

Completed 1/20/04 RO

APPLICATION NO. 03-02149	PROJECT NO. 1003009
PROJECT NAME JEFFERSON COMMONS JOHNNY & CARINOS	
EPC APPLICATION NO.	
APPLICANT / AGENT TIERRA WEST	PHONE NO. 858.3100
ZONE ATLAS PAGE F-17	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
<b>ONE STOP COMMENT FORM LOG</b>	

<b>TRANSPORTATION DEV (505) 924-3990</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED 6/6	DATE 1-13-04	DATE
COMMENTS:		

<b>UTILITY DEV (505) 924-3989</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED 2/22	DATE 1/15/04	DATE
COMMENTS:		

<b>HYDROLOGY DEV (505) 924-3986</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

<b>PARKS AND REC (505) 768-5328</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

<b>PLANNING (505) 924-3858</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

(Return form with plat / site plan)



# DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-02149  
Project Name: Jefferson Commons  
EPC Application No.: \_\_\_\_\_  
Phone No.: 858-3100

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/31/03 by the DRB with delegation of signature(s) to the following departments. OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Dispersing of ADA spaces WF

UTILITIES: Need to revise utility plan accordingly.

CITY ENGINEER / AMAFCA: \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

PLANNING (Last to sign): add plans to government's comments

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

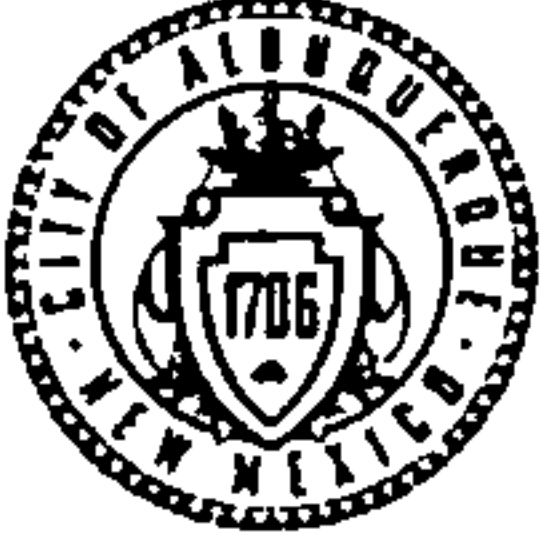
\_\_\_\_\_

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- Copy of final plat AND a DXF File for AGIS is required.
- Copy of recorded plat for Planning.

1/16/04 add plans for copy

Project Number 1003009

1/2/04 Completed



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

December 31, 2003, 09:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.**

**NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.**

**NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.**

- A. Call to Order                      Adjourned:  
B. Changes and/or Additions to the Agenda  
C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000844**  
03DRB-01996 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for D.R. HORTON INC request(s) the above action(s) for all or a portion of Lot(s) 1-7 and 27-32, Tract(s) 2, Block(s) 6, **EAGLE POINTE SUBDIVISION, UNIT 3**, zoned R-D, located on LOUISIANA BLVD NE, between CORONA AVE NE and WILSHIRE NE containing approximately 10 acre(s). [REF: 01DRB-01712](C-19)  
**A 2-YEAR EXTENSION OF THE SIA WAS APPROVED.**
  
2. **Project # 1000875**  
03DRB-02004 Major-Vacation of Public Easements  
03DRB-02005 Minor-Vacation of Private Easements

COMMUNITY SCIENCES CORPORATION agent(s) for FINELAND LLC, request(s) the above action(s) for all or a portion of Tract(s) F, **FINELAND DEVELOPMENT**, zoned SU-1 for R-2, located on MCMAHON BLVD NW, between TUSCANY DR NW and UNSER BLVD NW containing approximately 11 acre(s). [REF: 03DRB-01684] (A-11)  
**THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
  
3. **Project # 1002051**  
03DRB-02010 Minor-Vacation of Private Easements  
03DRB-02011 Minor-Temp Defer SDWK  
03DRB-02008 Major-Preliminary Plat Approval  
03DRB-02009 Major-Vacation of Public Easements

TIERRA WEST LLC agent(s) for GELTMORE LAND LTD COMPANY request(s) the above action(s) for all or a portion of Tract(s) A, **CHAMISA RIDGE UNIT 1**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DR NW and CONEFLOWER DR NW containing approximately 18 acre(s). [REF: 02DRB-00963] (B-10)  
**DEFERRED AT THE AGENT'S REQUEST TO 1-14-04.**

4. **Project # 1002518**  
03DRB-02014 Major-Vacation of Pub  
Right-of-Way  
03DRB-02015 Major-Vacation of Public  
Easements  
03DRB-02016 Minor-Amnd Prelim Plat  
Approval
- COMMUNITY SCIENCES CORPORATION agent(s)  
for THOMAS & MARGARET KRYFKO, TEDDY &  
BARBARA POLK & GWENDOLYN VANDAMME  
request(s) the above action(s) for all or a portion of  
Lot(s) 41, **ALVARADO GARDENS, UNIT 3**, zoned  
RA-2, located on DECKER AVE. NW, between  
GLENWOOD ROAD NW and TRELIS DR. NW  
containing approximately 1 acre(s). (G-12)  
**THE VACATION WAS APPROVED AS SHOWN ON  
EXHIBIT B IN THE PLANNING FILE. THE  
AMENDED FINAL PLAT WAS APPROVED.**
5. **Project # 1003113**  
03DRB-01995 Major-Vacation of Public  
Easements
- DARRELL RATCHNER request(s) the above action(s)  
for all or a portion of Lot(s) 4, Block(s) 6, **REBONITO  
SUBDIVISION**, zoned R-1, located on WELLS DR.  
NE, between INDIAN SCHOOL RD. NE and HAINES  
NE containing approximately 1 acre(s). [REF: DRB-  
94932, V-87-71] (J-23)  
**THE VACATION WAS APPROVED AS SHOWN ON  
EXHIBIT B IN THE PLANNING FILE.**
6. **Project # 1000922**  
03DRB-01953 Major-Preliminary Plat  
Approval  
03DRB-01954 Minor-Temp Defer  
SDWK
- WILSON & COMPANY agent(s) for LEGACY  
SUSTAINABLE DEVELOPMENT request(s) the above  
action(s) for, **LA CUENTISTA SUBDIVISION**, zoned  
R-1, located on KIMMICK DRIVE NW, between  
URRACA STREET NW and CAMINO DE PAZ  
containing approximately 50 acre(s). [REF: 1000922,  
DRB-97-98, V-97-116, 02DRB-01783, 03DRB-01725 ]  
(C-10)  
**DEFERRED AT THE AGENT'S REQUEST TO 1-7-04**

7. **Project # 1001753**  
03DRB-01999 Minor-Sidewalk Waiver  
03DRB-01998 Minor-Subd Design  
(DPM) Variance  
03DRB-01884 Major-Preliminary Plat  
Approval

MARK GOODWIN & ASSOC agent(s) for MESA VERDE DEVELOPMENT CORP request(s) the above action(s) for all or a portion of Lot(s) 1 & 2-11, Block(s) 11, **N ABQ ACRES TR 1 UNIT 3**, zoned R-D 3du/Acre, located on FLORENCE AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 12 acre(s). [REF: 03DRB-01884 ] (B-19)

**WITH THE APPROVAL OF THE INFRASTRUCTURE LIST DATED 12-31-03 AND THE GRADING PLAN ENGINEER STAMP DATED 10/30/03 THE PRELIMINARY PLAT WAS APPROVED. CONDITION: FLORENCE PRELIMINARY WALL DESIGN IS APPROVED BEFORE FINAL PLAT APPROVAL.**

8. **Project # 1002928**  
03DRB-01532 Major-Preliminary Plat  
Approval  
03DRB-01534 Minor-Temp Defer  
SDWK  
03DRB-01536 Minor-Sidewalk Waiver

BOHANNAN HUSTON, INC./ DENISH-KLINE & agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of Tract(s) D TBKA TAOS @ THE TRAILS, **THE TRAILS, POR. OF TR. 4, BLACK RANCH**, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD. NW and UNIVERSE BLVD. NW containing approximately 20 acre(s). [REF: 1002928 ] (C-09)  
**DEFERRED AT THE AGENT'S REQUEST TO 1-7-04**

9. **Project # 1002929**  
03DRB-01531 Major-Preliminary Plat  
Approval  
03DRB-01535 Minor-Sidewalk Waiver  
03DRB-01533 Minor-Temp Defer  
SDWK

DENISH - KLINE agent(s) for THE TRAILS LLC  
request(s) the above action(s) for all or a portion of  
Tract(s) C < aka Santa Fe @ The Trails >, **THE**  
**TRAILS**, zoned R-D, located on RAINBOW BLVD  
NW, between PASEO DEL NORTE BLVD NW and  
UNIVERSE BLVD NW containing approximately 17  
acre(s). (C-9)  
**DEFERRED AT THE AGENT'S REQUEST TO 1-7-04**

10. **Project # 1003111**  
03DRB-02079 Minor-SiteDev Plan  
BldPermit/EPC  
03DRB-01987 Minor-Vacation of  
Private Easements  
03DRB-01988 Minor-Temp Defer  
SDWK  
03DRB-01986 Major-Preliminary Plat  
Approval  
03DRB-01989 Minor-Sidewalk Waiver

ISAACSON AND ARFMAN, P.A. agent(s) for THE STROSNIDER GROUP request(s) the above action(s) for all or a portion of Tract(s) A & B, **WINDMILL MANOR PLACE**, zoned SU-1 for PRD, located on DELLYNE AVE NW, between MARIPOSA DR NW and VALLE VISTA DR NW containing approximately 4 acre(s). [REF: Z-95-79, Z-98-57 (EPC SP) ] (E-11)  
**THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF TO PLANNING FOR EPC CASE PLANNER INITIALS. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A TEMPORARY DEFERRAL OF SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. WITH THE APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11-21-03 AND THE INFRASTRUCTURE LIST DATED 12-31-03. THE PRELIMINARY PLAT WAS APPROVED.**

- 10 B.  
**Project #1002800**  
03DRB-02152 Minor-Subd Design  
(DPM) Variance  
03-01990 Major-Preliminary Plat  
03-01992 Minor-Temporary Deferral  
SDWK

MARK GOODWIN & ASSOC. agent(s) for ALPHA EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 10-23, Tract(s) 1, **NORTH ALBUQUERQUE ACRES**, zoned RD 3 du/ac, located on MODESTO AVE. NE, between GLENDALE AVE. and WYOMING BLVD. NE containing approximately 14 acre(s). (B-19)  
**THE PRELIMINARY PLAT WAS APPROVED WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12-31-03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12-29-03. A SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**



**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED,  
THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

11. **Project # 1003009**  
03DRB-02149 Minor-SiteDev Plan  
BldPermit/EPC
- TIERRA WEST LLC agent(s) for SANDIA FOOD GROUP request(s) the above action(s) for all or a portion of Lot(s) 2, **JEFFERSON COMMONS II**, zoned IP, located on PAN AMERICAN FRWY NE, between OFFICE BLVD. NE and JEFFERSON ST. NE containing approximately 3 acre(s). [REF: Z-97-20, DRB-97-366 ] (F-17)
- THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES AND TRANSPORTATION TO REVISE UTILITY MASTER PLAN AND CHANGE DIMENSIONS FOR THE PARKING SPACES WITH AN UPDATED LANDSCAPING PLAN.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

12. **Project # 1001796**  
03DRB-02078 Minor-Prelim&Final Plat  
Approval
- SAMUEL C DE BACA request(s) the above action(s) for all or a portion of Lot(s) 1, **STOUT SUBDIVISION**, zoned SU-1 for O-1 Permissive Uses, located on COORS BLVD. NW, between EAGLE RANCH RD. NW and PASEO DEL NORTE NW containing approximately 18 acre(s). [REF: 03DRB 00916, Z-98-17, Z-84-122, S-98-25 ] (C-13)
- DEFERRED AT THE AGENT'S REQUEST TO 1-14-04.**

13. **Project # 1001932**  
03DRB-02108 Minor-Final Plat  
Approval

MARK GOODWIN & ASSOC. agent(s) for KB HOME NEW MEXICO INC. request(s) the above action(s) for all or a portion of Tract(s) F, **WEST RIDGE S/D , UNIT 3**, zoned SU-1 special use zone, RD (6-10 DU/AC), located on UNSER BLVD NW, between OLD OURAY RD. NW and NEW OURAY RD. NW containing approximately 14 acre(s). [REF: 02DRB-01578& 79, 02DRB-01580& 81, 03DRB-00220, 03DRB-00353, 03DRB-00577] (H-09)

**THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PARKS FOR CASH-IN-LIEU OF PARK DEDICATION FEE AND DETACHED OPEN SPACE TABLE.**

14. **Project # 1001523**  
03DRB-02109 Minor-Final Plat  
Approval

MARK GOODWIN & ASSOCIATES agent(s) for UNSER & 98TH STREET PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 special use zone, for Light Industrial, located on UNSER BLVD NW, between LADERA DR. NW and 98TH STREET NW containing approximately 120 acre(s). [REF: 02DRB-00518, 02DRB-00621, SP 4 S/D] (H-09)

**THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO THE CITY ENGINEER FOR AMAFCA SIGNATURE AND MINOR CORRECTIONS ON PLAT.**

15. **Project # 1000716**  
03DRB-02110 Minor-Ext of SIA for  
Temp Defer SDWK  
03DRB-02111 Minor-Extension of  
Preliminary Plat

LARRY READ & ASSOCIATES, INC. agent(s) for ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 30, Block(s) 20, Tract(s) 3, **NORTH ALBUQUERQUE ACRES**, zoned R-D residential and related uses zone, developing area, located on ALEXANDRIA AVE. NE, between EUBANK BLVD. NE and HOLBROOK NE containing approximately 1 acre(s). (D-20)

**A ONE-YEAR EXTENSION TO THE SIA FOR A TEMPORARY DEFERRAL SIDEWALK WAS APPROVED. A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

16. **Project # 1002743**  
03DRB-02083 Minor-Prelim Plat  
Approval

BORDENAVE DESIGNS agent(s) for OVENWEST CORP request(s) the above action(s) for all or a portion of Tract(s) H, **LA LUZ DEL OESTE**, zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE NW containing approximately 2 acre(s). [REF: Z-77-28, 03DRB-00989 ] (F-11)

**NO ACTION TAKEN. PRELIMINARY PLAT PREVIOUSLY APPROVED.**

17. **Project # 1002771**  
03DRB-02147 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST, LTD. agent(s) for GERTRUDE ZACHARY SCHMIDT request(s) the above action(s) for all or a portion of Lot(s) 13-24, Block(s) 36, **NM TOWN CO. ORIGINAL TOWNSITE**, zoned SU-3 special center zone, located on, between and containing approximately 2 acre(s). [REF: 03DRB-01036 VAC., DRB-98-253, ZA-98-342, ZA-95-36 ] (K-14)

**THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR SKETCH SHOWING CROSS SECTIONS OF STREETS. RIGHT-OF-WAY SHOULD BE 10 FEET FROM THE FACE OF THE CURB.**

18. This project heard as Item 10 B.

19. **Project # 1002992**  
03DRB-02138 Minor-Prelim Plat  
Approval

WAYJOHN SURVEYING INC. agent(s) for WEST EIGHT LTD. request(s) the above action(s) for all or a portion of Lot(s) 1- 3, Block(s) 5, **ORIGINAL TOWNSITE OF WESTLAND**, zoned C-2 community commercial zone, located on 86TH ST SW, between BRIDGE BLVD. SW and CENTRAL AVE. SW containing approximately 2 acre(s). [REF: 03DRB-01623 ] (K-09)

**DEFERRED AT THE AGENT'S REQUEST TO 1-14-04.**

20. **Project # 1003026**  
03DRB-02099 Minor-Prelim&Final Plat  
Approval

ABQ. ENGINEERING agent(s) for INFIL  
SOLUTIONS (JAY REMBE) request(s) the above  
action(s) for all or a portion of Lot(s) POR. 2&3,  
**ALVARADO GARDENS SUBDIVISION**, zoned R-LT  
residential zone, located on CANDELARIA RD NW,  
between DURANES LATERAL and RIO GRANDE  
BLVD. NW containing approximately 1 acre(s). [REF:  
03DRB-01712] (G-12)

**WITH THE SIGNING OF THE INFRASTRUCTURE  
LIST DATED 12-31-03 AND THE GRADING PLAN  
ENGINEER STAMP DATED 10-20-03 THE  
PRELIMINARY PLAT WAS APPROVED WITH  
FINAL SIGN-OFF DELEGATED TO PLANNING,  
AND UTILITIES FOR AGIS APPROVAL OF DXF  
FILE AND TRANSPORTATION FOR CLEAR SIGHT  
TRIANGLE. CONDITION OF FINAL PLAT: PUBLIC  
WATER AND SEWER EASEMENTS WILL BE  
SEPARATE FROM PUE. THE FINAL PLAT WAS  
INDEFINITELY DEFERRED FOR SIA.**

21. **Project # 1003156**  
03DRB-02153 Minor-Prelim&Final Plat  
Approval

C/O ROBBIN WOODALL agent(s) for RALPH &  
MARY LUCERO request(s) the above action(s) for all  
or a portion of Lot(s) 5-A, **LAURELWOOD S/D**, zoned  
R-D residential and related uses zone, developing  
area, located on SHERWOOD DR. NW, between  
LAURELWOOD PARKWAY NW and LAURELWOOD  
AVE. NW containing approximately 1 acre(s). [REF: Z-  
84-28, DRB-94-576, SP-94-207 ] (H-10)

**THE PRELIMINARY PLAT WAS APPROVED WITH  
FINAL SIGN-OFF DELEGATED TO PLANNING FOR  
THE AGIS DXF FILE.**

22. **Project # 1003155**  
03DRB-02148 Minor-Prelim&Final Plat  
Approval

ISAACSON & ARFMAN, PA agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Lot(s) 35- 37, Block(s) F, **EL RANCHO GRANDE**, zoned R-LT residential zone, located on AMOLE VISTA ST SW, between CAMINO SAN MARTIN, SW and EL RANCHO DR. SW containing approximately 1 acre(s). [REF: 1001347 ] (M-09)  
**THE PRELIMINARY AND FINAL PLATS WERE APPROVED.**

23. **Project # 1003152**  
03DRB-02139 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST, LTD. agent(s) for WILLIAM & EDNA MCIVER request(s) the above action(s) for all or a portion of Lot(s) 5& 6, Block(s) 17, **MONTEREY HILLS ADDITION**, zoned R-1 residential zone, located on SANTA CLARA AVE SE, between WELLESLEY AVE. SE and HYDER AVE. SE containing approximately 1 acre(s). [REF: ZA-75-127 ] (L-16)  
**THE PRELIMINARY AND FINAL PLAT WERE APPROVED.**

**NO ACTION IS TAKEN ON THESE CASES:**

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

24. **Project # 1003153**  
03DRB-02140 Minor-Sketch Plat or Plan

GEORGE J. MARQUEZ SURVEYING agent(s) for LOE KORTE request(s) the above action(s) for all or a portion of Lot(s) 8-A, **WEST ALBUQUERQUE BUSINESS ADDITION**, zoned C-2 community commercial zone, located on CENTRAL AVE NW, between 50TH ST. NW and 52ND ST. NW containing approximately 1 acre(s). [REF: DRB-95-408 & 495, ZA-95-199, Z-84-87 ] (K-11)  
**THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

25. **Project # 1002629**  
03DRB-02124 Minor-Sketch Plat or Plan

LYLE C LOSACK agent(s) for BRENDAN T O'SULLIVAN request(s) the above action(s) for all or a portion of Lot(s) 10 & 11, **DAVIDSON EDITION**, zoned DI-2 for RT, located on 10TH ST NW, between CANDELARIA NW and containing approximately 1 acre(s). [REF: 03DRB-00683, 03DRB-01413 ] (G-14)  
**THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

26. Other Matters:

Adjourned: 12:20 P.M.

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**INTER-OFFICE MEMO**

**December 30, 2003**

**TO:** Sheran Matson, DRB Chair  
**FROM:** Carmen Marrone, Staff Planner  
**RE:** **Project #1003009**, Site Plan for Building Permit,  
Johnny Carinos Restaurant, I-25/Jefferson NE

The site plan for building permit for this project was approved by the EPC on November 20, 2003 with conditions. I have reviewed the latest submittal and find that the applicant has met all of the conditions imposed by the EPC except for Condition #4c. The Master Plan that controls this site lists theme shrubs to provide continuity throughout the larger site (see attached). The proposed Landscape Plan only lists 2 theme shrubs out of a total of 9 species of shrubs proposed. The applicant shall add Cliffrose, Silverberry, Spanish Broom, and/or Santolina to meet the intent of the Master Plan.

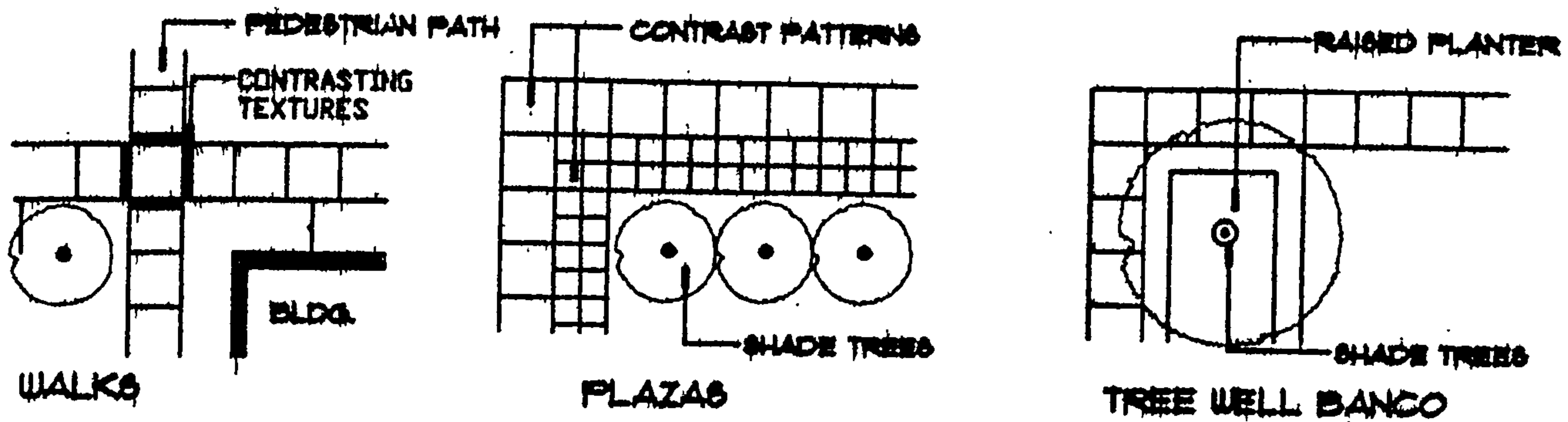
All of the remaining EPC Conditions have been met per the submittal. If you have any questions regarding this case, please call me at 924-3814.

50%  
total

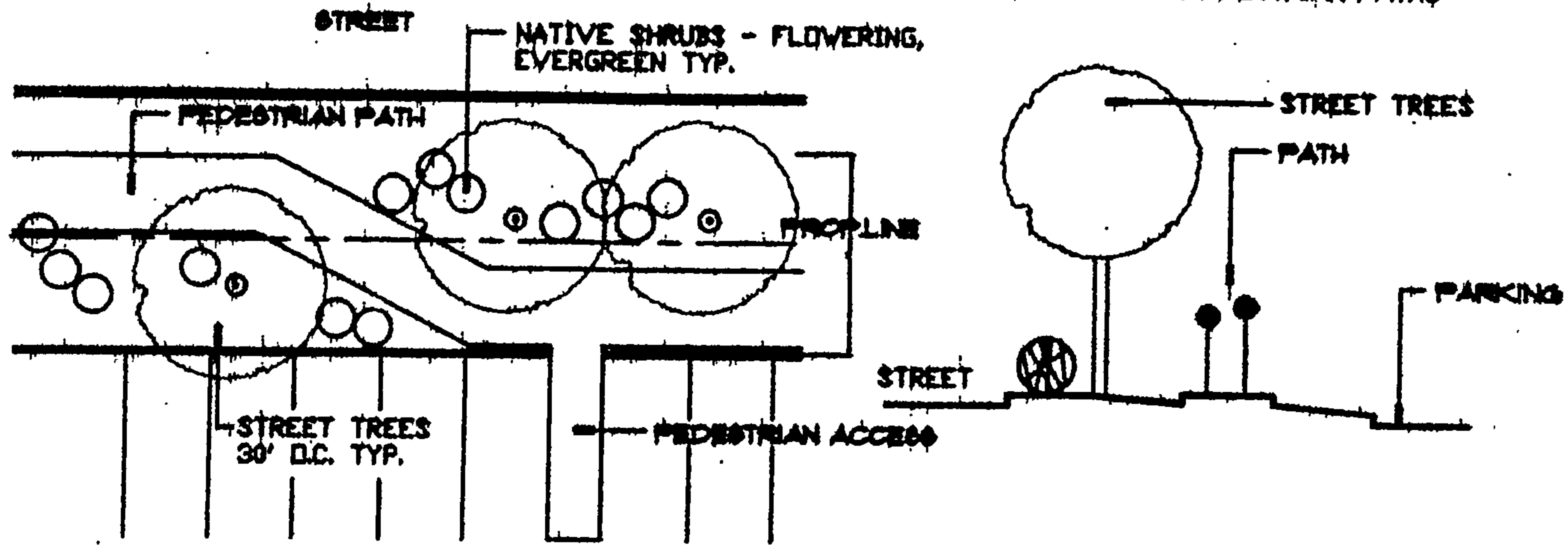


**B) LANDSCAPING**

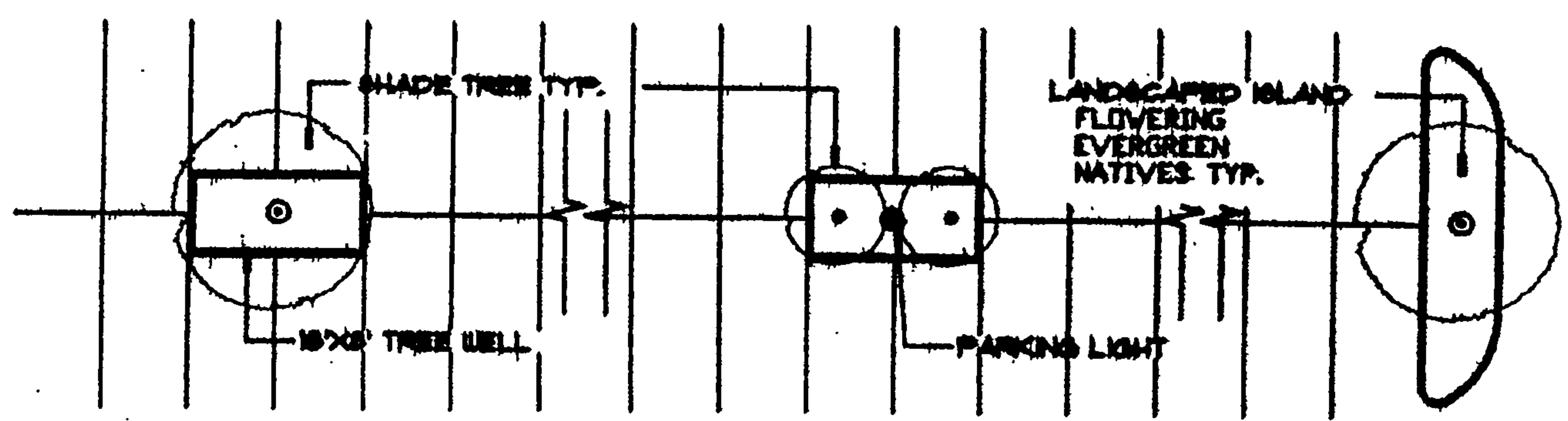
INTENT: ALL GROUND PLANE AND HARDSCAPE ELEMENTS WILL BE SHARED BY BOTH THE OFFICE AND ENTERTAINMENT ORIENTED PRODUCTS



- WALKS SHALL CONNECT TO STREET AND TO ALL BLDGS AND PLAZAS  
 NOTE: PLEASE REFER TO SITE PLAN FOR SUBDIVISION FOR FURTHER DETAILS ON PEDESTRIAN PATHS



**PERIMETER BUFFER AND BIKE/JOGGING PATH**



**PARKING LOT SHADING**

**LANDSCAPE CRITERIA**

- SUMMER SHADE
- WIND AND VISUAL SCREENING
- COLOR TEXTURE CONTRAST
- THEMATIC CONTINUITY
- LOW WATER USE
- APPROPRIATE SCALE

**THEME TREES**

- DESERT WILLOW
- TEXAS ASH
- ROBINIA
- G. MOUNTAIN MAHOG.
- SHRUB LIVE OAK
- PINON

**WATER**



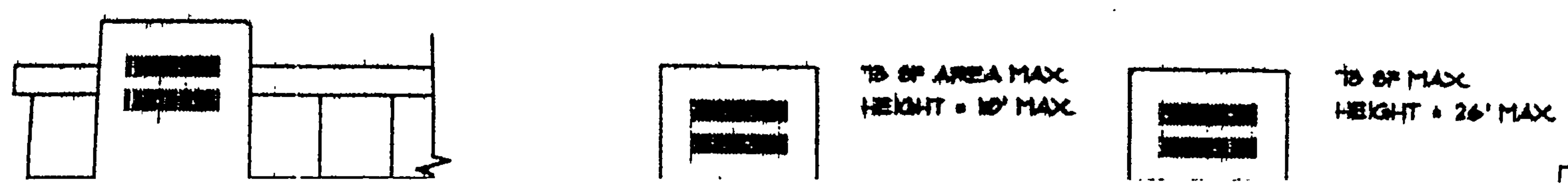
**THEME SHRUBS**

- CLIFFROSE
- APACHE PLUME
- CHAMELA
- SILVERBERRY
- SPANISH BROOM
- SANTOLINA

**WATER**



**C) SIGNAGE AND EXTERIOR LIGHTING**





# 11

# DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-02149 Project # 1003009  
 Project Name: Jefferson Commons EPC Application No.: \_\_\_\_\_  
 Agent: Shirley West Phone No.: 505-3100

Project Number 1003009

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/31/03 by the DRB with delegation of signature(s) to the following departments.  
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: DIMENSIONING of ADA SPACES  
 RADII ETC  
 \_\_\_\_\_  
 PLANT LIST  
 \_\_\_\_\_

UTILITIES:  
 Marked up Utility Plan provided to consultant.  
 Need to revise Utility Plan accordingly.  
 \_\_\_\_\_  
 \_\_\_\_\_

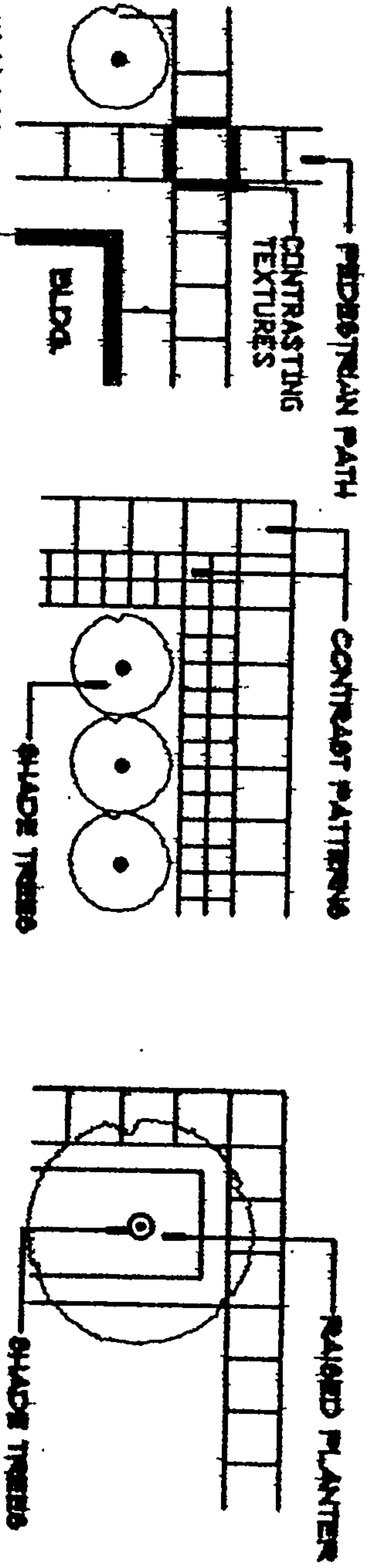
CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign) Add plants per woman's comment 12/31/03  
 Planning must record this plat. Please submit the following items:  
 -The original plat and a mylar copy for the County Clerk.  
 -Tax certificate from the County Treasurer.  
 -Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_  
 -Tax printout from the County Assessor.  
 Include 3 copies of the approved site plan along with the originals.  
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.  
 Property Management's signature must be obtained prior to Planning Department's signature.  
 Copy of final plat AND a DXF File for AGIS is required.  
 Copy of recorded plat for Planning.

ED / LANDSCAPING

INTENT: ALL GROUND PLANE AND Hardscape Elements Will Be Shaded By **DO NOT** OFFICE AND ENTERTAINMENT ORIENTED PLAZAS



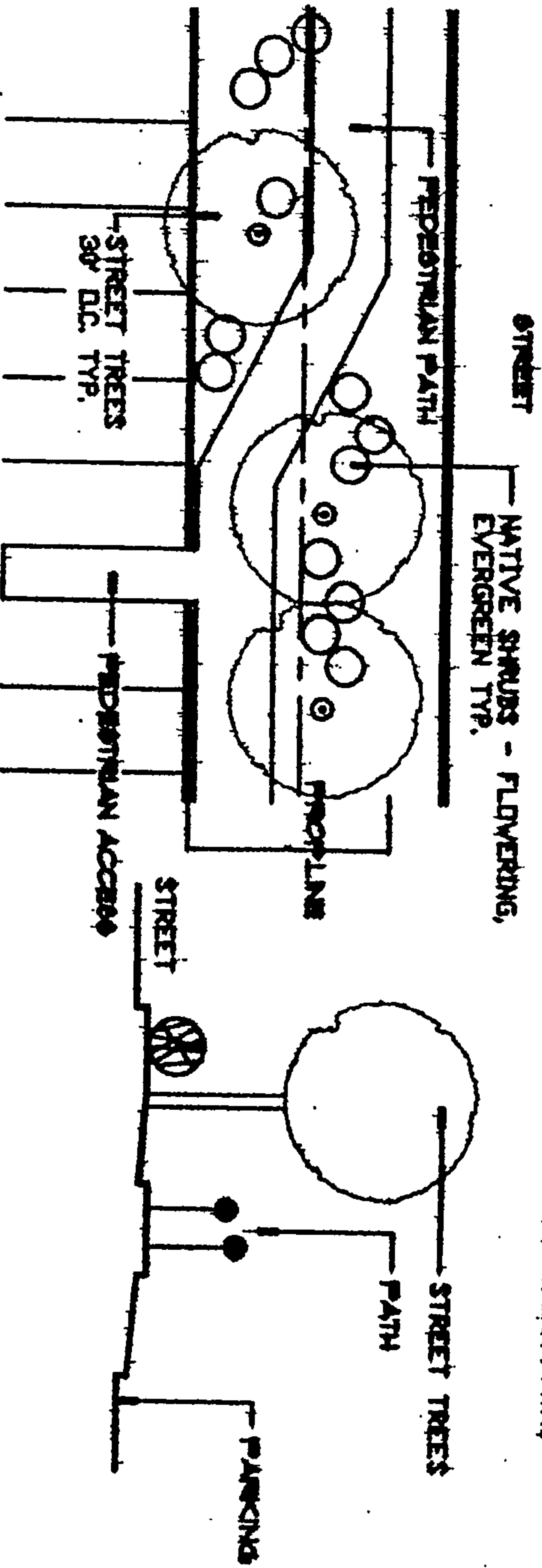
WALKS

PLAZAS

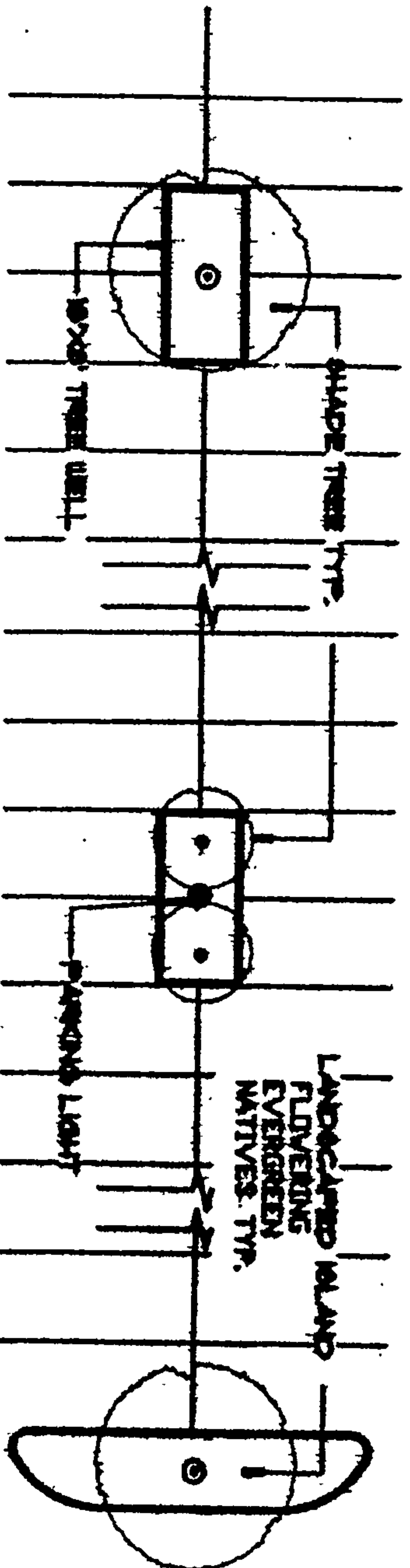
TREE WELL BANCO

- WALKS SHALL CONNECT TO STREET AND TO ALL BLDG. AND PLAZA

NOTE: PLEASE REFER TO SITE PLAN FOR SUBDIVISION FOR FURTHER DETAILS ON PEDESTRIAN PATHS



PERIMETER BUFFER AND BIKE/LOGGING PATH



PARKING LOT SHADING

LANDSCAPE CRITERIA

- SUMMER SHADE
- WIND AND VISUAL SCREENING
- COLOR TEXTURE CONTRAST
- THERMATIC CONTINUITY
- LOW WATER USE
- APPROPRIATE SCALE

THEME TREES

- DEARBART WILLOW
- TEXAS ASH
- ROSEHILL
- C. MOUNTAIN PALM
- SHINED LIVE OAK
- PINON

WATER



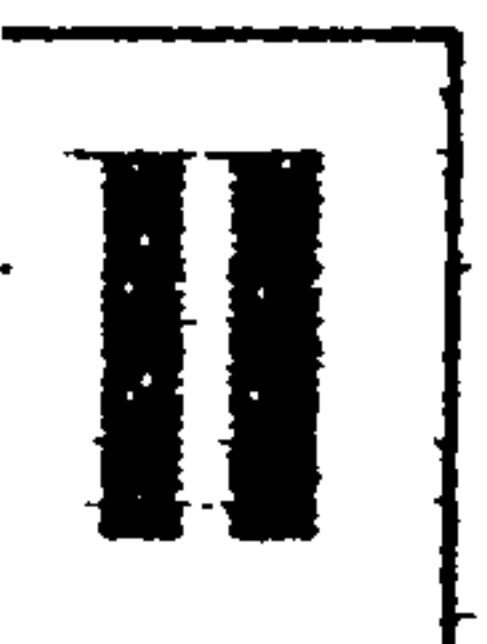
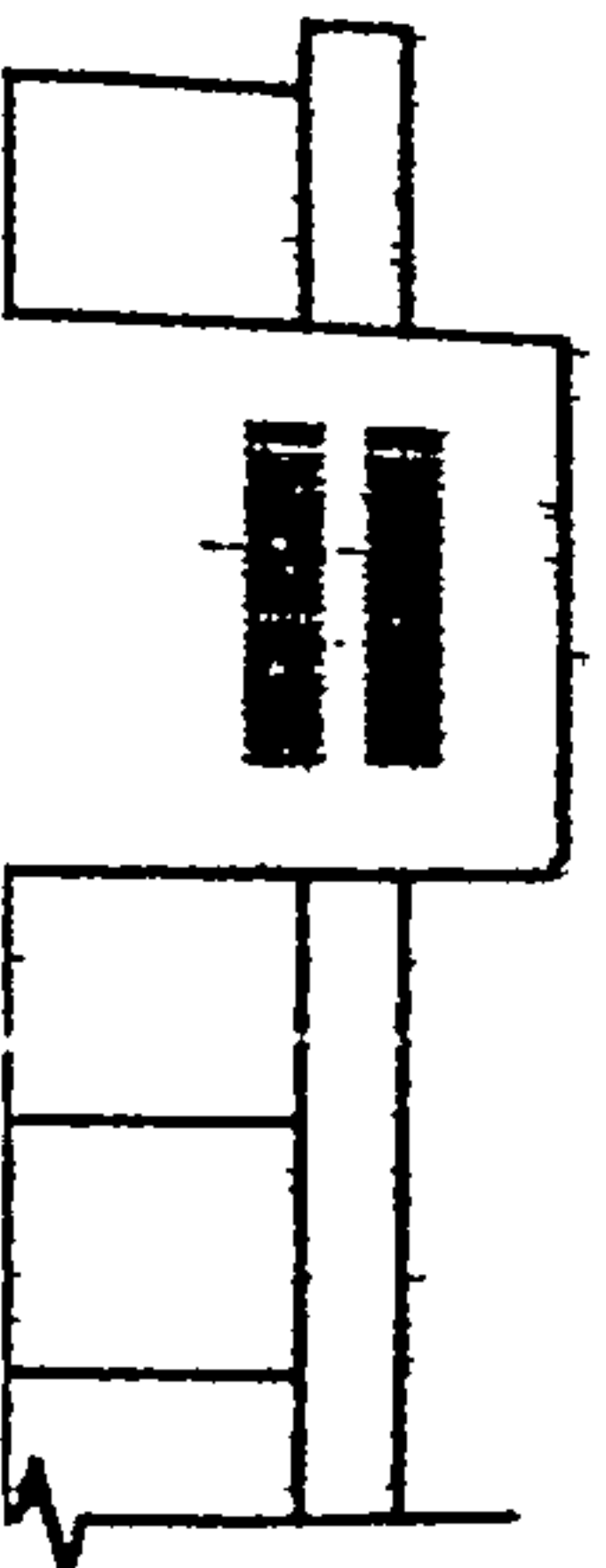
THEME SHRUBS

- CLYPOGON
- APACHE PLUME
- CHANTRELLA
- SILVERCHERRY
- SPANISH BROOK
- SAUTOLINA

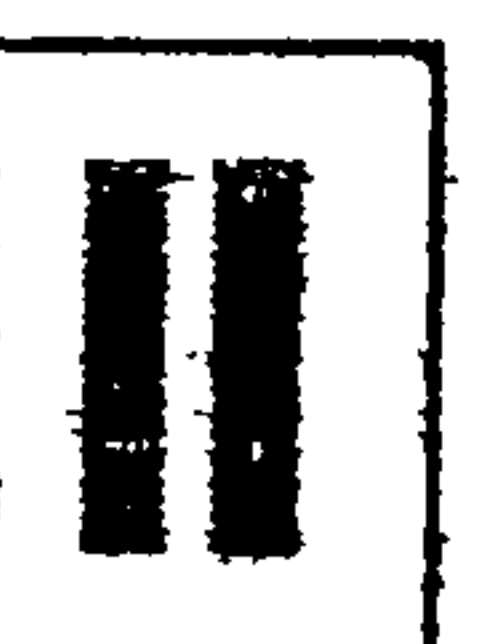
WATER



C2 SIGNAGE AND EXTERIOR LIGHTING



TO 6' AREA MAX  
HEIGHT • 10' MAX



TO 6' MAX  
HEIGHT • 26' MAX

# CITY OF ALBUQUERQUE PLANNING DEPARTMENT

INTER-OFFICE MEMO

December 30, 2003

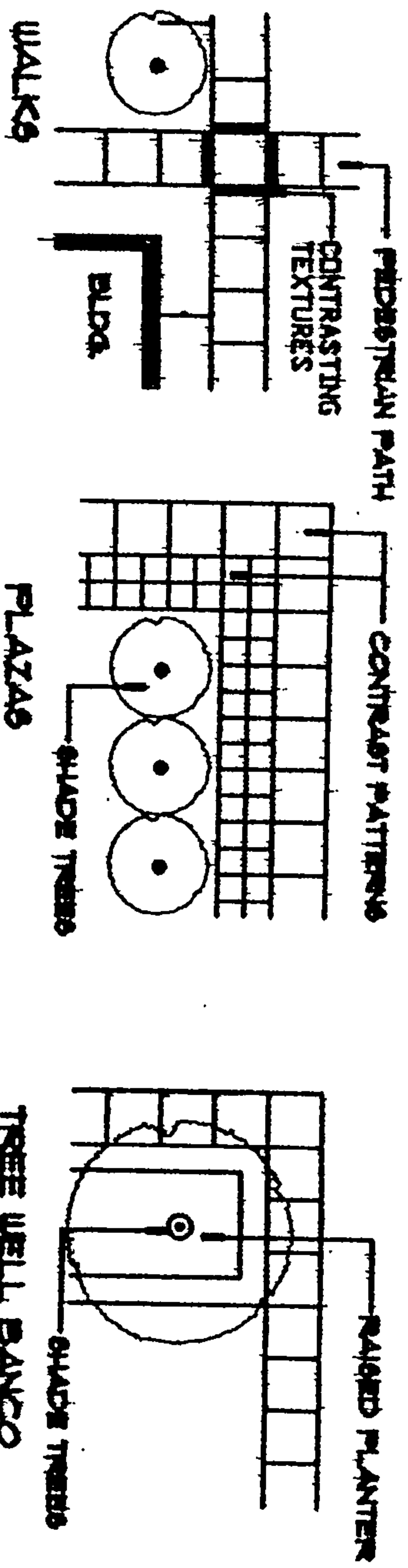
**TO:** Sheran Matson, DRB Chair  
**FROM:** Carmen Marrone, Staff Planner  
**RE:** **Project #1003009**, Site Plan for Building Permit,  
Johnny Carinos Restaurant, I-25/Jefferson NE

The site plan for building permit for this project was approved by the EPC on November 20, 2003 with conditions. I have reviewed the latest submittal and find that the applicant has met all of the conditions imposed by the EPC except for Condition #4c. The Master Plan that controls this site lists theme shrubs to provide continuity throughout the larger site (see attached). The proposed Landscape Plan only lists 2 theme shrubs out of a total of 9 species of shrubs proposed. The applicant shall add Cliffrose, Silverberry, Spanish Broom, and/or Santolina to meet the intent of the Master Plan.

All of the remaining EPC Conditions have been met per the submittal. If you have any questions regarding this case, please call me at 924-3814.

D) LANDSCAPING

NOTE: ALL GROUND PLANE AND HARDSCAPE ELEMENTS WILL BE SHARED BY BOTH THE OFFICE AND ENTERTAINMENT ORIENTED PORTALS

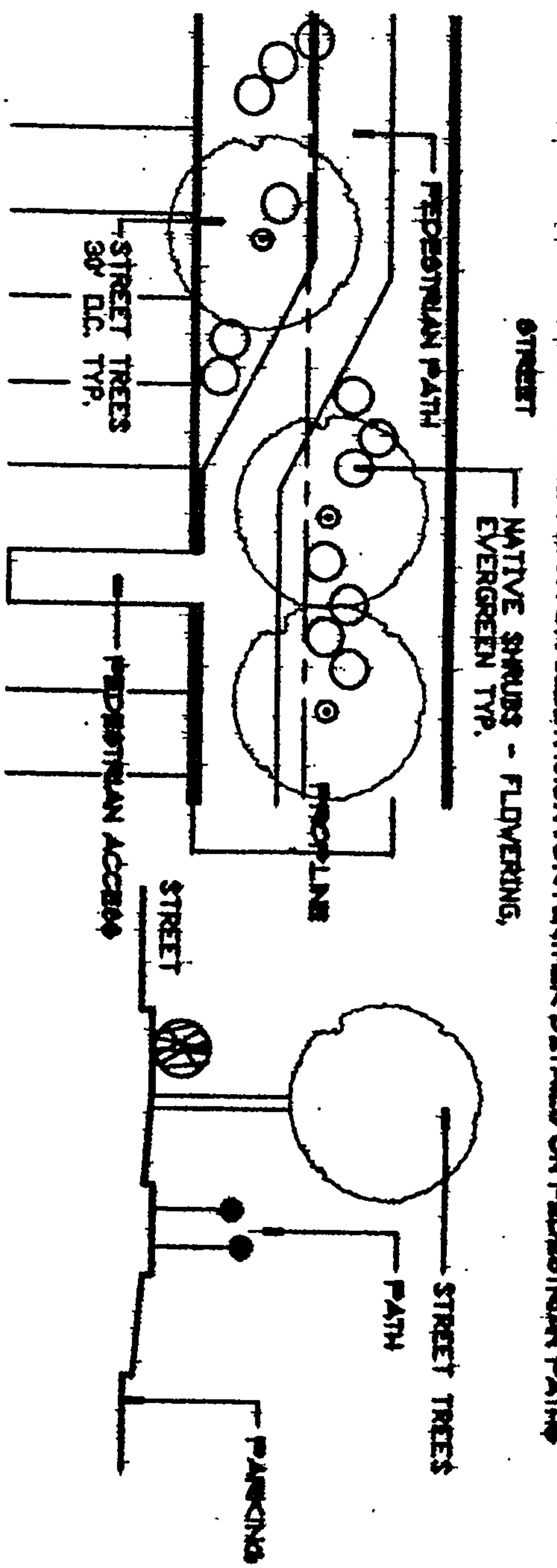


WALKS

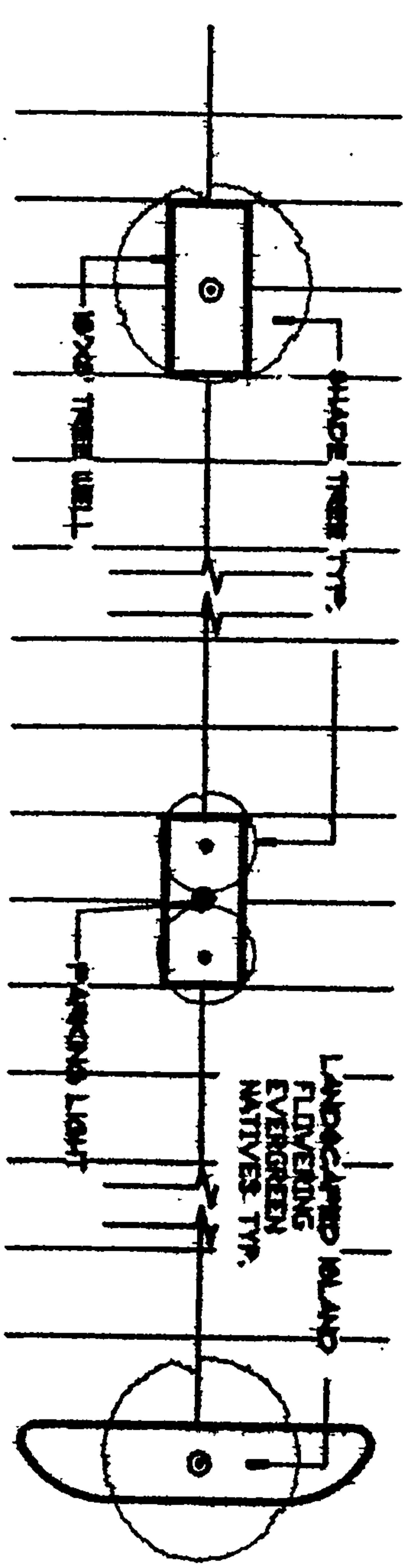
PLAZAS

TREE WELL BANCO

- WALKS SHALL CONNECT TO STREET AND TO ALL BLDGS. AND PLAZAS  
NOTE: PLEASE REFER TO SITE PLAN FOR SUBDIVISION FOR FURTHER DETAILS ON PEDESTRIAN PATHS



PERIMETER BUFFER AND BIKE/JOGGING PATH



PARKING LOT SHADING

- LANDSCAPE CRITERIA
- FILTER SHADE
  - WIND AND VISUAL SCREENING
  - COLOR, TEXTURE, CONTRAST
  - THEMATIC CONTINUITY
  - LOW MAINTENANCE
  - APPROPRIATE SCALE

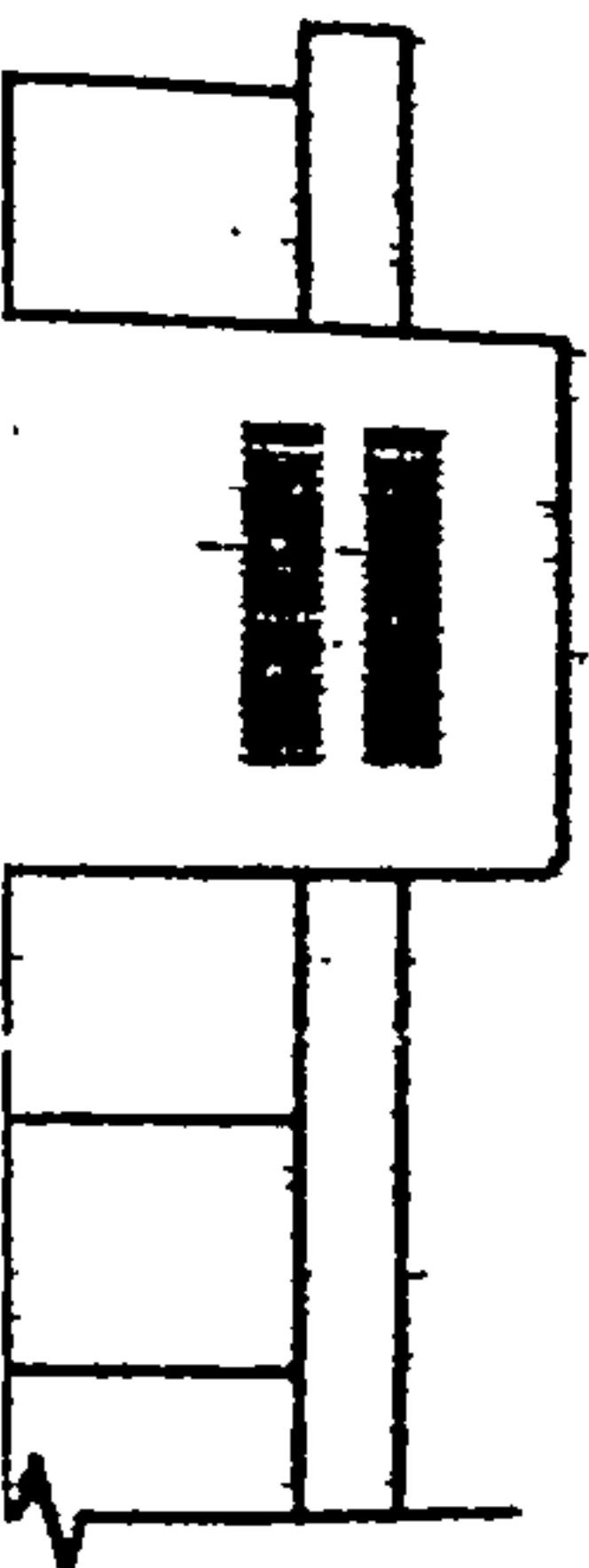
- THEME TREES
- DEBENT WILLOW
  - TEXAS ASH
  - NOBILIA
  - C. MOUNTAIN PALM
  - SHRED LIVE OAK
  - PINON

WATER

- THEME SHRUBS
- CLAYCOCK
  - APACHE PLUME
  - CHANTRELL
  - SILVERBERRY
  - SPANISH BROOK
  - SANTIOLA

WATER

C) SIGNAGE AND EXTERIOR LIGHTING



TO 60' AREA MAX  
HEIGHT - 10' MAX



TO 60' MAX  
HEIGHT - 20' MAX



**City of Albuquerque**  
CITY OF ALBUQUERQUE  
P.O. BOX 1299 ALBUQUERQUE, NEW MEXICO 87103  
PUBLIC WORKS DEPARTMENT  
DEVELOPMENT SERVICE  
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003009**

**AGENDA ITEM NO: 11**

**SUBJECT:**

- |                         |                              |                              |
|-------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd      | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | <b>(06)</b> Site Plan for BP | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation                | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat              | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List     | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

No adverse comments.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: **(UD)** (CE) **(TRANS)** (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** December 31, 2003



<b>SUBDIVISION</b> <input type="checkbox"/> Major Subdivision action <input type="checkbox"/> Minor Subdivision action <input type="checkbox"/> Vacation <input type="checkbox"/> Variance (Non-Zoning)	Supplemental form <b>S</b>  <b>V</b>  <b>P</b>  <b>L</b>	<b>ZONING</b> <input type="checkbox"/> Annexation & Zone Establishment <input type="checkbox"/> Sector Plan (Phase I, II, III) <input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan <input type="checkbox"/> Zone Change <input type="checkbox"/> Text Amendment	<b>Z</b>           <b>A</b>
<b>SITE DEVELOPMENT PLAN</b>  <input type="checkbox"/> ...for Subdivision Purposes <input checked="" type="checkbox"/> ...for Building Permit <input type="checkbox"/> IP Master Development Plan <input type="checkbox"/> Cert. of Appropriateness (LUCC)		<b>APPEAL / PROTEST of...</b> <input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: <u>SANDIA FOOD GROUP</u>	PHONE: <u>855.9500</u>
ADDRESS: <u>6801 JEFFERSON ST NE STE 500</u>	FAX: <u>881.9700</u>
CITY: <u>ABQ</u> STATE <u>NM</u> ZIP <u>87109</u>	E-MAIL: _____
Proprietary interest in site: <u>DEVELOPER</u>	
AGENT (if any): <u>TIERRA WEST LLC</u>	PHONE: <u>858-3100</u>
ADDRESS: <u>8509 JEFFERSON NE</u>	FAX: <u>858-1118</u>
CITY: <u>ABQ</u> STATE <u>NM</u> ZIP <u>87113</u>	E-MAIL: <u>twllc@tierrawestllc.com</u>

**DESCRIPTION OF REQUEST:** DRB FINAL SIGN OFF OF EPC APPVD SITE PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOT 2 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. JEFFERSON COMMONS II  
 Current Zoning: IP Proposed zoning: SAME  
 Zone Atlas page(s): F17 No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): 2.31 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO  
 UPC No. 101706120439620207 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: 5011 PAN AMERICAN FRWY NE  
 Between: OFFICE BLVD NE and JEFFERSON ST NE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): Z-97-20 / DRB 97-366/03EPC-01665

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

**SIGNATURE**

Ronald R. Bohannan DATE 12/23/03  
 (Print) RONALD R. BOHANNAN, P.E.  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>03DRB - 02149</u>	<u>DRB</u>	<u>P(3)</u>	\$ <u>0</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>Dec 31, 2003</u>			\$ <u>0</u>

Ronald R. Bohannan 12/23/03  
 Planner signature / date

Project # 1003009

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD R. BOHANNAN, P.E.



Applicant name (print)

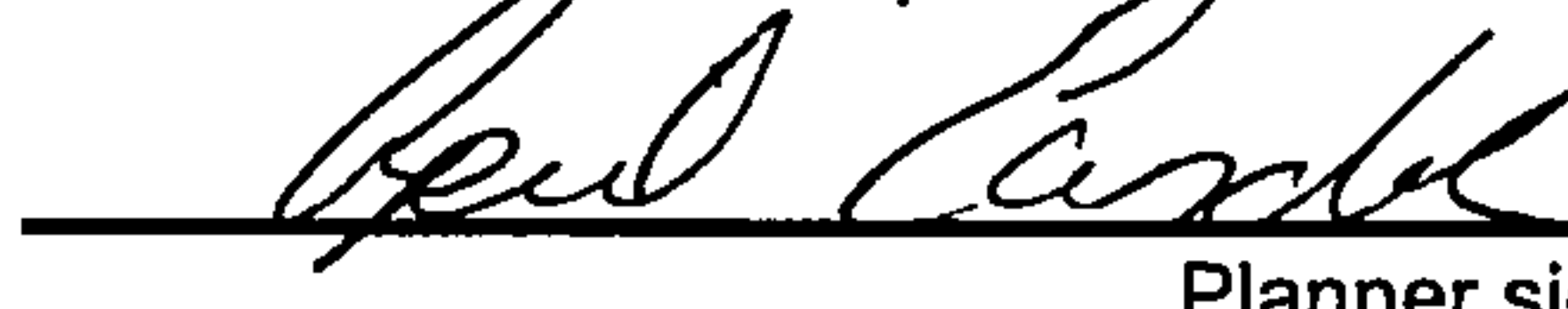
12/23/07  
Applicant signature / date



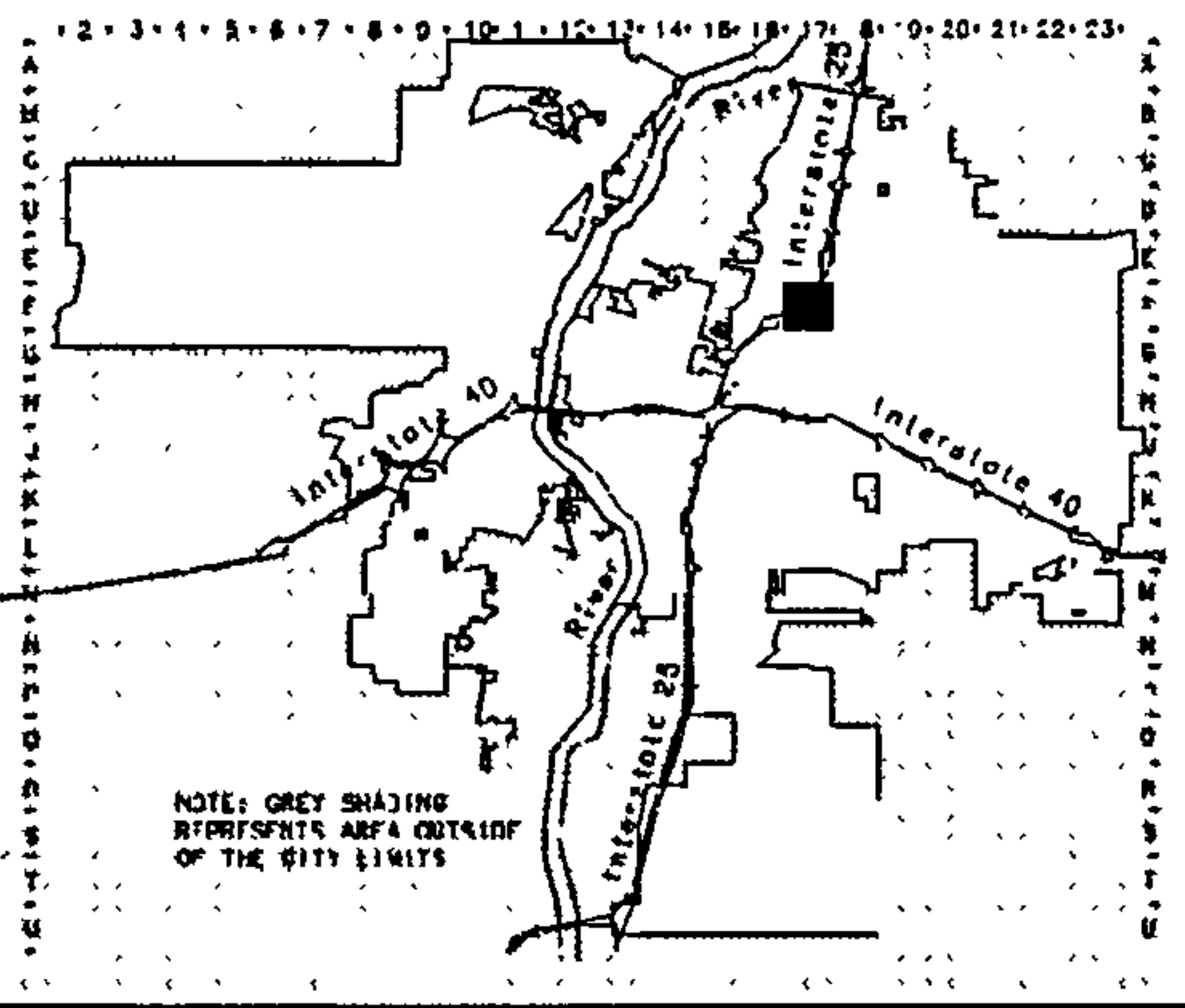
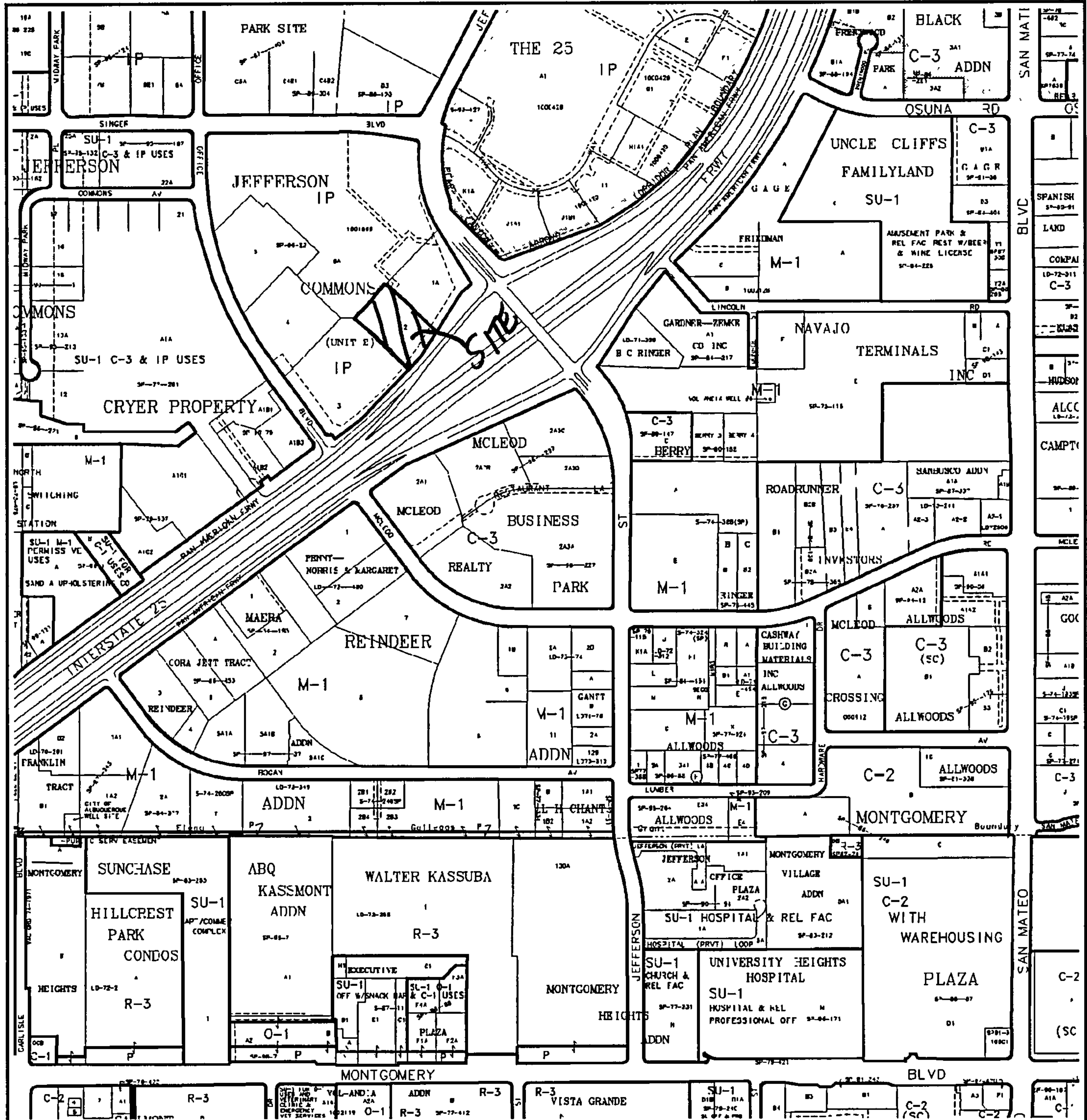
Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
03 DRB - 02149

 12/23/07  
Planner signature / date  
**Project # 1003009**

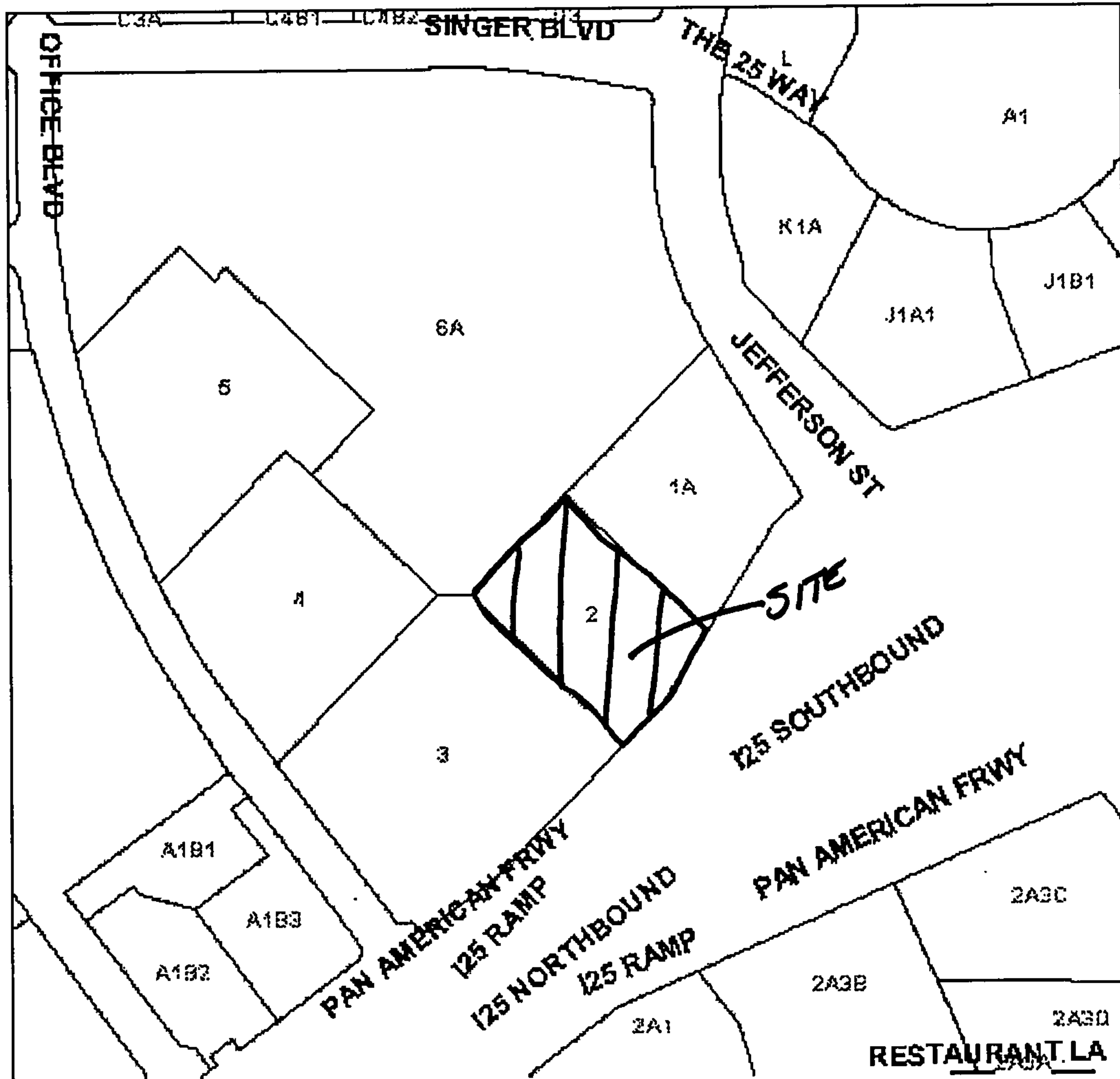




CITY OF  
Albuquerque  
**A G I S**  
Albuquerque Geographic Information System  
PLANNING DEPARTMENT  
© Copyright 2003



**Zone Atlas Page**  
**F-17-Z**  
Map Amended through July 31, 2003



**Selected Address: 5011 PAN AMERICAN FRWY NE**

**Zoning: IP**

**Lot/Block/Subd: 2 , 0000 , JEFFERSON COMMONS UNIT 2**

**ZoneMap Page: F17**

**Jurisdiction: CITY**

**UPC #: 101706120439620207**

# TIERRA WEST, LLC

8509 Jefferson NE  
Albuquerque, NM 87113

(505) 858-3100  
fax (505) 858-1118

twllc@tierrawestllc.com  
1-800-245-3102

December 22, 2003

Ms. Sheran Matson, Chairperson  
Development Review Board  
City of Albuquerque  
P. O. Box 1293  
Albuquerque, NM 87103

**RE: Johnny Carino's @ Jefferson Commons  
Lot 2, Jefferson Commons II  
EPC Final Sign-off of Site Development Plan – Building Permit  
Project #1003009, 03EPC-01665**

Dear Ms. Matson:

Tierra West, LLC, on behalf of Sandia Food Group, requests EPC final-sign-off approval for Site Development Plan – Building Permit for above referenced project. We provided the following responses to the conditions listed by the Environmental Planning Commission.

1. The bicycle rack at the northeast corner of the building shall be relocated to the southeast corner of the building, south of the patio.  
**The bicycle rack was relocated to the southeast corner of the building.**
2. The north/south walkway located east of the building shall continue to the south property line by connecting the patio area in front of the main entrance with the middle landscaped island located along the southern row of parking. Where the walkway crosses a drive aisle, the walkway shall be of the same brick material used in the other crosswalks on the site.  
**A walkway was placed from the front patio area to the middle of the parking row and is designated to be a brick walkway.**
3. The Master Development Plan requires that all parking lot lighting be a maximum of 30' in height. The applicant must indicate the locations of parking lot lighting on the site plan and must also provide a detail of the lighting that meets the requirements of the Master Development Plan.  
**The locations of the lights are indicated on the Site Plan with a detail showing the maximum height of the lights at 30-feet.**
4. Landscaping Plan:
  - a. Provide a scale and bar scale, 1"=20'  
**A scale and bar scale were placed on the plan.**

b. The Master Development Plan requires that landscaping exceed the normally required 15% of the net site area. The submittal indicates approximately 13% landscaping. The applicant shall increase the amount of landscaping by either reducing the number of parking spaces on the site and/or by providing shrubs along the eastern boundary of the site, similar to the northern boundary of the site.  
**The landscape area was increased to 14, 469 square feet, which exceeds the required 14,108 square feet.**

c. The applicant shall replace the proposed shrubs with shrubs from the Master Plan list to provide continuity.  
**The shrubs were replaced to match the shrubs from the Master Plan list.**

d. The landscape plan shows landscaping within the north/south walkway, in the parking bay and at the northeast corner. Landscaping shall be adjusted in these areas to accommodate a clear 6-foot path. Where the walkway abuts a tree well, the walkway may be reduced to 4'6" in width.  
**The landscape plan reflects the 6-foot path clear of any landscaping.**

e. All tree wells shall be a minimum of 6' x 6'.  
**All of the tree wells are designated at 6'x6'.**

f. The designated landscaping in the patio area shall be deleted from the landscaping plan and shall not count toward the 15% landscape requirement.  
**The landscaping was removed from the patio area and that area is not included in the landscaping calculations.**

5. Elevation Plan:

a. Provide a scale and bar scale, 1" = 40'.  
**A scale and bar scale was placed on the elevation sheets.**

b. Indicate colors of the stone, stucco, walls, fences, roofs, gate, and canopy over main entrance.  
**The colors were added to the elevation sheets.**

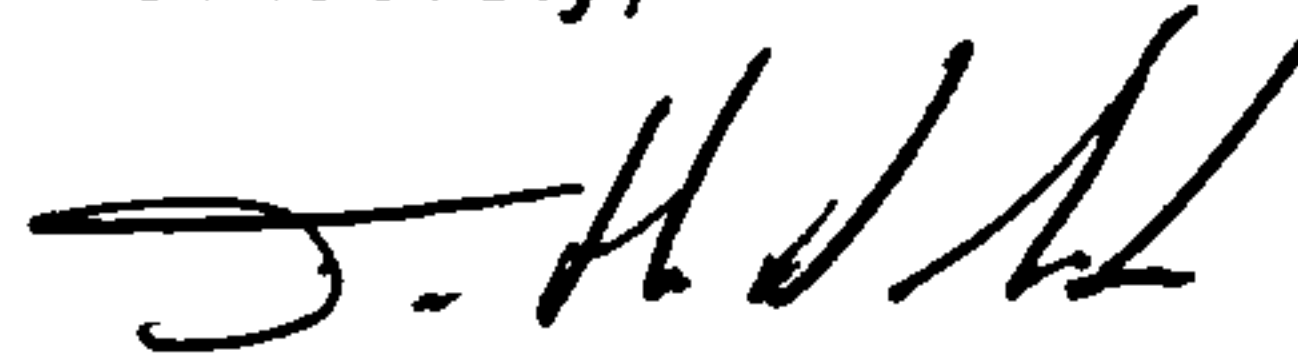
c. In order to meet the "banding" requirements of the Master Plan, the parapet trim band shall be similar in color to the bright primary or secondary colors used in the theatre.  
**The parapet trim is contrasting colors and to reflect a similar scheme as used in the theatre.**

6. Additional public seating shall be provided in the plaza area in front of the building. This could be accomplished by providing at least two additional 6' benches, or raised planters or by any other means that could accommodate six additional seats.  
**There were three additional 6' benches added to the patio area in front of the building.**

7. The Master Development Plan requires that all freestanding signs contain a maximum area of 75 square feet. The proposed freestanding sign must be reduced in size to meet this requirement.  
**The freestanding sign was reduced to a sign face of 70 square feet.**
8. Details of the freestanding sign must be included on the site plan.  
**A detail of the freestanding sign was placed on the site plan.**

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

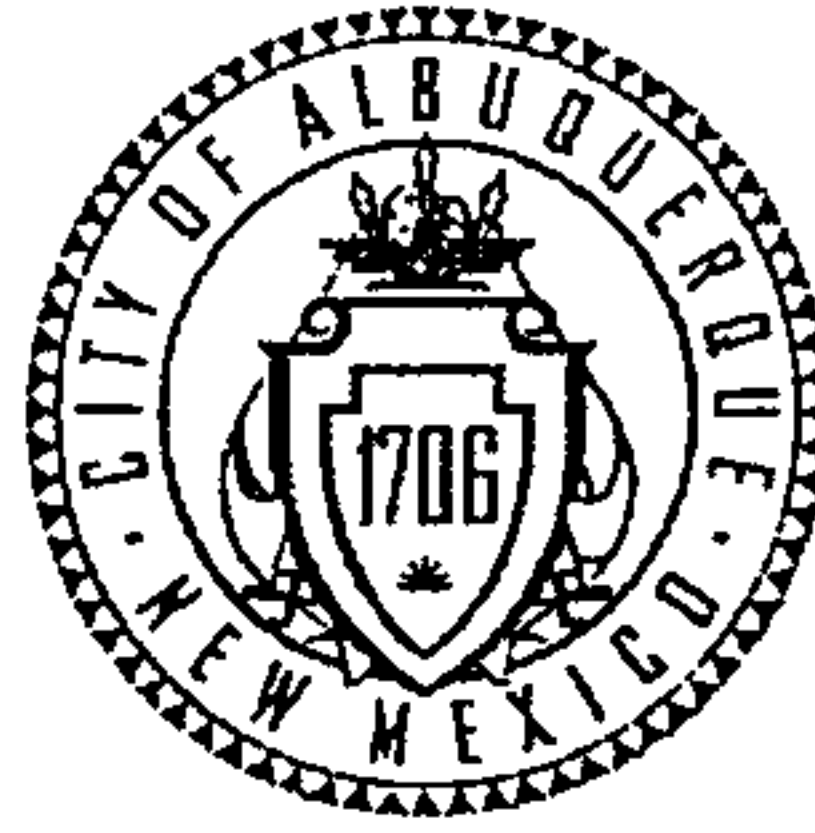


Jonathan D. Niski

Enclosures

cc: Corey Lusk

JN 230095  
JDN:djb



Jul 2800-91  
Krummery/APC  
cc: Corey Lopez  
Marco/Non FY2

City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: November 21, 2003

### OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003009 \***  
03EPC-01665 EPC Site Development Plan-  
Building Permit

Sandia Food Group  
6801 Jefferson St. NE, Ste 500  
Albuq. NM 87109

LEGAL DESCRIPTION: for all or a portion of  
Lot 2, **Jefferson Commons II**, zoned IP, located  
on PAN AMERICAN FRWY NE, between  
OFFICE BLVD. NE and JEFFERSON ST. NE,  
containing approximately 3 acres. (F-17)  
Carmen Marrone, Staff Planner

On November 20, 2003 the Environmental Planning Commission voted to approve Project 1003009/03EPC 01665, a site plan for building permit, for Lot 2, Jefferson Commons II, based on the following Findings and subject to the following Conditions:

#### FINDINGS:

1. This is a request for approval of a site development plan for building permit for a 6400 square foot restaurant located on Lot 2, Jefferson Commons II, between Jefferson Street and Office Boulevard NE.
2. The subject site is zoned IP. A Master Development Plan, as required by the IP zone, was approved for all of Jefferson Commons II (35 acres) in 1997 (Z-97-20). The request for site plan for building permit generally meets the requirements of the Master Development Plan with a few exceptions that are listed as Conditions of Approval.
3. The subject site is designated Established Urban per the *Comprehensive Plan* with a goal to create a quality urban environment while creating a visually pleasing built environment. The submitted site plan for building permit meets this goal by providing contextually compatible design that is pedestrian friendly and appropriate to the plan area (Policies g and l). In addition, the request complies with Policy j by proposing new commercial development in an existing commercially zoned area.

4. The request complies with Goals 6 and 11 of the *North Valley Area Plan* by locating quality commercial/industrial development in already developed/established commercial and industrial zones and areas.
5. There is no known opposition to the subject request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The bicycle rack at the northeast corner of the building shall be relocated to the southeast corner of the building, south of the patio.
3. The north/south walkway located east of the building shall continue to the south property line by connecting the patio area in front of the main entrance with the middle landscaped island located along the southern row of parking. Where the walkway crosses a drive aisle, the walkway shall be of the same brick material used in the other crosswalks on the site.
4. The Master Development Plan requires that all parking lot lighting be a maximum of 30' in height. The applicant must indicate the locations of parking lot lighting on the site plan and must also provide a detail of the lighting that meets the requirements of the Master Development Plan.
5. Landscaping Plan:
  - a. Provide a scale and bar scale, 1"=20'
  - b. The Master Development Plan requires that landscaping exceed the normally required 15% of the net site area. The submittal indicates approximately 13% landscaping. The applicant shall increase the amount of landscaping by either reducing the number of parking spaces on the site and/or by providing shrubs along the eastern boundary of the site, similar to the northern boundary of the site.
  - c. The applicant shall replace the proposed shrubs with shrubs from the Master Plan list to provide continuity.

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- d. The landscape plan shows landscaping within the north/south walkway, in the parking bay and at the northeast corner. Landscaping shall be adjusted in these areas to accommodate a clear 6 foot path. Where the walkway abuts a tree well, the walkway may be reduced to 4'6" in width.
  - e. All tree wells shall be a minimum of 6'x6'.
  - f. The designated landscaping in the patio area shall be deleted from the landscaping plan and shall not count toward the 15% landscape requirement.
11. Elevation Plan:
    - a. Provide a scale and bar scale, 1"=40'
    - b. Indicate colors of the stone, stucco, walls, fences, roofs, gate, and canopy over main entrance.
    - c. In order to meet the "banding" requirement of the Master Plan, the parapet trim band shall be similar in color to the bright primary or secondary colors used in the theatre.
  12. Additional public seating shall be provided in the plaza area in front of the building. This could be accomplished by providing at least two additional 6' benches, or raised planters or by any other means that could accommodate six additional seats.
  13. The Master Development Plan requires that all freestanding signs contain a maximum area of 75 square feet. The proposed freestanding sign must be reduced in size to meet this requirement.
  14. Details of the freestanding sign must be included on the site plan.

**IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY DECEMBER 5, 2003 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.



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YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

  
for Victor J. Chavez  
Planning Director

VJC/CM/ac

cc: Tierra West LLC, 8509 Jefferson NE, Albuquerque, NM 87113