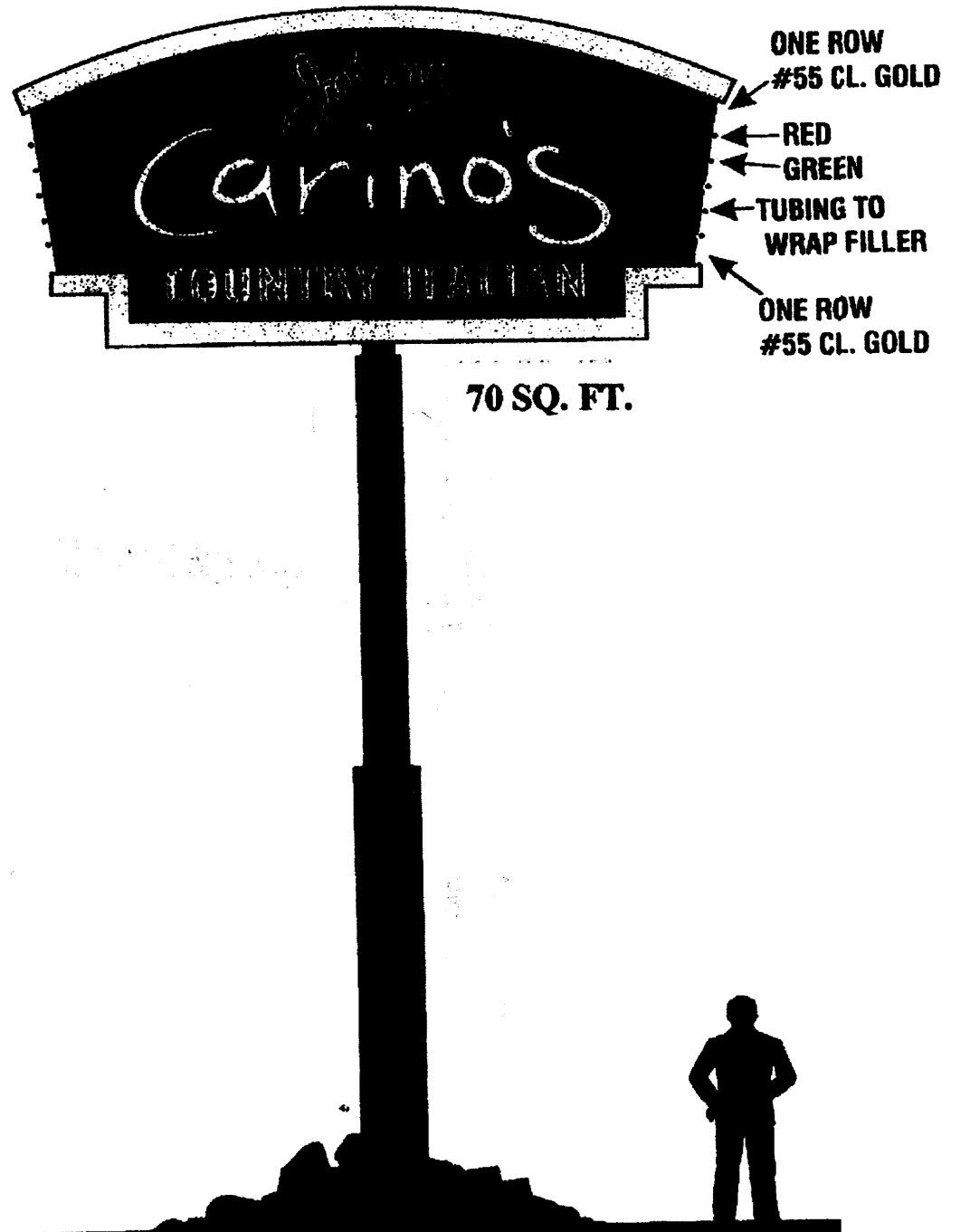


TOP CAP FABRICATED OF ALUMINUM AND PAINTED PMS-134 YELLOW  
 FABRICATED ALUMINUM CABINET WITH PMS-343 GREEN FINISH. PAINTED PMS-186 RED 2 3/8" WIDE X 16" STRIPES W/ EXPOSED SINGLE STROKE NEON OVER EACH STRIPE: #04 CLEAR RED NEON @ TOP ALTERNATING W/ #10 GREEN ARGON.  
 "JOHNNY" - FCO #75 MARIGOLD VINYL COPY W/ EXPOSED SINGLE STROKE #10 GREEN ARGON. "CARINOS" - 4" DEEP ALUMINUM CHANNEL LETTERS W/ PAINTED PMS-134 INTERIOR & PMS-186 RED EXTERIOR. OUTLINE LETTER INTERIOR W/ DOUBLE STROKE #04 CL. RED NEON TUBING. "COUNTRY ITALIAN" - FCO #75 MARIGOLD VINYL COPY W/ EXPOSED SINGLE STROKE #55 CL. GOLD ARGON TUBING  
 BOTTOM CAP FABRICATED OF ALUMINUM AND PAINTED PMS-134 YELLOW  
 MONO-POLE SUPPORT PAINTED PMS-343 GREEN



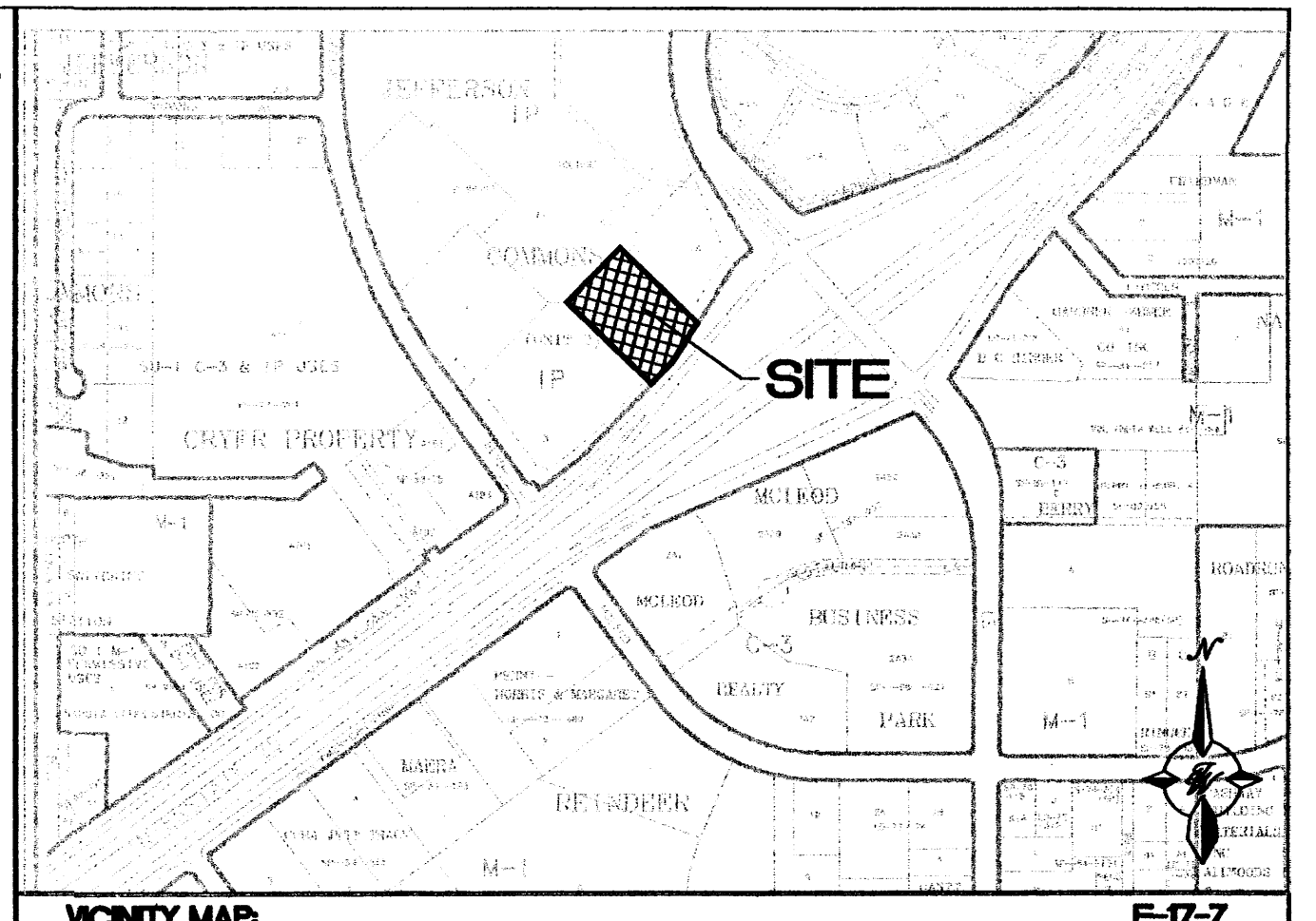
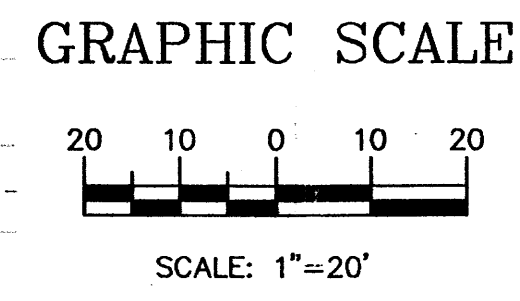
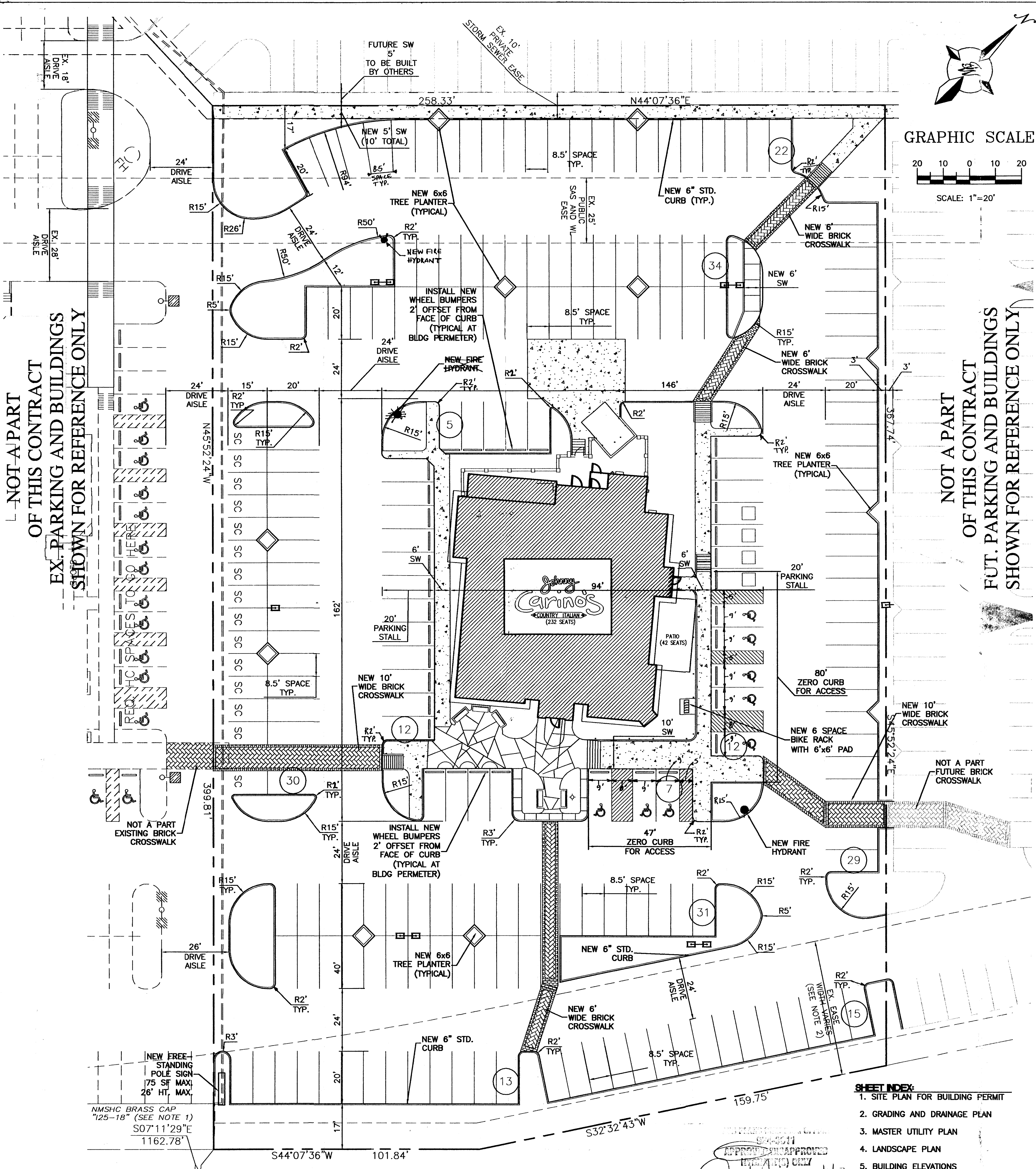
26' PYLON SIGN - END VIEW  
 NOT TO SCALE



26' PYLON SIGN - FRONT VIEW  
 NOT TO SCALE

LEGEND	DESCRIPTION
	EXISTING CURB & GUTTER
	PROPOSED 6" CURB
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	FUTURE SIDEWALK
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	EXISTING LOT LINES
	TWIN, CUT-OFF, 30' STREET
	SINGLE, CUT-OFF, 30' STREET

NOT A PART OF THIS CONTRACT EX. PARKING AND BUILDINGS SHOWN FOR REFERENCE ONLY

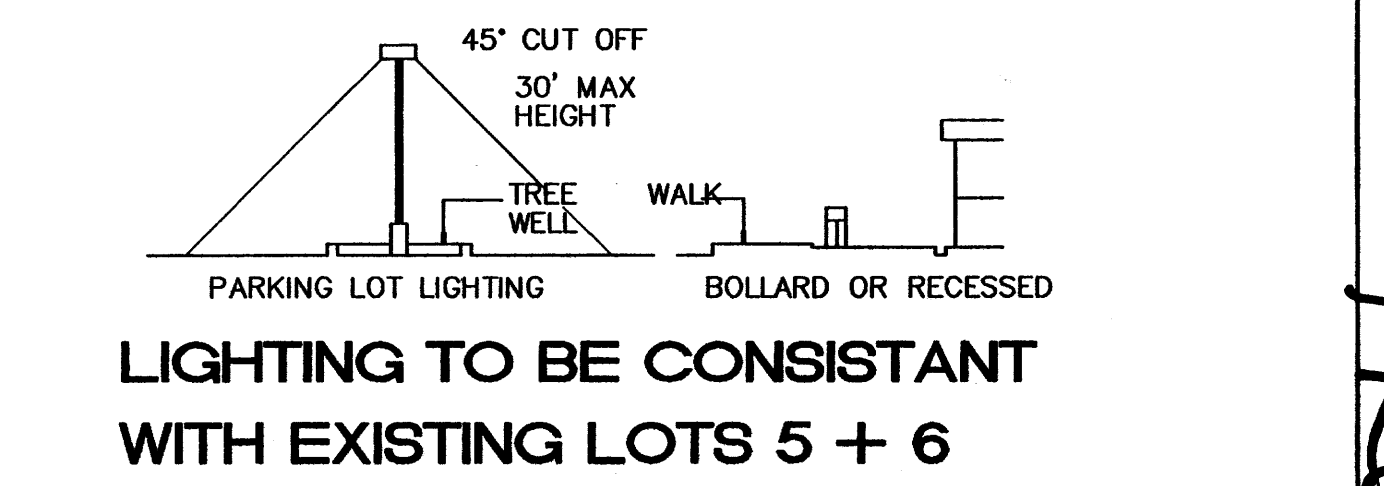


LEGAL DESCRIPTION:  
 LOT 2, JEFFERSON COMMONS II

- NOTES:
- PROJECT BENCHMARK, "1-25-18" NGVD ELEV: 5125.7; NM STATE PLANE X&Y (NAD27) 395,426.52, 1,505,603.74
  - NM SH&T DEPARTMENT CONSTRUCTION MAINTENANCE EASEMENT, ORIGINAL DOC. NO. 9079858 AND MODIFIED WITH DOC. NO. 95084464, FILED 8/23/1995, BOOK 95-20, PAGE 2285-2302
  - SEATING CALCULATIONS BASED ON PROVIDED SEATING INSIDE (232) AND IN THE PATIO AREA (42) FOR A TOTAL OF 274.
  - ALL CURBWORK SHALL BE 6" STD CURB PER COA STD DWG#2415, UNLESS OTHERWISE NOTED.

SITE DATA

PROPOSED USAGE:	RESTAURANT	CONSTRUCTION TYPE	VN-SPEL
BUILDING AREA:	6432 SF ±		
PATIO AREA:	427 SF ±		
TOTAL LOT AREA:	100,776 SF (2.3135 ACRE) ±		
TOTAL PARKING PROVIDED:	210 SPACES		
PARKING REQUIRED:	91 SPACES		
HC PARKING PROVIDED:	8 SPACES		
HC PARKING REQUIRED:	8 SPACES		
	2 SPACES VAN ACCESSIBLE		



LIGHTING TO BE CONSISTANT WITH EXISTING LOTS 5 + 6

PROJECT NUMBER: 1003009  
 APPLICATION NUMBER: 03EPC 01665

Is an Infrastructure List required? ( ) Yes ( ) No ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

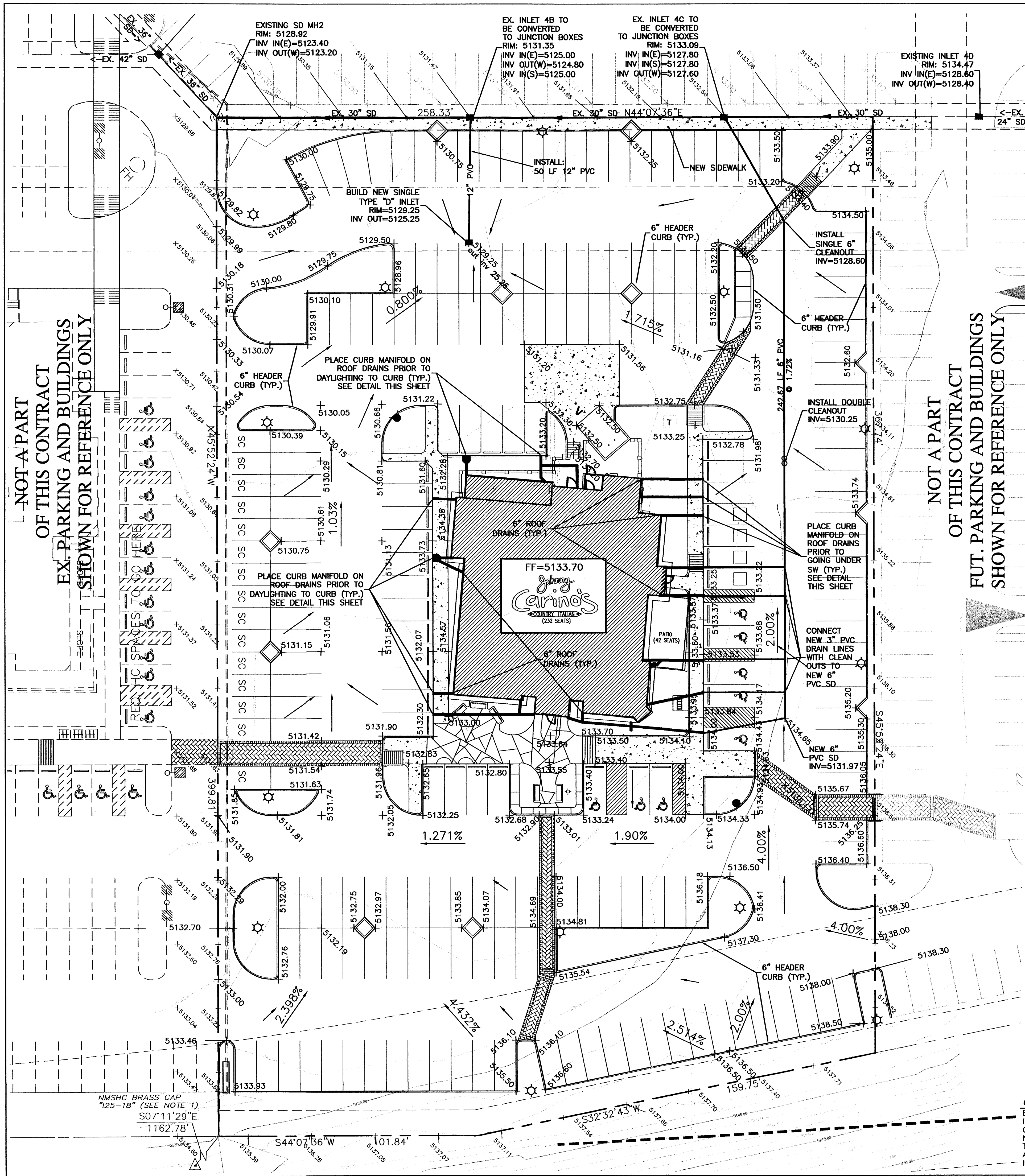
<i>Roger A. Sheen</i>	1-13-04
Traffic Engineer, Transportation Division	Date
<i>Christina Sandoval</i>	12/31/03
Utilities Development	Date
<i>Bradley H. Byler</i>	12/31/03
Parks & Recreation Department	Date
<i>N/A</i>	
City Engineer	Date
<i>Rodriguez</i>	12/22/03
Environmental Health Department (conditional)	Date
<i>Sharon Watson</i>	12/31/03
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary 12/16/03

- SHEET INDEX:
- SITE PLAN FOR BUILDING PERMIT
  - GRADING AND DRAINAGE PLAN
  - MASTER UTILITY PLAN
  - LANDSCAPE PLAN
  - BUILDING ELEVATIONS
  - BUILDING ELEVATIONS

ENGINEER'S SEAL	JEFFERSON COMMONS-II JOHNNY CARINOS	DRAWN BY MP
	SITE PLAN FOR BUILDING PERMIT	DATE 12-15-2003
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2385SPBP-102403.DWG
RONALD R. BOHANNAN P.E. #7868		SHEET # 1 OF 6
		JOB # 230095

PROJ 1003009



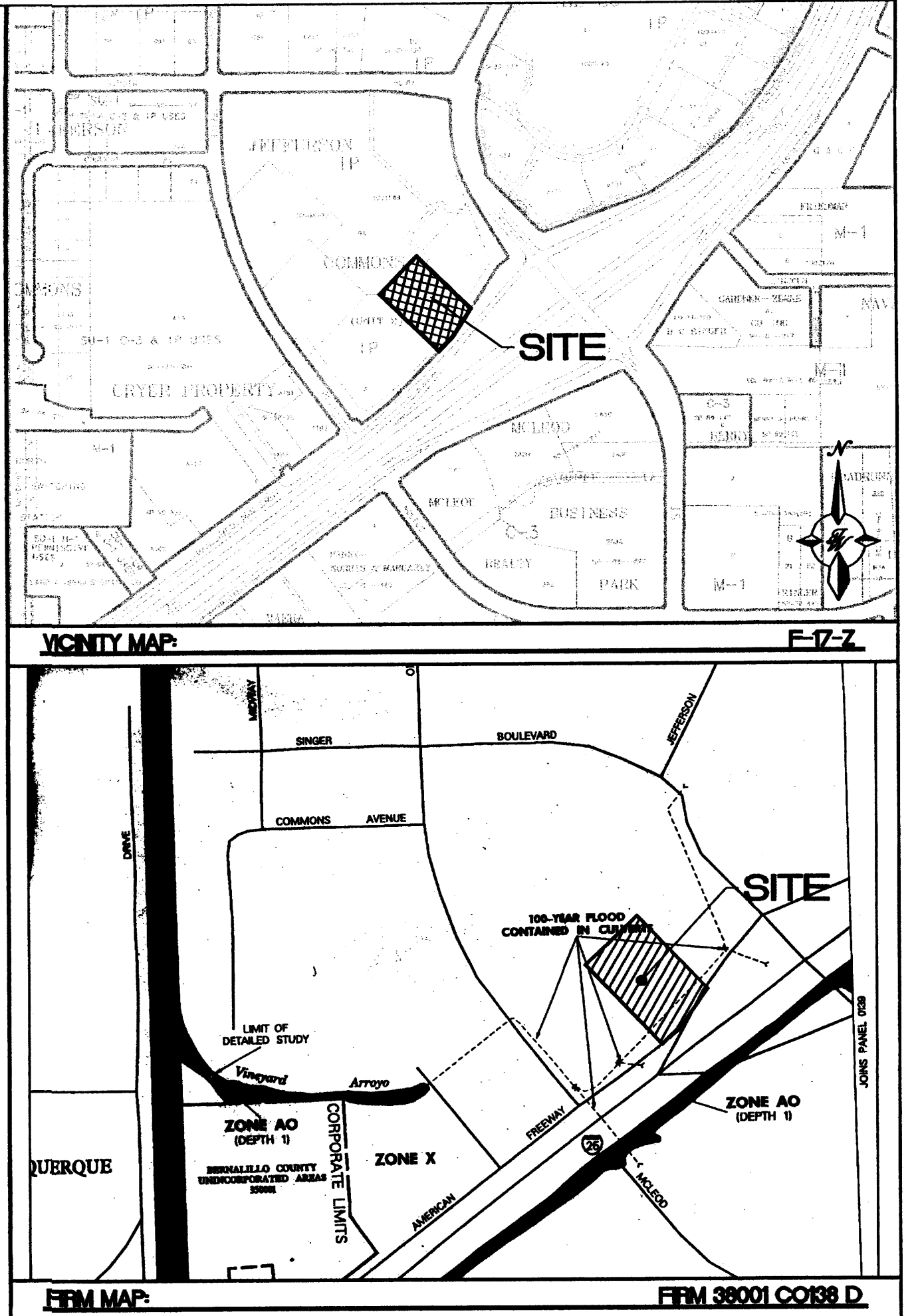
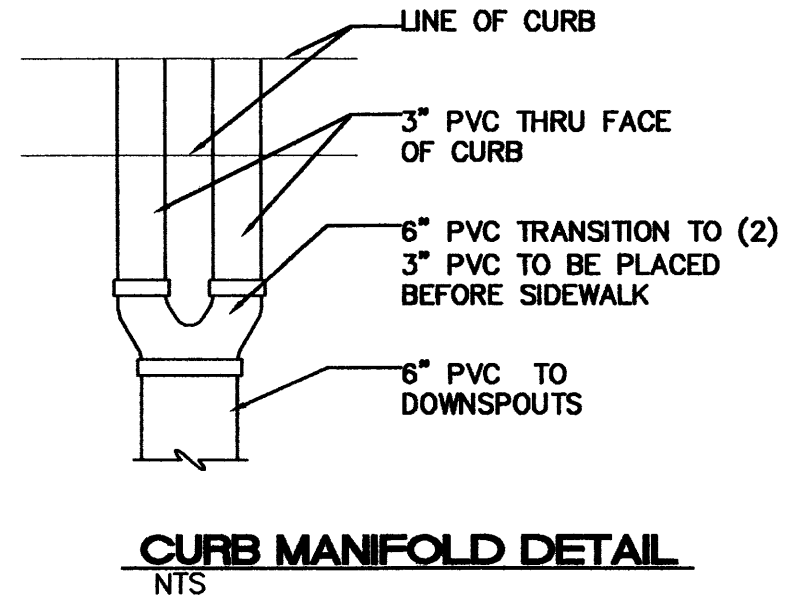
- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**LEGEND**

DESCRIPTION	DESCRIPTION
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SNGL. "D" INLET
	PROPOSED DBL. "D" INLET
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FUTURE SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	EXISTING LOT LINES
	BENCH MARK
	STREET LIGHTS

NOT A PART OF THIS CONTRACT  
FUT. PARKING AND BUILDINGS SHOWN FOR REFERENCE ONLY

NOT A PART OF THIS CONTRACT  
EX. PARKING AND BUILDINGS SHOWN FOR REFERENCE ONLY



**LEGAL DESCRIPTION:**  
LOT 2, JEFFERSON COMMONS II

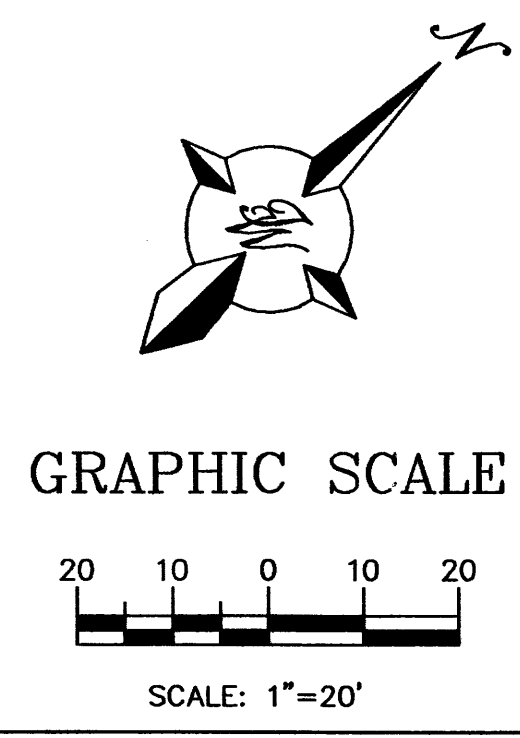
**NOTES:**

1. PROJECT BENCHMARK, "1-25-18", NGVD ELEV: 2125.70, NM STATE PLANE X&Y (NAD27) 395,426.52, 1505,603.74
2. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
3. NMSH&T DEPARTMENT DOC. NO. 9079858 AND MODIFIED WITH DOC. NO. 95084464, FILED 8/23/95, BOOK 95-20, PAGE 2285-2302
4. ALL CURB WORK TO BE 6" HEADER CURB UNLESS OTHERWISE NOTED.

Tierra West, LLC, on behalf of Sandia Food Group, is requesting drainage plan approval of Lot 2, Jefferson Commons Phase II. This lot falls within the limits of the Jefferson Commons II Master Drainage Report (F17-D63) approved by the city October 21, 1997.

The Drainage Master Plan shows Lot 2 draining to two drop inlets along the northwest property line, allowing free discharge to those inlets. The Johnny Carino's drainage plan deviates slightly by converting the two existing inlets into manholes and installing a new drop inlet farther into Lot 2 to facilitate better drainage around the building. There are no flows entering the existing inlets from outside of Lot 2.

Since, the drainage plan for Johnny Carino's restaurant conforms to the Jefferson Commons II Master Drainage Report we feel that this drainage plan should be approved. If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

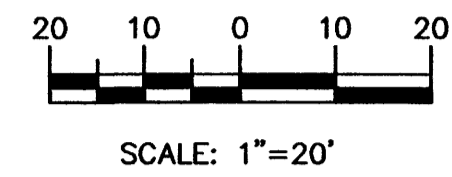


**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

	<b>JEFFERSON COMMONS II</b> <b>JOHNNY CARINO'S</b> <b>GRADING AND DRAINAGE</b> <b>PLAN</b>	DRAWN BY MP DATE 12-18-2003 238568B-102403X.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>2 OF 6</b> JOB # 230095

LINE	LENGTH	BEARING
L1	73.43	S79°20'06"W
L2	73.25	N70°04'30"E
L3	140.70	S57°17'17"W
L4	125.48	N29°20'06"E
L5	65.65	N14°53'34"E
L6	63.17	S13°40'07"W

GRAPHIC SCALE



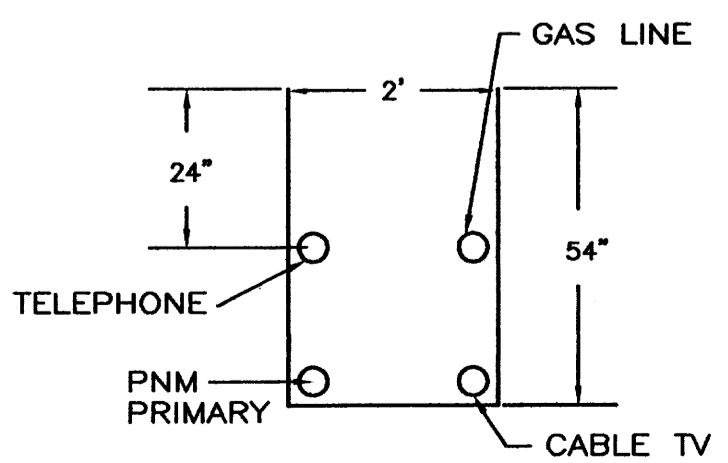
EXISTING MH-5E  
RIM: 5128.60  
INV IN(E)=5121.87  
INV OUT(W)=5121.77

LEGEND	DESCRIPTION
○	EXISTING SAS MANHOLE
○	PROPOSED SAS MANHOLE
●	PROPOSED SAS CLEANOUT
→	DIRECTION OF FLOW
— 6" SAS —	PROPOSED SANITARY SEWER LINE
— 8" SAS —	EXISTING SANITARY SEWER LINE
— 8" SAS —	PROPOSED VALVE W/BOX
— 8" SAS —	PROPOSED FIRE HYDRANT
— 8" SAS —	PROPOSED AIR RELEASE VALVE
— 8" SAS —	PROPOSED REDUCER
— 8" SAS —	PROPOSED IRRIGATION SERVICE
— 8" WL —	PROPOSED WATER LINE
— 8" WL —	EXISTING WATER LINE
— 8" WL —	PROPOSED METER
— 8" WL —	PROPOSED VALVE W/BOX
— 8" WL —	PROPOSED FIRE HYDRANT
— 8" WL —	PROPOSED AIR RELEASE VALVE
— 8" WL —	PROPOSED REDUCER
— 8" WL —	PROPOSED IRRIGATION SERVICE
— 24" RCP —	EXISTING STORM SEWER LINE
— 24" RCP —	PROPOSED STORM SEWER MANHOLE
— 24" RCP —	PROPOSED SNGL "D" INLET
— 24" RCP —	PROPOSED STORM SEWER LINE
— 24" RCP —	EXISTING CURB & GUTTER
— 24" RCP —	PROPOSED 6" STD CURB
— 24" RCP —	BOUNDARY LINE
— 24" RCP —	EXISTING BOUNDARY LINE
— 24" RCP —	EASEMENT
— 24" RCP —	PROPOSED SIDEWALK
— 24" RCP —	EXISTING SIDEWALK
— 24" RCP —	FUTURE SIDEWALK
— 24" RCP —	RIGHT-OF-WAY
— 24" RCP —	LOT LINES
— 24" RCP —	EXISTING LOT LINES
△	BENCH MARK
☆	STREET LIGHTS

SITE/UTILITY REQUIREMENTS	
ELEC.:	1000 AMP UNDERGROUND AT 120/208/3P/4W 262 KW DIVERSION CONNECTED LOAD (VERIFY) 2333 C.F.H. AT 0.5" W.C.
WATER:	78 GAPM, 136 FIXTURE UNITS, 2" LINE
SAN. SEWER:	237 FIXTURE UNITS, 6" LINE
TELEPHONE:	4'0" MIN. FLOWLINE BELOW FINISH FLOOR
CABLE:	2" EMPTY CONDUIT WITH PULL WIRE
PROTO POLE:	FIXTURE: LIGHTOLIER "EXCELINE" #SAR403MAL, 400 W MH, 208 VOLD, TYPE III (UNLESS NOTED OTHERWISE)
POLE:	"EXCELINE" #801-3007-30, 30'-0" SQUARE STRAIGHT STEEL POLE, 400 W SMH LMP (UNLESS OTHERWISE NOTED)

**GENERAL NOTES:**

- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
- ALL PIPE MATERIAL TO BE USED PER UPC.

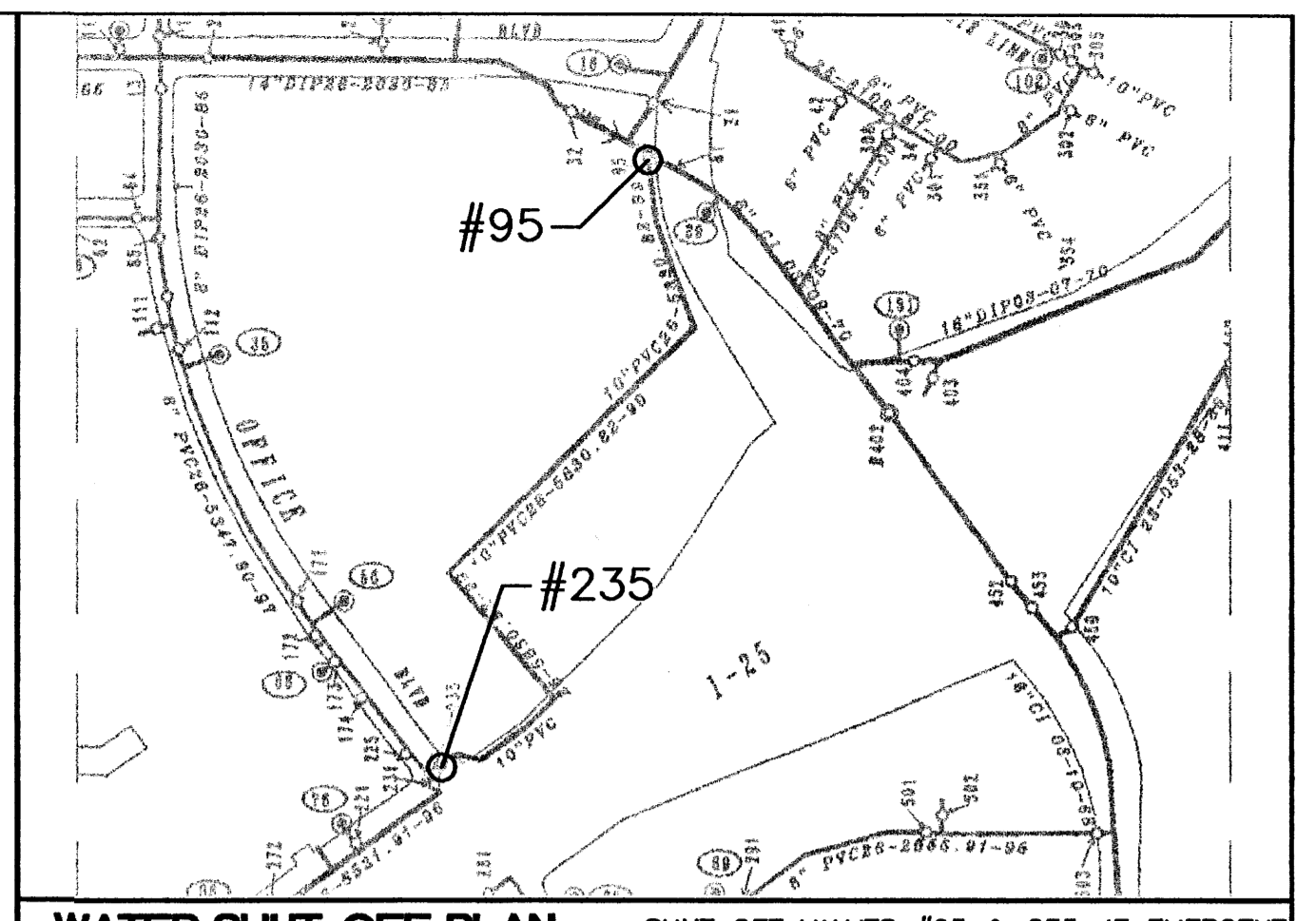
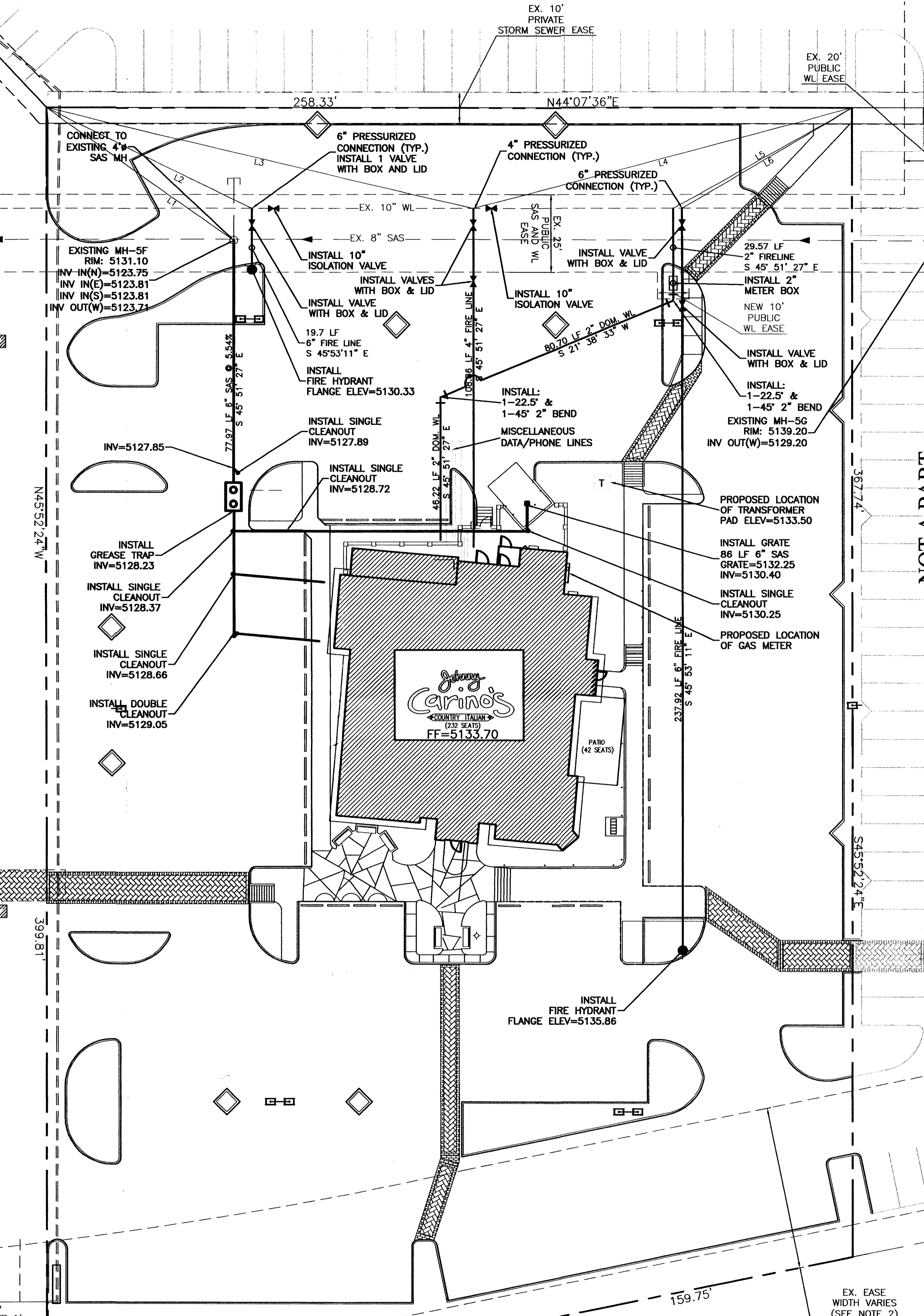


UTILITY TRENCH DETAIL

N.T.S.

NOT A PART  
OF THIS CONTRACT  
EX. PARKING AND BUILDINGS  
SHOWN FOR REFERENCE ONLY

PROPOSED  
PAPPADEAUX  
FOOD KITCHEN  
RESTAURANT  
13,725 SQ.FT.



WATER SHUT-OFF PLAN SHUT OFF VALVES #95 & 235, IF EMERGENT

- NOTES:
- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  - NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
  - APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  - SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

**NOTICE TO CONTRACTORS**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
- CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
- CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
- CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
- CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
- CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
- CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

ENGINEER'S SEAL	<b>JEFFERSON COMMONS - II</b> <b>JOHNNY CARINO'S</b> <b>5021 PAN AMERICAN FRWY. NE</b>	DRAWN BY MP
	<b>MASTER UTILITY PLAN</b>	DATE 01-07-04
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2395MUB-102403X.DWG
RONALD R. BOHANNAN P.E. #7868	SHEET #	JOB #
	<b>3 OF 6</b>	230095

**CAUTION:**  
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### Landscape Legend

Size	Common Name	Quantity
4-6'	Palm Yucca, Boulder, Cobble	2
2"	Honeylocust, Ash, Chinese Pistache	16
2"	Chitalpa	16
5'	Multi-trunk character Pinon	2
15 Gal	Desert Willow	8
5 Gal	Raphiolepis	19
5 Gal	Buffalo Juniper	52
5 Gal	Dwarf Butterfly Bush	29
5 Gal	Dwarf Fountain Grass	56
5 Gal	Santolina	25
5 Gal	Blue Mist	40
5 Gal	Silverberry	12
5 Gal	Spanish Broom	8
5 Gal	Cliffrose	6
1 Gal	Moonshine Yarrow	19
1 Gal	Purple Iceplant	19

### Landscape Notes

Landscape Maintenance and Irrigation system maintenance shall be the responsibility of the owner.

All Landscaping shall be watered by a complete underground irrigation system operated by automatic timer. Bubblers to trees and (2) drip emitters per shrub on separate valve. Point of Connection for irrigation system is unknown at current time and will be coordinated in the field.

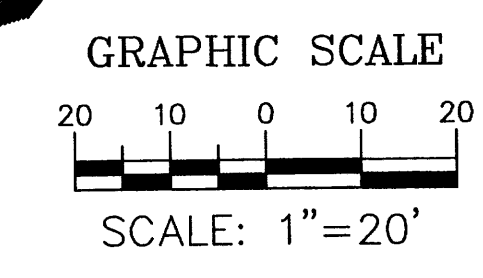
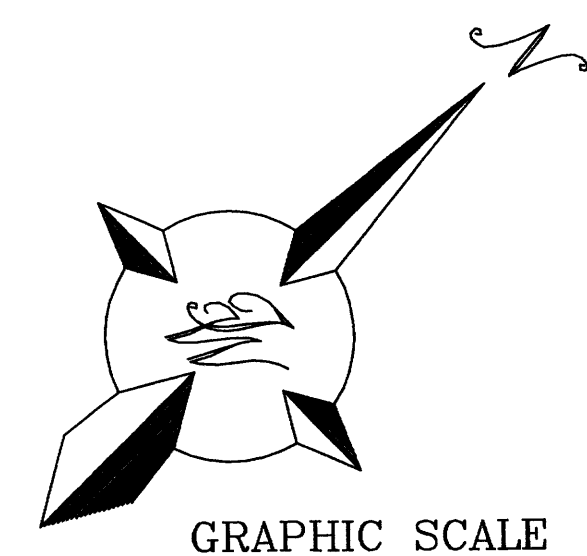
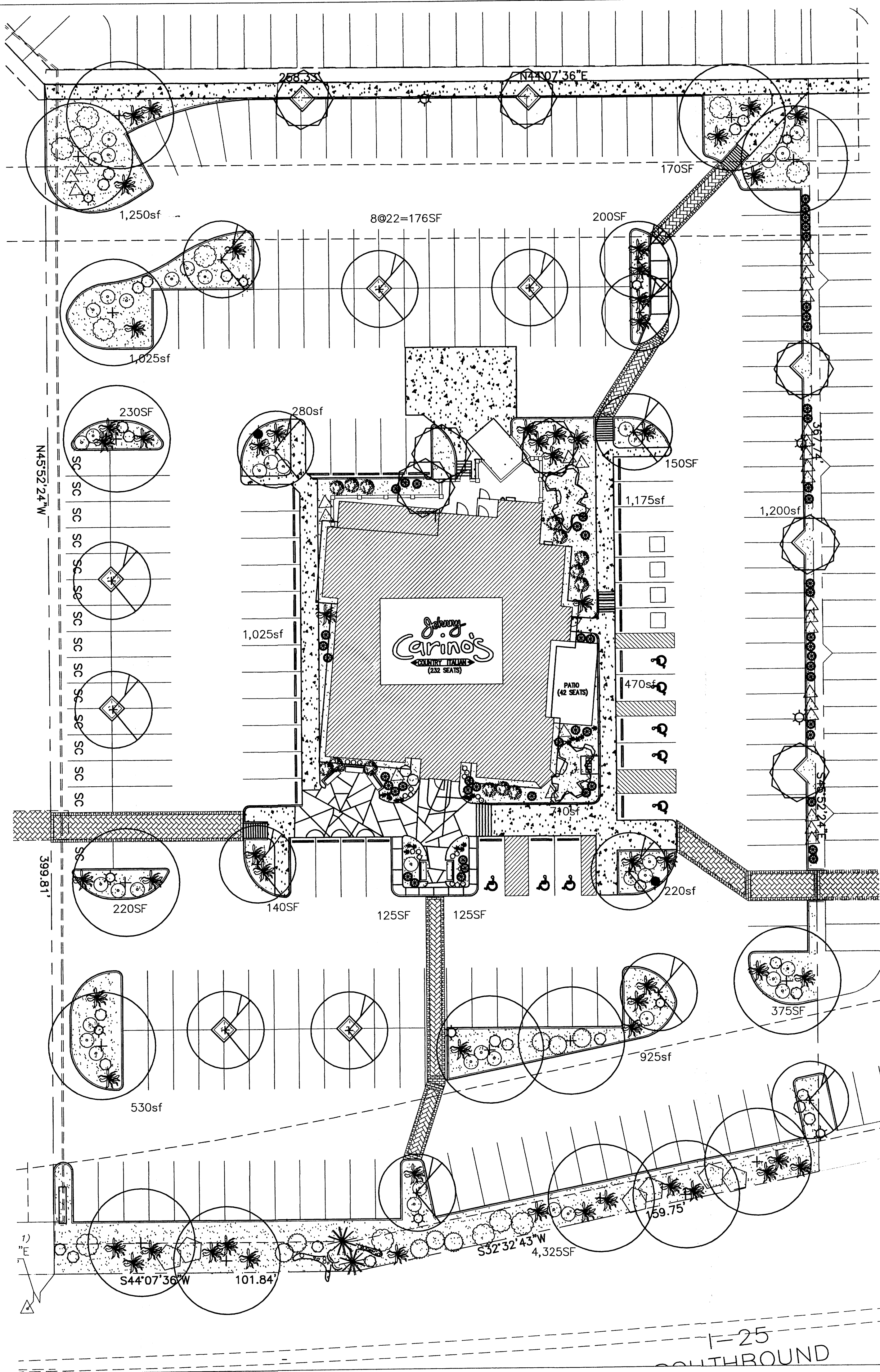
It is the intent of this plan to comply with the City of Albuquerque, water conservation and waste water ordinance.

All landscape beds shall be planted so to achieve 75% live ground cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

### Landscape Calculations

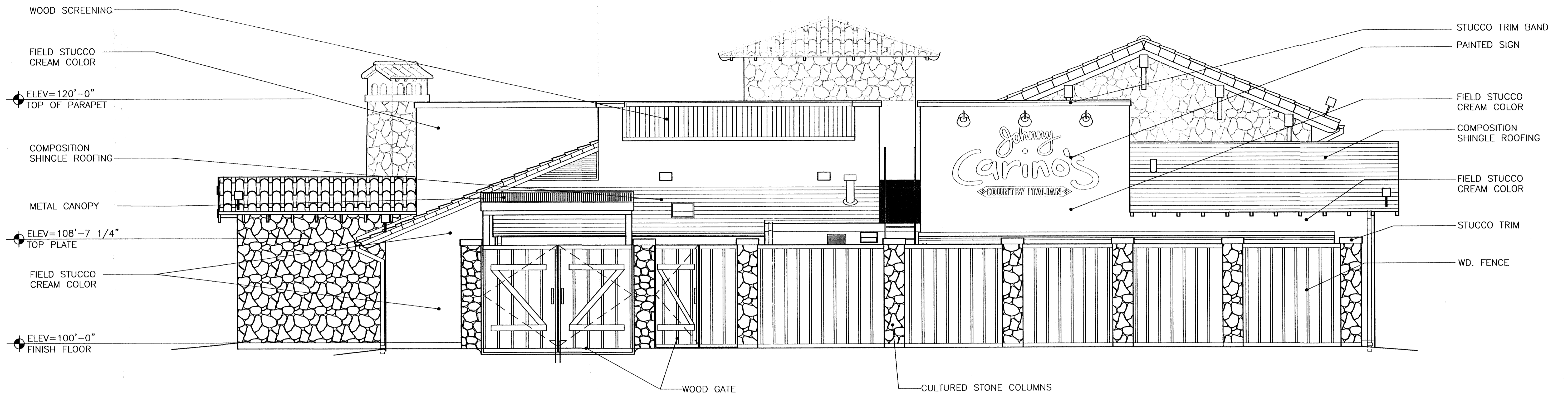
TOTAL LOT AREA (sf)	100,775
TOTAL BUILDING AREA (sf)	-6,725
NET LOT AREA (sf)	94,050
LANDSCAPE REQUIREMENT (%)	x 15
TOTAL LANDSCAPE REQUIRED (sf)	14,108
TOTAL LANDSCAPE PROVIDED (sf)	14,469



**Mitchell Associates, LLC**  
 7200 Way Cross Av. NW  
 Albuquerque, NM 87120  
 (505) 839-2081 danny@mitchellassociatesllc.com

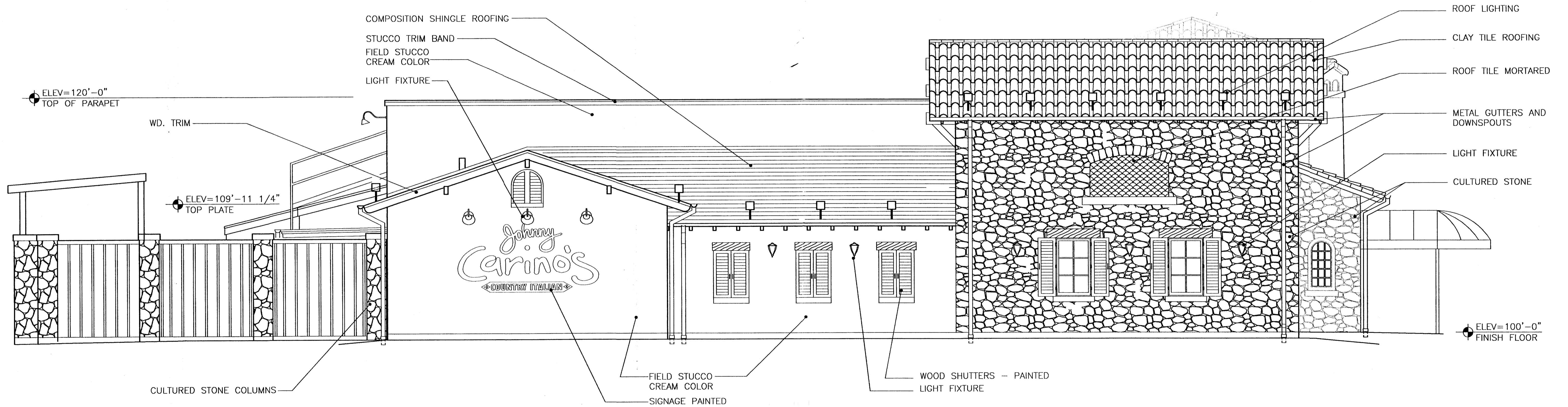
	JEFFERSON COMMONS-II JOHNNY CARINOS	DRAWN BY DM DATE 01-12-04 230095LS-121703.DWG
	LANDSCAPE PLAN	SHEET #
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100	4 OF 6 JOB # 230095





**REAR ELEVATION**

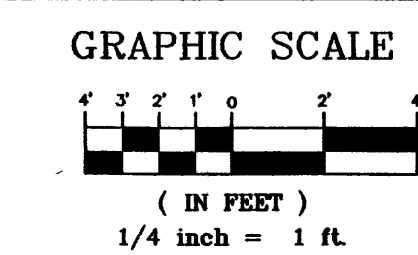
SEE SHEET 5 OF 6 FOR FINISH SCHEDULE



**LEFT ELEVATION**



PROTO 8.4  
ALBUQUERQUE, NM



30 OCT. 2003



6500 Greenville Ave.  
Dallas, TX 75206  
Suite 307  
Tel 214.361.9901  
Fax 214.361.9906