

Albuquerque Little Theater Addition



DEVELOPMENT REVIEW BOARD
Site Development Plan For Sub-Division
Site Development Plan For Building Permit
MARCH 9, 2004

INDEX TO DRAWINGS :

	COVER SHEET
A001	SITE DEVELOPMENT PLAN FOR SUB-DIVISION
A002	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
L001	LANDSCAPE PLAN
C1	CONCEPTUAL GRADING, DRAINAGE AND UTILITY PLAN
A001	BUILDING ELEVATIONS

Albuquerque
Little Theater

Site Development Plan For Sub-Division
Site Development Plan For Building Permit
MARCH 9, 2004

PROJ 100 3010

04DR806368



VICINITY MAP
COA Zone Atlas Index Map 3-13-Z
1"=1000'

Site Data

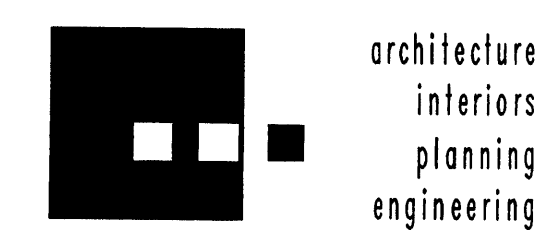
SECTION 19, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., BERNALILLO COUNTY NEW MEXICO
COMPRISING TRACTS 135-B, 136-A, 136-B, 137 AND 138, M.R.G.C.D. PROPERTY MAP NO. 38,
AND
HUNING CASTLE ADDITION, BLOCK 4, LOTS 5, 6, & 7
TRACT : 136-B (WHICH CONTAINS TRACT 136-B AND LOTS 5,
6, & 7) 3.4625 ACRES
TRACT : 136-A (WHICH CONSISTS OF TRACTS 135-B, 136-A, 137,
AND 138) 1.0290 ACRES
TOTAL AREA : 4.5515 ACRES

General Notes

- THIS SITE PLAN FOR SUB-DIVISION IS SUBJECT TO THE HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN.
- THE PROPOSED SHARED ACCESS EASEMENT IS TO BE EQUALLY SHARED BY THE 1.0290 ACRE PARCEL COMPRISING TRACTS 135-B, 136-A, 137 AND 138 AND THE 3.4625 ACRE PARCEL CONSISTING OF TRACT 136-B.
- REFER GRADING, DRAINAGE & UTILITY PLAN FOR UTILITIES.

Keyed Notes

- CITY OF ALBUQUERQUE FENCE AND LANDSCAPE EASEMENT.
- PROPOSED SHARED ACCESS EASEMENT.
- EXISTING DRIVE LOCATION.
- NEW DRIVE LOCATION.
- EXISTING BUILDING.



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fax 761-4222
dps@dpsabq.com

ARCHITECT

ENGINEER

PROJECT

Albuquerque Little Theater Addition
Environmental Planning Commission Submittal
224 San Pasquale AV S.W.
Albuquerque, NM

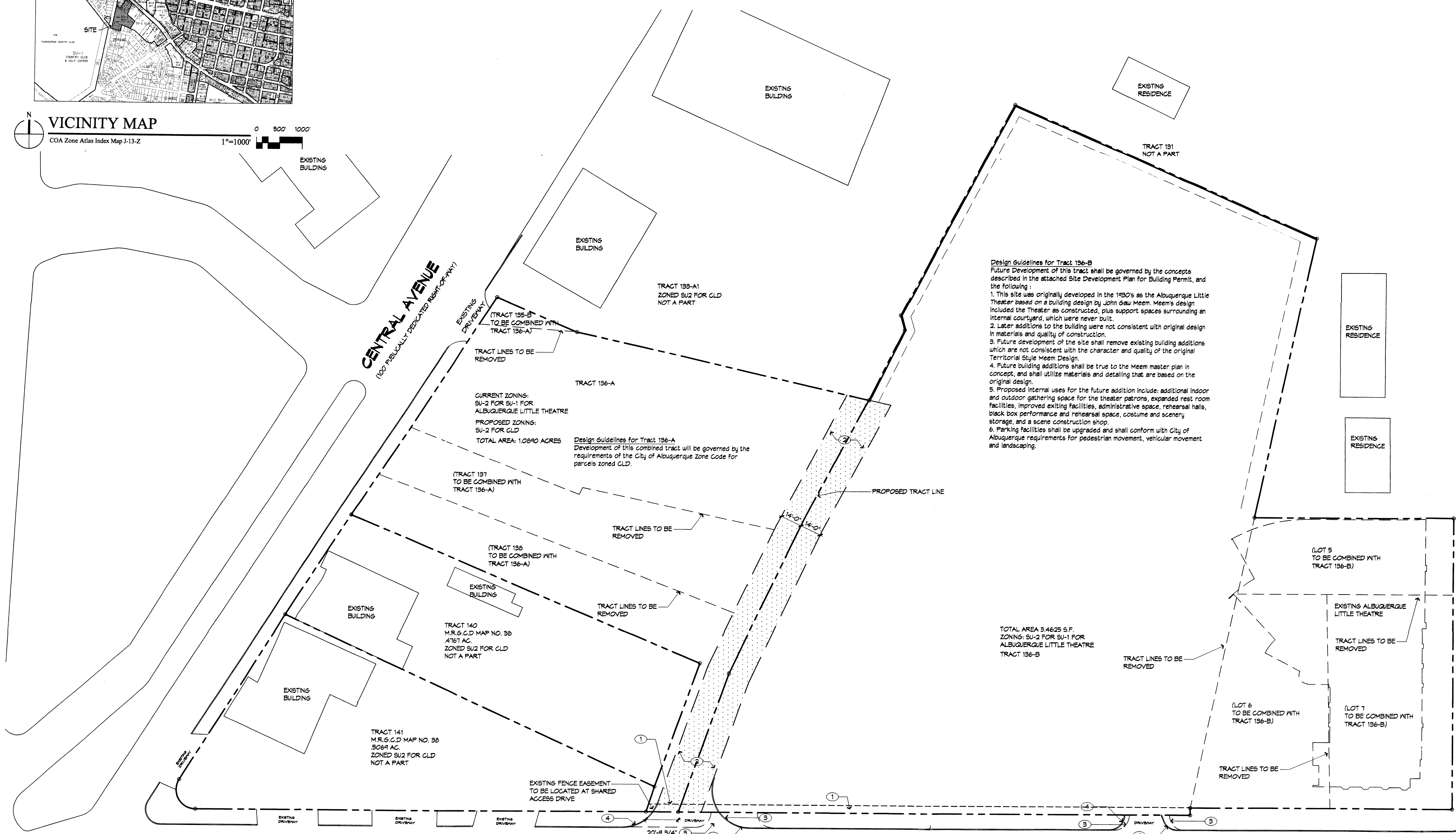
REVISIONS

△ 8/4/04 EPC COMMENTS
△
△
△
△
△

DRAWN BY DLS
REVIEWED BY CRG
DATE 10/02/08
PROJECT NO. 02102.002
DRAWING NAME
Site Development Plan
for Sub-Division

SHEET NO.

A001
OF



SAN PASQUALE AVENUE S.W.
(64' PUBLICLY DEDICATED RIGHT-OF-WAY)

Site Plan for Sub-Division

1"=30'-0"

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/NOT APPROVED
Signature & Date
3/16/04

PROJECT NUMBER: 1003010

APPLICATION NUMBER: 03EPC-01671 EPC Site Development Plan-Subdivision
DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE 3-31-04
UTILITIES DIVISION	DATE 3/31/04
PARKS AND RECREATION DEPARTMENT	DATE 3/31/04
CITY ENGINEER	DATE 3-16-04
SOLID WASTE MANAGEMENT	DATE 3/31/04
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE 3/31/04

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way, or for construction of public improvements.



VICINITY MAP
COA Zone Atlas Index Map J-13-Z
1"=1000'

Site Data

SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., BERNALILLO COUNTY NEW MEXICO
COMPRISING TRACTS 135-B, 136-A, 136-B, 137 AND 138, M.R.S.C.D. PROPERTY MAP NO. 38,
AND
HUNING CASTLE ADDITION, BLOCK 4, LOTS 5, 6, & 7

TRACT 136-B (WHICH CONTAINS TRACT 136-B AND LOTS 5,
6, & 7) 3.4625 ACRES
TRACT 136-A (WHICH CONSISTS OF TRACTS 135-B, 136-A, 137,
AND 138) 1.0840 ACRES
TOTAL AREA: 4.5465 ACRES

Building Data

EXISTING ALBUQUERQUE LITTLE THEATRE BUILDING:
14,384 S.F. (1ST FLOOR)
3,641 S.F. (2ND FLOOR)
TOTAL EXISTING S.F. = 18,025

PROPOSED ALBUQUERQUE LITTLE THEATRE BUILDING:
1ST FLOOR = 20,944 S.F.
2ND FLOOR = 12,642 S.F.
TOTAL S.F. = 33,586 S.F.

OPEN AIR INTERIOR COURTYARD: 1,942 S.F.
FREE STANDING SITE STORAGE: 1,282 S.F.

Parking

VEHICULAR PARKING REQUIRED

EXISTING THEATER (500) SEATS @ 1 PER 4 SEATS = 125 SPACES
BLACK BOX REHEARSAL SPACE (2002 S.F.) @ 1 OCC. PER 15 S.F. = 134 OCC./4 = 34 SPACES
OFFICE SPACE (2,244 S.F.) @ 1 PER 200 S.F. = 11 SPACES
STAFF AND VOLUNTEER SPACES = 30 SPACES

TOTAL REQUIRED SPACES = 200 SPACES

VEHICULAR PARKING PROVIDED

TOTAL SPACES PROVIDED: 231

General Notes

- Streets, Parking Spaces and Associated Drives to be Asphalt unless Noted Otherwise.
- Sidewalks to be Standard Gray Smooth Concrete unless Noted Otherwise.
- Refer to L001 for all Landscape and Planting Information.
- Demolition of existing structures will not occur until funds for new construction are available.
- Pavement widths are as follows: Central Ave: 66'-0", San Pasquale: 64'-0", Chacona Place: 52'-0".

Keyed Notes

- COA - FENCE AND LANDSCAPE EASEMENT.
- SHARED ACCESS EASEMENT.
- NEW 18'-0" MAXIMUM HEIGHT LIGHT FIXTURE, TYPICAL LIGHT FIXTURE TO BE FULL CUT-OFF AND SHALL NOT SHINE DIRECTLY ON ANY PUBLIC RIGHT-OF-WAY OR RESIDENTIAL PROPERTIES.
- NEW SIDEWALK 6'-0" WIDE TYPICAL, UNLESS NOTED OTHERWISE.
- DROP OFF LANE.
- LANDSCAPE AREA (REF. L001).
- ASPHALT PAVING WITH STRIPING.
- REALIGNED ENTRY DRIVE LOCATION.
- EXISTING BRICK COLUMN AND METAL FENCE TO REMAIN.
- SERVICE YARD WITH GATE.
- ENCLOSED STORAGE WITH OVERHEAD DOORS.
- OPEN AIR COURTYARD.
- DUMPSTERS (REF. DETAIL C6/A301) SEE PLAN FOR DIMENSIONS.
- ENTRY PLAZA.
- NEW 6'-0" CMU SITE WALL, (SUEDE) STUCCO TO MATCH NEW ADDITION.
- OUTLINE OF EXISTING BUILDING TO BE REMOVED.
- ACCESSIBLE RAMP.
- 6' CURB TYPICAL.
- 2' WIDE CURB.
- BIKE PARKING LOCATION.
- LOW SITE WALL, LIGHT TAN (SUEDE) STUCCO WITH BRICK COPING TO MATCH EXISTING.
- LANDSCAPE SEQUENCE.

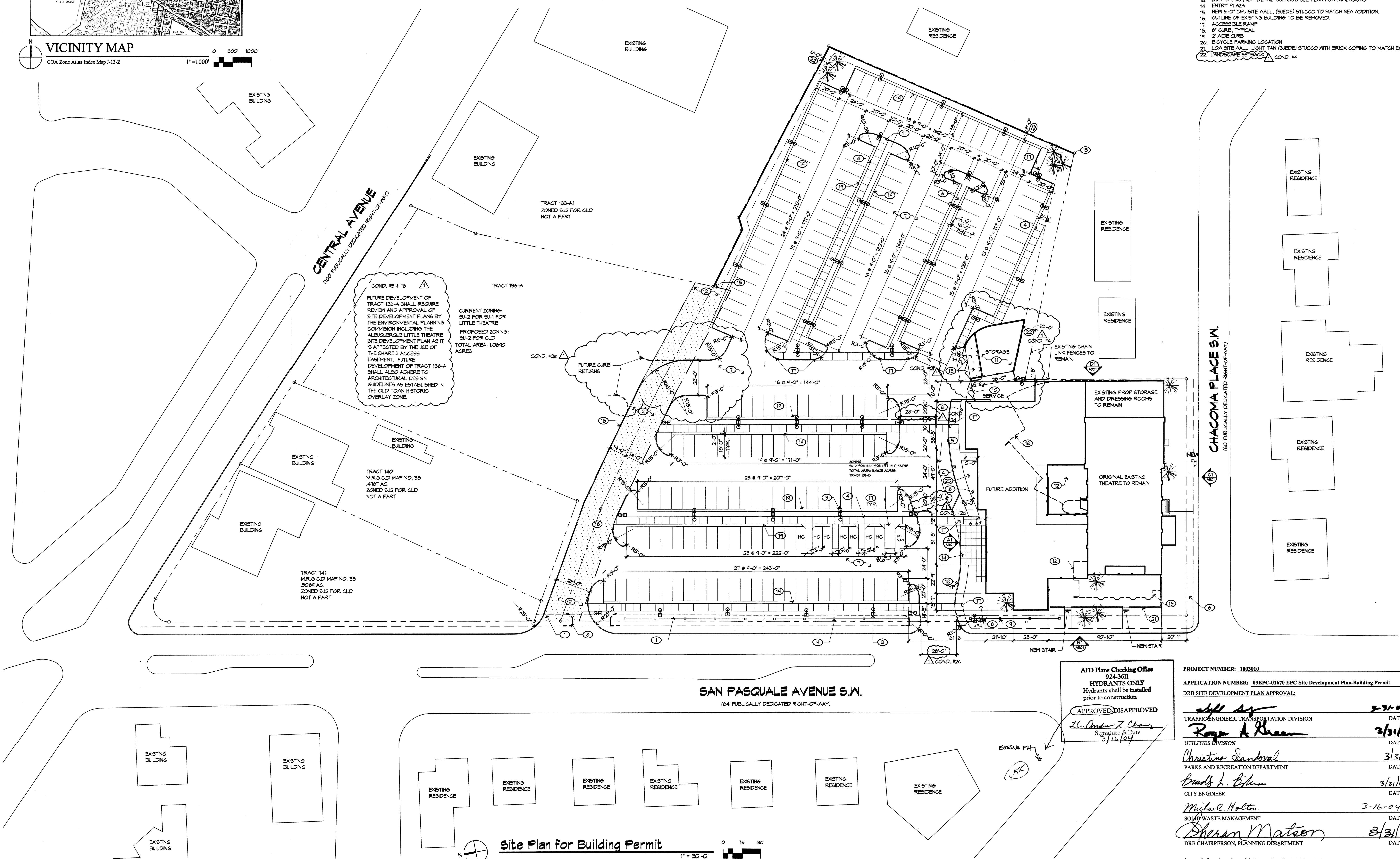
Albuquerque Little Theater Addition Environmental Planning Commission Submittal

224 San Pasquale AV S.W.
Albuquerque, NM

REVISIONS	DATE	BY	DESCRIPTION
1	8/9/04	EPG	CONDITIONS

DRAWN BY	DLS
REVIEWED BY	CRS
DATE	10/02/08
PROJECT NO.	02102.002
DRAWING NAME	

Site Development Plan
for Building Permit



AFD Plans Checking Office
924-3611
HYDRANTS ONLY
Hydrants shall be installed
prior to construction

APPROVED/DISAPPROVED
Signature & Date
3/16/04

PROJECT NUMBER: 1003010

APPLICATION NUMBER: 03EPC-01670 EPC Site Development Plan-Building Permit
DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION
Signature & Date
3/31/04

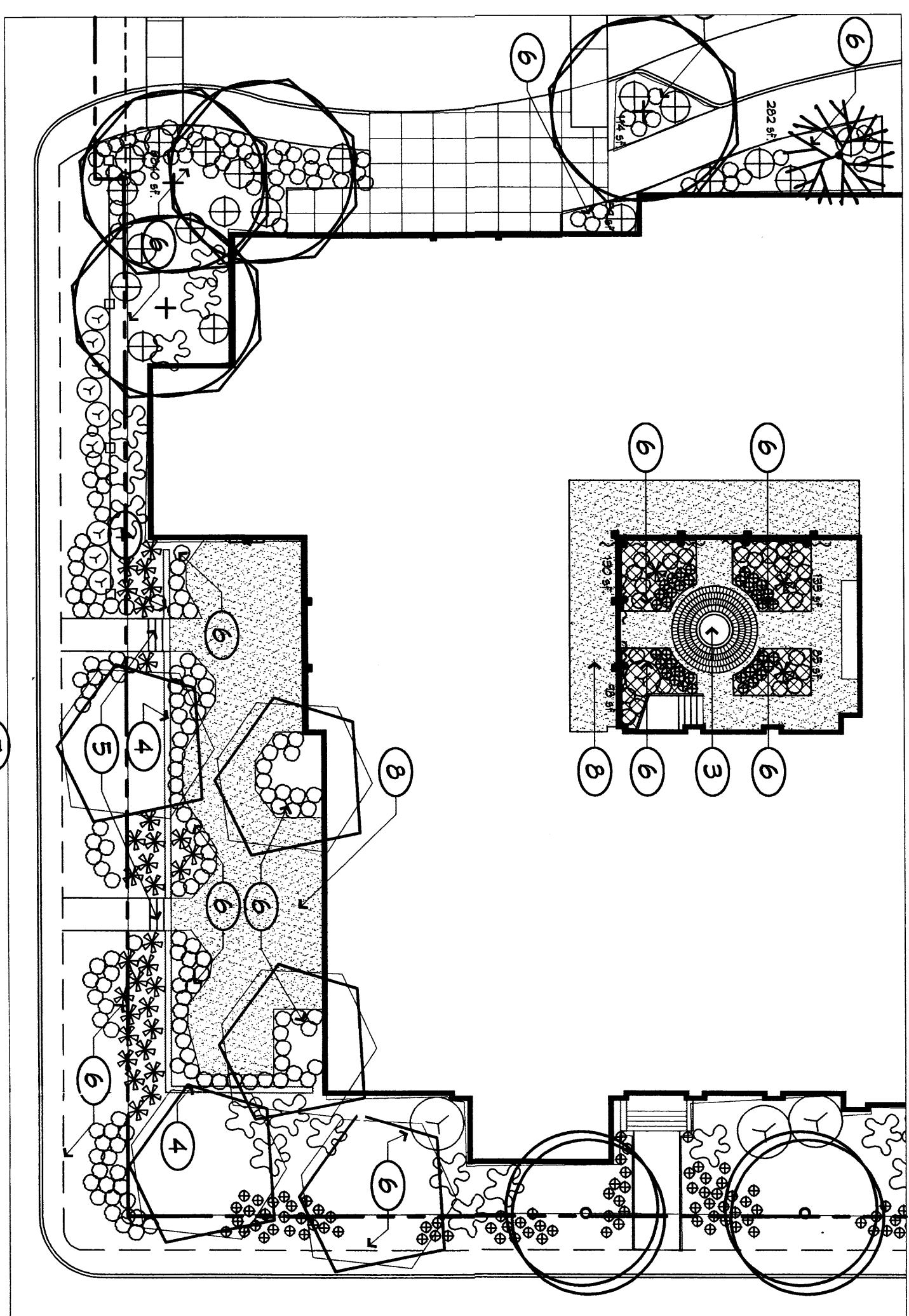
UTILITIES DIVISION
PARKS AND RECREATION DEPARTMENT
Signature & Date
3/31/04

CITY ENGINEER
Signature & Date
3-16-04

SOLID WASTE MANAGEMENT
Signature & Date
3/31/04

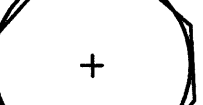
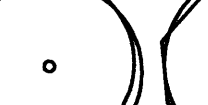






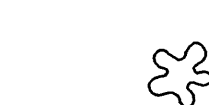

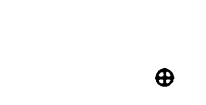









DRB CHAIRPERSON, PLANNING DEPARTMENT
Signature & Date
3/31/04

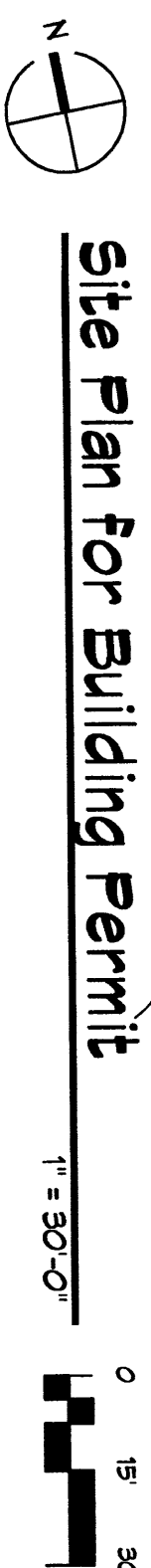
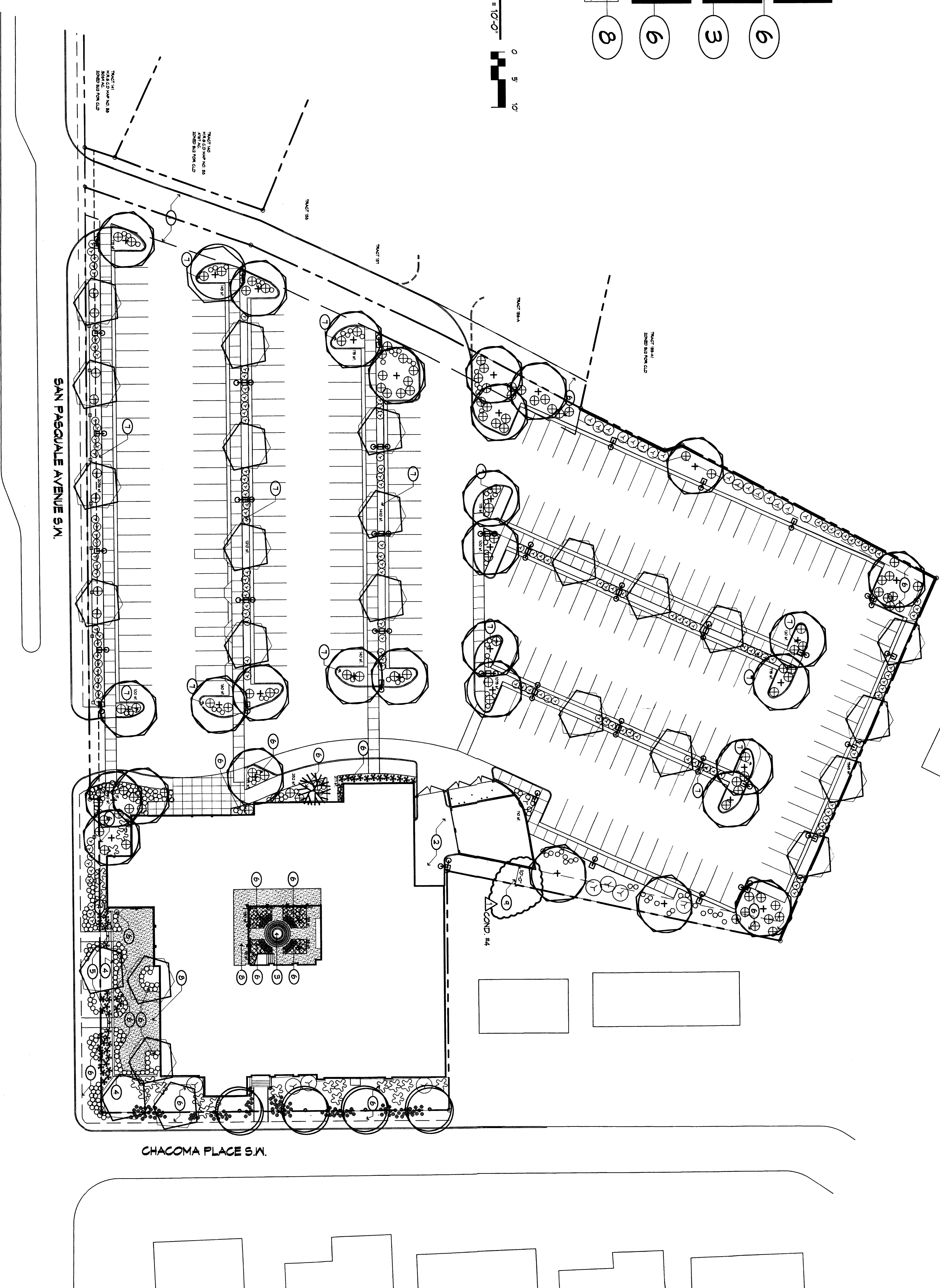
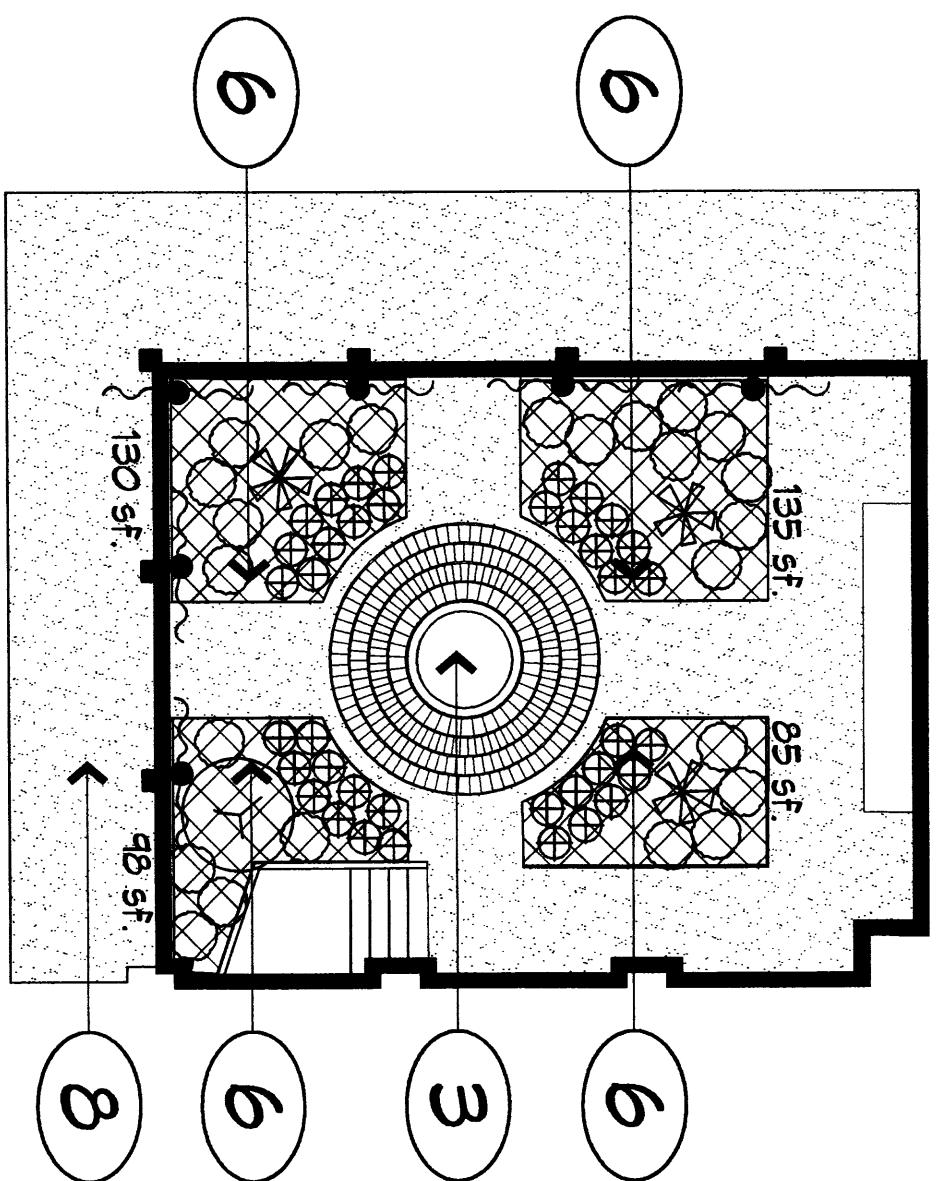
Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved
ORC plans with a work order is required for any construction within Public Right-of-Way
or for construction of public improvements.



1. Designing the piping system accommodates the site's topography and the location of the building's large underground water tank. Tall, slanted concrete risers and riser stacks are used to deliver the water to the large underground water tank. Tall, slanted concrete risers and riser stacks are used to deliver the water to the large underground water tank.
2. The piping system is designed to accommodate the location of the building's large underground water tank. Tall, slanted concrete risers and riser stacks are used to deliver the water to the large underground water tank.
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- [illegible]

Sign.	Approx. Botanical Name/ Qty. Common Name	Condition	Mature Size (H/W)
	26 TREES Populus alberti/ VALEET COTWOOD	2' Gd./ 8' B	50'x30' / High
	4 Regina pseudocedrus Purple Roxs / Purple X Rose Locust Cercis formosensis OKUNAWA REDBUD	2' Gd./ 8' B 2' Gd./ 8' B 25'x15' Medium	35'x25' 25'x15' Medium
	25 SHRUBS DISSENT NAILON OR Vicia spicata-catalpa CROST NEE	35'x20' Medium OR 25'x20' Low	35'x20' Low 25'x20' Low
	5 SHRUBS Purple YAMBO PREL' NIMO BUTTERFLY BUSH	5' Gd. Cont.	5' Gd. Medium
	20 Foliage persistent APACHE PLUME OR Rourea officinalis 50/ FROSTY ROSEHAT	1' Gd. Cont. 5' Gd. Cont.	6'x6' Low 3'x6' Low
	141 Eucalyptus multi-lob TITMENSE BUSH	5' Gd. Cont.	30'x25' Low
	50 ACACIAS Hesperosiphonia/ RED HESPERALOE OR 22 Cordia alliodora/ DESEPT PEACHY PEAR	5' Gd. Cont. 5' Gd. Cont.	4' x 4' Low 4'x6' Low
	OR Cordia alliodora/ COTON FLORE PEACHY PEAR	5' Gd. Cont.	3'x6' Low
	9 TREES Nolina lucidocarpa/ SILVER PALM	9' Gd. / 9' Gd.	4'x6' Low
	196 TREES Rhus laurifolia/ SHINY OIL BLUE SAGE	1' Gd. Cont.	10'x15' Medium
	SHRUBS Stylis tenuifolia/ THEZACOSUS	1' Gd. Cont.	2'x18' Low
	6 VINE/S Cordia alliodora/ ORANGE BURNET VINE Paracordia fruticosa/ BOSTON VY	5' Gd. Cont. 5' Gd. Cont.	Vine/ Medium
	Chinese spruce/ CHINESE SPRUCE	5' Gd. Cont.	Vine/ Medium
	PERENNIALS/GROUND COVERS ALD PRICKER OR 85 TREES Alnus incana/ GALNA	1' Gd. Cont. 30'x15' Medium	30'x15' Medium
	45 TREES Asteria laevis/ PRICKER OR Asteria laevis/ FORS COTILE SHOE	1' Gd. Cont. 1' Gd. Cont. 1' Gd. Cont.	3'x3' 10'x3' 2'x5' Low
	60 Hypericum scutell/ ANGEL DORY OR Cortesia descripta/ WHITE PINKS PRUNOSE	1' Gd. Cont. 1' Gd. Cont.	1'x1' Low
	105 Lavandula angustifolia Wildcat Sagepuff / S. LAVENDER	1' Gd. Cont.	2'x5' Medium
	Trellis clematis/ TRELLIS CLEMATIS	1' Gd. Cont.	1'x30' Medium
	350 Thymus sp/ THYME	4' Foss	6'x3' Medium
	VERONICA 50/ VERONICA	4' Foss	6'x3' Medium



REVISIONS	
1	2/20/04 PRC CANTON/MS
△	
△	
△	
△	
△	
△	

DRAWN BY	MS, DAC
REVIEWED BY	CMS
DATE	1/2/02/05
PROJECT NO.	02102.002
DRAWING NAME	

Landscape Plan
for Building Permit

Landscape Plan For Building Permit

ADDRESS: 224 SAN PASQUALE AVE. SW




EXISTING CONDITIONS: THE SITE IS CURRENTLY DEVELOPED WITH A 500-SEAT THEATRE. THE BALANCE OF THE SITE IS AN ASPHALT-PAVED PARKING LOT AND LANDSCAPED AREAS. SITE RUNOFF DISCHARGES FREELY TO SAN PASQUALE SW. ZONE: 2 LAND TREATMENT: 3% B, 4% C, AND 93% D

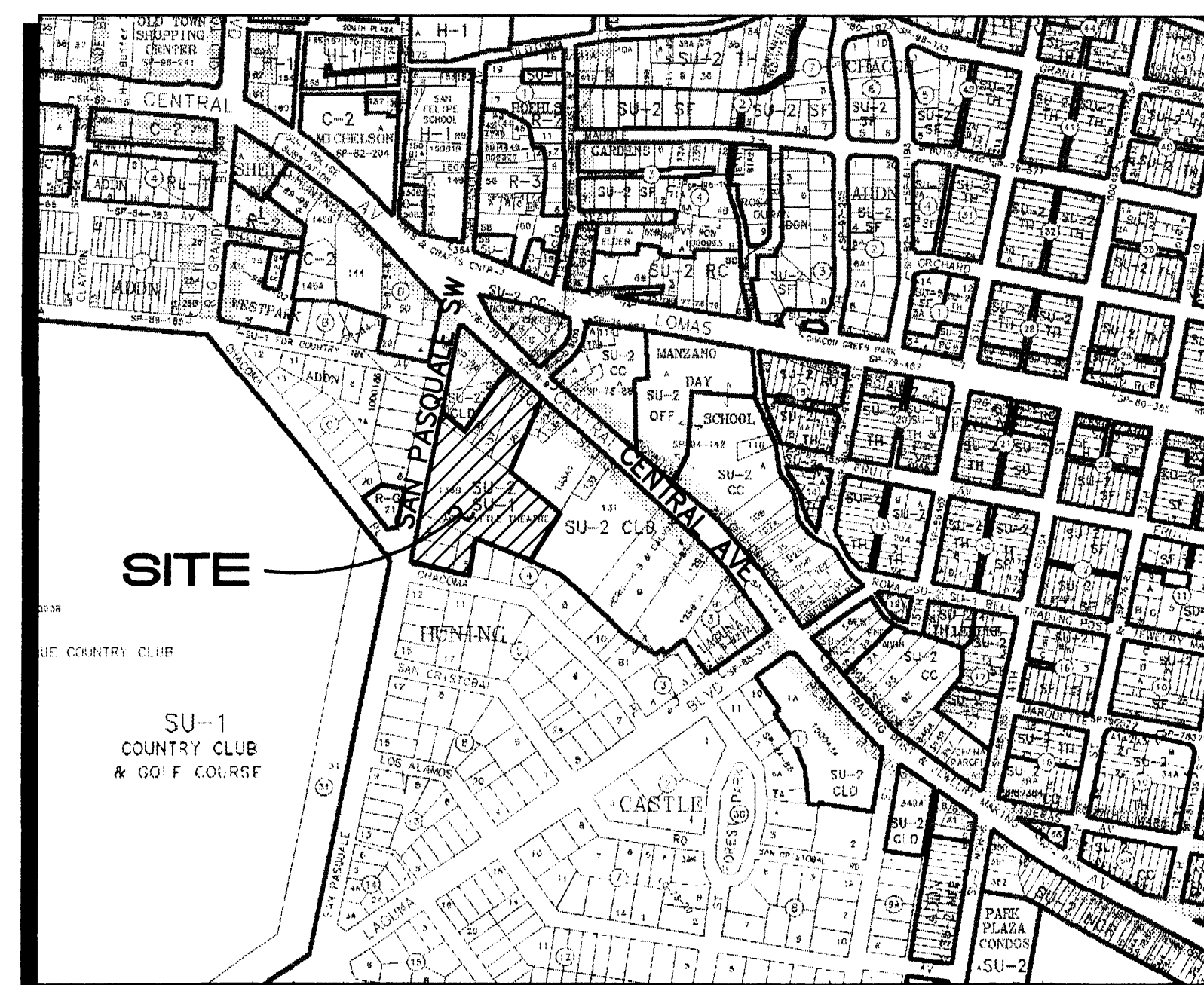
$Q_{100} = (4.56 \text{ CFS/AC})(4.5 \text{ ACRES}) = 20.5 \text{ CFS}$

PROPOSED CONDITIONS: THE PROPOSED ADDITION ENLARGES THE BUILDING TO THE NORTH AND BETTER DEFINES THE PARKING AREA. LANDSCAPING IS PROPOSED WHICH WILL NOT INCREASE SITE RUNOFF FROM THE HISTORIC RATE.
LAND TREATMENT: 3% B, 5% C, AND 92% D
 $Q_{100} = (4.55 \text{ CFS/AC})(4.5 \text{ ACRES}) = 20.5 \text{ CFS}$

SITE UTILITIES: CITY WATER AND SEWER SERVICE IS PROVIDED BY FACILITIES IN SAN PASQUALE & CHACOMA WHICH ABUT THE SITE. ADDITIONAL FIRE PROTECTION WILL BE REQUIRED TO PROTECT THE ADDITION.

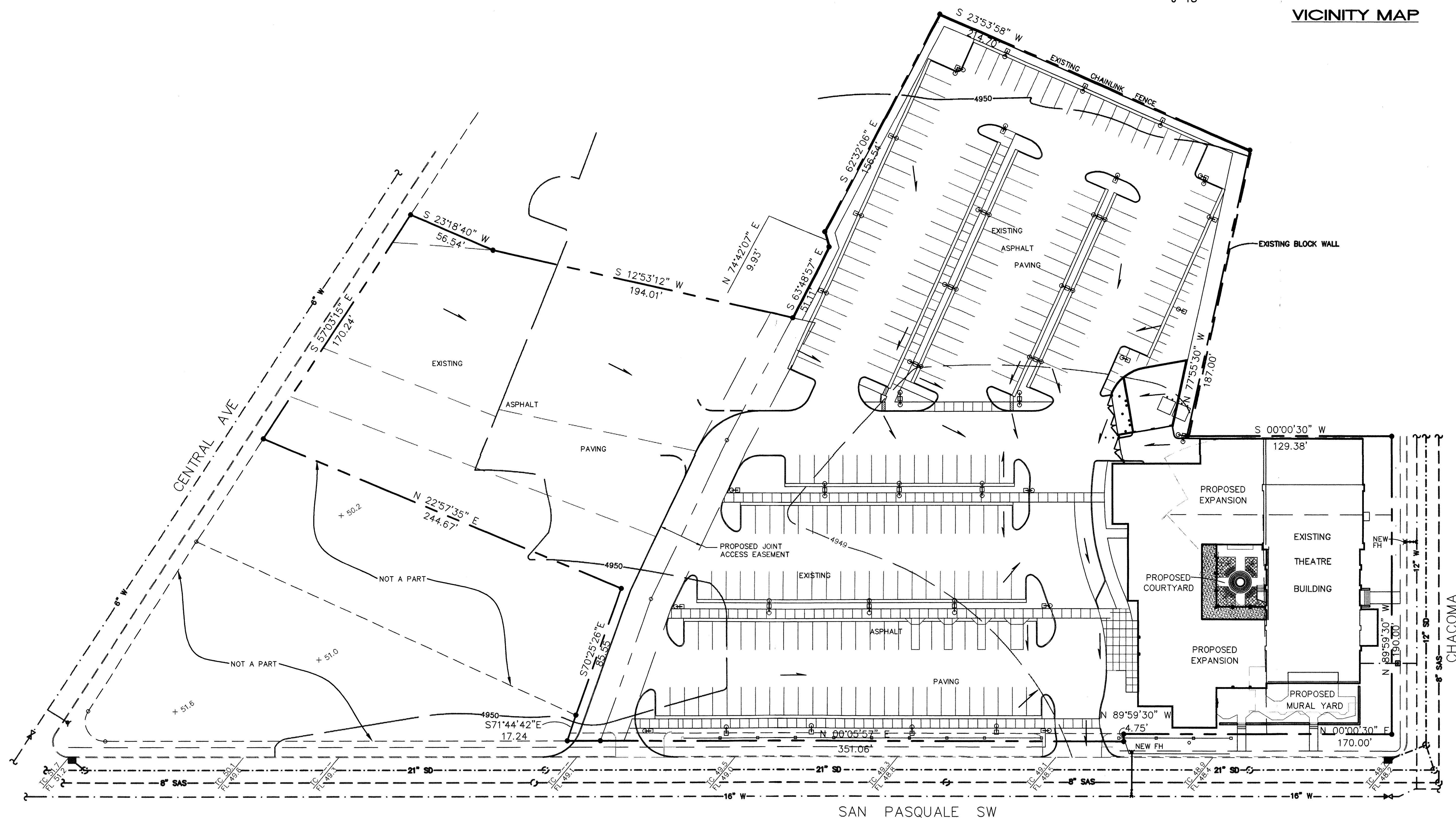
LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
 49.5	PROPOSED SPOT ELEVATION
 51.0	EXISTING SPOT ELEVATION
TC 81.9 FL 81.4	<u>TOP OF CURB</u> FLOWLINE ELEVATION
	FLOW ARROW




J-13

VICINITY MAP

$$1'' = 750' \pm$$


SAN PASQUALE SW



architecture
interiors
planning
engineering

**Dekker
Perich
Sabatini**

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ARCHITECT

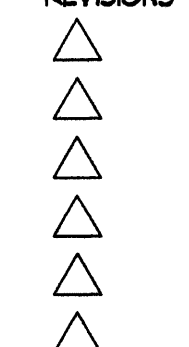
ENGINEER



PROJECT

ALBUQUERQUE LITTLE THEATRE
EXPANSION
224 San Pasquale Ave. SW.
Albuquerque, New Mexico

REVISIONS




DRAWN BY	RFH
REVIEWED BY	FCA
DATE	02/28/08
PROJECT NO.	02051
DRAWING NAME	

CONCEPTUAL
GRADING,
DRAINAGE,
& UTILITY PLAN

SHEET NO.

C1



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico
 1297FXH1 DWGether 02/19/04

