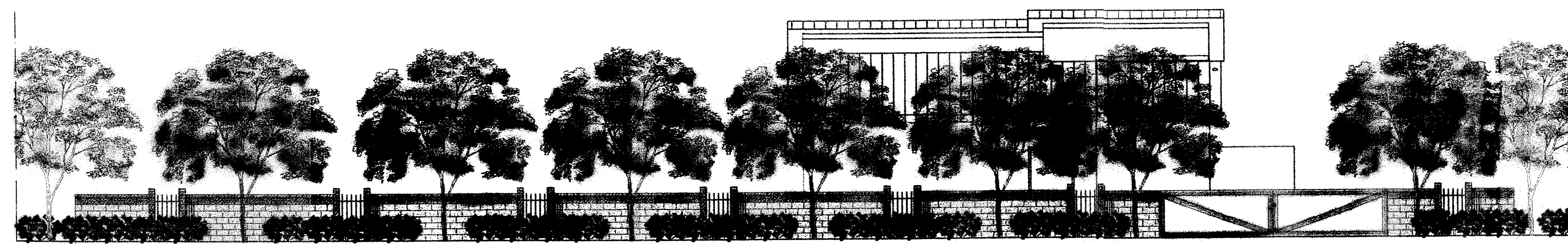
SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT

CONCEPTUAL SITE PLAN

THIS SHEET INCLUDED TO SHOW  
SUBJECT SITE RELATIONSHIP TO  
PROPOSED PUBLIC PARK.



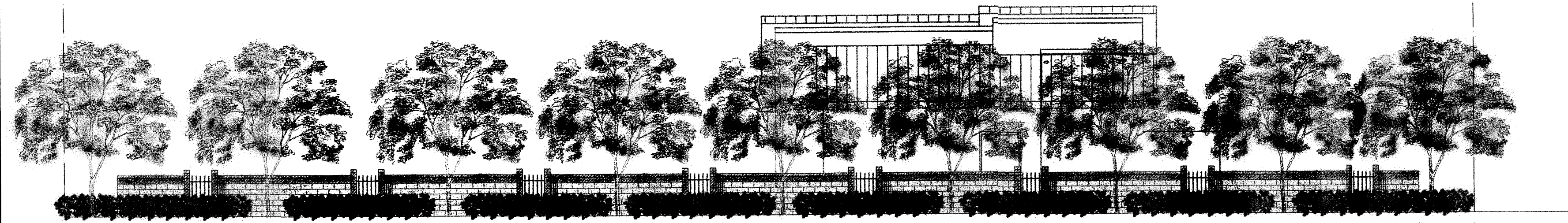
**Bohannon ▲ Huston**  
 Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335  
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES



**WEST ELEVATION**  
SCALE 1 TO 10



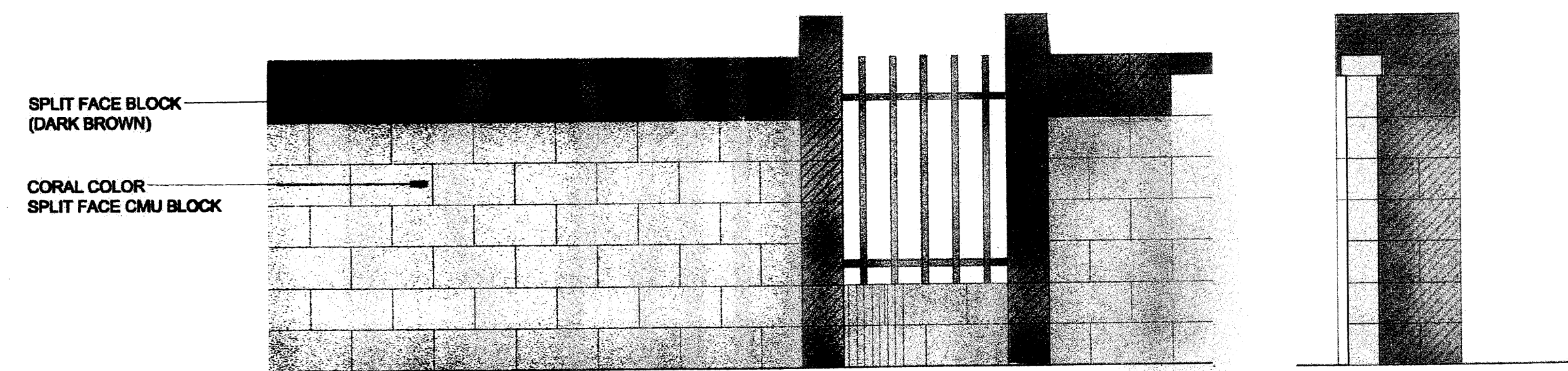
**NORTH ELEVATION**  
SCALE 1 TO 10



**EAST ELEVATION**  
SCALE 1 TO 10

**OPENING PILLAR DETAIL**

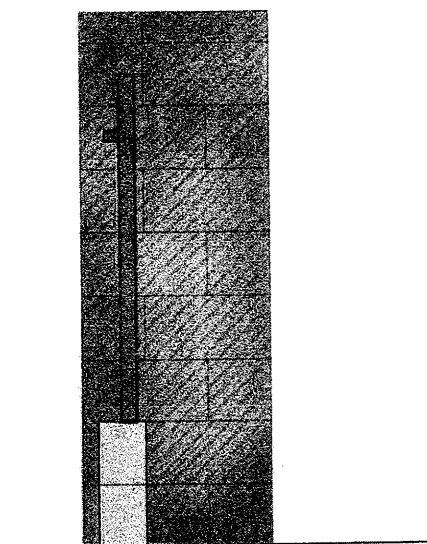
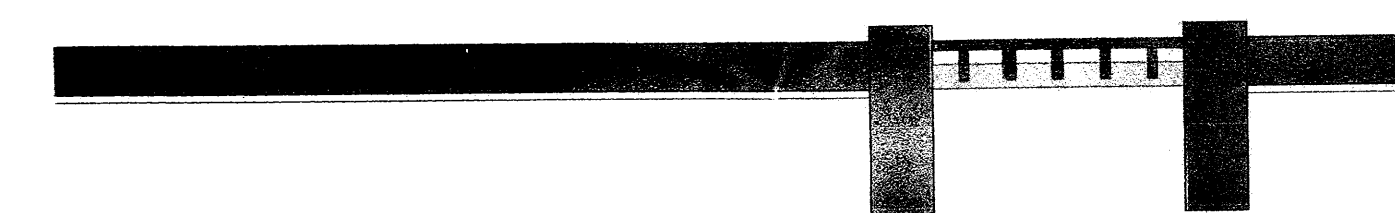
SCALE 1 TO 2



SPLIT FACE BLOCK  
(DARK BROWN)  
CORAL COLOR  
SPLIT FACE CMU BLOCK

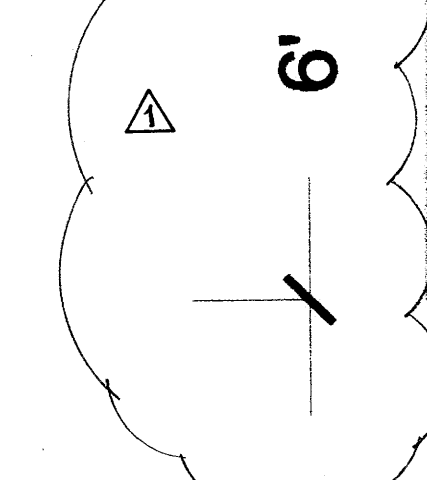
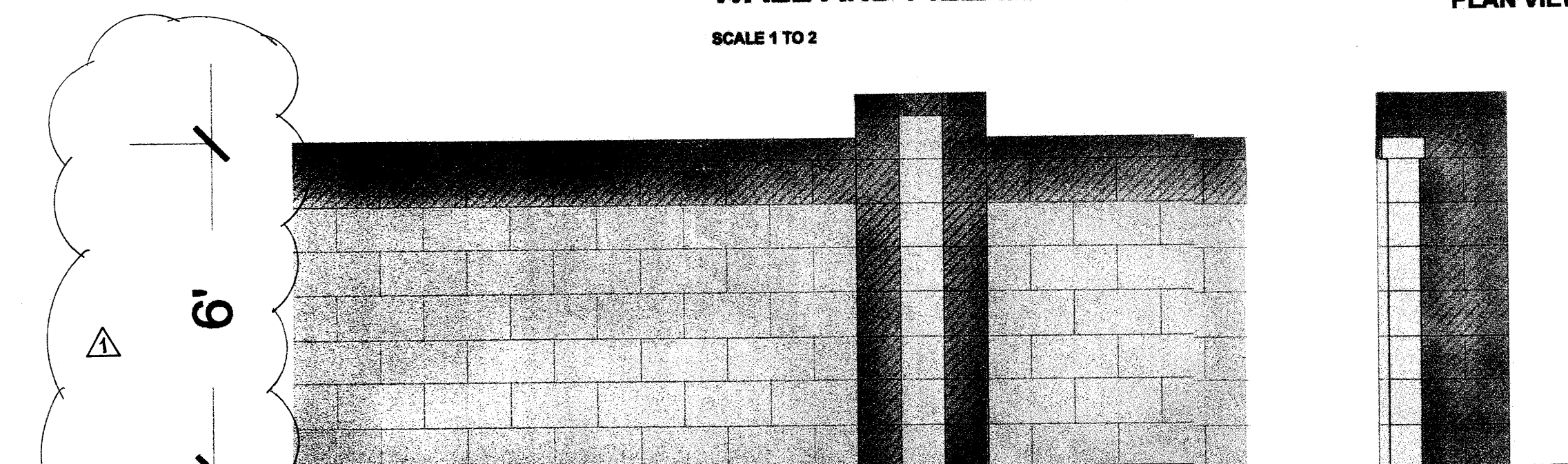
**ELEVATION**

**CROSS SECTION**



**WALL AND PILLAR DETAIL**

SCALE 1 TO 2



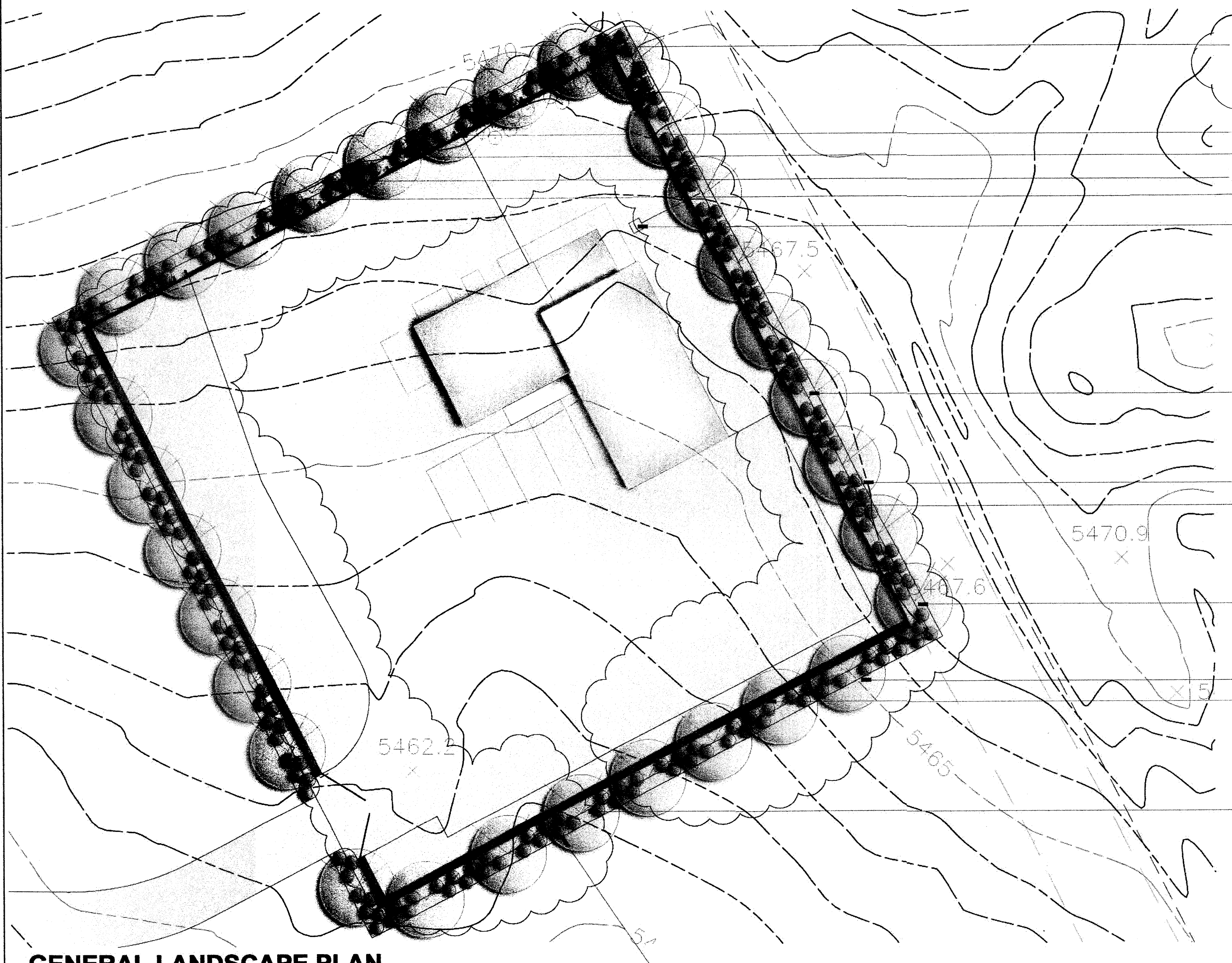
**ELEVATION**

**PLAN VIEW**



**SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT**

**CONCEPTUAL WALL PLANS**



NOTE:  
ALL PLANTS TO BE ON DRIP  
IRRIGATION SYSTEM

NOTE:  
WALL AND PLANTING  
MODIFICATIONS TO ADDRESS  
EPC CONDITIONS DATED APRIL  
15, 2004.

- OPEN PILLAR DETAIL (SEE DETAIL PLAN)
- DESERT WILLOWS (5 gal)
- GRAVEL
- STEEL EDGE
- TEMPORARY IRRIGATION SYSTEM

- DESERT WILLOWS (5 gal)
- STEEL EDGE
- OPEN PILLAR DETAIL (SEE DETAIL PLAN)
- GRAVEL
- STEEL EDGE
- PILLAR DETAIL (SEE DETAIL PLAN)
- DESERT WILLOWS (5 gal)

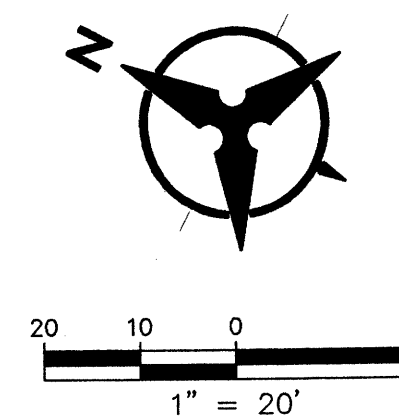
**GENERAL LANDSCAPE PLAN**

F:\Projects\3080 Langford Group\0-Cad\Bose\NMU\041108DW-3080-NMU-modelbase03\_fnd.dwg  
November 12, 2004 - 3:12pm

**Bohannon & Huston**

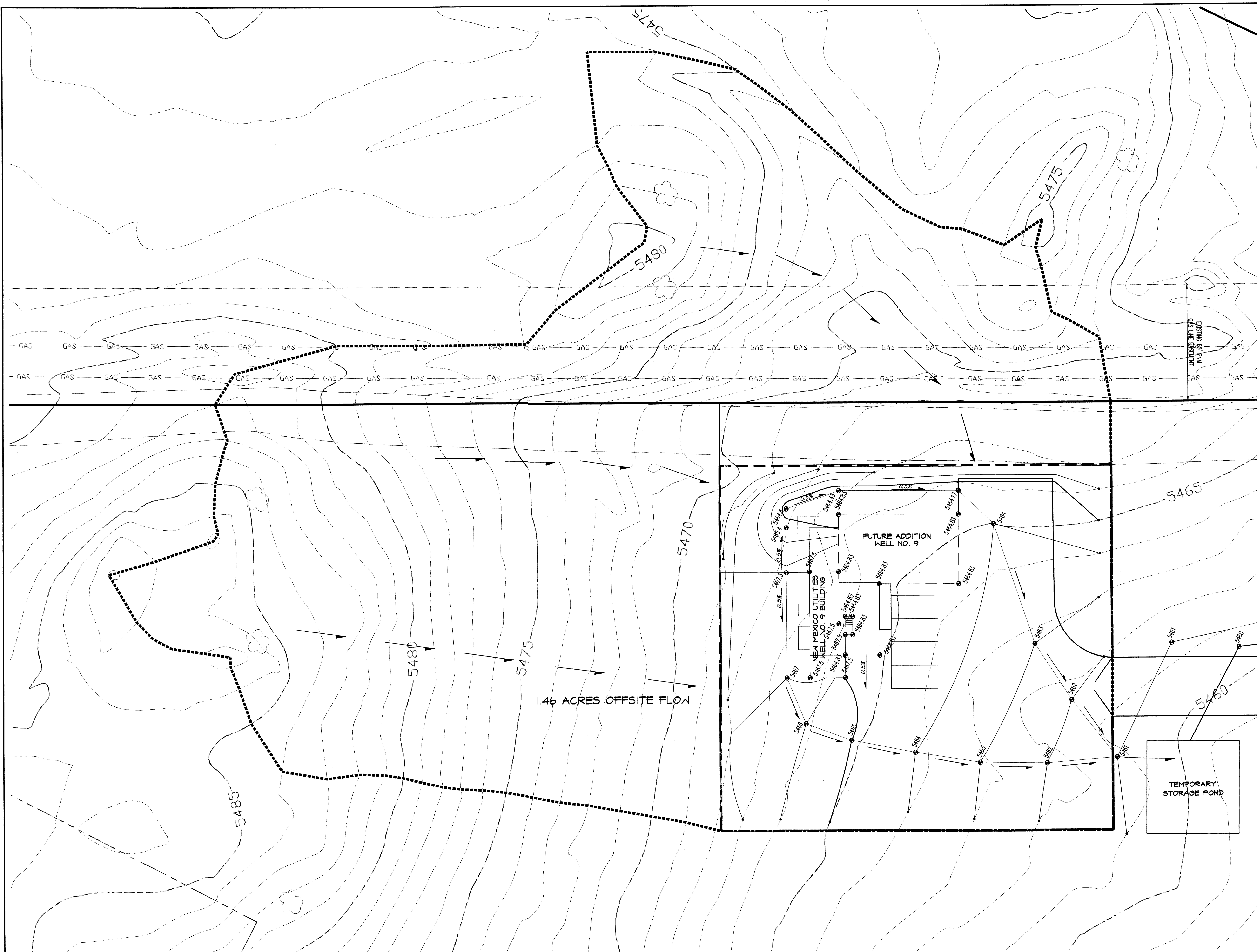
Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

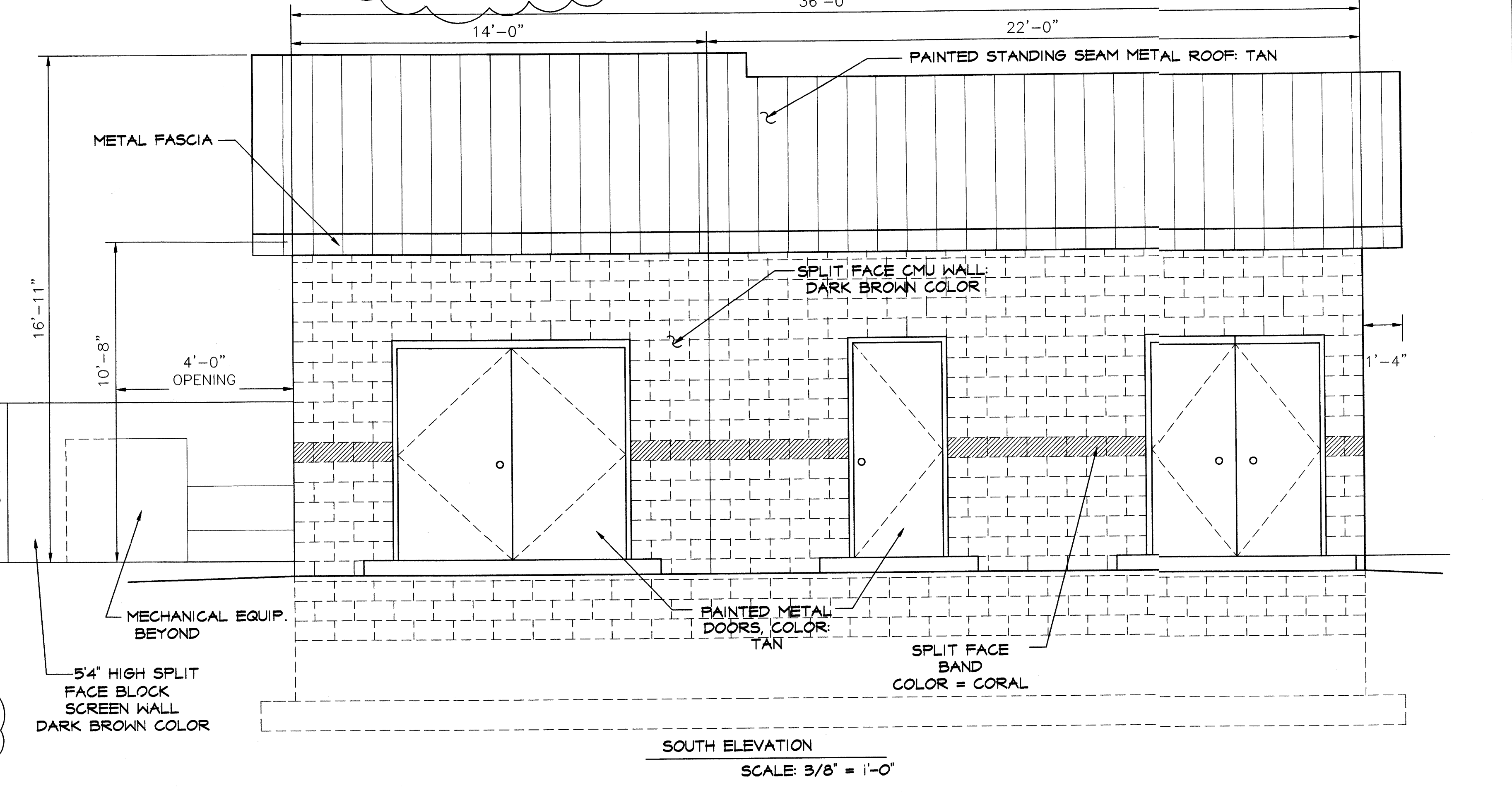
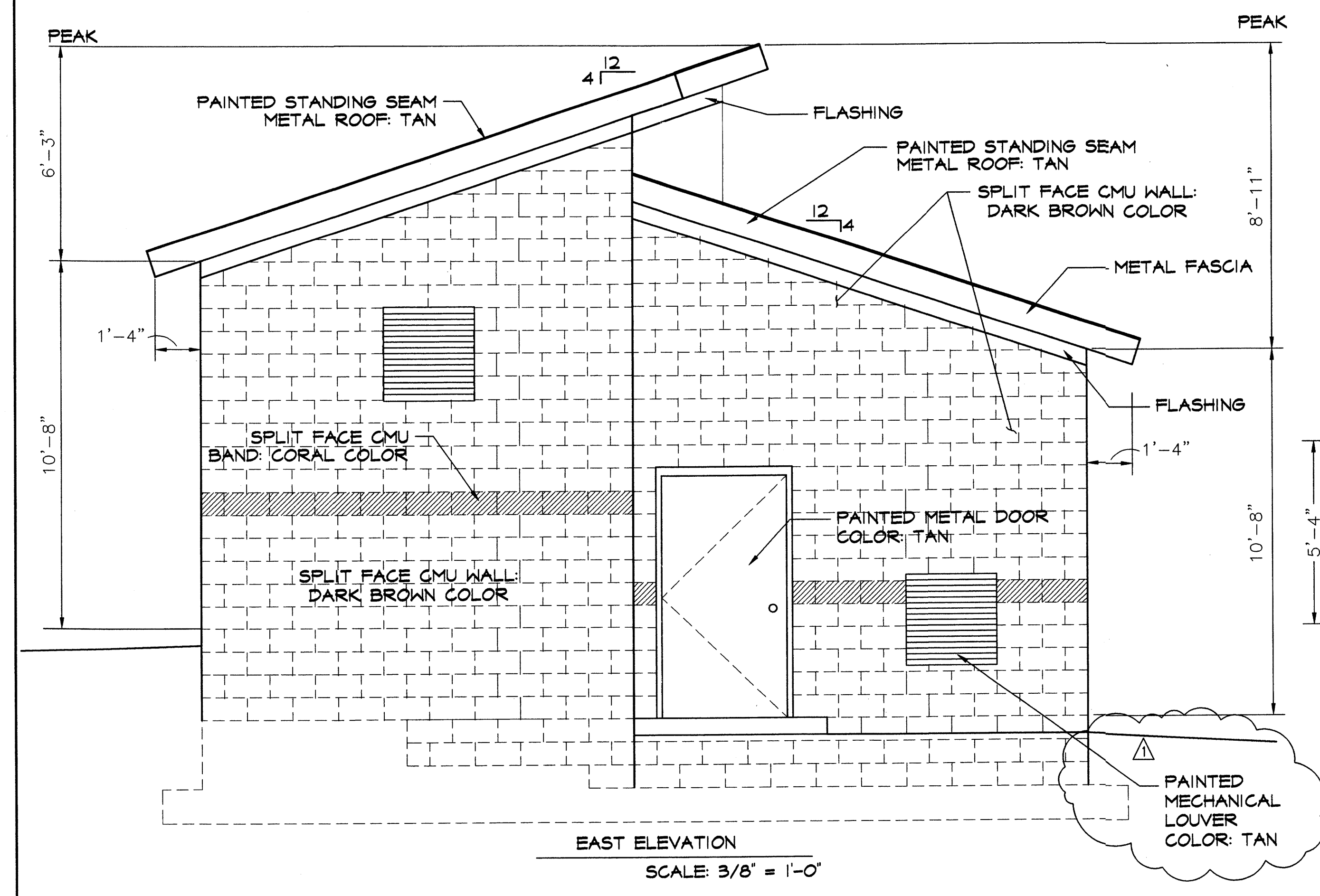
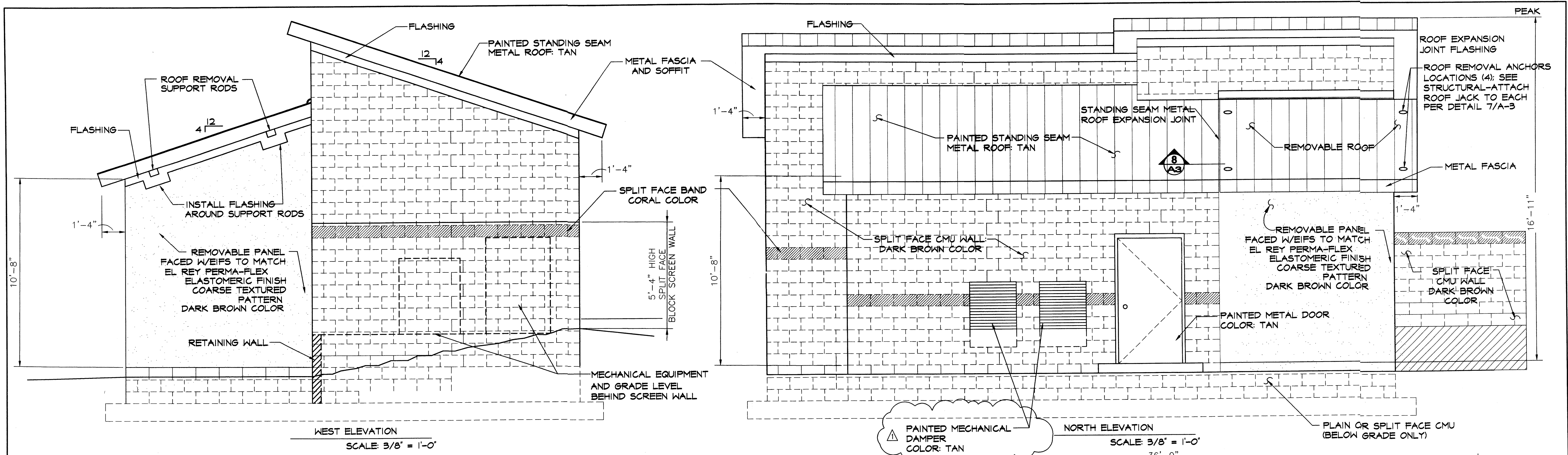
SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT  
NEW MEXICO UTILITIES, INC.  
WELL SITE NO. 9  
CONCEPTUAL GRADING PLAN



LEGEND

- 91.62 PROPOSED SPOT ELEVATION
- 5470 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED PERIMETER WALL (NON RETAINING)
- FUTURE PROPERTY BOUNDARY
- BASIN BOUNDARY
- 5470 PROPOSED CONTOUR





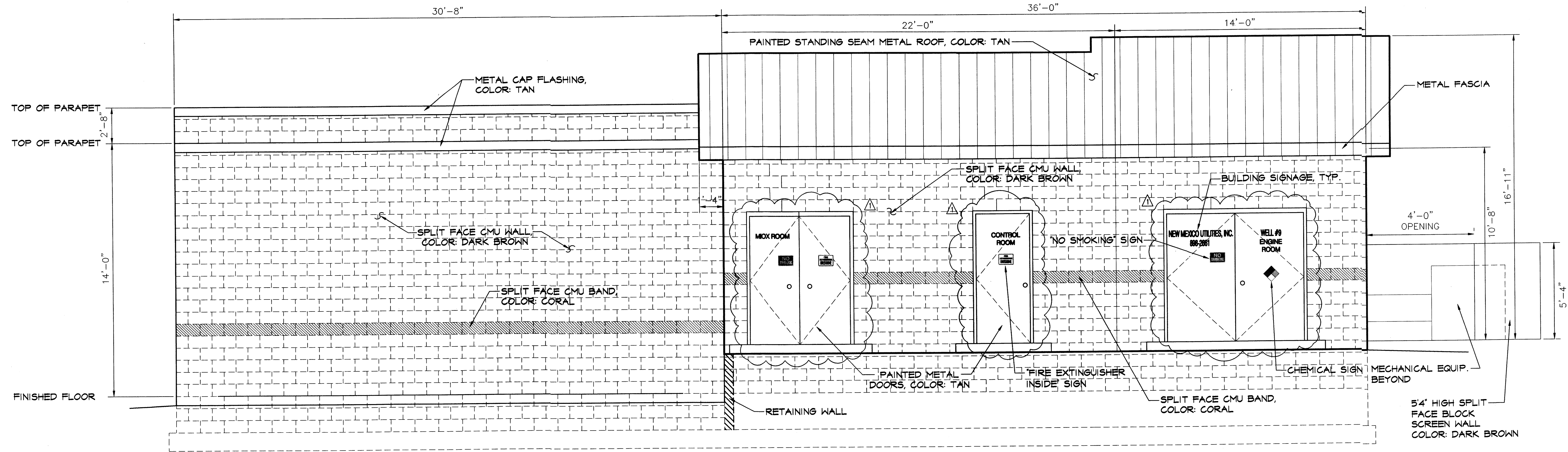
△ REVISIONS PER E.P.C. OFFICIAL NOTICE OF DECISION DATED APRIL 16, 2004.

**SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT**

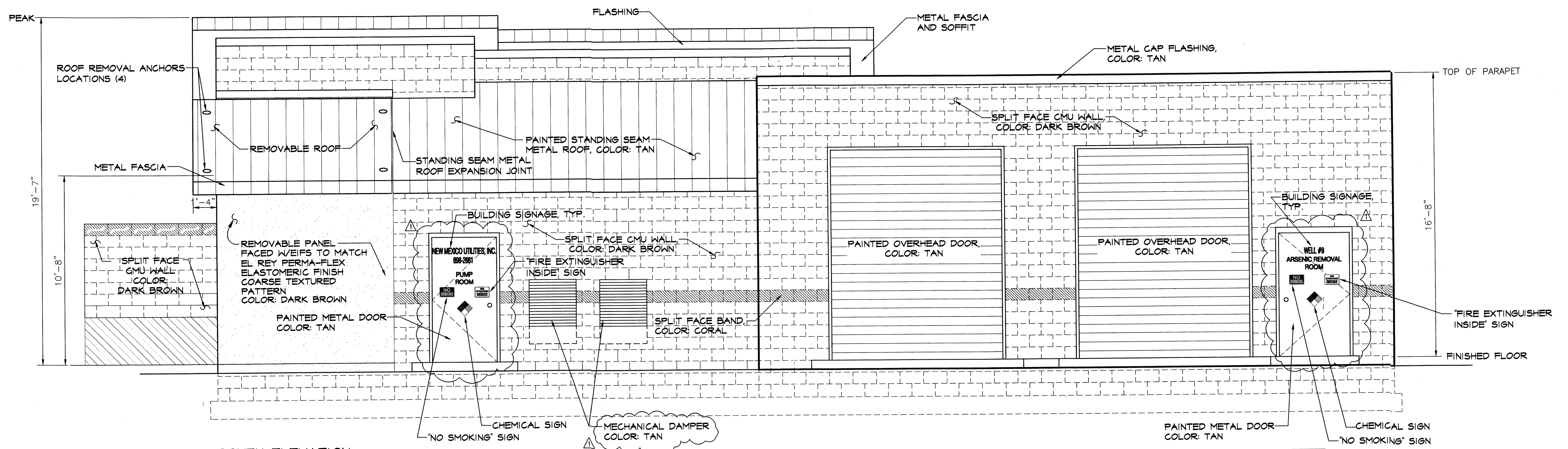
**CONCEPTUAL EXTERIOR  
ELEVATIONS**

**Bohannon & Huston**

Consulting Engineers & Architects  
7600 Jefferson St. NE Albuquerque, NM 87109-4395  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



**NORTH ELEVATION**  
SCALE: 3/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 3/8" = 1'-0"

△ REVISIONS PER E.P.C. OFFICIAL NOTICE OF DECISION DATED APRIL 16, 2004.

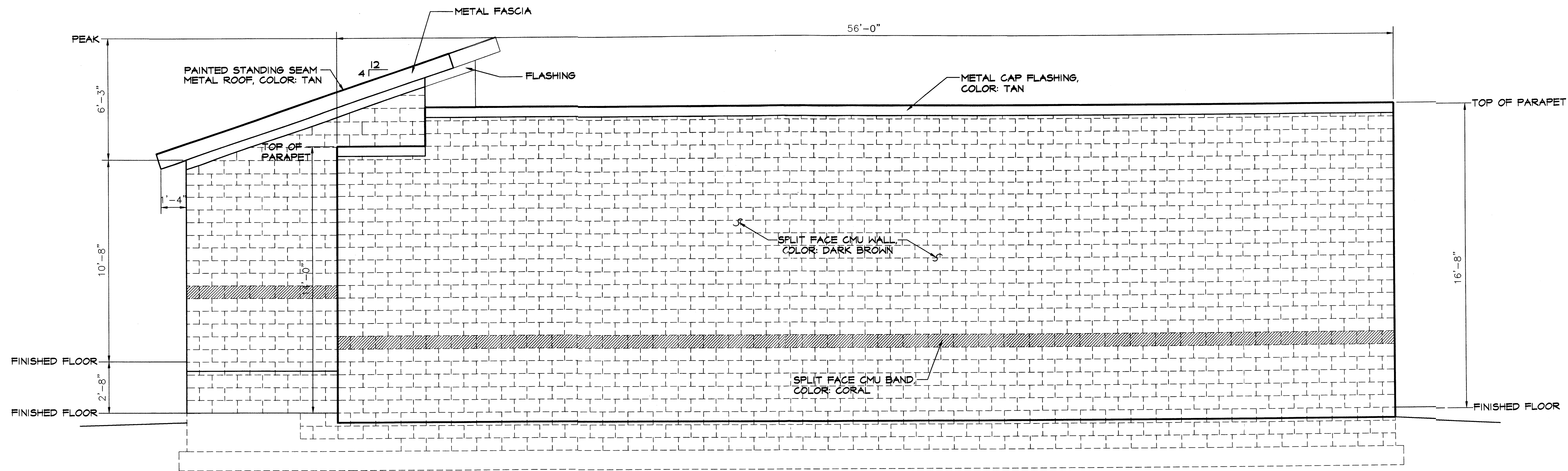
NOTE: ADDITIONAL MECHANICAL LOUVERS/DAMPERS MAY BE ADDED FOLLOWING FINAL DESIGN. PAINT COLOR: TAN.

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

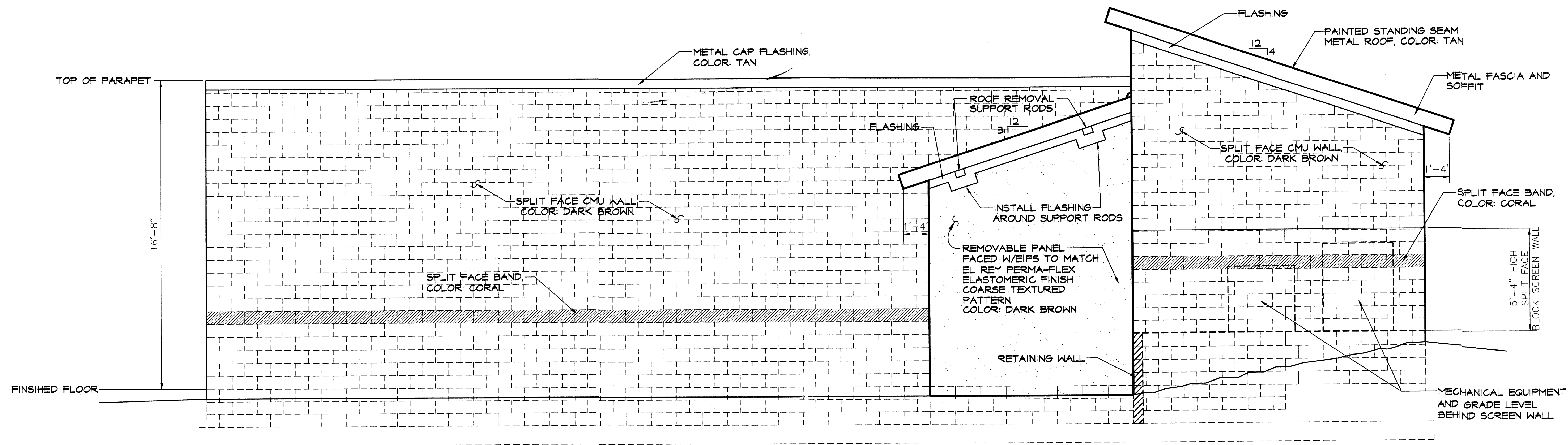
**CONCEPTUAL EXTERIOR ELEVATIONS WITH ADDITION**

**Bohannon & Huston**  
 Courtyard | 7800 Jefferson St. NE | Albuquerque, NM 87109-4395  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

P:\040271\Hydro\design\control\workarea\Site Plan\WELLS-BUILD\_ELEV\_RevEPC.dwg  
November 11, 2004 - 10:52am



**WEST ELEVATION**  
SCALE: 3/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 3/8" = 1'-0"

△ REVISIONS PER E.P.C. OFFICIAL NOTICE OF DECISION DATED APRIL 16, 2004.

NOTE: ADDITIONAL MECHANICAL LOUVERS/DAMPERS MAY BE ADDED FOLLOWING FINAL DESIGN. PAINT COLOR: TAN.

**SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT**

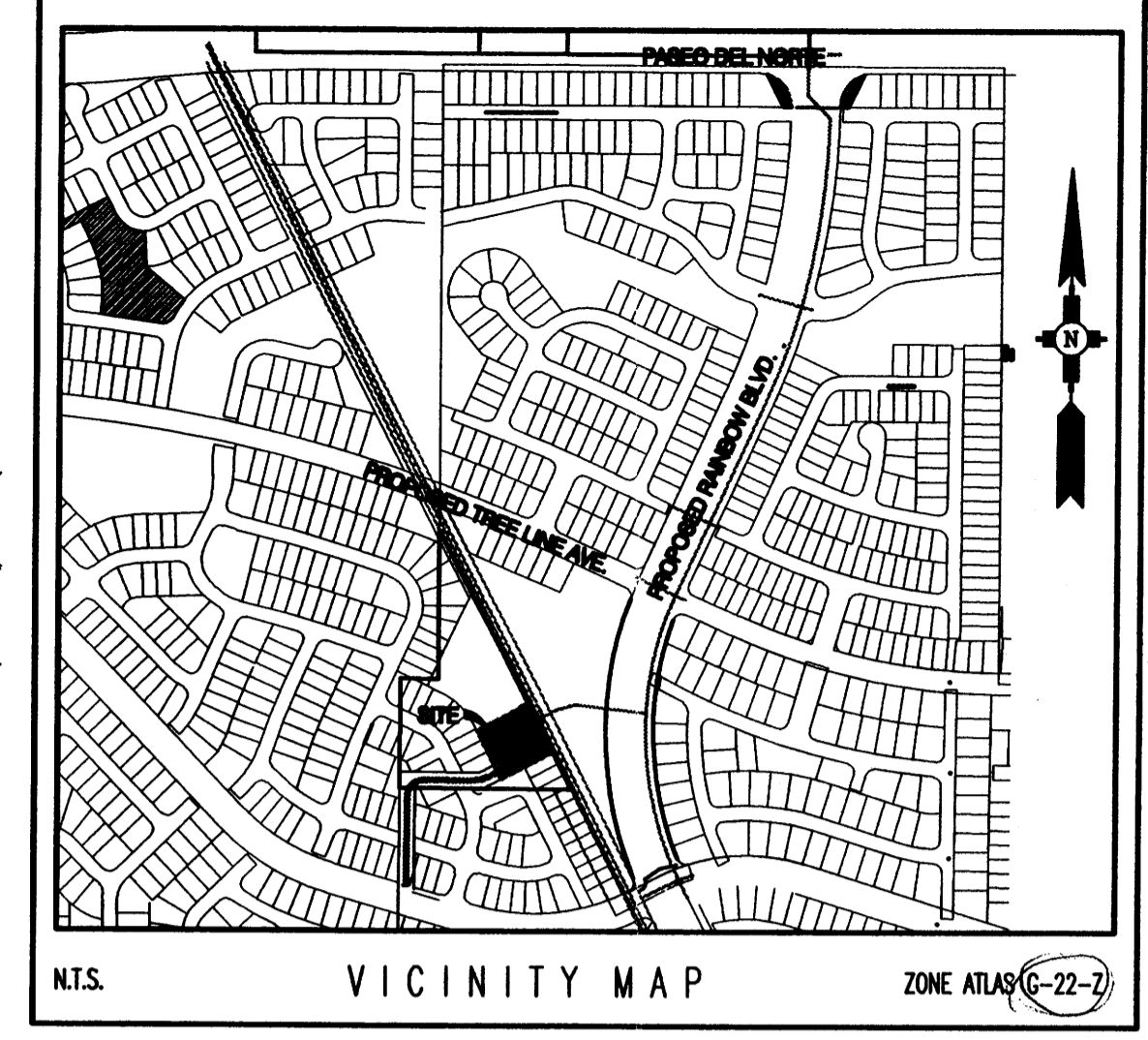
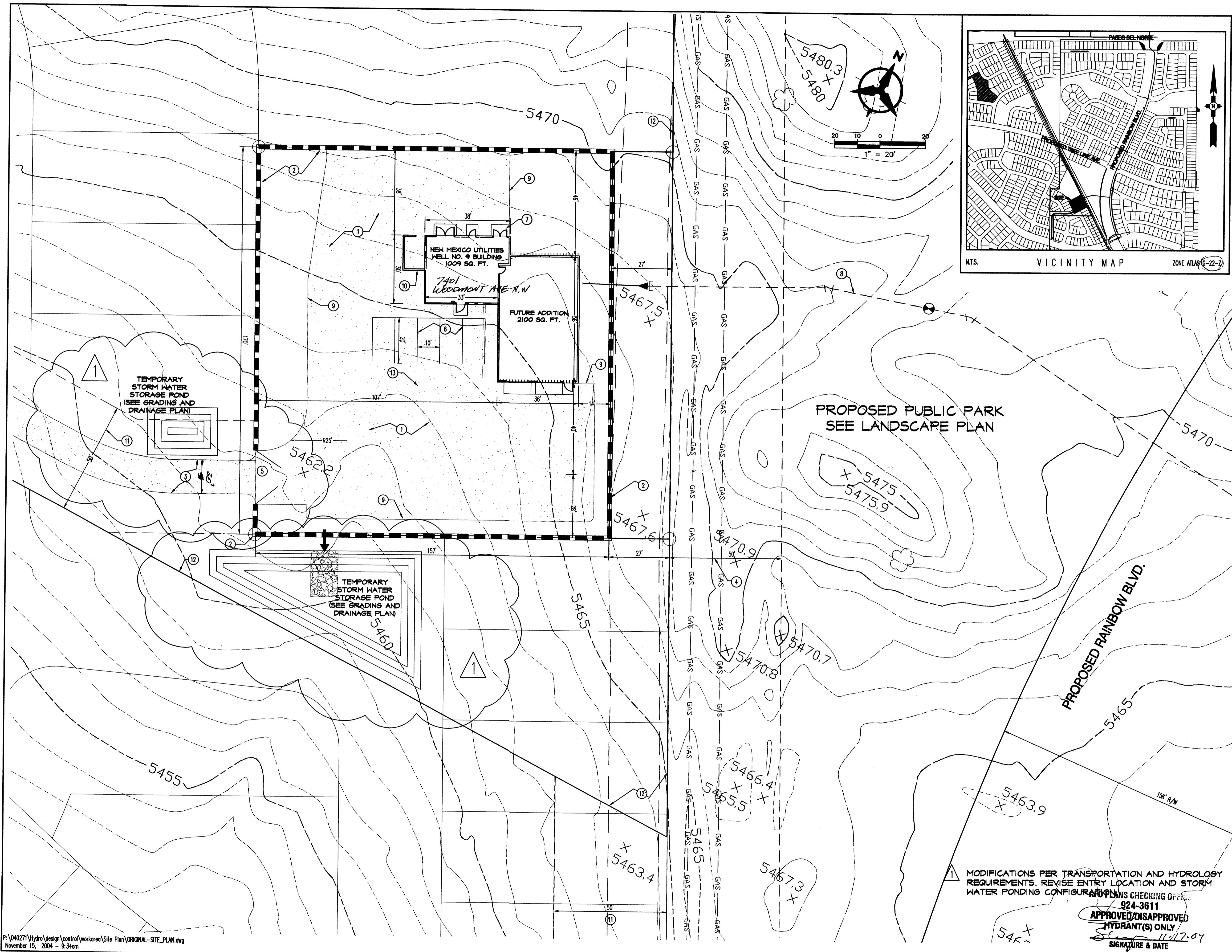
**CONCEPTUAL EXTERIOR  
ELEVATIONS WITH ADDITION**

**Bohannon & Huston**

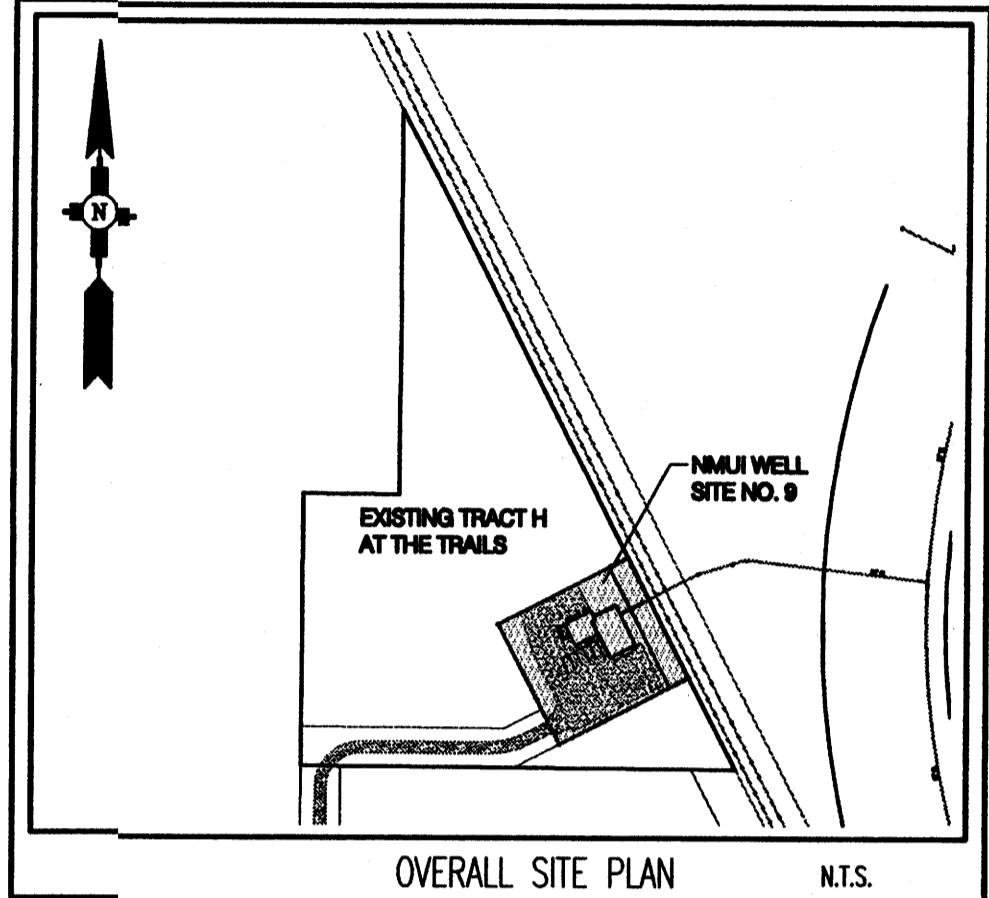
Courtyard | 7800 Jefferson St. NE Albuquerque, NM 87106-4395  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

NOVEMBER 11, 2004

SHEET 5B OF 5



**SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT  
NEW MEXICO UTILITIES, INC.  
WELL SITE NO. 9  
SITE PLAN**



**GENERAL NOTES:**  
 A. EXISTING ZONING: R-D  
 B. PROPOSED USE OF BUILDING: PUBLIC UTILITY STRUCTURE - NEW MEXICO UTILITIES, INC., WELL NO. 9.

- KEYED NOTES:**
- ① GRAVEL DRIVING SURFACE.
  - ② SPLIT FACE CONCRETE BLOCK PERIMETER WALL. SEE LANDSCAPE PLAN FOR DETAILS.
  - ③ TEMPORARY GRAVEL ACCESS DRIVE. FUTURE PERMANENT ACCESS TO BE PROVIDED VIA RESIDENTIAL SUBDIVISION PAVED ROADS.
  - ④ EXISTING 50' WIDE P.N.M. GAS LINE EASEMENT.
  - ⑤ VEHICULAR ACCESS GATES.
  - ⑥ PARKING SPACES.
  - ⑦ CONCRETE SIDEWALK.
  - ⑧ 20" WATER DISTRIBUTION LINE.
  - ⑨ EDGE OF DRIVING SURFACE.
  - ⑩ SCREENED MECHANICAL EQUIPMENT ENCLOSED TO MATCH BUILDING CMU.
  - ⑪ EXISTING 50' PRIVATE ACCESS EASEMENT.
  - ⑫ TRACT H BOUNDARY. (SEE OVERALL SITE PLAN ABOVE)

**SITE DEVELOPMENT PLAN APPROVAL:**  
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED April 18, 2004 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. E.P.C. Project 1002962/04EPD00299.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
<i>Michael Kellon Facility</i>	11-15-04
SOLID WASTE MANAGEMENT	DATE

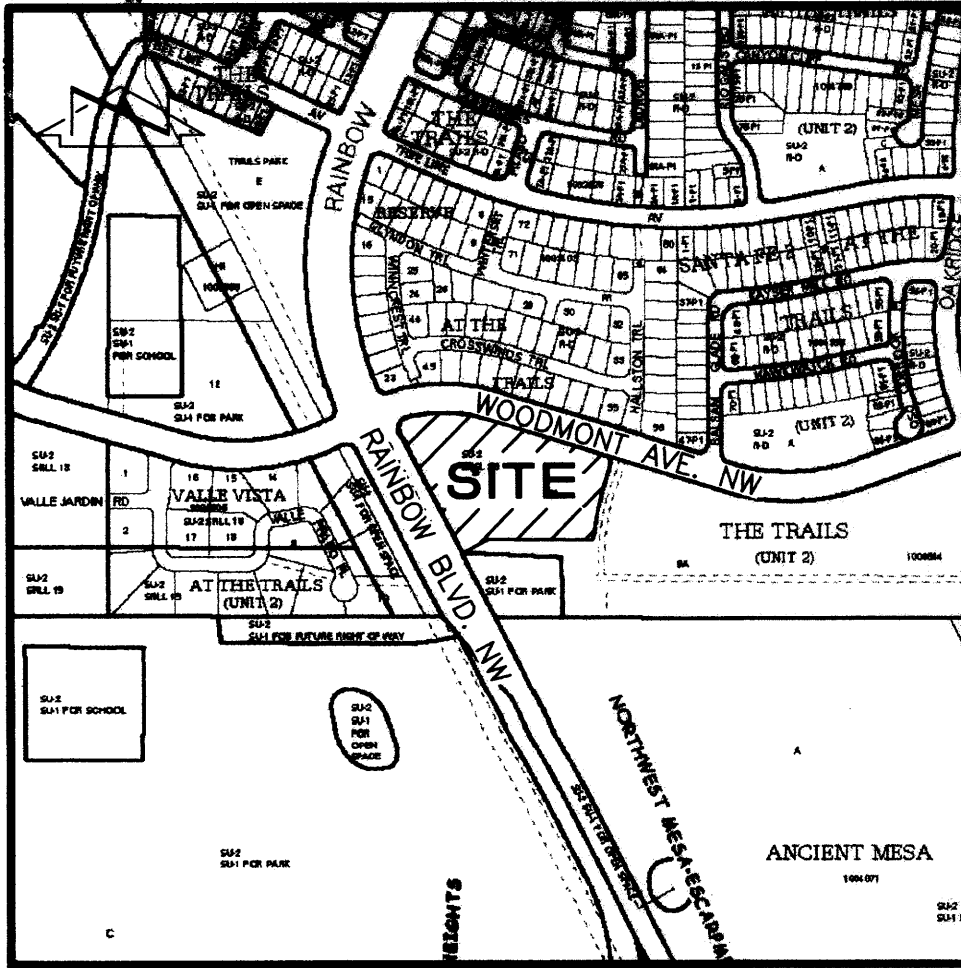
DRB CHAIRPERSON, PLANNING DEPARTMENT  
 Environmental Health, if necessary 12/16/03 DATE

MODIFICATIONS PER TRANSPORTATION AND HYDROLOGY REQUIREMENTS. REVISE ENTRY LOCATION AND STORM WATER PONDING CONFIGURATION AND PLANS CHECKING OFFICE  
 924-3611  
 APPROVED/DISAPPROVED  
 HYDRANT(S) ONLY  
 SIGNATURE & DATE 11/17/04

**Bohannon & Huston**  
 Courtyard 1 7000 Jefferson St. NE Albuquerque, NM 87100-4896  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



SP #2007350987



VACATION REQUEST AND PLAT OF  
**TRACT 10-A-1, THE TRAILS, UNIT 2**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 SEPTEMBER, 2007

THE CHURCH OF JESUS CHRIST  
 OF LATTERDAY SAINTS  
 OWNER  
 PROJECTED  
 SEC. 16, T 11 N, R 2 E, N.M.P.M.  
 LOCATION  
 THE TRAILS, UNIT 2  
 SUBDIVISION

COUNTY CLERK FILING DATA

DESCRIPTION

Tract 10-A, The Trails, Unit 2, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 07, 2006, Book 2006C, Page 75.

DRB PROJECT NUMBER	_____	DATE	_____
APPLICATION NUMBER	_____	DATE	_____
APPROVALS:	<b>PRELIMINARY PLAT APPROVED BY DRB</b>		
DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO	_____	DATE	_____
ABCWUA	_____	DATE	_____
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO	_____	DATE	_____
A.M.A.F.C.A.	_____	DATE	_____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO	_____	DATE	_____
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO	_____	DATE	_____
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO	<i>[Signature]</i>	DATE	10-2-07
REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO	N/A	DATE	_____
P.N.M. ELECTRIC SERVICES	_____	DATE	_____
QWEST TELECOMMUNICATIONS	_____	DATE	_____
P.N.M. GAS SERVICES	_____	DATE	_____
COMCAST CABLE VISION OF NEW MEXICO, INC.	_____	DATE	_____

VICINITY MAP

C-9

SCALE: 1" = 750'

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. I hereby warrant that I hold complete and indefeasible title in fee simple to the land subdivided, hereon.

Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-Day Saints, a Utah corporation sole  
 Date: Oct 1, 2007  
 Its Authorized Agent: *[Signature]*



ACKNOWLEDGEMENT

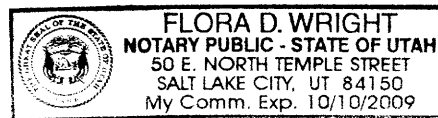
STATE OF UTAH )  
 ) SS  
 COUNTY OF SALT LAKE )

On this 1st day of October, 2007, personally appeared before me TERRY F. RUDD, personally known to me to be an Authorized Agent of the Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-Day Saints, a Utah corporation sole, who acknowledged before me that he signed the foregoing instrument as Authorized Agent for the Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-Day Saints, a Utah corporation sole, and that the seal impressed on the within instrument is the seal of said Corporation; and that said instrument is the free and voluntary act of said Corporation, for the uses and purposes therein mentioned, and on oath stated that he was authorized to execute said instrument on behalf of said Corporation and that said Corporation executed the same.

WITNESS my hand and official seal.

C98 # 589-1196

*[Signature]*  
 Notary Public  
 Residing at: Salt Lake City, Utah  
 My commission expires: OCT 1, 2009



Public Utility easements shown on this plat are granted for the common and joint use of:

1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to within or near easements shown on this plat.

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

*[Signature]*  
 Charles G. Cala, Jr., NMPS/11184



09-13-2007  
 Date

**HIGH MESA Consulting Group**  
 FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

4010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2007.015.3 PLAT

**VACATION REQUEST AND PLAT OF**  
**TRACT 10-A-1, THE TRAILS, UNIT 2**  
**ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO**  
**SEPTEMBER, 2007**

COUNTY CLERK FILING DATA

Notes:

1. A boundary survey was performed in August, 2006. Boundary survey verified in March, 2007. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 16, Township 11 North, Range 2 East, N.M.P.M. (Alameda Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from N.G.S. Control Station "Union" using NAD 83 coordinates.
5. Record bearings and distances are shown in parenthesis.
6. No public street mileage was created by this plat.
7. The purpose of this plat is to:
  - a. Grant the necessary public utility and City of Albuquerque sidewalk easements as shown.
  - b. Vacate that portion of a City of Albuquerque public drainage easement on Tract 10-A as shown.
8. The following documents and instruments were used for the performance and preparation of this survey:
  - a. Bulk Land Plat of The Trails, Unit 2, filed 03-07-2006, Book 2006C, Page 75, Records of Bernalillo County, New Mexico.
  - b. Bulk Land Plat of The Trails, Unit 2, filed 10-18-2004, Book 2004C, Page 332, Records of Bernalillo County, New Mexico.
  - c. Bulk Land Plat of Ancient Mesa, filed 02-02-2006, Book 2006C, Page 40, Records of Bernalillo County, New Mexico.
  - d. Warranty Deed, filed 07-25-2006, Book A121, Page 520, Doc. #2006110831, Records of Bernalillo County, New Mexico.
  - e. Policy of Title Insurance Policy Number A 75-2717633 prepared by Lawyers Title Insurance Corporation dated July 25, 2006.
  - f. Boundary and Topographic Survey prepared by this firm, certified 09-25-2006 (unrecorded).
9. The property surveyed hereon is subject to Notice of Subdivision Plat Conditions in document filed 10-18-2004, Book A85, Page 6157, Doc. #2004146565, Records of Bernalillo County, New Mexico; also referenced on the Bulk Land Plat of The Trails, Unit 2 filed 10-18-2004, Book 2004C, Page 332.
10. The property surveyed hereon is subject to Reservations for Gas and Utility Easements contained in the Warranty Deed filed November 19, 1959, Book D 513, Pages 189-193, Records of Bernalillo County, New Mexico.
11. The property surveyed hereon is subject to Affidavit for Utility Agreements in document filed 12-04-1996, Book 96-32, Pages 1147-1152, Doc. #96130372, Records of Bernalillo County, New Mexico.
12. The property surveyed hereon is subject to Community Charter for the Trails in document filed 02-19-2004, Book A73, Page 1137, Doc. #2004021200, Records of Bernalillo County, New Mexico.
13. The property surveyed hereon is subject to Water and Wastewater Agreement in document filed 10-21-2005, Book A105, Page 6188, Doc. #2005156624, Records of Bernalillo County, New Mexico.
14. The property surveyed hereon is subject to Amendment to Rules of Community Charter in document filed 04-18-2006, Book A115, Page 4245, Doc. #2006054417, Records of Bernalillo County, New Mexico.
15. The property surveyed hereon is subject to Notice of Subdivision Plat Conditions in document filed 03-07-2006, Book A113, Page 2633, Doc. #2006032747, Records of Bernalillo County, New Mexico; also referenced on the Bulk Land Plat of The Trails, Unit 2 filed 03-07-2006, Book 2006C, Page 75.
16. The property surveyed hereon is subject to Streetscape Gift and Free Work Agreement in document filed 01-21-2005, Book A91, Page 217, Doc. #2005010244, Records of Bernalillo County, New Mexico.
17. The property surveyed hereon is subject to Subdivision Improvement Agreement in document filed 08-13-2004, Book A82, Page 4593, Doc. #2004114891, Records of Bernalillo County, New Mexico.
18. Gross subdivision acreage = 5.1021 acres.
19. Current Zoning on site is SU-2 SRSL 26, based upon review of the City of Albuquerque Zone Atlas.

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	S 17°11'35" W	71.18'
(L1)	S 17°11'27" W	71.18'
L2	S 62°43'07" W	105.60'
(L2)	S 62°43'42" W	106.00'

CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA
C1	35.00'	63.27'	55.00'	N 24°30'53" E	103°34'06"
(C1)	35.00'	63.27'	55.00'	N 24°30'46" E	103°34'08"
C2	530.00'	285.78'	282.33'	S 88°15'22" E	30°53'40"
(C2)	530.00'	285.78'	282.33'	S 88°15'22" E	30°53'38"
C3	25.00'	39.27'	35.36'	S 27°48'25" E	90°00'00"
(C3)	25.00'	39.27'	35.35'	S 27°48'32" E	90°00'00"
C4	825.00'	184.27'	183.89'	S 12°06'45" W	12°47'51"
(C4)	825.00'	184.07'	183.69'	S 11°57'23" W	12°47'02"

EASEMENT TABLES

LINE	DIRECTION	DISTANCE
E1	N 52°32'30" E	94.90'
E2	N 80°42'54" E	217.58'
E3	S 90°00'00" E	67.07'
E4	N 00°00'00" E	10.96'
E5	N 80°42'54" E	21.79'
E6	N 27°16'10" W	103.25'
E7	S 57°41'17" E	37.14'
E8	S 31°55'04" E	52.87'
E9	S 21°13'07" W	27.95'
E10	S 62°43'07" W	2.16'
E11	N 72°48'25" W	423.12'
E12	S 31°19'33" W	52.15'
E13	N 27°16'10" W	3.76'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
EC1	76.00'	132.14'	S 49°28'26" E	116.12'	99°37'19"
EC2	25.00'	23.18'	S 46°14'31" E	22.36'	53°07'48"
EC3	520.00'	276.64'	N 88°02'51" W	273.39'	30°28'52"

KEYED NOTES

EASEMENTS

- ① 20' NEW MEXICO UTILITIES, INC. PUBLIC SANITARY SEWER GRANTED BY PLAT 2004C-332 (OFFSITE)
- ② CITY OF ALBUQUERQUE PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2006C-75 EASEMENT TO BE VACATED BY THIS REQUEST
- ③ PORTION OF CITY OF ALBUQUERQUE PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2006C-75, LOCATED ON TRACT 10-A, TO BE VACATED BY THIS REQUEST

NEW EASEMENTS

- ④ CITY OF ALBUQUERQUE PUBLIC SIDEWALK EASEMENT GRANTED BY THIS PLAT
- ⑤ PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT EASEMENT TO BE GRANTED BY SEPARATE DOCUMENT

- ⑥ NEW MEXICO UTILITIES INC. PUBLIC WATERLINE EASEMENT GRANTED BY DOCUMENT FILED \_\_\_\_\_, 2007, BOOK \_\_\_\_\_, PAGE \_\_\_\_\_, DOCUMENT NO. \_\_\_\_\_

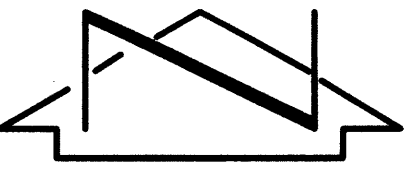
MONUMENTS

- ⑦ FOUND #5 REBAR W/CAP STAMPED "LS 9750", TAGGED W/WASHER STAMPED "NMPS 11184"
- ⑧ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"

**HIGH MESA Consulting Group**  
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

**6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109**  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2007.015.3 PLAT

VACATION REQUEST AND PLAT OF  
**TRACT 10-A-1, THE TRAILS, UNIT 2**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER, 2007

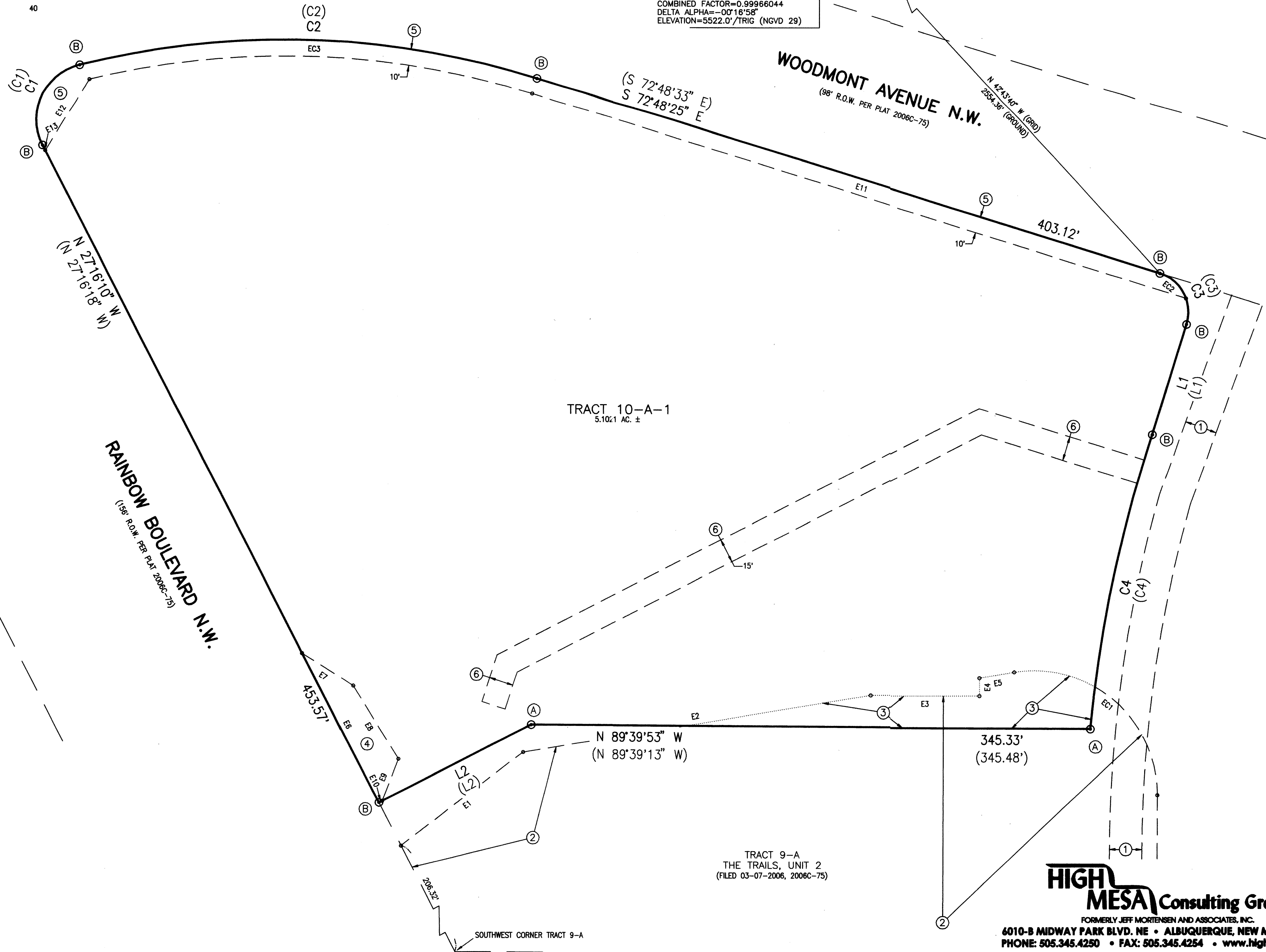


SCALE: 1" = 40'



NEW MEXICO CENTRAL ZONE-NAD 1927  
N.G.S./A.C.S. STA. "UNION"  
X=353,409.02  
Y=1,523,440.96  
COMBINED FACTOR=0.99966044  
DELTA ALPHA=-00°16'58"  
ELEVATION=5522.0'/TRIG (NGVD 29)

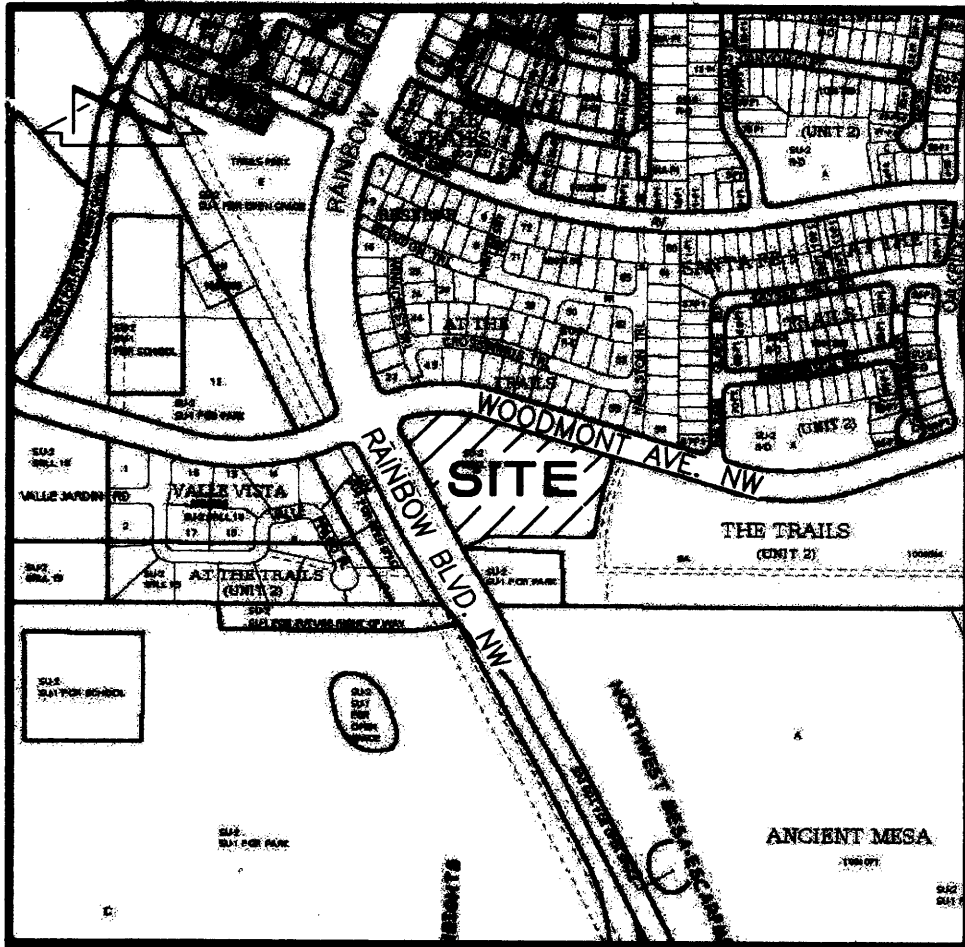
COUNTY CLERK FILING DATA



TRACT 9-A  
THE TRAILS, UNIT 2  
(FILED 03-07-2006, 2006C-75)

**HIGH MESA Consulting Group**  
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
JOB #2007.015.3 PLAT

SP #2007350987



VICINITY MAP  
SCALE: 1" = 750'

C-9

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. I hereby warrant that I hold complete and indefeasible title in fee simple to the land subdivided, hereon.

Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-Day Saints, a Utah corporation sole  
Date: Oct 1, 2007  
It's Authorized Agent

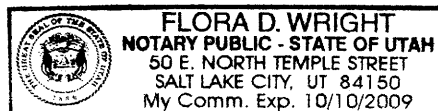


ACKNOWLEDGEMENT  
STATE OF UTAH )  
COUNTY OF SALT LAKE )

On this 1st day of October, 2007, personally appeared before me THOMAS F. RUND, personally known to me to be an Authorized Agent of the Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-Day Saints, a Utah corporation sole, who acknowledged before me that he signed the foregoing instrument as Authorized Agent for the Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-Day Saints, a Utah corporation sole, and that the seal impressed on the within instrument is the seal of said Corporation; and that said instrument is the free and voluntary act of said Corporation, for the uses and purposes therein mentioned, and on oath stated that he was authorized to execute said instrument on behalf of said Corporation and that said Corporation executed the same.

WITNESS my hand and official seal.

Notary Public  
Residing at: Salt Lake City, Utah  
My commission expires: Oct 1, 2009



CAB # 599-1196

VACATION REQUEST AND PLAT OF  
**TRACT 10-A-1, THE TRAILS, UNIT 2**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER, 2007

DESCRIPTION

Tract 10-A, The Trails, Unit 2, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 07, 2006, Book 2006C, page 75.

THE CHURCH OF JESUS CHRIST OF LATTERDAY SAINTS OWNER  
PROJECTED SEC. 16, T 11 N, R 2 E, N.M.P.M. LOCATION  
THE TRAILS, UNIT 2 SUBDIVISION

DOCH 2007164152  
12/04/2007 02:38 PM Page: 1 of 3  
PLAT R-\$17.00 B: 2007C P: 0334 P: Toulouse, Bernalillo County

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER 1002962

APPLICATION NUMBER 07 DRB-70327

APPROVALS:

Andrew Garcia 11/29/07  
DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

N/A  
ABCWUA DATE  
Bradley B. Bingham 11/14/07  
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Bradley B. Bingham 11/14/07  
A.M.A.F.C.A. DATE

N/A 11/14/07  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Christina Sandoval 11/14/07  
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

N/A 10-2-07  
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE

N/A  
REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Joshua P. ... 11/16/2007  
P.N.M. ELECTRIC SERVICES DATE

Quellth ... 11/12/07  
QWEST TELECOMMUNICATIONS DATE

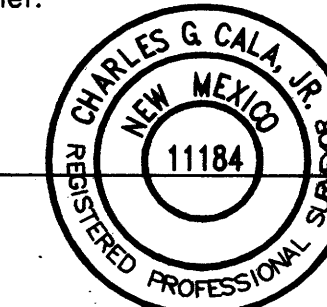
Joshua P. ... 11/16/2007  
P.N.M. GAS SERVICES DATE

Janice Barber 11-12-07  
COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.  
Charles G. Cala, Jr., NMPS/11184



09.13.2007  
Date

Public Utility easements shown on this plat are granted for the common and joint use of:

1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
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**HIGH MESA Consulting Group**  
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

4010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
JOB #2007.015.3 PLAT

VACATION REQUEST AND PLAT OF  
**TRACT 10-A-1, THE TRAILS, UNIT 2**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 SEPTEMBER, 2007

DOCH 2007164152  
 12/04/2007 02:38 PM Page: 2 of 3  
 PLAT R: \$17.00 B: 2007C P: 0394 M: Toulouse, Bernalillo County

COUNTY CLERK FILING DATA

Notes:

1. A boundary survey was performed in August, 2006. Boundary survey verified in March, 2007. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 16, Township 11 North, Range 2 East, N.M.P.M. (Alameda Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from N.G.S. Control Station "Union" using NAD 83 coordinates.
5. Record bearings and distances are shown in parenthesis.
6. No public street mileage was created by this plat.
7. The purpose of this plat is to:
  - a. Grant the necessary public utility and City of Albuquerque sidewalk easements as shown.
  - b. Vacate that portion of a City of Albuquerque public drainage easement on Tract 10-A as shown.
8. The following documents and instruments were used for the performance and preparation of this survey:
  - a. Bulk Land Plat of The Trails, Unit 2, filed 03-07-2006, Book 2006C, Page 75, Records of Bernalillo County, New Mexico.
  - b. Bulk Land Plat of The Trails, Unit 2, filed 10-18-2004, Book 2004C, Page 332, Records of Bernalillo County, New Mexico.
  - c. Bulk Land Plat of Ancient Mesa, filed 02-02-2006, Book 2006C, Page 40, Records of Bernalillo County, New Mexico.
  - d. Warranty Deed, filed 07-25-2006, Book A121, Page 520, Doc. #2006110831, Records of Bernalillo County, New Mexico.
  - e. Policy of Title Insurance Policy Number A 75-2717633 prepared by Lawyers Title Insurance Corporation dated July 25, 2006.
  - f. Boundary and Topographic Survey prepared by this firm, certified 09-25-2006 (unrecorded).
9. The property surveyed hereon is subject to Notice of Subdivision Plat Conditions in document filed 10-18-2004, Book A85, Page 6157, Doc. #2004146565, Records of Bernalillo County, New Mexico; also referenced on the Bulk Land Plat of The Trails, Unit 2 filed 10-18-2004, Book 2004C, Page 332.
10. The property surveyed hereon is subject to Reservations for Gas and Utility Easements contained in the Warranty Deed filed November 19, 1959, Book D 513, Pages 189-193, Records of Bernalillo County, New Mexico.
11. The property surveyed hereon is subject to Affidavit for Utility Agreements in document filed 12-04-1996, Book 96-32, Pages 1147-1152, Doc. #96130372, Records of Bernalillo County, New Mexico.
12. The property surveyed hereon is subject to Community Charter for the Trails in document filed 02-19-2004, Book A73, Page 1137, Doc. #2004021200, Records of Bernalillo County, New Mexico.
13. The property surveyed hereon is subject to Water and Wastewater Agreement in document filed 10-21-2005, Book A105, Page 6188, Doc. #2005156624, Records of Bernalillo County, New Mexico.
14. The property surveyed hereon is subject to Amendment to Rules of Community Charter in document filed 04-18-2006, Book A115, Page 4245, Doc. #2006054417, Records of Bernalillo County, New Mexico.
15. The property surveyed hereon is subject to Notice of Subdivision Plat Conditions in document filed 03-07-2006, Book A113, Page 2633, Doc. #2006032747, Records of Bernalillo County, New Mexico; also referenced on the Bulk Land Plat of The Trails, Unit 2 filed 03-07-2006, Book 2006C, Page 75.
16. The property surveyed hereon is subject to Streetscape Gift and Free Work Agreement in document filed 01-21-2005, Book A91, Page 217, Doc. #2005010244, Records of Bernalillo County, New Mexico.
17. The property surveyed hereon is subject to Subdivision Improvement Agreement in document filed 08-13-2004, Book A82, Page 4593, Doc. #2004114891, Records of Bernalillo County, New Mexico.
18. Gross subdivision acreage = 5.1021 acres.
19. Current Zoning on site is SU-2 SRSL 26, based upon review of the City of Albuquerque Zone Atlas.
20. No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat.

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	S 17°11'35" W	71.18'
(L1)	S 17°11'27" W	71.18'
L2	S 62°43'07" W	105.60'
(L2)	S 62°43'42" W	106.00'

CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA
C1	35.00'	63.27'	55.00'	N 24°30'53" E	103°34'06"
(C1)	35.00'	63.27'	55.00'	N 24°30'46" E	103°34'08"
C2	530.00'	285.78'	282.33'	S 88°15'22" E	30°53'40"
(C2)	530.00'	285.78'	282.33'	S 88°15'22" E	30°53'38"
C3	25.00'	39.27'	35.36'	S 27°48'25" E	90°00'00"
(C3)	25.00'	39.27'	35.35'	S 27°48'32" E	90°00'00"
C4	825.00'	184.27'	183.89'	S 12°06'45" W	12°47'51"
(C4)	825.00'	184.07'	183.69'	S 11°57'23" W	12°47'02"

EASEMENT TABLES

LINE	DIRECTION	DISTANCE
E1	N 52°32'30" E	94.90'
E2	N 80°42'54" E	217.58'
E3	S 90°00'00" E	67.07'
E4	N 00°00'00" E	10.96'
E5	N 80°42'54" E	21.79'
E6	N 27°16'10" W	103.25'
E7	S 57°41'17" E	37.14'
E8	S 31°55'04" E	52.87'
E9	S 21°13'07" W	27.95'
E10	S 62°43'07" W	2.16'
E11	N 72°48'25" W	423.12'
E12	S 31°19'33" W	52.15'
E13	N 27°16'10" W	3.76'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
EC1	76.00'	132.14'	S 49°28'26" E	116.12'	99°37'19"
EC2	25.00'	23.18'	S 46°14'31" E	22.36'	53°07'48"
EC3	520.00'	276.64'	N 88°02'51" W	273.39'	30°28'52"

KEYED NOTES

EASEMENTS

- ① 20' NEW MEXICO UTILITIES, INC. PUBLIC SANITARY SEWER GRANTED BY PLAT 2004C-332 (OFFSITE)
- ② CITY OF ALBUQUERQUE PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2006C-75 EASEMENT TO BE VACATED BY THIS REQUEST

- ③ PORTION OF CITY OF ALBUQUERQUE PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2006C-75, LOCATED ON TRACT 10-A, TO BE VACATED BY THIS REQUEST

NEW EASEMENTS

- ④ CITY OF ALBUQUERQUE PUBLIC SIDEWALK EASEMENT GRANTED BY THIS PLAT
- ⑤ PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT

EASEMENT TO BE GRANTED BY SEPARATE DOCUMENT

- ⑥ NEW MEXICO UTILITIES INC. PUBLIC WATERLINE EASEMENT GRANTED BY DOCUMENT FILED *October 08* 2007, BOOK *---*, PAGE *---*, DOCUMENT NO. *2007142253*

MONUMENTS

- Ⓐ FOUND #5 REBAR W/CAP STAMPED "LS 9750", TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓑ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"

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# VACATION REQUEST AND PLAT OF TRACT 10-A-1, THE TRAILS, UNIT 2

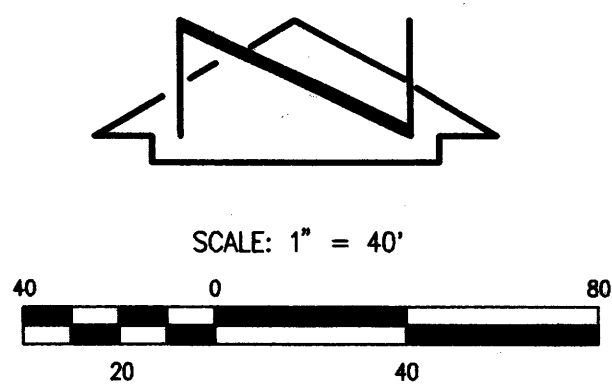
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER, 2007

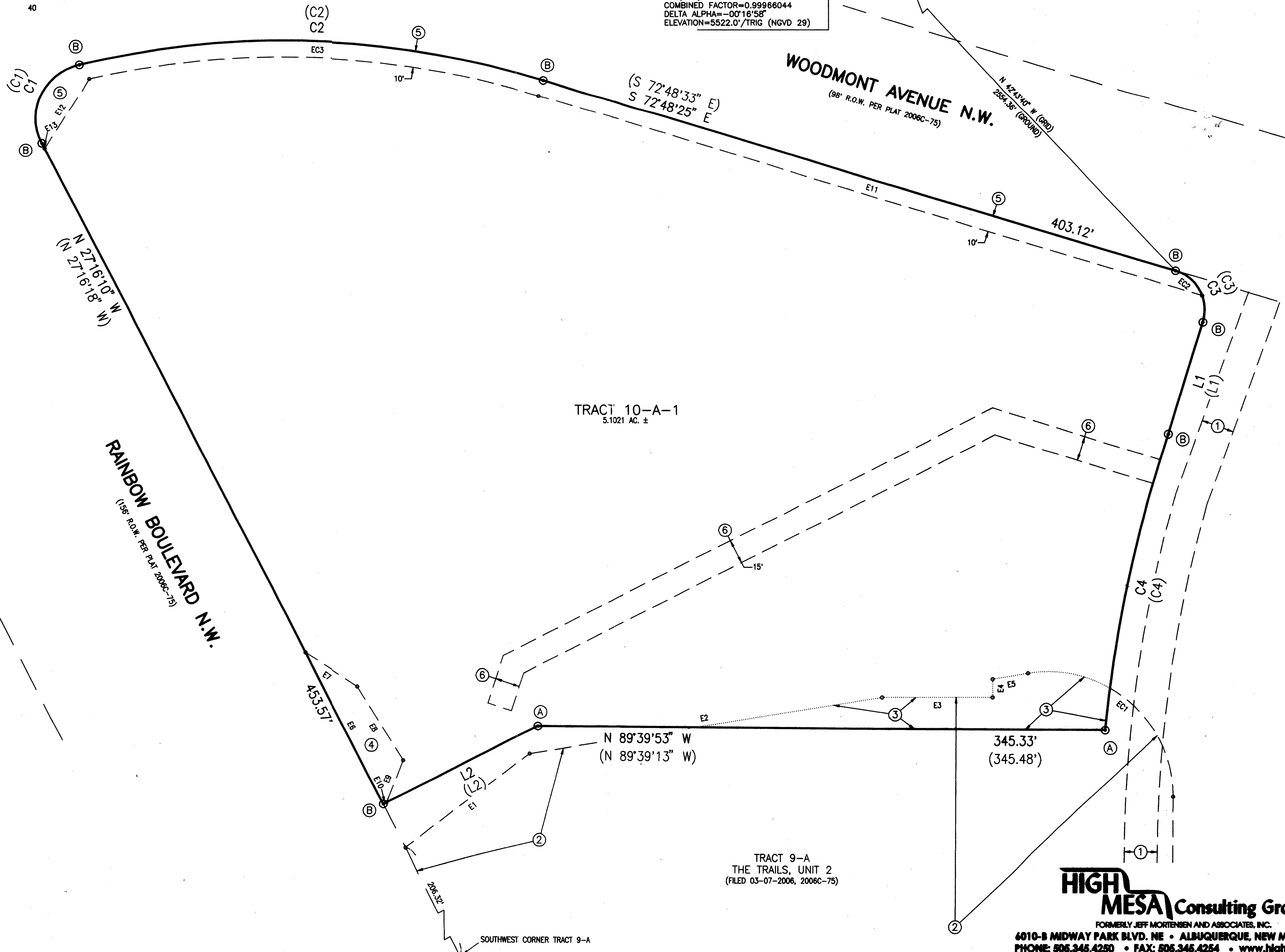
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PLAT R: 17 08 8 2007C P: 0394 M. Toulouse, Bernalillo County

COUNTY CLERK FILING DATA



NEW MEXICO CENTRAL ZONE-NAD 1927  
 N.G.S./A.C.S. STA. "UNION"  
 X=353,409.02  
 Y=1,523,440.96  
 COMBINED FACTOR=0.99966044  
 DELTA ALPHA=-00°16'58"  
 ELEVATION=5522.0'/TRIG (NGVD 29)



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*Produced by 1st 3 Phases of the Trails*

# The Trails

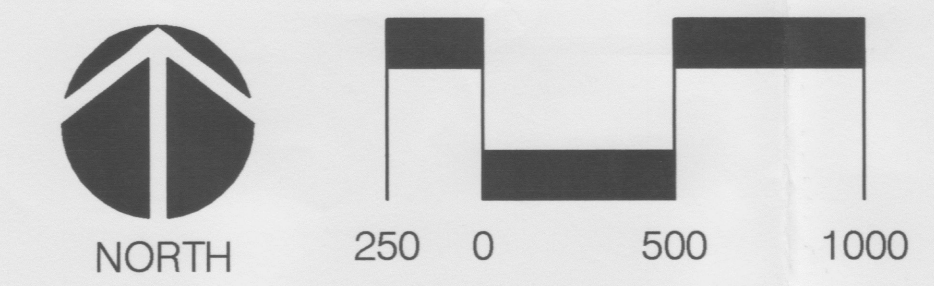
PROPOSED SECTOR PLAN BOUNDARY

Sector Plan Boundary - - - - -

Acreage within Sector Plan Boundary (556.2 Ac.)

Prepared For:  
Longford Homes of  
New Mexico

Prepared By:  
Consensus Planning, INC.



**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

September 26, 2005



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