

Complete Ag 7/27/06

AMENDED

DRB CASE ACTION LOG (SITE PLAN B.P.)
REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00991 (SBP)	Project # 1003012
Project Name: ATRISCO GRANT, UNIT 3	
Agent: William McConnell Architect	Phone No.: 293-8777

Project Number 1003012

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 07/19/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

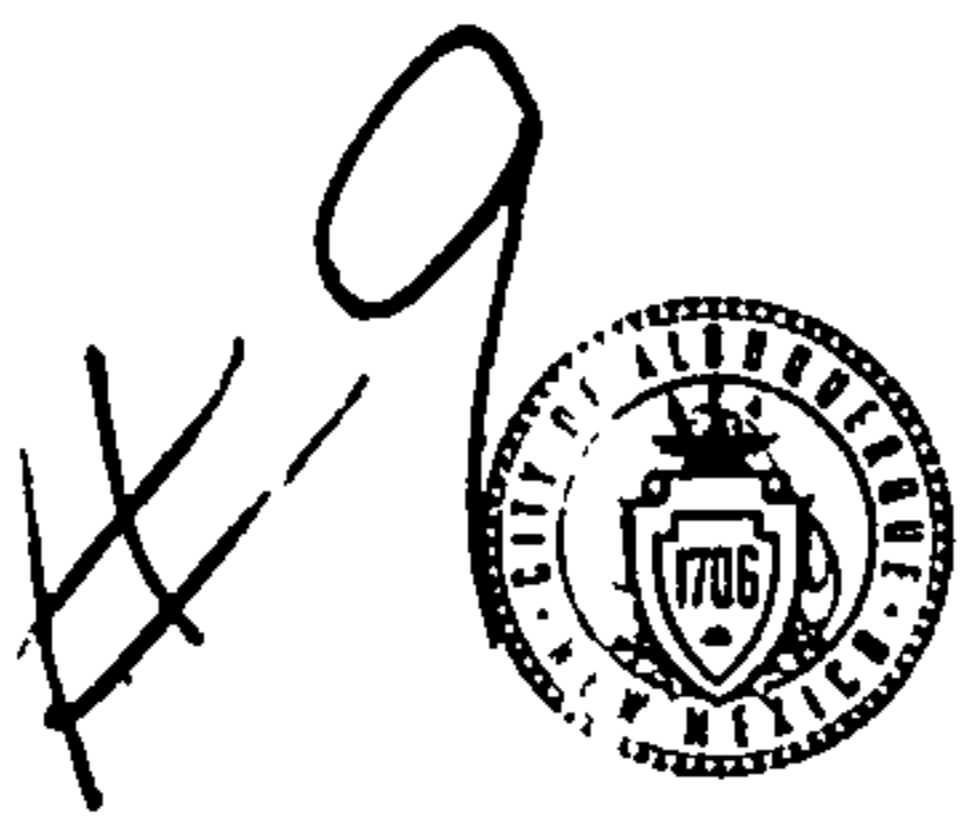
UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 3 Copies of Amended Site Plan

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.



AMENDED

DRB CASE ACTION LOG (SITE PLAN B.P.)
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DRB Application No.: 06DRB-00991 (SBP)	Project # 1003012
Project Name: ATRISCO GRANT, UNIT 3	
Agent: William McConnell Architect	Phone No.: 293-8777

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 07/19/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): 3 Copies of Amended Site Plan
- _____
- _____
- _____

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- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1003012

2. **Project # 1002375**
06DRB-00902 Major-Vacation of Pub
Right-of-Way
06DRB-00903 Major-Vacation of Public
Easements

JACKS HIGH COUNTRY agent(s) for BARRY & SANDY HOPKINS request(s) the above action(s) for all or a portion of Tract(s) A, B, J & K, **THE PALISADES ADDITION**, located on LOMA HERMOSA DR NW, between BLUEWATER NW and YUCCA DR NW containing approximately 1 acre(s). [REF: 02DRB-01852] *[Deferred from 7/19/06]* (J-11) **DEFERRED AT THE AGENT'S REQUEST TO 8/16/06.**

3. **Project # 1004985**
06DRB-00916 Major-SiteDev Plan
BldPermit

JIM MEDLEY ARCHITECT AIA agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on SUNPORT BLVD SE, between UNIVERSITY BLVD SE and I-25 containing approximately 5 acre(s). [REF: Project# 1001067] *[Deferred from 7/19/06]* (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 8/2/06.**

4. **Project # 1000045**
06DRB-00919 Major-Vacation of Public
Easements
06DRB-00920 Minor-Prelim&Final Plat
Approval
06DRB-00921 Minor- SiteDev Plan for
Subd

TIERRA WEST LLC agent(s) for SAM'S EAST INC request(s) the above action(s) for Tract(s) 3B2-A & 3A4-A-1, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2, located on RENAISSANCE BLVD NE, between ALEXANDER BLVD NE and CULTURE DR NE containing approximately 15 acre(s). [REF: 05DRB-00030, 05DRB-00313, 06EPC-00285] (F-16) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECIPROCAL CROSS ACCESS EASEMENTS FOR ALL LOTS AND PLANNING FOR 15-DAY APPEAL PERIOD AND TO RECORD. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

5. **Project # 1003102**
06DRB-00832 Major-Preliminary Plat
Approval
06DRB-00837 Minor-Sidewalk Waiver
06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] [*Deferred from 7/12/06*] (F-21) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/19/06 AND APPROVAL OF THE GRADNG PLAN ENGINEER STAMP DATED 6/8/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06 THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE HOME OWNER'S ASSOCIATION PRESIDENT SHALL SIGN THE FINAL PLAT. IF THERE IS NO HOME OWNER'S ASSOCIATION PRESIDENT THE OWNER CAN SIGN. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 06DRB-00935 Minor-SiteDev Plan
Subd/EPC
06DRB-00936 Minor-SiteDev Plan
BldPermit/EPC

INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER, (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 DU/acre) located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and LAGRIMA DE ORO RD NE containing approximately 2 acre(s). [REF: 05DRB-00911, 06EPC-00146, 06EPC-00147] [**David Stallworth, EPC Case Planner**] [*Deferred from 7/12/06*] (F-21) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE VACATION OF THE 35-FOOT ROADWAY AND PUBLIC UTILITY EASEMENT AND 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE VACATION OF THE 35-FOOT ROADWAY AND PUBLIC UTILITY EASEMENT AND 3 COPIES OF THE SITE PLAN.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1005023**
06DRB-01010 Minor-SiteDev Plan
BldPermit

DON DUDLEY ARCHITECT agent(s) for KEITH CHESHIRE, RIO GRANDE PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 56, **ALAMEDA BUSINESS PARK**, zoned SU-2-IP/EP, located on PASEO ALAMEDA NE, between CALLE ALAMEDA NE and VISTA ALAMEDA NE containing approximately 1 acre(s). [REF: PROJECT # 1000624] (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BUILD NOTES AND PLANNING FOR ADDITIONAL LANGUAGE ON SIGNATURE BLOCK AND 3 COPIES OF THE SITE PLAN.**

7. **Project # 1002651**
06DRB-01011 Minor-Amnd SiteDev Plan
BldPermit

ADVANCED ENGINEERING & CONSULTANTS agent(s) for DEVALMONT VINEYARDS INC request(s) the above action(s) for all or a portion of Lot(s) 25-A, Block(s) 15, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 for IP, located on INTERSTATE 25 FRONTAGE ROAD between CARMEL AVE NE and CORONA AVE NE containing approximately 2 acre(s). [REF: DRB-93-78, ZA-93-38, ZA-93-91] (C-18) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

8. **Project # 1004820**
06DRB-01007 Minor-SiteDev Plan
BldPermit/EPC
06DRB-01008 Minor-Prelim&Final Plat
Approval
06DRB-01009 Minor-Ext of SIA for Temp
Defer SDWK

FANNING BARD TATUM ARCHITECTS agent(s) for AQUATIC CONSULTANTS INC request(s) the above action(s) for all or a portion of Tract(s) D-1-B, Adobe Wells Subdivision (to be known as **AQUATIC CONSULTANTS OFFICE BUILDING**) zoned C-2, located on IRVING BLVD NW and EAGLE RANCH RD NW and containing approximately 3 acre(s). [REF: 06EPC-00470, DRB-95-33] [Carmen Marrone, EPC Case Planner] (B-13) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CARMEN MARRONE'S INITIALS, VACATION OF THE 10-FOOT PUBLIC UTILITY EASEMENT AND 3 COPIES OF THE SITE PLAN. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/19/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: CHANGE "SEWER EASEMENTS" TO "PRIVATE SEWER EASEMENTS", ADD ITEM 4 TO "PURPOSE OF PLAT" AND BOB GAY'S SIGNATURE FOR NMU INC ON THE PLAT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE EXTENSION OF SIA FOR TEMPORARY DEFERRAL OF SIDEWALKS 06DRB01009 WAS WITHDRAWN AT THE AGENT'S REQUEST.

9. **Project # 1003012**
06DRB-00991 Minor-AmendedSiteDev
Plan BldPermit/EPC

WILLIAM A MCCONNELL ARCHITECT agent(s) for BEN PADILLA, TOWER ROAD BAPTIST CHURCH request(s) the above action(s) for all or a portion of Tract(s) 430-A, **ATRISCO GRANT, UNIT 3**, zoned SU-1 special use zone, located on 86TH ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 2 acre(s). [REF: 06EPC-00609] [Petra Morris, EPC Case Planner] (L-9) THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.

10. **Project # 1003993**
06DRB-01006 Minor-SiteDev Plan
BldPermit/EPC
06DRB-01005 Minor-Prelim&Final Plat
Approval
06DRB-01003 Minor-Vacation of Private
Easements

RHOMBUS PA INC agent(s) for GLOBAL STORAGE request(s) the above action(s) for all or a portion of Lot(s) A-37-1, NORTHEAST UNIT, TOWN OF ATRISCO GRANT (to be known as **GLOBAL STORAGE**) zoned SU-1-O-1, located on COORS BLVD NW, between SEQUOIA NW and ST JOSEPHS DR NW containing approximately 4 acre(s). [REF: 05EPC-00369, 05EPC-00370] **[David Stallworth, EPC Case Planner]** *[Deferred from 7/19/06]* (G-11) **DEFERRED AT THE AGENT'S REQUEST TO JULY 26, 2006.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1000965**
06DRB-01002 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for ASW REALTY, ANDALUCIA DEVELOPMENT CO request(s) the above action(s) for Lot(s) 91-A thru 129-A & Tract(s) M-1 & N-1, **ANDALUCIA AT LA LUZ**, zoned SU-1-PRD (5 du acre), located on SEVILLA AVE NW, between MI CORDELLA DR NW and TRES GRACIAS DR NW containing approximately 4 acre(s). [REF: 05DRB-01025] (F-11) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1005021**
06DRB-01000 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for JC PETERSON LLC request(s) the above action(s) for all or a portion of Lot(s) 3, 4, 5, 15, 16 and 17, Block(s) 5, **ESPERANZA ADDITION**, zoned C-1 & P, located on SAN MATEO BLVD SE, between TRUMBULL AVE SE and SOUTHERN AVE SE containing approximately 1 acre(s). *[Deferred from 7/19/06]* (L-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/26/06.**

13. **Project # 1004940**
06DRB-00794 Minor-Prelim&Final Plat
Approval
06DRB-00795 Minor-Vacation of Private
Easements

ISAACSON & ARFMAN PA agent(s) for SIGNATURE J HOMES INC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 30, 31 & 32 (to be known as **CHAMISA ENCANTADA**) zoned R-D residential and related uses zone, developing area, located on GRAYSON RD NW, between DUSKFIRE DR NW and TARRINGTON DR NW containing approximately 1 acre(s). *[Was Indef deferred from 6/14/06]* (J-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/19/06 THE PRELIMINARY PLAT WAS APPROVED WITH A CONDITION: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06 THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

14. **Project # 1004804**
06DRB-00751 Minor-Prelim&Final Plat
Approval

JESUS SANDOVAL agent(s) for ALEX MCCALLUM request(s) the above action(s) for all or a portion of Lot(s) 10 & 11A, Block(s) 8, **CASAS SERENAS**, zoned R-2, located on PENNSYLVANIA SE, between TRUMBULL SE and BELL SE containing approximately 1 acre(s). *[Deferred from 6/7/06 & Indef deferred on a no show 6/21/06]* (L-19) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE & RECORD THE PLAT.**

15. **Project # 1004909**
06DRB-00717 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 2A-2A-2B, **JOURNAL CENTER**, zoned IP, located on JEFFERSON NE, between HEADLINE NE and JOURNAL CENTER NE containing approximately 9 acre(s). *[Deferred from 5/31/06 & 6/7/06 & 6/28/06]* (D-17) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1004986**
06DRB-00922 Minor-Sketch Plat or Plan
- STEPHEN & PATRICIA DWYER request(s) the above action(s) for all or a portion of Lot(s) 2, Tract(s) 2, **FOUR HILLS VILLAGE INSTALLMENT 11-A**, zoned R-1 residential zone, located on STAGECOACH RD SE, between PEDREGOSO PL SE and LA CABRA DR SE containing approximately 1 acre(s). *[Deferred from 7/12/06]* (M-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
17. **Project # 1004999**
06DRB-00965 Minor-Sketch Plat or Plan
- GLEN EFFERTZ request(s) the above action(s) for all or a portion of Tract(s) 316, **OLD TOWN ELEMENTARY SCHOOL**, zoned RA-1, located on MOUNTAIN RD NW, between RIO GRANDE NW and GABALDON NW containing approximately 1 acre(s). (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project # 1005014**
06DRB-00989 Minor-Sketch Plat or Plan
- JACK'S HIGH COUNTRY agent(s) for PRISCILLA MARY CHAVEZ request(s) the above action(s) for all or a portion of Tract(s) 89-B1-B-1 and 89-B-3, **MAP 33**, zoned R-1, located on 12TH ST NW, between MC MULLAN AVE NW and MILDRED AVE NW containing approximately 1 acre(s). (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1005022**
06DRB-01001 Minor-Sketch Plat or Plan

GREG BACZEK agent(s) for PAUL CHENEY & NANCY BACZEK request(s) the above action(s) for all or a portion of Lot(s) 9 and 10, **GRANADA HEIGHTS ADDITION**, zoned R-1, located on the corner of ALISO DR SE and GARFIELD AVE SE, containing approximately 1 acre(s). (K-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **ADJOURNED: 12:05 P.M.**

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

#9

INTER-OFFICE MEMO

DATE: July 13th, 2006
TO: Sheran Matson, DRB Chair
FROM: Petra Morris, Associate Planner
RE: Project #1003012, Tower Road Baptist Church

On June 15th, 2006, the EPC approved, with conditions, a Site Development Plan for Building Permit for Tract 430-A, Unit 3, Atrisco Grant. Staff met with the applicant, William McConnell, on June 27th, 2006 to check for compliance with the Conditions of Approval.

The Site Development Plan for Building Permit (submitted to DRB, but dated May, 2006 and with a an AFD signature and date of 7/6/06) satisfactorily meets the EPC conditions as elaborated in the Official Notification of Decision.

If you have any questions regarding this case, please call me at 924-3343.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003012

AGENDA ITEM NO: 9

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JULY 19, 2006

8



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AGIS ELECTRONIC APPROVAL FORM

DRB Project Case #: 1003012

Subdivision Name: Tract 430A

Surveyor: Thomas D. Johnston

Company/Agent: Wayjohn Surveying

Contact Person: E. W. Keiss E-mail: _____

Phone: 255-2052 Fax: _____

DXF Received Date: 4/27/2004

Hard-Copy Date: 4/27/2004

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other

[Signature]
Approved

4/27/04
Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only

Copied cov3012 to agiscov on 4/27/2004. Contact person notified on 4/27/2004



Site Plan BP

DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>04DRB-00523 (SBP)</u>	Project # <u>1003012</u>
Project Name: <u>Town of Atrisco Grant Unit 3</u>	
Agent: <u>William McConnell Architect</u>	Phone No.: <u>293-8777</u>

Project Number

1003012

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/5/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: SW/ @ PROPERTY LINE
 ADA SPACE DIMENSIONING

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): Mary Pipittelli's initials
 Infrastructure list
 Infrastructure list language

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- ~~Include 3 copies of the approved site plan along with the originals.~~
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 5, 2004 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 10:40 A.M.
B. Changes and/or Additions to the Agenda
C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1003087**
04DRB-00553 Major-Bulk Land Variance
04DRB-00554 Major-Vacation of Public Easements
04DRB-00555 Major-Vacation of Public Easements
04DRB-00556 Major-Preliminary Plat Approval
04DRB-00557 Minor-Sidewalk Waiver
04DRB-00558 Minor-Temp Defer SDWK
- BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) these action(s) for all or a portion of Tract(s) A, WESTLAND NORTH, **WATERSHED SUBDIVISION**, zoned SU-2 FOR PDA RESIDENTIAL RESORT, located on TIERRA PINTADA ST NW AND 98TH ST NW and containing approximately 531 acre(s). [Deferred from 5/5/04] [REF: 03DRB-01869] (H-7, 8 & 9 & J-7 & 8) **DEFERRED AT THE AGENT'S REQUEST TO 5/12/04.**

2. **Project # 1003187**
04DRB-00520 Major-Vacation of Public Easements
04DRB-00521 Major-Preliminary Plat Approval
WITHDRAWN AT AGENT'S REQUEST

ABQ ENGINEERING, INC agent(s) for AMERI-CONTRACTORS, LLC request(s) these action(s) for all or a portion of Tract(s) 5-E, **LANDS OF UNIVERSITY OF NEW MEXICO**, zoned R-1, located on GOLF COURSE RD NW, between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 2 acre(s). (C-12) **WITHDRAWN AT THE AGENT'S REQUEST.**

3. **Project # 1003127**
04DRB-00509 Major-SiteDev Plan Bld Permit

WALLACE L BINGHAM agent(s) for GILBERT ENTERPRISES request(s) this action(s) for all or a portion of Lot(s) 3A4, **EAGLE RANCH SUBDIVISION**, zoned SU-1, located on GOLF COURSE RD NW, between IRVING BLVD NW and the CALABACILLAS ARROYO containing approximately 2 acre(s). [REF: DRB-94-480] *[Deferred from 4/28/04]* (B-12) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

4. **Project # 1003008**
04DRB-00655 Minor-SiteDev Plan BldPermit/EPC

MULLEN - HELLER ARCHITECTURE P.C. agent(s) for WRANGLER PROPERTIES, LLC request(s) this action for all or a portion of Tract(s) C-1A1, **SEVEN BAR RANCH**, zoned SU-1 FOR IP USES, located on THE AMERICAN RD NW between COORS BYPASS NW and COTTONWOOD DR NW containing approximately 2 acre(s). [REF: 03EPC-01664] **[Debbie Stover, EPC Case Planner]** (A-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK EASEMENT, CHANGES TO RADII AND UNI-DIRECTIONAL RAMPS.**

5. **Project # 1003184**
04DRB-00656 Minor-SiteDev Plan
BldPermit

DEKKER/PERICH/SABATINI ARCHITECTS agent(s) for RSF LAND & CATTLE CO., LLC request(s) this action for all or a portion of Tract(s) 1A-2-A-2, **JOURNAL CENTER**, zoned IP industrial park zone, located on LANG AVE NE, between JEFFERSON BLVD NE and HEADLINE BLVD. NE containing approximately 3 acre(s). [REF: 1000560, 04DRB-00089, 04DRB-00028] (D-17) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/5/04 THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND TO MAKE SURE TRANSFORMER IS OUTSIDE STORM DRAIN EASEMENT SIDEWALK EASEMENT.**

6. **Project # 1003378**
04DRB-00559 Minor-SiteDev Plan
BldPermit

GORDON HALL ARCHITECT agent(s) for JOE GONZALES request(s) this action for all or a portion of Lot(s) 4, **VOLCANO BUSINESS PARK, PHASE 1**, zoned SU-1 special use zone, for C-1 & IP, located on TODOS SANTOS ST NW, between OURAY RD NW and LADERA DR NW containing approximately 1 acre(s). [REF:Z-80-87-6] [*Deferred from 4/21/04*] (G-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. Project # 1003012
04DRB-00523 Minor-SiteDev Plan
BldPermit/EPC

WILLIAM MCCONNELL ARCHITECT agent(s) for TOWER ROAD BAPTIST CHURCH, BEN PADILLA request(s) this action for all or a portion of Lot(s) 430, TOWER ROAD BAPTIST CHURCH, TOWN OF ATRISCO GRANT, UNIT 3, zoned SU-1 special use zone Church Facility, located on 86th STREET SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 2 acre(s). [REF: 03EPC-01675, 03EPC-01796] [Mary Piscitelli, EPC Case Planner] [Deferred from 4/14/04](L-9) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK AT PROPERTY LINE, ADA SPACE DIMENSIONING AND TO PLANNING FOR MARY PISCITELLI'S INITIALS AND INFRASTRUCTURE LIST LANGUAGE.

04DRB-00653 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC. agent(s) for PERFORMANCE TOOL & EQUIPMENT, BEN PADILLA, request(s) this action for all or a portion of Tract(s) 430, TOWN OF ATRISCO GRANT, UNIT 3, zoned SU-1 special use zone Church Facility, located on TOWER RD SW, between 86TH ST SW and 90TH ST SW containing approximately 2 acre(s). [REF: 03DRB-01720, 04DRB-00523, 03EPC-01675, 04EPC-00145] (L-9) PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SAD ROLL ADJUSTMENT AND TRANSPORTATION DEVELOPMENT FOR 4-FOOT DEDICATION ON 86TH STREET.

8. **Project # 1000184**
04DRB-00603 Minor-SiteDev Plan
BldPermit/EPC

BRISCOE ARCHITECTS, P.C. agent(s) for RICHARD CHAVES request(s) this action(s) for all or a portion of Tract(s) A2, **BANNER SQUARE ADDITION**, zoned SU-2/SU-1/P.U.D, located on ARNO ST NE, between CENTRAL NE and TIJERAS NE containing approximately 1 acre(s). **[Mary Piscitelli, EPC Case Planner] [Deferred from 4/28/04] (K-14) SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR A COPY OR EVIDENCE OF SANITARY SEWER MAINTENANCE AGREEMENT FOR SHARED SEWER OUTFALL AND PLANNING FOR MARY PISCITELLI'S INITIALS.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1000325**
04DRB-00640 Minor-Ext of SIA for Temp
Defer SDWK

TIERRA WEST LLC agent(s) for STILLBROOKE HOMES INC request(s) this action for all or a portion of Lot(s) 33-52 and 59-64, **SPANISH SUN**, zoned SU-1 PRD 15 DU/AC, located on SAN MATEO AVE NE, between MONTGOMERY BLVD NE and DOUGLAS MACARTHUR RD NE. [REF: Z-84-82, Z-84-82-1, Z-84-82-2, Z-84-82-3, Z-78-1651, DRB-99-219] *[Deferred from 5/5/04]* (G-17) **DEFERRED AT THE AGENT'S REQUEST TO 5/19/04.**

10. **Project # 1003123**
04DRB-00347 Minor-Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for EILEEN DEVEREUX & STEFAN WATSON request(s) this action for all or a portion of Tract(s) 77B1, **MRGCD MAP 36**, zoned S-M1, located on 5TH ST NW, between HAINES AVE NW and 6TH ST NW containing approximately 2 acre(s). [REF: 03DRB-02044] *[Final Plat was indefinitely deferred for SIA, deferred from 5/5/04]* (H-14) **DEFERRED AT THE AGENT'S REQUEST TO 5/12/04.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

11. **Project # 1003393**
04DRB-00651 Minor-Sketch Plat or Plan
CRAIG L. KEMPER request(s) this action for all or a portion of Lot(s) 12-16, Block(s) 8, **ENCHANTED MESA ADDITION**, zoned C-1 neighborhood commercial zone, located on CHELWOOD ST NE, between MENAUL NE and CANDELARIA NE containing approximately 1 acre(s). [Was issued Project #1003409 in error] (H-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

12. **Project # 1003411**
04DRB-00654 Minor-Sketch Plat or Plan
MARILYN KELLER agent(s) for SEAN GILLIGAN / SG PROPERTIES, LLC request(s) this action for all or a portion of Block(s) 1, Tract(s) 12-15, **GRANT TRACK**, zoned SU-2, MRO, located on GRANITE ST NW, between 5TH ST NW and 6TH ST NW containing approximately 1 acre(s). (J-14). **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. Approval of the Development Review Board Minutes for April 21, 2004. **DRB MINUTES FOR APRIL 21, 2004 WERE APPROVED.**

ADJOURNED: 10:40 A.M.

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet

DRB- 1003012

Item No. ~~6~~ ⁷

Zone Atlas L-9

DATE ON AGENDA 5-5-04

INFRASTRUCTURE REQUIRED YES NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- SKETCH PLAT PRELIMINARY PLAT FINAL PLAT
 SITE PLAN REVIEW AND COMMENT SITE PLAN FOR SUBDIVISION AMENDM.
 SITE PLAN FOR BUILDING PERMIT

No. Comment

- 1) Need infrastructure list. (Only act on preliminary plat)
- 2) 86th street is a collector with bikelanes. Dedication of 4' required. (assuming this section w/ bikelanes was built with SAD)
- 3) Is Tower Road in place? (SAD also? Bikelanes?)

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1299 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003012

AGENDA ITEM NO: 7

SUBJECT:

- | | | |
|------------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** **(FP)** TO: (UD) **(CE)** **(TRANS)** (PKS) **(PLNG)**

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: May 5, 2004

**DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet**

DRB- 1003012 Item No. ⁷/~~6~~ Zone Atlas L-9

DATE ON AGENDA 5-5-04

INFRASTRUCTURE REQUIRED (X) YES () NO

CROSS REFERENCE: _____

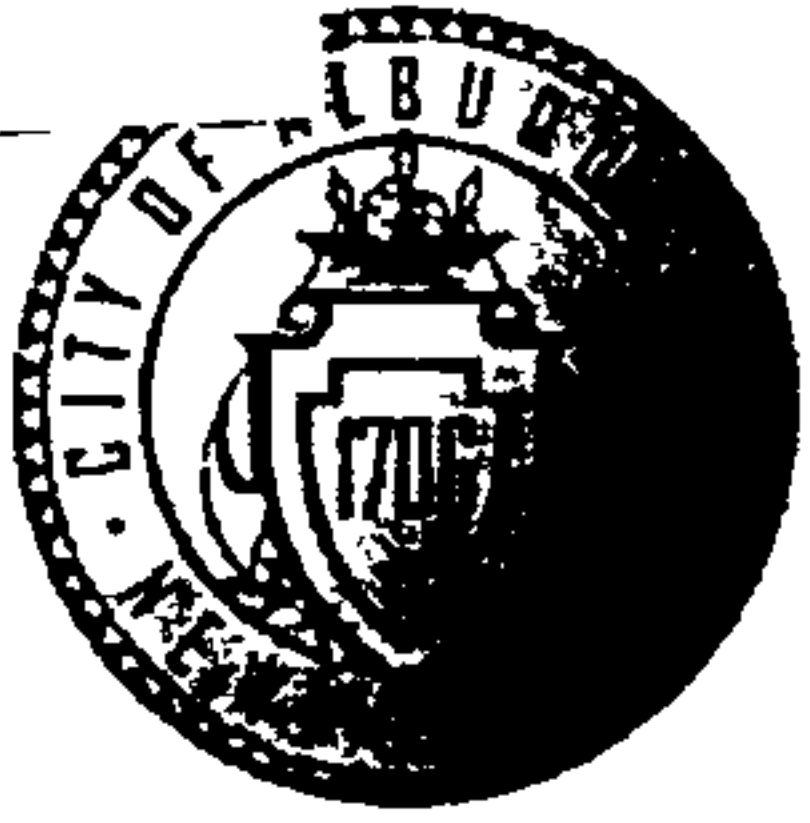
TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT (X) PRELIMINARY PLAT (X) FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION AMENDM.
- () SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
------------	----------------

- 1) Need infrastructure list. (Only act on preliminary plat)
- 2) 86th street is a collector with bikelanes. Dedication of 4' required. (assuming this section w/ bikelanes was built with SAD)
- 3) Is Tower Road in place? (SAD also? Bikelanes?)

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 21, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:50 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1000131**
04DRB-00460 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA agent(s) for BROADWAY DEVELOPMENT CO. request(s) the above action(s) for all or a portion of **BROADWAY INDUSTRIAL CENTER, UNIT 2**, zoned SU-2 HM, located on SAN JOSE AVE, between BROADWAY BLVD and I-25 containing approximately 45 acre(s). [REF: DRB-97- 271, 04DRB-00383] (M-14) **TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1000364**
04DRB-00448 Major-Two Year SIA
- BRET OR DEBRA A TABOR request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) 1-B-1, **CHANSLOR'S REPLAT OF GALLAGHER ADDITION**, zoned C-2 community commercial zone, located on CENTRAL AVE NE, between BURMA NE and LINN AVE NE containing approximately 1 acre(s). [REF: DRB-97-396, 00410-00363] (L-22) **TWO-YEAR EXTENSION OF THE**
3. **Project # 1000515**
04DRB-00444 Major-Two Year SIA –
Procedure "B" Modified
- WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Tract(s) B, **MIREHAVEN ARROYO, THE CROSSING**, zoned SU-2/R-LT, located west of UNSER BLVD NW, between LADERA DR NW and TIERRA PINTADA ST containing approximately 50 acre(s). [REF: 00420-00632, 00440-00631, 02500-00159] (H-9) **TWO-YEAR EXTENSION OF**
4. **Project # 1003354**
04DRB-00458 Major-Vacation of Public
Easements
04DRB-00457 Major-Preliminary Plat
Approval
04DRB-00459 Minor-Temp Defer SDWK
04DRB-00461 Minor-Sidewalk Waiver
- ISAACSON & ARFMAN P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) A, THE TRAILS, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**), zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 14 acre(s). [REF: 1002962, 03DRB-01528] (C-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/21/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/24/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: AN APPROVED PERIMETER WALL SUBMITTAL IS REQUIRED PRIOR TO CONSTRUCTION TAKING PLACE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAVIER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

5. **Project # 1003353**
04DRB-00454 Major-Vacation of Public Easements
04DRB-00452 Major-Preliminary Plat Approval
04DRB-00456 Minor-Sidewalk Waiver
04DRB-00453 Minor- Temp Deferral of Sidewalk

ISAACSON & ARFMAN, P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) B, THE TRAILS, (To be known as **HERITAGE @ THE TRAILS, UNIT 2**, zoned R-D, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 10 acre(s). [REF: 1002962, 03DRB-01528 (C-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/21/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/24/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: AN APPROVED PERIMETER WALL SUBMITTAL IS REQUIRED PRIOR TO CONSTRUCTION TAKING PLACE. A SIDEWALK VARIANCE FOR WAVIER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE SIDEWALK WAIVER EXHIBIT HAS BEEN REVISED TO SHOW LOT 27 IS NOT TO BE INCLUDED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1001074**
04DRB-00564 Minor-SiteDev Plan
BldPermit/EPC

LEE GAMELSKY ARCHITECTS P.C. agent(s) for CITY OF ALBUQUERQUE, OPEN SPACE DIVISION request(s) the above action(s) for all or a portion of Tract(s) R-1A, C1, **ROBERSON RANCH** and Tract(s) F, **MARIAN ROCCO**, zoned SU-1 FOR MPOS, located on COORS BLVD NW, between BOSQUE MEADOWS NW and LA ORILLA NW containing approximately 56 acre(s). [REF: 04EPC-00129, Z-88-20, DRB-94-104, DRB-97-145, V-97-52, 01EPC-00244, 01DRB-00614] [**Debbie Stover, EPC Case Planner**] (D-13) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. **Project # 1002459**
04DRB-00566 Minor-SiteDev Plan
BldPermit/EPC
04DRB-00567 Minor- SitePlan Subd/EPC
- TIERRA WEST LLC agent(s) for SCM PROPERTY COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) 358 & 359 and a portion of Tract(s) A21, **W. H. BRUNELL ADDITION & UNIT 8 ATRISCO GRANT**, zoned SU-1 COMMUNITY DEVELOPMENT C-2 USES & TRUCK TERM, located on COORS BLVD NW, between OURAY RD NW and QUAIL RD NW containing approximately 8 acre(s). [REF: Z-71-204, Z-77-155, 03EPC-00159, 03EPC-00160, 03EPC-02187] [**Juanita Vigil, EPC Case Planner**] (H-11) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD. SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**
8. **Project # 1003378**
04DRB-00559 Minor-SiteDev Plan
BldPermit
- GORDON HALL ARCHITECT agent(s) for JOE GONZALES request(s) the above action(s) for all or a portion of Lot(s) 4, **VOLCANO BUSINESS PARK, PHASE 1**, zoned SU-1 special use zone, for C-1 & IP, located on TODOS SANTOS ST NW, between OURAY RD NW and LADERA DR NW containing approximately 1 acre(s). [REF:Z-80-87-6] [*Deferred from 4/21/04*] (G-10) **DEFERRED AT THE AGENT'S REQUEST TO 5/5/04.**
9. **Project # 1003383**
04DRB-00569 Minor-SiteDev Plan
BldPermit
- MULLEN HELLER ARCHITECTURE PC agent(s) for AVALON INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 3-C, **LANDS OF LOS ANGELES INVESTORS**, zoned SU-2, M1, located on PASEO DEL NORTE FRONTAGE RD NE, between JEFFERSON NE and INTERSTATE 25 containing approximately 2 acre(s). [*Deferred from 4/21/04*] (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 4/28/04.**



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003012

AGENDA ITEM NO: 10

SUBJECT:

- | | | |
|-------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Need concurrent platting action.

RESOLUTION:

indef

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: April 21, 2004

10. **Project # 1003012**
04DRB-00523 Minor-SiteDev Plan
BldPermit/EPC

WILLIAM MCCONNELL ARCHITECT agent(s) for TOWER ROAD BAPTIST CHURCH, BILL PADILLA request(s) the above action(s) for all or a portion of Lot(s) 430, TOWER ROAD BAPTIST CHURCH, **TOWN OF ATRISCO GRANT, UNIT 3**, zoned SU-1 special use zone Church Facility, located on 86th STREET SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 2 acre(s). [REF: 03EPC-01675, 03EPC-01796] **[Mary Piscitelli, EPC Case Planner]** *[Deferred from 4/14/04]* (L-9) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1002423**
04DRB-00565 Minor-Final Plat Approval

BOHANNAN HUSTON, INC agent(s) for CENTEX HOMES, request(s) the above action(s) for all or a portion of Tract(s) E-1, **EL RANCHO GRANDE, UNIT 10**, zoned R-2 for R-T and R-LT, located on CARTAGENA AVE SW, between GIBSON BLVD SW and DE ANZA DR SW containing approximately 20 acre(s). [REF: 03DRB-00749] (N-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1002663**
04DRB-00552 Major-Final Plat Approval

GREATER ALBUQUERQUE HOUSING PARTNERSHIP, request(s) the above action(s) for all or a portion of Tract(s) E, NEW MEXICO CREDIT CORPORATION, **EL PORVENIR**, zoned C-3, located on BROADWAY NE, between LOMAS BLVD NE and MARBLE NE containing approximately 2 acre(s). (J-14) **FINAL PLAT WAS APPROVED AND DELEGATED TO PLANNING FOR REAL PROPERTY'S SIGNATURE.**

13. **Project # 1002798**
04DRB-00572 Minor-Vacation of Private Easements

ADVANCED ENGINEERING & CONSULTING agent(s) for WILLIAM HOLLER request(s) the above action(s) for all or a portion of Tract(s) 83-A-2, M.R.G.C.D. MAP 34, Tract(s) A, RIMA ADDITION, and Tract(s) A-1, **LANDS OF CONRADO GARCIA**, zoned C-2, located on CANDELARIA RD NW, between 12TH ST NW and RIO GRANDE BLVD NW containing approximately 3 acre(s). [REF: Z-72-Z16, 03DRB-01122, 03EPC-01673, 03EPC-01674] (G-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

14. **Project # 1003381**
04DRB-00561 Minor-Prelim&Final Plat Approval

SURV-TEK, INC agent(s) for CUMMINS ROCKY MOUNTAIN, LLC request(s) the above action(s) for all or a portion of Block(s) 10-A, Tract(s) 6-A, **FRANCISCAN ACRES**, zoned SU-2 / M-1, located on INDIAN SCHOOL RD NE, between COMMERCIAL ST NE and BROADWAY BLVD NE containing approximately 6 acre(s). [REF: DRB-99-240, V-99-78] (H-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS SECTION TO EVALUATE DEDICATION REQUIREMENTS AND RADIUS DEDICATIONS AND PLANNING FOR AGIS DXF FILE.**

15. **Project # 1002848**
04DRB-00571 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for PJ DEVELOPMENT COMMERCIAL CONSTRUCTION request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2, SU-1 AUTO SALES SERVICE REP, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY NE and SAN PEDRO DRIVE NE containing approximately 5 acre(s). [REF: 1002201, DRB-95-74, 03DRB-01270] (C-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PERIMETER WALL SUBMITTAL AND PROPERTY MANAGEMENT'S SIGNATURE.**

16. **Project # 1003384**
04DRB-00570 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for RSF LAND & CATTLE COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) TR.MM-1, **SEVEN BAR RANCH**, zoned C-2 (SC), located on SEVEN BAR LOOP RD NW, between COTTONWOOD DR NW and OLD AIRPORT AVE NW containing approximately 7 acre(s). [REF: AX-85-28, Z-85-34-1(2 SD-78-3-2, Z-93-35, CZ-85-72] (B-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO CITY ENGINEER FOR CROSS LOT DRAINAGE EASEMENT AND NEW MEXICO UTILITIES INC. SIGNATURE ON THE PLAT.**

17. **Project # 1003291**
04DRB-00528 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JOSEPH & KATHLEEN COWHAM request(s) the above action(s) for all or a portion of Tract(s) 14, M.R.G.C.D. MAP 35, **LANDS OF COWHAM-BOWEN**, zoned R-LT residential zone, located on RIO GRANDE BLVD NW, between CONTRERAS PL NW and MATTHEW AVE NW containing approximately 2 acre(s). [REF: 04DRB-00322] [*Deferred from 4/14/04*] (H-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

18. **Project # 1003260**
04DRB-00213 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for STEVEN KANIG request(s) the above action(s) for all or a portion of Lot(s) 2-A, **LANDS OF ALBUQUERQUE BOARD OF REALTORS**, zoned C-3, located on UNIVERSITY BLVD NE, between MENAUL BLVD NE and INDIAN SCHOOL BLVD NE containing approximately 3 acre(s). [*Was Indefinitely deferred at the agent's request on 2/24/04*] (H-15) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/21/04 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

19. **Project # 1003133**
03DRB-02076 Minor- Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for TRICOR SOUTHWEST CORP. request(s) the above action(s) for all or a portion of Lot(s) L-1, M,N,P, **FRANKLIN PLAZA**, zoned C-3/C-2 (SU), located on CENTRAL NE, between JUAN TABO NE and CENTRAL NE containing approximately 9 acre(s). [REF: Z-88-53] [Deferred from 1-7-04] *[The Final Plat was Indefinitely Deferred on 1/21/04]* (L-22) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

20. **Project # 1002798**
04DRB-00562 Minor-Sketch Plat or Plan

MARQUEZ SURVEYING, agent(s) for WILLIAM HOLLER request(s) the above action(s) for all or a portion of Tract(s) A, RIMA ADDITION AND Tract(s) A, **LANDS OF CONRADO GARCIA**, zoned C-2, RA-2, located on CANDELARIA NW, between SAN ISIDRO NW and LVA'S LANE NW containing approximately 3 acre(s). [REF: 03EPC-01673, 03EPC-01674] (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1003280**
04DRB-00568 Minor-Sketch Plat or Plan

TIERRA WEST LLC agent(s) for STILLBROOKE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 168, **TOWN OF ATRISCO GRANT, UNIT 6**, zoned R-1, located on GONZALES RD SW, between OASIS DR SW and CORREGIDOR DR SW containing approximately 5 acre(s). (K-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1003382**
04DRB-00563 Minor-Sketch Plat or Plan

ENCINO DEVELOPMENT & MANAGEMENT c/o MAC MANAGEMENT, request(s) the above action(s) for all or a portion of Tract(s) A-1, **LADERA HEIGHTS SUBDIVISION**, zoned R-3, located on the east side of LADERA RD NW, north of SEQUOIA NW and containing approximately 4 acre(s). (G-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

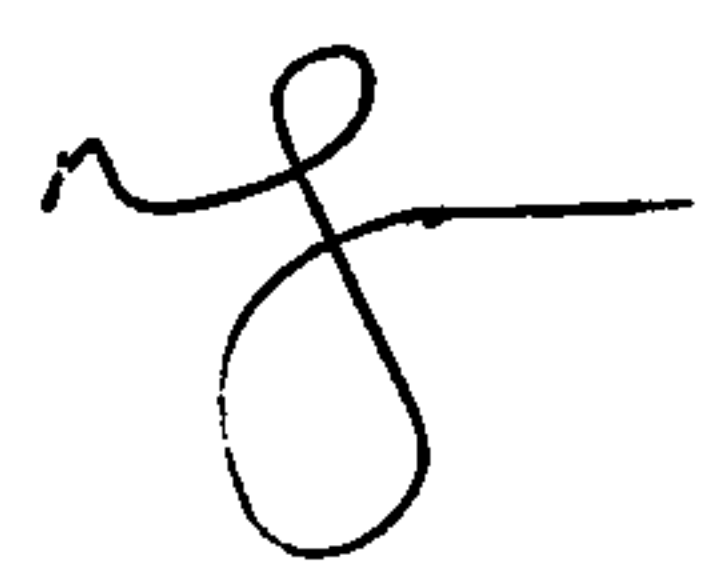
23. Approval of the Development Review Board Minutes for April 7, 2004. **THE APRIL 7, 2004 DEVELOPMENT REVIEW BOARD MINUTES WERE APPROVED.**

ADJOURNED: 11:50 A.M.

#10

INTEROFFICE MEMORANDUM

TO: SHERAN MATSON, DRB CHAIR
FROM: MARY PISCITELLI, EPC STAFF PLANNER
SUBJECT: PROJECT # 1003012
DATE: 4/20/04
CC: APPLICANT



This memo will act as my comments to this record. I was the EPC case planner for the zone map amendment for this site, approved by the EPC in 2003, and was the case planner for the site development plan for building permit, approved by the EPC in March 2004. Certain conditions were placed on the site development plan for building permit. Most of these conditions have been met in the enclosed DRB submittal.

A requirement for replatting was conditioned by the EPC to establish zoning boundaries for the SU-1 zoning. The replat was specified in 2003 with the zone map amendment and was not done at that time. The Zoning Certification was issued inadvertently before a replat occurred. This replat will need to occur at this time, so the SU-1 zone boundaries are clearly indicated. This requirement does not appear to be met in the plan set under this application. I recommend that if the replatting has yet to be submitted, that the site plan for building permit should not be finalized until the replat is finalized.

Conditions #3 and 4 concerning the landscaping on the site have been adequately met. According to the Zoning Code, General Provisions for Landscaping, the percentage of living landscape coverage on the site should be 75% of the 15% required site area. The EPC allowed that the living landscaping could be 70% rather than 75% on this SU-1 zoned site, as Condition #4 expresses. However, that 70% is required to be living landscape, not gravel mulch. The applicant has minimized the gravel mulch on the site for the 86th Street and Tower Road frontages. It appears that the Blue grama gras is to be used on the 86th Street frontage for ground cover (note P) and blue grama grass and santolina on the Tower Road street frontage (note P), with some trees (Desert willow or Chinese Pistache) and shrubs and various ground covers in the end islands. The plans as submitted appears to satisfy the intent of the conditions. Note 5 indicates that the area to the south of the building footprint is for future expansion, and so landscaping is temporary. This area is the only temporary landscaped area on the site permitted by the EPC.

The EPC chose to defer many building issues to a future phase of the building, concerning exterior materials and features of the building. The EPC decided to allow this site plan to move forward to the DRB and be constructed based on the applicant's testimony at the hearing. Condition #6 indicates the future expansion and the EPC's requirements for the building to be done at that time. It appears that other conditions specified by the EPC have been met on this site plan for building permit.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 14, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:00 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000662**
04DRB-00370 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST request(s) the above action(s) for all or a portion of Tract(s) 3A3A1, **RENAISSANCE CENTER**, zoned SU-1 special use zone FOR IP, located on MISSION BLVD NE, between ALEXANDER BLVD NE and CULTURE DR NE [REF:03DRB-00468, 00469] (F-16) **AN EXTENSION OF THE SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED TO JANUARY 8, 2005.**

2. **Project # 1002593**
04DRB-00372 Major-Vacation of
Public Easements
04DRB-00371 Major-Preliminary Plat
Approval
04DRB-00373 Minor-Sidewalk Waiver
04DRB-00374 Minor-Temp Defer
SDWK

BOHANNAN HUSTON, INC. agent(s) for LAS VENTANAS LTD., PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) 29B & 29D, VENTANA RANCH SUBDIVISION (to be known as **VISTA DE ARENAL, UNIT 3**, zoned R-LT residential zone, located on IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 14 acre(s). [REF: 03DRB-00624] (B-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/14/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/19/04 THE PRELIMINARY PLAT WAS APPROVED. THE SIDEWALK WAIVER WAS WITHDRAWN AT THE AGENT'S REQUEST. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1003111**
04DRB-00377 Major-Vacation of
Public Easements

ISAACSON & ARFMAN, P.A. agent(s) for WINDMILL MANOR PLACE, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **WINDMILL MANOR**, zoned SU-1 PRD, located on DELLYNE AVE NW, between MARIPOSA DR NW and VALLE VISTA DR NW containing approximately 4 acre(s). [REF: Z-95-79, Z-98-57, DRB-96-355, 03DRB-01986, 03DRB-01987, 03DRB-01988, 03DRB-01989] (E-11) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1003112**
04DRB-00259 Major-Vacation of Pub
Right-of-Way
04DRB-00258 Major-Preliminary Plat
Approval
04DRB-00260 Minor-Temp Defer
SDWK

COMMUNITY SCIENCES CORP agent(s) for
COLLATZ INC./CLIFFORD CAPITAL FUND INC
request(s) the above action(s) for: A TRACT OF LAND
SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED
SECTIONS 34 AND 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW
MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO
COUNTY, NEW MEXICO, BEING ALL OF: TRACT D OF LAVA TRAILS
SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT
THEREOF RECORDED IN THE OFFICE OF THE COUNTY CLERK,
BERNALILLO COUNTY, NEW MEXICO ON 5/16/2002, IN BOOK 2002C, PAGE
172; THE REMAINING "LANDS OF SLOAN" AS THE SAME IS SHOWN AND
DESIGNATED ON THE SPECIAL WARRANTY DEED RECORDED IN THE
OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON
7/27/1945, IN BOOK 220, PAGE 289; THE LANDS OF BOB CARRICO AS THE
SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED
RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO
COUNTY, NEW MEXICO ON 5/15/1972, IN BOOK D918, PAGE 551; THE
LANDS OF JOE SAAVEDRA AS THE SAME IS SHOWN AND DESIGNATED
ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY
CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/10/1964, AS DOC
#98133; THE LANDS OF ALBERT GURULE AND THE SAME IS SHOWN AND
DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF
THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 2/17/1997,
IN BOOK 97-4, PAGE 9000; PAQUIN TRAIL GRANT OF EASEMENT AS THE
SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED
RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO
COUNTY, NEW MEXICO ON 01/14/1955, IN BOOK D302, PAGE 303; THE
LANDS OF DUNCAN KIRK/DEBORAH TARPLEY AS THE SAME IS SHOWN
AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE
OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON
02/01/2002, IN BOOK A31, PAGE 4192 BUT LESS AND EXCEPTING
THEREFROM THOSE LANDS GRANTED TO THE CITY OF ALBUQUERQUE
IN THAT WARRANTY DEED RECORDED ON JUNE 12, 1992 IN BK. 92-13,
PGS. 9944-9948; ALL BEING DESCRIBED MORE FULLY AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT D, LAVA
TRAILS SUBDIVISION, A POINT LOCATED ON THE NORTHERLY RIGHT OF
WAY LINE OF WESTERN TRAIL N.W. AND RUNNING THENCE N11°45'21"W,
338.72 FEET; THENCE S77°36'56"W, 127.43 FEET; THENCE N35°50'27"W,
123.47 FEET; THENCE N35°50'27"W, 66.00 FEET TO A POINT LOCATED ON
THE EASTERLY RIGHT OF WAY LINE OF UNSER BLVD N.W.; THENCE
ALONG SAID EASTERLY RIGHT OF WAY LINE 652.67 FEET ALONG AN
1178.00 FOOT RADIUS CURVE TO THE LEFT (CENTRAL ANGLE = 31°44'40";
CHORD BEARS N44°22'41" E, 644.35 FEET); THENCE LEAVING SAID
EASTERLY RIGHT OF WAY LINE S89°34'22"E, 144.15 FEET TO A POINT ON
THE WESTERLY RIGHT OF WAY LINE OF ATRISCO DRIVE N.W.; THENCE
ALONG SAID WESTERLY RIGHT OF WAY LINE S11°45'40"E 793.97 FEET TO
A NON-TANGENT POINT OF CURVATURE; THENCE 29.21 FEET ALONG A
50.00 FOOT RADIUS CURVE TO THE RIGHT (CENTRAL ANGLE = 33°28'34";
CHORD BEARS S05°07'51"W, 28.80 FEET); THENCE CONTINUING ALONG
SAID RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES:
N56°53'08"W, 11.55 FEET; S33°06'52"W, 21.60 FEET; S56°53'08"E, 11.09
FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF
WESTERN TRAIL ROAD NW; THENCE CONTINUING ALONG SAID
NORTHERLY RIGHT OF WAY LINE 30.39 FEET ALONG A 50.00 FOOT
RADIUS CURVE TO THE RIGHT (CENTRAL ANGLE = 34°49'19"; CHORD
BEARS S64°14'04"W, 29.92 FEET TO A POINT OF REVERSE
CURVATURE; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF
WAY LINE 188.62 FEET ALONG A 2683.31 FOOT RADIUS CURVE TO THE
LEFT (CENTRAL ANGLE = 04°01'39"; CHORD BEARS S79°37'54"W 188.58
FEET A POINT OF TANGENCY; THENCE S77°37'04"W, 228.57 FEET TO THE
POINT OF BEGINNING, AND CONTAINING 9.0545 ACRES, MORE OR LESS,
(to be known as **RINCONADA TRAILS
SUBDIVISION** (formerly Western Trails Estates),
zoned R-D, located on UNSER BLVD NW, between
WESTERN TRAILS NW and LEGENDS AVE NW
containing approximately 10 acre(s). [REF:SD-80-5,
03DRB-0199. [Deferred from 3/24/04&4/14/04] (F-10
& F-11) DEFERRED AT THE AGENT'S REQUEST
TO 6/9/04.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1002123**
04DRB-00532 Minor-SiteDev Plan Subd/EPC
04DRB-00533 Minor-SiteDev Plan BldPermit/EPC
04DRB-00538 Minor-Prelim&Final Plat Approval
- QUIKDRAW ENGINEERING LLC agent(s) for PAM & PHIL SHEETS request(s) the above action(s) for all or a portion of Tract(s) 22-A-1 and 22-A-2, **DEL'S HIDE-AWAY-PARK**, zoned C-2 & SU-1 FOR RT, located on SAN CLEMENTE & 4TH STREET NW, between GRIEGOS NW and CANDELARIA NW containing approximately 4 acre(s). [REF: 03EPC-01087, 03EPC-01088, 02EPC-01149] **[Russell Brito, EPC Case Planner]** *[Deferred from 4/14/04]* (G-14) **DEFERRED AT THE AGENT'S REQUEST TO 4/28/04.**
6. **Project # 1003012**
04DRB-00523 Minor-SiteDev Plan BldPermit/EPC
- WILLIAM MCCONNELL ARCHITECT agent(s) for TOWER ROAD BAPTIST CHURCH, BILL PADILLA request(s) the above action(s) for all or a portion of Lot(s) 430, TOWER ROAD BAPTIST CHURCH, **TOWN OF ATRISCO GRANT, UNIT 3**, zoned SU-1 special use zone Church Facility, located on 86th STREET SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 2 acre(s). [REF: 03EPC-01675, 03EPC-01796] **[Mary Piscitelli, EPC Case Planner]** *[Deferred from 4/14/04]* (L-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/21/04.**

7. **Project # 1003370**
04DRB-00527 Minor-SiteDev Plan
BldPermit

SCHLEGEL LEWIS ARCHITECTS agent(s) for ANNODAM INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Tract(s) 28, **ALAMEDA BUSINESS PARK**, zoned SU-2, IP - EP, located on ALAMEDA PARK DR NE, between ALAMEDA BLVD and PASEO ALAMEDA containing approximately 2 acre(s). (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT, NEED TO EXPAND CROSS ACCESS EASEMENT ON NORTH DRIVE ENTRANCE TO COVER RADIUS.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project # 1003291**
04DRB-00528 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JOSEPH & KATHLEEN COWHAM request(s) the above action(s) for all or a portion of Tract(s) 14, M.R.G.C.D. MAP 35, **LANDS OF COWHAM-BOWEN**, zoned R-LT residential zone, located on RIO GRANDE BLVD NW, between CONTRERAS PL NW and MATTHEW AVE NW containing approximately 2 acre(s). [REF: 04DRB-00322] *[Deferred from 4/14/04]* (H-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/21/04.**

9. **Project # 1001400**
03DRB-01961 Minor-Prelim&Final Plat
Approval

RHOMBUS PA INC agent(s) for SORIDA GRIEGO REVOCABLE TRUST, ELSIE CLARK, TTEE, request(s) the above action(s) for all or a portion of Lot(s) 5, Tract(s) 197-b-1-a and 197-b-1-b, MRGCD MAP #35, **SORIDA ADDITION**, zoned RA-2 residential and agricultural zone, located on FLORAL RD NW, between DURANES RD NW and PACHECO LN NW containing approximately 1 acre(s). [REF: 01DRB-01140] [*Preliminary & Final Plat were Indefinitely Deferred from 11/26/03*] (H-12). **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ACCEPTANCE OF WATER TAP PERMIT, SET METER, AGIS DXF APPROVAL AND TRANSPORTATION DEVELOPMENT, NEED 5-FOOT DEDICATION ALONG FLORAL ROAD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

10. **Project # 1002176**
04DRB-00526 Minor-Sketch Plat or
Plan

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT, BILL WADE request(s) the above action(s) for all or a portion of Tract(s) E-1, NORTH FOUR HILLS, **COVERED WAGON SUBDIVISION**, zoned C-1 (SC), located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). [REF: Z-98-54, 02DRB-01306] (L-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

11. **Project # 1003172**
04DRB-00529 Minor- Sketch Plat or
Plan

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Tract(s) 1D, **SEVILLE, UNIT 9**, zoned R-1, located on KAYENTA ST NW, between IRVING BLVD NW and CALABACILLAS ARROYO containing approximately 1 acre(s). (A-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

12. **Project # 1003371**
04DRB-00531 Minor-Sketch Plat or
Plan

STEPHEN C. DAY, ARCHITECT agent(s) for DRIVE TIME INC - DAN PACKOWSKI request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 11, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2-M-1, located on SAN MATEO NE and ALAMEDA NE containing approximately 2 acre(s).(C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project # 1003372**
04DRB-00535 Minor-Sketch Plat or
Plan

DEKKER/PERICH/SABATINI agent(s) for TIM OTT request(s) the above action(s) for all or a portion of Lot(s) 30-A, Block(s) 11, Unit(s) B, **NORTH ALBUQUERQUE ACRES**, zoned SU-2 FOR M-1, located on ALAMEDA BLVD NE between SAN MATEO BLVD NE and I-25 containing approximately 1 acre(s). [REF: 03DRB-00092, DRB-96-352, S-96-44] (C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. **Project # 1003373**
04DRB-00536 Minor-Sketch Plat or Plan

MARYELLEN HENNESSY agent(s) for ROBERT PALMER, M.D. request(s) the above action(s) for all or a portion of Lot(s) 8, **ALVARADO GARDENS ADDITION UNIT 1**, zoned RA-2, located on RIO GRANDE BLVD NW between CANDELARIA NW and CAMPBELL RD NW containing approximately 2 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project # 1003355**
04DRB-00466 Minor-Sketch Plat or Plan

WAYJOHN SURVEYING, INC. agent(s) for JOSEPH GREVEY request(s) the above action(s) for all or a portion of Lot(s) 162, 163, 164 & 165, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned C-1 (SC) & C-2, located on COORS BLVD NW, between GLENRIO RD NW and FORTUNA RD NW containing approximately 14 acre(s). *[Was Indefinitely deferred on a no show 4/7/04](J-10/J-11)* **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. Approval of the Development Review Board Minutes for March 31, 2004. **THE DEVELOPMENT REVIEW BOARD MINUTES DATED MARCH 31, 2004 WERE APPROVED.**

ADJOURNED: 11:00 A.M.



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1295 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003012

AGENDA ITEM NO: 6

SUBJECT:

- | | | |
|-------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Need to defer for platting action.

RESOLUTION:

4-21-04

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: April 14, 2004



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

Defer
4/21/04

DRB CASE NO/PROJECT NO: 1003012

AGENDA ITEM NO: 6

SUBJECT:

- | | | |
|-------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
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| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Need to defer for platting action.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: April 14, 2004

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet

1003012

DRB- ~~100302A~~ Item No. 20 Zone Atlas C-9
 DATE ON AGENDA

INFRASTRUCTURE REQUIRED () YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- (X) SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- () SITE PLAN FOR BUILDING PERMIT

No.	Comment

If you have any questions or comments please call **Richard Bourte**
 at 924-3990. Meeting notes: *RICHARD GUILLET*
 3991

- (1) Tower - MINOR MATERIAL - BIKE LINES
- (2) Bio^m - COLLECTION - BIKE LINES
- (3) NEED SKETCH OF EXISTING X-SECTIONS ON TOWER @ Eb^m

(4) RADIUS E CORNER P Eb^m TOWER

DEVELOPMENT REVIEW BOARD
UTILITY DEVELOPMENT
Standard Comment Sheet

DRB- 1003024

Item No. 20

Zone Atlas L-09

DATE ON AGENDA 10/15/03

INFRASTRUCTURE REQUIRED (X)YES ()NO

CROSS REFERENCE:

TYPE OF APPROVAL REQUESTED: () ANNEXATION

(x) SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT

() SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION

() SITE PLAN FOR BUILDING PERMIT

No. Comment

1. Must request a water/sewer availability statement, must build public water/sewer lines in Tower, 86th, and possibly San Ygnacio if not already in place.
2. Must include all of tract 430 in plat action unless deed is dated prior to 1971.

If you have any questions or comments please call Roger Green at 924-3989.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
October 15, 2003 Comments**

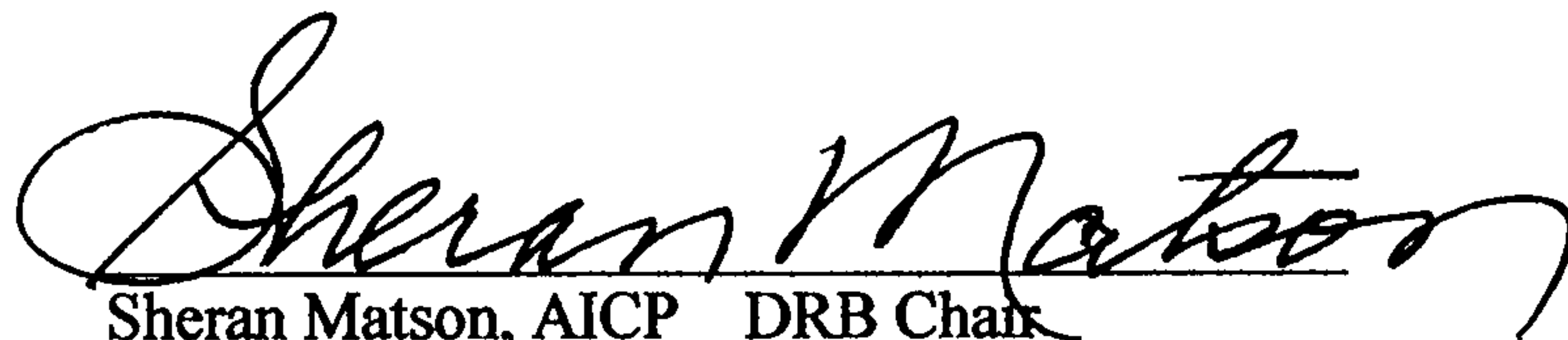
ITEM # 20

PROJECT # 1003024

APPLICATION # 03DRB-01720

RE: Baptist Church/Town of Atrisco Grant, Unit 3, Lot 430/sketch plat

Assuming the applicant has already had a pre-EPC application meeting, Planning has no further comments.

A handwritten signature in black ink, reading "Sheran Matson". The signature is written in a cursive style with a large initial "S".

Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003024

AGENDA ITEM NO: 20

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

Before final plat approval, a Readjustment of Assessment needs to be completed through the Special Assessment Office (Contact Linda Adamsko @ 768-3218).

Showed us a deed

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 15, 2003

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: BEN PADILLA / TOWER ROAD BAPTIST CHURCH PHONE: 345-5038
 ADDRESS: 6902 DELLA COURT SW FAX: 345-5124
 CITY: ALBUQUERQUE STATE NM ZIP 87105 E-MAIL: —
 Proprietary interest in site: OWNER: List all owners: —
 AGENT (if any): WILLIAM A. MCCONNELL, ARCHITECT PHONE: 293-8777
 ADDRESS: 3011 JANE PLACE NE (205) FAX: 293-3151
 CITY: ALBUQUERQUE STATE NM ZIP 87111 E-MAIL: —

DESCRIPTION OF REC: DRB, FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 430-A Block: — Unit: 3
 Subdiv. / Addn. ATRISCO GRANT
 Current Zoning: SU-1 (CHURCH FACILITY) Proposed zoning: —
 Zone Atlas page(s): L-9-Z: No. of existing lots: 1 No. of proposed lots: —
 Total area of site (acres): 1.75 Density if applicable: dwellings per gross acre: — dwellings per net acre: —
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No:
 UPC No. 100905642712940 Z11: MRGCD Map No. N/A:

LOCATION OF PROPERTY BY STREETS: On or Near: 86TH STREET SW & TOWER ROAD SW;
 Between: TOWER ROAD SW and SAN IGNACIO ROAD SW;

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
Project No. 1003012; 04 EPC00145 / 06 EPC-00609;

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE WILLIAM A. MCCONNELL DATE _____
 (Print) _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06 DRB-00991</u>	<u>ASBP</u>	<u>P(3)</u>	<u>\$ 0.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	<u>\$ _____</u>
_____	_____	_____	<u>\$ _____</u>
_____	_____	_____	<u>\$ _____</u>
Hearing date <u>07/19/06</u>			Total <u>\$ 20.00</u>

Sandy Handley 07/10/06

Project # 1003012

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

Maximum Size: 24" x 36"

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Copy of the document delegating approval authority to the DRB
- ___ Completed Site Plan for Subdivision Checklist
- ___ Infrastructure List, if relevant to the site plan
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- ___ Solid Waste Management Department signature on Site Plan
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Copy of the document delegating approval authority to the DRB
- ___ Infrastructure List, if relevant to the site plan
- ___ Completed Site Plan for Building Permit Checklist
- ___ Copy of Site Plan with Fire Marshal's stamp
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Infrastructure List, if relevant to the site plan
- ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- ✓ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ✓ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ✓ Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- ✓ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- NA Infrastructure List, if relevant to the site plan
- ✓ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- ___ Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

x VILLAN A. McCONNELL
Applicant name (print)

y [Signature]
Applicant signature / date

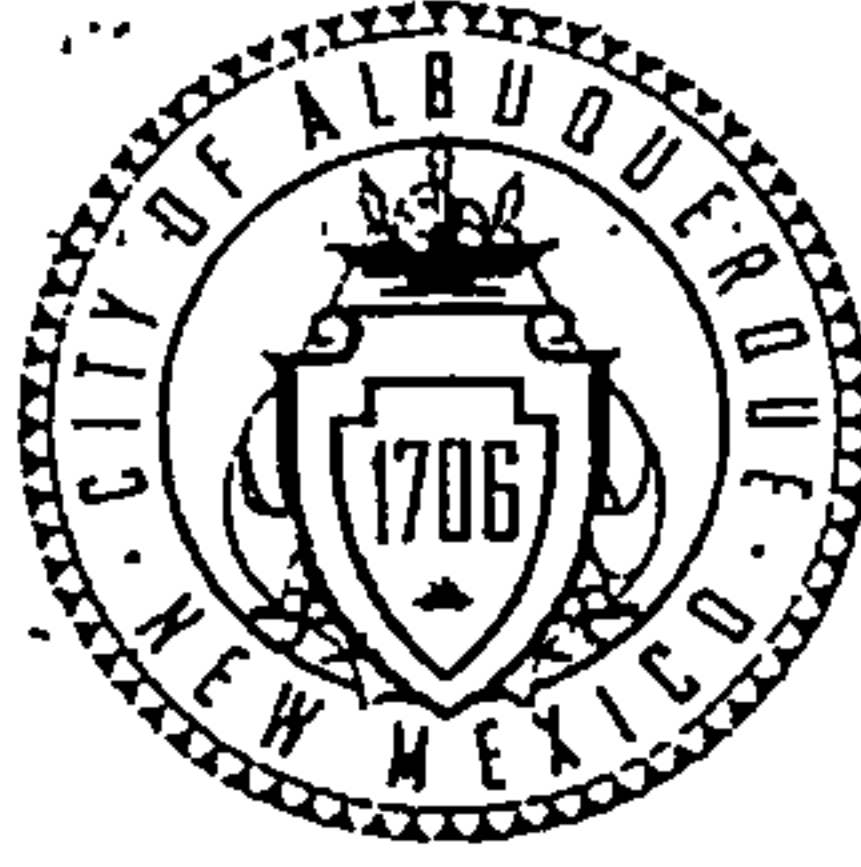


Form revised APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06 DEB - _____ - 00991
 _____ - _____ - _____
 _____ - _____ - _____

Sandy Handley
 Planner signature / date
Project # 1003012



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: June 16, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003012***
06EPC-00609 EPC Site Development Plan-
Amendment to Building Permit

Ben Padilla, Tower Road Baptist Church
6902 Della Court SW
Albuq. NM 87105

LEGAL DESCRIPTION: for all or a portion of
Tract 430-A, **Atrisco Grant**, zoned SU-1 Church
Facility, located on 86TH ST SW, between
TOWER ROAD SW and SAN YGNACIO RD.
SW, containing approximately 2 acre(s). (L-9)
Petra Morris, Staff Planner

On June 15, 2006 the Environmental Planning Commission voted to approve Project 1003012/ 06EPC 00609, a Site Development Plan for Building Permit, for Tract 430-A, Unit 3, Atrisco Grant, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for approval of a Site Development Plan for Building Permit for Tract 430-A, Unit 3, Atrisco Grant, known as Tower Road Baptist Church and Tower Road Christian Academy, approximately 1.75 acres.
2. This is a request for phase two development at the church. The purpose of the request is to construct a new gymnasium as a facility for Tower Road Christian Academy, which also exists on the site. The existing buildings will remain.
3. The request does not conflict with any goals or policies in the Comprehensive Plan, Southwest Area Plan or the Tower/ Unser Sector Development Plan.
4. The request supports Comprehensive Plan Policy II.B.5.a because the subject site is located in a primarily residential area. Adding a gymnasium to the church would increase facilities for the community and lead to a fuller range of uses in the area.

RECEIVED
6/22/06

OFFICIAL NOTICE OF DECISION

JUNE 15, 2006

PROJECT #1003012

PAGE 2 OF 4

5. The request supports Comprehensive Plan Policy II.B.5.d because the proposed gymnasium will respect neighborhood values in terms of design, scale, and intensity. The design and scale is consistent with the existing church buildings and the intensity of use would be light as it is primarily for the school, and also for the church.
6. The request supports Comprehensive Plan Policy II.B.5.i because the addition of a gymnasium would complement the surrounding neighborhood and would not be an intense use.
7. The request supports Comprehensive Plan Policy II.B.5.l because the proposed gymnasium is the same design as the existing church. This consistency in design will not cause conflict with the visual appearance of the existing buildings or the surrounding buildings.
8. The request supports Comprehensive Plan Policy II.B.5.m because by completing Phase Two development the quality of the visual environment would improve, as currently there is an empty dirt area where the proposed gymnasium would be built.
9. The request supports Comprehensive Plan Policy II.D.2.b because adding a rain barrel(s) to the gutters would collect rainwater from the roof, conserve runoff and act as a form of water resource management. The rain barrel(s) is Condition # 2.
10. The request supports Policy 19 in the Southwest Area Plan because the proposed rain barrel(s), which are included as Condition #2, would decrease the amount of rainwater that would be lost as runoff.
11. The request supports Policy 37 in the Southwest Area Plan because the proposed gymnasium would provide an additional facility for the church and the school on site. The provision of a gymnasium would improve services for the community at the church and possibly to adjacent residents.
12. There is no known opposition to the request.
13. The request does not conflict with any goals or policies in the Westside Strategic Plan. The request supports Westside Strategic Plan Policy 3.44 in providing further services for the community.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

→ 2. A rain barrel, or barrels (as appropriate with the guttering) shall be provided at the end of the guttering to collect rain run off from the roof. This shall be noted on the site plan.

→ 3. Groundcover landscaping, with plants taken from the existing schedule, shall be placed in area 7 (which is located between the buildings and the west property line) to increase the landscaping in the area to 75% required ground cover, tree canopies do not count in this calculation. This shall be noted on the site plan.

→ 4. The applicant shall add trellis and Trumpet Vines along the east and south sides of the building.

→ 5. The south and east exterior wall shall have landscaping or some kind of design feature added to break up the mass of uninterrupted metal siding. This shall be noted on the site plan.

→ 6. On the east exterior wall between the existing southerly door and the proposed northerly door a design feature shall be added to break up the mass of uninterrupted metal siding. This shall be noted on the site plan.

7. Conditions from the City Engineer:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. Site plan shall comply and be designed per DPM Standards.

8. Prior to application submittal to the DRB the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

OFFICIAL NOTICE OF DECISION

JUNE 15, 2006

PROJECT #1003012

PAGE 4 OF 4

✓ The applicant shall designate motorcycle parking spaces on the site plan.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JUNE 30, 2006 IN THE MANNER DESCRIBED BELOW: A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

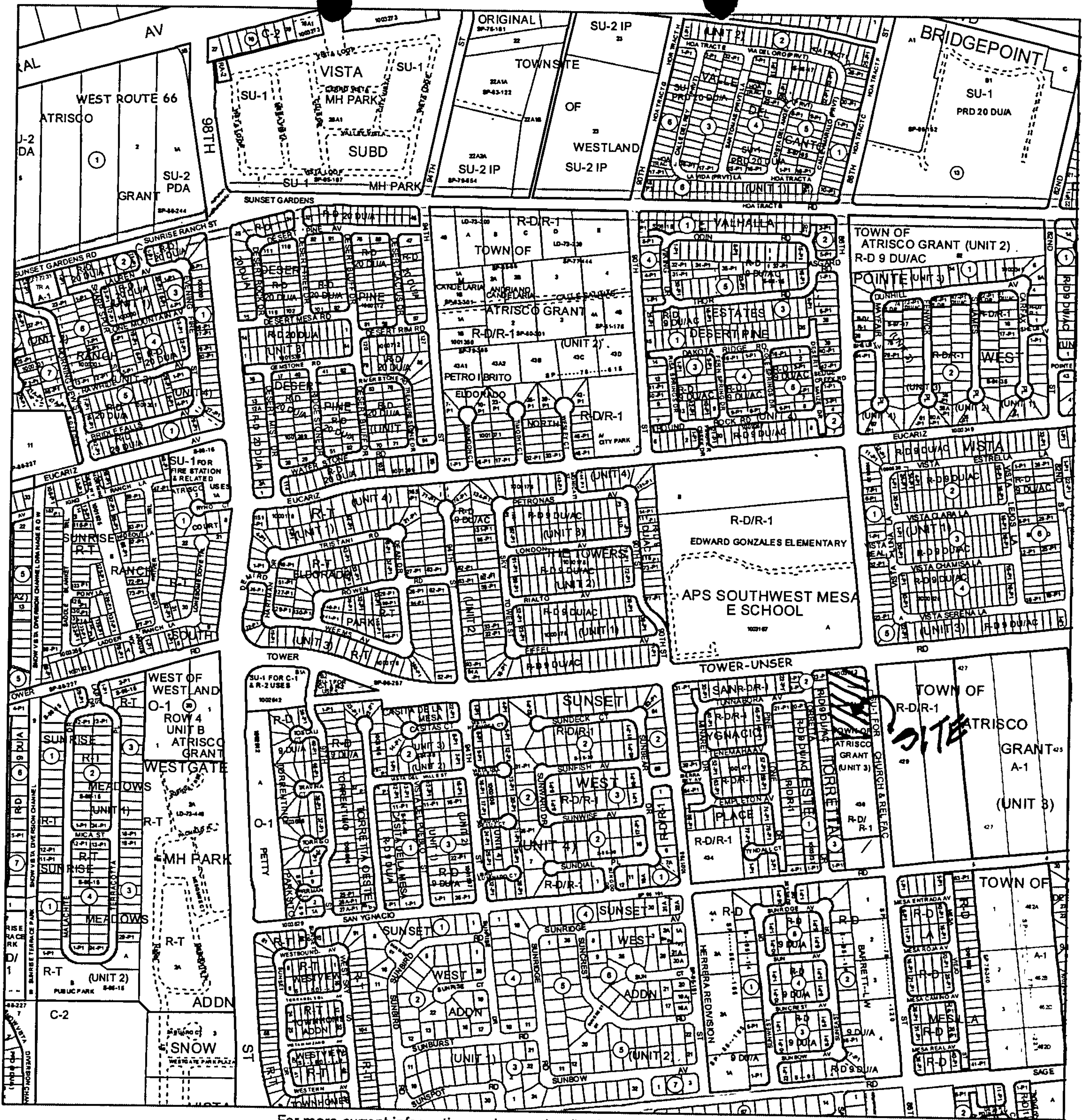
Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code: Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

for *Richard Dineen*
Richard Dineen
Planning Director

RD/PM/ac

cc: William McConnell, Arch., 3011 Jane Pl. NE, Albuquerque, NM 87111
Matthew Archuleta, Westgate Heights NA, 1628 Summerfield SW, Albuquerque, NM 87121
Libby McIntosh, Westgate Heights NA, 1316 Ladrones Ct. SW, Albuquerque, NM 87121



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Zone Atlas Page:
L-09-Z

Selected Symbols

Note: Grey Shading Represents Area Outside of the City Limits

Map amended through: 5/1/2006

0 750 1,500 Feet

WILLIAM A. MC CONNELL • ARCHITECT

July 3, 2006

MEMO TO: DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE

PROJECT: TOWER ROAD BAPTIST CHURCH ADDITION
601 EIGHTY-SIXTH STREET SW
ALBUQUERQUE, NEW MEXICO

PROJECT NO. 1003012:
06EPC-00609:

- The following are the modifications to the Amended Site Development Plan as required by the EPC Decision:
 1. This letter with submittal attached:
 2. Rain water receptacles note on Site Plan and Exterior Elevations:
 3. Ground cover increased to 75% (70% required previous Phase) as noted on the Site Plan and Landscaping Plan:
 4. Noted on the Site Plan and Exterior Elevations:
 5. Noted on Site Plan and Exterior Elevations:
(Raised planter incorporates rain water receptacles and seating)
(Roof overhangs modified to provide portal)
 6. Noted on Site Plan and Exterior Elevations;
(As per Items 4 & 5 above)
 7. a. Agreed as noted: (Stuc-o-flex and portal provided)
b. Agreed: (As per previous Phase)
c. Agreed; (As per previous Phase)
 8. Met with the staff planner (Petra Morris) and have received required approval:
 9. Motorcycle parking spaces are shown and noted on the Site Plan:

Sincerely,



WILLIAM A. McCONNELL

WAM:we

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME BEN PADILLA / TOWER ROAD BAPTIST CHURCH
AGENT WILLIAM A MCCOY HELL
ADDRESS 3011 JANE PL. NE (205)
PROJECT & APP # 1003012 / 06DRB00991
PROJECT NAME TOWER ROAD BAPTIST CHURCH

\$ 20.00 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

~~\$ _____ 441018/4971000 Public Notification~~

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

7/10/2006 2:09PM LOC: ANHX
RECEIPT# 00061042 US# 008 TRANSH 0047
Account 441032 Fund.0110
Activity 3424000 TRSLJS
Trans Ant \$20.00
J24 Misc

\$20.00
CK \$20.00
CHANGE \$0.00

City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Supplemental form
SUBDIVISION **S**
 Major Subdivision action
 Minor Subdivision action
 Vacation
 Variance (Non-Zoning)
V

Supplemental form
ZONING **Z**
 Annexation & Zone Establishment
 Sector Plan
 Zone Change
 Text Amendment

SITE DEVELOPMENT PLAN **P**
 ...for Subdivision Purposes
 ...for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC) **L**

APPEAL / PROTEST of... **A**
 Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: PERFORMANCE TOOL'S EQUIPMENT (BEN PADILLA) PHONE: 345 5038
 ADDRESS: 2701 4th ST NW FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: _____
 Proprietary interest in site: OWNER
 AGENT (if any): WAYJOHN SURVEYING, INC. PHONE: 255-2052
 ADDRESS: 330 LOUISIANA BLVD NE FAX: 255-2887
 CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: WAYJOHN SURVEYING@AOL.COM

DESCRIPTION OF REQUEST: MINOR PRELIMINARY/FINAL PLAT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. NORTHERLY PORTION TRACT 430 Block: _____ Unit: 3
 Subdiv. / Addn. TOWN OF ATRISCO GRANT
 Current Zoning: B-D/R-T Proposed zoning: SAME SU-1 for Church & Rel Fac.
 Zone Atlas page(s): L-9 No. of existing lots: 2 No. of proposed lots: 1
 Total area of site (acres): 1.75 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO
 UPC No. 1 009 056 429 161 405 10 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: TOWER RD SW
 Between: 86th ST SW and 90th ST SW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 03DRB-01720
04DRB-00523 (03EPC-01675) (04EPC-00145)

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____
 SIGNATURE [Signature] DATE 4/26/04
 (Print) THOMAS D. JOHNSTON Applicant Agent

Form revised September 2001

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>04DRB</u> <u>00653</u>	<u>P&F</u>	<u>5(3)</u>	<u>\$ 215.00</u>
			<u>\$</u>
			<u>CONFL. MGMT. Fee \$ 20.00</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>Total \$ 235.00</u>

Hearing date May 5th 04

[Signature] 4/27/04
 Planner signature / date

Project # 1003012

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule) 821500 + 20
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

THOMAS D. JOHANSTON (AGENT)

Applicant name (print)

[Signature] 4/26/04

Applicant signature / date



Form revised MARCH 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

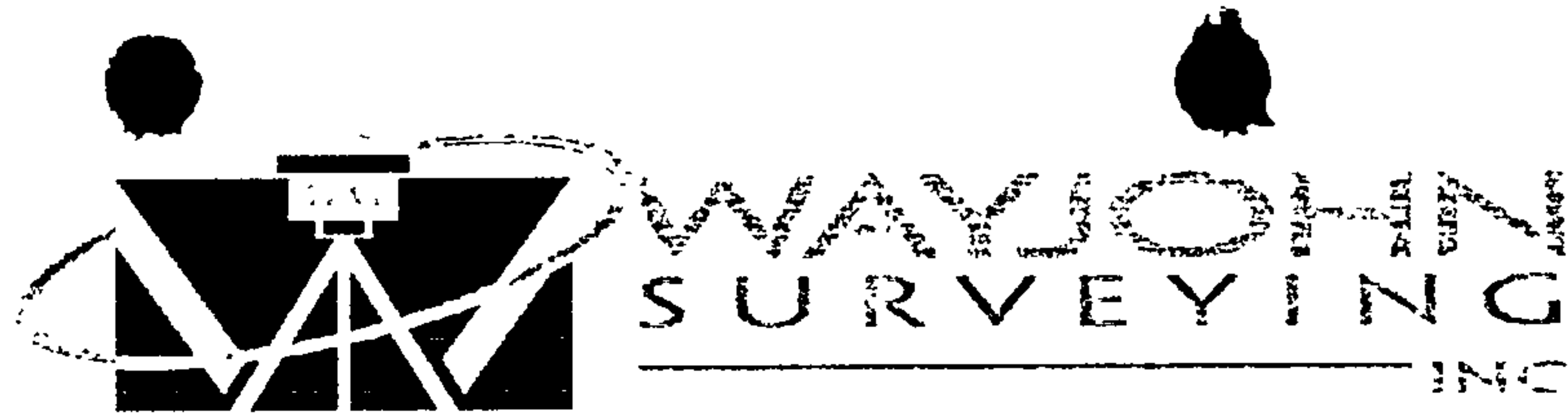
Application case numbers
04 DRB - 00653

[Signature]

4/27/04

Planner signature / date

Project # 1003012



330 Louisiana Blvd., N.E. ♦ Albuquerque, NM 87108 ♦ Phone: (505) 255-2052 ♦ Fax: (505) 255-2887

April 26, 2004

City of Albuquerque Planning
Plaza Del Sol Building
600 2nd Street, NW
Albuquerque, NM 87102

To Whom It May Concern:

I am submitting a minor preliminary/final plat for approval on behalf of my client, Performance Tool and Equipment (Ben Padilla). The purpose for this plat is to consolidate two parcels into one parcel. This location has been to DRB for a site plan for a proposed church.

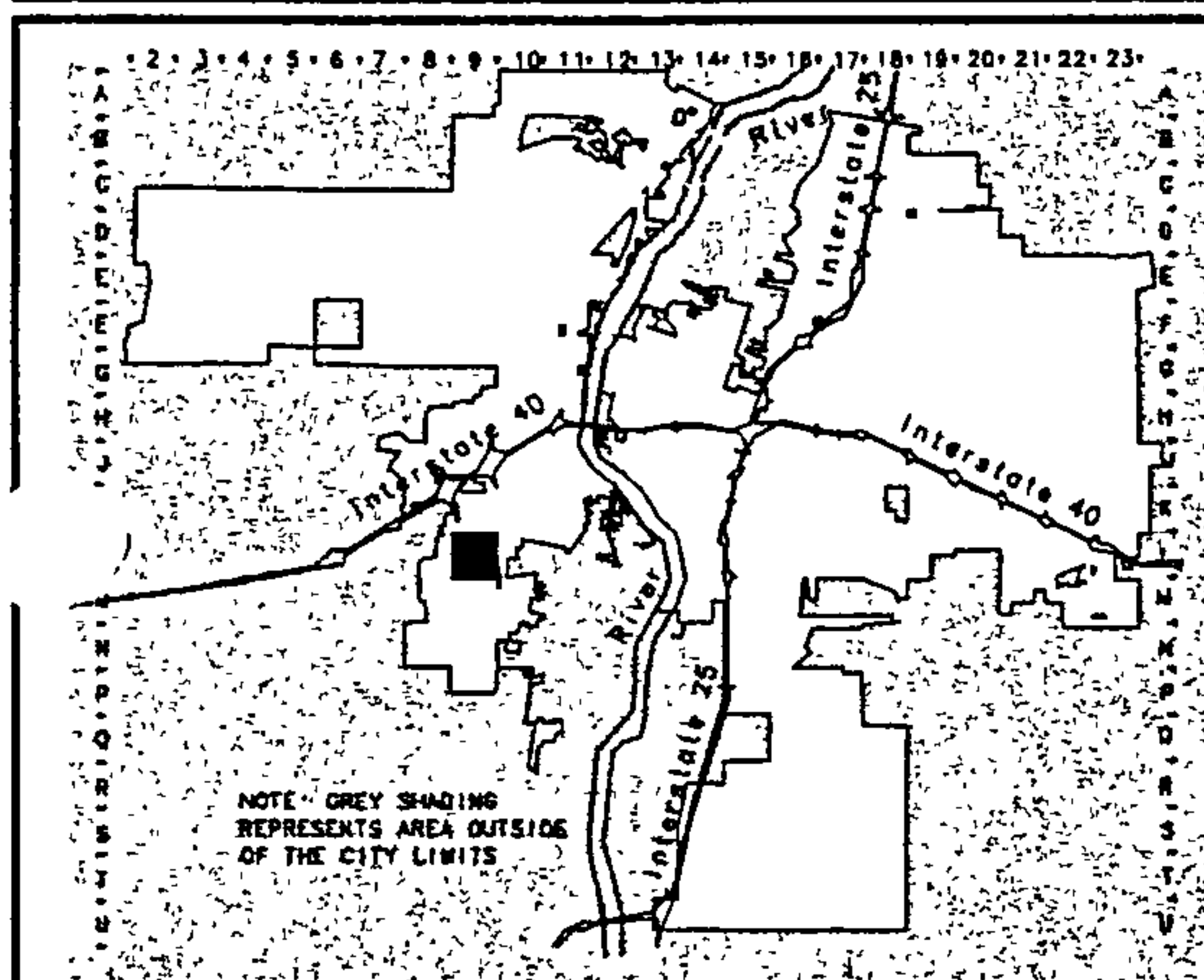
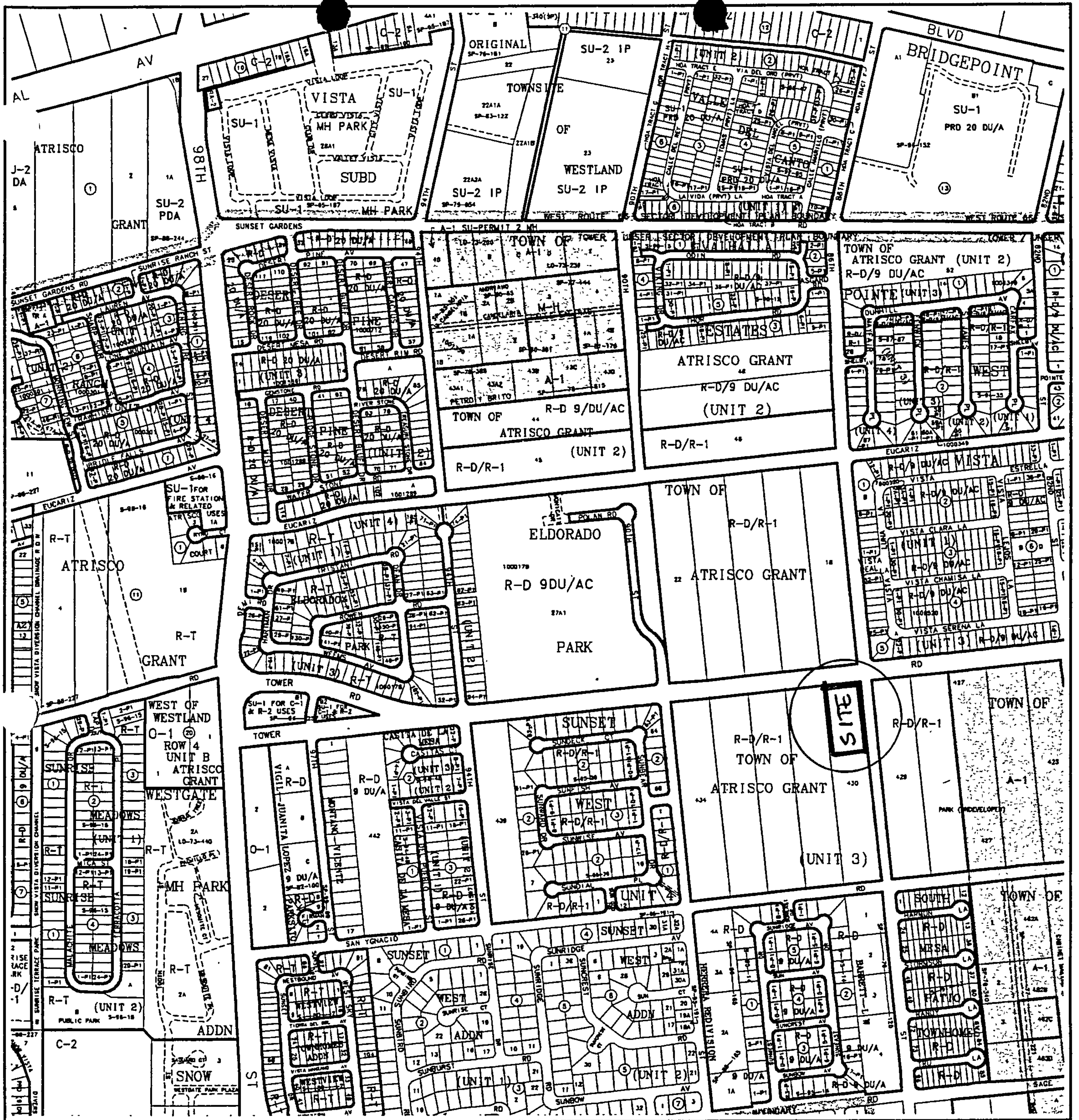
The two existing parcels are a portion of Tract 430, Unit 3, Town of Atrisco Grant. The parcels were created by deed prior to 1973, and are therefore legal parcels. The purpose of this plat is to consolidate the lots for building purposes.

If you have any questions regarding this matter, feel free to contact me at the above numbers.

Regards,

Thomas D. Johnston, PS

enc.



CITY OF
Albuquerque
Geographic Information System
PLANNING DEPARTMENT
© Copyright 2002



Zone Atlas Page

L-9-Z

Map Amended through April 02, 2002

5012
~~3024~~ NO. ALGOL ACRES

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Performance Tool & Equip.
AGENT NAY JOHN SURV. INC.
ADDRESS 330 LOUISIANA BLVD. NE
PROJECT & APP # 1003012 / 04DRB-00653
PROJECT NAME TOWN OF ATRISCO GRANT, 430-A..
\$ 20⁰⁰ 469099/4916000 Conflict Management Fee
\$ 215⁰⁰ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 235⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

DUPLICATE
City Of Albuquerque
Treasury Division

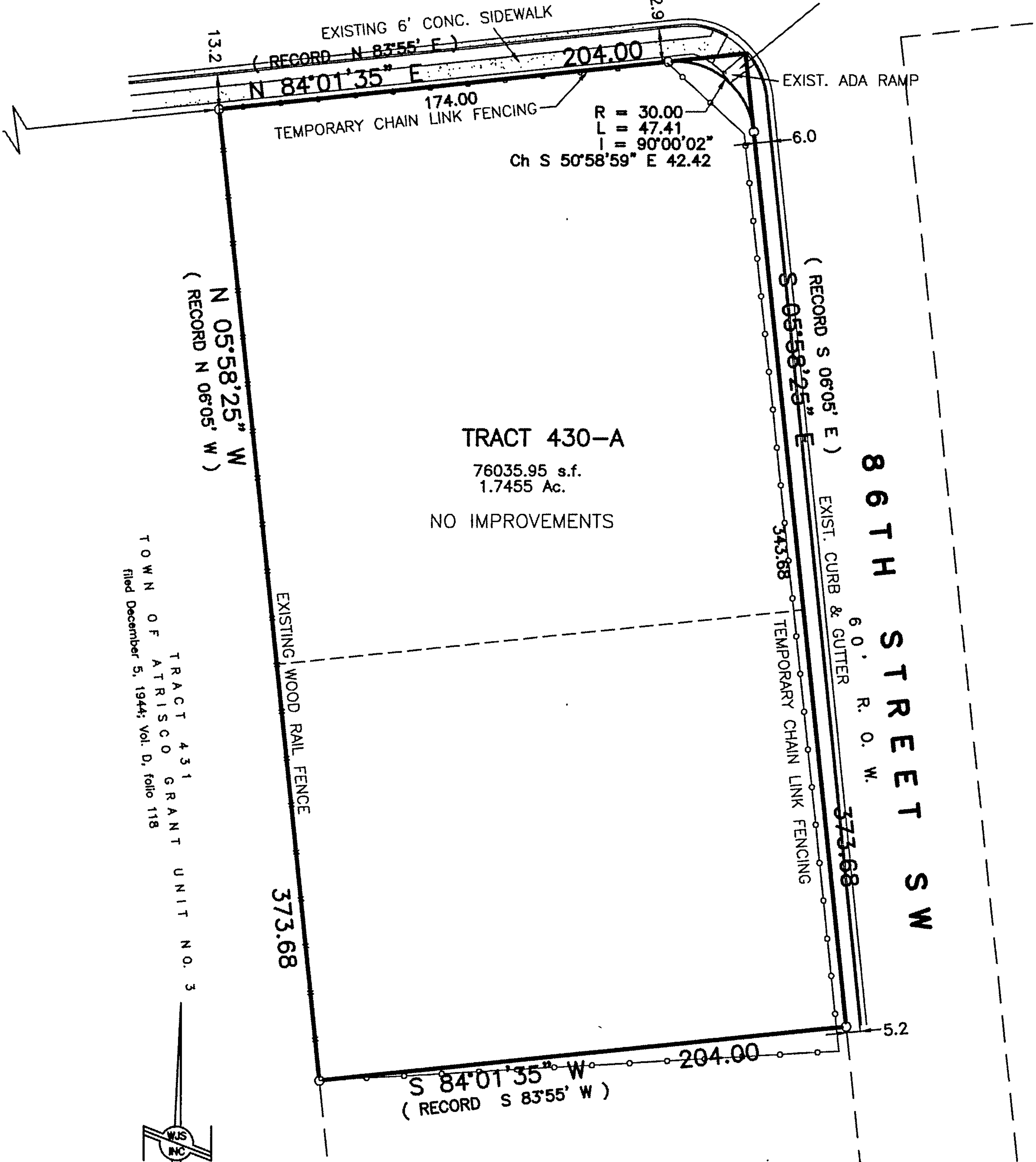
04/27/2004 10:37AM LOC: ANN
Counterreceipt.doc 12/29/03
X
RECEIPT# 00022834 WSH# 008 TRANSH# 0019
Account 469099 Fund 0110
Activity 4916000 TRSDMM
Trans Amt \$235.00
J24 Misc \$20.00

04/27/2004 10:38AM LOC: ANN
X
RECEIPT# 00022835 WSH# 008 TRANSH# 0019
Account 441006 Fund 0110
Activity 4983000 TRSDMM
Trans Amt \$235.00
J24 Misc \$215.00
CK \$235.00
CHANGE \$0.00

Thank You

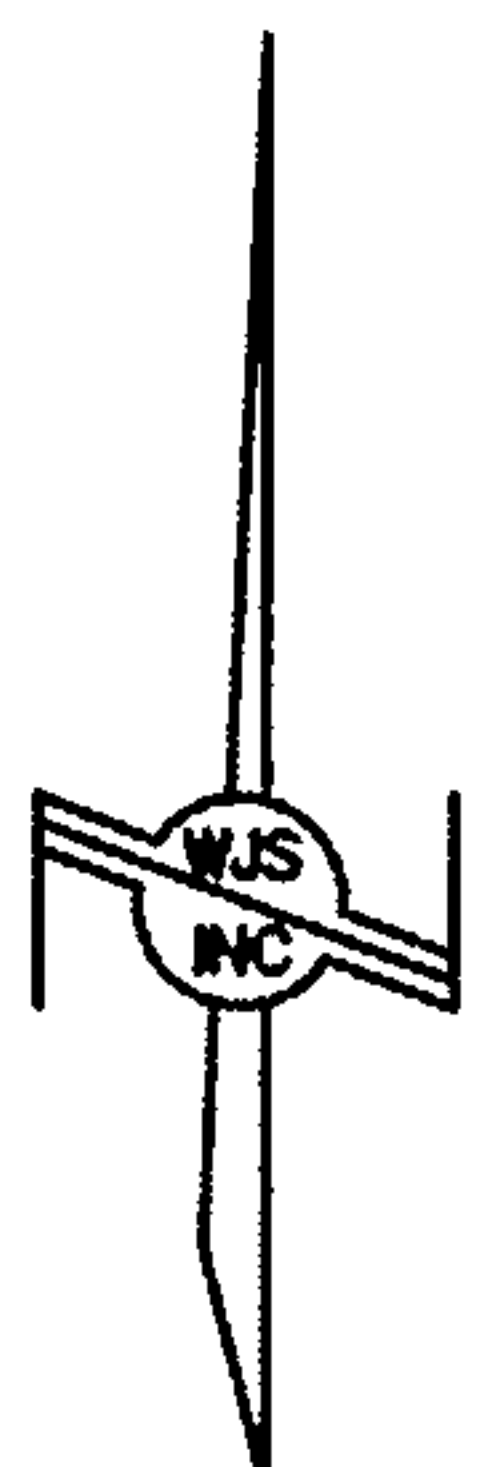
TOWER ROAD SW
100' R. O. W.

Additional Right-of-way
dedicated to City of Albuquerque
by this Plat. (193.14 sq.ft.)



TRACT 430-A
76035.95 s.f.
1.7455 Ac.
NO IMPROVEMENTS

TRACT 431
TOWN OF ATRISCO GRANT UNIT NO. 3
filed December 5, 1944; Vol. D, folio 118



PORTION, TRACT 430
TOWN OF ATRISCO GRANT UNIT NO. 3
filed December 5, 1944; Vol. D, folio 118

SCALE: 1 INCH = 50 FEET

WILLIAM A. MC CONNELL ARCHITECT

April 19, 2004
FAX: 924-3864:

MEMO TO: DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE


ATTENTION: CLAIRE SENOVA

PROJECT TOWER ROAD BAPTIST CHURCH FACILITY
601 EIGHTY SIXTH STREET SW
ALBUQUERQUE, NEW MEXICO

PROJECT NO. 1003012:
04EPC-00145:
04DRB-00523:

- As per our conversations today I contacted the consultant (Wayjohn Surveying / Engineering) and they informed me that the required Proposed Preliminary / Final Plat is not completed. Consequently the DRB Hearing scheduled for 4/21/04 is to be deferred indefinitely.

As discussed when the required Proposed Preliminary/Final Plat is completed and available I will contact you to reschedule the DRB Hearing.

Sincerely,

WILLIAM A. McCONNELL

WAM:ve

Site Plan BLDG P.

*** RX REPORT ***

RECEPTION OK

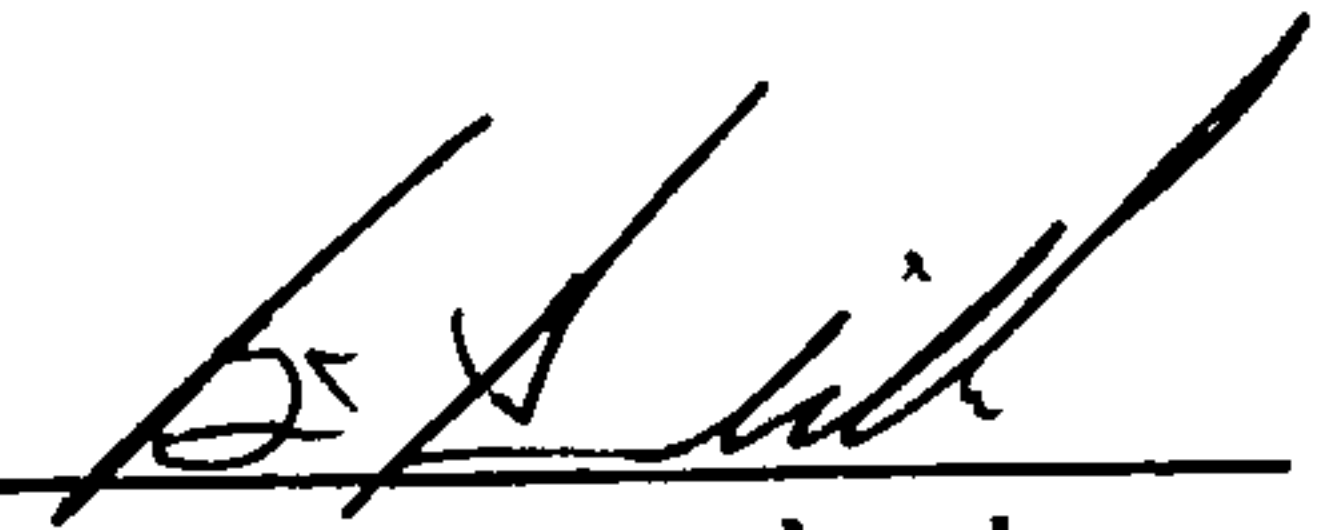
TX/RX NO	9203	
CONNECTION TEL		5052933151
SUBADDRESS		
CONNECTION ID	KINKOS JUAN TABO	
ST. TIME	04/20 11:57	
USAGE T	00'29	
PGS.	1	
RESULT	OK	

MINOR SUBDIVISION AGREEMENT

RE: ROA-1994 (14-14-2-2(B))

I, BEN PADILLA applicant for a building permit which is permissible only on the condition that a minor subdivision application filed and approved by the Planning Department, hereby agree to make application for such a minor subdivision as soon as possible.

I understand that final zonal approval which is necessary for a Certificate of Occupancy, will not be granted unless and until the minor subdivision has been approved. I further understand that in addition to the withholding of a Certificate of Occupancy, I am liable for court prosecution if I fail to obtain the minor subdivision.

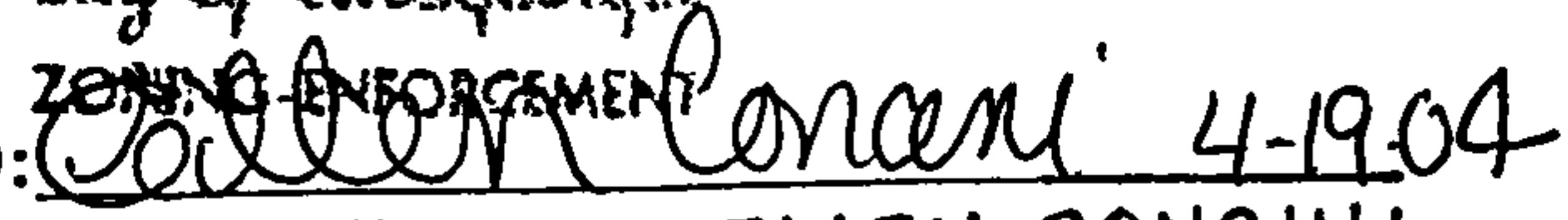
BEN PADILLA: 
APPLICANT (property owner or legal representative)

2701 4TH STREET N.W.
ALBUQUERQUE, NEW MEXICO
Address 87107

ADDRESS-LEGAL DESCRIPTION OF PROPERTY

NORTHERLY 373.68' OF TRACT
NUMBERED 430, UNIT THREE (3),
TOWN OF ATRISCO GRANT, BER-
NALILLO COUNTY, NEW MEXICO,
(ZONE ATLAS "L-9-Z"), AND
CONTAINING 1.75 ACRES.

4-19-04
Date

City of Albuquerque
ZONING ENFORCEMENT
APPROVED:  4-19-04
~~Robert E. Romero~~ ELLEN CONCINI
Zoning Enforcement Officer

WILLIAM A. MC CONNELL ARCHITECT.

#6

April 14, 2004
FAX: 924-3864:

MEMO TO: DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE

ATTENTION: CLAIRE SENOVA

PROJECT: TOWER ROAD BAPTIST CHURCH FACILITY
601 EIGHTY SIXTH STREET SW
ALBUQUERQUE, NEW MEXICO...

PROJECT NO. 1003012:
04EPC-00145:
04DRB-00523:

- As per our telephone conversation today the Applicant requested their scheduled DRB Hearing today to be deferred to the next Hearing scheduled for Wednesday, April 21, 2004.

It was felt that ^{the} replat required for this Project was not to the degree of completion required for the Board to consider the application.

Sincerely,


WILLIAM A. MCCONNELL

WAM:we

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input checked="" type="checkbox"/> ...for Building Permit FINAL SIGN OFF		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	APPEAL / PROTEST of...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: BEN PADILLA / TOWER ROAD BAPTIST CHURCH PHONE: 345-5038
 ADDRESS: 6902 DELLA COURT SW FAX: 345-5124
 CITY: ALBUQUERQUE STATE NM ZIP 87105 E-MAIL: ---
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): WILLIAM A. MCCONNELL, ARCHITECT PHONE: 293-8777
 ADDRESS: 3011 JANE PLACE NE (205) FAX: 293-3151
 CITY: ALBUQUERQUE STATE NM ZIP 87111 E-MAIL: ---

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT:

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. NORTHERLY & SOUTHERLY 160' of LOT 430 Block: --- Unit: 3
 Subdiv. / Addn. ATRISCO GRANT
 Current Zoning: SU-1 (CHURCH FACILITY) Proposed zoning: ---
 Zone Atlas page(s): L-9-Z No. of existing lots: 1 No. of proposed lots: ---
 Total area of site (acres): 1.75 Density if applicable: dwellings per gross acre: --- dwellings per net acre: ---
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO:
 UPC No. 100905642717940511/100905642916140510: MRGCD Map No. N/A:
 LOCATION OF PROPERTY BY STREETS: On or Near: 66 TH STREET SW & TOWER ROAD SW
 Between: TOWER ROAD SW and SAN UGNACIO ROAD SW

CASE HISTORY: Mary Piscitelli EPC Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):

ZONE CHANGE: PROJECT NO. 1003012: 03ERC-01675, 03ERC-01796:

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____
 SIGNATURE William A. McConnell DATE April 5, 2004
 (Print) WILLIAM A. MCCONNELL Applicant Agent

FOR OFFICIAL USE ONLY		Form revised 9/01, 3/03, 7/03, 10/03, 3/04		
<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04 DRB - 00523</u>	<u>SBP</u>	<u>PB1</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CONFL. Mgmt Fee</u>		\$ <u>2000</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> E.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>April 14th, 04</u>			Total \$ <u>2000</u>
	<u>Robert</u> 4/5/04	Project #	<u>1003012</u>	
	Planner signature / date			

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan *NONE*
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

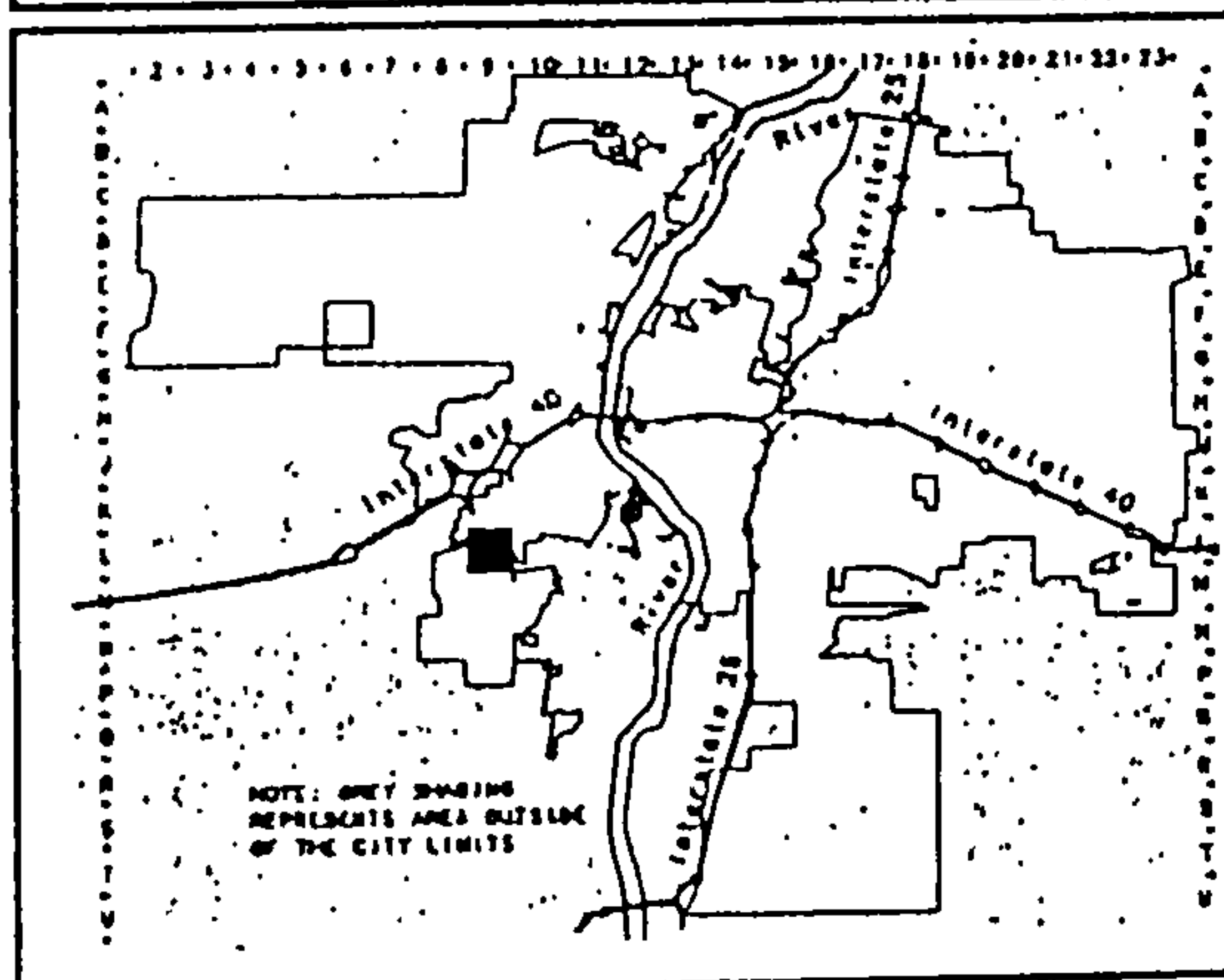
WILLIAM A. MCGONNELL
 Applicant name (print)
William A. McConnell 4/5/04
 Applicant signature / date



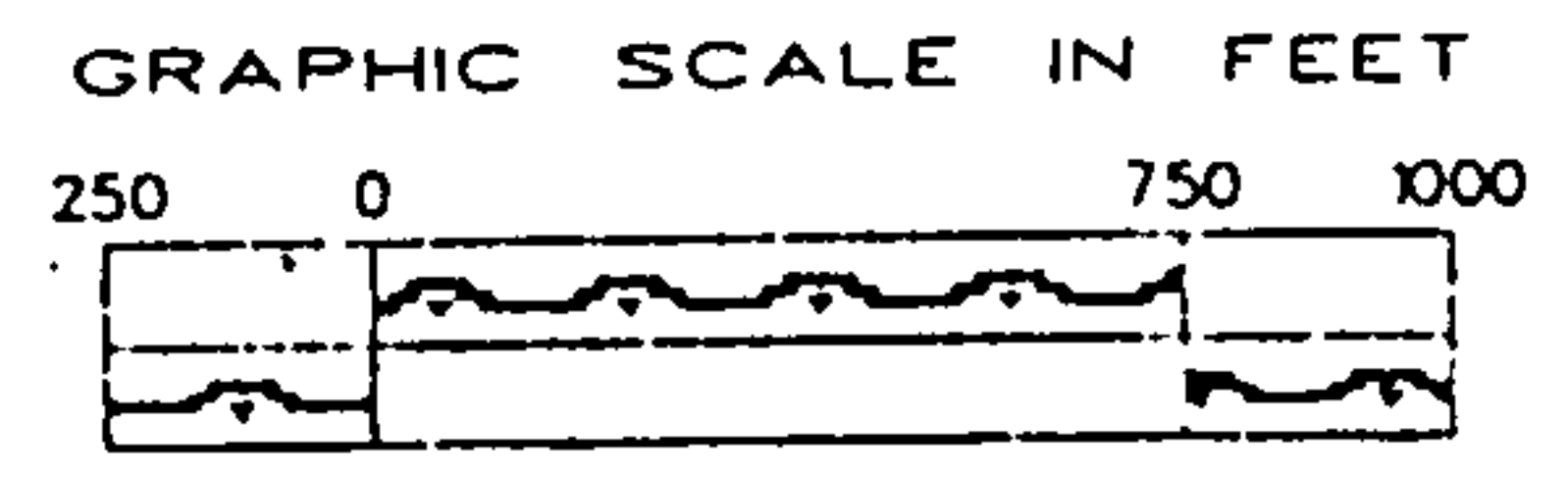
Form revised September 2001

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- | | |
|--------------------------|--------|
| Application case numbers | |
| 04DRB - | -00523 |
| - | - |
| - | - |

Robert 4/5/04
 Planner signature / date
Project # 1003012



CITY OF
Albuquerque
A Bureau Geographic Information System
PLANNING DEPARTMENT
© Copyright 2001



Zone Atlas Page
L-9-Z
Map Amended through July 18, 2001

WILLIAM A. MC CONNELL • ARCHITECT

April 5, 2004
HAND CARRIED:

MEMO TO: DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE

PROJECT: TOWER ROAD BAPTIST CHURCH FACILITY
601 EIGHTY SIXTH STREET SW
ALBUQUERQUE, NEW MEXICO

PROJECT NO. 1003012:
04EPC-00145:

- The following are the modifications to the Site Development Plan as required by the EPC Decision:
- **CONDITIONS:** (EPC Decision sheets 3 & 4)
 1. This letter with submittal attached.
 2. Replat is in process. (Letter attached)
 3. See Landscaping Plan.
 4. Living material ground cover provided as required as noted on the Landscaping Plan:
 - . REQUIRED: (70%)..... 12,130 SF:
 - . PROVIDED:..... 12,229 SF:
 5. Shown on Exterior Elevations and Note 12, Sheet 4. (Related note "38" on Site Plan, Sheet 1)
 6. Agreed to by Owner.
 7. Shown on Exterior Elevations and Note 11, Sheet 4. (Related Note "30" on Site Plan, Sheet 1)
 8. Notes have been removed.
 9. a: The Owner / Developer accepts responsibility for permanent improvements to the Transportation Facilities adjacent to the proposed Site Development Plan.
b: The drive has been located 150' south of Tower Road.
c; Parking layout has been revised to the satisfaction of the Traffic Engineer. (3/10/04)
d: Agreed.
e: Shown and noted on Site Plan. (Will also to include on replat)
f: See "a" above.
 10. A "Fire Flow Statement" and a "Fire Flow Simulation" attached.
Two new fire hydrants are required. They are shown on the Site Plan located as directed by the Fire Marshall's Office. (4/2/04)
b: Access to the building, radius, widths, etc. have been reviewed and approved by the Fire Marshal's Office. (3/10/04)


WILLIAM A. MCCONNELL

WAM:we



330 Louisiana Blvd., N.E. • Albuquerque, NM 87108 • Phone: (505) 255-2052 • Fax: (605) 255-2887

MEMORANDUM

April 2, 2004

TO: Bill McConnell

RE: Subdivision Plat, Tract 430, Town of Atrisco Grant

Dear Bill:

Wayjohn Surveying Inc. has commenced the subdivision plat for the above referenced parcel. Submittal to the City of Albuquerque should follow shortly.

Please feel free to contact me if you have any further questions.

Regards,

A handwritten signature in black ink, appearing to read 'T. Johnston', written in a cursive style.

Thomas D. Johnston, PS
President, Wayjohn Surveying Inc.

Gerald Wood
Pastor



Tower Road Baptist Church

A Work in Progress for the West Gate Area

c/o 6902 Della Court SW

Albuquerque, NM 87105-7077

January 30, 2004

To Whom It May Concern:

The people of our church are anxiously anticipating moving in to our new church building located at 86th Street and Tower Road SW. We are so sure that this work will prosper at this location that we have named our church Tower Road Baptist Church. We are located just south of the new elementary school and west of a proposed park. I have been a Pastor of a large Baptist Church in the South Valley of Albuquerque for many years and have seen the need for a church in the rapidly growing West Gate Area. Therefore, a group of active churchgoers has committed themselves to building this work in the West Gate Area. Our church will be a traditional Baptist Church with bible classes, preaching, teaching, and working for the Lord. At the present time, our church is comprised of approximately 40 people. We have talked to many people in the West Gate Area and they have assured us that when we are in our new building that they plan to join us.

If you have any questions, please feel free to contact me at 877-2383.

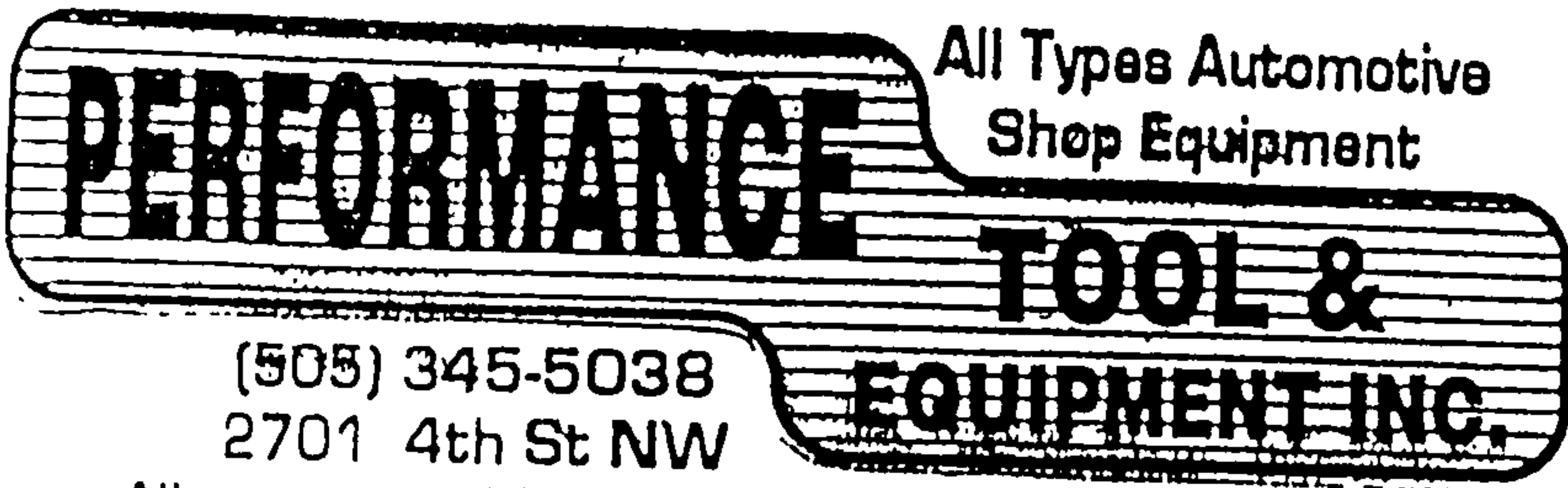
In Christ Service,

A handwritten signature in cursive script that reads "Gerald Wood".

Gerald Wood, Pastor

GW:jfa

Copy to:
Church File



(505) 345-5038
2701 4th St NW
Albuquerque, New Mexico
87107

FAX: (505) 345-5124
E-MAIL ADDRESS: PTEINC@nmia.com
WEBB ADDRESS: www.perftool.com

FAX COVER SHEET

DATE: 2-2-04

ATTN TO: Whom it may concern

FROM: Ben Asilla

NUMBER OF PAGES BEING TRANSMITTED INCLUDING COVER SHEET: 1

MESSAGE:

This letter is to inform you that I Ben Asilla give authority to William McConnell to make any decisions on my behalf related to the tower at 86th St property in which we will be building a church. Please feel free to call with any questions.

Thank you

Ben Asilla

President Performance Tool & Equip



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT, DEVELOPMENT REVIEW DIVISION
P.O. BOX 1293, ALBUQUERQUE, NM 87103

February 24, 2004

Performance Tool And Equipment
3300 4th NW
Albuq. NM 87107

CERTIFICATE OF ZONING

FILE: 104EPC 01675 (Project 1003012)
DATE OF FINAL ACTION: November 20, 2003
LEGAL DESCRIPTION: for the Northerly 213' and
Southerly 160' of Lot 430, **Atrisco Grant**, Unit 3 a zone
map amendment from RD/R-1 to SU-1 for Church and
Related Facilities, located on 86TH ROAD SW, between
TOWER ROAD SW and SAN YGNACIO ROAD SW,
containing approximately 1.75 acres. (L-9) Mary Piscitelli,
Staff Planner

THE POSSIBLE APPEAL PERIOD HAVING EXPIRED, THE ZONING ON THE ABOVE CITED
PROPERTY IS NOW CHANGED AS FOLLOWS:

FROM RD/R-1
TO SU-1 for Church and Related Facilities

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of a zone map amendment does not constitute approval of plans for a building permit. Site and building plans need to be reviewed, approved and signed-off by the Environmental Planning Commission, the Development Review Board, the Design Review Committee and/or the Building and Safety Division, as applicable and as required by the site's zoning, before a building permit will be issued.

Sincerely,


for Victor Chavez
Planning Director

VC/ac

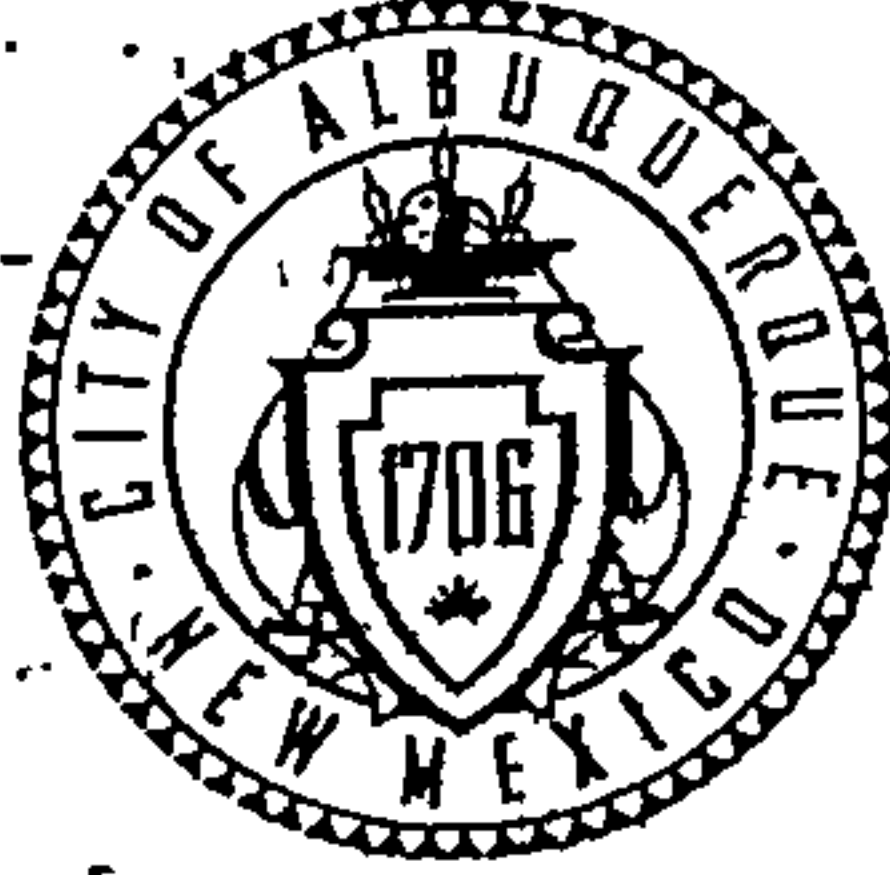
cc: Zoning Code Services Division
Neal Weinberg, AGIS Division

03EPC-01675
ZMA
1003012 / 03EPC-01796 SP B/P
04EPC. 00145 " "
1003024 - SKETCH DRB
03-01720

3. The site development plan for building permit request will be used as a boundary area for a replat to create a lot with boundaries that can also serve as the zone line boundaries.
4. The site plan for building permit furthers the *Comprehensive Plan* goals and policies for the Established Urban Area, policy a, by accommodating a different but compatible use; policies d, e, and l, in that the church building respects neighborhood values, maintains the integrity of the neighborhood, and promotes livability and safety within the neighborhood.
5. The subject site development plan for building permit meets existing underlying zoning requirements for parking, bicycle parking spaces, setbacks, building height, landscape requirements, and other requirements.
6. The EPC shall consider the future phases, including building expansion, telecommunication or other facilities, building height, and parking as a part of the future development proposals. The notes concerning height of structures on the site for future development shall be removed from the site plan and other submitted plans as necessary, but that the applicant leaves the future expansion building footprint on the plan. The height and use issues will be determined by the EPC when the applicant comes forward with those specific requests.

CONDITIONS:

1. ML: The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. REPLAT LETTER: The site shall be replatted concurrently to the site development plan for building permit final sign off at the DRB, to satisfy the requirements for the site development plan for subdivision and to map accurate zone boundaries for this SU-1 zoning.
3. DRAWINGS DONE: The permanent landscape plan shall be developed, including interim landscape for the future expansion area, and approved by the DRB as part of the final sign-off
4. ML: DRAWINGS DONE: The landscape plan shall show the percentage of the landscape area used for gravel mulch and the percentage of the landscape area for ground cover plants and their specific type; 70% of the landscaped area shall be living groundcover, to the satisfaction of EPC Planning staff.



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 19, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1003012*
04EPC-00145 EPC Site Development Plan-Building
Permit

Ben Padilla, Tower Baptist Church
6902 Della Court SW
Albuq. NM 87105

LEGAL DESCRIPTION: for Northerly 213' &
Southerly 160' of the Northerly 388.53' of Lot 430,
Atrisco Grant, zoned SU-1 for Church & Related
Facilities, located on 86TH ST. SW, between
TOWER ROAD SW and SAN YGNACIO ROAD
SW, containing approximately 2 acres. (L-9) Mary
Piscitelli, Staff Planner

On March 18, 2004 the Environmental Planning Commission voted to approve Project 1003012/ 04EPC-00145, a request for a site development plan for building permit for the Northerly 213' and Southerly 160' of the Northerly 388.53' of Lot 430, Town of Atrisco Grant, Unit 3, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This application is a request for a site development plan for building permit for the Northerly 213' and Southerly 160' of the Northerly 388.53' of Lot 430, Town of Atrisco Grant, Unit 3, located generally at the southwest quadrant of Tower Road and 86th Street SW, zoned SU-1 for Church and Related Facilities (L-9-Z).
2. The site was annexed to the City in 1993. Extension of utilities and infrastructure occurred with a Special Assessment District, which improved water and sewer extension, streets, sidewalks, bike lanes, and medians (for Tower Road only). The SAD is complete. The subject site has never been developed.

~~DRAWING~~

5. Location of mechanical and HVAC units shall be shown on the elevations and shall be appropriately screened from view to the satisfaction of EPC Planning staff.

OK:

6. At future expansion of the existing facility the exterior walls of the building shall be stucco or stucco flex coat at future stage. At future expansion phase, the angle of the overhang shall be more similar to a traditional porch (1/2 the angle of the pitch of the proposed gable roof) appearance. Columns shall be added along the porch under the overhang for the visual completion of a traditional porch appearance.

DRAWING DONE:

7. Non-illuminated signs shall be used for the church and site. The signage note (#11) shall be supplemented with the specific sign location on the building elevation.

DRAWING DONE:

8. Remove notes concerning height of future expansion areas and uses. Retain the future expansion building footprint on the site plan.

ML:

OK:

9. Conditions from the City Engineer, the Municipal Development Department and the Public Works Department, and the NM Department of Transportation:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- b. First site driveway to be located 150' south of Tower.
- c. Parking layout, circulation and drive aisle width adjacent to building, designed to the satisfaction of the Traffic Engineer.
- d. Site plan shall comply and be designed per DPM Standards.
- e. Dedication of an additional 6 feet of right-of-way along Tower Road and 86th Street adjacent to the subject property, as required by the City Engineer to provide for on-street bicycle lanes.
- f. Provision for bicycle lanes along Tower Road and 86th Street adjacent to the subject property, as designated on Long Range Bikeways System.

DRAWING DONE:

DRAWING DONE:

DRAWING DONE: REPEAT



RECEIVED

10. Conditions from the Fire Marshall's Office:
a. New construction, building additions or reconstruction will require a "Fire Flow Statement" to determine the number of fire hydrants required and their spacing. Fire flow statements for construction must be obtained prior to DRB.

DRAWING DONE:

b. Fire apparatus access roads shall be provided for every building or portion of a building hereafter constructed or moved into when any portion of the facility or any portion of a building is located

OFFICIAL NOTICE OF DECISION

MARCH 18, 2004

PROJECT #1003012

PAGE 4 OF 4

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **APRIL 2, 2004** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/MP/ac

cc: William McConnell, Arch., 3011 Jane Place NE, Albuquerque, NM 87111
Matthew Archuleta, Westgate Heights NA, 1628 Summerfield SW, Albuquerque, NM 87121
Libby McIntosh, Westgate Heights NA, 1316 Ladrones Ct. SW, Albuquerque, NM 87121

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W, 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER L-9-2

REFERRAL # _____

SITE ADDRESS 601 86TH SW

LEGAL DESCRIPTION: SUBJECT TRACT _____

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 2-3

INSTANTANEOUS FLOW REQUIRED 2,338 GPM

SQUARE FOOTAGE - LARGEST BUILDING 17,500 SQ FT

TYPE CONSTRUCTION V-1 HR

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLL.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLL.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2-3

DATE: 3/10/04

FIRE DEPARTMENT INSPECTOR: Steve Lopez

RECEIVED BY: William A. McConnell TELEPHONE: 293-8777

NOTES

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI. UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPACITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPONSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION

WHITE - INDIVIDUAL

YELLOW - FILE



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Thursday, April 01, 2004

TO: Mr. William A. McConnell
3011 Jane Place, Apt #205
Albuquerque, NM 87111

SUBJECT: Request for Fire Flow Simulation
601 86th Street SW, City Zone Atlas Number: L-9

On April 1, 2004, you requested information regarding available flows at the subject property. A computer model simulation was conducted according to the following data.

Test Location:	12" C.I. pipe, Intersection of 86 th & Eucariz
Water Pressure Zone:	2WR
Elevation:	5,114' msl (estimated)
Requested Loading:	2,338 gpm

Computer simulation data generated with H₂ONET water modeling software indicates that the location in question will provide the required flow rate according to the following set of parameters.

Peak Static Pressure: 61.1 psi	Hydraulic Grade Line: 5,255 feet msl
Residual Pressure: 54.8 psi	Hydraulic Grade Line: 5,240 feet msl

These parameters reflect the pressures in the 12-inch main line at the referenced point of connection. Additional public water lines as well as fire hydrants will need to be constructed as part of the development of the subject site. Additional head losses should be calculated from this point and incorporated into the final design. If you have any questions, please feel free to contact the undersigned at (505) 924-3987, by email at nhoover@cabq.gov, or by fax at (505) 924-3864.

Sincerely,

Jeremy Hoover, E.I.T.
Engineering Associate
Utility Development Services
Public Works Department

encl: H₂ONET output results
City of Albuquerque Public Waterline Schematics

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME BEN PADILLA / TOWER RD. BAPTIST CHURCH
AGENT WILLIAM MCCONNELL ARCH.
ADDRESS 3011 JANE R. NE 87113
PROJECT & APP # 1003012 / 04DRB-00523
PROJECT NAME TOWER RD BAPTIST CHURCH FAC.

\$ 20⁰⁰ 469099/4916000 Conflict Management Fee
\$ ~~441006/4983000 DRB Actions~~
\$ ~~441006/4971000 EPC/AA/LUCC Actions & All Appeals~~
\$ ~~441018/4971000 Public Notification~~
\$ ~~441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***~~
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form (S)

SUBDIVISION

Major Subdivision action

Minor Subdivision action

Vacation

Variance (Non-Zoning) SKETCH, V

SITE DEVELOPMENT PLAN P

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) L

Supplemental form Z

ZONING & PLANNING

Annexation

County Submittal

EPC Submittal

Zone Map Amendment (Establish or Change Zoning)

Sector Plan (Phase I, II, III)

Amendment to Sector, Area, Facility or Comprehensive Plan

Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... A

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: PERFORMANCE TOOL AND EQUIPMENT PHONE: 345-5038

ADDRESS: 3300 4th St. NW FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: _____

Proprietary interest in site: _____

AGENT (if any): TOWNER ENG. SERVICES (John Thormahlen) PHONE: 828-1930

ADDRESS: 8205 Spain NE Suite 205 FAX: 820-1967

CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: SKETCH PLAT REVIEW

Applicant called @ Advised of Proj # change 4/05/04

PA

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. NLY 213' & SIX 160' LOT 430 Block: _____ Unit: 3

Subdiv. / Addn. ATRISCO GRANT

Current Zoning: RD/R1 Proposed zoning: SU-1, CHURCH AND Related Fac.

Zone Atlas page(s): L92 No. of existing lots: 2 No. of proposed lots: 1

Total area of site (acres): 1.75 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. 10090564296140510 & 100905642717940511 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 86th St. & Tower Rd. SW

Between: Tower Rd SW and SAN YGNACIO Rd SW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): N/A

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE John Thormahlen DATE _____

(Print) John Thormahlen Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>03DRB - 01720</u>	<u>Sketch plat</u>		\$ <u>0</u>
<input type="checkbox"/> All fees have been collected				\$ _____
<input type="checkbox"/> All case #s are assigned				\$ _____
<input type="checkbox"/> AGIS copy has been sent				\$ _____
<input type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>Oct. 15, 2003</u>			Total \$ <u>0</u>

Makita Hill 10/7/03
Planner signature / date

Project # 1003021 3012

FORM S(3): SUBDIVISION D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Infrastructure list if required (verify with DRB Engineer) NO INTERNAL ROUTING

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John Thormahlen
Applicant name (print)
[Signature] 10/07/03
Applicant signature / date



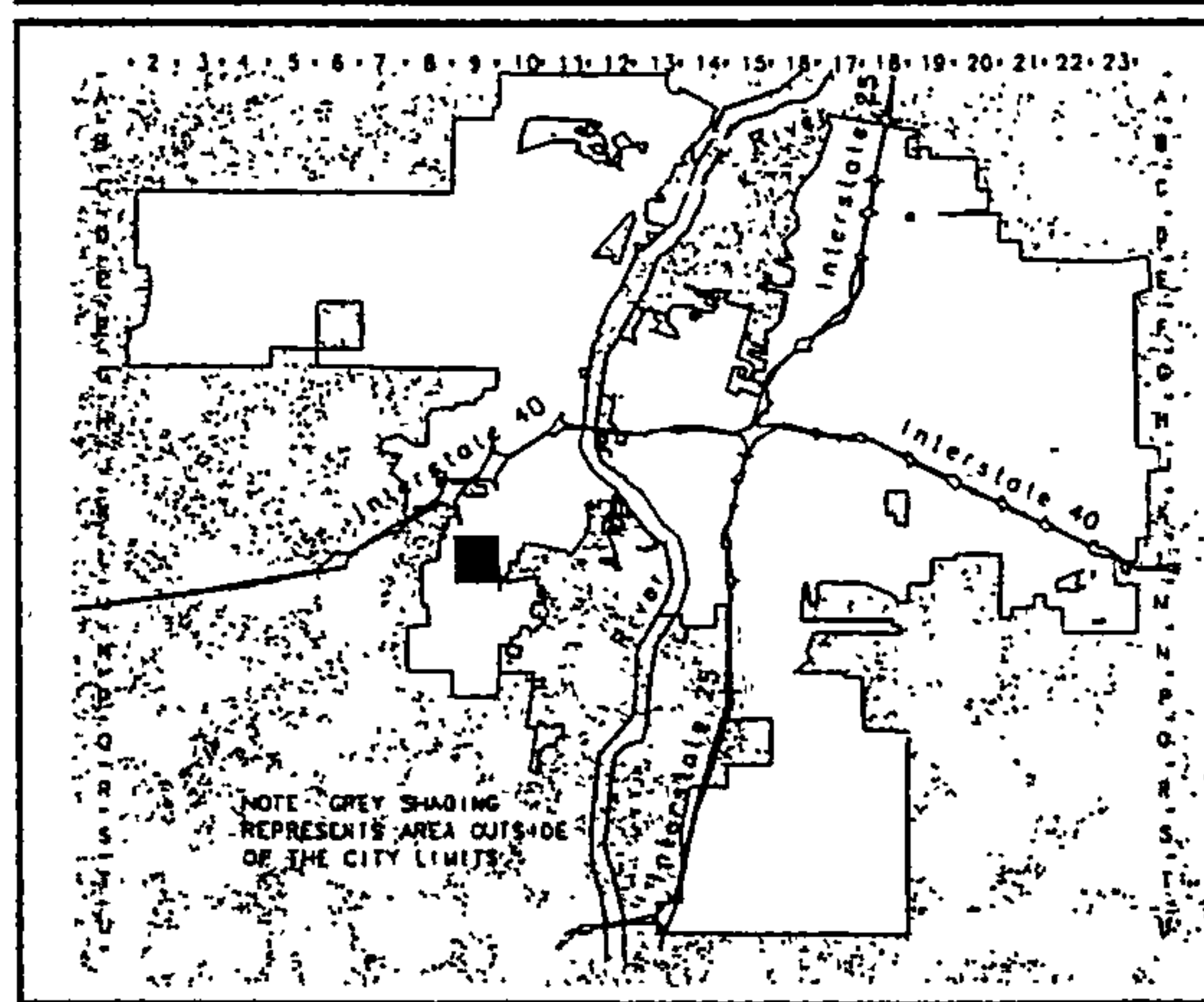
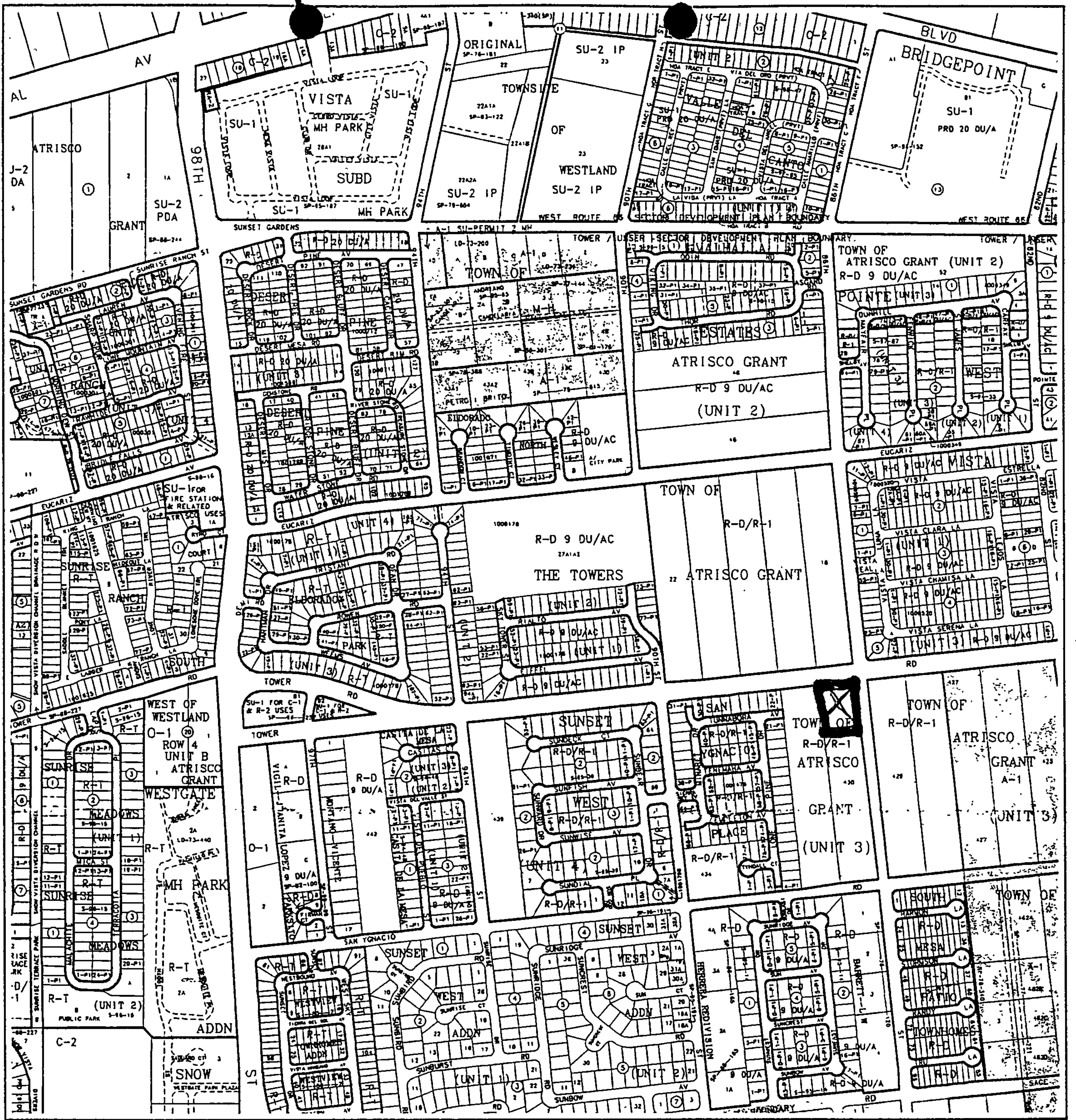
Form revised 3/03 and 8/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

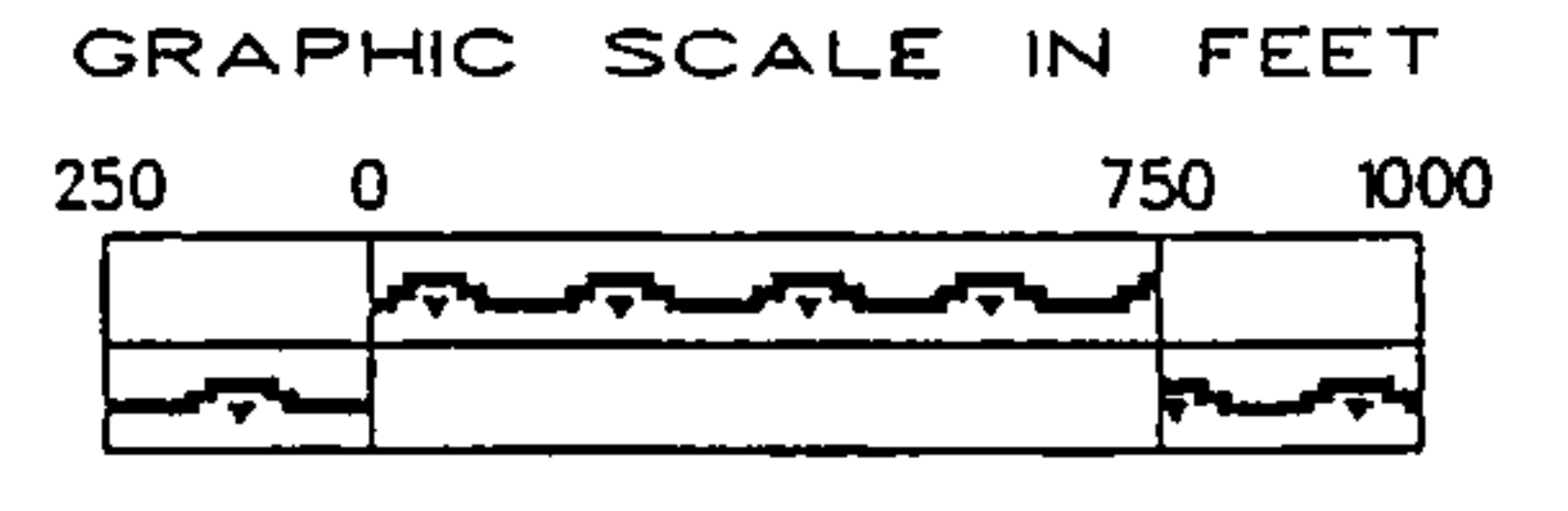
Application case numbers
03023 - _____ - 01720
_____-_____-_____
_____-_____-_____

Melita Hill 10/7/03
Planner signature / date

Project # 1003024
1003012



CITY OF
Albuquerque
A Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page
L-9-Z
Map Amended through January 21, 2003

TES

Towner Engineering Services, Inc..

October 1, 2003

City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Dear Sir:

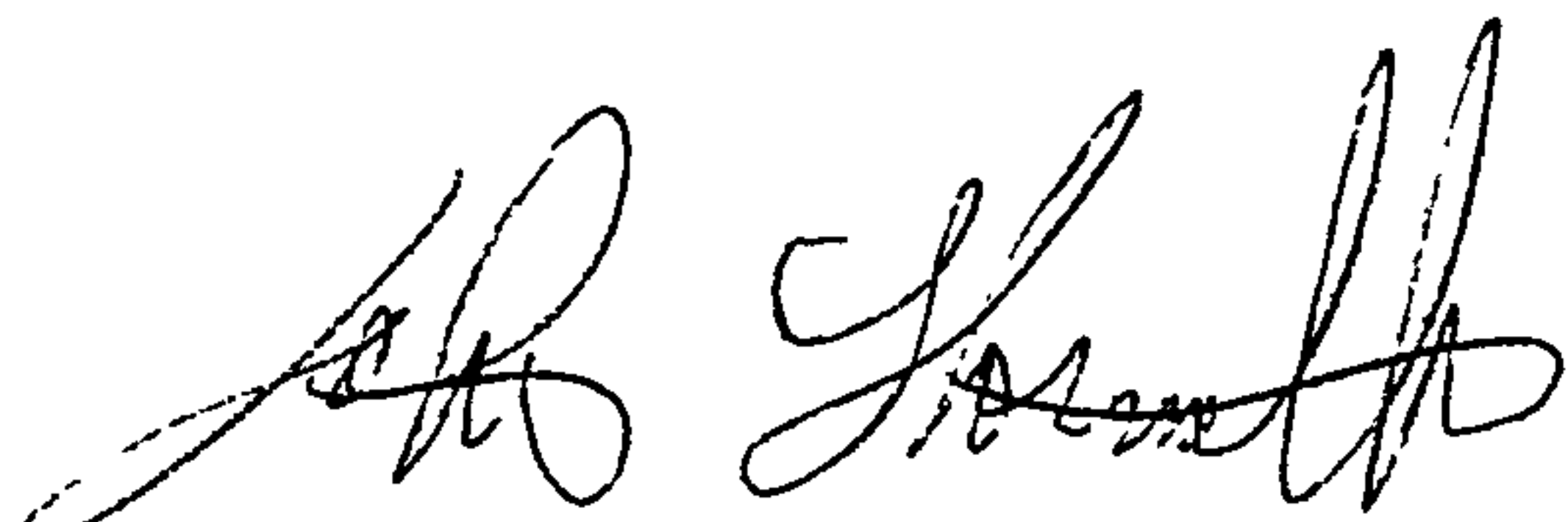
This request is for the Zoning Map Change for two existing lots (UPC10090562916140510 and UPC 1009005642717940511) from R-1 Residential to SU-1 Special Use, Church and related activities. The lots will be combined into one lot and are located on the corner of 68th and Tower Road in Albuquerque, New Mexico. The approximate size of the proposed church property is 1.75 acres.

This change is advantageous to the community for the following reasons:

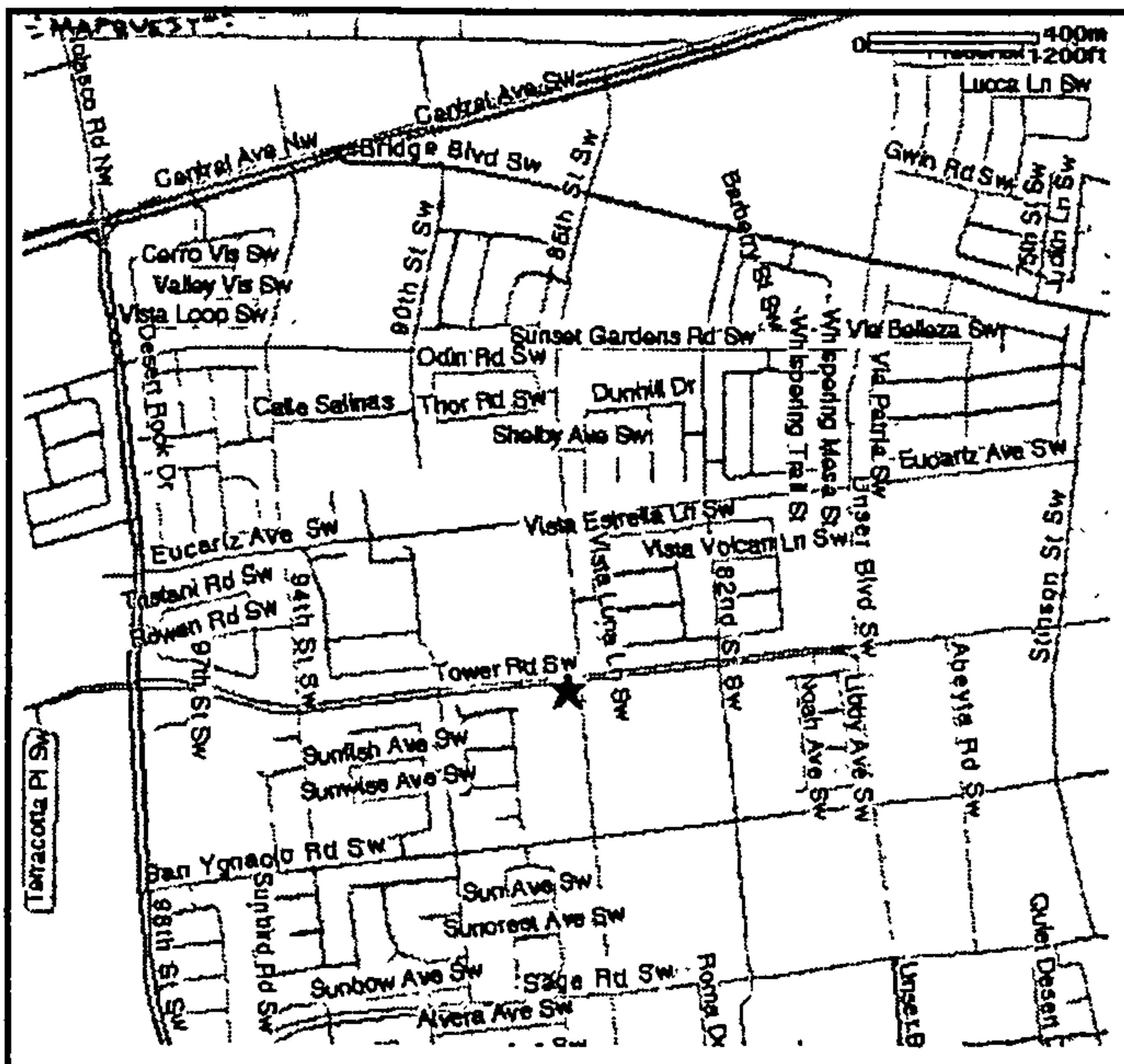
1. The proposed Church will be located close to a new public school and will support the school children with after school activities.
2. The church parking lot will be available to the school during the week for overflow parking.
3. The community currently does not have a Church.
4. The addition of the Church is consistent with the other improvements that are under way in this community.
5. The proposed church will enhance the appearance of the community.

Thank you for considering this request and for taking the time to review the attached documents.

Regards,



John Thormahlen
Project Manager



NORTHERLY 213.53 FEET OF
TRACT 430, UNIT 3
ATRISCO GRANT
(VACANT LAND)

SOUTHERLY 160.15 FEET OF
TRACT 430, UNIT 3
ATRISCO GRANT
(VACANT LAND)

LOT LINE TO BE ELIMINATED BY THIS
PLAT

1003024

LEGAL DESCRIPTION

A portion of Tract 430 Unit 3 of the Atrisco Grant
Situating in projected Section 28, T10N, R2E, New
Mexico Principal Meridian, Bernalillo County, New Mexico

Beginning at the northwest corner of tract 430
Whence N04°57'20"W, a distance of 4176.05 feet
to an ACS Monument 7-K9,

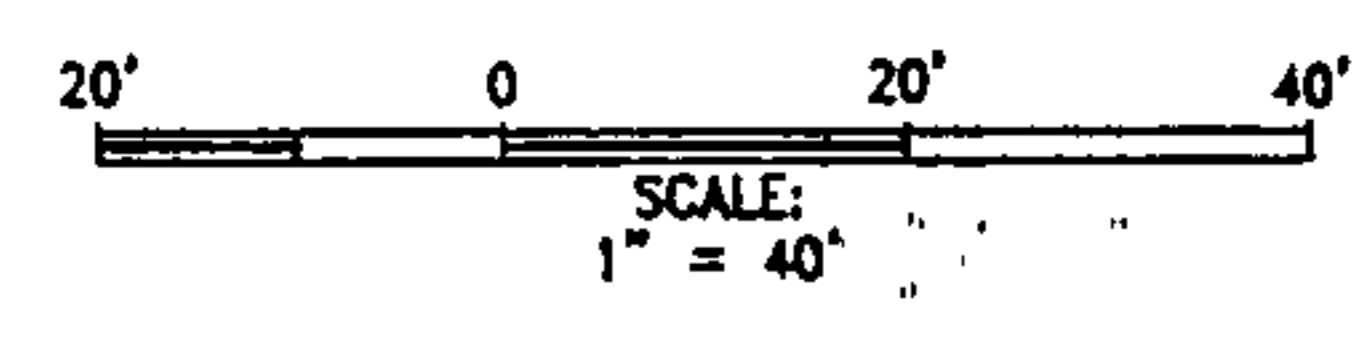
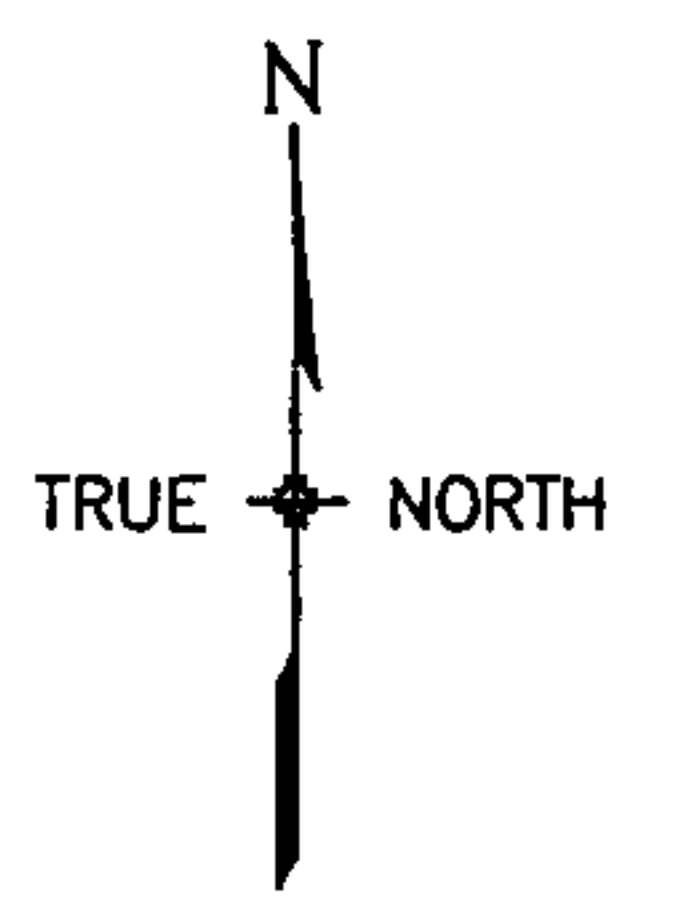
Thence S05°57'19"E along the right of way of 86th
Street a distance of 373.67 feet to the southeast
corner,

Thence S84°02'41"W a distance of 204.00 feet to the
southwest corner,

Thence N05°57'19"W a distance of 373.67 feet to a
point on the southerly right of way of Tower Road,

Thence S84°02'41"E along the southerly right of way
of Tower Road to the point of beginning of the said tract
herein described, containing 1.750 acres more or less.

- _____ Bernalillo County Development Review Authority, Chair
- _____ Bernalillo County Zoning
- _____ Bernalillo County Fire Marshall's Office
- _____ Bernalillo County Public Works
- _____ City Surveyor
- _____ City Utility Development Division
- _____ A.M.A.F.C.A.



No.	DATE	REVISIONS	BY	CHKD	APVLS
	10/06/03 <td>PROPERTY SURVEY <td>JRT <td>JT <td> </td> </td></td></td>	PROPERTY SURVEY <td>JRT <td>JT <td> </td> </td></td>	JRT <td>JT <td> </td> </td>	JT <td> </td>	

ENGINEERS SEAL

TES
TOWNER ENGINEERING SERVICES, INC.
8205 SPAIN N.E. SUITE #205
ALBUQUERQUE, NM 87109
PHONE: (505) 828-1930
FAX: (505) 828-1967

Performance Tool and Equipment
3300 4th Street
ALBUQUERQUE, NM 87104
PHONE: (505)
FAX: (505)

SITE INFORMATION	
TOWER BAPTIST CHURCH CORNER OF TOWER & 86TH ALBUQUERQUE, NEW MEXICO	
DESIGN TYPE	
SITE PLAN	
SHEET TITLE	
REPLAT	
SHEET NUMBER	REV.
SV-1	0