

CASE NUMBER: Z- _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on **MARCH 18, 2004** and that the findings and conditions in the Official Notice; Notification of Decision have been complied with.

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division _____ Date _____

Parks & Recreation Department _____ Date _____

Public Works Water Utilities Division _____ Date _____

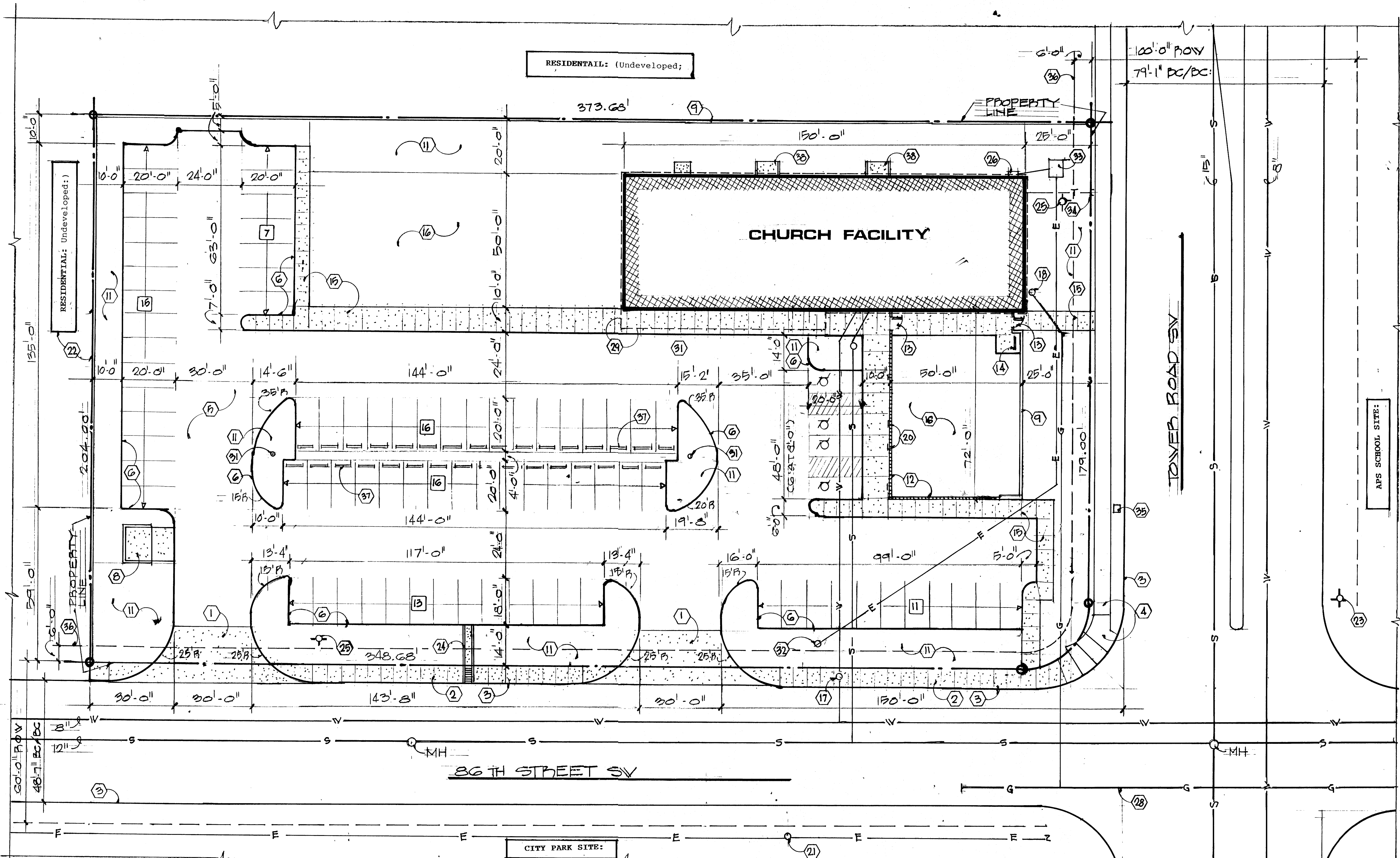
City Engineer, Engineering Division/AMAFCA _____ Date _____

Michael Holton _____ Date **4-1-04**

Solid Waste Management _____ Date _____

APPROVAL AND CONDITIONAL ACCEPTANCE, as specified by the Development Process Manual.

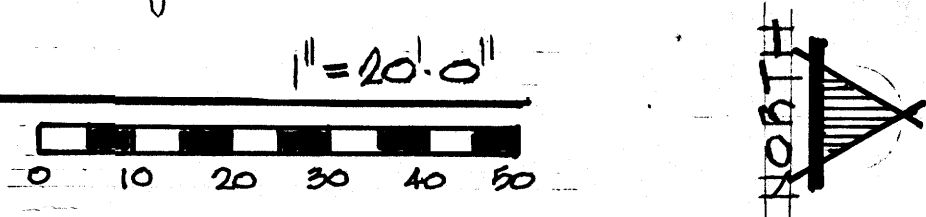
City Planner, Planning Division _____ Date _____



NOTES: (THIS SHEET)

- 1 NEW CONCRETE DRIVE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS.
- 2 NEW 6'-0" WIDE CONCRETE SIDEWALK WITH HANDICAPPED RAMPS AS REQUIRED BY AND IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS.
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- 7 PAINTED HANDICAPPED PATH.
- 8 TRASH RECEPTACLE ENCLOSURE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS: (CMU: SPLIT FACE, BROWN)
- 9 SOLID CMU WALL: 6'-0" HIGH: (SPLIT FACE, BROWN)
- 10 TYPICAL END ISLAND AS PER THE CITY OF ALBUQUERQUE. (SEE DETAIL 1/2, SHEET 2)
- 11 LANDSCAPE AREA: (SEE LANDSCAPE PLAN, SHEET 2)
- 12 METAL FENCE: 6'-0" HIGH: ()
- 13 METAL GATE: 4'-0" WIDE: ()
- 14 BICYCLE RACK: (5 SPACES) (1/20 PARKING SPACES)
- 15 CONCRETE WALK: TYPICAL: (6'-0" WIDE UNLESS NOTED OTHERWISE.)
- 16 AREA FOR FUTURE EXPANSION: (TEMPORARY LANDSCAPING)
- 17 WATER METER:
- 18 NATURAL GAS METER:
- 19 _____
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- 22 **NOTE:** THE OWNER INTENDS TO PURCHASE THE PROPERTY SOUTH OF THIS SITE. (SEE VICINITY PLAN) THEIR INTENTION IS TO COMPLETE THE PURCHASE WITHIN A YEAR. THEY REQUEST THE FOLLOWING CONSIDERATION:
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SITE PLAN:



SITE:

- **DESCRIPTION:** NORTHERLY 213' AND SOUTHERLY 160' OF LOT 430; ATRISCO GRANT, UNIT 3; ALBUQUERQUE, NEW MEXICO (REPLAT)
- **ADDRESS:** 601 EIGHTH SIXTH STREET SW ALBUQUERQUE, NEW MEXICO
- **AREA:** 76,296 SF: (1.75 ACRES)
- **ZONED:** SU-1: (CHURCH FACILITY)
- **SEISMIC ZONE:** 2B:
- **ZONE ATLAS:** L-9-2:

PROJECT:

- **OCCUPANCY:** A-2.1: (CHURCH FACILITY)
- **CONSTRUCTION:** V-1 HR: (10,500 SF ALLOWABLE)
- **AREA:** 7,500 SF: (NLA: 6,011 SF)
- **PARKING:**
 - REQUIRED: SANCTUARY AREA: 1 PARKING SPACE REQUIRED FOR EACH 4 SEATS:
 - PROVIDED: 82 SPACES: (4 HANDICAPPED)
 - **NOTE:** OCCUPANCY LOAD ALLOWABLE: 328 SEATS; THIS PROJECT SANCTUARY AREA WILL ACCOMMODATE 140 SEATS: (MAXIMUM); ANY FUTURE SANCTUARY AREA WILL ACCOMMODATE 300 SEATS: (MAXIMUM)
- **LANDSCAPING:**
 - REQUIRED: (76,296 - 7,500) (.15) = 10,520 SF:
 - PROVIDED: 17,329 SF: (25%)
- **SETBACKS:** 10'-0": (MAXIMUM)
- **BUILDING HEIGHT:** 26'-0": (MAXIMUM)
- **FLOOR AREA RATIO:** .10:

LEGEND: (SITE PLAN)

NEW CONSTRUCTION:

CONCRETE:

WATER SERVICE LINE:

SEWER SERVICE LINE:

NATURAL GAS SERVICE LINE:

ELECTRICAL SERVICE LINE:

TELEPHONE SERVICE LINE:

HOSE BIBB:

LANDSCAPE ITEM: (SEE LANDSCAPE PLAN)

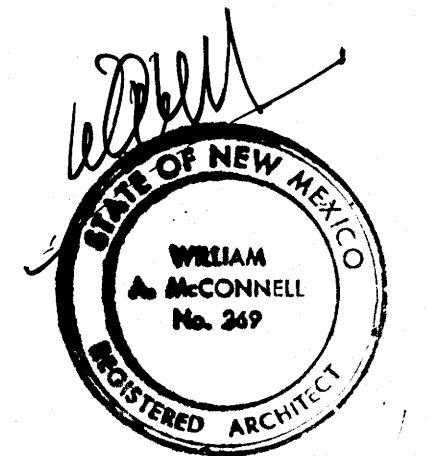
FIRE HYDRANT:

KEYED NOTE: (SEE THIS SHEET)

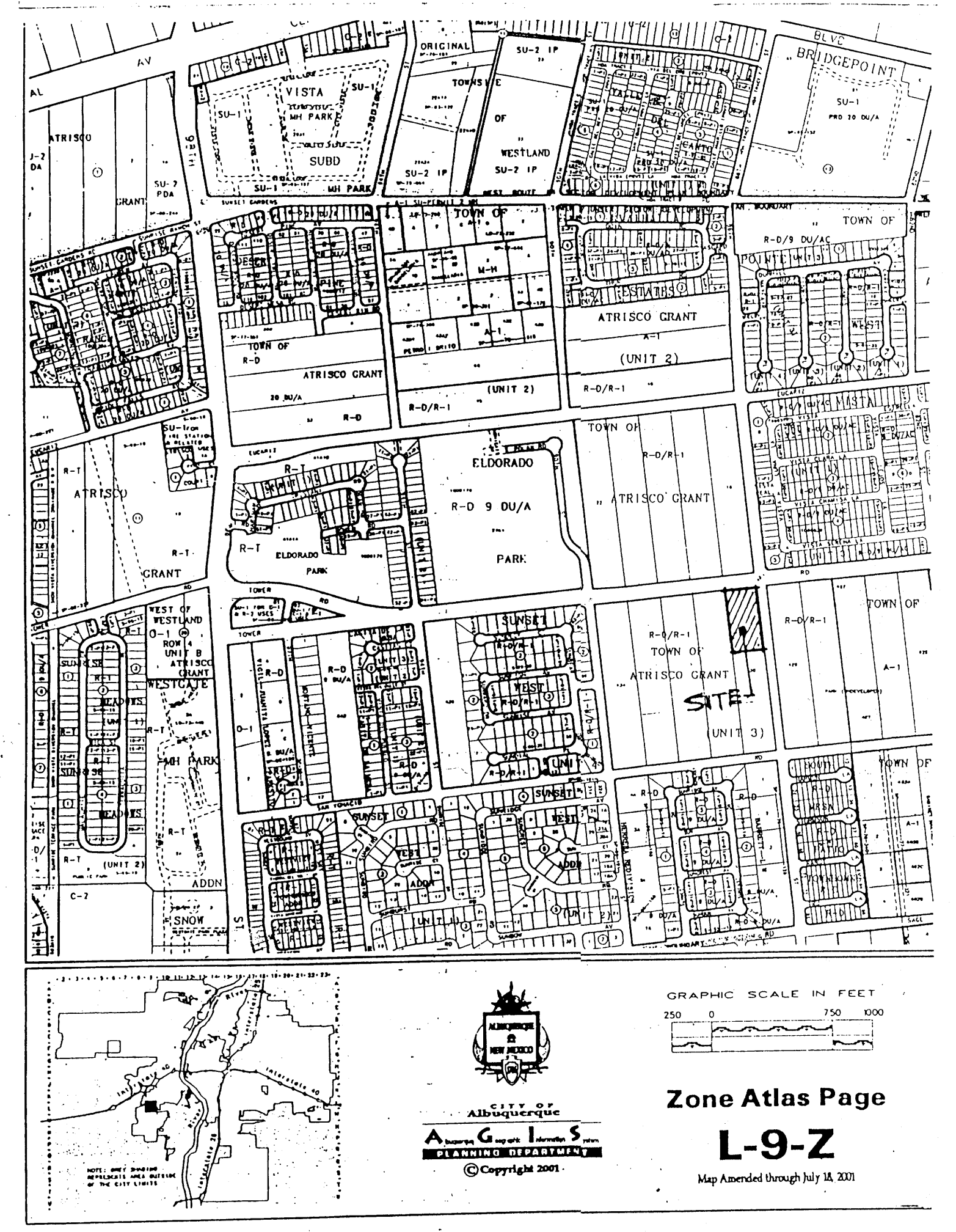
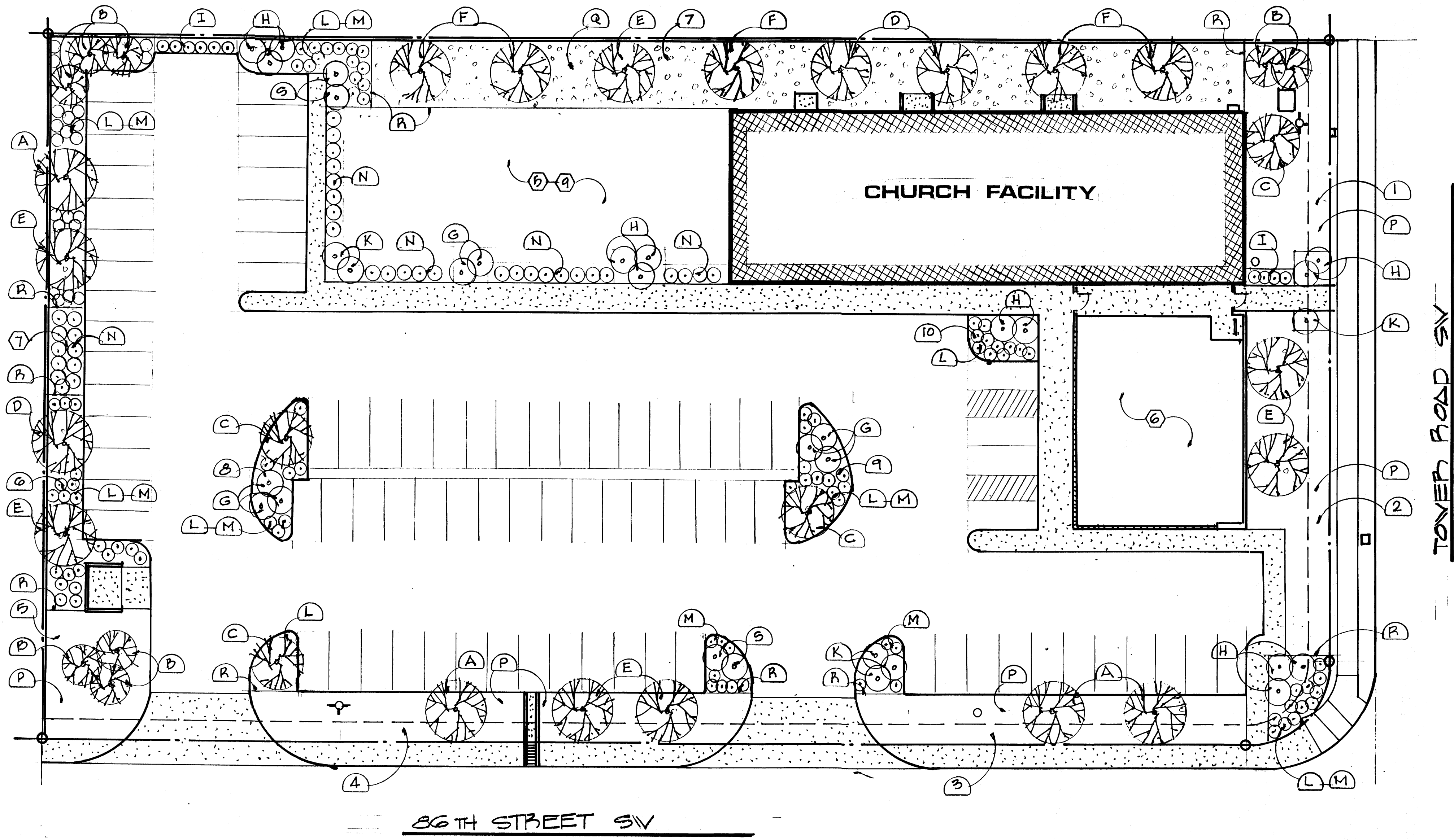
AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANTS ONLY
Signature 4/1/04
SIGNATURE & DATE

- 23 EXISTING FIRE HYDRANT:
- 24 CONCRETE DRAINAGE TROUGH: (SEE GRADING / DRAINAGE PLAN)
- 25 NEW FIRE HYDRANT: (PROPOSED)
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- 27 _____
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- 29 FASCIA:
- 30 **SIGNS:**
 - THERE ARE NO FREE STANDING SIGNS PROPOSED.
 - THE NAME OF THE CHURCH WILL EVENTUALLY BE INSTALLED ON THE WALL. (SIMPLE LETTERS, NOT ILLUMINATED)
- 31 **EXTERIOR LIGHTING:**
 - BUILDING: DOWNLIGHTING UNDER SOFFIT: (EAST SIDE)
 - PARKING AREA: FUTURE POLE LIGHTING LOCATED IN THE PARKING ISLANDS. ANY POLE LIGHTING WILL BE 16'-0" HIGH, (MAXIMUM)
 - LIGHT FIXTURES SHALL CONFORM WITH AREA LIGHT, ILLUMINATION, ETC. REGULATIONS.
- 32 NEW POWER POLE: (SEE ELECTRICAL)
- 33 NEW TRANSFORMER: (SEE ELECTRICAL)
- 34 TELEPHONE PEDESTAL:
- 35 EXISTING STREET LIGHT BOX:
- 36 DEDICATED RIGHT OF WAY LINE:
- 37 PRECAST CONCRETE BUMPER: (TYPICAL)
- 38 MECHANICAL EQUIPMENT WITH CMU SCREEN: (MATCH CMU WALL)

PROJECT NO. 1003012
04EPC-00145 - BUILDING PERMIT



MARCH 2004
 SITE PLAN: (FOR SUBMITTAL)
 TOWER DAPTIST CHURCH FACILITY - NEW MEXICO
 ALBUQUERQUE
 WILLIAM A. MC CONNELL - ARCHITECT
 NEW MEXICO



LANDSCAPING PLAN:

NOTES: (THIS SHEET)

- 1 LANDSCAPING SHALL BE AS PER "PLANTING RESTRICTIONS APPROACH":
 - MEDIUM AND LOW WATER USE TREES / PLANTS 80% (MINIMUM) OF LANDSCAPED AREA;
 - WATER REQUIREMENTS ((H)=HIGH, (M)=MEDIUM, (L)=LOW) NOTED ON SCHEDULE IS AS PER ALBUQUERQUE PLANT LIST;
- 2 GENERAL:
 - LANDSCAPED AREAS:
 - SHALL BE PREPARED WITH REQUIRED AND SUITABLE AMENDMENTS FOR PLANTING AND MAINTAINING SOD, TREES, SHRUBS, ETC.
 - EXCAVATE TO NATURAL SUBSOIL LEVEL;
 - FILL WITH CLEAN SUBSOIL AND 4" TOPSOIL (MINIMUM) CONTAINING HUMUS. (FREE OF DEBRIS, WEEDS, FIELD GRASSES, ETC.)
 - TREES: SHALL BE 2" CALIPER (MINIMUM) AT 2'-0" ABOVE GROUND AND SHALL BE 10'-0" (MINIMUM) IN HEIGHT.
 - PLANTS / SHRUBS: SHALL BE 5 GALLON (MINIMUM).
 - GROUND COVER: SHALL BE ESTABLISHED WITHIN ONE (1) YEAR OF PLANTING (MAXIMUM).
 - SOD: PLANTINGS, SHREDDED BARK, RIVER RUN GRAVEL SHALL BE OVER SOIL TREATED FOR WEED CONTROL.
 - IRRIGATION: UNDERGROUND SPRINKLER AND DRIP SYSTEM AS FOLLOWS: (CONTRACTOR SHALL SUBMIT PLAN AND SPECIFICATIONS FOR SYSTEM PROPOSED)
 - VALVE BOXES:
 - PRESSURE LINES: SCHEDULE 40 PVC;
 - LATERAL AND DISTRIBUTION LINES: CLASS 200 PVC;
 - HEADS: POP-UP TYPE INSTALLED IN LAWN AREAS;
 - CONTROL WIRE: SOLID COPPER, UL APPROVED;
 - NOTE: OWNER SHALL MAINTAIN LANDSCAPING.
 - SYSTEM SHALL INCLUDE AUTOMATIC VALVES AND TIMER TIMER TO BE LOCATED IN UTILITY ROOM "16":
 - SYSTEM TO HAVE YARD SPRAY AT SOD, DRIP AT ELSEWHERE;

3 AREA:

1.....	1,750 SF:
2.....	2,225 SF:
3.....	1,771 SF:
4.....	2,184 SF:
5.....	990 SF:
6.....	2,330 SF:
7.....	5,100 SF:
8.....	368 SF:
9.....	491 SF:
10.....	120 SF:
TOTAL... 17,329 SF:	

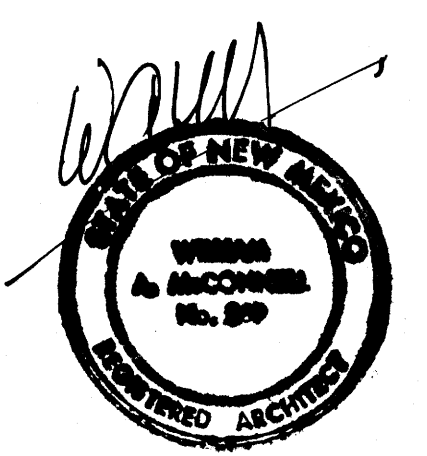
4 SCHEDULE:

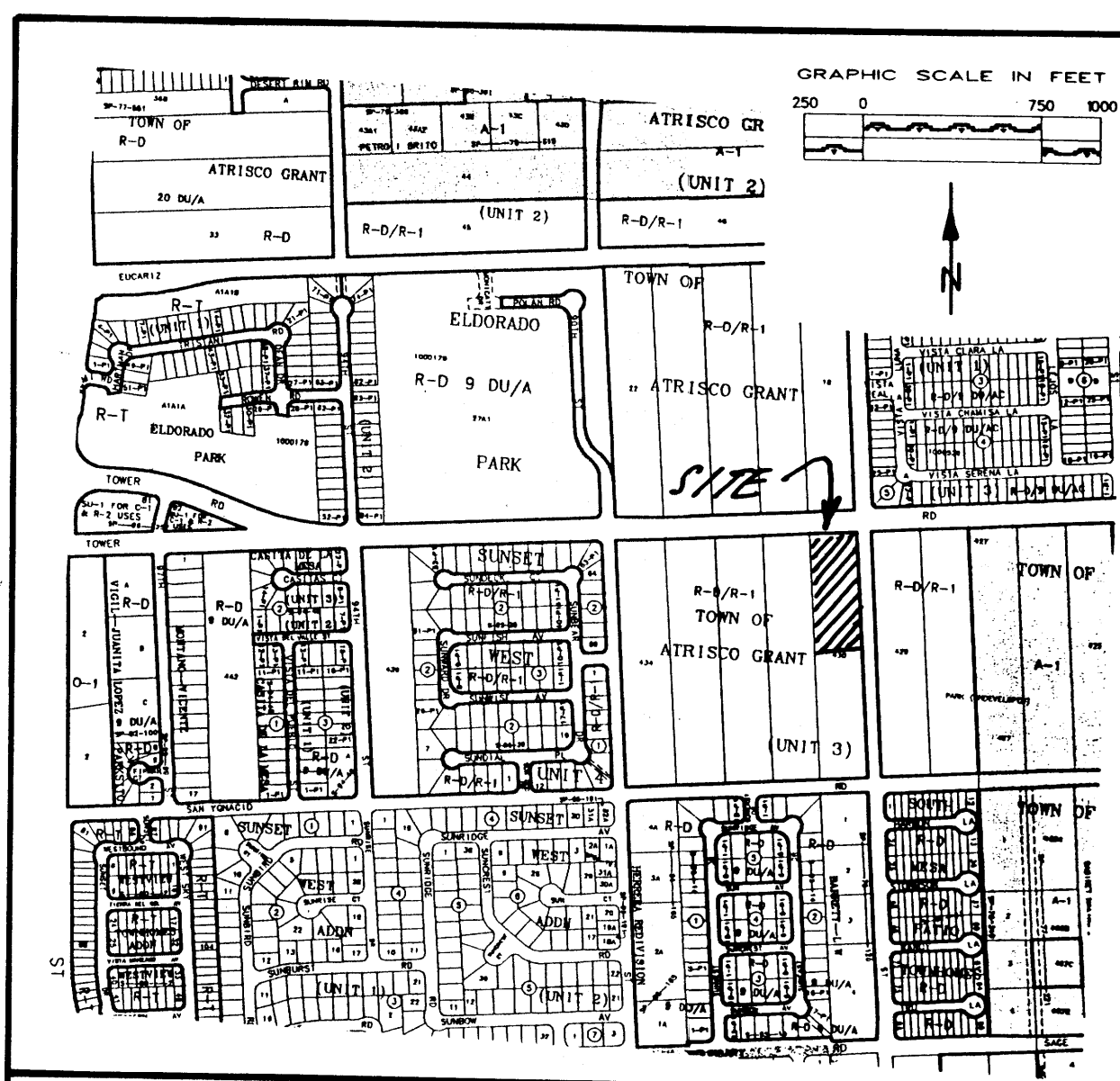
A. TREE:	DESERT WILLOW: (L)
B. TREE:	PINON PINE: (M)
C. TREE:	FLOWERING PLUM: (M)
D. TREE:	NEFLIEN HACKBERRY: (L)
E. TREE:	CHINESE PISTACHE: (L)
F. TREE:	AFGAN PINE: (L)
G. SILVER SAGE:	(L)
H. RUSSIAN SAGE:	(M)
I. SANTOLINA:	LAVENDER-COTTON: (L)
J. BUTTERFLY BUSH:	(L)
K. HUMMINGBIRD BUSH:	
L. YELLOW ICEPLANT:	(M)
M. PURPLE ICEPLANT:	(L)
N. SANTOLINA:	GRAY LAVENDER COTTON: (L)
O. SHRUBBY ICEPLANT:	(L)
P. BLUE GRAMA GRASS:	
Q. GRAVEL MULCH:	(3/4" SANTA FE BROWN)
R. EDGING:	(METAL OR PLASTIC)
S. APACHE PLUME:	(L)
T. SPANISH BROOM:	(M)

GROUND COVER:

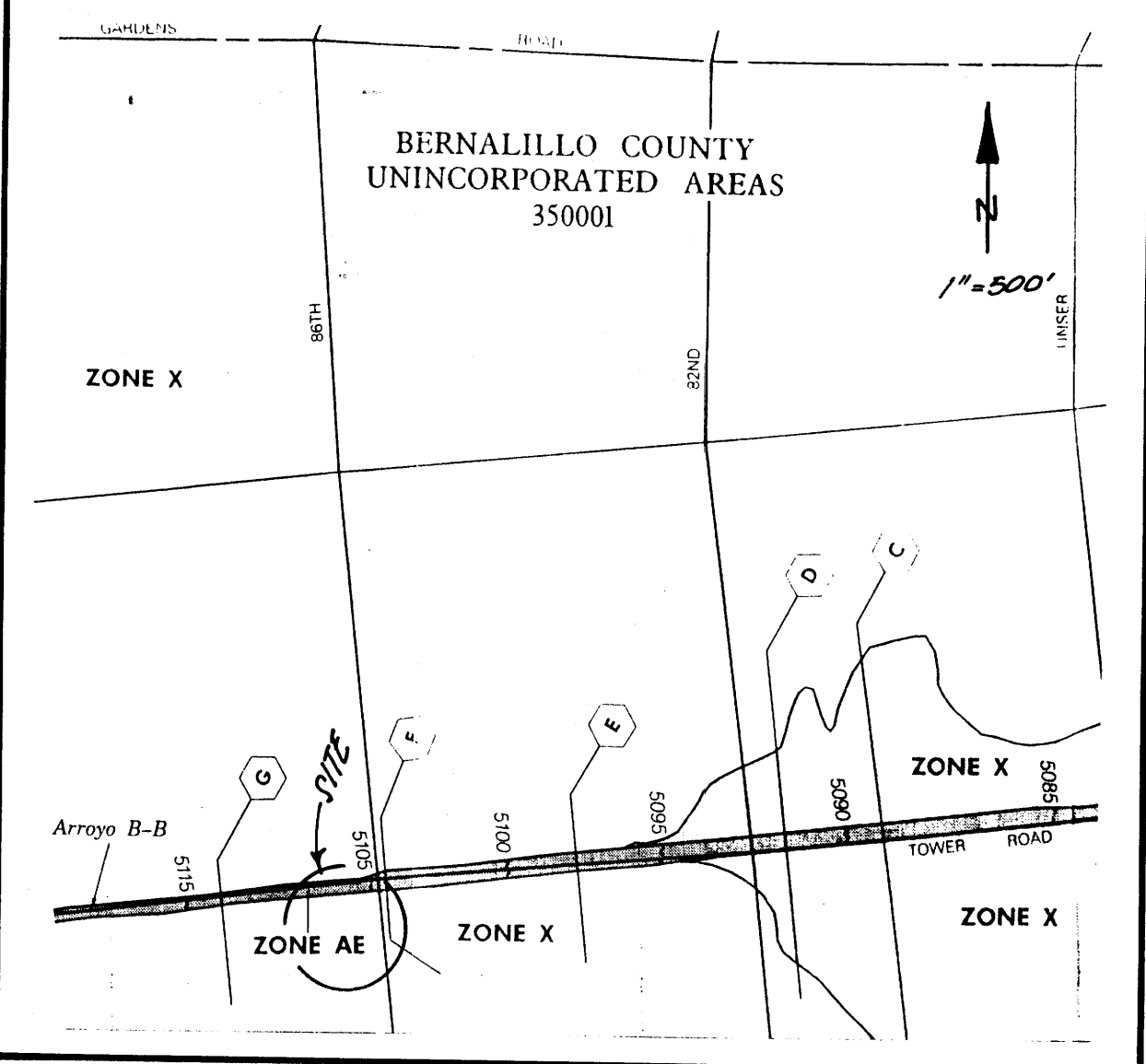
- 5 AREA DESIGNATED FUTURE DEVELOPMENT IS NOT INCLUDED IN LANDSCAPING CALCULATIONS. LANDSCAPING SHOWN IS TO BE TEMPORARY. AREA GROUND COVER TO BE ITEM "Q".
- 6 PLAY AREA IS NOT INCLUDED IN LANDSCAPING CALCULATION. PLAY AREA TO BE DEVELOPED BY OTHERS. AREA DESIGNATED FUTURE DEVELOPMENT LANDSCAPING, ETC. IS TO BE TEMPORARY.
- 7 THIS AREA (24' WIDE) TO BE KEPT CLEAR FOR POSSIBLE EXTENSION OF DRIVE TO ADJACENT SITE. (SEE NOTE "22", SHEET 1);
- 8 LIVING MATERIAL GROUND COVER:
 - REQUIRED: (70%)..... 12,130 SF:
 - PROVIDED:..... 12,229 SF:
- 9 LANDSCAPING AT FUTURE DEVELOPMENT AREA (NOTES "5" & "6") TO BE MAINTAINED BY THE OWNER.

PROJECT NO. 1003012
04EPC-00145 - BUILDING PERMIT





ZONE ATLAS MAP L-9-Z



F.E.M.A. PANEL 328 OF 825

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:
 TOP OF CURB ELEVATION = 101.00
 CURB FLOWLINE ELEVATION = 101.32
 EXISTING SPOT ELEVATION = 101.00
 EXISTING CONTOUR ELEVATION = 105.0
 PROPOSED SPOT ELEVATION = 105.0
 PROPOSED CONTOUR ELEVATION = 105.0
 PROPOSED OR EXISTING CONCRETE SURFACE = [Symbol]
 EXISTING FENCE LINE = [Symbol]

- GENERAL NOTES:**
- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
 - NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

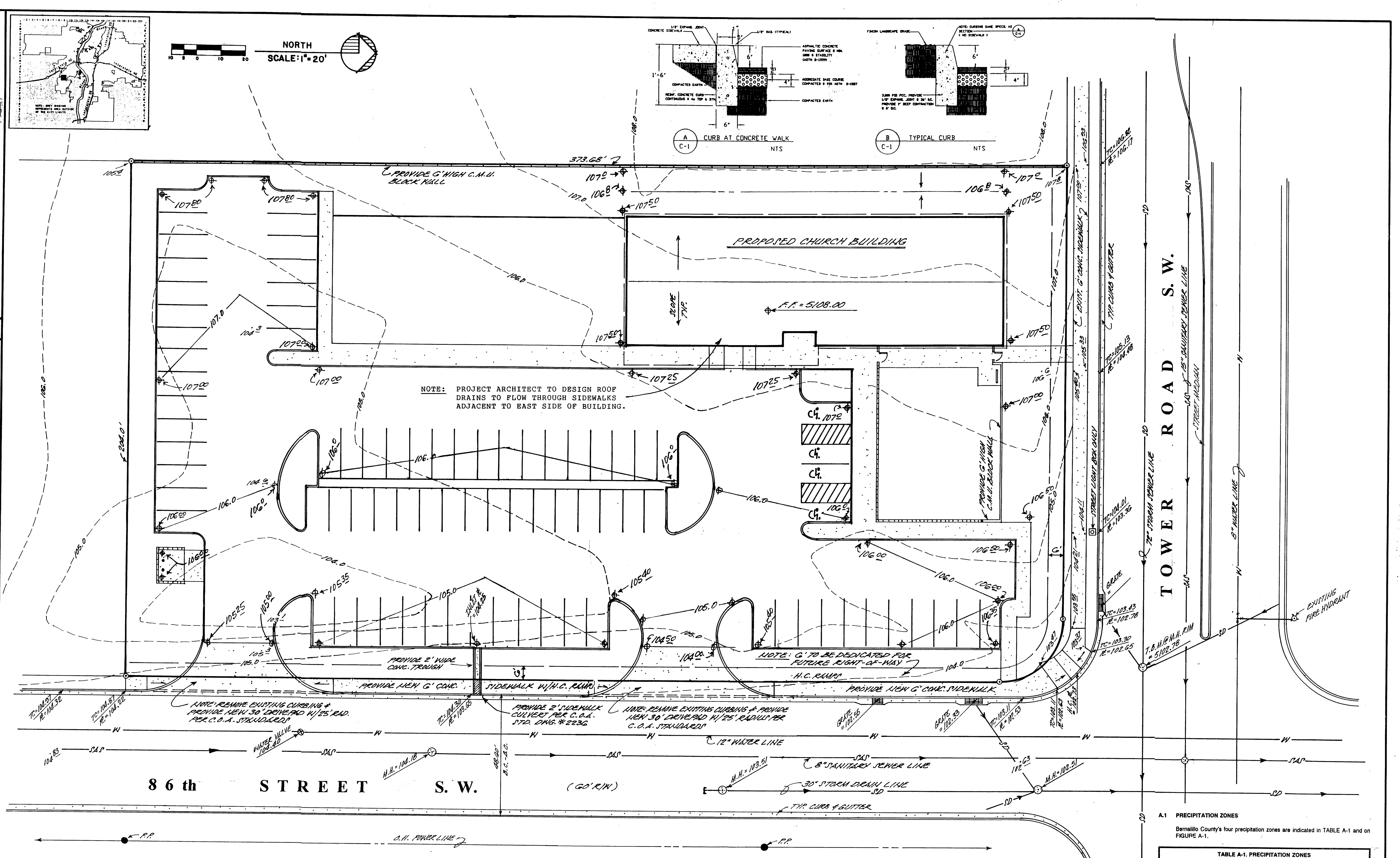


TABLE A-10. PEAK INTENSITY DRAIN AT L = 5.2 hour

Zone	Intensity	100-YR	10-YR
1	4.76	1.84, 3.14	4.37
2	5.00	2.24, 3.41	4.70
3	5.28	2.21, 3.25	4.50
4	5.83	2.24, 3.25	4.50

TABLE A-6. PEAK DISCHARGE (cfs/acre)

Zone	A	B	C	D
1	1.29	2.03	2.87	4.37
2	1.58	2.29	3.14	4.70
3	1.67	2.40	3.45	4.92
4	2.20	2.92	3.70	5.25

TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands, Unlined arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

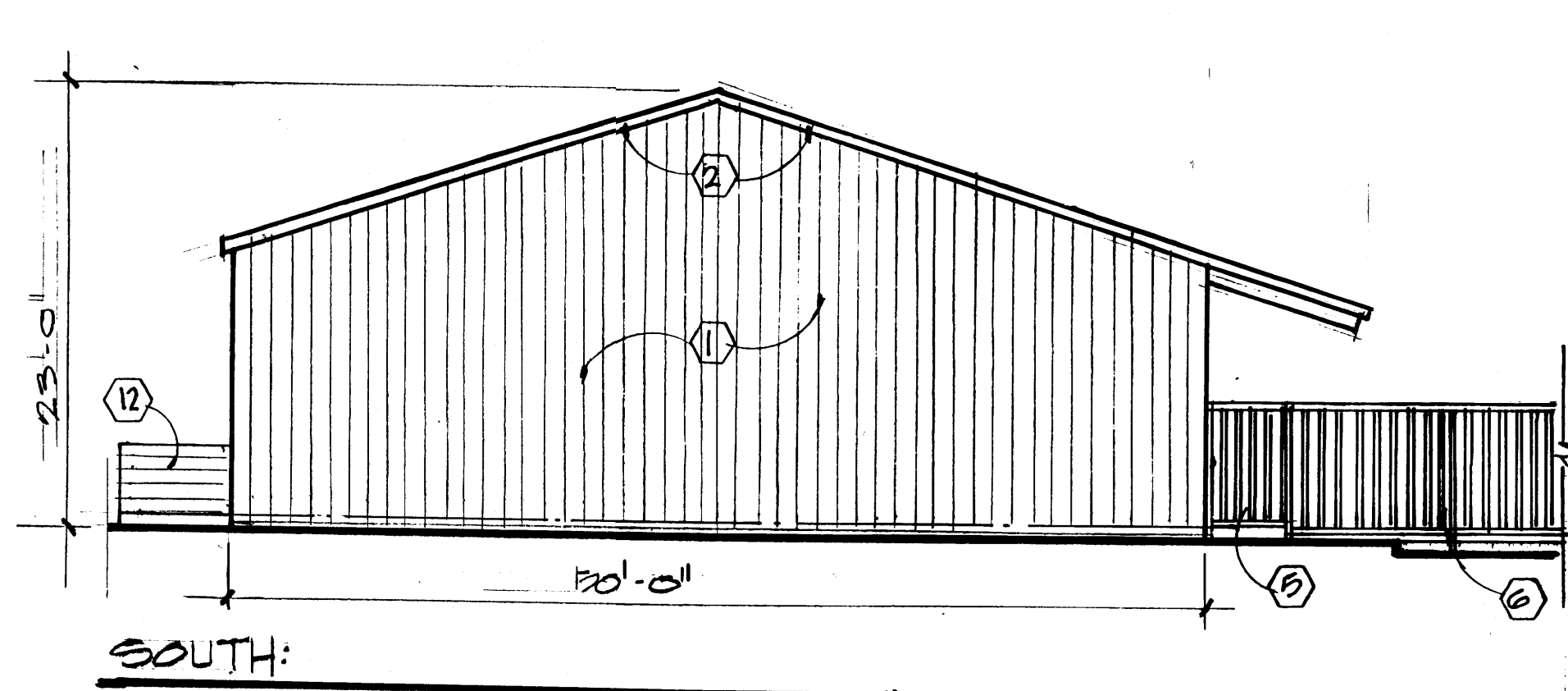
TABLE A-1. PRECIPITATION ZONES

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

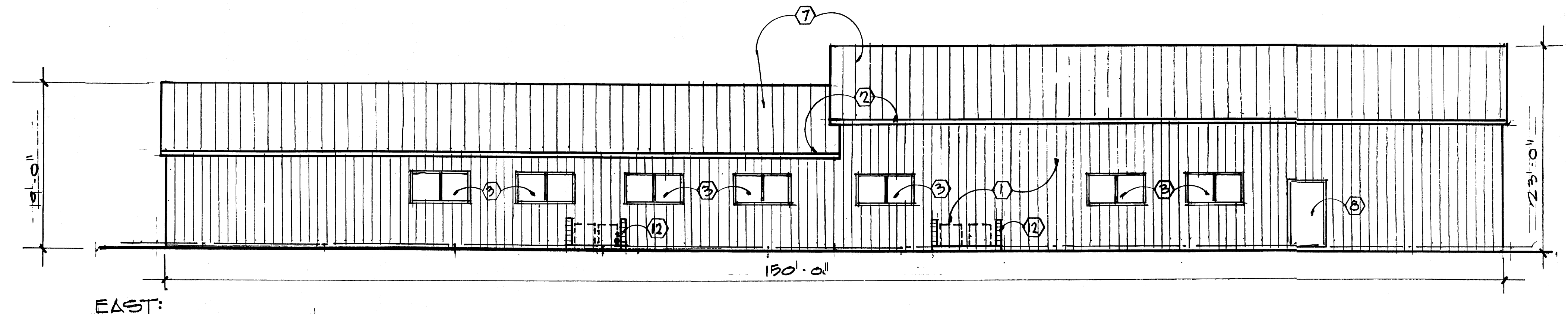
FIGURE A-1

GRADING AND DRAINAGE PLAN FOR TOWER BAPTIST CHURCH (S.W. CORNER OF TOWER RD. S.W. & 86th ST. S.W. ALBUQUERQUE, NEW MEXICO) JANUARY, 2004

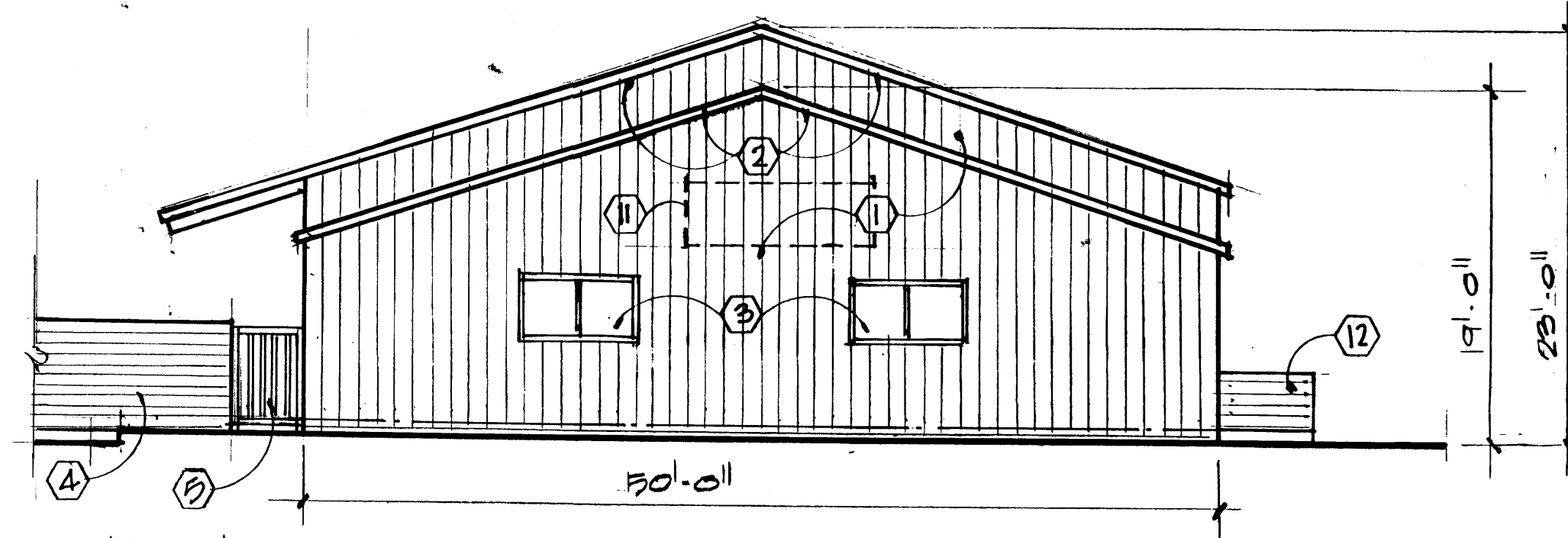
LEVI VALDEZ
 NEW MEXICO
 5693
 02-05-04
 ENGINEER'S SEAL



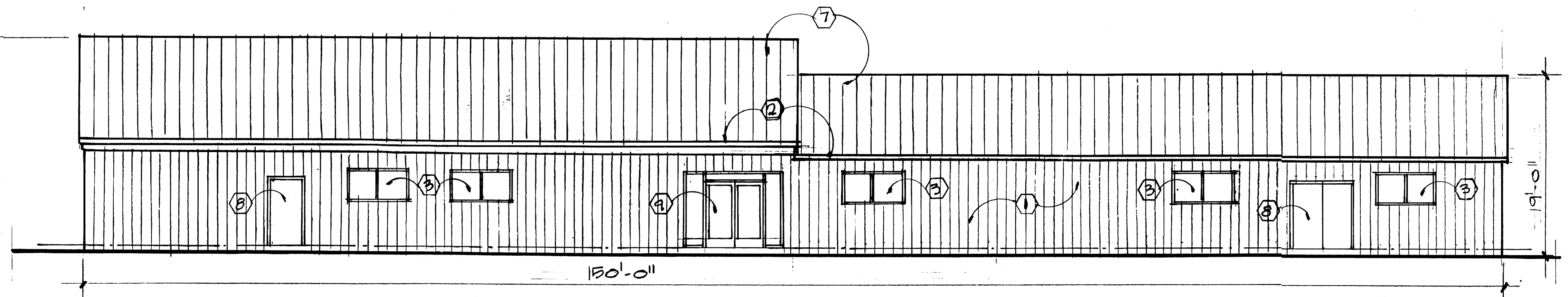
SOUTH:



EAST:



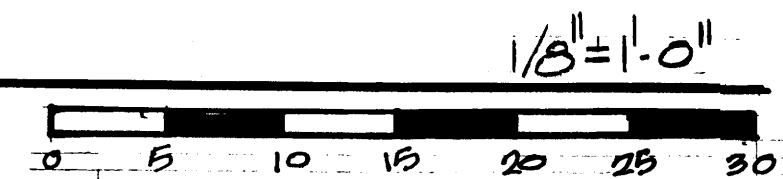
NORTH:



WEST:

EXTERIOR ELEVATIONS:

NOTES: (THIS SHEET)



- 1 PREFINISHED METAL SIDING: (LIGHT GRAY)
- 2 METAL TRIM: (BLUE)
- 3 WINDOW, METAL FRAME: (LIGHT GRAY) (3'-0" x 6'-0")
- 4 CMU WALL: (MEDIUM BROWN)
- 5 METAL GATE: (BLUE: MATCH TRIM)
- 6 METAL FENCE: (BLUE: MATCH TRIM)
- 7 PREFINISHED METAL ROOFING: (GAVALUME)
- 8 METAL DOOR(S) METAL FRAME: (LIGHT GRAY: MATCH SIDING)
- 9 GLAZED ENTRY: METAL DOORS AND FRAME: (LIGHT GRAY: MATCH SIDING)
- 10 NOTE: COLORS ARE AS PER PRE-ENGINEERED METAL BUILDING MANUFACTURERS' STANDARD COLORS.
- 11 AREA FOR SIGNAGE: 10'-0" x 3'-0" MAXIMUM:
(SEE NOTE "30" SHEET 1)
- 12 CMU SCREEN AT MECHANICAL EQUIPMENT:
3'-0" HIGH MINIMUM: (SEE NOTE "38" SHEET 1)

MARCH 2004

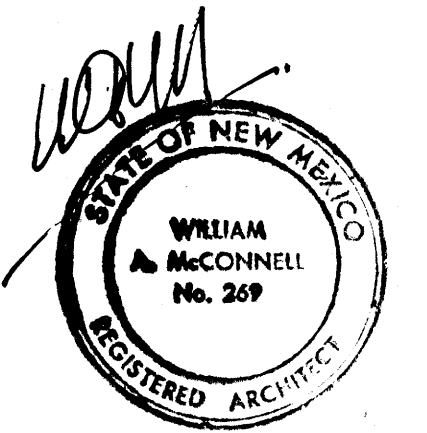
EXTERIOR ELEVATIONS:

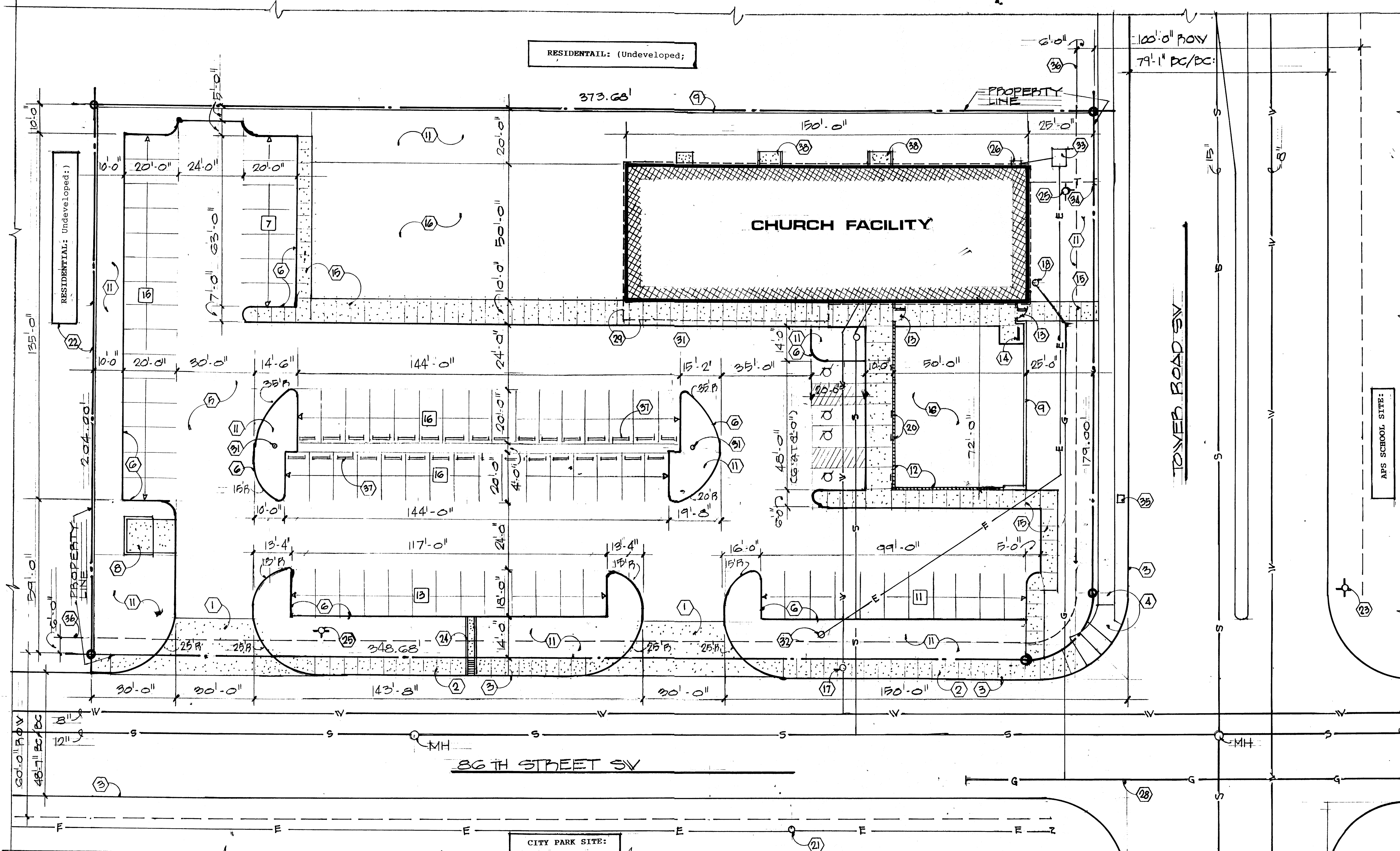
TOWER BAPTIST CHURCH FACILITY
ALBUQUERQUE • NEW MEXICO

WILLIAM A. MC CONNELL • ARCHITECT
NEW MEXICO
ALBUQUERQUE

4

PROJECT NO. 1003012
04EPC-00145 - BUILDING PERMIT





CASE NUMBER: Z-

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SITE DEVELOPMENT PLAN

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Public Works Water Utilities Division _____ Date _____

City Engineer, Engineering Division/AMA/FA _____ Date _____

Michael Hutton
Solid Waste Management _____ Date **4-1-04**

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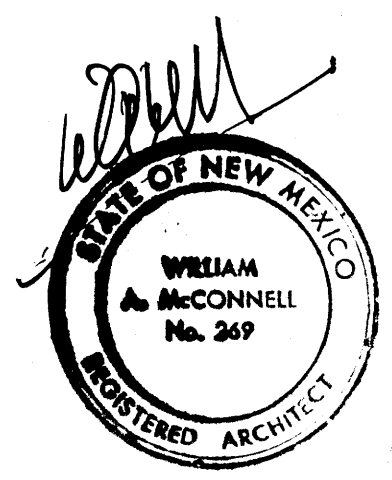
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MARCH 2004
 SITE PLAN: (CORP SUBMITTAL)
 TOWER DAPTIST CHURCH FACILITY - NEW MEXICO
 ALBUQUERQUE
 WILLIAM A. MC CONNELL - ARCHITECT - NEW MEXICO

SITE PLAN:

SITE:

- DESCRIPTION: NORTHERLY 213' AND SOUTHERNLY 160' OF LOT 430: ATRISCO GRANT, UNIT 3: ALBUQUERQUE, NEW MEXICO (REPLAT)
- ADDRESS: 601 EIGHTY SIXTH STREET SW ALBUQUERQUE, NEW MEXICO
- AREA: 76,296 SF: (1.75 ACRES)
- ZONED: SU-1: (CHURCH FACILITY)
- SEISMIC ZONE: 2B:
- ZONE ATLAS: L-9-2:

PROJECT:

- OCCUPANCY: A-2.1: (CHURCH FACILITY)
- CONSTRUCTION: V-1 HR: (10,500 SF ALLOWABLE)
- AREA: 7,500 SF: (NLA: 6,011 SF)
- PARKING:
 - REQUIRED: SANCTUARY AREA: 1 PARKING SPACE REQUIRED FOR EACH 4 SEATS:
 - PROVIDED: 82 SPACES: (4 HANDICAPPED)
 - NOTE: OCCUPANCY LOAD ALLOWABLE: 328 SEATS: THIS PROJECT SANCTUARY AREA WILL ACCOMMODATE 140 SEATS: (MAXIMUM) ANY FUTURE SANCTUARY AREA WILL ACCOMMODATE 300 SEATS: (MAXIMUM)
- LANDSCAPING:
 - REQUIRED: (76,296 - 7,500) (.15) = 10,520 SF:
 - PROVIDED: 17,329 SF: (25%)
- SETBACKS: 10'-0": (MAXIMUM)
- BUILDING HEIGHT: 26'-0": (MAXIMUM)
- FLOOR AREA RATIO: .10:

LEGEND: (SITE PLAN)

NEW CONSTRUCTION:

CONCRETE:

WATER SERVICE LINE:

SEWER SERVICE LINE:

NATURAL GAS SERVICE LINE:

ELECTRICAL SERVICE LINE:

TELEPHONE SERVICE LINE:

AFD PLANS CHECKING OFFICE
924-3611
APPROVED AS APPROVED
HYDRANT(S) ONLY
MARCH 18, 2004

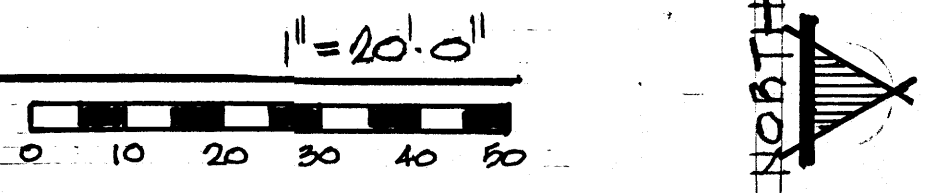
DENOTES NUMBER OF PARKING SPACES PER ROW SHOWN: (9'-0" WIDE, 20'-0" LONG, UNLESS NOTED OTHERWISE.) (4" LINES PAINTED) (O SPACE NUMBER)

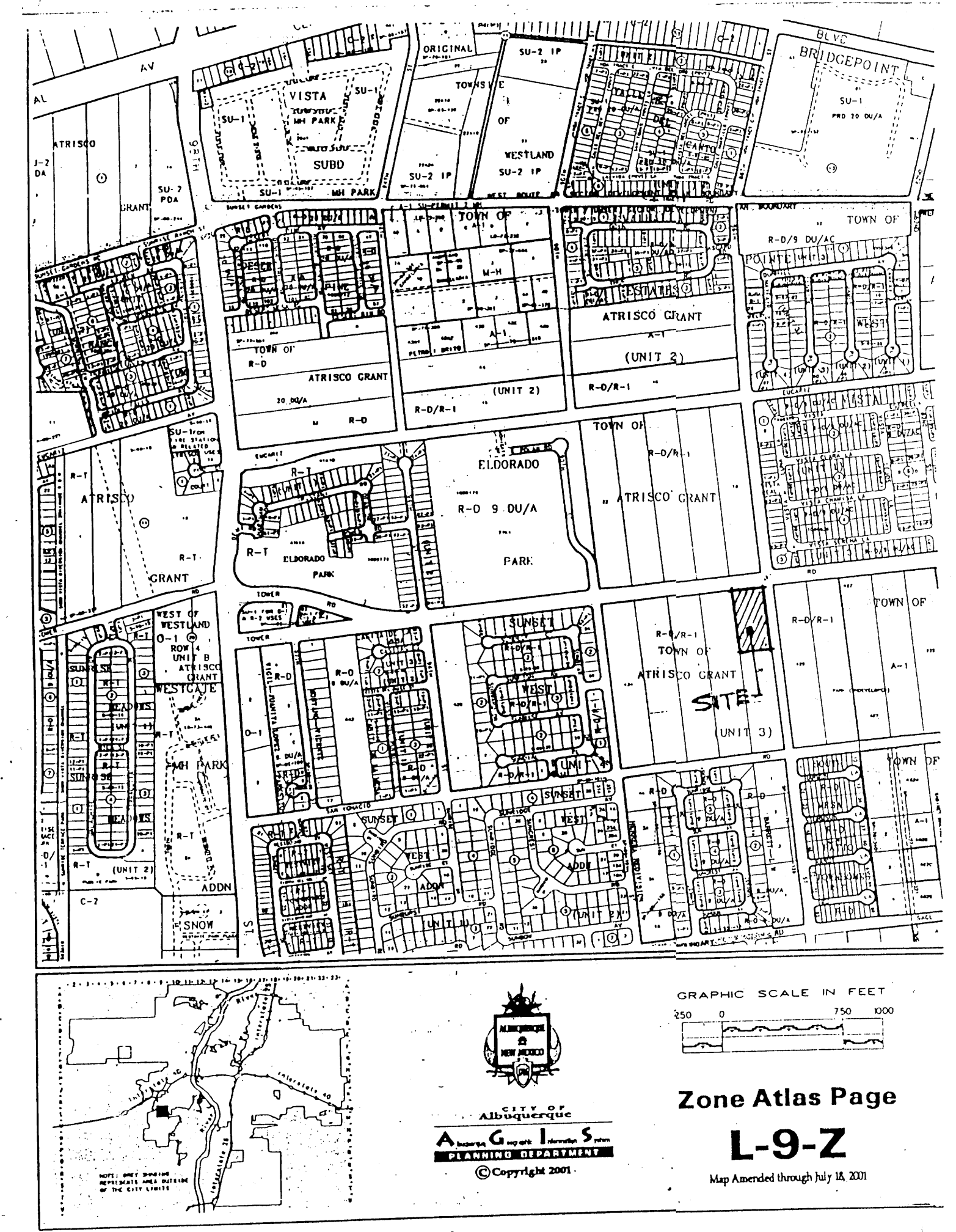
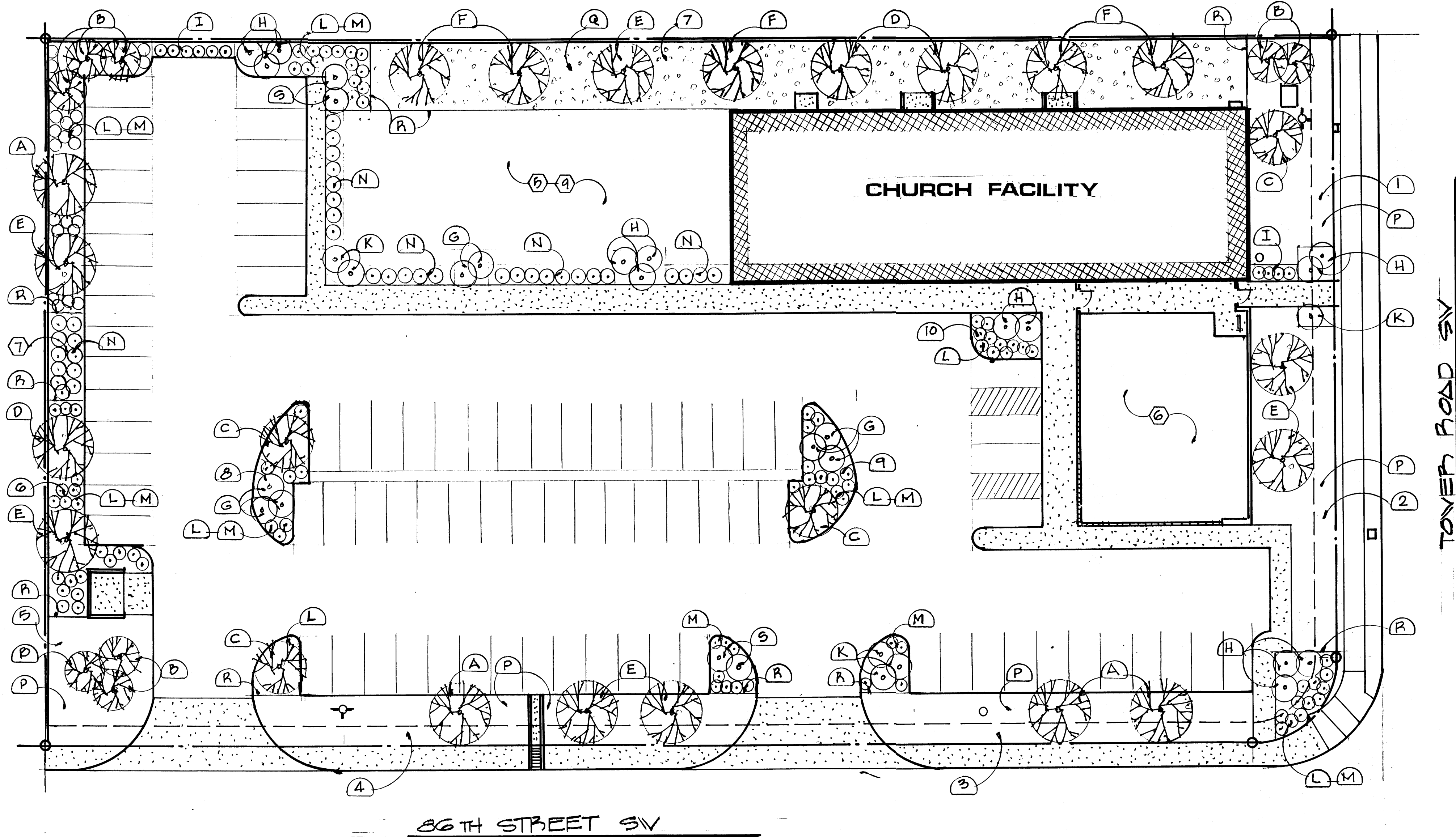
HOSE BIBB:

LANDSCAPE ITEM: (SEE LANDSCAPE PLAN)

FIRE HYDRANT:

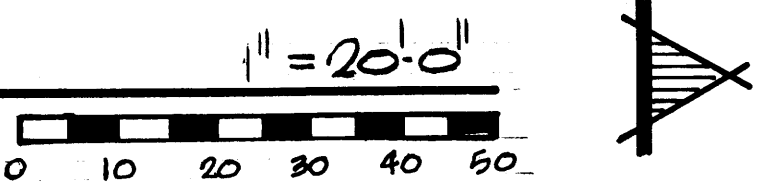
KEYED NOTE: (SEE THIS SHEET)





VICINITY PLAN:

LANDSCAPING PLAN:



NOTES: (THIS SHEET)

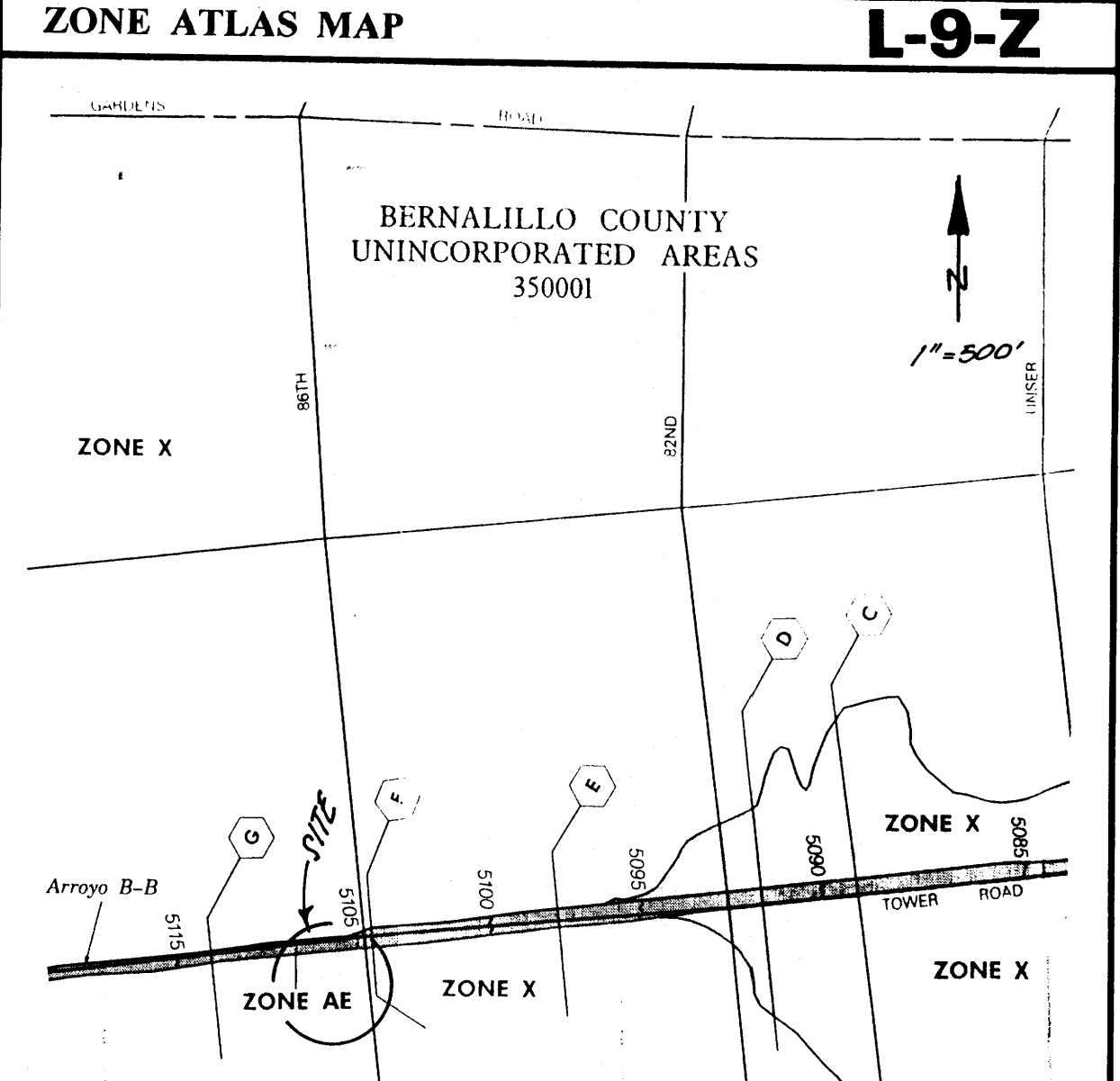
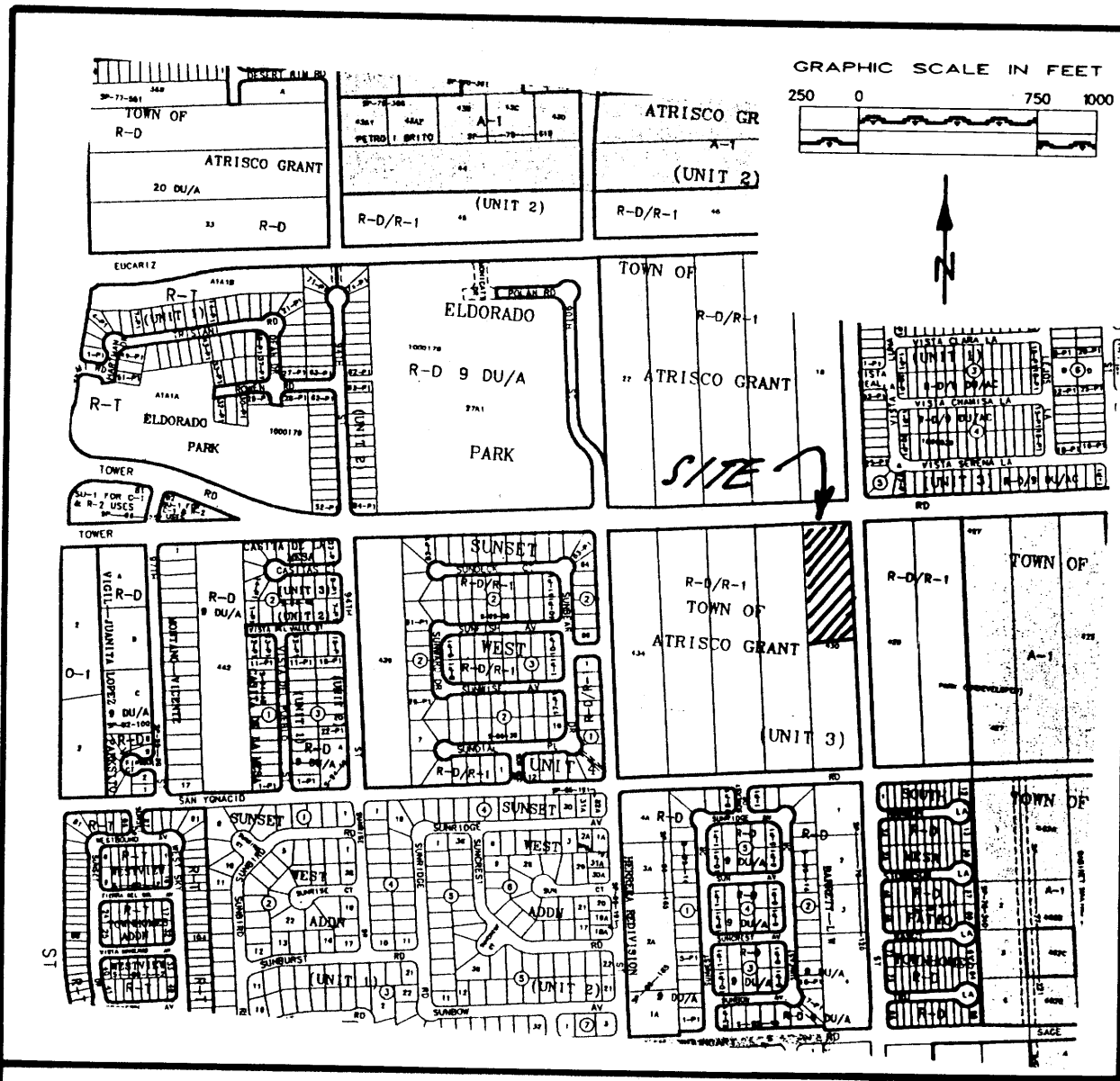
- 1 LANDSCAPING SHALL BE AS PER "PLANTING RESTRICTIONS APPROACH":
 - MEDIUM AND LOW WATER USE TREES / PLANTS 80% (MINIMUM) OF LANDSCAPED AREA.
 - WATER REQUIREMENTS ((H)=HIGH, (M)=MEDIUM, (L)=LOW) NOTED ON SCHEDULE IS AS PER ALBUQUERQUE PLANT LIST:
- 2 GENERAL:
 - LANDSCAPED AREAS: . SHALL BE PREPARED WITH REQUIRED AND SUITABLE AMENDMENTS FOR PLANTING AND MAINTAINING SOD, TREES, SHRUBS, ETC.
 - EXCAVATE TO NATURAL SUBSOIL LEVEL.
 - FILL WITH CLEAN SUBSOIL AND 4" TOPSOIL (MINIMUM) CONTAINING HUMUS. (FREE OF DEBRIS, WEEDS, FIELD GRASSES, ETC.)
 - TREES: . SHALL BE 2" CALIPER (MINIMUM) AT 2'-0" ABOVE GROUND AND SHALL BE 10'-0" (MINIMUM) IN HEIGHT.
 - PLANTS / SHRUBS: .SHALL BE 5 GALLON (MINIMUM).
 - GROUND COVER: . SHALL BE ESTABLISHED WITHIN ONE (1) YEAR OF PLANTING (MAXIMUM).
 - SOD, PLANTINGS, SHREDDED BARK, RIVER RUN GRAVEL SHALL BE OVER SOIL TREATED FOR WEED CONTROL.
 - IRRIGATION: . UNDERGROUND SPRINKLER AND DRIP SYSTEM AS FOLLOWS: (CONTRACTOR SHALL SUBMIT PLAN AND SPECIFICATIONS FOR SYSTEM PROPOSED)
 - VALVE BOXES:
 - PRESSURE LINES: SCHEDULE 40 PVC:
 - LATERAL AND DISTRIBUTION LINES: CLASS 200 PVC:
 - HEADS: POP-UP TYPE INSTALLED IN LAWN AREAS:
 - CONTROL WIRE: SOLID COPPER, UL APPROVED:
 - NOTE: OWNER SHALL MAINTAIN LANDSCAPING.
 - SYSTEM SHALL INCLUDE AUTOMATIC VALVES AND TIMER TIMER TO BE LOCATED IN UTILITY ROOM "16":
 - SYSTEM TO HAVE YARD SPRAY AT SOD, DRIP AT ELSEWHERE:

3 AREA:	1.....	1,750 SF:
	2.....	2,225 SF:
	3.....	1,771 SF:
	4.....	2,184 SF:
	5.....	990 SF:
	6.....	2,330 SF:
	7.....	5,100 SF:
	8.....	368 SF:
	9.....	491 SF:
	10.....	120 SF:
TOTAL...17,329 SF:		
4 SCHEDULE:	A. TREE: DESERT WILLOW: (L)	
	B. TREE: PINON PINE: (M)	
	C. TREE: FLOWERING PLUM: (M)	
	D. TREE: NEFLEAF HACKBERRY: (L)	
	E. TREE: CHINESE PISTACHE: (L)	
	F. TREE: AFGAN PINE: (L)	
	G. SILVER SAGE: (L)	
	H. RUSSIAN SAGE: (M)	
	I. SANTOLINA: LAVENDER-COTTON: (L)	
	J. BUTTERFLY BUSH: (L)	
	K. HUMMINGBIRD BUSH:	
	L. YELLOW ICEPLANT: (M)	
	M. PURPLE ICEPLANT: (L)	
	N. SANTOLINA: GRAY LAVENDER COTTON: (L)	
	O. SHRUBBY ICEPLANT: (L)	
	P. BLUE GRAMA GRASS:	
	Q. GRAVEL MULCH: (3/4" SANTA FE BROWN)	
	R. EDGING: (METAL OR PLASTIC)	
	S. APACHE PLUME: (L)	
	T. SPANISH BROOM: (M)	

- 5 AREA DESIGNATED FUTURE DEVELOPMENT IS NOT INCLUDED IN LANDSCAPING CALCULATIONS. LANDSCAPING SHOWN IS TO BE TEMPORARY. AREA GROUND COVER TO BE ITEM "Q".
- 6 PLAY AREA IS NOT INCLUDED IN LANDSCAPING CALCULATION. PLAY AREA TO BE DEVELOPED BY OTHERS. AREA DESIGNATED FUTURE DEVELOPMENT LANDSCAPING, ETC. IS TO BE TEMPORARY.
- 7 THIS AREA (24' WIDE) TO BE KEPT CLEAR FOR POSSIBLE EXTENSION OF DRIVE TO ADJACENT SITE. (SEE NOTE "22", SHEET 1).
- 8 LIVING MATERIAL GROUND COVER:
 - REQUIRED: (70%)..... 12,130 SF:
 - PROVIDED:..... 12,229 SF:
- 9 LANDSCAPING AT FUTURE DEVELOPMENT AREA (NOTES "5" & "6") TO BE MAINTAINED BY THE OWNER.

PROJECT NO. 1003012
04EPC-00145 - BUILDING PERMIT





EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

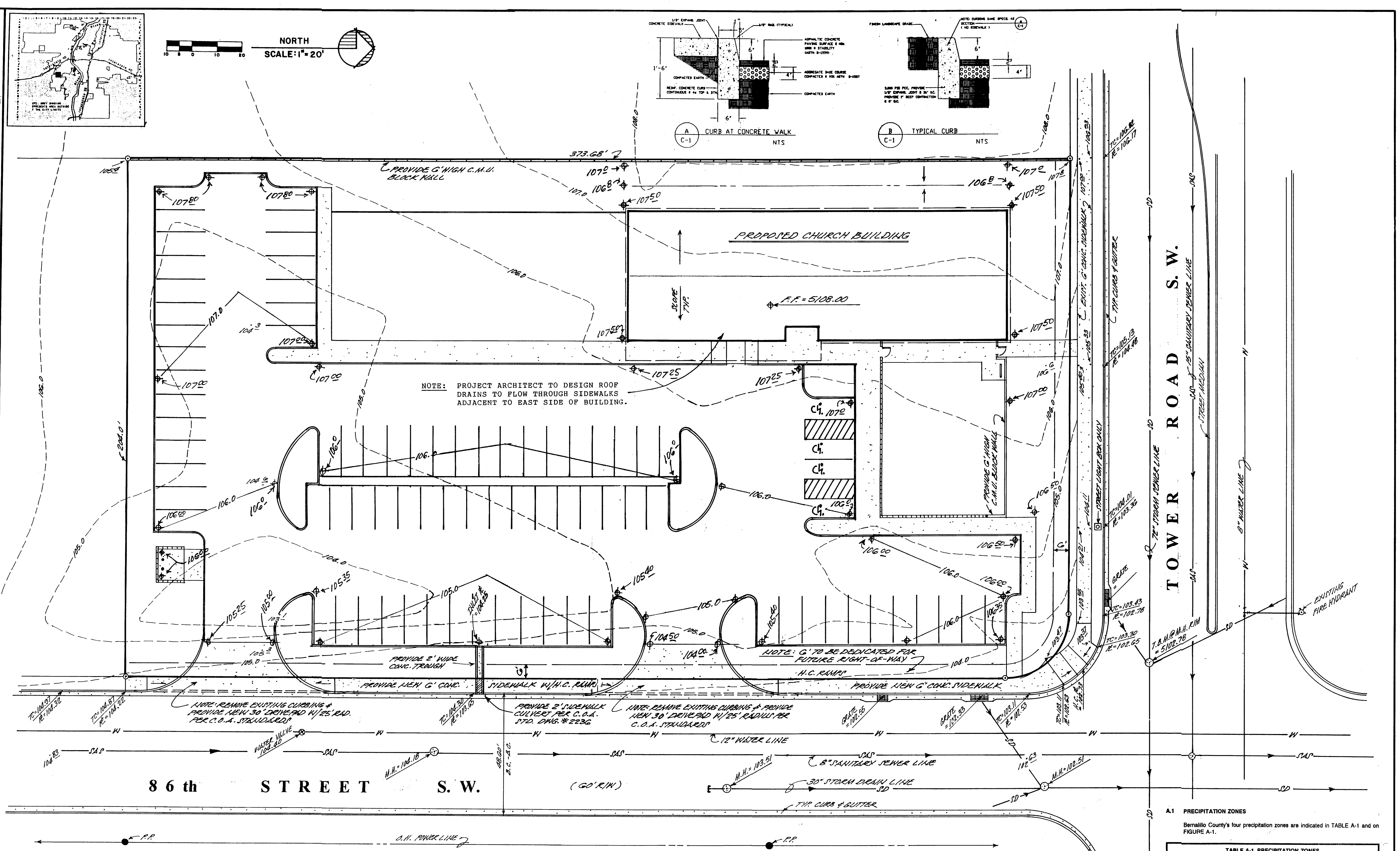
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:

TOP OF CURB ELEVATION = 70 = 100.07
 CURB FLOWLINE ELEVATION = 12 = 100.32
 EXISTING SPOT ELEVATION = 100.08
 EXISTING CONTOUR ELEVATION = 105.0
 PROPOSED SPOT ELEVATION = 105.0
 PROPOSED CONTOUR ELEVATION = 105.0
 PROPOSED OR EXISTING CONCRETE SURFACE = 105.0
 EXISTING FENCE LINE =

GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HERON.



GRADING AND DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HERON, THE SUBJECT SITE IS LOCATED AT THE SOUTHWEST INTERSECTION OF TOWER ROAD S.W. AND 86th STREET S.W., IN THE CITY OF ALBUQUERQUE, NEW MEXICO.

AS SHOWN ON F.E.M.A. PANEL 328 OF 825, THE FLOODPLAIN SHOWN ADJACENT TO THE SUBJECT PROPERTY HAS BEEN DELETED ACCORDING TO THE LATEST F.E.M.A. UPDATE.

THE SUBJECT PROPERTY, 1.) DOES NOT CONTRIBUTE TO OFFSITE FLOWS OF ADJACENT PROPERTIES, 2.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN.

DRAINAGE CALCULATIONS:

SITE AREA = 1.75 ACRES
 ZONE: ONE (1)

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	1.75	2.87	5.02

"Op" = 5.02 cfs

PROPOSED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.65	2.87	1.87
D	1.10	4.37	4.81

"Op" = 6.68 cfs
 INCREASE = 1.66 cfs

BENCH MARK: 100 STATION "10-L9", ELEV = 5200.87

LEGAL DESCRIPTION:
 N/2LY PORTION OF TRACT 430, UNIT 3, ATRISCO GRANT

NOTICE TO CONTRACTOR:

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HERON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIOR STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ASPHALT STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS NAME DATE
 HYDROLOGY INSPECTOR

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

TABLE A-10. PEAK INTENSITY (MMH at 1-hr, 6.2 hour)

Zone	Intensity	100-YR [2.7% 10-YR]
1	4.78	[1.84, 2.14]
2	6.08	[2.50, 2.41]
3	6.38	[2.21, 2.66]
4	8.81	[2.54, 2.83]

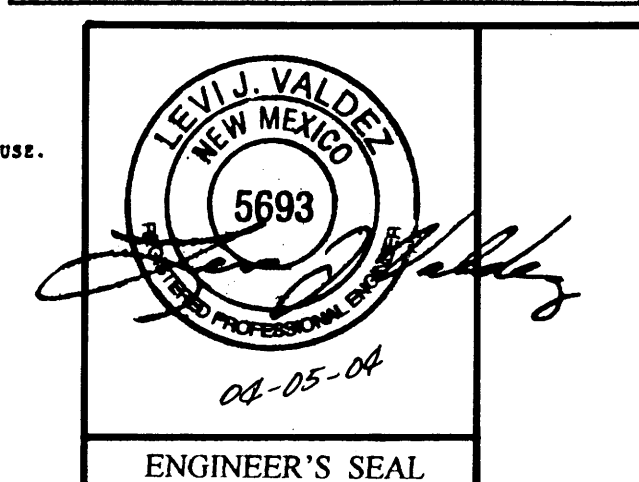
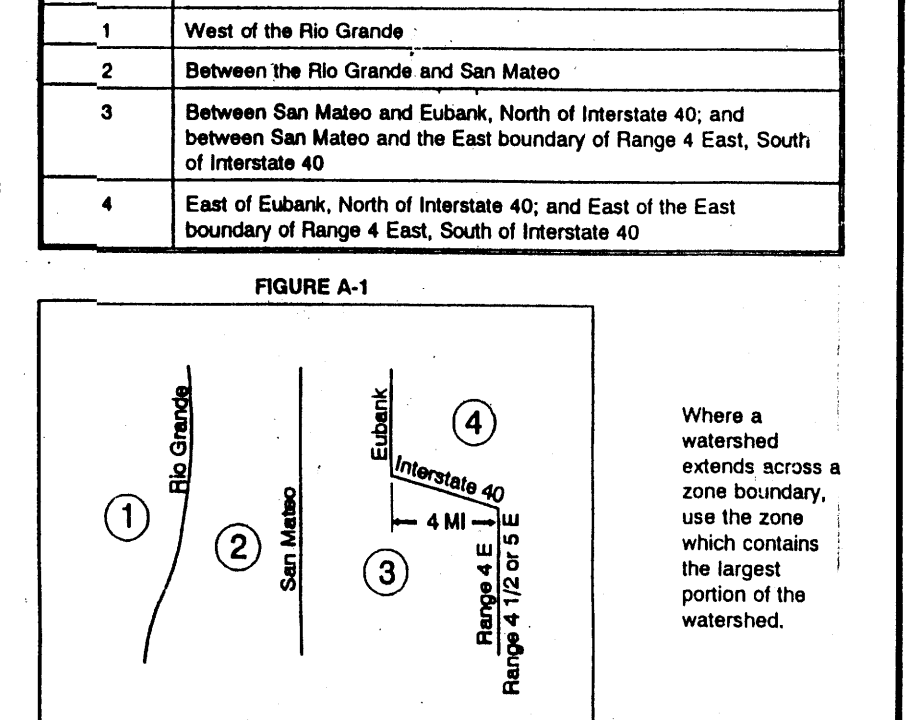
TABLE A-6. PEAK DISCHARGE (cfs)

Zone	A	B	C	D
1	1.29 [0.00, 0.24]	2.00 [0.00, 0.78]	2.87 [0.47, 1.48]	4.37 [1.08, 2.88]
2	1.68 [0.00, 0.28]	2.88 [0.00, 0.86]	4.00 [0.80, 1.71]	4.70 [1.56, 3.14]
3	1.87 [0.00, 0.58]	2.90 [0.21, 1.18]	3.45 [0.78, 2.00]	5.02 [2.04, 2.38]
4	2.30 [0.00, 0.87]	2.92 [0.36, 1.48]	3.70 [1.00, 2.81]	5.25 [2.17, 2.87]

TABLE A-2. LAND TREATMENTS

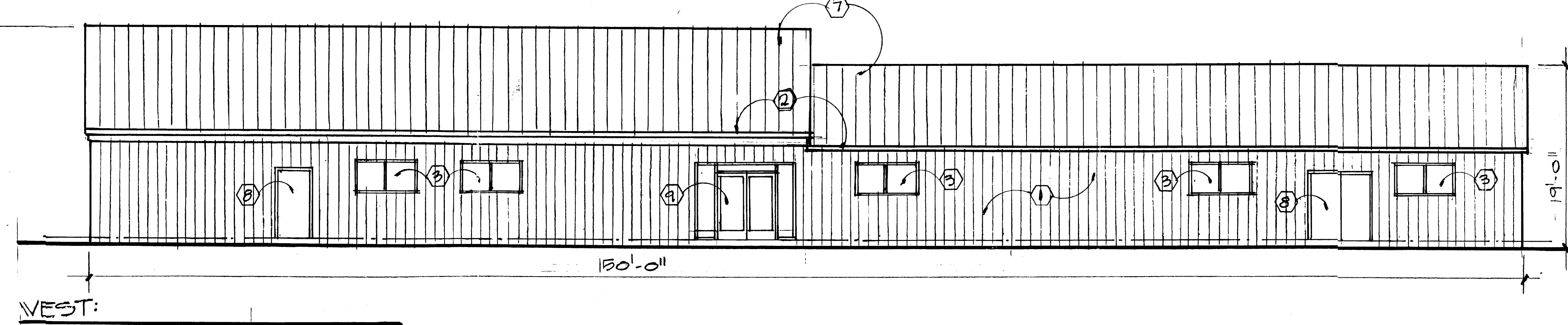
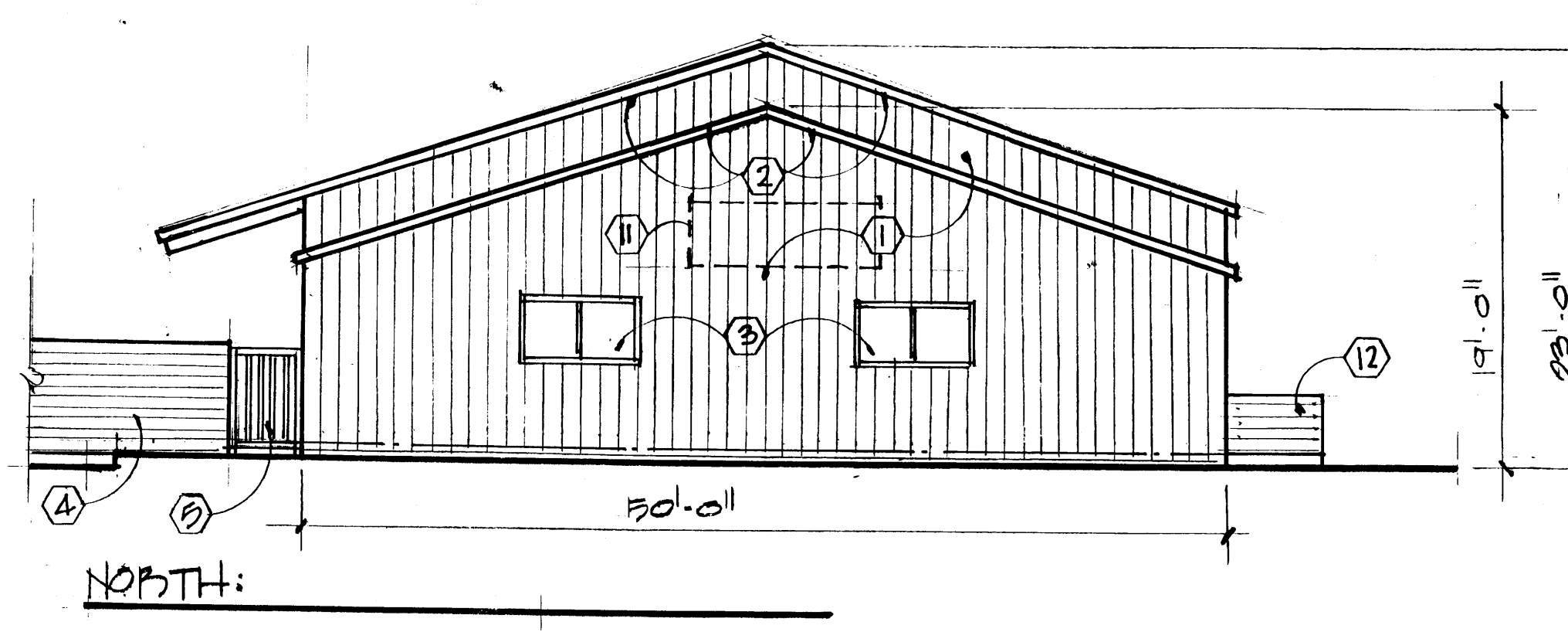
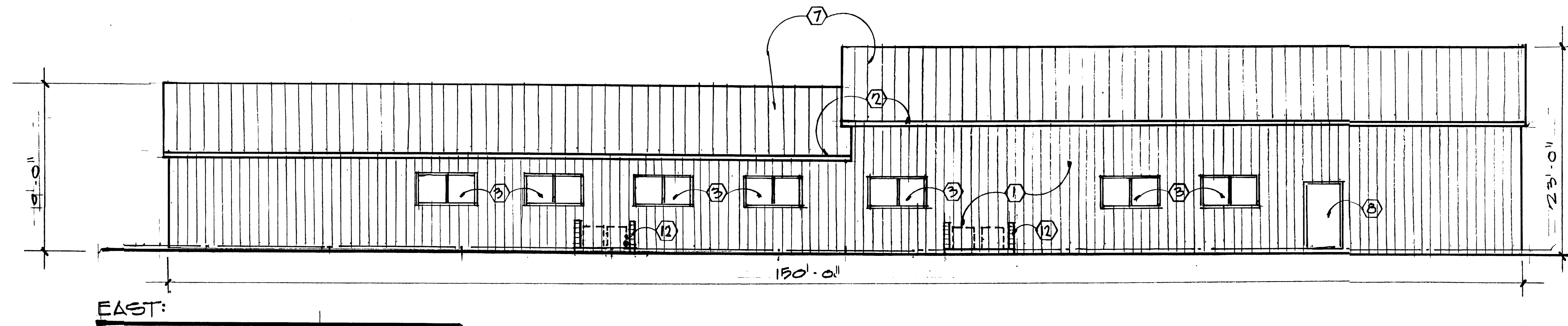
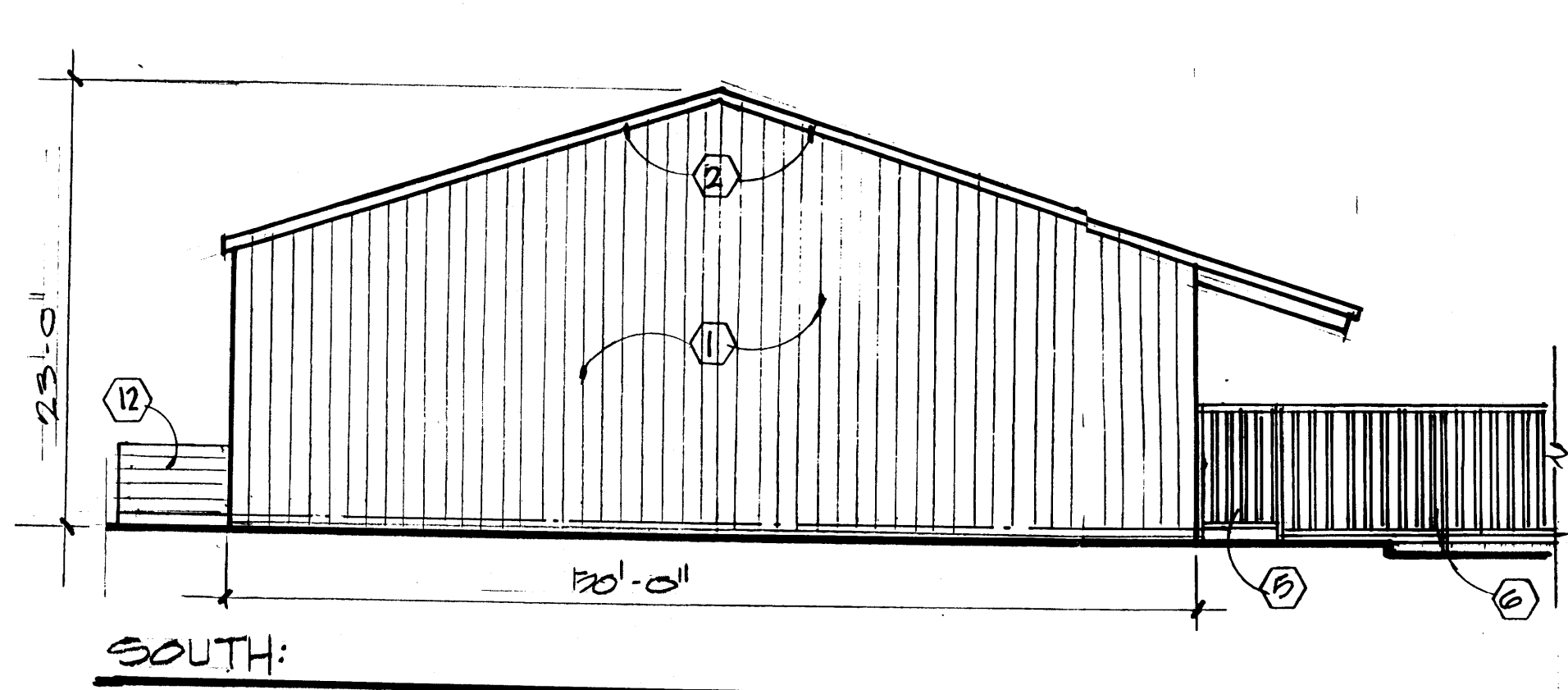
Treatment	Land Condition
A	Soil uncompact by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unlined erroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unlined erroyos.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompact by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective areas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.



GRADING AND DRAINAGE PLAN FOR TOWER BAPTIST CHURCH
 (S.W. CORNER OF TOWER RD. S.W. & 86th ST. S.W. ALBUQUERQUE, NEW MEXICO)
 JANUARY, 2004

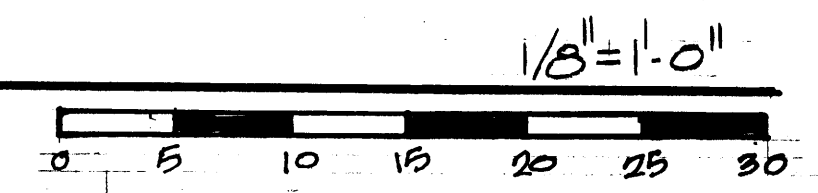
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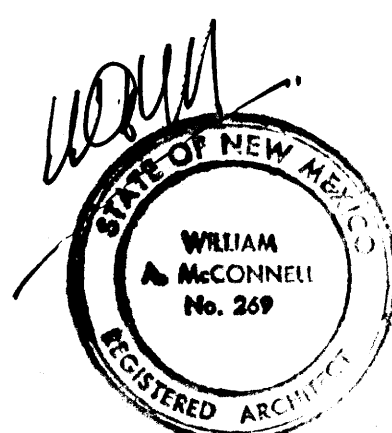
EXTERIOR ELEVATIONS:

NOTES: (THIS SHEET)

- 1 PREFINISHED METAL SIDING: (LIGHT GRAY)
- 2 METAL TRIM: (BLUE)
- 3 WINDOW, METAL FRAME: (LIGHT GRAY) (3'-0" x 6'-0")
- 4 CMU WALL: (MEDIUM BROWN)
- 5 METAL GATE: (BLUE: MATCH TRIM)
- 6 METAL FENCE: (BLUE: MATCH TRIM)
- 7 PREFINISHED METAL ROOFING: (GAVALUME)
- 8 METAL DOOR(S) METAL FRAME: (LIGHT GRAY: MATCH SIDING)
- 9 GLAZED ENTRY: METAL DOORS AND FRAME: (LIGHT GRAY: MATCH SIDING)
- 10 NOTE: COLORS ARE AS PER PRE-ENGINEERED METAL BUILDING MANUFACTURERS' STANDARD COLORS.
- 11 AREA FOR SIGNAGE: 10'-0" x 3'-0" MAXIMUM: (SEE NOTE "30" SHEET 1)
- 12 CMU SCREEN AT MECHANICAL EQUIPMENT: 3'-0" HIGH MINIMUM: (SEE NOTE "38" SHEET 1)



PROJECT NO. 1003012
04EPC-00145 - BUILDING PERMIT



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 Page: 2 of 2
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 Mary Herrera Bern. Co. PLRT R 12.00

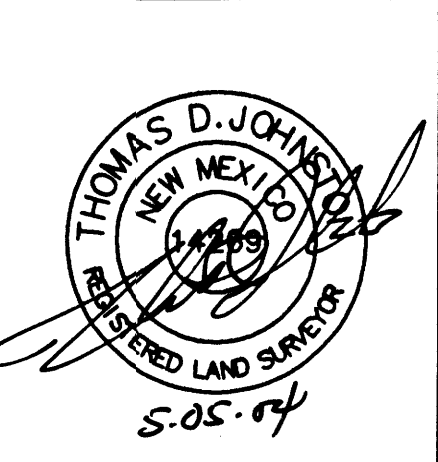
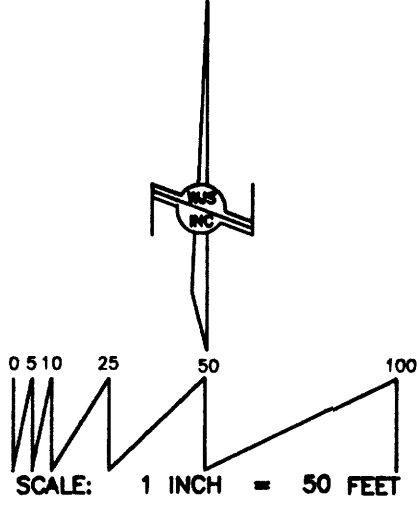
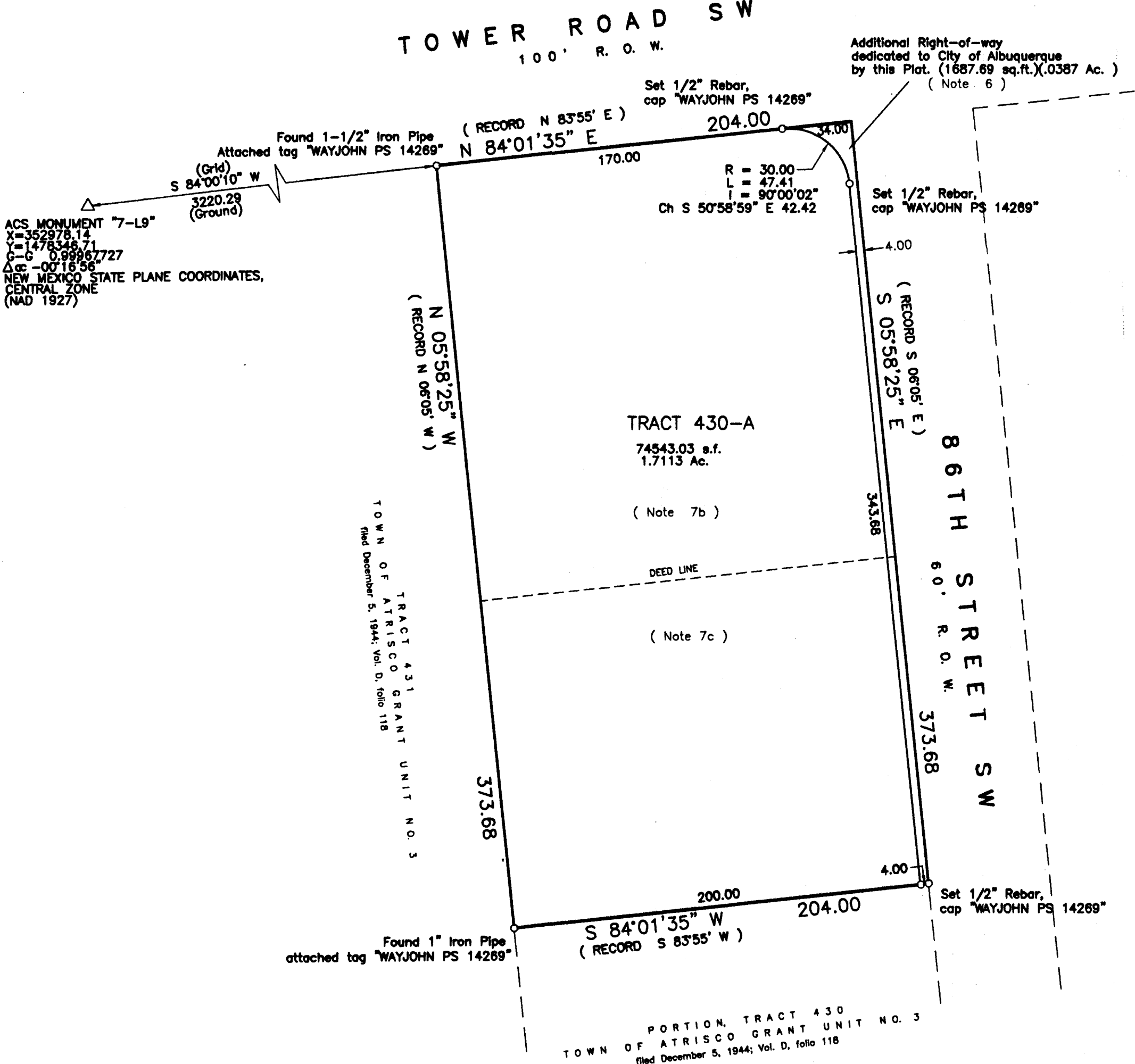
COUNTY CLERK RECORDING LABEL HERE

LOG NO. 2004172792

PLAT OF
 TRACT 430-A
 TOWN OF ATRISCO GRANT
 UNIT NO. 3

A REPLAT OF TWO DEED PARCELS COMPRISING
 A NORTHERLY PORTION OF TRACT 430
 TOWN OF ATRISCO GRANT UNIT NO. 3
 WITHIN SE 1/4, SECTION 28, T.10N., R.2E., N.M.P.M. (PROJECTED)

APRIL 2004



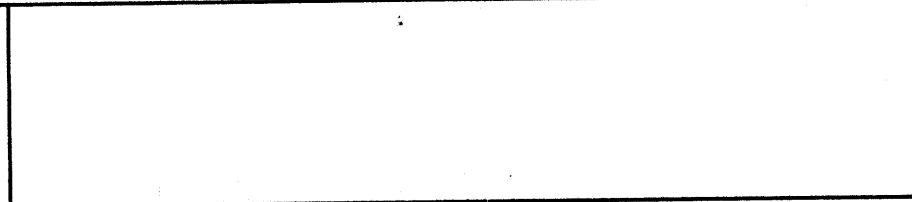
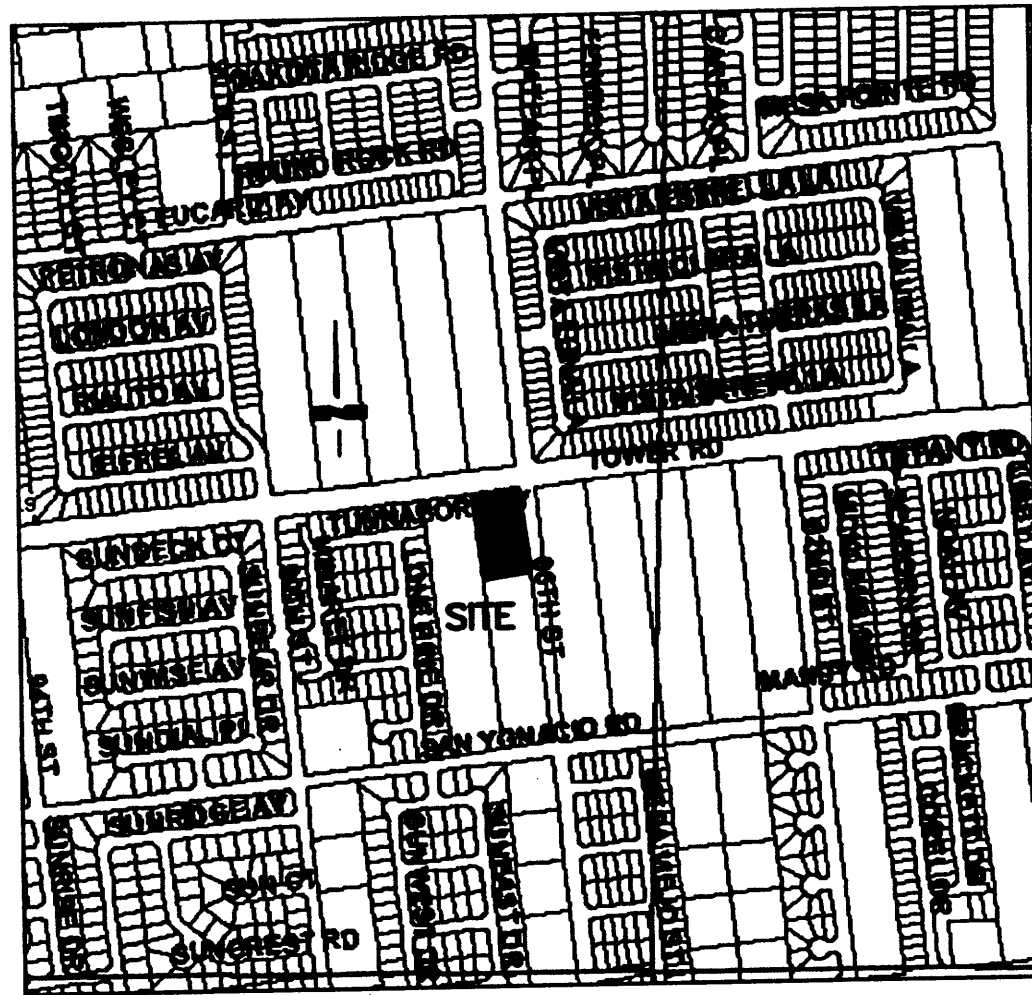
WAYJOHN SURVEYING INC

330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: JOSEPHINE ANDRADE LOCATION: SEC. 28 T.10 N., R.2 E., N.M.P.M. TOWN OF ATRISCO GRANT UNIT 3	DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-4-01-2004
	CHECKED: T D J	20 APR 2004	SHEET 2 OF 2
	DRAWING NO. SP40104.DWG		

VICINITY MAP (L-9)

NO SCALE



COUNTY CLERK RECORDING LABEL HERE

LOG NO. 2004172792

PLAT OF TRACT 430-A TOWN OF ATRISCO GRANT UNIT NO. 3

A REPLAT OF TWO DEED PARCELS COMPRISING A NORTHERLY PORTION OF TRACT 430 TOWN OF ATRISCO GRANT UNIT NO. 3 WITHIN SE 1/4, SECTION 28, T.10N., R.2E., N.M.P.M. (PROJECTED)

APRIL 2004

DESCRIPTION

A certain tract of land in Albuquerque, Bernalillo County, New Mexico, being and comprising a Northerly portion of Tract Numbered Four hundred-thirty (430), as the same is shown and designated on the plat of TOWN OF ATRISCO GRANT, UNIT NO. 3, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 5, 1944, in Volume D, folio 118, said tract of land being more particularly described as follows:

BEGINNING at the Northwest corner of the herein described tract of land, said corner being a point on the South right-of-way line of Tower Road, SW, from which point ACS Station '7-19'(X=352978.14, Y=1478346.71, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 84°00'10" W, a ground distance of 3220.29 feet, and running from said beginning point thence along the South right-of-way line of Tower Road, SW, N 84°01'35" E, a distance of 204.00 feet to the Northeast corner of the herein described tract, said corner being the intersection of the South right-of-way line of Tower Road, SW with the East right-of-way line of 86th Street, SW; thence along said right-of-way line, S 05°58'25" E, a distance of 373.68 feet to the Southeast corner of the herein described tract; thence, S 84°01'35" W, a distance of 204.00 feet to the Southwest corner of the herein described tract; thence, N 05°58'25" W, a distance of 373.68 feet to the Northwest corner of the herein described tract; and the place of beginning, containing 1.7500 acres, more or less.

APPROVALS as specified by the County of Bernalillo Subdivision Ordinance:

SUBDIVISION CASE NO. _____

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. _____

DRB Chairperson, City of Albuquerque, _____ Date _____

Property Management, City of Albuquerque _____ Date _____

Traffic Engineer, City of Albuquerque _____ Date _____

Water Utilities Department, City of Albuquerque _____ Date _____

City Surveyor, City of Albuquerque [Signature] 4-26-04 Date

Parks and Recreation, City of Albuquerque _____ Date _____

A.M.A.F.C.A. _____ Date _____

City Engineer, City of Albuquerque _____ Date _____

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

[Signature] 4.26.04 Thomas D. Johnston, N.M.P.S. No. 14269

SUBDIVISION DATA

- 1. DRB Proj. No. X
2. Zone Atlas Index No. L-9
3. Current Zoning SU-1, Church and Related Facilities
4. Gross acreage 1.7500
5. Existing number of deeded parcels 2
Replatted number of lots 1

NOTES

- 1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record bearings are shown in parentheses ().
2. Perimeter distances are field measurements made on the ground and agree with deed records except as noted.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. This plat shows all easements of record. (there are no easements of record)
5. No easements have been granted by this plat.
6. Additional right-of-way is dedicated to the City of Albuquerque in fee simple with warranty by this plat as dimensioned and annotated hereon.
7. This survey is based on descriptions contained in the following documents:
a) Plat of Town of Atrisco Grant, Unit No. 3, filed December 5, 1944; Vol. D, folio 118
b) Deed recorded on December 28, 1968; Bk. D654, page 431, records of Bernalillo County, New Mexico
c) Quitclaim Deed recorded on February 24, 1961; Bk. D584, page 173, records of Bernalillo County, New Mexico

PURPOSE OF PLAT

This plat has been prepared for the purposes of platting two deeded parcels and dedication of additional right-of-way to the City of Albuquerque.

FREE CONSENT

The platting of a Northerly portion of Tract 430 as shown and designated on the plat of TOWN OF ATRISCO GRANT UNIT NO. 3, and Dedication of additional street right-of-way to the City of Albuquerque, New Mexico, a New Mexico municipal corporation, in fee simple with warranty covenants, is with the free consent and in accordance with the desires of the undersigned owners.

[Signature] Ben Padilla, President, Performance Tool and Equipment Inc., a New Mexico Corporation, on behalf of said corporation

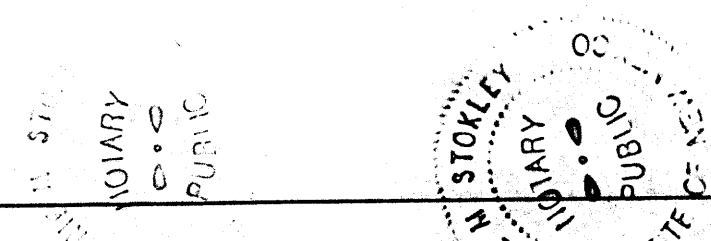
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss

On this 26th day of April, 2004, the foregoing instrument was acknowledged before me by Ben Padilla, President, Performance Tool and Equipment Inc., a New Mexico Corporation, on behalf of said corporation, owner of the deed parcels delineated hereon.

My Commission expires 3-6-07
[Signature] Notary Public

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
PROPERTY OWNER OF RECORD:
BERNALILLO COUNTY TREASURER'S OFFICE



Wayjohn Surveying Inc. logo and contact info: 330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108. Includes drawing info: DRAWN: E W K, CHECKED: T D J, SCALE: 1" = 50', FILE NO. SP-4-01-2004, SHEET 1 OF 2.

PLAT OF
TRACT 430-A
TOWN OF ATRISCO GRANT
UNIT NO. 3

A REPLAT OF TWO DEED PARCELS COMPRISING
A NORTHERLY PORTION OF TRACT 430
TOWN OF ATRISCO GRANT UNIT NO. 3
WITHIN SE 1/4, SECTION 28, T.10N., R.2E., N.M.P.M. (PROJECTED)

APRIL 2004

COUNTY CLERK RECORDING LABEL HERE

TOWER ROAD SW
100' R.O.W.

Additional Right-of-way
dedicated to City of Albuquerque
by this Plat. (193.14 sq.ft.)
(Note 6)

ACS MONUMENT "7-L9"
X=352978.14
Y=1478346.71
C=0.99998727
ΔC=00°16'56"
NEW MEXICO STATE PLANE COORDINATES,
CENTRAL ZONE
(NAD 1927)

(Grid)
S 84°00'10" W
3220.29
(Ground)

Set 1/2" Rebar,
cap "WAYJOHN PS 14269"

(RECORD N 83°55' E)
N 84°01'35" E

174.00

Set 1/2" Rebar,
cap "WAYJOHN PS 14269"

204.00

R = 30.00
L = 47.41
I = 90°00'02"
Ch S 50°58'59" E 42.42

Set 1/2" Rebar,
cap "WAYJOHN PS 14269"

(RECORD S 06°05' E)
S 05°58'25" E

343.68

86TH STREET SW
60' R.O.W.
373.68

TRACT 430-A
76035.95 s.f.
1.7455 Ac.

(Note 7b)

DEED LINE

(Note 7c)

TOWN OF ATRISCO GRANT
TRACT 431 GRANT UNIT NO. 3
filed December 5, 1944; Vol. D, folio 118

(RECORD N 06°05' W)
N 05°58'25" W

373.68

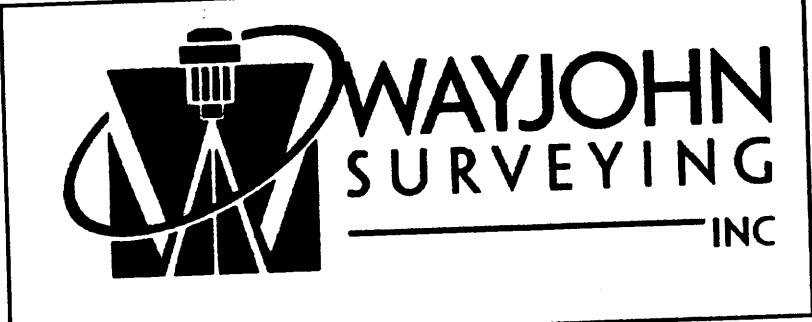
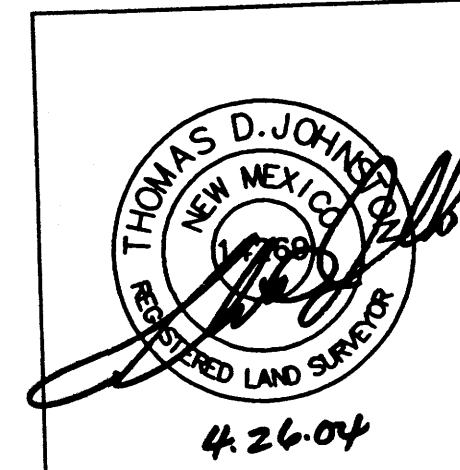
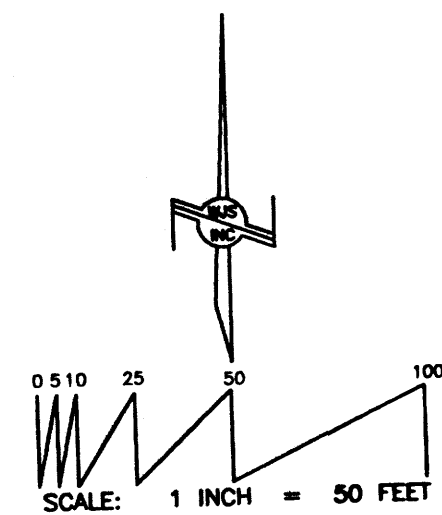
Found 1" Iron Pipe
attached tag "WAYJOHN PS 14269"

PORTION, TRACT 430
TOWN OF ATRISCO GRANT UNIT NO. 3
filed December 5, 1944; Vol. D, folio 118

Set 1/2" Rebar,
cap "WAYJOHN PS 14269"

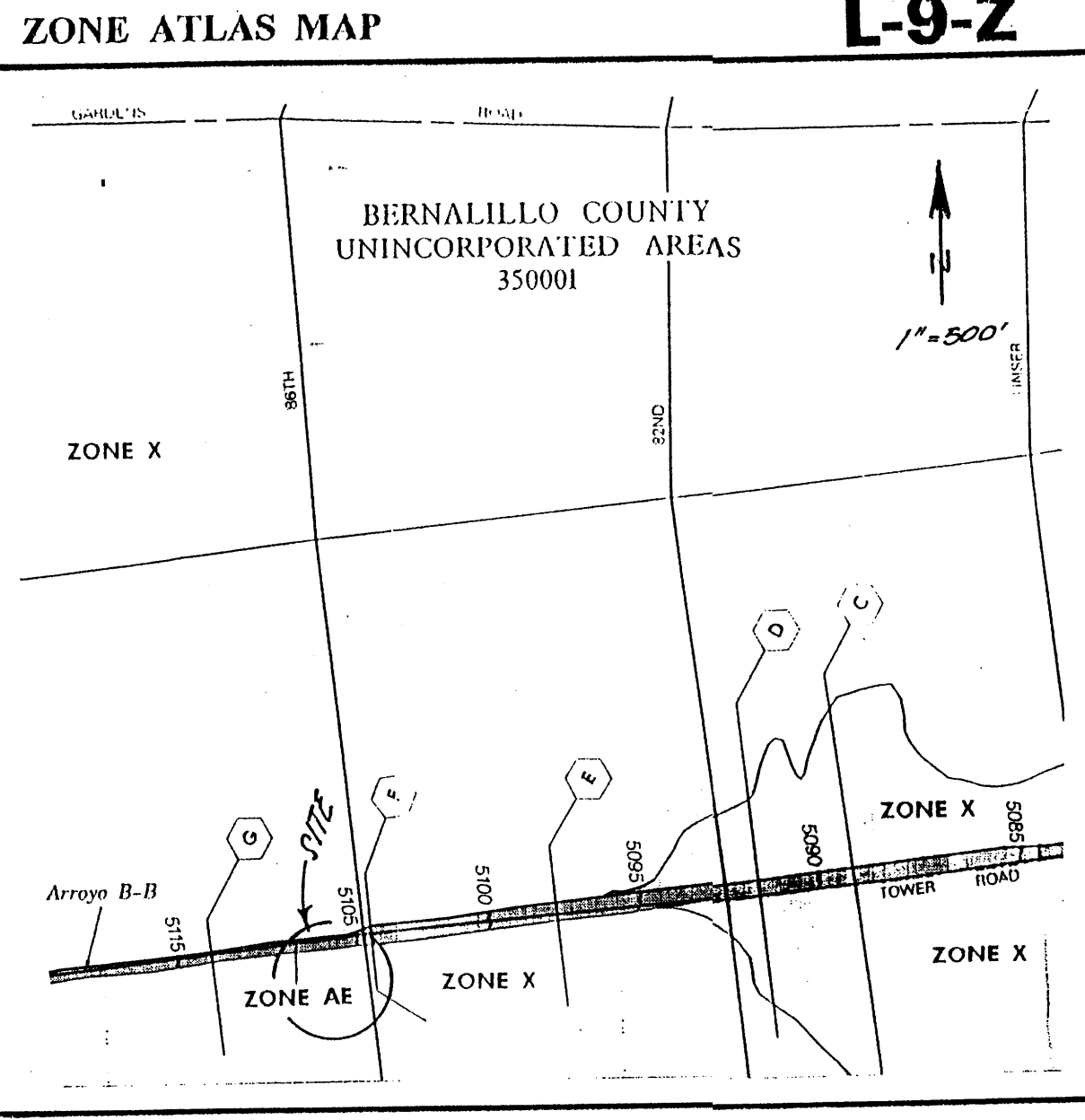
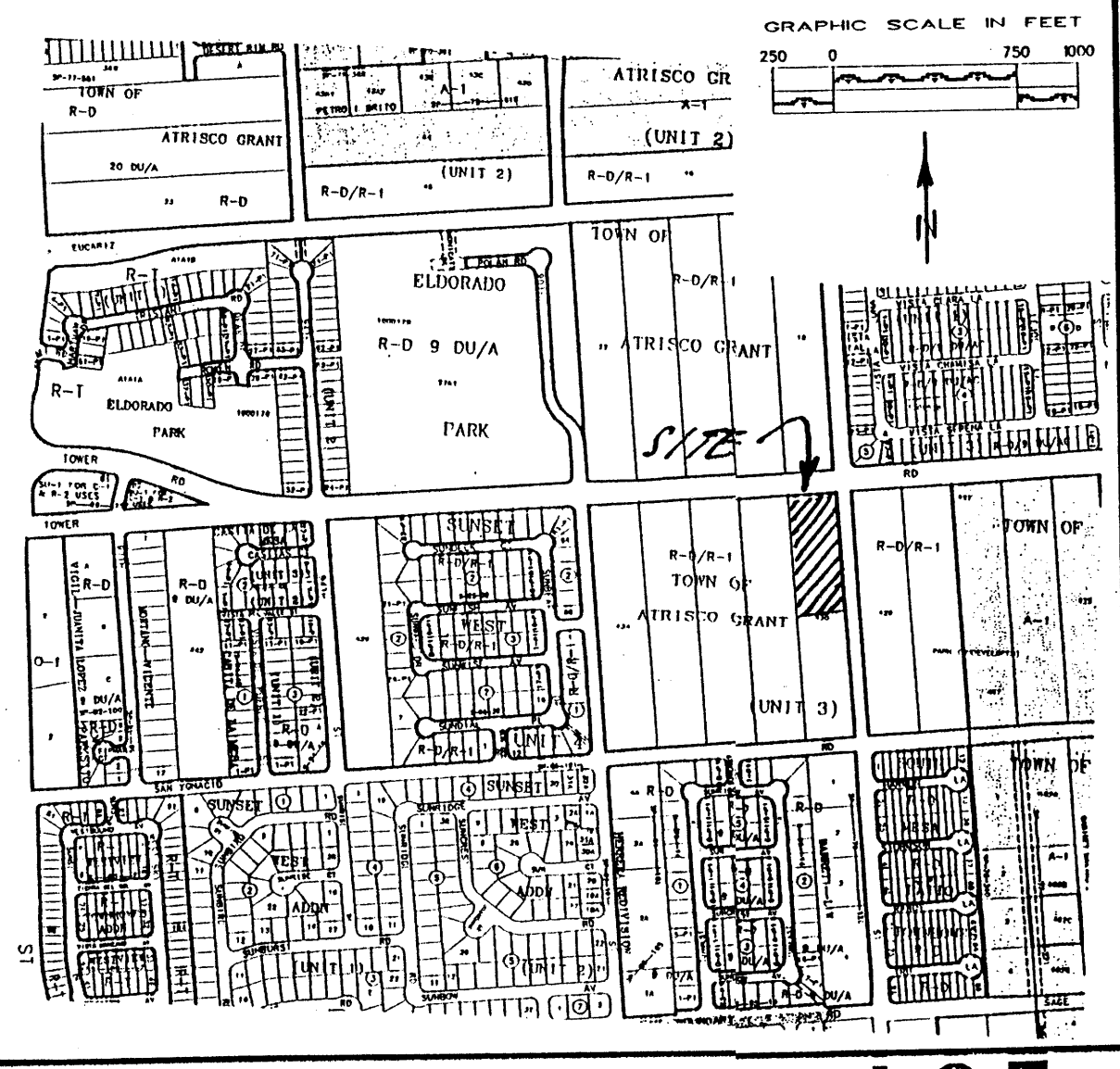
204.00

(RECORD S 83°55' W)
S 84°01'35" W



330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: JOSEPHINE ANDRADE LOCATION: SEC. 28 T.10 N., R.2 E., N.M.P.M. TOWN OF ATRISCO GRANT UNIT 3	DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-4-01-2004
	CHECKED: T D J	DRAWING NO. SP40104.DWG	SHEET 2 OF 2



F.E.M.A. PANEL 328 OF 825

EROSION CONTROL MEASURES:
 THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

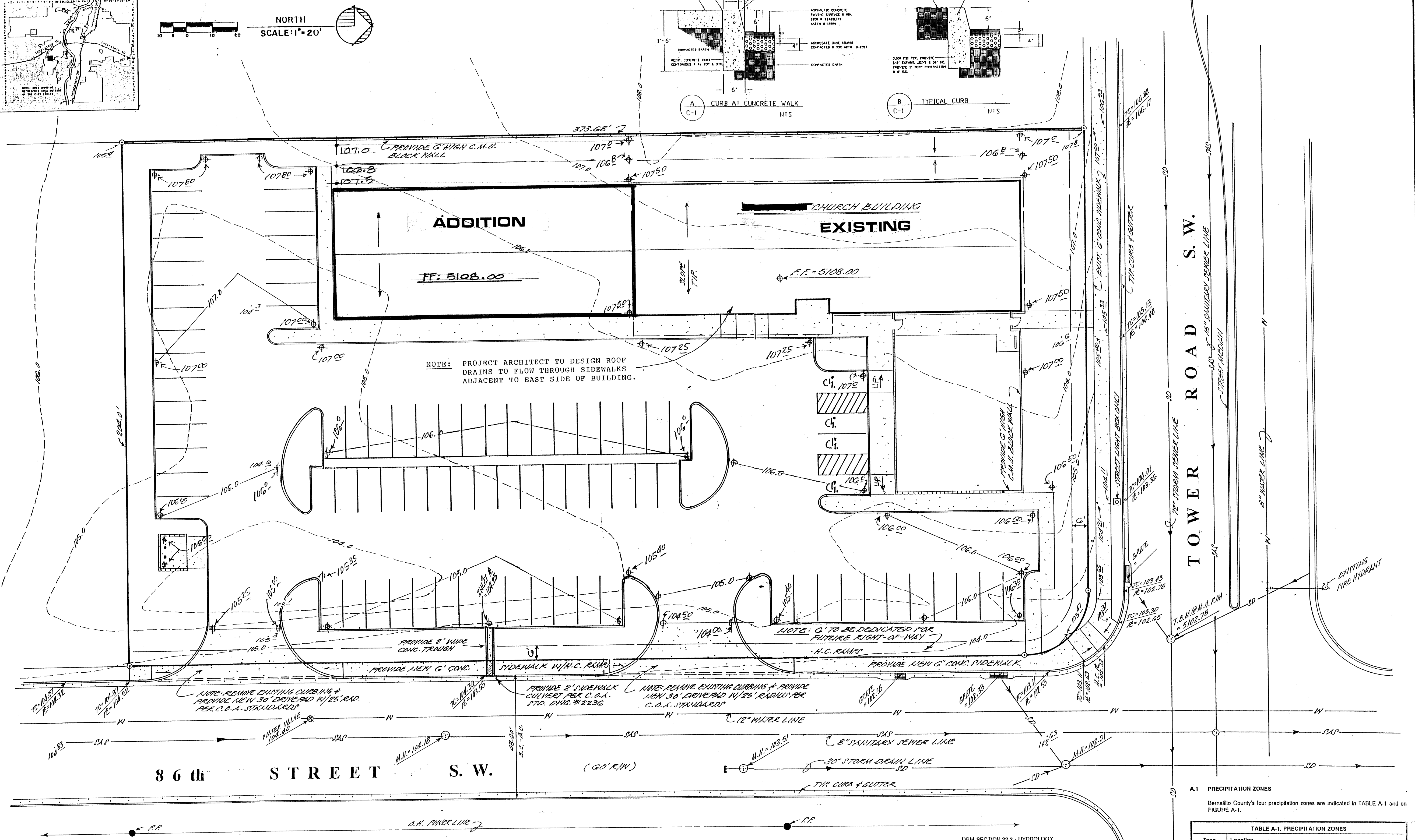
- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:
 TOP OF CURB ELEVATION = 107.00
 CURB FLOWLINE ELEVATION = 106.50
 EXISTING SPOT ELEVATION = 106.8
 EXISTING CONTOUR ELEVATION = 105.0
 PROPOSED SPOT ELEVATION = 106.50
 PROPOSED CONTOUR ELEVATION = 105.0
 PROPOSED OR EXISTING CONCRETE SURFACE = [Symbol]
 EXISTING FENCE LINE = [Symbol]

- GENERAL NOTES:**
- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
 - NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.



GRADING AND DRAINAGE COMMENTS:
 AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE SOUTHWEST INTERSECTION OF TOWER ROAD S.W. AND 86th STREET S.W., IN THE CITY OF ALBUQUERQUE, NEW MEXICO.

AS SHOWN ON F.E.M.A. PANEL 328 OF 825, THE FLOODPLAIN SHOWN ADJACENT TO THE SUBJECT PROPERTY HAS BEEN DELETED ACCORDING TO THE LATEST F.E.M.A. UPDATE.

THE SUBJECT PROPERTY, 1.) DOES NOT CONTRIBUTE TO OFFSITE FLOWS OF ADJACENT PROPERTIES, 2.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN.

DRAINAGE CALCULATIONS:

SITE AREA = 1.75 ACRES
 ZONE: ONE (1)

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	1.75	2.87	5.02
"Op"			5.02 cfs

PROPOSED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.65	2.87	1.87
D	1.10	4.37	4.81
"Op"			6.68 cfs
INCREASE			1.66 cfs

BEACH MARK: ACI STATION 110-L3, ELEV. = 5204.457

LEGAL DESCRIPTION:
 N/2Y PORTION OF TRACT 430, UNIT 3, ATWOOD GRANT

- NOTICE TO CONTRACTOR:**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
 - ALL WORK DETAIL ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR REASON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1995.
 - THE (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (262-1990) FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL CONSTRUCTION SHALL BE ACCORDING TO ARTICULAR STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS

NAME	DATE
HYDROLOGIC INSPECTOR	

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

TABLE A-10. PEAK INTENSITY (RAIN IN 1-HOUR)

Zone	Intensity (100 YR)	Intensity (2 YR 10-YR)
1	4.70	[1.84, 3.14]
2	6.00	[2.04, 3.41]
3	5.30	[2.21, 3.55]
4	5.93	[2.34, 3.83]

TABLE A-4. PEAK DISCHARGE (cfs)

Zone	A	B	C	D
1	1.29	2.03	2.87	4.37
2	[0.00, 0.24]	[0.00, 0.70]	[0.47, 1.48]	[1.06, 2.89]
3	1.88	2.39	3.14	4.70
4	[0.00, 0.38]	[0.00, 0.85]	[0.60, 1.71]	[1.86, 3.14]
5	1.94	2.90	3.42	5.02
6	[0.00, 0.58]	[0.21, 1.19]	[0.78, 2.00]	[2.04, 3.38]
7	2.20	2.92	3.73	5.35
8	[0.00, 0.87]	[0.38, 1.48]	[1.00, 2.28]	[2.17, 3.87]

DFM SECTION 22.2 - HYDROLOGY
 January, 1993 Page A-4

TABLE A-4. LAND TREATMENTS

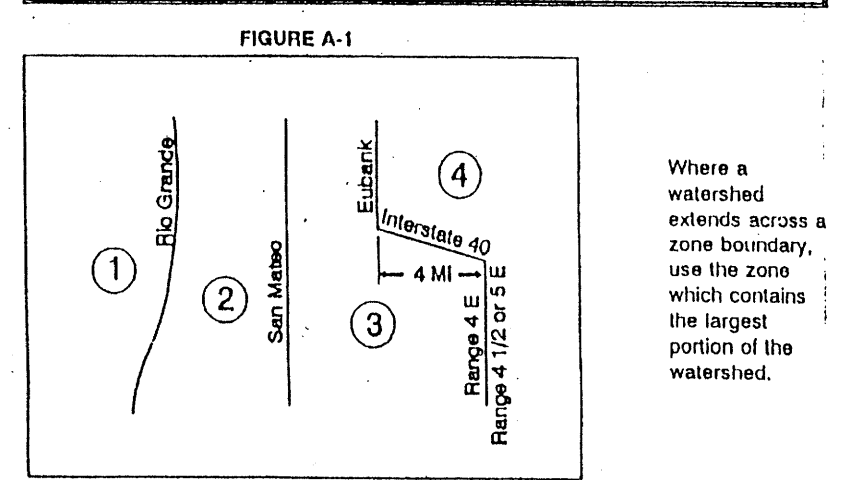
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unfilled arroyos.
B	Ingrated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking lots, trails. Most vacant lots. Gravel or rock on plastic desert landscaping. Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the area percentages in TABLE A-5 may be employed.

A-1 PRECIPITATION ZONES
 Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

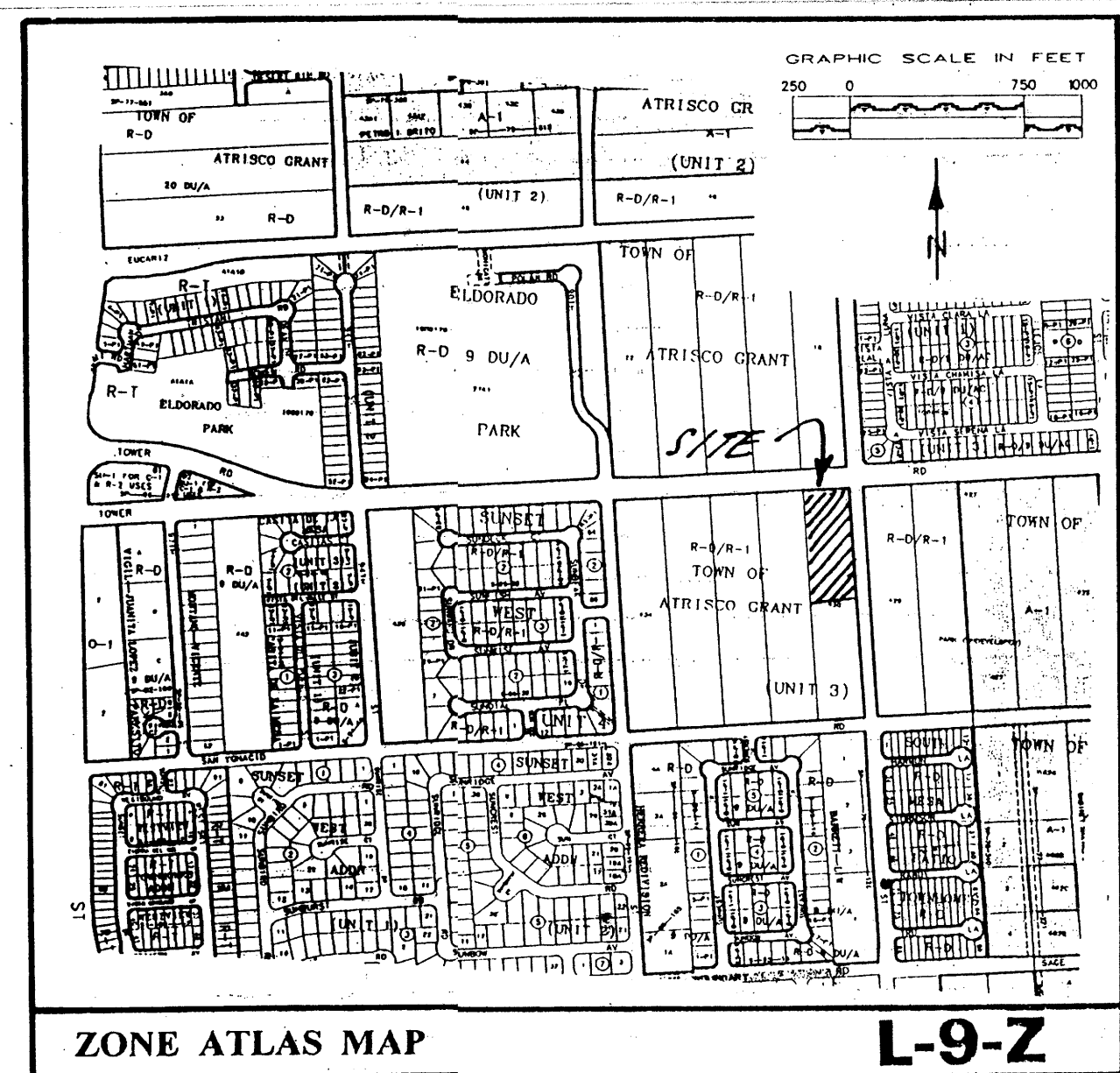
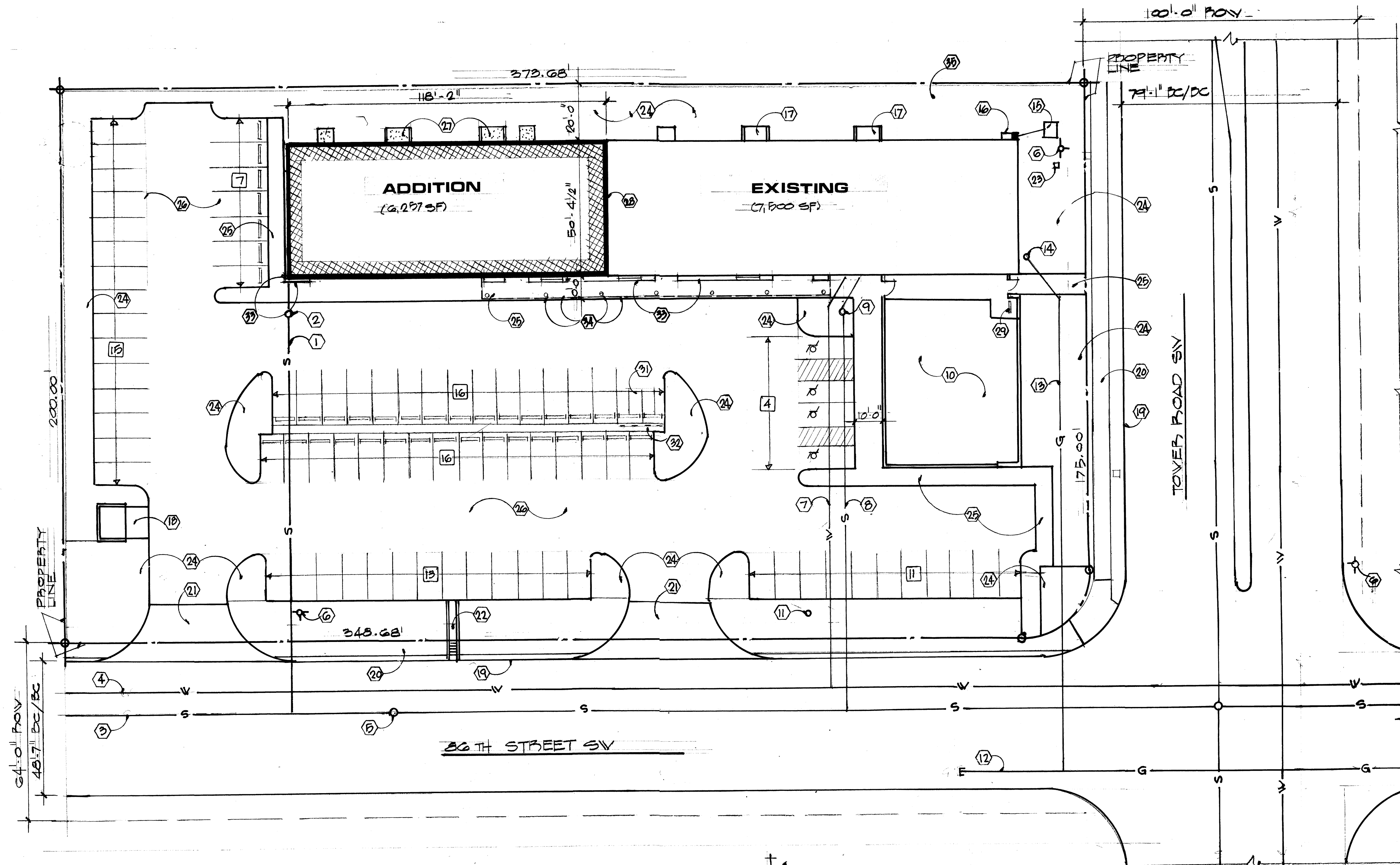
TABLE A-1. PRECIPITATION ZONES

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Flange 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Flange 4 East, South of Interstate 40



ENGINEER'S SEAL
 LEIJU VALDEZ
 NEW MEXICO
 5693
 PROFESSIONAL ENGINEER
 08-05-04

GRADING AND DRAINAGE PLAN
 FOR
TOWER BAPTIST CHURCH
 (S.W. CORNER OF TOWER RD. S.W. & 86th ST. S.W.)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2004



PROJECT NUMBER: _____
 Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division _____ Date _____
 Water Utility Department _____ Date _____
 Parks and Recreation Department _____ Date _____
 City Engineer _____ Date _____
 *Environmental Health Department (conditional) _____ Date _____
 Michael Holton _____ 2/13/06
 Solid Waste Management _____ Date _____
 DRB Chairperson, Planning Department _____ Date _____

*Environmental Health, if necessary
 5/13/05

SITE PLAN:

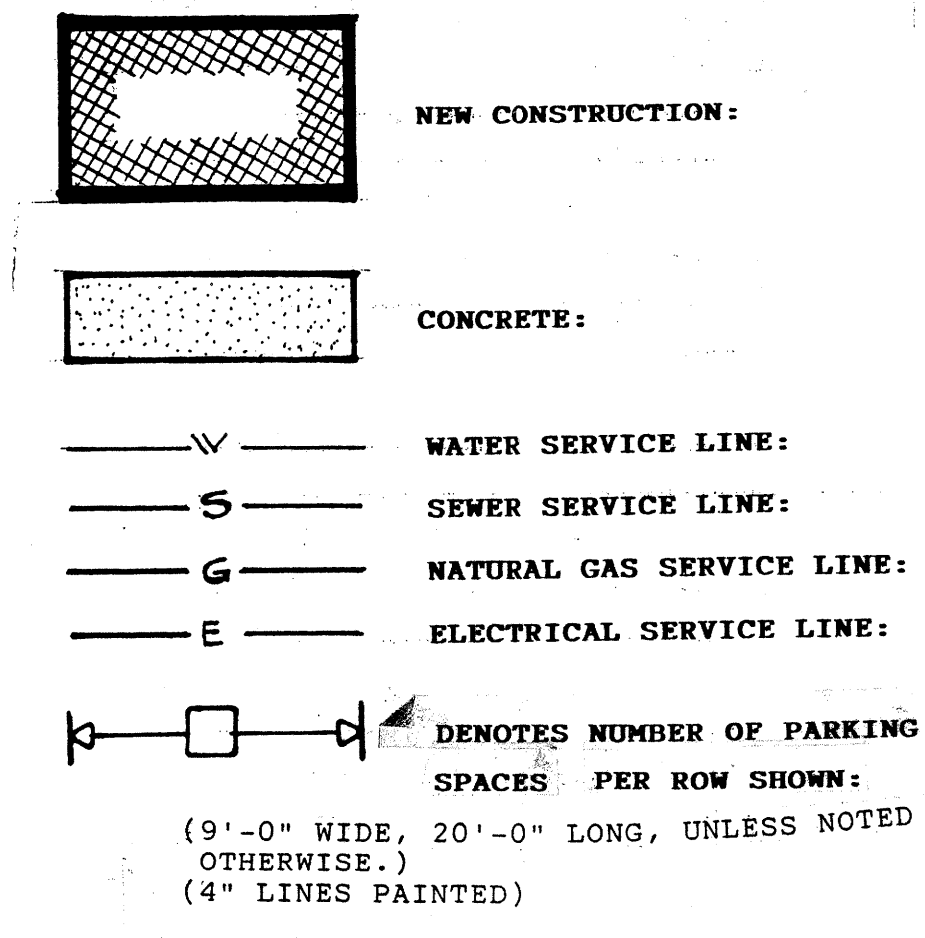
SITE:

- DESCRIPTION: TRACT 430-A ATRISCO GRANT, UNIT 3 ALBUQUERQUE, NEW MEXICO
- ADDRESS: 601 EIGHTY SIXTH STREET SW ALBUQUERQUE, NEW MEXICO
- AREA: 76,296 SF: (1.75 ACRES)
- ZONED: SU-1: (CHURCH FACILITY)
- SEISMIC ZONE: 2B:
- ZONE ATLAS: L-9-Z:

PROJECT:

- OCCUPANCY: A-3: (CHURCH FACILITY)
- CONSTRUCTION: V-A: (ALLOWABLE: 11,500 SF)
- AREA: EXISTING: 7,500 SF: (NLA: 6,011 SF) ADDITION: 6,257 SF: (NLA: 5,860 SF)
- PARKING:
 - REQUIRED: SANCTUARY AREA: 1 PARKING SPACE REQUIRED FOR EACH FOUR (4) SEATS:
 - PROVIDED: (EXISTING)..... 82 SPACES: (4 HANDICAPPED) (4 MOTORCYCLE)
 - NOTE: OCCUPANCY LOAD ALLOWABLE: 328 SEATS: EXISTING SANCTUARY AREA ACCOMMODATES 140 SEATS: (MAXIMUM)
- LANDSCAPING:
 - REQUIRED: (76,296 - 13,757)(0.15) = 9,381 SF:
 - PROVIDED: (EXISTING)..... 17,329 SF:
- SETBACKS: 10'-0" (MINIMUM)
- BUILDING HEIGHT: 26'-0" (MAXIMUM)
- FLOOR AREA RATIO: 0.18:

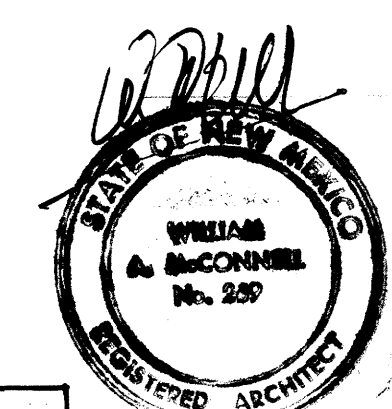
LEGEND: (SITE PLAN)



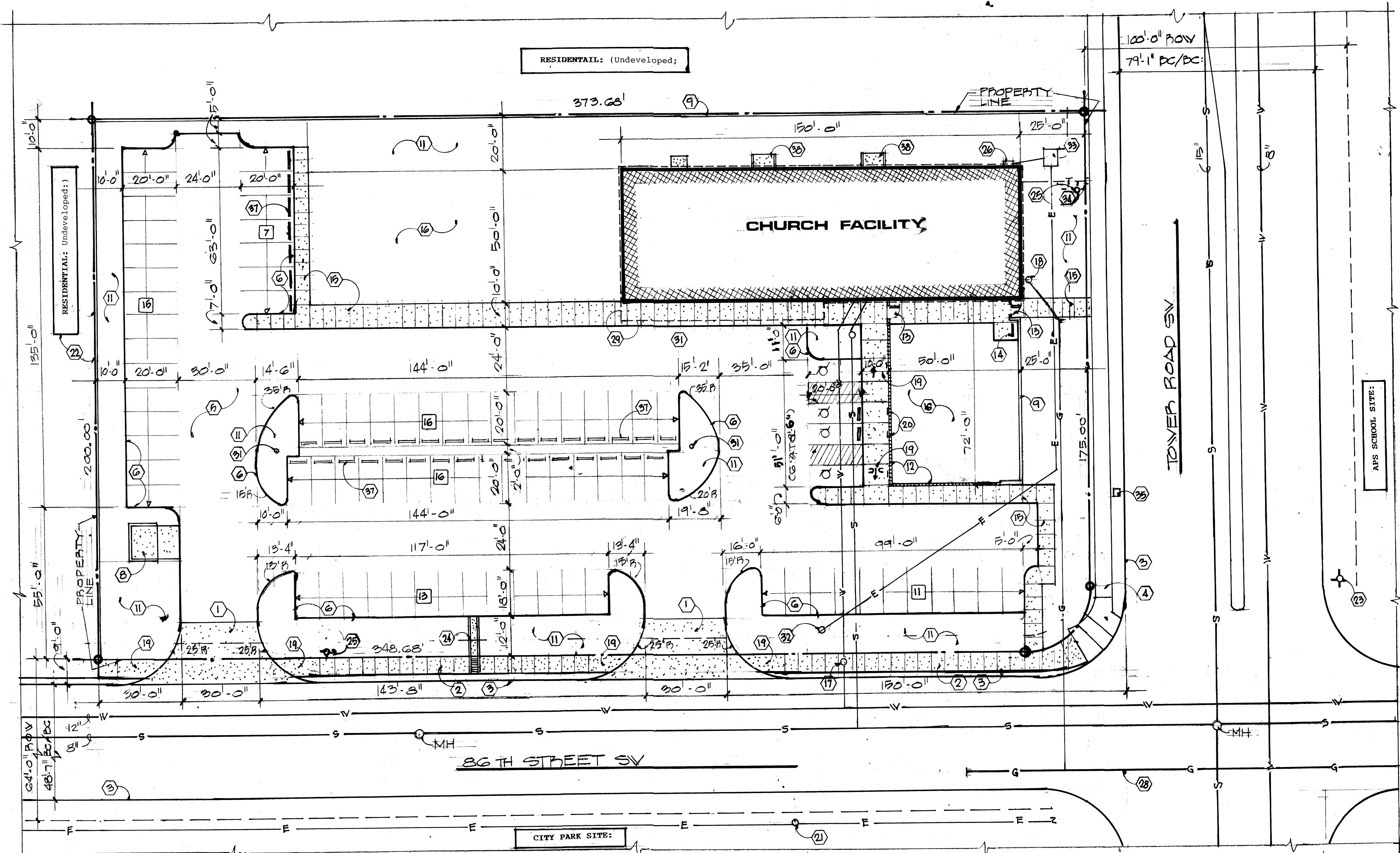
NOTES: (THIS SHEET)

- SEWER LINE TO MUNICIPAL SEWER LINE, THIS PROJECT: (SEE PLUMBING)
- CLEANOUT, TWO WAY, THIS PROJECT: (SEE PLUMBING)
- EXISTING MUNICIPAL SEWER LINE:
- EXISTING MUNICIPAL WATER LINE:
- EXISTING MANHOLE:
- EXISTING FIRE HYDRANT:
- EXISTING WATER SERVICE LINE:
- EXISTING SEWER SERVICE LINE:
- EXISTING TWO WAY CLEANOUT:
- EXISTING PLAY AREA:
- EXISTING POWER POLE:
- EXISTING NATURAL GAS LINE:
- EXISTING NATURAL GAS SERVICE LINE:
- EXISTING NATURAL GAS METER:
- EXISTING ELECTRICAL TRANSFORMER:
- EXISTING ELECTRICAL SERVICE ENTRY, METER AND DISCONNECT: (SEE ELECTRICAL)
- EXISTING EVAPORATIVE COOLER WITH CMU SCREEN:
- EXISTING TRASH RECEPTACLE ENCLOSURE:
- EXISTING CONCRETE CURB AND GUTTER:
- EXISTING CONCRETE SIDEWALK (6'-0") WITH HANDICAPPED RAMPS:
- EXISTING CONCRETE DRIVE: (80'-0" WIDE)
- EXISTING CONCRETE DRAINAGE TROUGH AND SIDEWALK CULVERT:
- EXISTING TELEPHONE PEDESTAL:
- EXISTING LANDSCAPED AREA:
- EXISTING CONCRETE WALK: (6'-0" WIDE UNLESS NOTED OTHERWISE)
- EXISTING PAVED PARKING AREA:
- CMU SCREEN AT MECHANICAL EQUIPMENT: 3'-0" HIGH MINIMUM: (MATCH EXISTING)
- AREA SEPARATION WALL:
- EXISTING BICYCLE RACK: (5 SPACES: 1/20 PARKING SPACES)
- NOTE: DRB SIGNED SITE PLAN ATTACHED:
- MOTORCYCLE PARKING SPACES: REQUIRED:..... 3 SPACES: (4'-6" x 8'-0") PROVIDED:..... 4 SPACES:
- SIGN AT EACH SPACE AS PER CITY OF ALBUQUERQUE REQUIREMENTS: (12" x 18" (MINIMUM): LOWER EDGE 4'-0" ABOVE GRADE (MINIMUM):
- PLANTER: (STUC-O-FLEX FINISH)
 - RAIN WATER RECEPTACLES AT DOWNSPOUTS INCORPORATED IN PLANTER DESIGN:
 - SEATING INCORPORATED IN PLANTER DESIGN:
 - TRELLIS AND TRUMPET VINES TO BE PROVIDED:
- EXTENDED OVERHANG AND POST FOR PORTAL:
- ADDITIONAL GROUND COVER THIS AREA: (SEE LANDSCAPING PLAN)

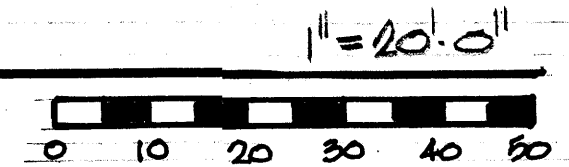
PROJECT NO. 1003012
 06EPC-00609 EPC SITE DEVELOPMENT PLAN AMENDMENT TO BUILDING PERMIT:



MAY 2006
 SITE PLAN
 TOWER ROAD BAPTIST CHURCH FACILITY
 ALBUQUERQUE, NEW MEXICO
 WILLIAM A. MCCONNELL - ARCHITECT
 ALBUQUERQUE, NEW MEXICO



SITE PLAN:



LEGEND: (SITE PLAN)

- NEW CONSTRUCTION:
- CONCRETE:
- WATER SERVICE LINE:
- SEWER SERVICE LINE:
- NATURAL GAS SERVICE LINE:
- ELECTRICAL SERVICE LINE:
- TELEPHONE SERVICE LINE:
- DENOTES NUMBER OF PARKING SPACES PER ROW SHOWN: (9'-0" WIDE, 20'-0" LONG, UNLESS NOTED OTHERWISE.) (4" LINES PAINTED) (○ SPACE NUMBER)
- HOSE BIBB:
- LANDSCAPE ITEM: (SEE LANDSCAPE PLAN)
- FIRE HYDRANT:
- KEYED NOTE: (SEE THIS SHEET)

SITE:

- DESCRIPTION:
 - TRACT 430-A:
 - ATRISCO GRANT, UNIT 3: ALBUQUERQUE, NEW MEXICO (REPLAT)
- ADDRESS: 601 EIGHTY SIXTH STREET SW ALBUQUERQUE, NEW MEXICO
- AREA: 76,296 SF: (1.75 ACRES)
- ZONED: SU-1: (CHURCH FACILITY)
- SEISMIC ZONE: 2B:
- ZONE ATLAS: L-9-2:

PROJECT:

- OCCUPANCY: A-2.1: (CHURCH FACILITY)
- CONSTRUCTION: V-1 HR: (10,500 SF ALLOWABLE)
- AREA: 7,500 SF: (NLA: 6,011 SF)
- PARKING:
 - REQUIRED: SANCTUARY AREA: 1 PARKING SPACE REQUIRED FOR EACH 4 SEATS:
 - PROVIDED: 82 SPACES: (4 HANDICAPPED)
 - NOTE: OCCUPANCY LOAD ALLOWABLE: 328 SEATS: THIS PROJECT SANCTUARY AREA WILL ACCOMMODATE 140 SEATS: (MAXIMUM) ANY FUTURE SANCTUARY AREA WILL ACCOMMODATE 300 SEATS: (MAXIMUM)
- LANDSCAPING:
 - REQUIRED: (76,296 - 7,500) (.15) = 10,520 SF:
 - PROVIDED: 17,329 SF: (25%)
- SETBACKS: 10'-0": (MAXIMUM)
- BUILDING HEIGHT: 26'-0": (MAXIMUM)
- FLOOR AREA RATIO: .10:

CASE NUMBER: **1003012**
04-00523

This plan is consistent with the specific site development plan Approval by the Environmental Planning Commission (EPC) on: **MARCH 18, 2004** and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Transportation Division	5-6-04
Parks & Recreation Department	5/5/04
Public Works Water Utilities Division	5/5/04
City Engineer, Engineering Division/AMA/CA	5/5/04
Solid Waste Management	4-1-04

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

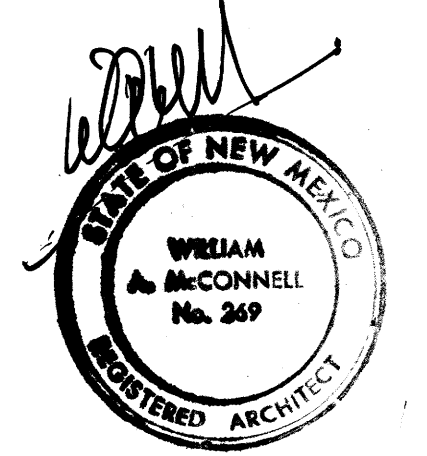
Sharon Matson 5/5/04
City Planner, Planning Division

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

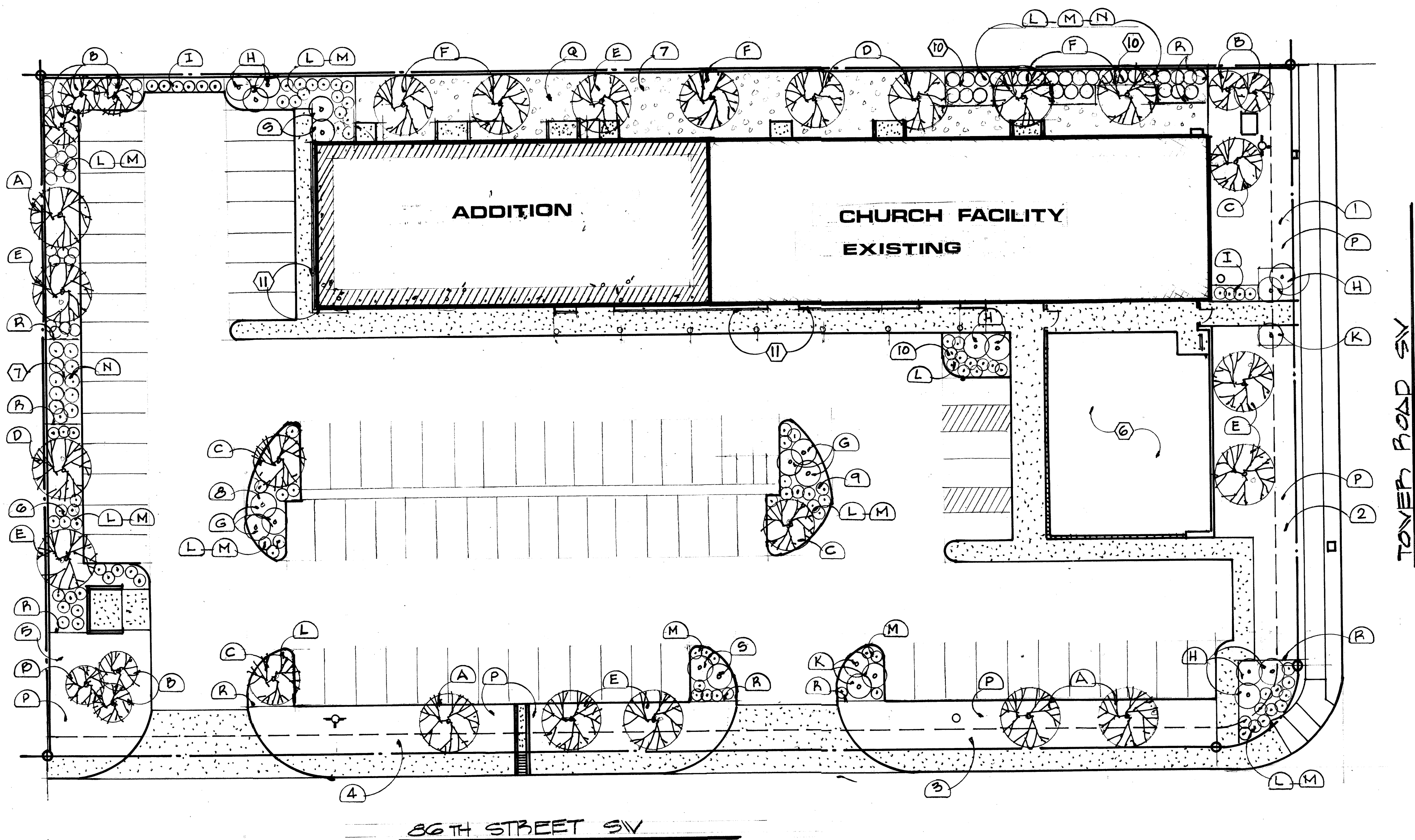
NOTES: (THIS SHEET)

- 1 NEW CONCRETE DRIVE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS.
- 2 NEW 6'-0" WIDE CONCRETE SIDEWALK WITH HANDICAPPED RAMPS AS REQUIRED BY AND IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS.
- 3 EXISTING CONCRETE AND CURB AND GUTTER.
- 4 EXISTING 6'-0" WIDE CONCRETE SIDEWALK WITH HANDICAPPED RAMP AT INTERSECTION.
- 5 BITUMINOUS PAVING: TYPICAL:
- 6 CONCRETE CURB: TYPICAL:
- 7 PAINTED HANDICAPPED PATH:
- 8 TRASH RECEPTACLE ENCLOSURE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS: (CMU: SPLIT FACE, BROWN)
- 9 SOLID CMU WALL: 6'-0" HIGH: (SPLIT FACE, BROWN)
- 10 TYPICAL END ISLAND AS PER THE CITY OF ALBUQUERQUE. (SEE DETAIL 1/2, SHEET 2)
- 11 LANDSCAPE AREA: (SEE LANDSCAPE PLAN, SHEET 2)
- 12 METAL FENCE: 6'-0" HIGH: ()
- 13 METAL GATE: 4'-0" WIDE: ()
- 14 BICYCLE RACK: (5 SPACES) (1/20 PARKING SPACES)
- 15 CONCRETE WALK: TYPICAL: (6'-0" WIDE UNLESS NOTED OTHERWISE.)
- 16 AREA FOR FUTURE EXPANSION: (TEMPORARY LANDSCAPING)
- 17 WATER METER:
- 18 NATURAL GAS METER:
- 19 HANDICAPPED RAMP: 1:12 SLOPE MAXIMUM: (SEE GRADING / DRAINAGE PLAN)
- 20 HANDICAPPED PARKING SIGN: (AS PER CITY OF ALBUQUERQUE)
- 21 EXISTING POWER POLE: (AT EACH H/C SPACES)
- 22 NOTE: THE OWNER INTENDS TO PURCHASE THE PROPERTY SOUTH OF THIS SITE. (SEE VICINITY PLAN) THEIR INTENTION IS TO COMPLETE THE PURCHASE WITHIN A YEAR. THEY REQUEST THE FOLLOWING CONSIDERATION:
 - THE REQUIREMENT OF A CMU WALL AT THE SOUTH PROPERTY LINE NOT TO BE ENFORCED WHILE THEY ATTEMPT TO COMPLETE THE PURCHASE.
 - IF ANYONE STARTS DEVELOPMENT ON THE SITE DURING THE YEAR PRIOR TO THE PURCHASE BY THE OWNERS THE OWNERS AGREE TO IMMEDIATELY CONSTRUCT THE CMU WALL.
- 23 EXISTING FIRE HYDRANT:
- 24 CONCRETE DRAINAGE TROUGH: (SEE GRADING / DRAINAGE PLAN)
- 25 NEW FIRE HYDRANT: (PROPOSED)
- 26 ELECTRICAL METER AND DISCONNECT:
- 27
- 28 NATURAL GAS SERVICE REQUIRED TO BE EXTENDED FROM NORTH ON 86TH STREET: (OWNER TO CONSULT WITH UTILITY COMPANY: PNM)
- 29 FASCIA:
- 30 SIGNS:
 - THERE ARE NO FREE STANDING SIGNS PROPOSED.
 - THE NAME OF THE CHURCH WILL EVENTUALLY BE INSTALLED ON THE WALL. (SIMPLE LETTERS, NOT ILLUMINATED)
- 31 EXTERIOR LIGHTING:
 - BUILDING: DOWNLIGHTING UNDER SOFFIT: (EAST SIDE)
 - PARKING AREA:
 - FUTURE POLE LIGHTING LOCATED IN THE PARKING ISLANDS.
 - ANY POLE LIGHTING WILL BE 16'-0" HIGH, (MAXIMUM)
 - LIGHT FIXTURES SHALL CONFORM WITH AREA LIGHT, ILLUMINATION, ETC. REGULATIONS.
- 32 NEW POWER POLE: (SEE ELECTRICAL)
- 33 NEW TRANSFORMER: (SEE ELECTRICAL)
- 34 TELEPHONE PEDESTAL:
- 35 EXISTING STREET LIGHT BOX:
- 36 DEDICATED RIGHT OF WAY LINE: BY PLAT:
- 37 PRECAST CONCRETE BUMPER: (TYPICAL)
- 38 MECHANICAL EQUIPMENT WITH CMU SCREEN: (MATCH CMU WALL)

PROJECT NO. 1003012
04EPC-00145 - BUILDING PERMIT

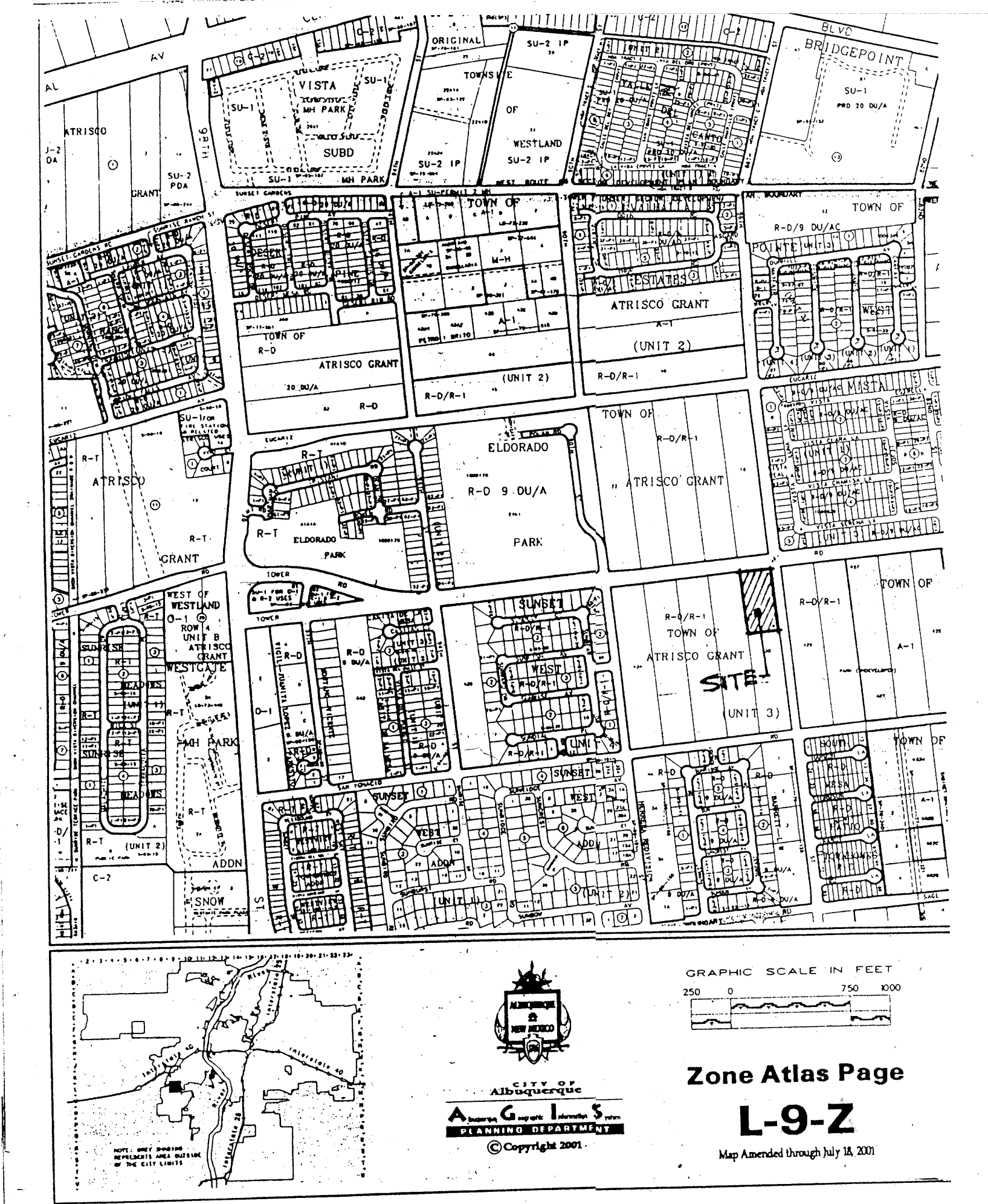


MAPS: 2004
 SITE PLAN:
 TOWER DAPTIST CHURCH FACILITY
 ALBUQUERQUE
 WILLIAM A. MC CONNELL - ARCHITECT
 NEW MEXICO



TOWER ROAD SW

36TH STREET SW

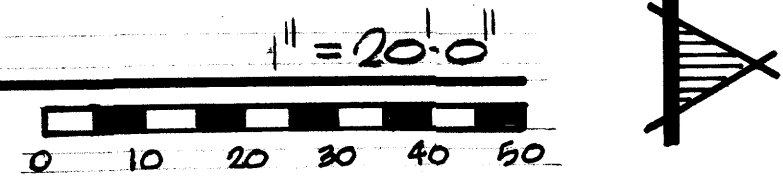


VICINITY PLAN

GRAPHIC SCALE IN FEET
0 250 500 750 1000

Zone Atlas Page L-9-Z
Map Amended through July 18, 2001

LANDSCAPING PLAN:



NOTES: (THIS SHEET)

1. LANDSCAPING SHALL BE AS PER "PLANTING RESTRICTIONS APPROACH":
 - MEDIUM AND LOW WATER USE TREES / PLANTS 80% (MINIMUM) OF LANDSCAPED AREA;
 - WATER REQUIREMENTS ((H)=HIGH, (M)=MEDIUM, (L)=LOW) NOTED ON SCHEDULE IS AS PER ALBUQUERQUE PLANT LIST;
2. GENERAL:
 - LANDSCAPED AREAS: SHALL BE PREPARED WITH REQUIRED AND SUITABLE AMENDMENTS FOR PLANTING AND MAINTAINING SOD, TREES, SHRUBS, ETC. EXCAVATE TO NATURAL SUBSOIL LEVEL; FILL WITH CLEAN SUBSOIL AND 4" TOPSOIL (MINIMUM) CONTAINING HUMUS. (FREE OF DEBRIS, WEEDS, FIELD GRASSES, ETC.)
 - TREES: SHALL BE 2" Ø CALIPER (MINIMUM) AT 2'-0" ABOVE GROUND AND SHALL BE 10'-0" (MINIMUM) IN HEIGHT.
 - PLANTS / SHRUBS: SHALL BE 5 GALLON (MINIMUM).
 - GROUND COVER: SHALL BE ESTABLISHED WITHIN ONE (1) YEAR OF PLANTING (MAXIMUM). SOD, PLANTINGS, SHREDDED BARK, RIVER RUN GRAVEL SHALL BE OVER SOIL TREATED FOR WEED CONTROL.
 - IRRIGATION: UNDERGROUND SPRINKLER AND DRIP SYSTEM AS FOLLOWS: (CONTRACTOR SHALL SUBMIT PLAN AND SPECIFICATIONS FOR SYSTEM PROPOSED)
 - VALVE BOXES;
 - PRESSURE LINES: SCHEDULE 40 PVC;
 - LATERAL AND DISTRIBUTION LINES: CLASS 200 PVC;
 - HEADS: POP-UP TYPE INSTALLED IN LAWN AREAS;
 - CONTROL WIRE: SOLID COPPER, UL APPROVED;
 - NOTE: OWNER SHALL MAINTAIN LANDSCAPING.
 - SYSTEM SHALL INCLUDE AUTOMATIC VALVES AND TIMER TIMER TO BE LOCATED IN UTILITY ROOM "16";
 - SYSTEM TO HAVE YARD SPRAY AT SOD, DRIP AT ELSEWHERE;

3. AREA:

1.....	1,750 SF:
2.....	2,225 SF:
3.....	1,771 SF:
4.....	2,184 SF:
5.....	990 SF:
6.....	2,330 SF:
7.....	5,100 SF:
8.....	368 SF:
9.....	491 SF:
10.....	120 SF:
TOTAL... 17,329 SF:	

NOTE: LANDSCAPING EXISTING:

4. SCHEDULE:

A. TREE:	DESERT WILLOW: (L)
B. TREE:	PINON PINE: (M)
C. TREE:	FLOWERING PLUM: (M)
D. TREE:	NEPFLA HACKBERRY: (L)
E. TREE:	CHINESE PISTACHE: (L)
F. TREE:	AFGAN PINE: (L)
G. SILVER SAGE:	(L)
H. RUSSIAN SAGE:	(M)
T. SANTOLINA:	LAVENDER-COTTON: (L)
J. BUTTERFLY BUSH:	(L)
K. HUMMINGBIRD BUSH:	(L)
L. YELLOW ICEPLANT:	(M)
M. PURPLE ICEPLANT:	(L)
N. SANTOLINA:	GRAY LAVENDER COTTON: (L)
O. SHRUBBY ICEPLANT:	(L)
P. BLUE GRAMA GRASS:	(L)
Q. GRAVEL MULCH:	(3/4" SANTA FE BROWN)
R. EDGING:	(METAL OR PLASTIC)
S. APACHE PLUME:	(L)
T. SPANISH BROOM:	(M)

GROUND COVER:

5. AREA DESIGNATED FUTURE DEVELOPMENT IS NOT INCLUDED IN LANDSCAPING CALCULATIONS. LANDSCAPING SHOWN IS TO BE TEMPORARY. AREA GROUND COVER TO BE 100%.
6. PLAY AREA IS NOT INCLUDED IN LANDSCAPING CALCULATION. PLAY AREA TO BE DEVELOPED BY OTHERS. AREA DESIGNATED FUTURE DEVELOPMENT LANDSCAPING, ETC. IS TO BE TEMPORARY.
7. THIS AREA (24' WIDE) TO BE KEPT CLEAR FOR POSSIBLE EXTENSION OF DRIVE TO ADJACENT SITE. (SEE NOTE "22", SHEET 1).
8. LIVING MATERIAL GROUND COVER:
 - REQUIRED: (75%)..... 12,130 SF;
 - PROVIDED:..... 12,229 SF;
9. LANDSCAPING IN FUTURE DEVELOPMENT AREA (NOTES "11" & "14") TO BE MAINTAINED BY THE OWNER.
10. ADDITIONAL GROUND COVER: 780 SF:
 - LIVING GROUND COVER:
 - REQUIRED: (75%)..... 12,997 SF;
 - PROVIDED:..... 13,009 SF;
11. PLANTER: (SEE SITE PLAN)

DELETED THIS PROJECT:

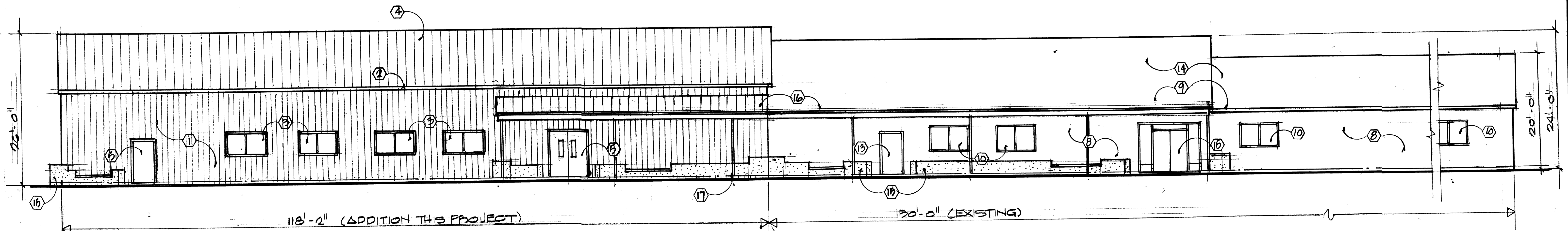
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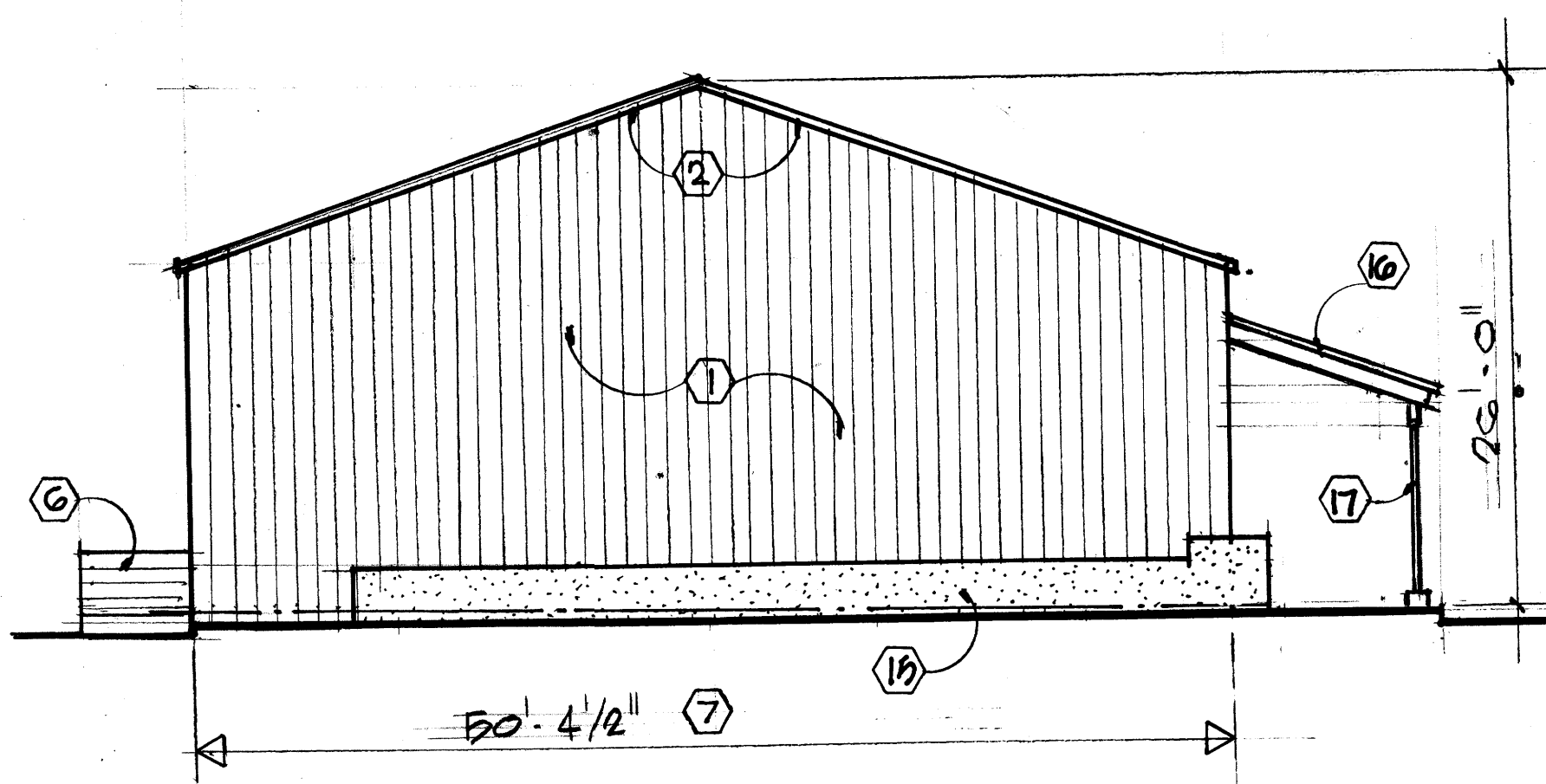
PROJECT NO. 1003012
06EPC-00609 EPC SITE DEVELOPMENT PLAN
AMENDMENT TO BUILDING PERMIT:

PROJECT NO. 1003012
04EPC-00145 - BUILDING PERMIT

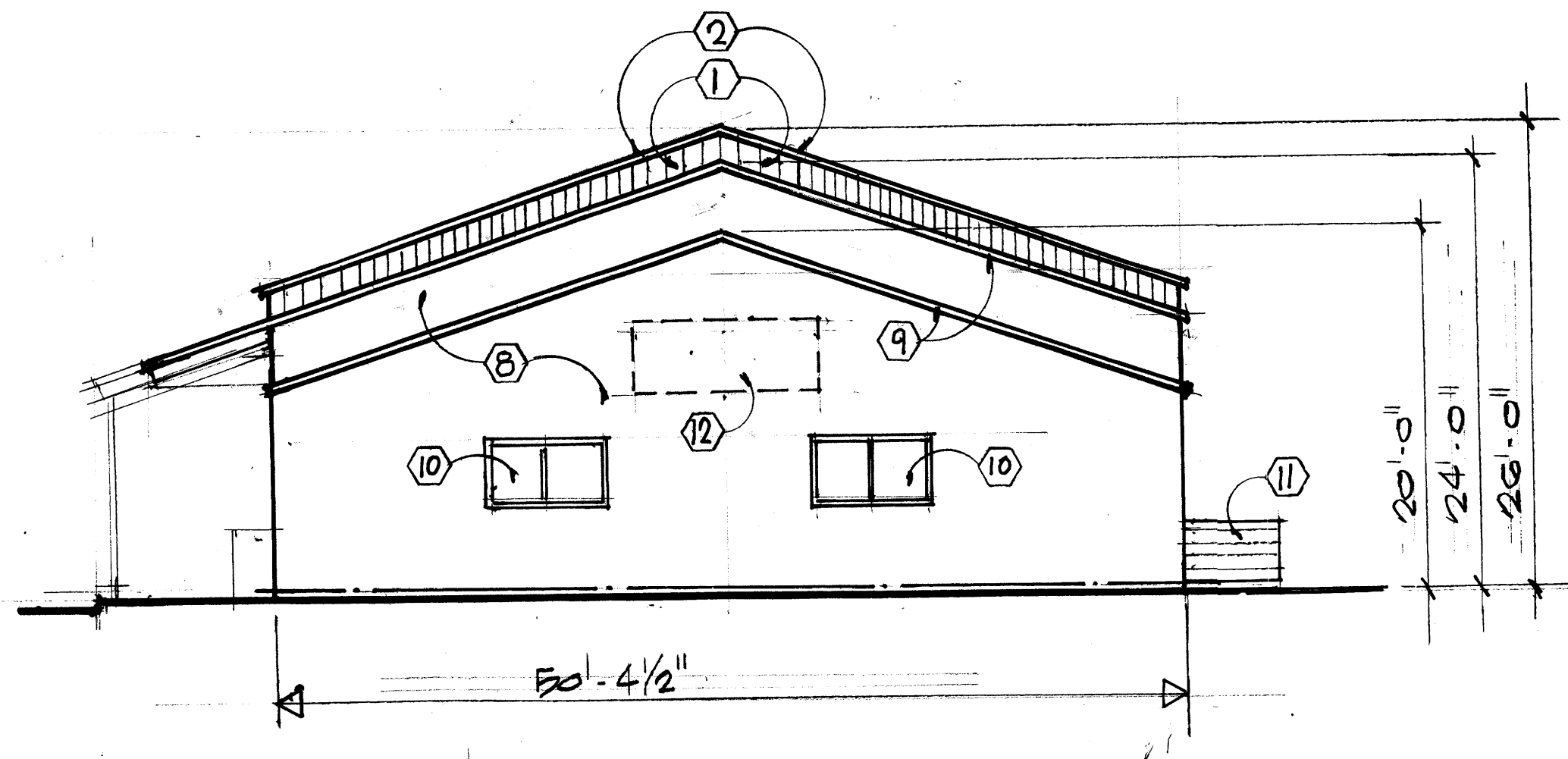




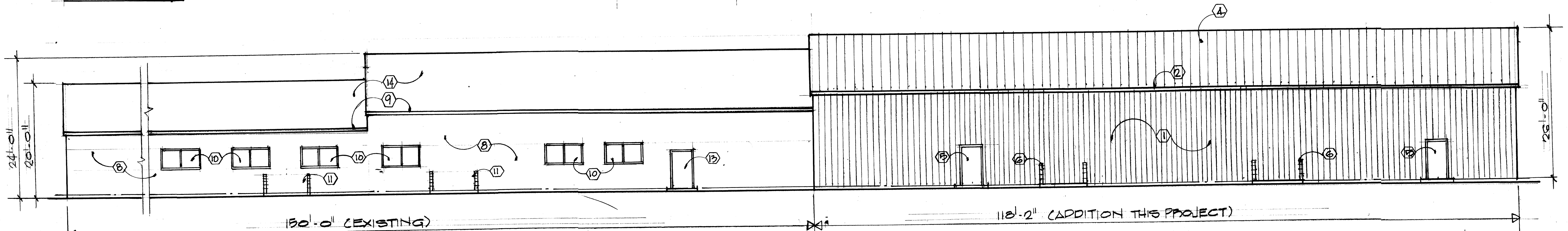
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SOUTH:

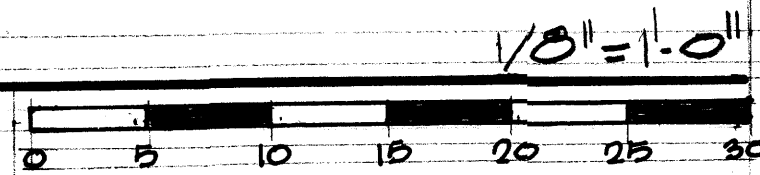


NORTH:



WEST:

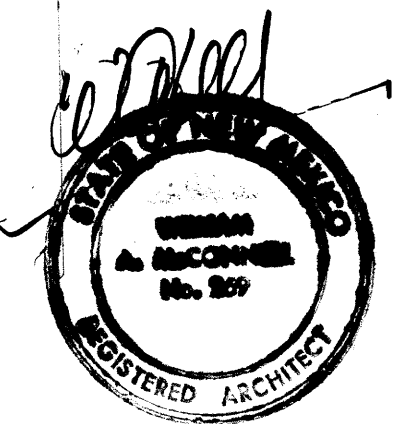
EXTERIOR ELEVATIONS:

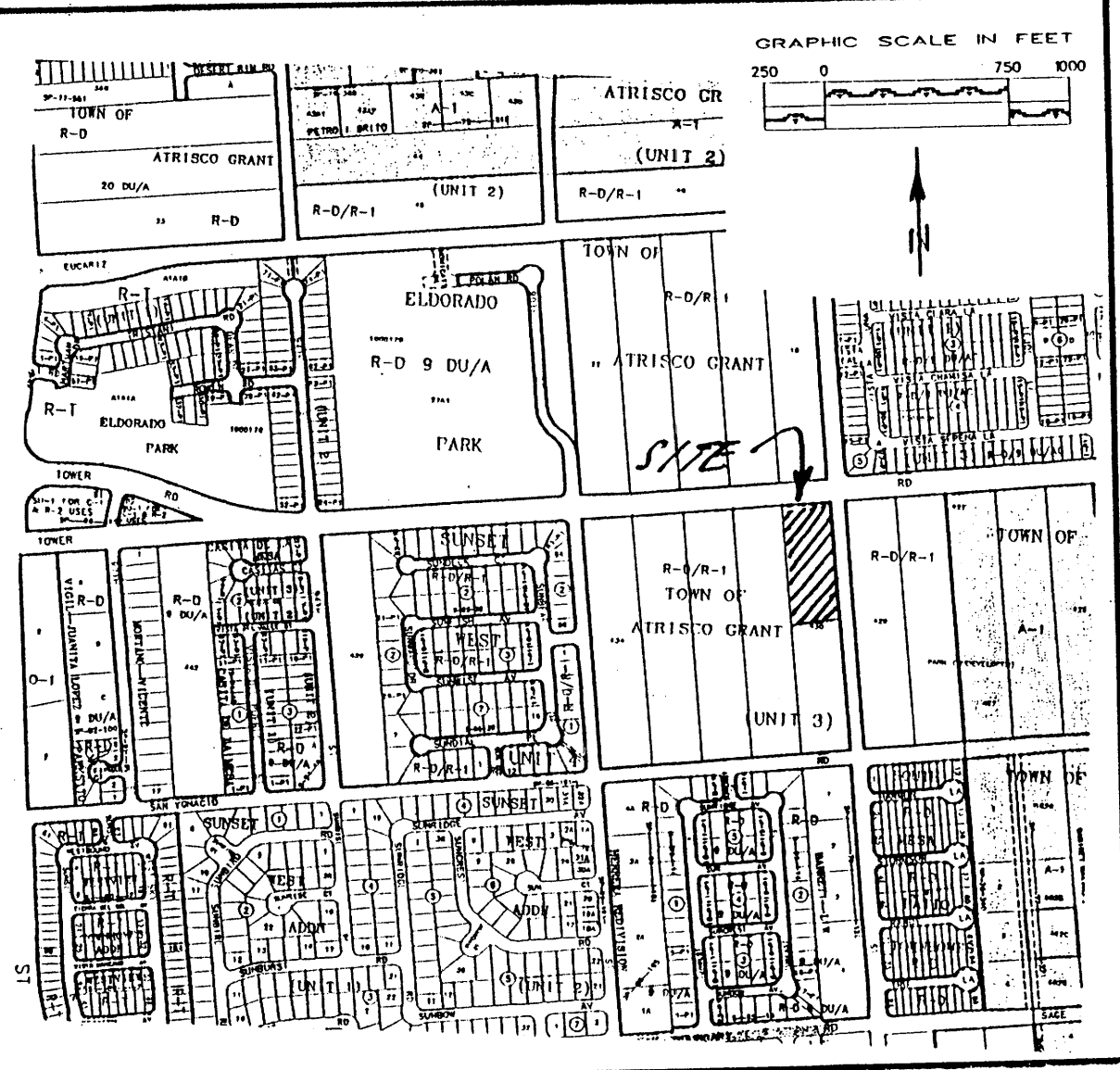


NOTES: (THIS SHEET)

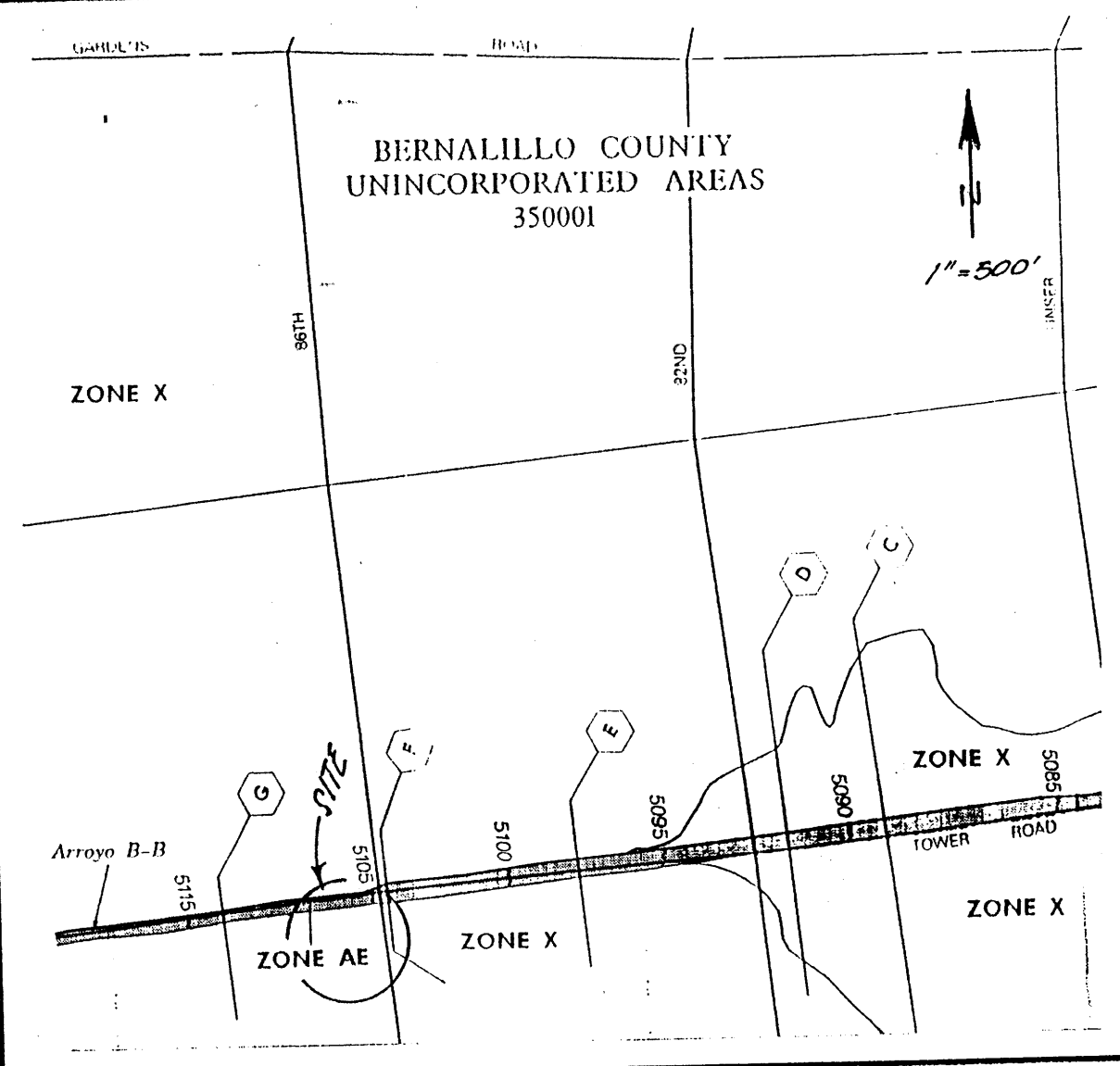
- 1 PREFINISHED METAL SIDING WITH STUC-O-FLEX FINISH THIS PROJECT: (LIGHT GRAY)
- 2 METAL TRIM: (BLUE, MATCH EXISTING)
- 3 WINDOW: METAL FRAME: (6'-0" x 3'-0": LIGHT GRAY)
- 4 PREFINISHED METAL ROOFING: (GVALUME, MATCH EXISTING)
- 5 METAL DOOR WITH METAL FRAME: (MATCH EXISTING, LIGHT GRAY)
- 6 CMU SCREEN AT MECHANICAL: 3'-0" HIGH MINIMUM: (MATCH EXISTING)
- 7 BUILDING WIDTH TO MATCH EXISTING:
- 8 EXISTING PREFINISHED METAL SIDING SHALL RECEIVE STUC-O-FLEX FINISH THIS PROJECT:
- 9 EXISTING METAL TRIM:
- 10 EXISTING WINDOW:
- 11 EXISTING CMU SCREEN AT MECHANICAL EQUIPMENT:
- 12 AREA DESIGNATED FOR SIGNAGE AS PER PREVIOUS PROJECT:
- 13 EXISTING METAL DOOR AND FRAME:
- 14 EXISTING METAL ROOFING:
- 15 EXISTING GLAZED ENTRY WITH METAL DOORS AND FRAME:
- 15 PLANTER: (RAIN WATER RECEPTACLES, SEATING, TRELIS AND TRUMPET VINES INCORPORATED IN PLANTER DESIGN)
- 16 EXTENDED OVERHANG:
- 17 POSTS:

PROJECT NO. 1003012
 06EPC-00609 EPC SITE DEVELOPMENT PLAN
 AMENDMENT TO BUILDING PERMIT:





ZONE ATLAS MAP L-9-Z



F.E.M.A. PANEL 328 OF 825

EROSION CONTROL MEASURES:
 THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

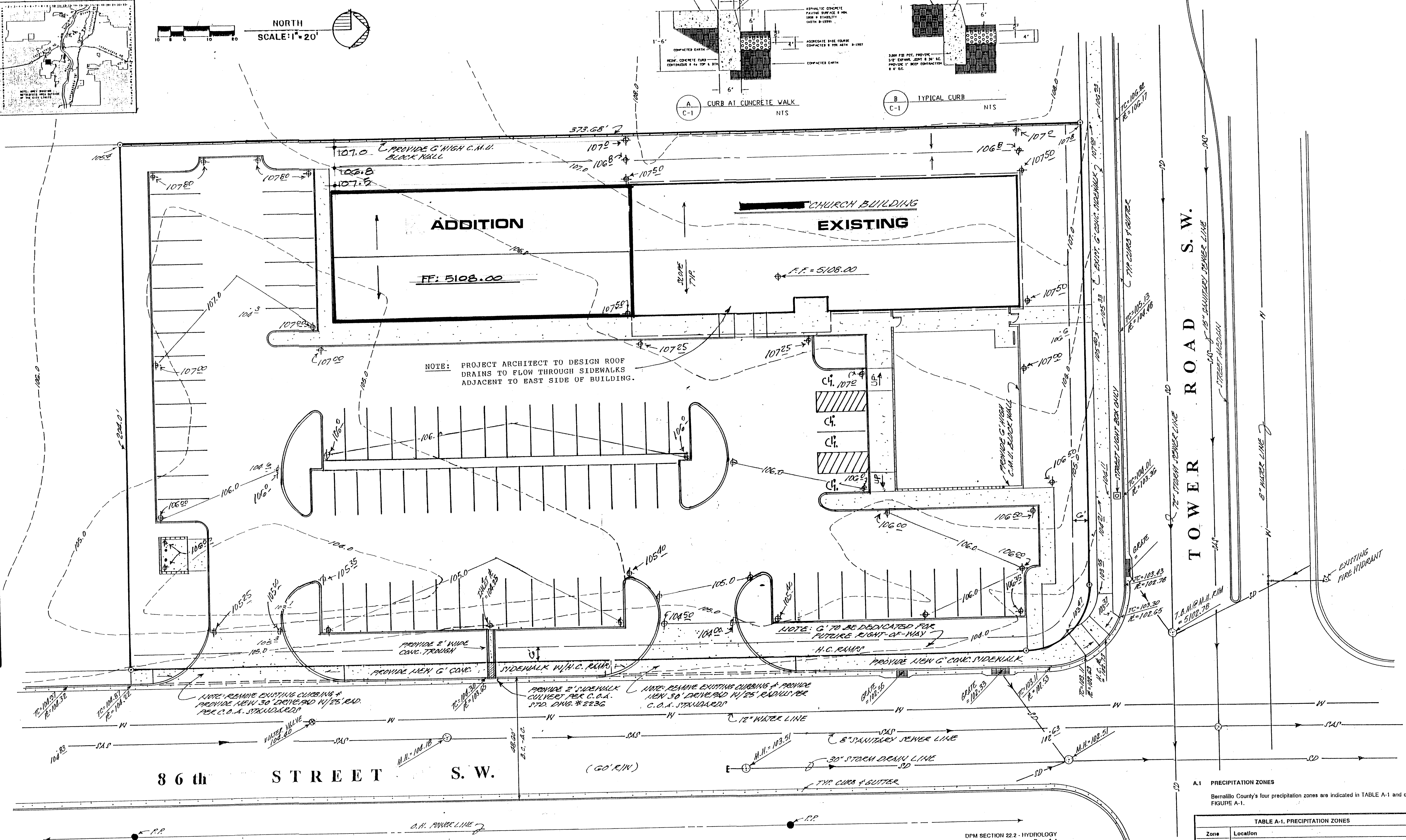
- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:
 TOP OF CURB ELEVATION = 107.00
 CURB FLOWLINE ELEVATION = 106.50
 EXISTING SPOT ELEVATION = 106.50
 EXISTING CONTOUR ELEVATION = 105.0
 PROPOSED SPOT ELEVATION = 105.0
 PROPOSED CONTOUR ELEVATION = 105.0
 PROPOSED OR EXISTING CONCRETE SURFACE = [Symbol]
 EXISTING FENCE LINE = [Symbol]

- GENERAL NOTES:**
- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
 - NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.



GRADING AND DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE SOUTHWEST INTERSECTION OF TOWER ROAD S.W. AND 86th STREET S.W., IN THE CITY OF ALBUQUERQUE, NEW MEXICO.

AS SHOWN ON F.E.M.A. PANEL 328 OF 825, THE FLOODPLAIN SHOWN ADJACENT TO THE SUBJECT PROPERTY HAS BEEN DELETED ACCORDING TO THE LATEST F.E.M.A. UPDATE.

THE SUBJECT PROPERTY, 1.) DOES NOT CONTRIBUTE TO OFFSITE FLOWS OF ADJACENT PROPERTIES, 2.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN.

DRAINAGE CALCULATIONS:

SITE AREA = 1.75 ACRES
 ZONE: ONE (1)

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	1.75	2.87	5.02

"Qp" = 5.02 cfs

PROPOSED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.65	2.87	1.87
D	1.10	4.37	4.81

"Qp" = 6.68 cfs
 INCREASE = 1.66 cfs

BENCH MARK: ADA STATION "10-19",
 ELEV. = 5200.437

LEGAL DESCRIPTION:
 N/4LY PORTION OF TRACT 430,
 UNIT 3, ATRISCO GRANT

- NOTICE TO CONTRACTOR:**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTEREST STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
 - THE (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL RECHECK AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SUPERVISOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO ADEQUATE STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS	NAME	DATE
HYDROLOGY INSPECTOR		

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

TABLE A-3. PEAK INTENSITY (MM/H @ 62 HOUR)

Zone	Intensity	100-YR	2-YR, 10-YR
1	4.70	1.86, 2.14	1.59, 2.29
2	5.05	2.04, 2.41	1.76, 2.51
3	5.76	2.21, 2.65	1.91, 2.70
4	5.91	2.24, 2.63	1.94, 2.67

TABLE A-4. PEAK DISCHARGE (cfs/acre)

Zone	A	B	C	D
1	1.29	2.02	2.47	4.37
2	1.66	2.59	3.14	5.16
3	1.97	3.00	3.65	6.02
4	2.10	3.20	3.73	6.29

TABLE A-4. LAND TREATMENTS

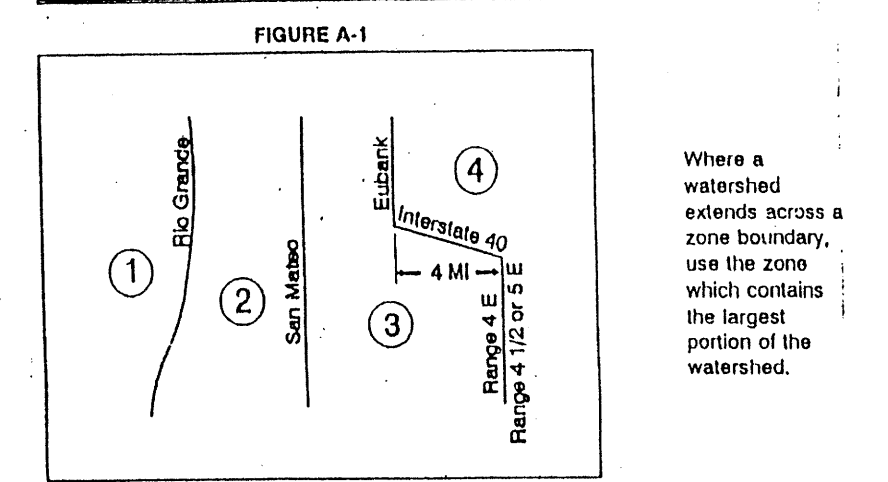
Treatment	Land Condition
A	Soil unimpacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands. Unlined arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil unimpacted by human activity with slopes greater than 10 percent and less than 20 percent, activity with slopes greater than 10 percent and less than 20 percent, other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil unimpacted by human activity with slopes greater than 10 percent and less than 20 percent, activity with slopes greater than 10 percent and less than 20 percent, other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

A-1 PRECIPITATION ZONES
 Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Flange 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Flange 4 East, South of Interstate 40



APPROVALS

NEW MEXICO
 5693
 [Signature]
 ENGINEER'S SEAL

GRADING AND DRAINAGE PLAN
FOR
TOWER BAPTIST CHURCH
 (S.W. CORNER OF TOWER RD. S.W. & 86th ST. S.W.)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2004

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