

**Dekker
Perich
Sabatini**

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fax 761-4222
dps@dpsobq.com

ARCHITECT

ISSUED FOR
DRB
10.26.04

ENGINEER

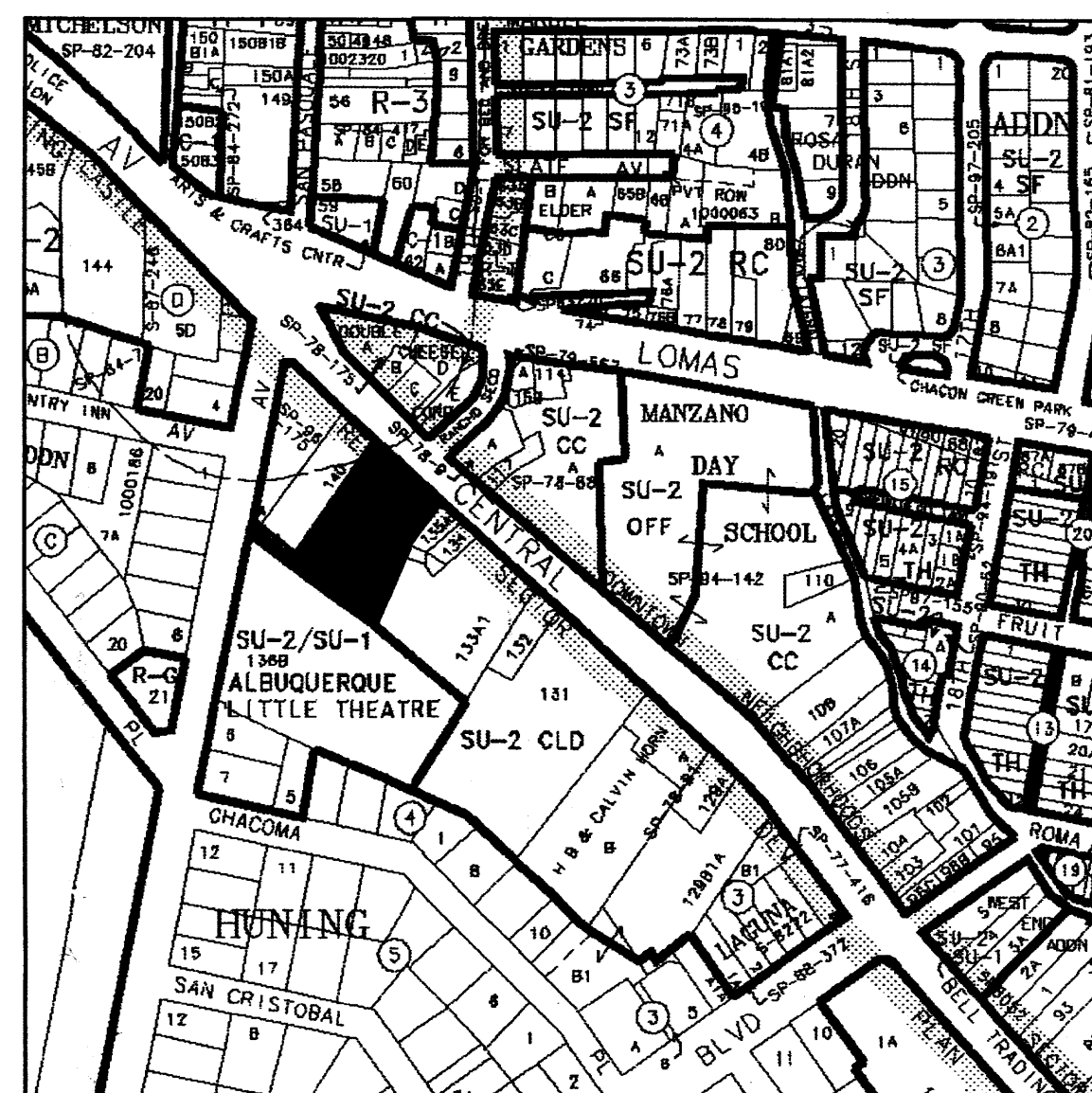
PROJECT

**Housing @ The
Albuquerque Little Theater**
Central Ave. SW
Albuquerque, New Mexico

0108001 #SC04

VICINITY MAP

J-13-Z

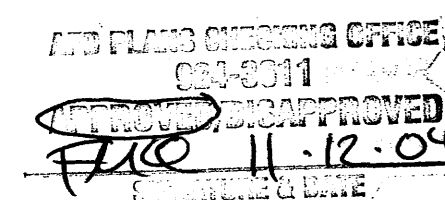


SHEET INDEX

1. SITE DEVELOPMENT PLAN
2. LANDSCAPE PLAN
3. CONCEPTUAL GRADING AND DRAINAGE PLAN
4. CONCEPTUAL UTILITY PLAN
5. BUILDING ELEVATIONS
6. BUILDING ELEVATIONS

GENERAL NOTES

- A. All signage shall conform to the City of Albuquerque sign code.
- B. All mechanical/electrical equipment shall be screened from view to the greatest extent practicable. Equipment shall be roof mounted and screened from view by building parapets. All yard mounted equipment shall be screened by fencing or stucco walls.



PROJECT NUMBER: 1003010

APPLICATION NUMBER: 04KPC-00660 EPC Site Development Plan-Building Permit
04 DRB 01687

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

[Signature] 11/17/04
TRANSPORTATION DIVISION
DATE
[Signature] 11-17-04
DATE
UTILITIES DIVISION
DATE
[Signature] 4/19/05
DATE
PARKS AND RECREATION DEPARTMENT
[Signature] 4/20/05
DATE
CITY ENGINEER

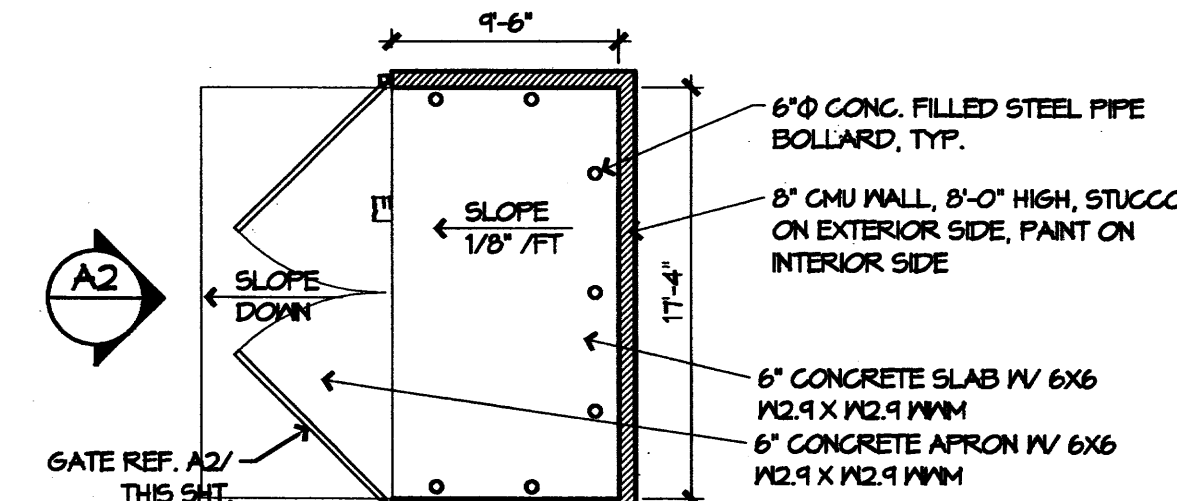
[Signature] 11/17/04
DATE
SOLID WASTE MANAGEMENT
[Signature] 11/17/04
DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT

REVISIONS	
△ 9/20/04	EPC Conditions Incorporated
△ 11/10/04	DRB Comments Incorporated
△	
△	

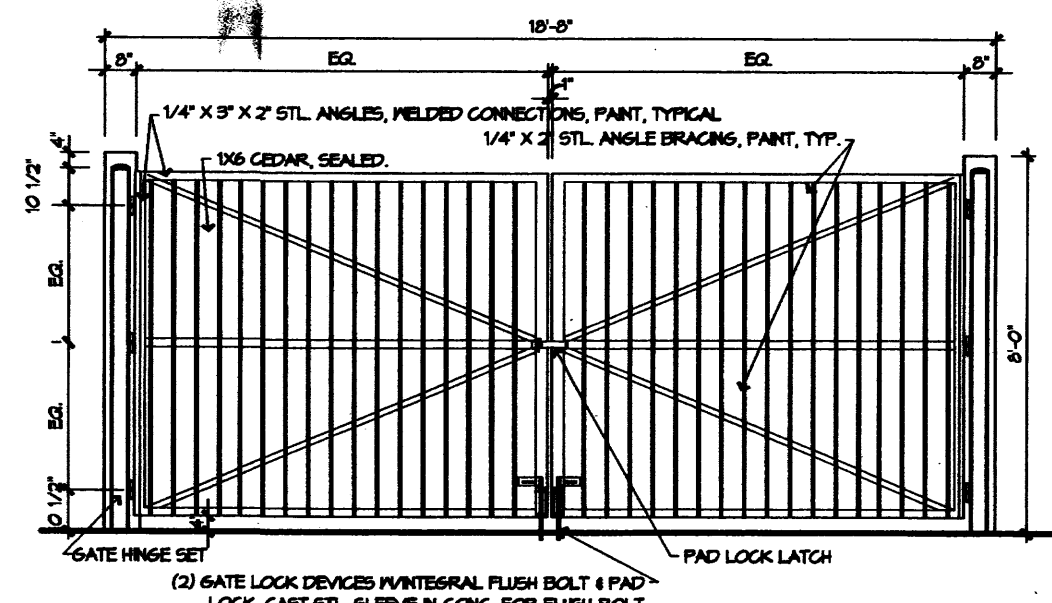
DRAWN BY: dr
REVIEWED BY: CG
DATE: 10.26.04
PROJECT NO: 04037
DRAWING NAME:

**SITE DEVELOPMENT
PLAN FOR BUILDING
PERMIT**

SHEET NO.
A001
1 OF 6



A1 REFUSE ENCLOSURE - PLAN
1/8" = 1'-0"



A2 FLOOR PLAN
1/8" = 1'-0"

LEGAL DESCRIPTION

Tract lettered A of Tracts A & B LANDS OF ALBUQUERQUE LITTLE THEATRE in Section 10, T10N, R3E NMPM as the same is shown and designated on said plat thereof filed in the office of the County Clerk of Bernalillo County on May 12, 2004 in Book 2004G, Page 150.

SITE DATA

Current Zoning: CLD Commercial/Low Density
Zoning Ordinance: Huning Castle and Reynolds Addition Sector Development Plan
Minimum Setbacks: 5' from Central Avenue, 15' from all other lot lines.
Maximum Density: Maximum floor area ratio is .61
Maximum Height: Maximum height is 46'
Usable Open Space: 400 sf for each efficiency or one-bedroom dwelling unit, 500 sf for each two-bedroom dwelling unit, and 600 sf for each dwelling unit containing three or more bedrooms.
2 BDR units * 2 = 1,000 sf
3 BDR units * 4 = 5,400 sf
= 6,400 sf Usable Open Space required

PROPOSED

Proposed Use: Retail/Office & Apartments
Lot Area: 44,632 sf or 1.02 acres
Setbacks: 5' from Central Avenue & 15' from all other lot lines
Density: 21,217 sf Habitable/44,632 sf (Site) = .61 FAR
Height: 38' at highest point, refer to Building Elevations on sheet A301 (Sheet 5 of 6)
Usable Open Space:
Lot Area = 44,632 sf
Paved Area = 15,501 sf
Building Footprint = 14,928 sf
Lot Area - (Paving Area and Building Footprint) = Usable Open Space
44,632 - (15,501 + 14,928) = 14,203 sf Usable Open Space provided

PROJECT DATA

Dwelling Units:
Unit A - 3BR/2BA - 4 units x 1,945 sf = 7,780 sf
Unit B - 4BR/2BA - 4 units x 2,152 sf = 8,558 sf
Unit C - 2BR/2BA - 2 units x 1,428 sf = 2,856 sf
Unit D - 3BR/2BA - 1 unit x 2,122 sf = 2,122 sf
Total 11 units = 21,216 sf

Retail Space - First Floor:

Retail 1 - 408 sf
Retail 2 - 455 sf
Retail 3 - 846 sf
Total = 1,709 sf

Office Space - Second Floor:

Office 1 - 1,041 sf
Office 2 - 1,115 sf
Office 3 - 1,866 sf
Total = 4,022 sf

Total Habitable Area = 21,217 sf

PARKING DATA

Required: 1 Parking Space for each bathroom within the dwellings unit but no less than 15 spaces. All proposed dwelling units have 2 bathrooms therefore each unit is required to have 2 parking spaces.

1 space for every 200 sf of Habitable Retail or Office space.
Habitable Retail & Office space = 5,191 sf
Less Storage & Egress Area = 860 sf
Net Leasable Area = 4,331 sf

4,331 / 200 = 21.65
Less 10% for transit corridor = 2
Total 23 spaces required

Proposed:

All proposed dwelling units are provided with a 2 car garage.

Retail & Office parking provided:

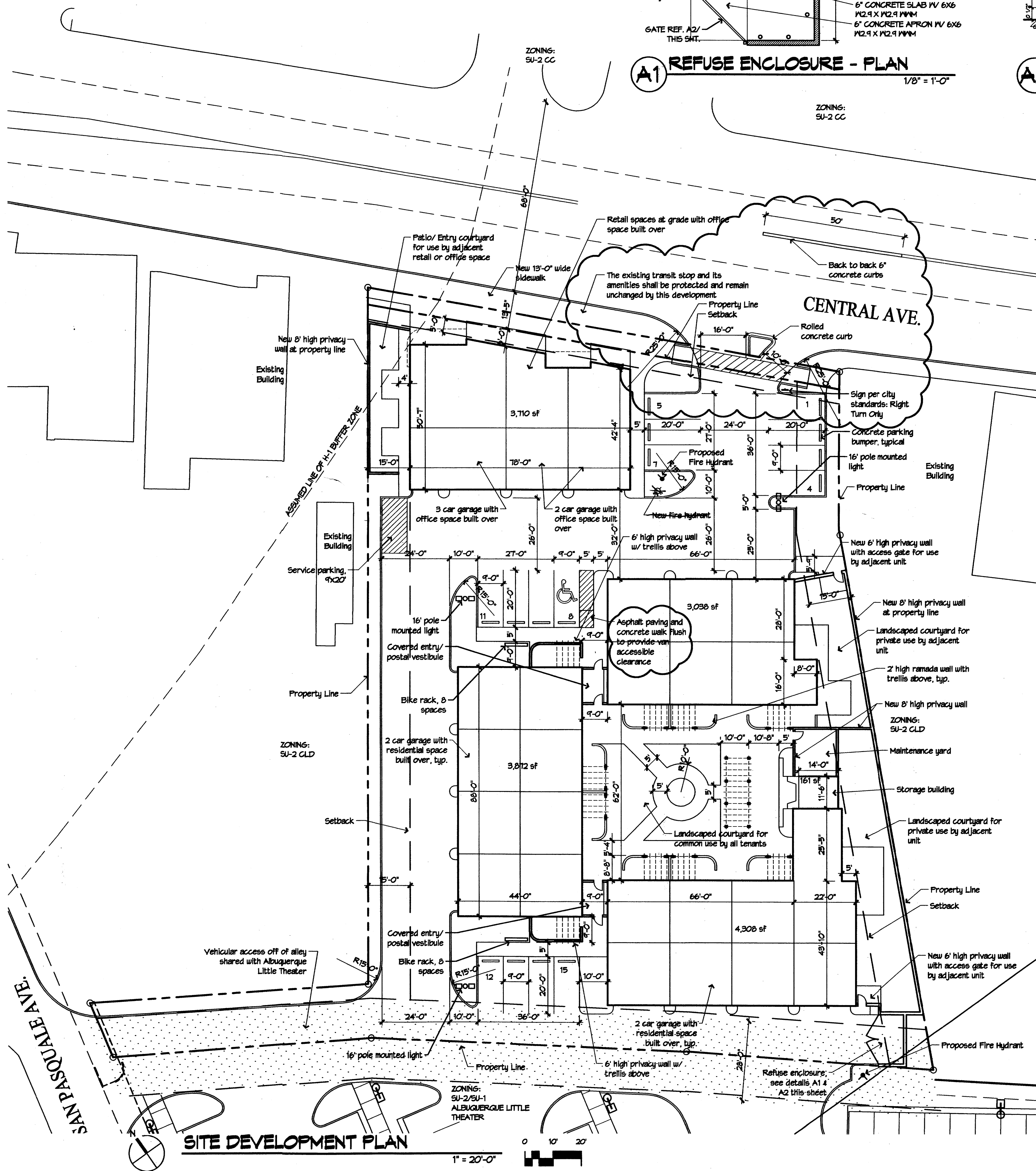
Covered spaces 15
Standard spaces 15
Handicapped spaces 1
Total 31 spaces provided

Bicycle Parking Required:

Residential: 1 Bicycle space per 2 dwelling units.
Nonresidential: 1 Bicycle space per 20 automobile parking spaces
11 dwelling units = 6 bicycle spaces.
23 nonresidential parking spaces = 2 bicycle spaces
= 8 spaces required

Bicycle Parking Provided:

16 Bicycle spaces provided



PLANTING LEGEND

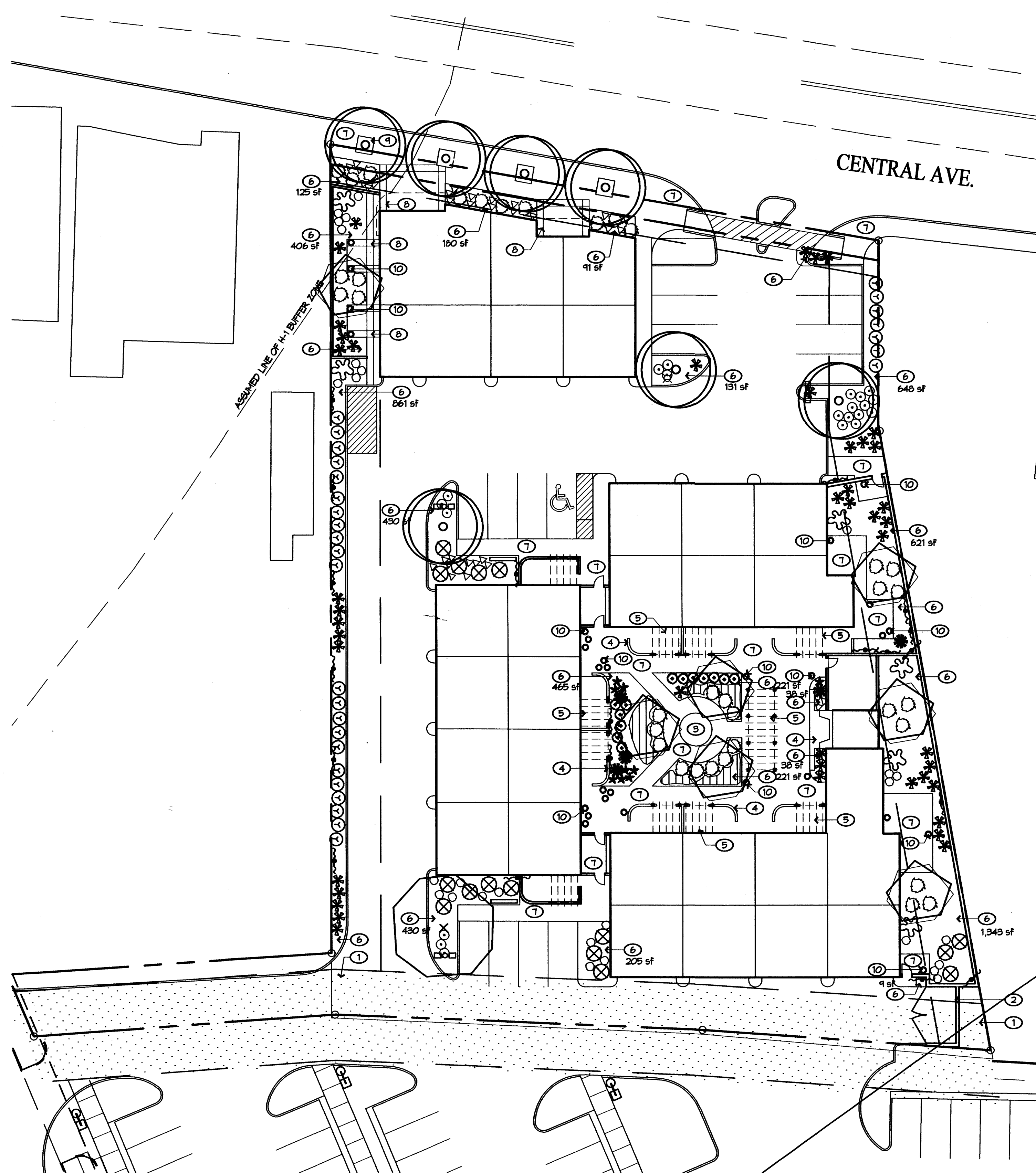
TREE	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name
		7	11'x5' B&B	DESERT MALLOW	Chilopsis linearis
		1	2'-Gal @ 10'x4'	VALLEY COTTONWOOD	Populus wislizenii
		9	2'-Gal @ 9'x4'	PURPLE ROBE LOCUST	Robinia X ambigua

SHRUBS	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name
		19	1'-Gal @ 9'x4'	MARICOLA	Parthenium incanum
		24	1'-Gal @ 9'x6"	TURPENTINE BUSH	Ericameria laricifolia

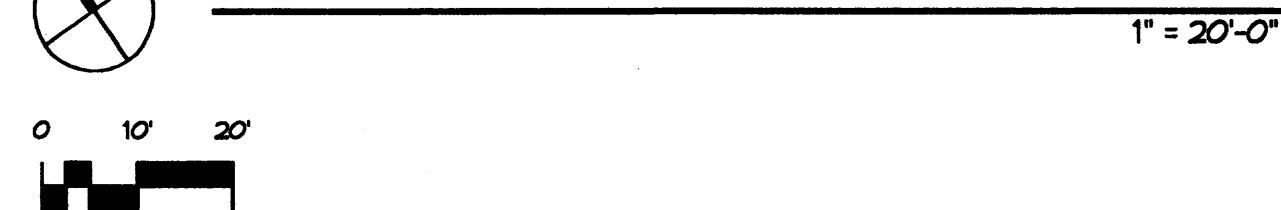
ACCENTS	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name
		7	12'x12"	PARRY'S AGAVE	Agave parryi
		52	5'-Gal @ 12'x12"	RED HESPERALOE	Hesperaloe parviflora
		16	15'-Gal @ 2'x2'	ARIZONA BEARGRASS	Nolina microcarpa
		6	5'-Gal @ 4 PAD MIN	DESERT PRICKLY PEAR	Opuntia engelmannii
		5	6' - 2 HEADS	THOMPSON'S YUCCA	Yucca thompsoniana

GROUNDCOVERS / VINES / POTTED PLANTS	SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name
		28	1'-Gal @ 9'x6"	SUNSET HYSSOP	Agastache rupestris
		21	1'-Gal @ 6'x6"	PRAIRIE SAGE	Artemisia ludoviciana
		35	5'-Gal @ 15'x15"	DEER GRASS	Muhlenbergia rigens
		36	1'-Gal @ 6'x6"	ROCKY MTN PENSTEMON	Penstemon strictus
		14	5'-Gal @ 2'x1'	YELLOW LADY BANKS' ROSE	Rosa banksiae 'Lutea'
		125	4" Pots @ 3'x4"	TURKISH SPEEDWELL	Veronica lilianensis
		25			

POTTED PLANT LOCATIONS: TERRA COTTA POTS, 18"-24" SIZES, INCLUDING POTTING SOIL. INSTALL EACH WITH HARDY, DROUGHT TOLERANT ACCENT AND SEASONAL FLOWER PLANTINGS, SUCH AS: DAHLBERG'S DANEY, BLUE CUP FLOWER, RED YUCCA, PRICKLY PEAR CACTUS, AGAVE AND HUMMINGBIRD TRUMPET; HAND WATER AS NEEDED



LANDSCAPE PLAN



KEYED NOTES

1. SHARED ACCESS EASEMENT (TYP)
2. SERVICE YARD WITH GATE
3. FOUNTAIN
4. LOW GARDEN WALL (TYP)
5. SHADE RAMADA (TYP)
6. LANDSCAPE AREA: SANTA ANA TAN CRUSHER FINES MULCH, DEPTH: 2", NO FILTER FABRIC (TYP)
7. BRICK OR CONCRETE PAVING (TYP)
8. DECORATIVE PAVING (TYP)
9. TREE GRATE (TYP)
10. POTTED PLANT LOCATION: SEE PLANT LEGEND (TYP)

LANDSCAPE NOTES

1. DESIGN: THE PLANTING DESIGN ACCENTUATES THE SITE PLANS VEHICULAR AND PEDESTRIAN PATTERNS. IT RELATES THE FEEL OF THE NATURAL VALLEY AND OLD TOWN NEIGHBORHOODS WITH THE ARID, HIGH DESERT CLIMATE. MEDIUM TO LARGE TREES, SEMI-EVERGREEN VINES, AND UNDERSTORY GROUNDCOVERS SHADE PARKING AREAS AND HELP SCREEN VIEWS ONTO ADJACENT PROPERTIES. PRIVATE, INTERIOR SPACES UTILIZE DECORATIVE PAVING, ALONG WITH A DESERT-OASIS EFFECT OF COMPACT, LOW WATER-USE TREES OTHER REGIONALLY NATIVE PLANTINGS, INCLUDING FORM, FLOWER COLOR AND EVERGREEN APPEARANCE. ORNAMENTAL GRASSES AND FLOWERING GROUNDCOVERS WERE USED IN SOME PROTECTED, SHADY AREAS THROUGHOUT THE PROJECT.
2. PLANTING AND IRRIGATION DESIGN AND INSTALLATION SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE. PLANTING AREAS SHALL ACHIEVE MINIMUM 75% LIVE VEGETATIVE COVERAGE UPON PLANT MATURITY. NOTED PLANT QUANTITIES ARE APPROXIMATE, AND REFLECT THE ESTIMATED NUMBER OF PLANTS NECESSARY TO ACHIEVE THE DESIGN INTENT AND THE REQUIRED COVERAGE AT PLANT MATURITY.
3. PLANTING AND IRRIGATION INSTALLATION SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS.
4. PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
5. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES AND 20 MINUTES FOR THE SPRAY ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT ESTABLISHMENT. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL EXCEPT FOR GROUND COVER AREAS IN THE INNER COURTYARD. THIS AREA MAY BE IRRIGATED WITH SPRAY EMITTERS APPROPRIATELY DESIGNED TO AVOID OVERSPRAY ONTO IMPERMEABLE SURFACES AND ADJACENT PAVING.
6. POINT OF CONNECTION: A PROPOSED CONNECTION TO CITY WATER FOR IRRIGATION PURPOSES EXISTS ON THE PROPERTY.
7. MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. CRUSHER FINES MULCH WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE.
8. COTTONWOOD TREE: ROOT BARRIER SHALL BE USED AROUND THE EDGE OF THE PARKING MEDIAN WHERE COTTONWOOD TREE IS TO BE INSTALLED. THIS CHEMICALLY TREATED EDGING WILL REPEL SURFACE ROOTS AND ENCOURAGE DEEP ROOTING OF THESE TREES.

LANDSCAPE CALCULATIONS

TOTAL AREA: 44,632 SF
BUILDING AREA: 21,211 SF
NET AREA: 17,415 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 2,612 SF
PROVIDED LANDSCAPE AREA: 6,463 SF

ALLOWABLE HIGH WATER USE TURF (20% OF LANDSCAPE AREA): 261 SF
PROVIDED HIGH WATER USE TURF AREA: 0 SF

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06.01.04

ENGINEER

PROJECT

**Housing @ The
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Central Ave. SW
Albuquerque, New Mexico

LEGEND

— 4956 —	EXISTING CONTOUR MINOR
— 4955 —	EXISTING CONTOUR MAJOR
— — —	EXISTING CURB
■	EXISTING INLET
●	EXISTING SANITARY SEWER LINE
— — —	EXISTING SANITARY SEWER MANHOLE
— — —	EXISTING WATERLINE
— — —	EXISTING GATE VALVE
— — —	EXISTING WATER SERVICE METER
— — —	EXISTING FENCE
● FL=36.8	EXISTING FLOWLINE ELEVATION
● 37.6	EXISTING SPOT ELEVATION
— 48 —	PROPOSED CONTOUR LINE
● 85.00	PROPOSED SPOT ELEVATION
— 48.80	PROPOSED TOP CURB ELEVATION
— 48.30	PROPOSED FLOWLINE ELEVATION
— — —	ROOF DRAIN
●	PROPOSED SAS MANHOLE
— — —	PROPOSED SWALE

LEGAL DESCRIPTION

TRACT A, LANDS OF ALBUQUERQUE LITTLE THEATER.

REVISIONS

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△
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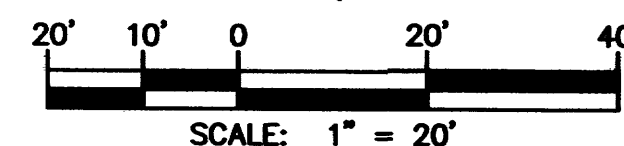
DRAWN BY dr
REVIEWED BY CG
DATE 06.01.04
PROJECT NO. 04037
CONCEPTUAL GRADING PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90806
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-8539

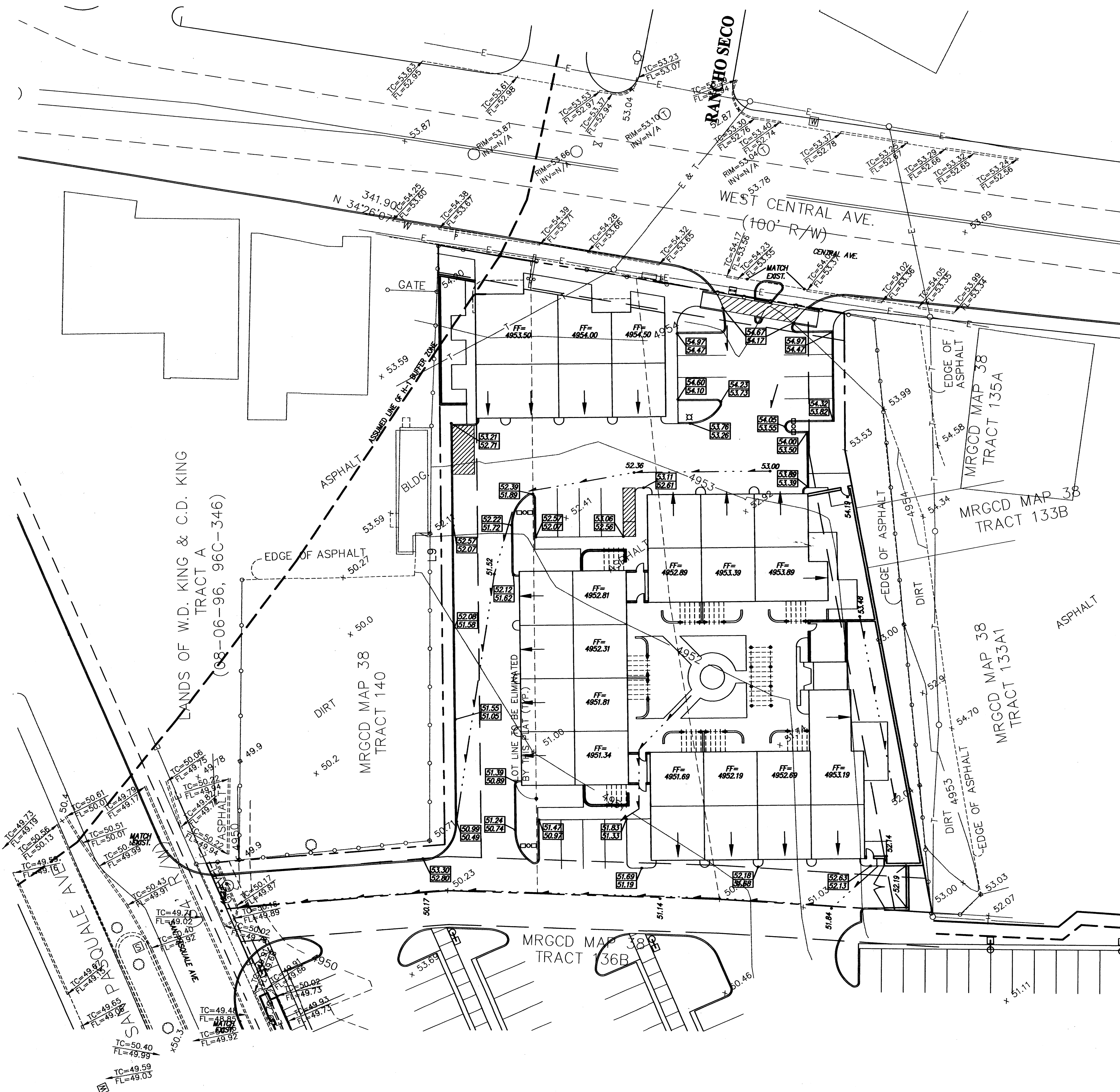
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C001

3 OF 6



John H. Goodwin
10-26-04



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**Housing @ The
Albuquerque Little Theatre**
Central Ave. SW
Albuquerque, New Mexico

NOTES:

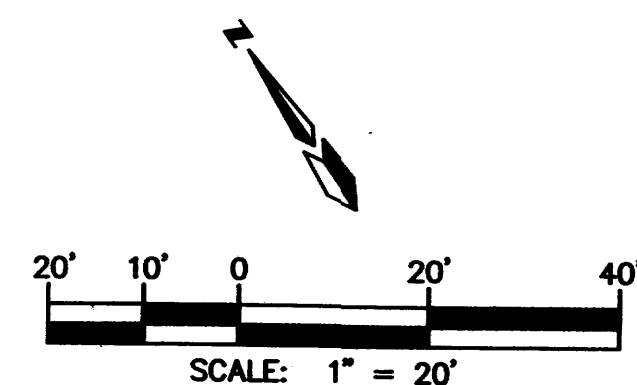
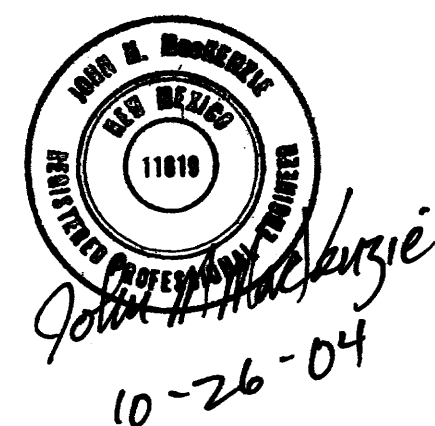
1. ALL NEW UTILITIES SHOWN ON THIS PLAN ARE TO BE PUBLIC AND ULTIMATELY MAINTAINED BY THE CITY OF ALBUQUERQUE.
2. ALL NEW RESIDENTIAL AND NON-RESIDENTIAL UNITS SHALL HAVE INDIVIDUAL PUBLIC WATER AND SEWER SERVICE PROVIDED TO EACH UNIT.

LEGAL DESCRIPTION:

A certain tract of land being and comprising Tracts 135-B, 136-A, 136-B, 137 and 138 as the same are shown and designated on M.R.G.C.G. Map No. 38, together with Lots 5, 6, & 7 in Block 4 of HUNING CASTLE ADDITION, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 1, 1928 in Volume D1, Folio 1, being more particularly described as follows:
BEGINNING at the Northwest corner of said tract herein described, a point on the easterly right-of-way line of San Pasquale Avenue S.W., whence ACS Control Station 13-J13 bears N 04° 28' 42" E, 433.45 feet distant; thence, leaving said Easterly right-of-way S 59° 45' 49" E, 102.60 feet; thence N 34° 24' 09" E, 245.36 feet to the most Northerly corner, a point on the Southerly right-of-way of Central Avenue; thence S 44° 52' 14" E, 26.24 feet along said Southerly right-of-way to an angle point; thence S 45° 57' 34" E, 143.46 feet along said Southerly right-of-way to the Northeast corner; thence, leaving said Southerly right-of-way S 34° 37' 21" W, 56.54 feet; thence S 24° 11' 53" W, 194.01 feet; thence S 53° 18' 43" E, 50.30 feet; thence N 83° 36' 29" E, 9.82 feet; thence S 50° 57' 57" E, 156.54 feet to the most Easterly corner of said tract herein described; thence S 34° 59' 52" W, 213.99 feet; thence N 66° 36' 18" W, 187.37 feet; thence S 11° 22' 35" W, 129.38 feet to the most Southerly corner of said tract herein described, being a point on the Northerly right-of-way to the Southwest corner of said tract herein described, being a point on the Easterly right-of-way of San Pasquale S.W.; thence N 11° 22' 35" E, 170.00 feet along said Easterly right-of-way; thence N 78° 37' 25" W, 4.75 feet along said Easterly right-of-way; thence N 11° 22' 35" E, 348.08 feet along said Easterly right-of-way to the point of beginning, and containing 4.4750 acres, more or less.

LEGEND

—5064—	EXISTING CONTOUR MINOR
—5065—	EXISTING CONTOUR MAJOR
=====	EXISTING CURB & GUTTER
■	EXISTING INLET
●	EXISTING SANITARY SEWER MANHOLE
---	EXIST. SAS --- EXISTING SANITARY SEWER LINE
---	EXIST. WL --- EXISTING WATERLINE
⋈	EXISTING GATE VALVE
---	EXISTING WATER SERVICE METER
---	EXISTING FENCE
●FL=36.8	EXISTING FLOWLINE ELEVATION
●37.6	EXISTING SPOT ELEVATION
●	PROPOSED SAS MANHOLE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED WATERLINE



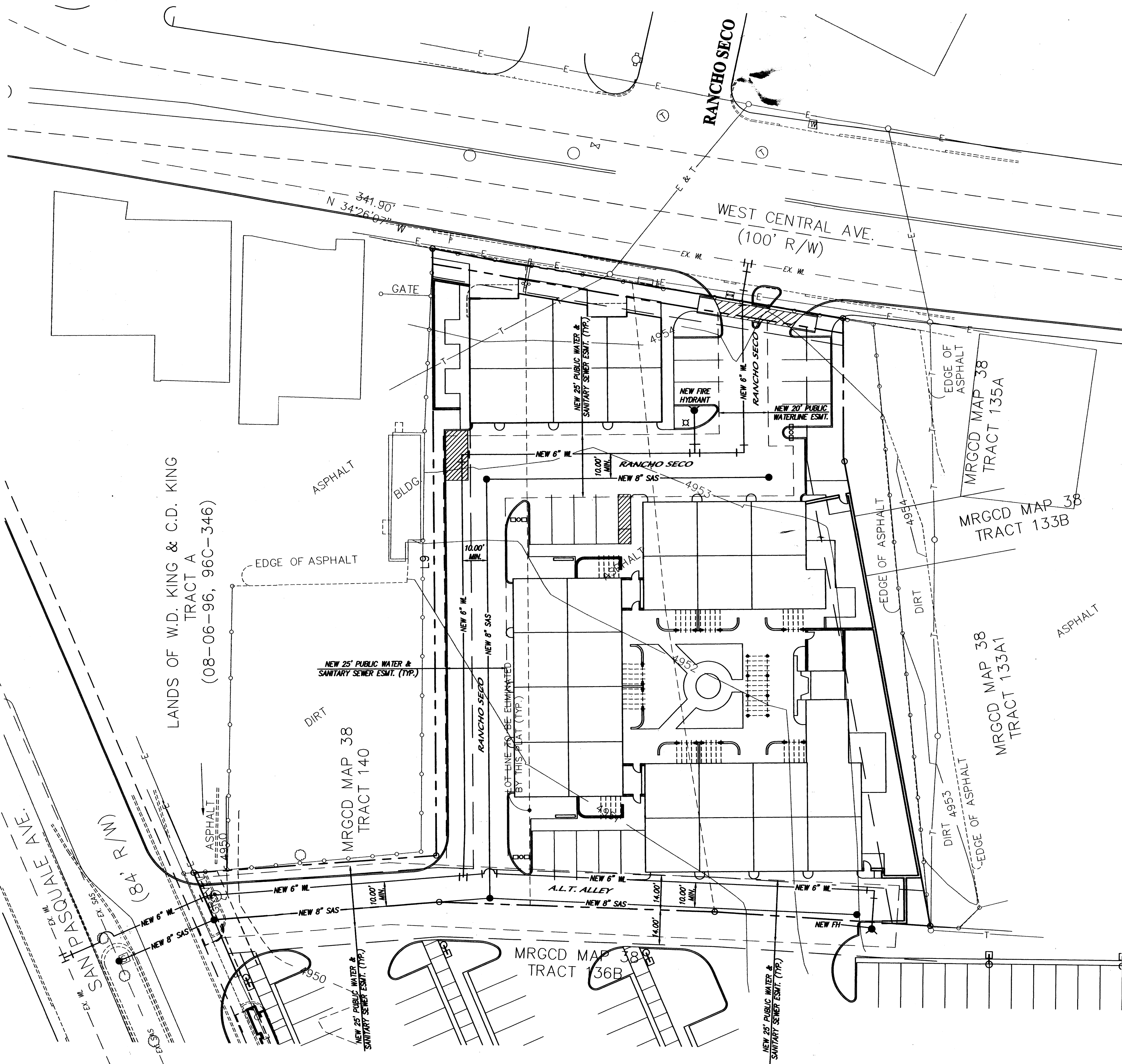
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REVIEWED BY CG
DATE 06.01.04
PROJECT NO. 04037
CONCEPTUAL UTILITY PLAN

dmg MARK GOODMAN & ASSOCIATES, P.A.
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ALBUQUERQUE, NEW MEXICO 87199
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SHEET NO.

C002
4 OF 6

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Sabatini**

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ARCHITECT

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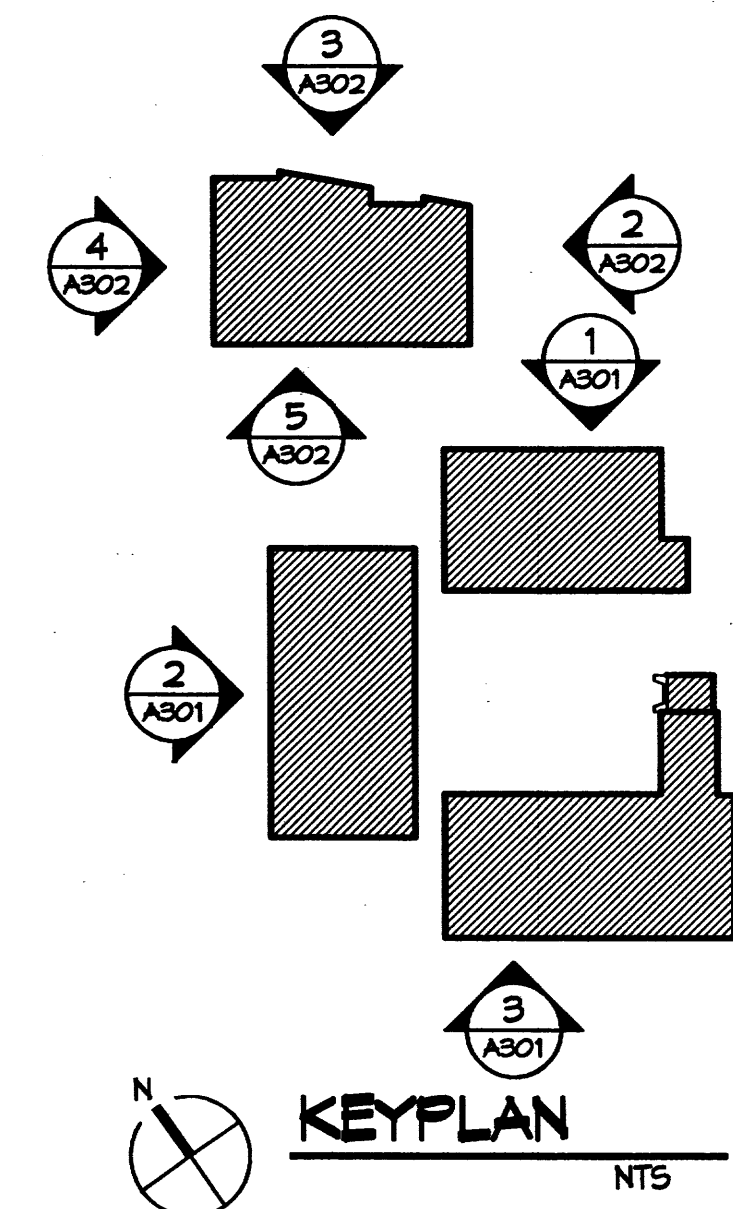
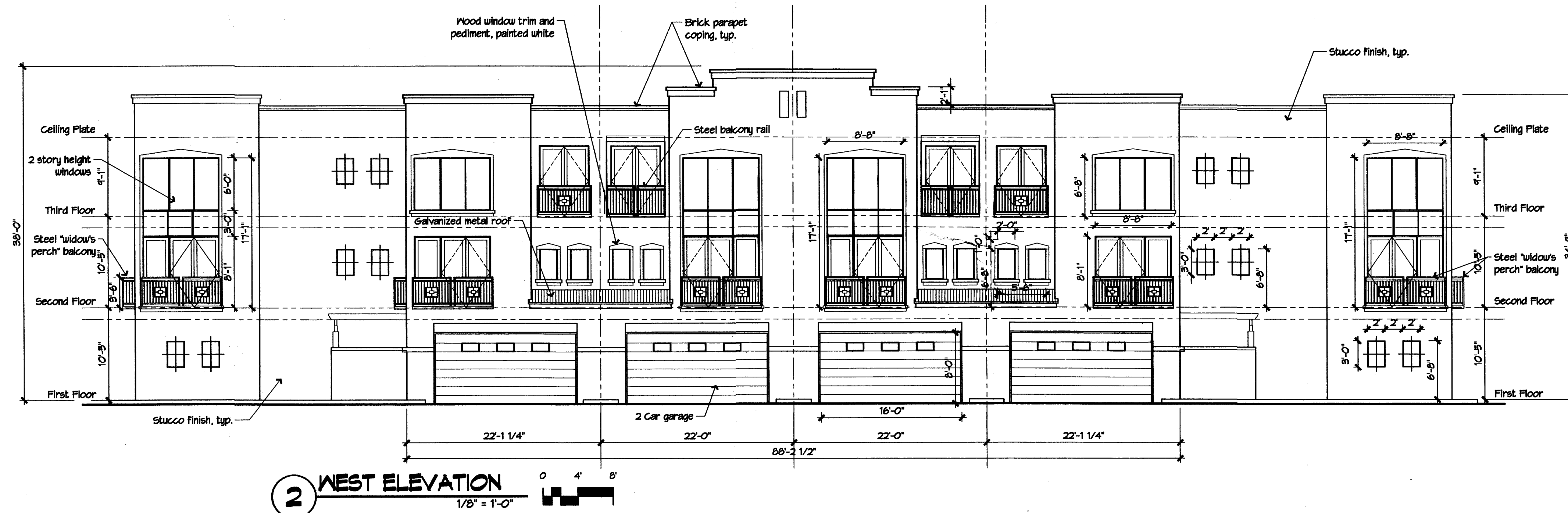
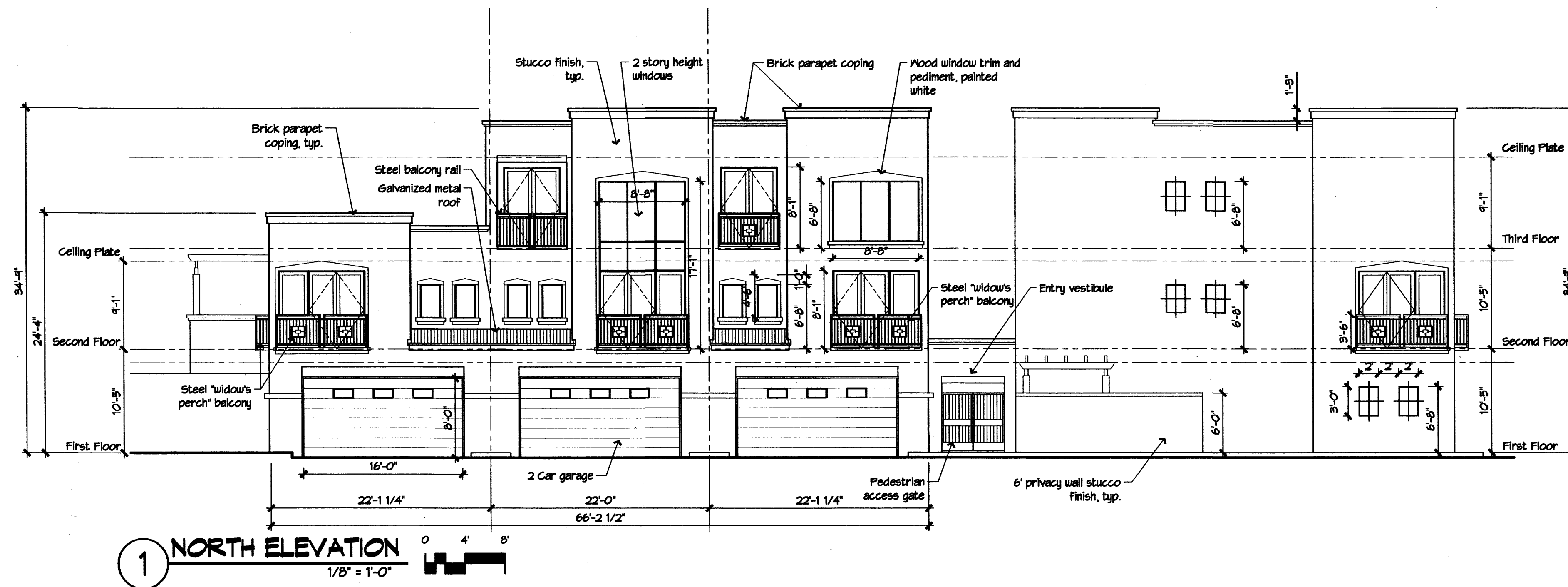
ENGINEER

PROJECT

**Housing @ The
Albuquerque Little Theater**
Central Ave. SW
Albuquerque, New Mexico

FINISH NOTES

- A. All stucco is a light tan color, similar to STO color 20512.
B. All steel railings, balconies, gates, 4 window grilles are painted black, similar to Sherwin-Williams- Black Magic- 6441.
C. All trellis structures, and window trim are painted off-white, similar to Sherwin-Williams- Aesthetic White- 1035.
D. All garage doors, window frames, and door frames are painted off-white, similar to Sherwin-Williams- Aesthetic White- 1035.
E. Metal roofing is galvanized finish.
F. Brick coping is mottled red/brown, similar to Kinney Brick- Old Tucson Q/S.



REVISIONS

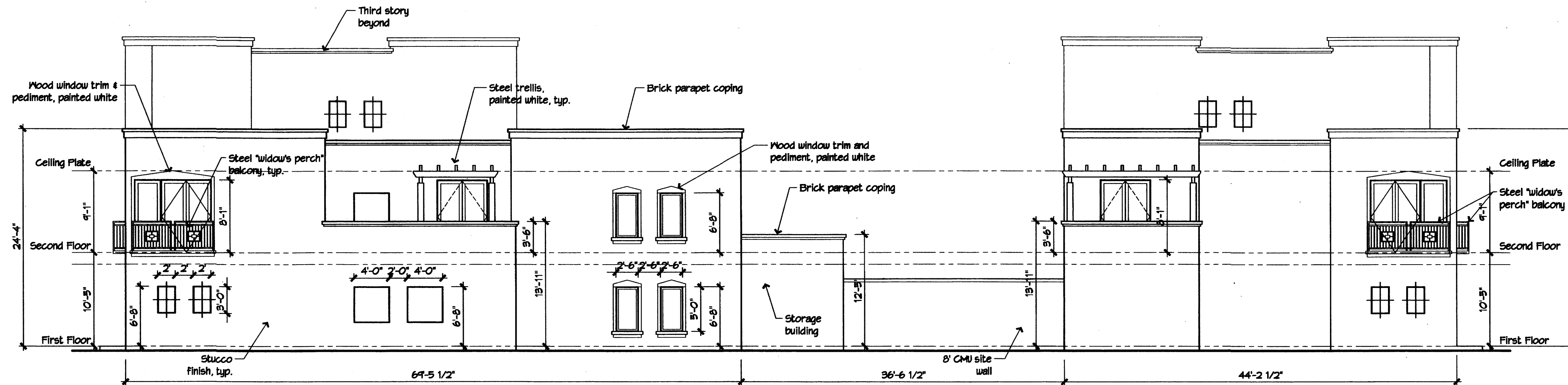
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REVIEWED BY: CG
DATE: 10.26.04
PROJECT NO.: 04081
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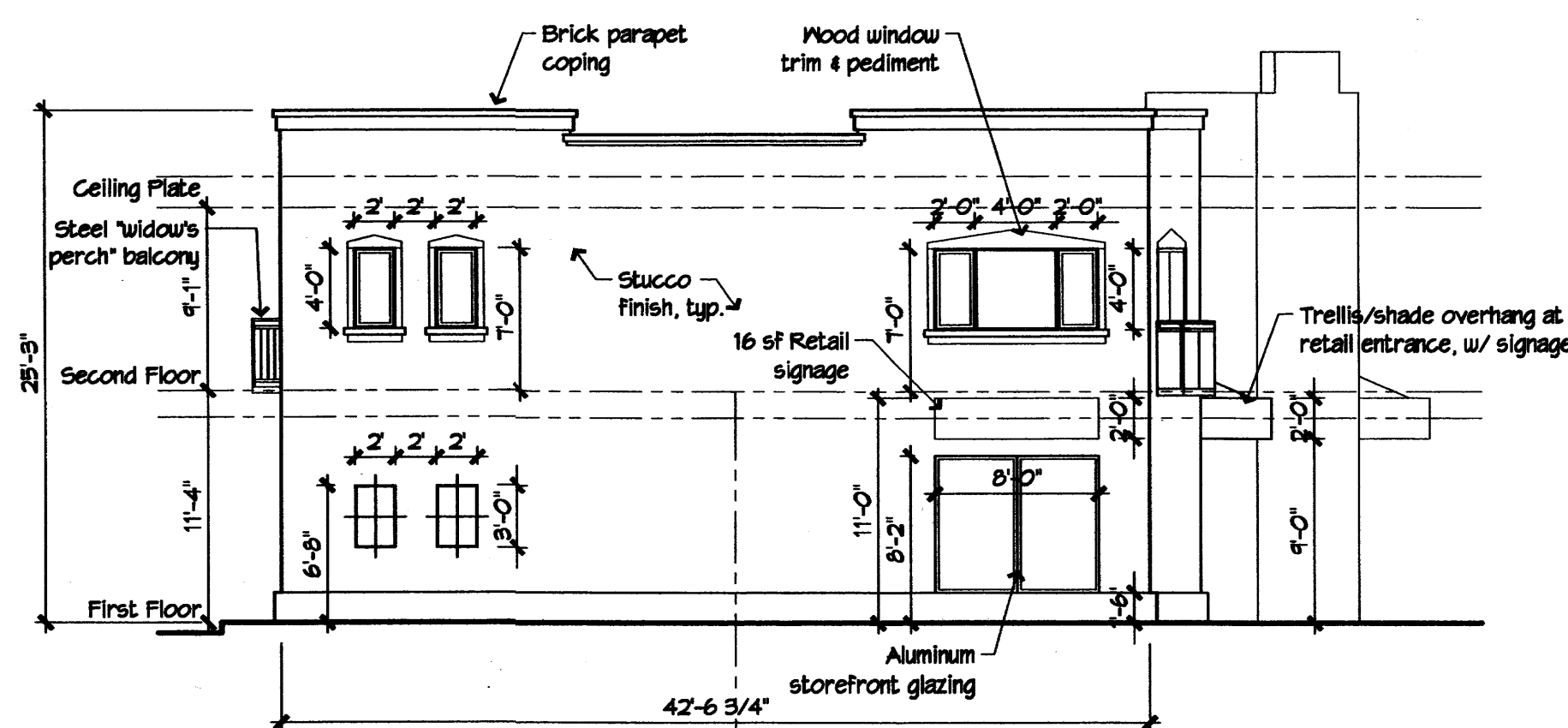
BUILDING ELEVATIONS

SHEET NO.

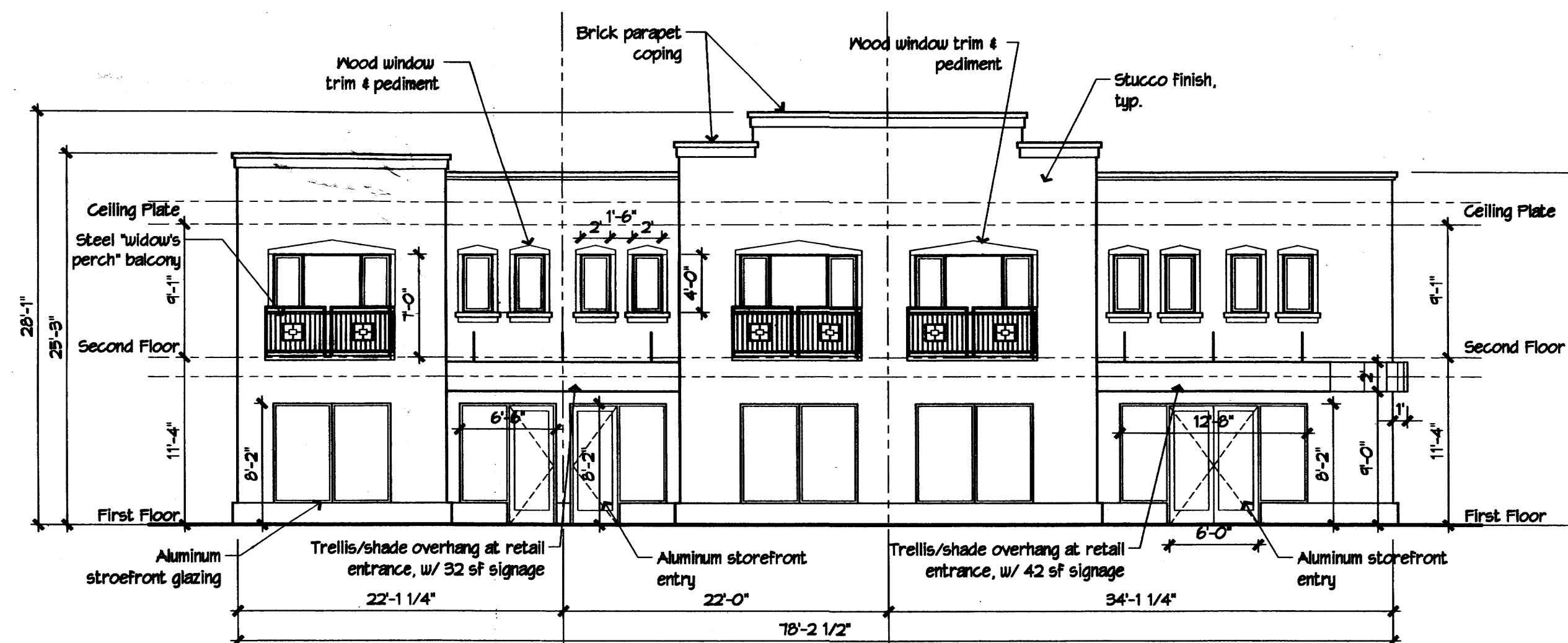
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5 OF 6



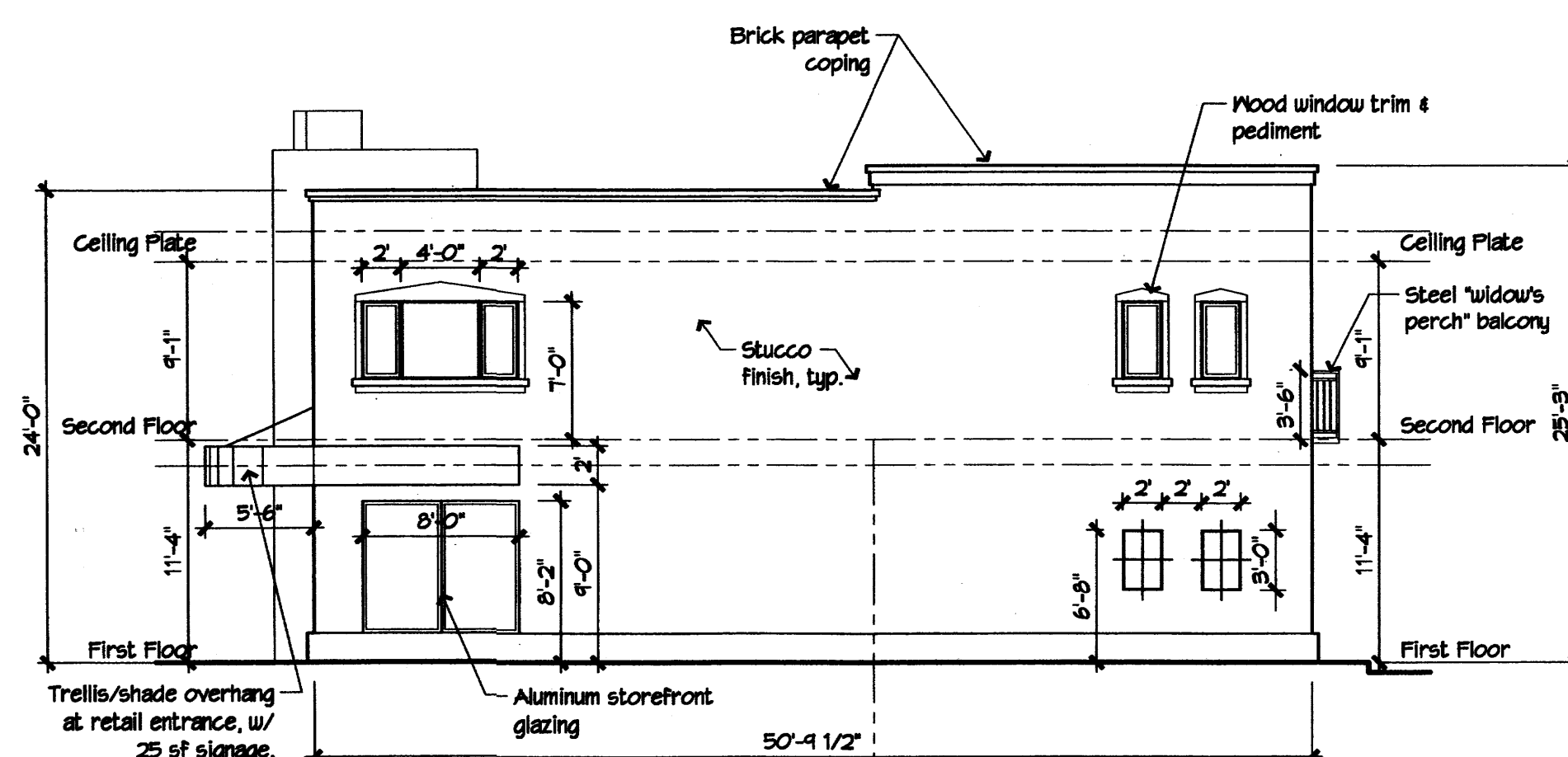
1 EAST ELEVATION
RESIDENCE 1/8" = 1'-0"



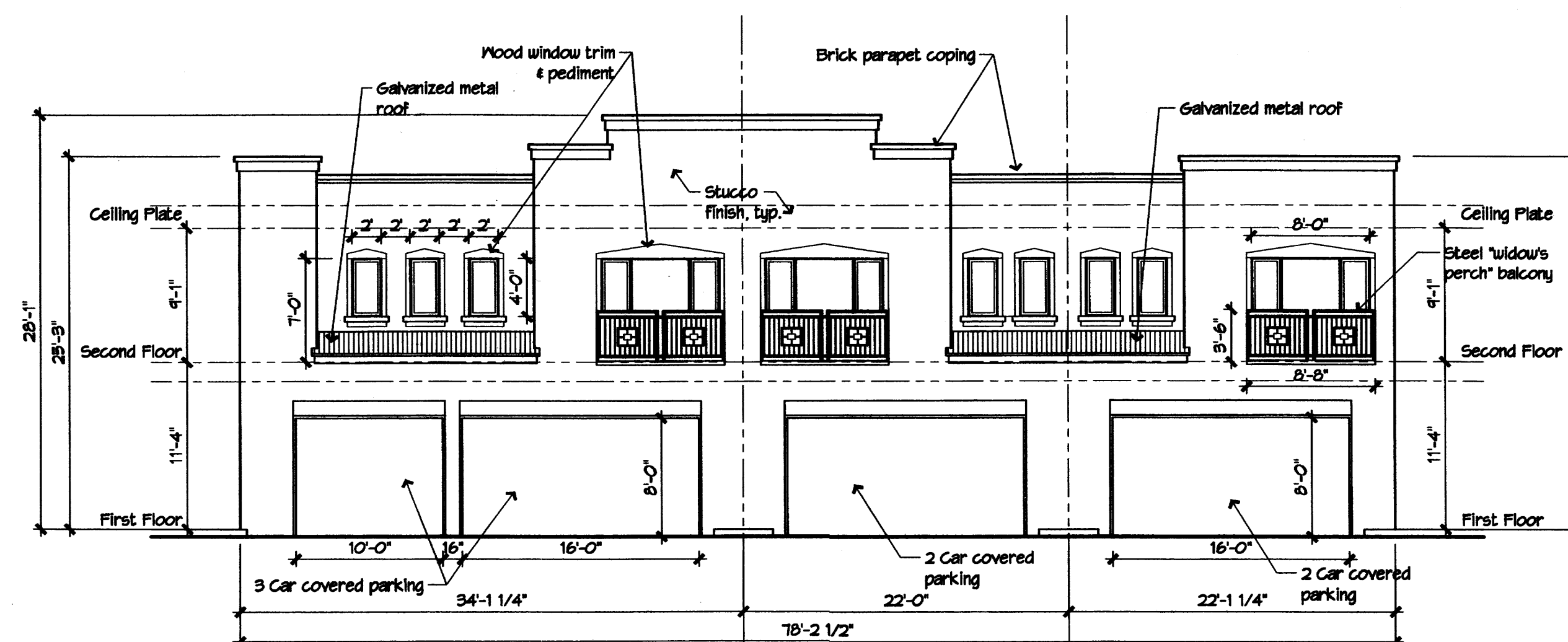
2 EAST ELEVATION
RETAIL/OFFICE 1/8" = 1'-0"



3 NORTH ELEVATION
RETAIL/OFFICE 1/8" = 1'-0"



4 WEST ELEVATION
RETAIL/OFFICE 1/8" = 1'-0"



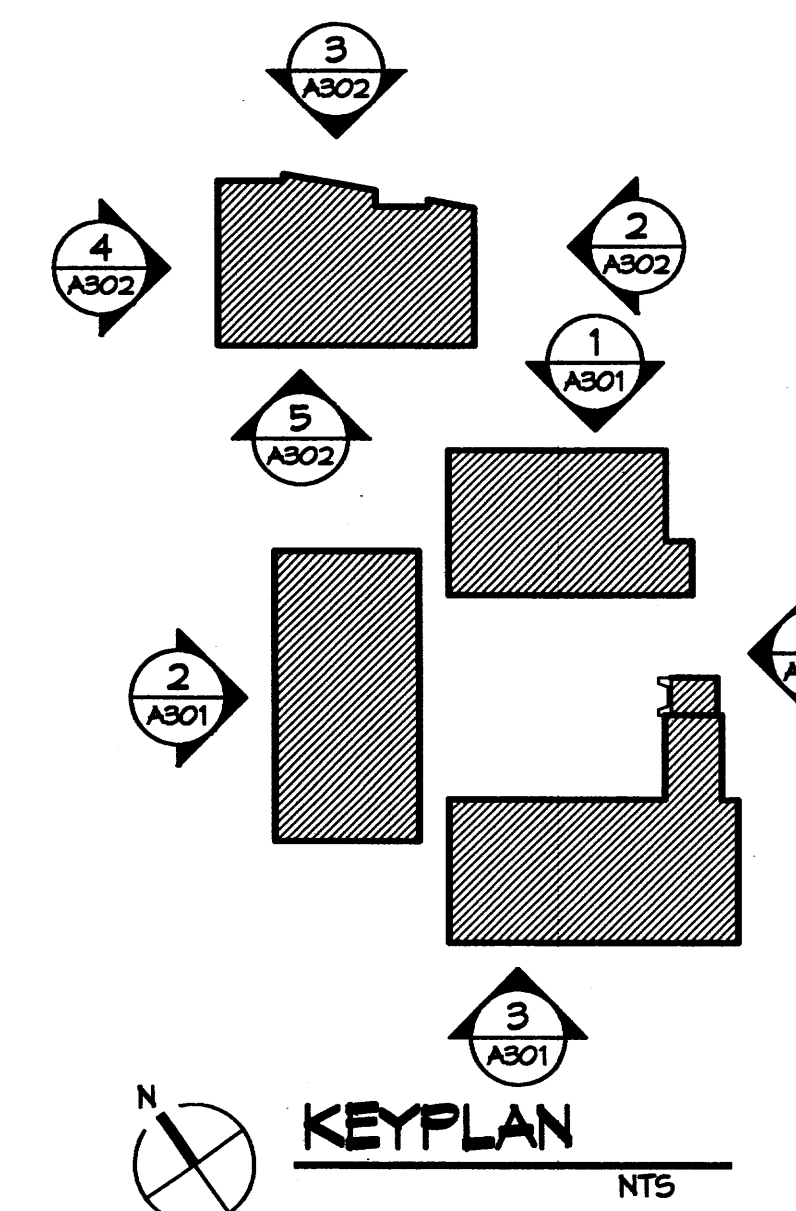
5 SOUTH ELEVATION
RETAIL/OFFICE 1/8" = 1'-0"

FINISH NOTES

- All stucco is a light tan color, similar to STO color 20512.
- All steel railings, balconies, gates, & window grilles are painted black, similar to Sherwin-Williams- Black Magic- 6491.
- All trellis structures, and window trim are painted off-white, similar to Sherwin-Williams- Aesthetic White- 1035.
- All garage doors, window frames, and door frames are painted off-white, similar to Sherwin-Williams- Aesthetic White- 1035.
- Metal roofing is galvanized finish.
- Brick coping is mottled red/brown, similar to Kinney Brick- Old Tucson G/S.

SIGNAGE NOTES

- All signage will be internally illuminated, individual letters, channel type with acrylic face.



REVISIONS	
1	AS01
2	AS01
3	AS01
4	AS02
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