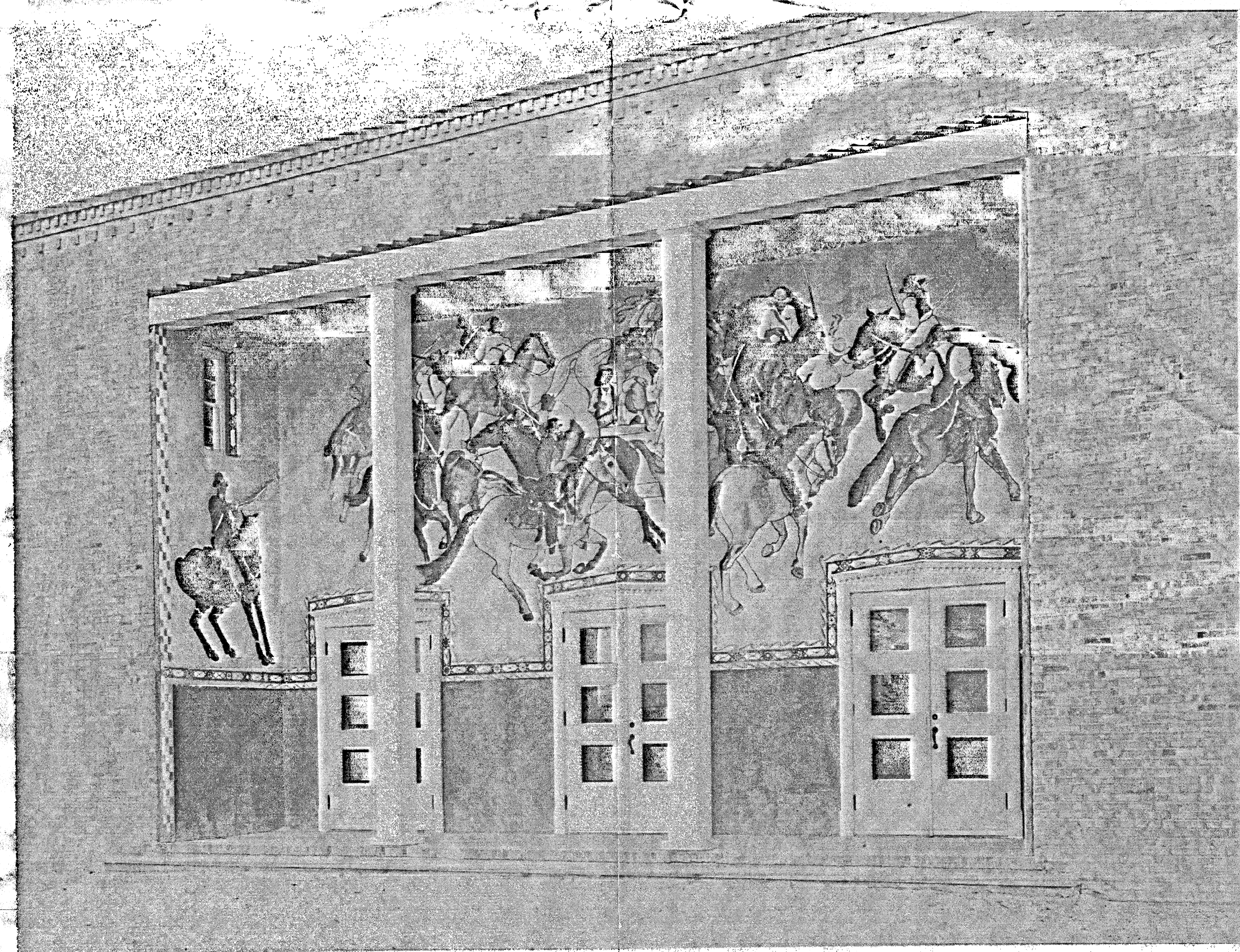


Albuquerque Little Theater Addition



INDEX TO DRAWINGS :

COVER SHEET
A001 SITE DEVELOPMENT PLAN FOR SUB-DIVISION
A002 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
L001 LANDSCAPE PLAN
C1 CONCEPTUAL GRADING, DRAINAGE AND UTILITY PLAN
A501 BUILDING ELEVATIONS

DEVELOPMENT REVIEW BOARD
Site Development Plan For Sub-Division
Site Development Plan For Building Permit

MARCH 9, 2004

Albuquerque
Little Theater

Site Development Plan For Sub-Division
Site Development Plan For Building Permit

MARCH 9, 2004

POS 100 30 10

04DR50034 04DR50036



SECTION 18, TOWNSHIP 10 NORTH, RANGE 9 EAST, N.M.P.M., BERNALILLO COUNTY NEW MEXICO
COMPRISING TRACTS 195-B, 196-A, 196-B, 197 AND 198, M.R.S.G.D. PROPERTY MAP NO. 38,
AND
HUNING CASTLE ADDITION, BLOCK 4, LOTS 5, 6, & 7

TRACT: 196-B (WHICH CONTAINS TRACT 196-B AND LOTS 5,
6, & 7) = 3.4625 ACRES

TRACT: 196-A (WHICH CONSISTS OF TRACTS 195-B, 196-A, 197,
AND 198) = 1.0840 ACRES

TOTAL AREA: 4.5515 ACRES

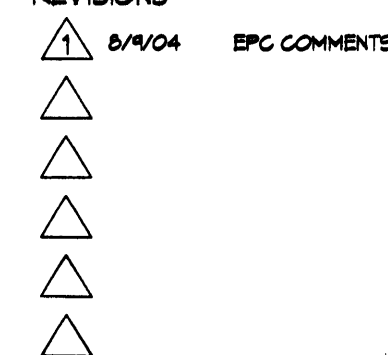
- A. THIS SITE PLAN FOR SUB-DIVISION IS SUBJECT TO THE HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN.
- B. THE PROPOSED SHARED ACCESS EASEMENT IS TO BE EQUALLY SHARED BY THE 1.0890 ACRE PARCEL COMPRISING TRACTS 195-B, 196-A, 197 AND 198 AND THE 3.4625 ACRE PARCEL CONSISTING OF TRACT 136-B.
- C. REFER GRADING, DRAINAGE & UTILITY PLAN FOR UTILITIES.

1. CITY OF ALBUQUERQUE FENCE AND LANDSCAPE EASEMENT
2. PROPOSED SHARED ACCESS EASEMENT.
3. EXISTING DRIVE LOCATION.
4. NEW DRIVE LOCATION.
5. EXISTING BUILDING



Albuquerque Little Theater Addition
Environmental Planning Commission Submittal
224 San Pasquale AV S.W.
Albuquerque, NM

REVISIONS

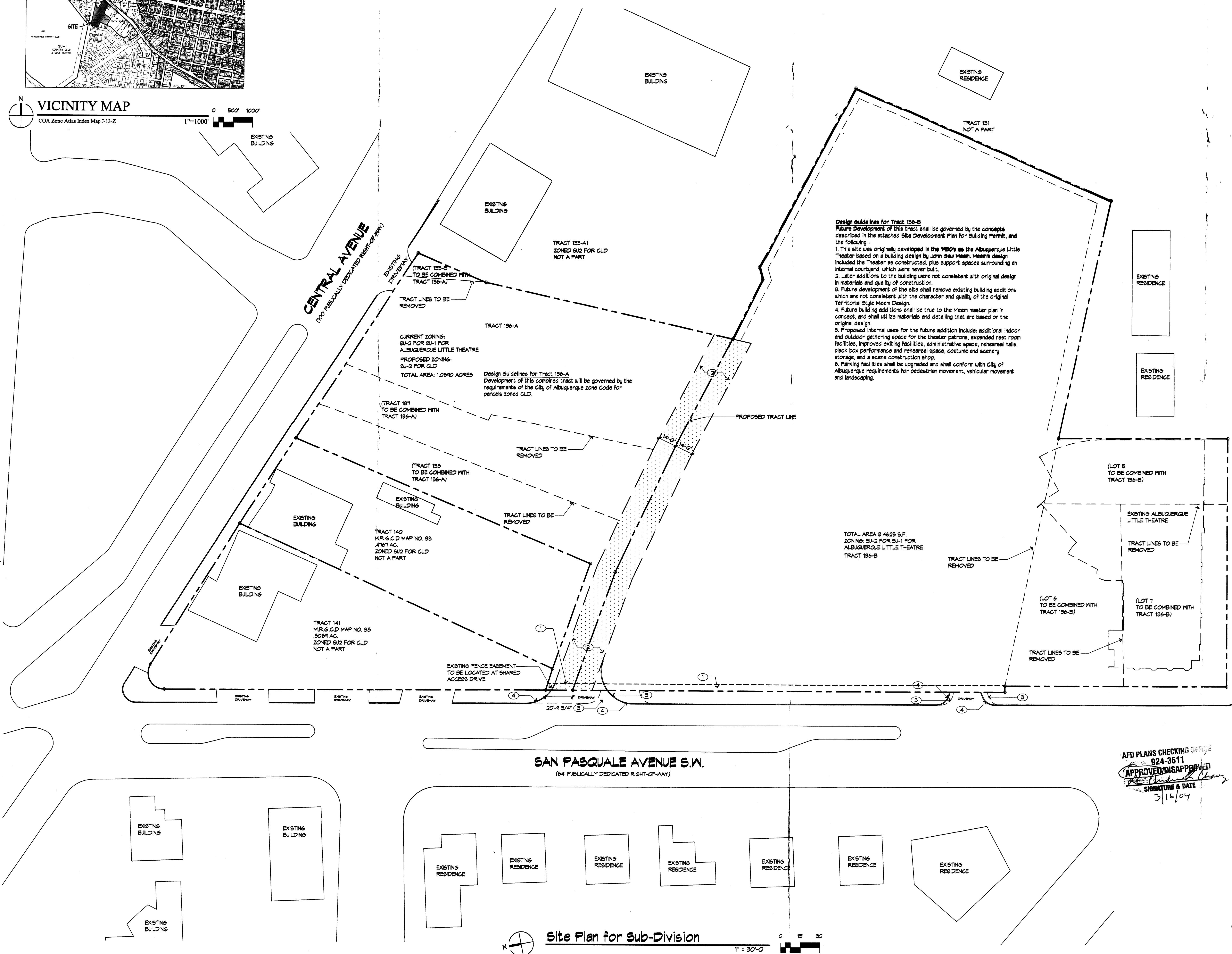


DRAWN BY	DLS
REVIEWED BY	CRG
DATE	10/02/08
PROJECT NO.	02102.002
DRAWING NAME	

**Site Development Plan
for Sub-Division**

SHEET NO.

A001



AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
[Signature]
SIGNATURE & DATE
3/16/04

PROJECT NUMBER: 1003010

APPLICATION NUMBER: 03EPC-01671 EPC Site Development Plan-Subdivision

DRB SITE DEVELOPMENT PLAN APPROVAL:

John S. [Signature] 3-31-04
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

Roger L. Allen 3-31-04
UTILITIES DIVISION DATE

Christina Sandora 3/31/0
PARKS AND RECREATION DEPARTMENT DATE

Bruce A. Biken 3/31/0

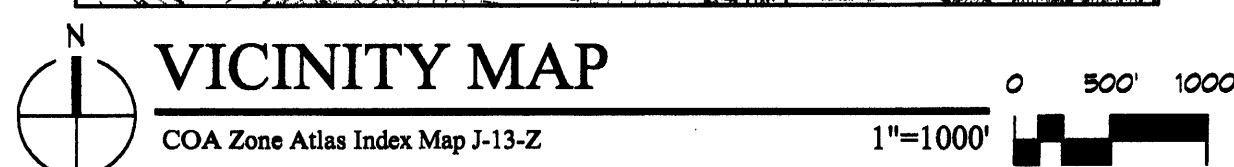
CITY ENGINEER DATE

CITY ENGINEER DATE
Michael Horton 3-16-04
SOLID WASTE MANAGEMENT DATE

SOLID WASTE MANAGEMENT DATE
Sherran Nelson 3/31/0
 FOR CHAIRPERSON, MANAGEMENT DATE

Is an Infrastructure List required? () Yes (X) No If yes, then a set of appropriate data shall be submitted with the application.

DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.



SECTION 19, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., BERNALILLO COUNTY NEW MEXICO
COMPRISING TRACTS 135-B, 136-A, 136-B, 137 AND 138, M.R.G.D PROPERTY MAP NO. 38,
AND
HUNING CASTLE ADDITION, BLOCK 4, LOTS 5, 6, & 7
TRACT : 136-B (WHICH CONSISTS TRACT 136-B AND LOTS 5,
6, & 7) 3.4625 ACRES
TRACT : 136-A (WHICH CONSISTS OF TRACTS 135-B, 136-A, 137,
AND 138) = 1.0290 ACRES
TOTAL AREA : 4.5315 ACRES

EXISTING ALBUQUERQUE LITTLE THEATRE BUILDING:
19,384 S.F. (1ST FLOOR)
3,691 S.F. (2ND FLOOR)
TOTAL EXISTING S.F. = 23,075

PROPOSED ALBUQUERQUE LITTLE THEATRE BUILDING:
1ST FLOOR = 20,944 S.F.
2ND FLOOR = 12,642 S.F.
TOTAL S.F. = 33,636 S.F.

OPEN AIR INTERIOR COURTYARD: 1,942 S.F.
FREE STANDING SITE STORAGE: 1,282 S.F.

VEHICULAR PARKING REQUIRED

EXISTING THEATER (500) SEATS @ 1 PER 4 SEATS = 125 SPACES
BLACK BOX REHEARSAL SPACE (2002 S.F.) @ 1 OCC. PER 15 S.F. = 134 OCC./4 = 34 SPACES
OFFICE SPACE (2,244 S.F.) @ 1 PER 200 S.F. = 11 SPACES
STAFF AND VOLUNTEER SPACES = 30 SPACES

TOTAL REQUIRED SPACES = 200 SPACES

VEHICULAR PARKING PROVIDED
TOTAL SPACES PROVIDED: 231

- A. Streets, Parking spaces and Associated Drives to be Asphalt Unless Noted Otherwise.
- B. Sidewalks to be Standard Gray Scored Concrete Unless Noted Otherwise.
- C. Refer to L001 for all Landscape and Planting Information.
- D. Demolition of existing structures will not occur until funds for new construction are available
- E. Pavement widths are as follows: Central Ave: 66'-0", San Pasquale: 64'-0", Chacoma Place: 32'-0".

4. GOA - FENCE AND LANDSCAPE PARASIT.
5. SHARED ACCESS LANE/STREET.
6. EXISTING BRICK GOLF COURSE LIGHT FIXTURE. LIGHT FIXTURE TO BE FULLY CUTOFF AND SHALL NOT SHINE DIRECTLY ON ANY PUBLIC RIGHT-OF-WAY OR RESIDENTIAL PROPERTY.
7. (1) LIGHT, UNLESS NOTED OTHERWISE.
8. CONC. 18
9. DROP OFF LAKE.
10. LANDSCAPE AREA (REF. L001)
11. ASPHALT PAVING WITH STRIPING.
12. RE-ALIGNED DRIVEWAY DRIVE LOCATION.
13. EXISTING BRICK GOLF COURSE AND METAL FENCE TO REMAIN.
14. SERVICE YARD WITH GATE.
15. EMPLOYED STORAGE WITH OVERHEAD DOORS.
16. OPEN AIR COURTYARD.
17. DUMPSTERS (REF. DETAIL 06/A800) SEE PLAN FOR DIMENSIONS
18. ENTRY PLAZA
19. NEW 6" O.D. CONCRETE PILE (BUEDE) STILTS TO MATCH NEW ADDITION.
20. OUTLINE OF EXISTING BUILDING TO BE REMOVED.
21. ACCESSIBLE RAMP
22. 6 CURBS TYPICAL
23. JADE CURBS
24. BICYCLE PARKING LOCATION
25. LIGHT LOT/METAL LIGHT TANK (BUEDE) STILTS WITH BRICK GOLFING TO MATCH EXISTING.
26. LANDSCAPE SEQUENCE
27. CONC. 14



801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
Fax 761-4222
ps@dpsabq.com

ARCHITECT

ENGINEER

PROJECT

**Albuquerque Little Theater Addition
Environmental Planning Commission Submittal**
224 San Pasquale AV S.W.
Albuquerque, NM

REVISIONS

8/8/04 EPC CONDITIONS

$$\frac{1}{2} \begin{pmatrix} 1 & 1 \\ 1 & -1 \end{pmatrix}$$
 Δ 

DRAWN BY DLS

REVIEWED BY CRG

DATE 10/02/03

PROJECT NO. 02102.002

DRAWING NAME

Site Development Pl

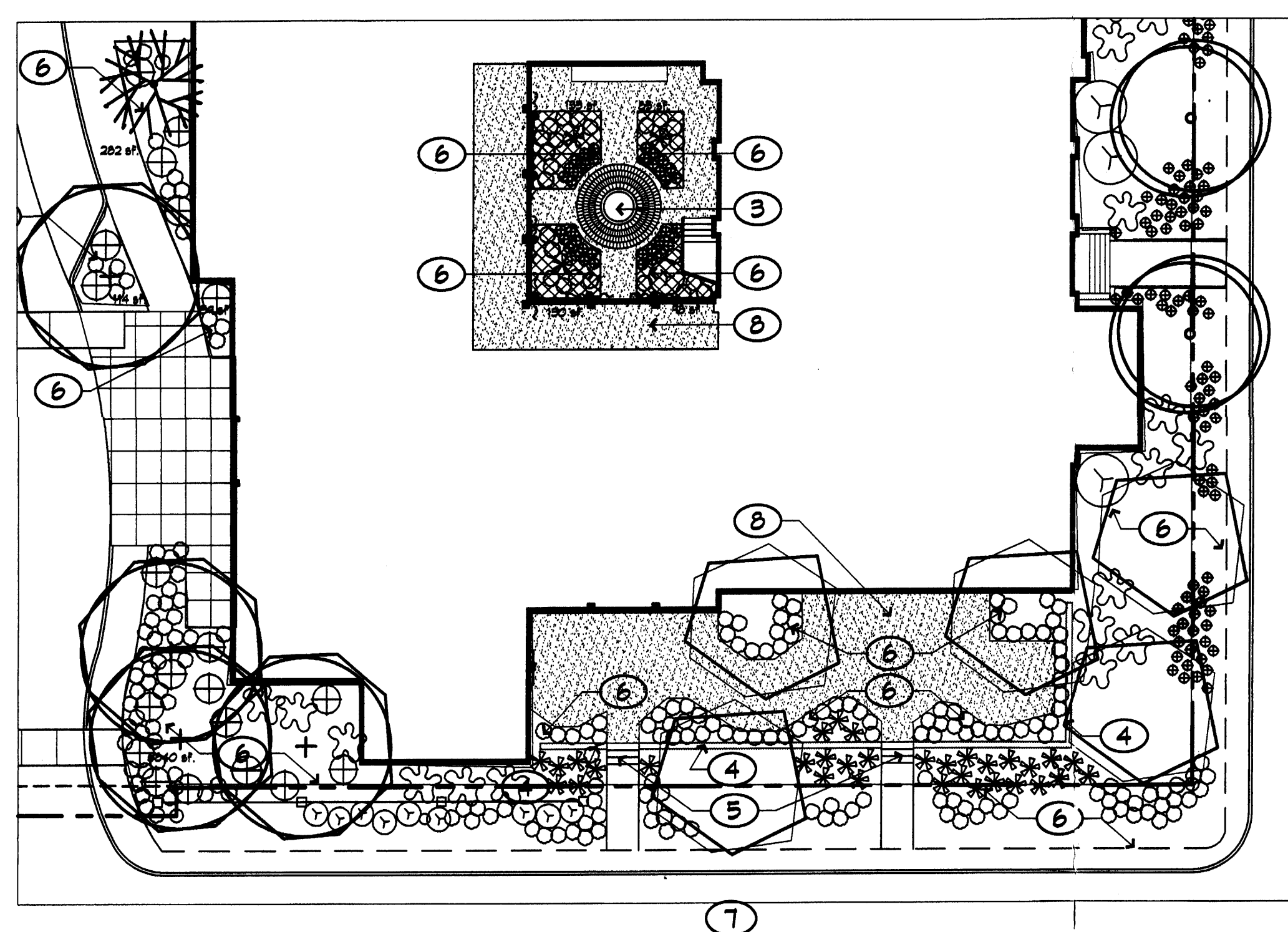
Site Development Plan for Building Permit

of Dams and Levees

SHEET NO. _____

A002

OF



Landscape Notes

1. Design: The planting design accentuates the site plan's entry and arrival sequence and re-creates the calm, graciousness of some of the Valley's historic large residential landscapes. Tall cottonwood trees and native grasses, which are used to define the entry plaza and the main vehicular circulation corridor, complement the style and scale of the theater complex. The addition of trees, low water-use shrubs and perennials provides additional seasonal color, texture and fragrance without compromising the integrity and strength of the tall trees/grass installation. Succulents placed in strategic locations reinforce the landscape's sense of place and strengthen the project's relationship to Old Town, where succulents are frequently used to reinforce Albuquerque's regional and historic identity.

2. Planting and Irrigation design and installation shall comply with the intent of the City of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance. Landscape beds shall achieve minimum 75% live vegetative coverage upon plant maturity. Noted plant quantities are approximate and reflect the estimated number of plants necessary to achieve the design intent and the required coverage at plant maturity.

3. Planting and Irrigation installation details shall meet City of Albuquerque requirements.

4. Planting and Irrigation maintenance shall be the responsibility of the Property Owner.

5. Controller: The Irrigation system shall be run with a fully automated irrigation controller. The run time for the various zones shall be approximately 45 minutes for the drip zones and 20 minutes for the spray zones. Run time will be adjusted according to season, location, and plant performance. Drip emitters shall be used for all plant material except perhaps for ground cover areas in the inner courtyard. This area may be irrigated with spray emitters appropriately designed to avoid overspray onto impermeable surfaces and adjacent paving.

6. Point of Connection: An existing connection to City water for irrigation purposes exists on the SW corner of the property. The COA currently uses this connection for streetscape landscaping along San Pasquale. The Owner will coordinate with COA representatives on the potential use of this same connection for on-site irrigation.

7. Mulch: All planting beds shall be covered with mulch. Gravel, bark and/or peat shall mulches will be used appropriately to add visual interest and protect soil moisture.

8. Water Harvesting: Storm water harvesting will occur in on-site landscape planters. Water will be channeled through landscape areas to provide supplemental moisture to plant materials and slow water movement to the storm drain facilities located in the street.

9. Cottonwood Trees: Root barrier will be used around the edges of the parking medians where cottonwood trees are to be installed. This chemically treated edging will repel surface roots and encourage deep rooting of these trees.

Keyed Notes

1. SHARED ACCESS EASEMENT.
2. SERVICE YARD WITH GATE.
3. FOUNTAIN.
4. LOW GARDEN MALL.
5. STAIRS.
6. LANDSCAPE AREA.
7. LANDSCAPE AREA/WATER HARVESTING ZONE.
8. DECORATIVE PAVING.
9. 10' x 10' LANDSCAPE SETBACK.

Landscape Calculations

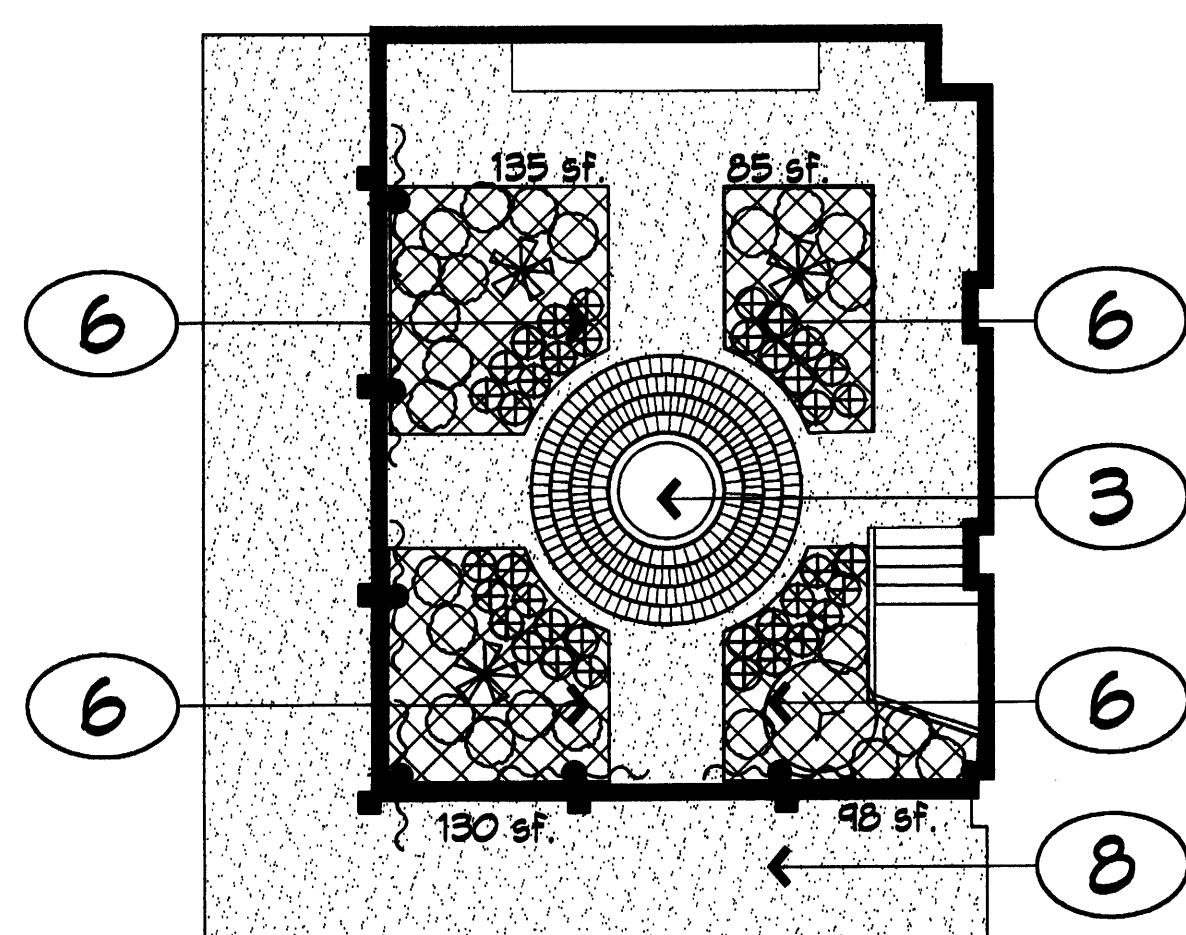
Total Area: 150,826.5 SF
Building Area: 41,610 SF
Net Area: 109,216.5 SF
Required Landscape Area (15% of Net Area): 16,382.5 SF
Allowable High Water Use Turf (20% of Landscape Area): 3,276.5 SF
Provided Landscape Area: 22,920 SF
Provided High Water Use Turf Area: 0 SF

Plant Schedule

sym.	approx. qty.	Botanical name/ COMMON NAME	condition	mature size (HxW)/ water use
+	26	TREES Populus alba/WHITE VALLEY COTTONWOOD	2' Cal./B&B	50'x30'/ High
o	4	Robbie pseudocarya 'Purple Rope'/PURPLE ROPE LOCUST OR Cercia reniformis/ OKLAHOMA REDBUD	2' Cal./B&B Multi-trunked	55'x25'/ Medium
+	25	Chilopsis linearis/ DESERT MELLOW OR Vitex agnus-castus/ CHASTE TREE	36" Box/ Multi-trunked	25'x30'/ Low
Y	5	SHRUBS Buddleia davidii var. 'Nanho Purple'/NANHO PURPLE BUTTERFLY BUSH	5 gal. Cont.	5'x4'/ Medium
Y	20	Fallugia paradoxa/ APACHE PLUME OR Rosmarinus officinalis sp./ UPRIGHT ROSEMARY	1 gal. Cont.	6'x6'/ Low
Y	141	Ericameria laricina/ TURPENTINE BUSH	5 gal. Cont.	5'x6'/ Low
*	50	ACCENTS Hesperaloe parviflora/ RED HESPERALOE	5 gal. Cont.	4' x 4'/ Low
*	22	Opuntia engelmannii/ DESERT PRICKLY PEAR OR Opuntia linguiformis/ GOATS TONGUE PRICKLY PEAR	5 gal. Cont.	4'x6'/ Low
+	10 / 50	GRASSES Nolina microcarpa/ SEAGRASS	15 gal. / 5 gal. Cont.	4'x5'/ Low
o	156	Festuca idahoensis 'Stinkyou Blue'/STINKYOU BLUE FESCUE OR Stipa tenuissima/ THREADGRASS	1 gal. Cont.	18'x15'/ Medium
Y	6	VINES/IVY Campsis radicans/ ORANGE TRUMPET VINE OR Parthenocissus tricuspidata/ BOSTON IVY OR Hysteria sinensis/ CHINESE MYSTERY	5 gal. Cont. 5 gal. Cont. 5 gal. Cont.	Vine/ Medium Vine/ Medium Vine/ Medium
o	85	PERENNIALS/GROUND COVERS Agastache sp./ KLEP HYSSOP OR Saura lindheimeri/ SAURA	1 gal. Cont. 1 gal. Cont.	30'x18'/ Medium 5'x5'/ Medium
+	45	Artemisia ludoviciana/ PRAIRIE BASE OR Artemisia x 'Poult Castle'/ POWERS CASTLE B&B	1 gal. Cont. 1 gal. Cont.	18'x15'/ Low 2'x3'/ Low
+	60	Hymenocallis aculeata/ ANGELITA DAISY OR Oenothera caespitosa/ WHITE EVENING PRIMROSE	1 gal. Cont. 1 gal. Cont.	1'x1'/ Low 1'x18'/ Low
+	105	Levander angustifolia 'Hidcote Superior'/H. S. LAVENDER OR Teucrium chamaedrys/ TRAILING GERMANDER	1 gal. Cont. 1 gal. Cont.	2'x3'/ Medium 18'x30'/ Medium
+	150	Thymus sp./ THYME OR Veronica sp./ VERONICA	4" Pots 4" Pots	6'x2'/ Medium 6'x2'/ Medium

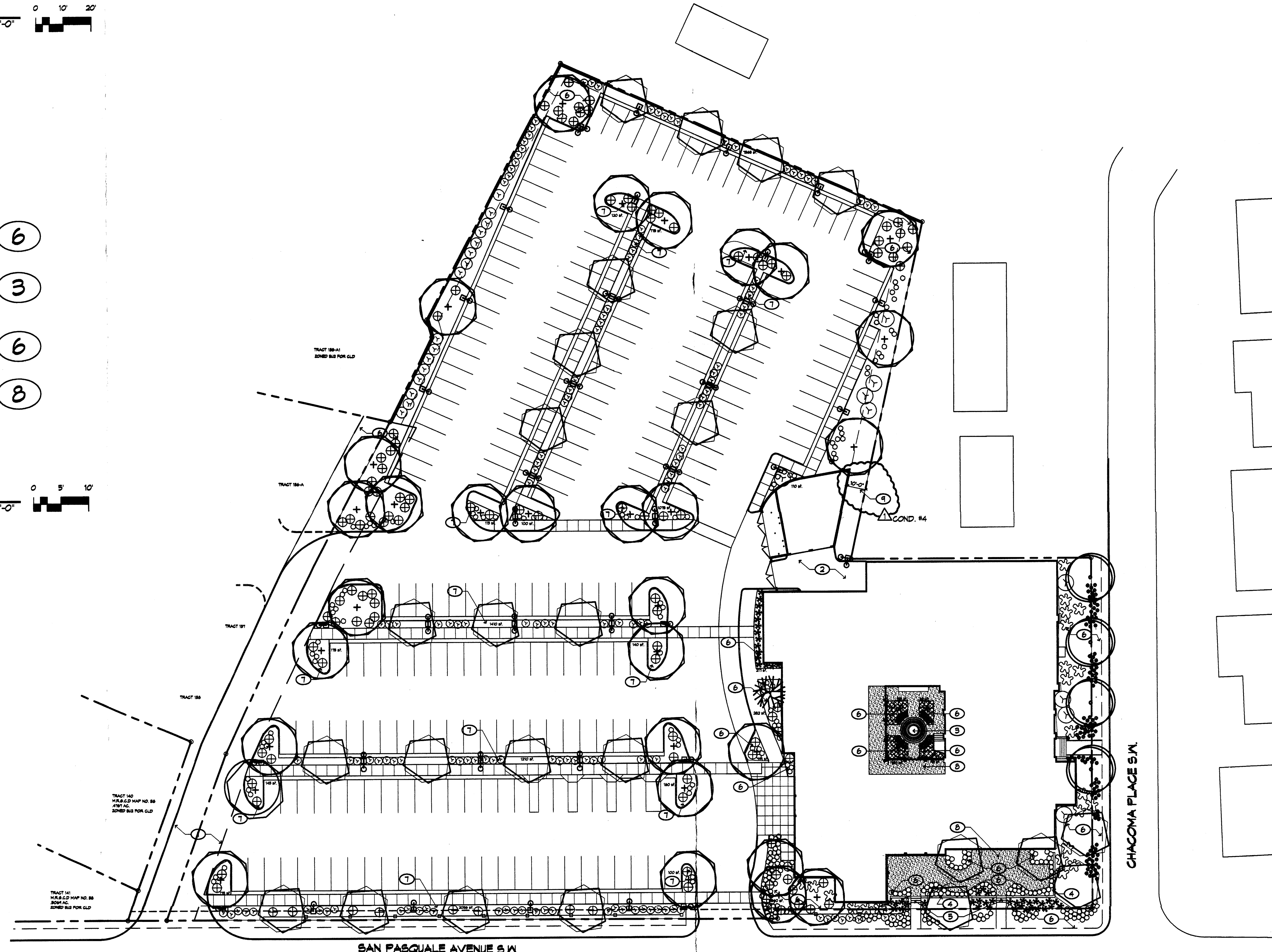
West Side Enlargement

1" = 20'-0"



Courtyard Enlargement

1" = 10'-0"



Site Plan for Building Permit

1" = 30'-0"

SITE: 4.5 ACRES

ADDRESS: 224 SAN PASQUALE AVE. SW

EXISTING CONDITIONS: THE SITE IS CURRENTLY DEVELOPED WITH A 500-SEAT THEATRE. THE BALANCE OF THE SITE IS AN ASPHALT-PAVED PARKING LOT AND LANDSCAPED AREAS. SITE RUNOFF DISCHARGES FREELY TO SAN PASQUALE SW. ZONE: 2 LAND TREATMENT: 3% B, 4% C, AND 93% D
 $Q_{100} = (4.56 \text{ CFS/AC})(4.5 \text{ ACRES}) = 20.5 \text{ CFS}$

PROPOSED CONDITIONS: THE PROPOSED ADDITION ENLARGES THE BUILDING TO THE NORTH AND BETTER DEFINES THE PARKING AREA. LANDSCAPING IS PROPOSED WHICH WILL NOT INCREASE SITE RUNOFF FROM THE HISTORIC RATE. LAND TREATMENT: 3% B, 5% C, AND 92% D
 $Q_{100} = (4.55 \text{ CFS/AC})(4.5 \text{ ACRES}) = 20.5 \text{ CFS}$

SITE UTILITIES: CITY WATER AND SEWER SERVICE IS PROVIDED BY FACILITIES IN SAN PASQUALE & CHACOMA WHICH ABUT THE SITE. ADDITIONAL FIRE PROTECTION WILL BE REQUIRED TO PROTECT THE ADDITION.

LEGEND

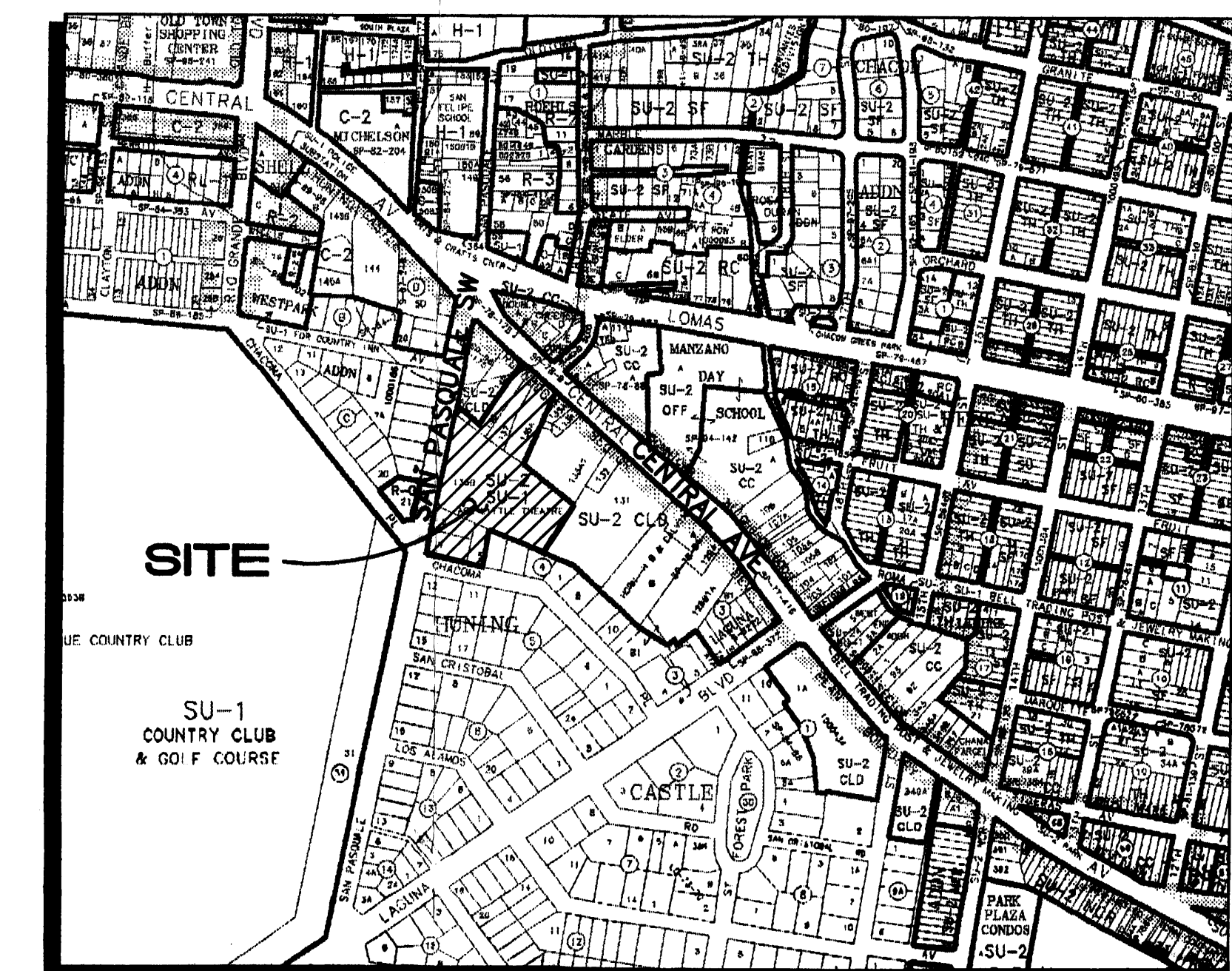
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- TOP OF CURB FLOWLINE ELEVATION
- FLOW ARROW

49.5

x 51.0

TC 81.9

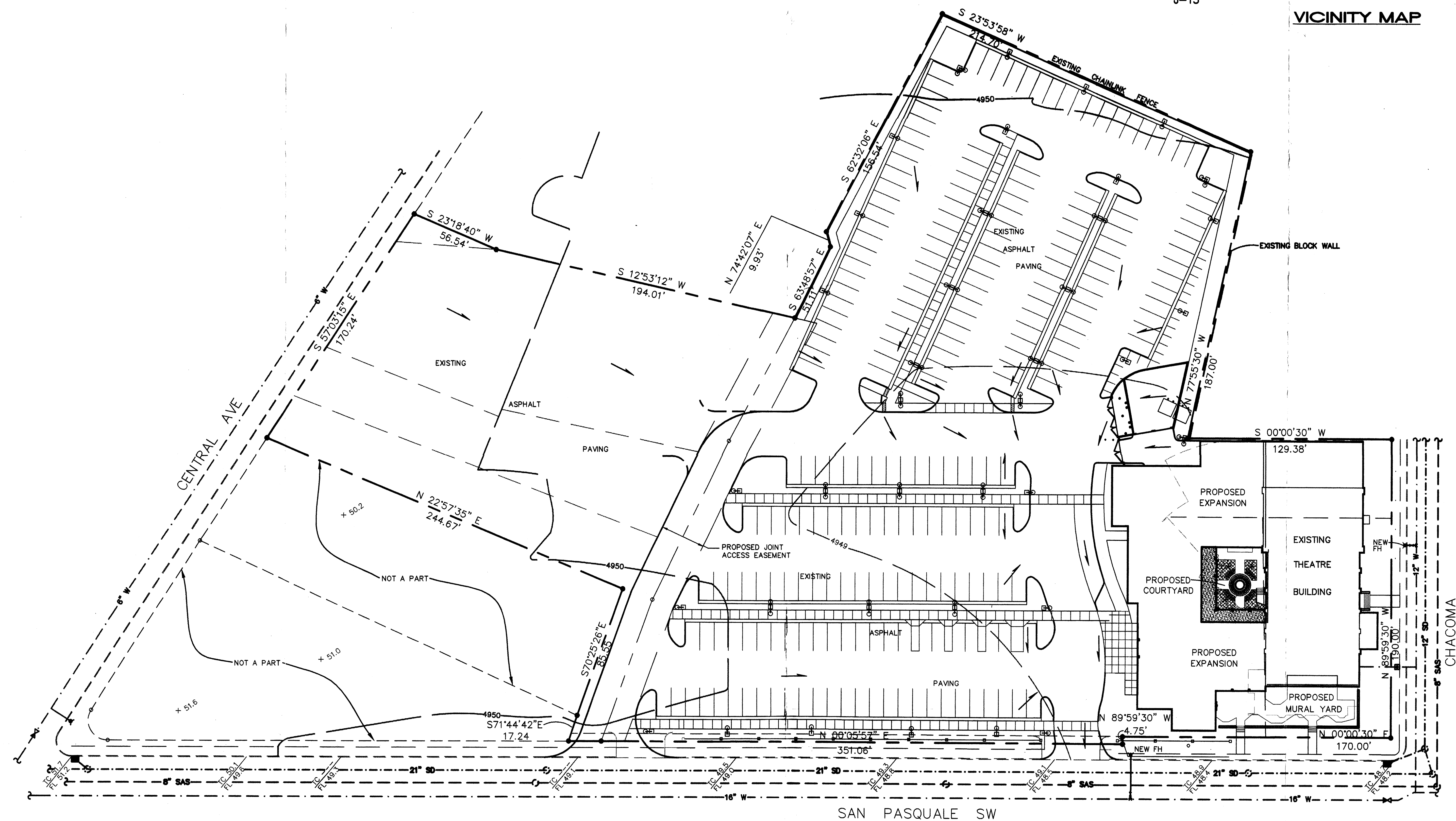
FL 81.4



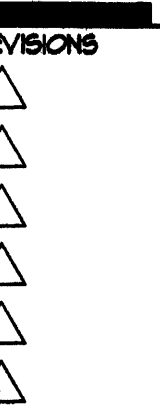
J-13

VICINITY MAP

1"=750'±



ALBUQUERQUE LITTLE THEATRE EXPANSION 224 San Pasquale Ave. SW. Albuquerque, New Mexico



DRAWN BY: RPH
 REVIEWED BY: PCA
 DATE: 02/28/05
 PROJECT NO.: 02081
 DRAWING NAME:

CONCEPTUAL
 GRADING,
 DRAINAGE,
 & UTILITY PLAN

SHEET NO.

C1

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 188 Monroe Street N.E.
 Albuquerque, New Mexico
 1237EXH1.DWG/Thor 02/19/04

architecture
 interiors
 planning
 engineering

Dekker
 Perich
 Sabatini

6801 Jefferson NE
 Suite 100
 Albuquerque, NM 87109
 505 761-9700
 fax 761-4222
 dpa@dpasbq.com

ARCHITECT

ENGINEER



PROJECT

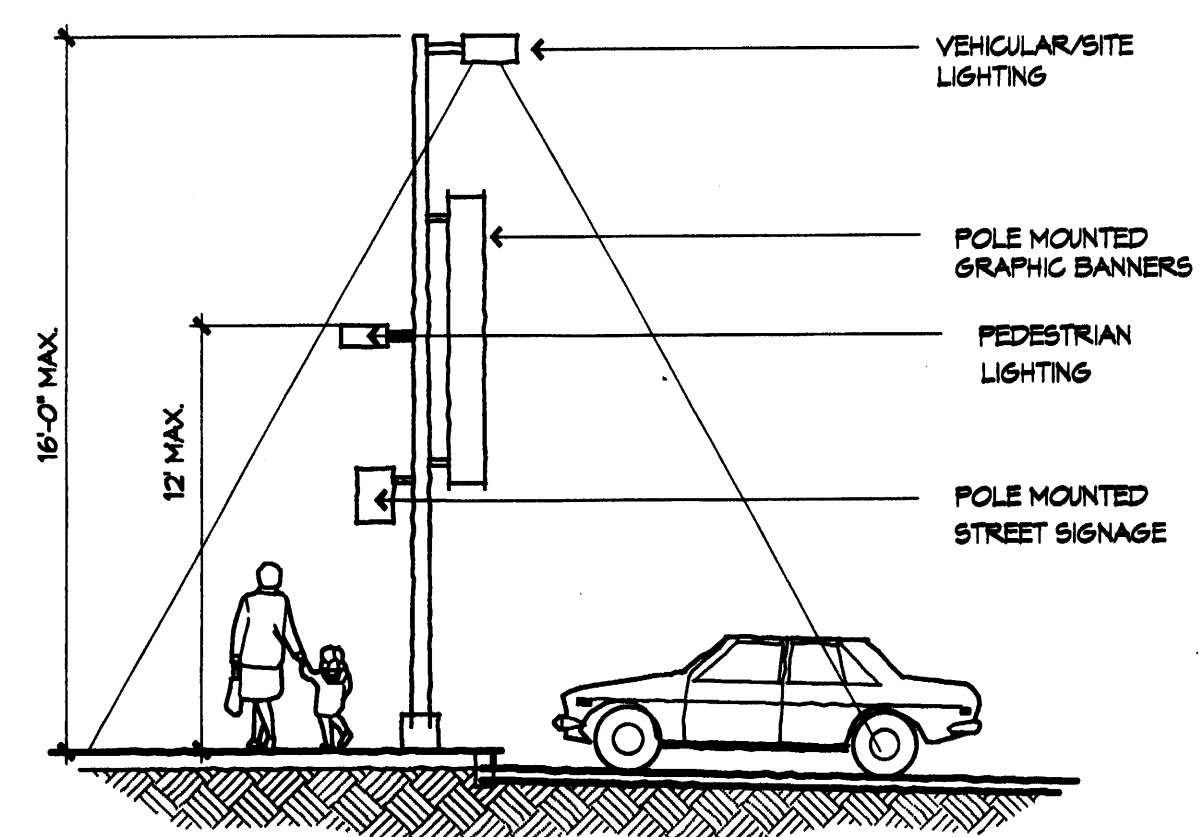
General Notes:

- NEW ADDITION TO BE LIGHT TAN STUCCO (SHADE) THROUGHOUT, BRICK COPING TO MATCH EXISTING, ALL WINDOWS AND TRIM TO BE WHITE.

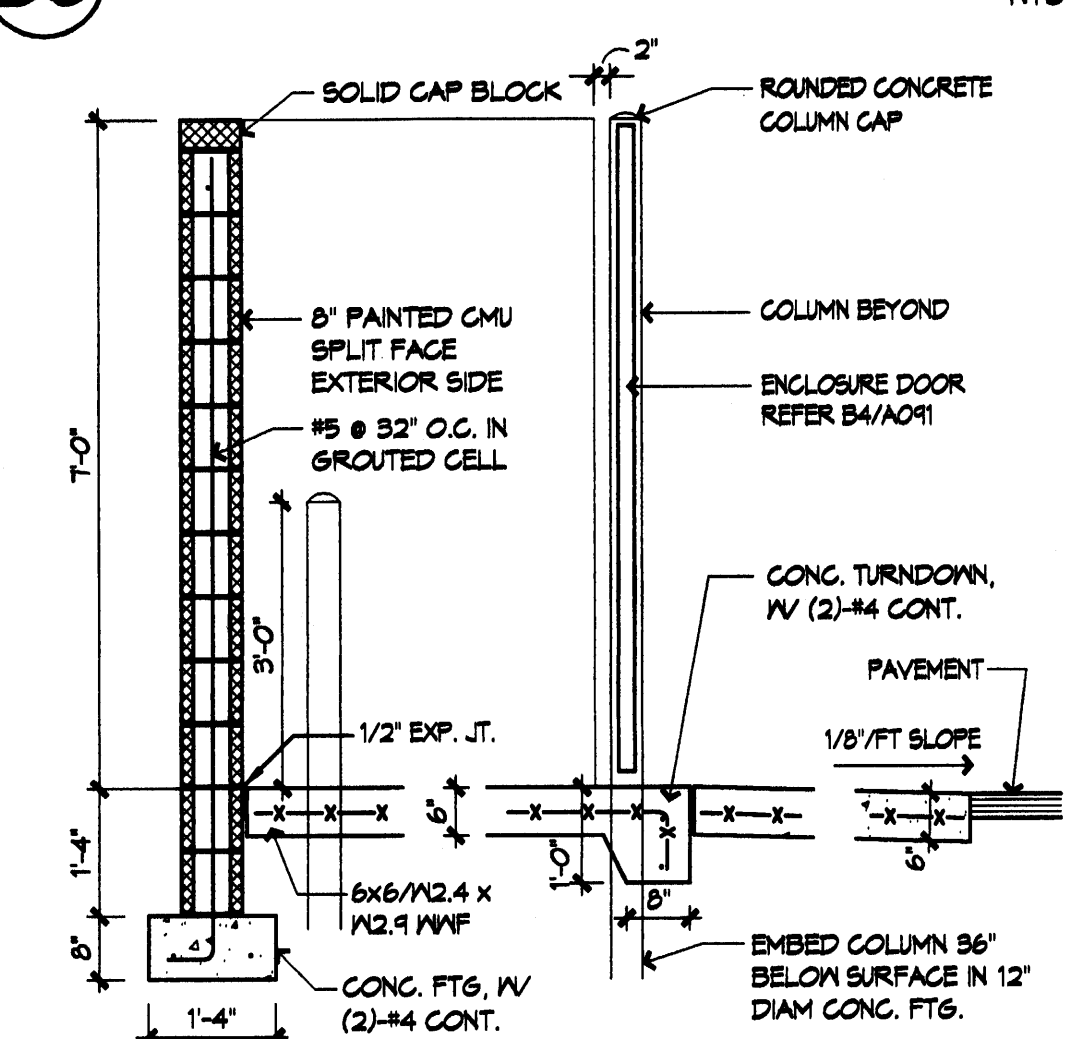
Keyed Notes

- EXISTING BRICK FACADE AT ORIGINAL THEATER.
- EXISTING PAINTED WOOD TRIM AT ORIGINAL THEATER.
- EXISTING BRICK COPING AT ORIGINAL THEATER.
- ORIGINAL PAINTED MURAL TO BE RESTORED.
- HISTORICALLY ACCURATE WINDOWS AND DOORS WITH PAINTED WOOD TRIM.
- NEW STUCCO EXTERIOR FINISH AT NEW ADDITION.
- NEW COLOR COAT ON EXISTING STUCCO.
- NEW BRICK COPING TO MATCH EXISTING PATTERN AND COLOR, TYP.

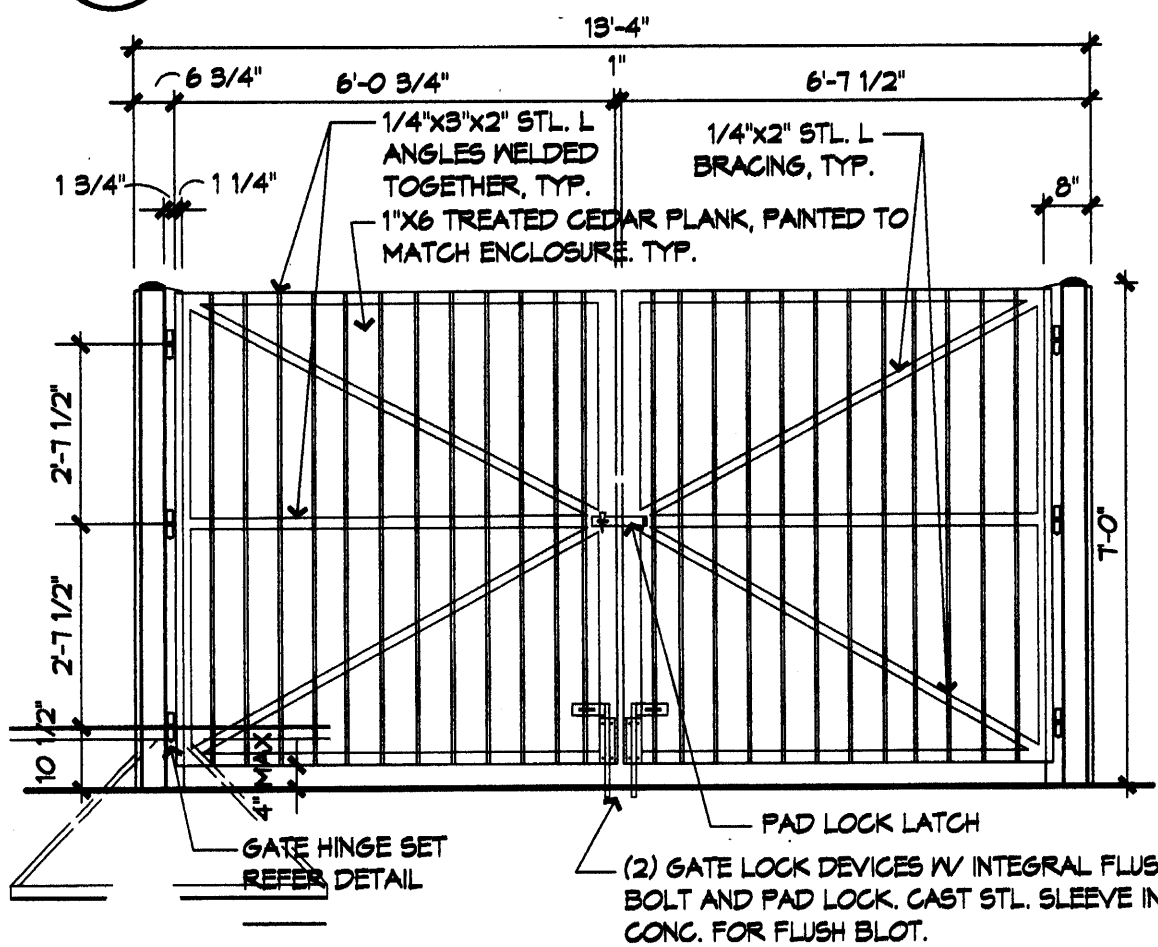
LIGHT FIXTURES SHALL BE FULL CUT-OFF DESIGN AND SHALL NOT DIRECTLY SHINE ON ANY PUBLIC ROOM OR ANY OTHER RESIDENTIAL PROPERTIES



B6 LIGHTING DETAIL

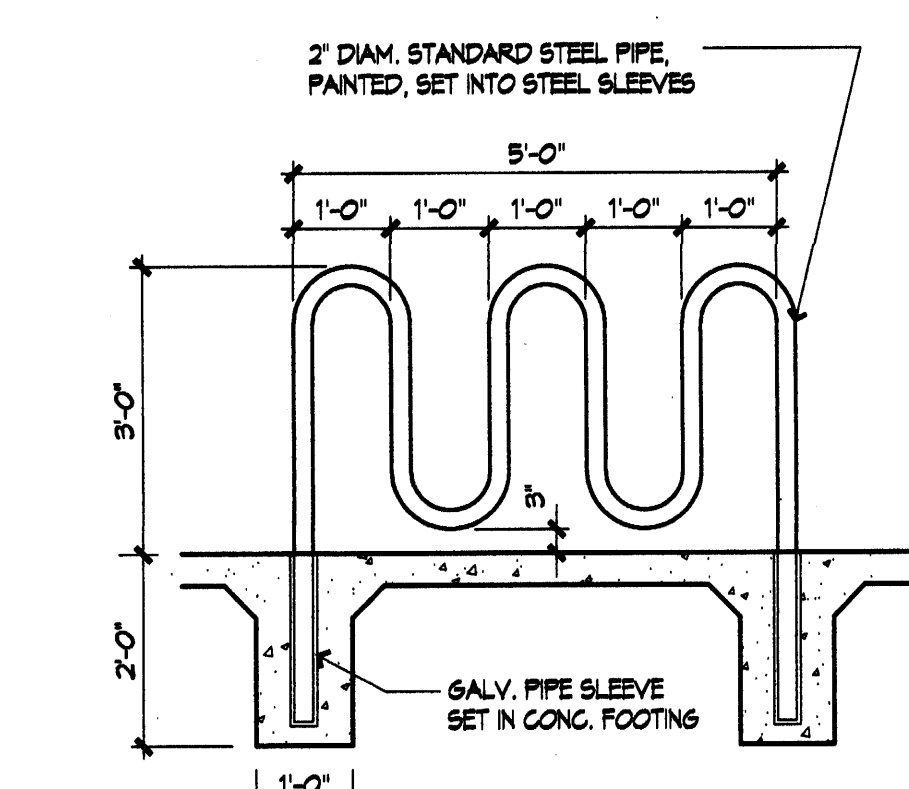


C6 SECTION DETAIL AT DUMPSTER



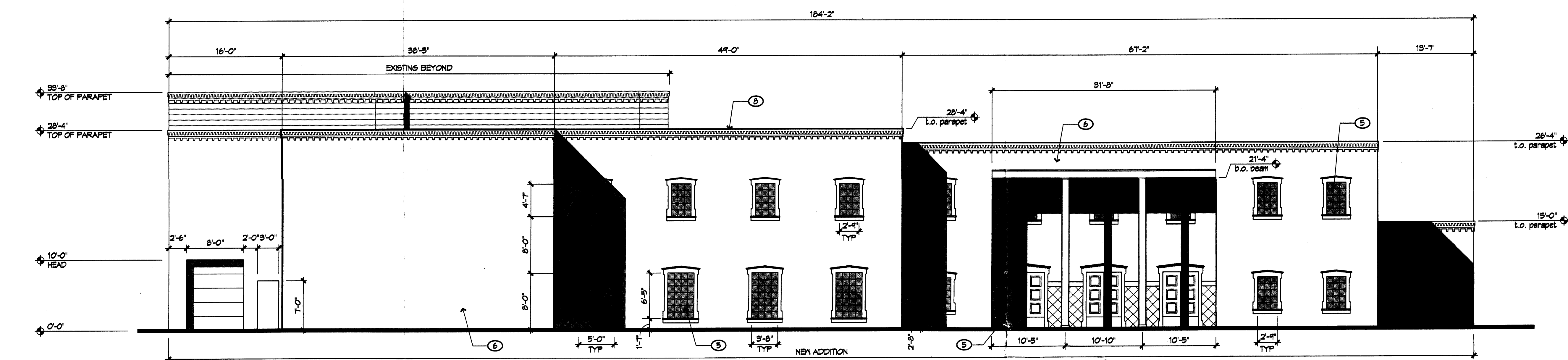
D6 GATE ELEVATION

THIS DETAIL MEETS THE CITY OF ALBUQUERQUE REQUIREMENTS. 3/8\"/>



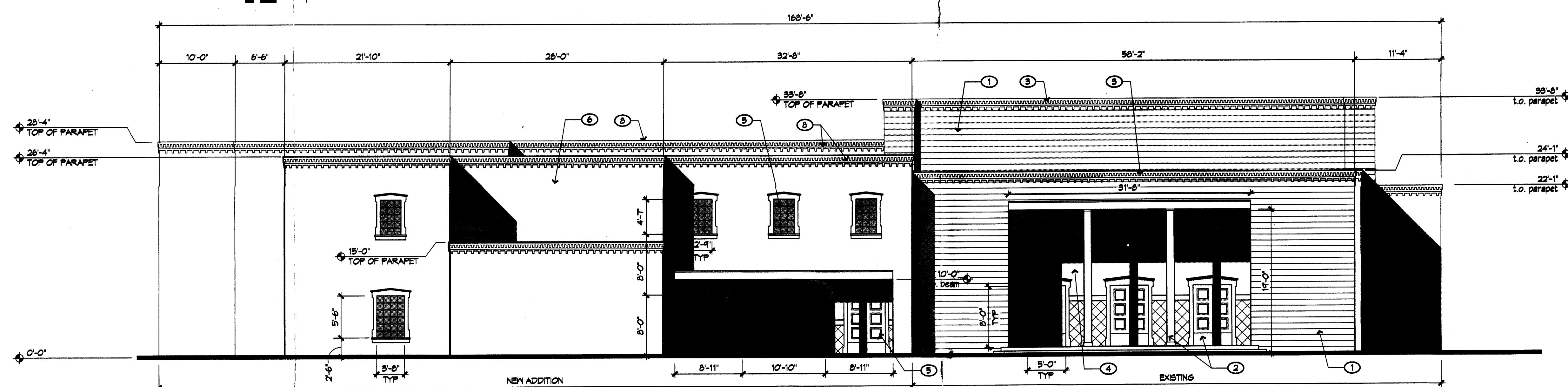
E6 SECTION DETAIL AT BIKE RACK

1/2\"/>



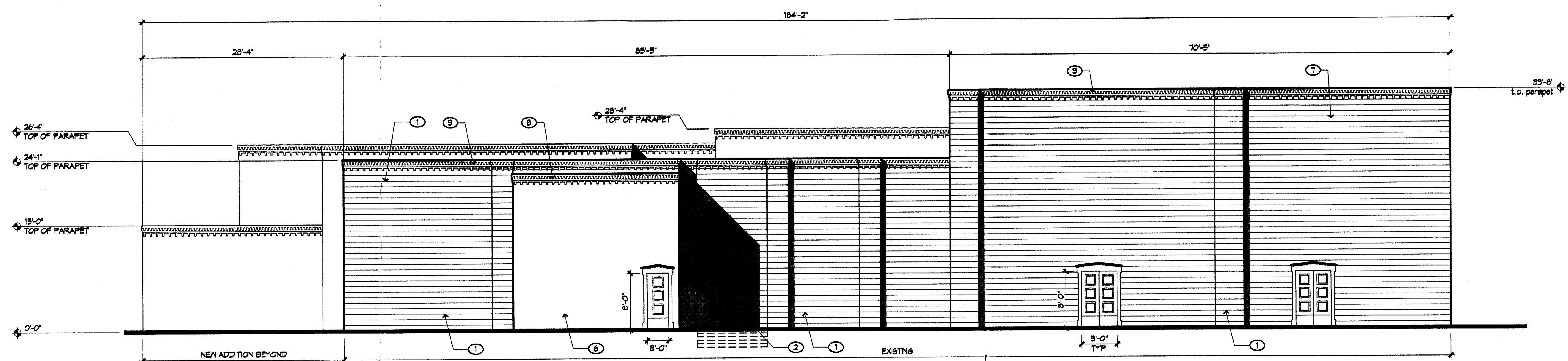
A1 North Elevation

1/8\"/>



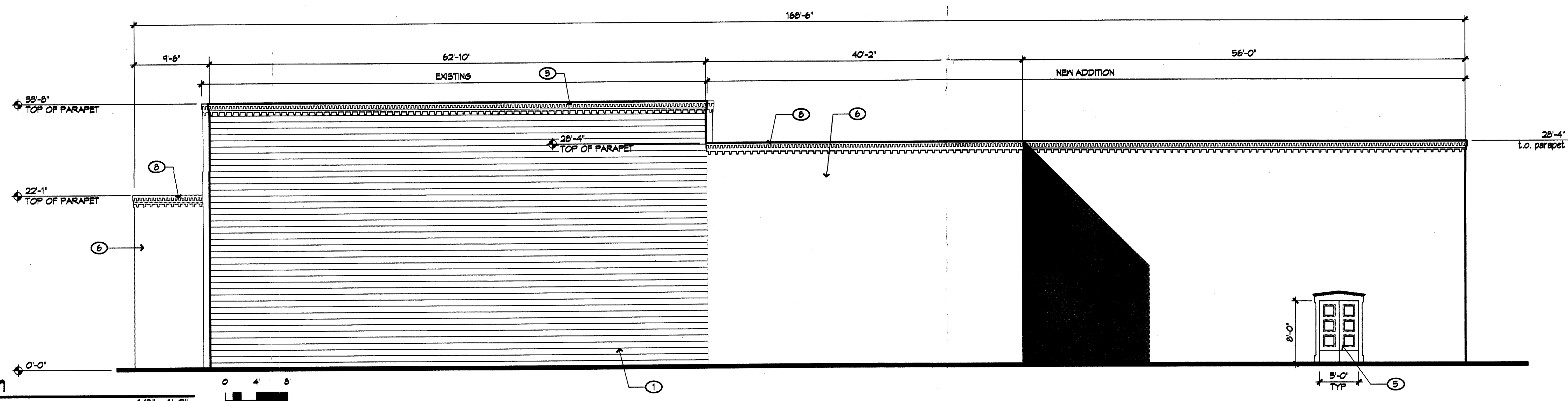
B1 West Elevation

1/8\"/>



C1 South Elevation

1/8\"/>

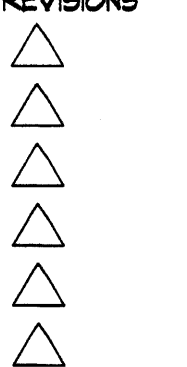


D1 East Elevation

1/8\"/>

Albuquerque Little Theater Addition
Environmental Planning Commission Submittal
224 San Pasquale Av., SW
Albuquerque, NM

REVISIONS



DRAWN BY
REVIEWED BY
DATE
PROJECT NO.
DRAWING NAME

CR6
10/02/05
02102.002
Building Elevations

SHEET NO.

A301
OF