

LOCATION MAP N-8-Z & N-9-Z

PURPOSE OF PLAT

1. To create 126 lots as shown hereon.
2. To grant easements as shown hereon.
3. To dedicate street right-of-way as shown hereon.
4. To vacate easements as shown hereon.

SUBDIVISION DATA

1. Project No.: Application No.:
2. Zone Atlas Index No.: N-8-Z & N-9-Z
3. Total Number of Existing Lots: 0
4. Total Number of Existing Tracts: 1
5. Total Number of Lots created: 126
6. Total Number of Tracts created: 0
7. Miles of Full Width Streets created: 1.0067 mi.
8. Gross Subdivision Acreage: 22.9599 Ac.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances are field and record.
4. Basis of boundary is from the plats of record entitled:
 - "EL RANCHO GRANDE, TRACTS 14, 15 & 16", (03-09-04, 04C-72)
 - "EL RANCHO GRANDE, UNIT 14", (07-02-04, 04C-202)
 - "SUN GATE SUBDIVISION", (08-11-04, 04C-235)
 - "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT (11-25-03, 03C-357)
 - "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT (07-23-03, 03C-223)
 - "ROSNER TRACT, TRACT B-1", (03-27-03, 03C-80) all being records of Bernalillo County, New Mexico.
5. Field Survey performed on March, 2003.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: R-LT
9. Utility Council Location System Log No.: 2004380418
10. Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
11. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
12. All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 4 & 5, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 15, EL RANHO GRANDE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 09, 2004 in Book 04C, Page 72 and containing 22.9599 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs of bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

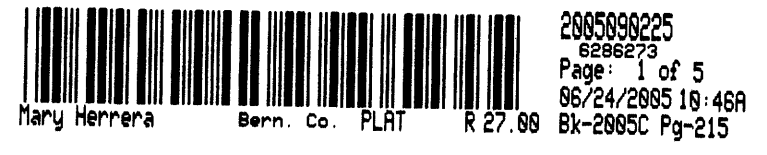
FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 126 lots as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the vacating of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) Warrants that (he/she) holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): Charles A. Haegelin
 CURB INC., CHARLES HAEGELIN, PRESIDENT
 STATE OF NEW MEXICO } SS
 BERNALILLO COUNTY }

On this 1 day of June, 2005, this instrument was acknowledge before me by CHARLES HAEGELIN, President of Curb, Inc., a New Mexico Corporation.

Stephanie L. Stratton 6-24-05
 Notary Public My Commission Expires



PLAT FOR
EL RANCHO GRANDE
UNIT 15
 WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 4 & 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2005

PROJECT NUMBER: 1003080
 Application Number: 05-00997

PLAT APPROVAL

- Utility Approvals:
- | | |
|--------------------------------|---------------|
| <u>Lead D. Munt</u> | <u>6-7-05</u> |
| PNM Electric Services Division | Date |
| <u>Lead D. Munt</u> | <u>6-7-05</u> |
| PNM Gas Services Division | Date |
| <u>Mandell Bay</u> | <u>6-7-05</u> |
| Qwest | Date |
| <u>Anne Bolton</u> | <u>6-7-05</u> |
| Comcast | Date |
- City Approvals:
- | | |
|--|----------------|
| <u>PLB</u> | <u>6-6-05</u> |
| City Surveyor | Date |
| <u>N/A</u> | <u>6/22/05</u> |
| Real Property Division | Date |
| <u>N/A</u> | <u>6/24/05</u> |
| Environmental Health Department | Date |
| <u>with sig</u> | <u>6-22-05</u> |
| Traffic Engineering, Transportation Division | Date |
| <u>Roger A. Shum</u> | <u>6-22-05</u> |
| Utilities Development | Date |
| <u>Christina Sandoval</u> | <u>6/22/05</u> |
| Parks and Recreation Department | Date |
| <u>Bradley L. Bingham</u> | <u>6/22/05</u> |
| AMAFCA | Date |
| <u>Bradley L. Bingham</u> | <u>6/22/05</u> |
| City Engineer | Date |
| <u>Mattson</u> | <u>6/24/05</u> |
| DRB Chairperson, Planning Department | Date |

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
 PAID ON UPC #1-009-054-037-330-20103
 PROPERTY OWNER OF RECORD
Curb Inc
 BERNALILLO COUNTY TREASURER'S OFFICE:
Felisa Andrade 6-24-05

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."
Timothy Aldrich 05-23-05
 Timothy Aldrich, P.S. No. 7719 Date

OFFICIAL SEAL
STEPHANIE L. STRATTON
 NOTARY PUBLIC-STATE OF NEW MEXICO
 My commission expires 6-24-07

Drawn By:	ECM	Date:	10-28-04
Checked By:	TA	Drawing Name:	04008P15.DWG
Job No.:	04-008	Sheet:	1 of 5

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

SEE SHEET 4 AND 5 FOR
CURVE AND LINE TABLE

SEE SHEET 4 FOR LOT
AREA TABLE

PLAT FOR
**EL RANCHO GRANDE
UNIT 15**
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 4 & 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2004

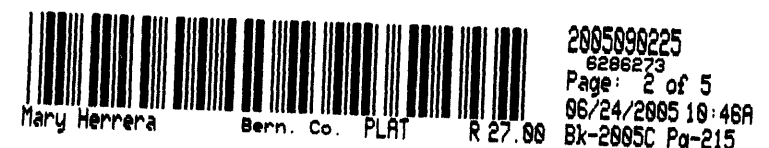
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"TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
 $\Delta\alpha=-00^{\circ}16'42''$
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5118.370



- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "LS 7719" (TYP)
 - SET 5/8" REBAR WITH CAP "LS 7719" (TYP)

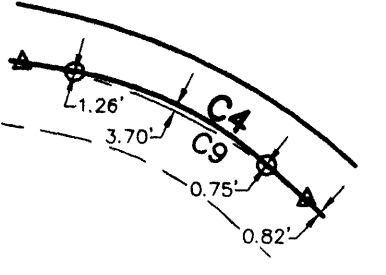
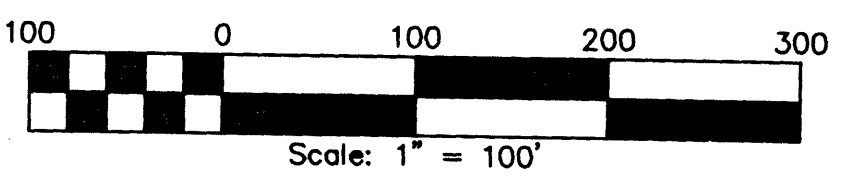
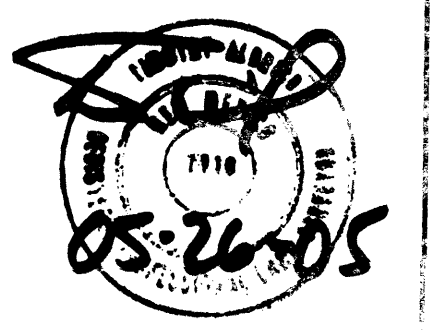
- EASEMENTS**
- ① 10' PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)
 - ② EXISTING 10' PUBLIC UTILITY EASEMENT (07-02-04, 04C-202)
 - ③ EXISTING 68' R/W - RESERVED FOR FUTURE R/W EXTENSION. (03-27-03, 03C-80)
 - ④ EXISTING 60' WATERLINE AND SANITARY SEWER EASEMENT (04-17-01, A18-456)
 - ⑤ EXISTING 60' PUBLIC ACCESS EASEMENT (07-23-03, 03C-223)
 - ⑦ EXISTING 10' UTILITY EASEMENT (07-23-03, 03C-223)
 - ⑧ EXISTING 10' UTILITY EASEMENT (08-11-04, 04C-235)
 - ⑨ EXISTING 15' x 20' QWEST EASEMENT (08-11-04, 04C-235)
 - ⑩ 38' PUBLIC WATERLINE EASEMENT (GRANTED BY THIS PLAT)
 - ⑪ 25' PUBLIC STORM DRAIN EASEMENT (GRANTED BY THIS PLAT)
 - ⑫ 30' PUBLIC ROADWAY, SANITARY SEWER, WATER AND DRAINAGE EASEMENT (03-09-04, 04C-72)

ACS MONUMENT
"1-N8"
Y=1470679.06
X=348455.82
G-G=0.99967260
 $\Delta\alpha=-00^{\circ}17'26''$
CENTRAL ZONE
(NAD 1927)

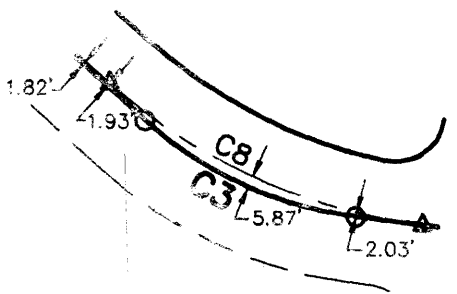


(*LANDS OF SALAZAR FAMILY TRUST,
SALAZAR QUATRO TRUST,
JSJ INVESTMENT COMPANY
AND FALBA HANNETT
(11-25-03, 03C-357)

(*TRACT 31A-1-A



DETAIL A
N.T.S.

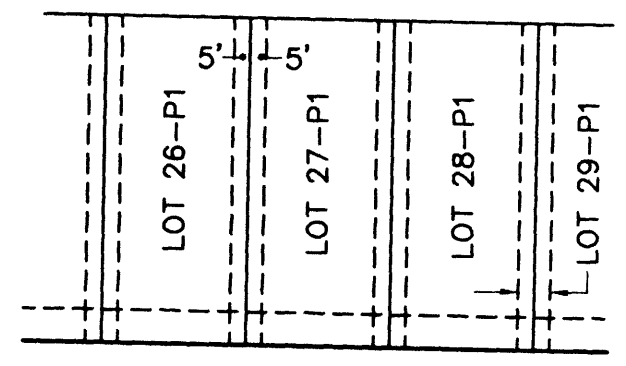


DETAIL B
N.T.S.

ROSNER TRACT
TRACT B-1
(03-27-03, 03C-80)

TRACT 29A

LANDS OF SALAZAR FAMILY TRUST,
SALAZAR QUATRO TRUST,
JSJ INVESTMENT COMPANY
AND FALBA HANNETT
(07-23-03, 03C-223)



DRAINAGE EASEMENT DETAIL
NOT TO SCALE

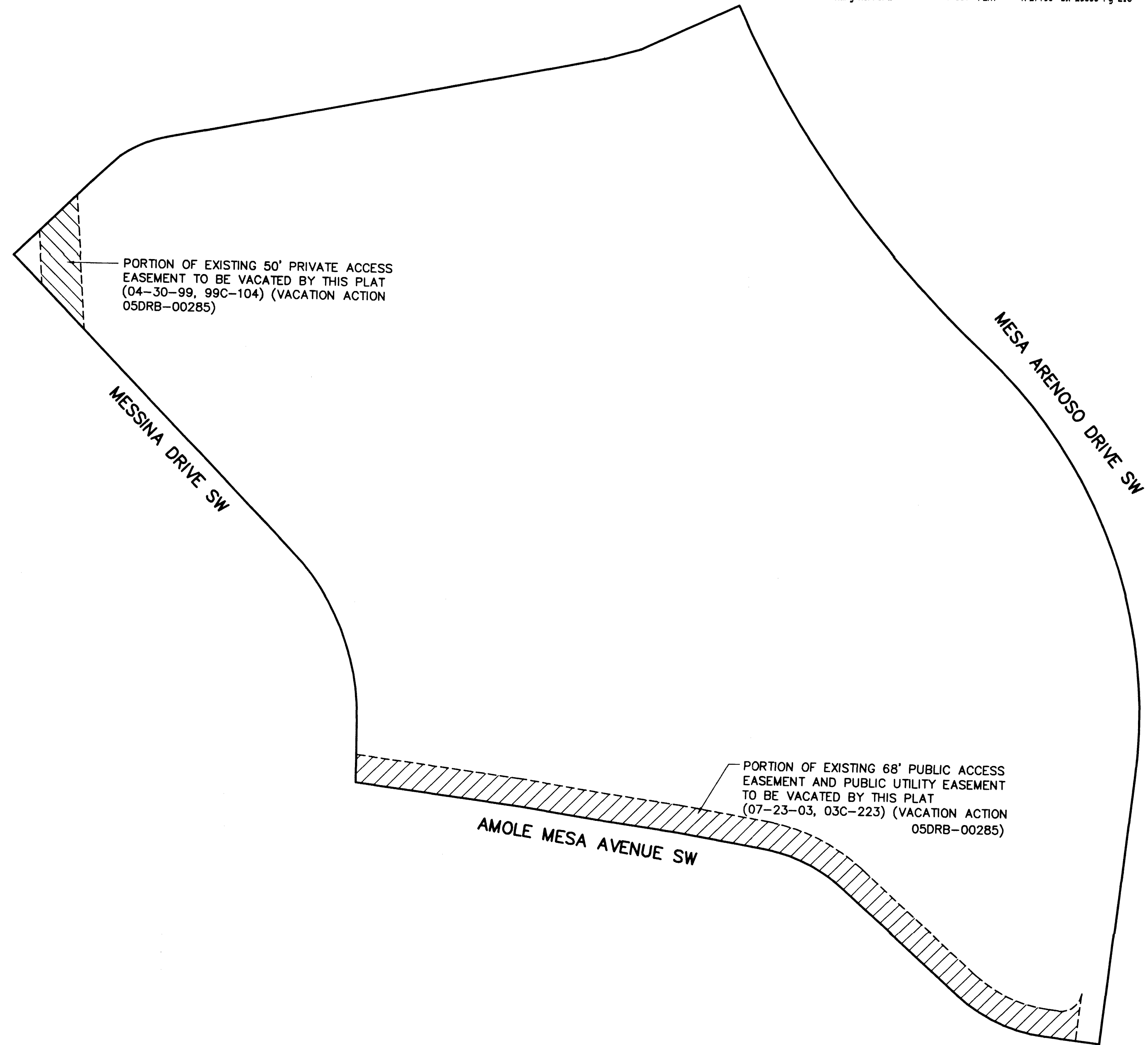
A 10' Private Joint Use Drainage Easement shall be centered on adjoining side lot lines shown on this plat. The easement shall be maintained by the underlying property owner. (GRANTED BY THIS PLAT).

Drawn By:	ECM	Date:	10-28-04
Checked By:	TA	Drawing Name:	04008P15.DWG
Job No.:	04-008	Sheet:	2 of 5

**ALDRICH LAND
SURVEYING**
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

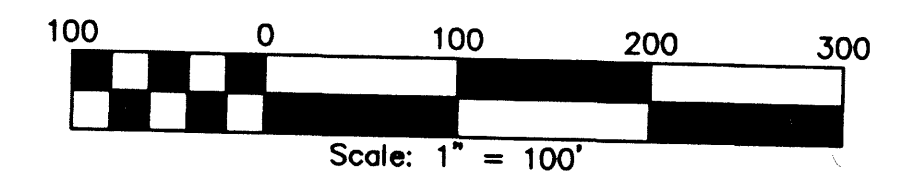
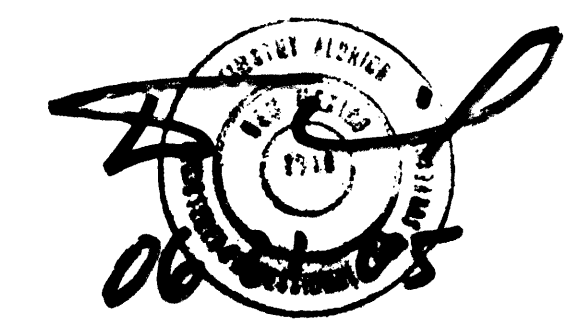
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 Mary Herrera Bern. Co. PLRT R 27.00

PLAT FOR
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 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 4 & 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2004



PORTION OF EXISTING 50' PRIVATE ACCESS
 EASEMENT TO BE VACATED BY THIS PLAT
 (04-30-99, 99C-104) (VACATION ACTION
 05DRB-00285)

PORTION OF EXISTING 68' PUBLIC ACCESS
 EASEMENT AND PUBLIC UTILITY EASEMENT
 TO BE VACATED BY THIS PLAT
 (07-23-03, 03C-223) (VACATION ACTION
 05DRB-00285)

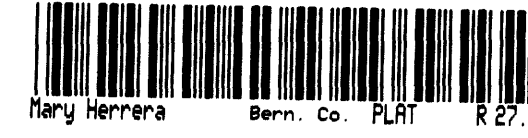


REVISED 06-21-05

Drawn By:	ECM	Date:	10-28-04
Checked By:	TA	Drawing Name:	0400BP15.DWG
Job No.:	04-008	Sheet:	3 of 5

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT FOR
 EL RANCHO GRANDE
 UNIT 15
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 4 & 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2004



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 Page: 4 of 5
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 BK-2885C Pg-215

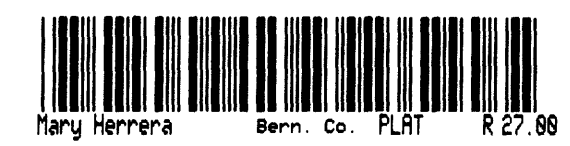
LOT	AREA	LOT	AREA	LOT	AREA
1-P1	0.1223 AC.	43-P1	0.1103 AC.	85-P1	0.1140 AC.
2-P1	0.1167 AC.	44-P1	0.1132 AC.	86-P1	0.1109 AC.
3-P1	0.1177 AC.	45-P1	0.1132 AC.	87-P1	0.1174 AC.
4-P1	0.1713 AC.	46-P1	0.1434 AC.	88-P1	0.1230 AC.
5-P1	0.1231 AC.	47-P1	0.1480 AC.	89-P1	0.1230 AC.
6-P1	0.1177 AC.	48-P1	0.1134 AC.	90-P1	0.1230 AC.
7-P1	0.1140 AC.	49-P1	0.1097 AC.	91-P1	0.1184 AC.
8-P1	0.1116 AC.	50-P1	0.1134 AC.	92-P1	0.1109 AC.
9-P1	0.1115 AC.	51-P1	0.1134 AC.	93-P1	0.1109 AC.
10-P1	0.1086 AC.	52-P1	0.1097 AC.	94-P1	0.1176 AC.
11-P1	0.1086 AC.	53-P1	0.1134 AC.	95-P1	0.1307 AC.
12-P1	0.1086 AC.	54-P1	0.1121 AC.	96-P1	0.1580 AC.
13-P1	0.1085 AC.	55-P1	0.1470 AC.	97-P1	0.1853 AC.
14-P1	0.1113 AC.	56-P1	0.1191 AC.	98-P1	0.1346 AC.
15-P1	0.1113 AC.	57-P1	0.1133 AC.	99-P1	0.1227 AC.
16-P1	0.1084 AC.	58-P1	0.1132 AC.	100-P1	0.1181 AC.
17-P1	0.1084 AC.	59-P1	0.1147 AC.	101-P1	0.1181 AC.
18-P1	0.1063 AC.	60-P1	0.1222 AC.	102-P1	0.1181 AC.
19-P1	0.2084 AC.	61-P1	0.1823 AC.	103-P1	0.1181 AC.
20-P1	0.1445 AC.	62-P1	0.1404 AC.	104-P1	0.1181 AC.
21-P1	0.1275 AC.	63-P1	0.1158 AC.	105-P1	0.1181 AC.
22-P1	0.1108 AC.	64-P1	0.1158 AC.	106-P1	0.1181 AC.
23-P1	0.1081 AC.	65-P1	0.1281 AC.	107-P1	0.1181 AC.
24-P1	0.1109 AC.	66-P1	0.1658 AC.	108-P1	0.1181 AC.
25-P1	0.1109 AC.	67-P1	0.1863 AC.	109-P1	0.1148 AC.
26-P1	0.1081 AC.	68-P1	0.1109 AC.	110-P1	0.1286 AC.
27-P1	0.1108 AC.	69-P1	0.1109 AC.	111-P1	0.1330 AC.
28-P1	0.1109 AC.	70-P1	0.1140 AC.	112-P1	0.1157 AC.
29-P1	0.1109 AC.	71-P1	0.1128 AC.	113-P1	0.1270 AC.
30-P1	0.1421 AC.	72-P1	0.1139 AC.	114-P1	0.1270 AC.
31-P1	0.1152 AC.	73-P1	0.1179 AC.	115-P1	0.1270 AC.
32-P1	0.1152 AC.	74-P1	0.1280 AC.	116-P1	0.1270 AC.
33-P1	0.1152 AC.	75-P1	0.1382 AC.	117-P1	0.1270 AC.
34-P1	0.1152 AC.	76-P1	0.1199 AC.	118-P1	0.1270 AC.
35-P1	0.1152 AC.	77-P1	0.1147 AC.	119-P1	0.1785 AC.
36-P1	0.1152 AC.	78-P1	0.1331 AC.	120-P1	0.1920 AC.
37-P1	0.1152 AC.	79-P1	0.2171 AC.	121-P1	0.1546 AC.
38-P1	0.1152 AC.	80-P1	0.1318 AC.	122-P1	0.1468 AC.
39-P1	0.1188 AC.	81-P1	0.1840 AC.	123-P1	0.1777 AC.
40-P1	0.1208 AC.	82-P1	0.1558 AC.	124-P1	0.1246 AC.
41-P1	0.1132 AC.	83-P1	0.1301 AC.	125-P1	0.1239 AC.
42-P1	0.1132 AC.	84-P1	0.1127 AC.	126-P1	0.1236 AC.

LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	S 08°33'45" W	330.24'
L2	N 83°25'47" W	68.94'
L3	N 48°22'20" W	193.35'
L4	N 80°37'04" W	114.68'
L5	N 82°41'53" W	202.43'
L6	N 00°01'54" E	77.24'
L7	N 44°12'54" W	528.28'
L8	N 45°44'07" E	135.24'
L9	N 47°12'33" E	46.00'
L10	N 78°46'22" E	557.71'
L11	N 74°36'52" E	46.58'
L12	N 85°24'52" E	135.00'
L13	S 48°52'20" E	138.68'
L14	S 00°01'54" W	97.39'
L15	S 44°15'53" E	507.20'
L16	S 44°15'53" E	330.28'
L17	S 44°15'53" E	178.92'
L18	S 78°46'22" W	380.02'
L19	N 78°46'22" E	198.22'
L20	N 78°46'22" E	161.80'
L21	S 16°15'20" E	41.56'
L22	S 50°31'52" W	471.12'
L23	N 50°31'52" E	56.28'
L24	N 50°31'52" E	256.48'
L25	N 50°31'52" E	158.38'
L26	S 08°22'58" W	31.80'
L27	S 80°37'04" E	90.08'
L28	S 80°37'04" E	89.72'
L29	S 80°37'04" E	20.56'
L30	S 48°52'20" E	138.73'
L31	S 48°52'20" E	52.70'
L32	S 48°52'20" E	87.03'
L33	S 73°23'38" W	34.38'
L34	S 80°31'52" W	55.02'
L35	S 50°31'52" W	55.33'
L36	N 08°33'45" E	274.33'
L37	S 48°52'20" E	138.68'
L38	N 80°37'04" W	87.74'
L39	N 82°41'53" W	2.32'
L40	S 00°01'54" W	48.07'
L41	S 50°31'52" W	11.63'
L42	S 80°37'04" E	21.50'
L43	N 08°40'30" E	38.00'
L44	S 80°37'04" E	90.08'
L45	S 48°52'20" E	138.73'
L46	N 08°18'08" E	38.00'
L47	S 48°52'20" E	44.40'
L48	S 08°33'45" W	24.19'
L49	S 08°33'45" W	84.50'
L50	S 08°33'45" W	88.52'
L51	S 08°33'45" W	117.12'
L52	N 48°52'20" W	30.12'
L53	N 48°52'20" W	46.00'
L54	N 48°52'20" W	46.00'
L55	N 48°52'20" W	17.57'
L56	N 80°37'04" W	21.41'
L57	N 80°37'04" W	46.00'
L58	N 80°37'04" W	20.31'
L59	N 00°01'54" E	28.44'
L60	N 00°01'54" E	21.83'
L61	S 80°37'04" E	22.67'
L62	S 80°37'04" E	46.00'
L63	S 80°37'04" E	21.41'
L64	S 48°52'20" E	17.57'
L65	S 48°52'20" E	46.00'
L66	S 48°52'20" E	46.00'
L67	S 48°52'20" E	30.17'
L68	S 50°31'52" W	6.14'
L69	S 44°15'53" E	277.43'
L70	S 78°46'22" W	154.27'
L71	S 44°15'53" E	507.79'
L72	S 00°01'54" W	35.82'
L73	S 82°41'53" E	51.04'
L74	N 44°12'54" W	528.28'
L75	N 00°01'54" E	24.40'
L76	S 77°29'43" W	34.28'
L77	N 74°36'52" E	23.29'
L78	N 74°36'52" E	23.29'

CURVE TABLE						
NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	23°02'30"	S 36°08'22" E	271.91	1334.00	538.47	532.86
C2	54°11'22"	S 20°31'56" E	315.15	616.00	582.60	561.13
C3	38°03'23"	N 85°54'03" W	63.17	200.00	122.37	120.47
C4	32°14'45"	N 84°29'42" W	57.81	200.00	112.56	111.08
C5	02°04'50"	N 81°38'28" W	100.01	5507.96	200.00	199.99
C6	40°23'07"	N 20°08'39" W	110.33	300.00	211.48	207.11
C7	24°05'47"	N 86°43'28" E	31.38	147.00	61.82	61.37
C8	34°33'27"	S 66°09'04" E	93.32	300.00	180.94	178.21
C9	31°44'44"	N 84°44'42" W	85.30	300.00	166.22	164.10
C10	19°08'31"	S 34°08'23" E	224.54	1334.00	444.90	442.84
C11	03°58'58"	S 45°38'38" E	45.80	1334.00	91.57	91.55
C12	44°17'47"	N 22°08'58" W	186.42	456.00	354.09	345.34
C13	16°38'19"	N 08°17'15" W	66.97	456.00	133.00	132.53
C14	27°39'29"	N 30°28'08" W	112.74	456.00	221.09	218.95
C15	33°18'18"	S 82°07'13" W	62.26	275.00	159.85	157.61
C16	14°19'24"	S 23°25'02" E	34.55	275.00	68.75	68.57
C17	14°26'48"	S 37°48'09" E	221.55	1748.00	440.75	439.58
C18	12°06'47"	S 36°38'08" E	185.47	1748.00	399.55	388.87
C19	02°20'01"	S 43°51'32" E	35.60	1748.00	71.20	71.19
C20	22°51'44"	N 81°57'44" E	101.10	500.00	199.51	198.19
C21	54°24'29"	N 17°49'18" W	102.80	200.00	188.92	182.86
C22	02°38'33"	N 81°54'51" W	56.57	2500.00	113.12	113.11
C23	31°44'44"	N 84°44'42" W	130.23	456.00	253.76	250.53
C24	29°48'29"	S 63°46'38" E	37.79	142.00	73.88	73.05
C25	31°41'06"	N 21°28'25" E	58.75	200.00	110.80	109.20
C26	53°13'29"	N 21°00'52" W	229.47	456.00	425.46	410.32
C27	23°11'04"	S 38°02'06" E	306.05	1482.00	603.73	599.82
C28	16°04'44"	N 89°44'00" E	43.75	275.00	86.77	86.41
C29	04°37'45"	S 28°45'25" E	80.30	1482.00	120.54	120.51
C30	14°10'28"	S 38°09'32" E	185.50	1482.00	399.11	388.17
C31	04°22'52"	S 48°28'11" E	57.07	1482.00	114.08	114.06
C32	16°38'12"	S 32°32'44" E	198.82	1384.00	394.87	393.48
C33	91°42'12"	N 04°40'48" E	25.75	25.00	40.01	35.88
C34	88°21'42"	S 85°17'17" E	24.30	25.00	38.56	34.85
C35	16°31'19"	S 32°50'47" E	213.28	1489.00	423.80	422.13
C36	01°56'00"	S 25°33'08" E	23.02	1384.00	46.03	46.03
C37	01°56'00"	S 27°29'08" E	23.02	1384.00	46.03	46.03
C38	01°56'00"	S 29°25'08" E	23.02	1384.00	46.03	46.03
C39	01°56'00"	S 31°21'08" E	23.02	1384.00	46.03	46.03
C40	01°56'00"	S 33°17'10" E	23.02	1384.00	46.03	46.03
C41	01°56'00"	S 35°13'10" E	23.02	1384.00	46.03	46.03
C42	01°56'00"	S 37°09'10" E	23.02	1384.00	46.03	46.03
C43	01°56'00"	S 39°05'11" E	23.02	1384.00	46.03	46.03
C44	01°07'11"	S 40°36'45" E	13.32	1384.00	26.84	26.84
C45	01°03'17"	S 40°34'48" E	13.51	1489.00	27.03	27.03
C46	01°56'00"	S 38°05'11" E	24.79	1489.00	49.57	49.57
C47	01°56'00"	S 37°09'10" E	24.79	1489.00	49.57	49.57
C48	01°56'00"	S 35°13'10" E	24.79	1489.00	49.57	49.57
C49	01°56'00"	S 33°17'10" E	24.79	1489.00	49.57	49.57
C50	01°56'00"	S 31°21'08" E	24.79	1489.00	49.57	49.57
C51	01°56'00"	S 29°25'08" E	24.79	1489.00	49.57	49.57
C52	01°56'00"	S 27°29'08" E	24.79	1489.00	49.57	49.57
C53	01°56'00"	S 25°33'08" E	24.79	1489.00	49.57	49.57
C54	83°34'52"	N 87°40'42" W	22.35	25.00	38.47	33.32
C55	01°44'21"	S 46°45'27" E	20.70	1384.00	41.40	41.40
C56	54°11'22"	N 20°31'56" W	289.80	588.00	554.23	533.80
C57	94°56'11"	N 54°01'51" E	27.25	25.00	41.42	36.85
C58	29°37'44"	S 83°41'12" E	71.41	270.00	139.62	138.07
C59	31°44'44"	N 84°44'42" W	93.83	330.00	182.84	180.51
C60	02°05'31"	S 81°38'28" E	100.01	5477.96	200.00	199.99
C61	82°43'47"	S 41°19'58" E	22.01	25.00	38.10	33.04
C62	10°58'50"	N 05°27'30" W	46.23	481.00	92.18	92.04
C63	83°10'48"	S 30°38'29" W	22.19	25.00	38.29	33.19
C64	21°42'01"	N 81°22'52" E	100.63	525.00	198.84	197.65
C65	85°15'50"	N 86°50'13" W	23.01	25.00	37.20	33.86
C66	00°46'15"	S 44°38'55" E	12.89	1771.00	25.38	25.38

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C67	51°19'01"	N 19°22'02" W	85.03	177.00	158.53	153.28
C68	93°05'28"	N 52°50'12" E	26.39	25.00	40.62	36.30
C69	02°42'26"	N 81°58'17" W	58.43	2515.00	118.83	118.82

PLAT FOR
 EL RANCHO GRANDE
 UNIT 15
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 4 & 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2004

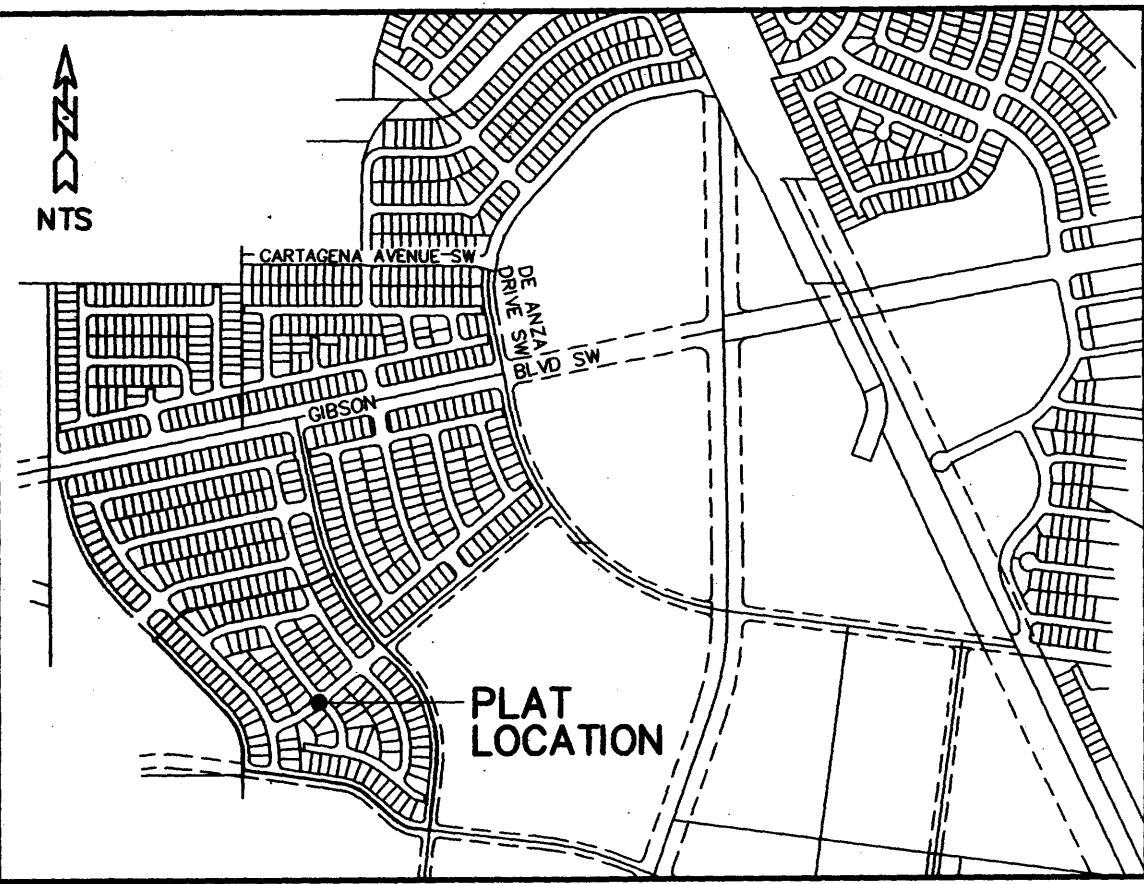


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NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C128	05°56'07"	N 06°33'56" E	11.56	223.00	23.10	23.09
C129	02°23'13"	N 04°24'16" E	10.02	481.00	20.04	20.04
C130	05°15'45"	N 00°34'47" E	22.11	481.00	44.18	44.18
C131	05°15'45"	N 04°40'58" W	22.11	481.00	44.18	44.18
C132	05°15'45"	N 09°56'43" W	22.11	481.00	44.18	44.18
C133	05°15'45"	N 15°12'28" W	22.11	481.00	44.18	44.18
C134	05°15'45"	N 20°28'14" W	22.11	481.00	44.18	44.18
C135	05°15'45"	N 25°43'59" W	22.11	481.00	44.18	44.18
C136	05°15'45"	N 30°59'44" W	22.11	481.00	44.18	44.18
C137	05°15'45"	N 36°15'29" W	22.11	481.00	44.18	44.18
C138	05°15'45"	N 41°31'14" W	22.11	481.00	44.18	44.18
C139	03°28'30"	N 46°53'22" W	14.59	481.00	29.17	29.17
C140	00°37'04"	S 47°19'05" E	7.92	1499.00	15.84	15.84
C141	01°22'01"	S 46°19'33" E	17.52	1499.00	35.05	35.05
C142	84°28'28"	N 87°13'54" W	22.70	25.00	36.86	33.61
C143	02°37'57"	S 46°18'39" E	34.81	1515.00	69.61	69.60
C144	53°13'29"	N 21°00'52" W	217.95	435.00	404.09	399.72
C145	11°43'28"	N 11°27'36" E	18.17	177.00	36.22	36.16
C146	112°58'31"	N 73°47'05" E	37.72	25.00	49.27	41.68
C147	27°47'20"	N 63°38'49" W	118.99	481.00	233.29	231.01
C148	83°20'52"	S 35°52'02" E	22.25	25.00	36.37	33.24
C149	50°48'57"	N 19°36'35" W	105.97	223.00	197.84	191.42
C150	00°33'10"	S 44°44'58" E	8.32	1725.00	16.64	16.64
C151	95°00'15"	S 03°01'45" W	27.28	25.00	41.45	36.87
C152	01°02'24"	S 45°30'52" E	13.75	1515.00	27.50	27.50
C153	01°35'33"	S 46°49'51" E	21.08	1515.00	42.11	42.11
C154	00°39'52"	N 47°17'41" W	2.52	435.00	5.03	5.04
C155	07°53'27"	N 43°01'02" W	30.00	435.00	59.91	59.86
C156	07°53'27"	N 36°07'35" W	30.00	435.00	59.91	59.86
C157	07°53'27"	N 27°14'09" W	30.00	435.00	59.91	59.86
C158	07°53'27"	N 19°20'42" W	30.00	435.00	59.91	59.86
C159	07°53'27"	N 11°27'15" W	30.00	435.00	59.91	59.86
C160	07°53'27"	N 03°33'48" W	30.00	435.00	59.91	59.86
C161	05°12'56"	N 02°59'24" E	19.81	435.00	39.60	39.59
C162	08°41'32"	N 54°05'55" W	38.56	481.00	72.97	72.90
C163	10°43'38"	N 63°48'30" W	45.16	481.00	90.06	89.92
C164	05°18'07"	N 71°49'22" W	22.27	481.00	44.51	44.49
C165	03°04'03"	N 78°00'27" W	12.88	481.00	25.75	25.75
C166	18°18'41"	N 03°20'57" W	35.94	223.00	71.27	70.97
C167	07°22'12"	N 16°11'23" W	14.36	223.00	28.68	28.66
C168	11°23'26"	N 25°34'12" W	22.24	223.00	44.33	44.26
C169	10°51'45"	N 36°41'47" W	21.20	223.00	42.26	42.21
C170	02°53'54"	N 43°34'38" W	5.64	223.00	11.28	11.28
C171	80°08'34"	N 70°47'20" W	21.02	25.00	34.95	32.18
C172	10°31'54"	S 35°59'59" E	138.83	1515.00	278.47	278.08
C173	91°47'48"	N 04°37'58" E	25.80	25.00	40.05	35.91
C174	88°22'21"	S 85°16'58" E	24.30	25.00	38.56	34.85
C175	10°31'03"	S 35°50'16" E	158.77	1725.00	316.65	316.20
C176	11°35'13"	S 24°47'06" E	25.57	252.00	50.96	50.88
C177	97°45'53"	S 29°53'25" W	28.64	25.00	42.66	37.67
C178	09°36'58"	N 73°57'52" E	25.07	298.00	50.01	49.96
C179	00°59'28"	S 31°13'45" E	13.09	1515.00	26.17	26.18
C180	01°43'01"	S 32°34'58" E	22.70	1515.00	45.40	45.40
C181	01°43'01"	S 34°17'59" E	22.70	1515.00	45.40	45.40
C182	01°40'22"	S 35°59'41" E	22.12	1515.00	44.23	44.23
C183	01°43'01"	S 37°41'23" E	22.70	1515.00	45.40	45.40
C184	01°43'01"	S 39°24'24" E	22.70	1515.00	45.40	45.40
C185	01°00'01"	S 40°45'56" E	13.23	1515.00	26.45	26.45
C186	00°52'41"	S 40°39'27" E	13.22	1725.00	26.43	26.43
C187	01°36'43"	S 39°24'45" E	24.27	1725.00	48.53	48.53
C188	01°33'31"	S 37°49'38" E	23.46	1725.00	46.92	46.92
C189	01°36'43"	S 36°14'31" E	24.27	1725.00	48.53	48.53
C190	01°36'43"	S 34°37'48" E	24.27	1725.00	48.53	48.53
C191	01°33'31"	S 33°02'41" E	23.46	1725.00	46.92	46.92
C192	01°36'43"	S 31°27'34" E	24.27	1725.00	48.53	48.53
C193	00°04'28"	S 30°36'58" E	1.12	1724.97	2.22	2.24
C194	84°33'05"	N 58°57'08" W	22.73	25.00	36.89	33.63

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C195	13°54'11"	S 23°37'39" E	36.33	298.00	72.31	72.13
C196	10°25'50"	S 35°47'39" E	181.85	1771.00	322.40	321.96
C197	91°32'28"	N 04°45'39" E	25.68	25.00	39.94	35.83
C198	21°28'43"	N 81°15'13" E	89.95	475.00	177.79	176.75
C199	85°43'50"	S 65°09'31" E	23.20	25.00	37.41	34.01
C200	21°58'17"	N 33°16'44" W	93.37	481.00	184.45	183.32
C201	101°52'34"	S 06°40'24" W	30.80	25.00	44.45	38.82
C202	21°09'41"	S 68°11'31" W	47.07	252.00	93.07	92.54
C203	00°24'34"	S 30°47'01" E	6.33	1771.00	12.85	12.85
C204	01°18'27"	S 31°38'32" E	20.21	1771.00	40.42	40.42
C205	01°32'14"	S 33°03'52" E	23.76	1771.00	47.52	47.51
C206	01°32'14"	S 34°36'08" E	23.76	1771.00	47.52	47.51
C207	01°32'14"	S 36°08'20" E	23.76	1771.00	47.52	47.51
C208	01°32'14"	S 37°40'34" E	23.76	1771.00	47.52	47.51
C209	01°32'14"	S 39°12'48" E	23.76	1771.00	47.52	47.51
C210	01°01'38"	S 40°29'48" E	15.88	1771.00	31.75	31.76
C211	11°37'03"	N 56°20'24" E	48.32	475.00	96.31	96.15
C212	09°46'39"	N 67°03'48" E	40.84	475.00	81.47	81.37
C213	03°00'59"	N 23°48'08" W	12.66	481.00	25.32	25.32
C214	05°15'45"	N 27°56'27" W	22.11	481.00	44.18	44.18
C215	05°15'45"	N 33°12'13" W	22.11	481.00	44.18	44.18
C216	05°15'45"	N 38°27'58" W	22.11	481.00	44.18	44.18
C217	03°10'03"	N 42°40'52" W	13.30	481.00	26.59	26.59
C218	02°48'24"	S 25°42'28" E	37.11	1515.00	74.21	74.20
C219	99°43'23"	N 22°45'04" E	29.65	25.00	43.51	38.22
C220	08°09'36"	N 79°41'34" E	13.56	252.00	27.09	27.08
C221	24°43'17"	S 66°24'43" W	65.31	298.00	128.58	127.58
C222	81°41'03"	S 85°08'24" E	21.61	25.00	35.64	32.70
C223	03°19'56"	S 77°06'23" W	8.67	298.00	17.33	17.33
C224	08°17'43"	S 71°17'34" W	21.61	298.00	43.14	43.11
C225	08°17'43"	S 62°59'51" W	21.61	298.00	43.14	43.11
C226	04°47'55"	S 56°27'02" W	12.49	298.00	24.96	24.95
C227	44°17'47"	N 22°06'59" W	177.06	435.00	336.31	327.99
C228	97°16'13"	N 48°40'01" E	28.39	25.00	42.44	37.53
C229	82°43'47"	S 41°19'58" E	28.42	30.00	43.32	39.65
C230	40°43'56"	N 20°21'03" W	122.50	330.00	234.80	229.69
C231	04°41'28"	N 41°55'10" W	17.82	435.00	35.61	35.60
C232	07°18'48"	N 35°55'04" W	27.80	435.00	55.52	55.48
C233	07°38'42"	N 28°28'20" W	29.06	435.00	58.04	58.00
C234	10°38'39"	N 19°17'40" W	40.52	435.00	80.81	80.70
C235	07°18'44"	N 10°18'58" W	27.80	435.00	55.52	55.48
C236	08°41'31"	N 03°18'51" W	25.43	435.00	50.81	50.78
C237	08°41'30"	N 03°19'50" W	19.29	330.00	38.54	38.52
C238	07°18'43"	N 10°19'57" W	21.09	330.00	42.11	42.08
C239	10°38'35"	N 19°18'35" W	30.74	330.00	61.30	61.21
C240	07°38'39"	N 28°27'12" W	22.05	330.00	44.03	43.99
C241	07°18'41"	N 35°55'52" W	21.08	330.00	42.11	42.08
C242	01°07'48"	N 40°09'07" W	3.25	330.00	6.51	6.51
C243	24°32'32"	S 66°30'05" W	31.97	147.00	62.97	62.49
C244	04°44'44"	N 27°05'44" W	24.28	586.00	48.54	48.52
C245	04°46'42"	N 22°20'01" W	24.45	586.00	48.87	48.86
C246	18°03'28"	S 63°15'33" W	23.36	147.00	46.33	46.14
C247	06°29'04"	S 75°31'49" W	8.33	147.00	16.64	16.63
C248	04°09'32"	N 27°23'21" W	21.28	586.00	42.53	42.53
C249	05°21'55"	N 22°37'57" W	27.46	586.00	54.87	54.85
C250	02°46'04"	S 30°20'55" E	38.90	1620.00	77.78	77.77
C251	01°43'01"	S 32°34'58" E	24.28	1620.00	48.55	48.55
C252	01°43'01"	S 34°17'59" E	24.28	1620.00	48.55	48.55
C253	01°40'22"	S 35°59'41" E	23.65	1620.00	47.30	47.29
C254	01°43'01"	S 37°41'23" E	24.28	1620.00	48.55	48.55
C255	01°43'01"	S 39°24'24" E	24.28	1620.00	48.55	48.55
C256	01°47'47"	S 41°09'49" E	25.40	1620.00	50.79	50.79
C257	01°40'48"	S 29°48'48" E	23.75	1620.00	47.50	47.50
C258	01°36'43"	S 31°27'34" E	22.79	1620.00	45.58	45.58
C259	01°33'31"	S 33°02'41" E	22.03	1620.00	44.06	44.06
C260	01°36'43"	S 34°37'48" E	22.79	1620.00	45.58	45.58
C261	01°36'43"	S 36°14'31" E	22.79	1620.00	45.58	45.58

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C262	01°33'31"	S 37°49'38" E	22.03	1620.00	44.06	44.06
C263	01°36'43"	S 39°24'48" E	22.79	1620.00	45.58	45.58
C264	01°50'36"	S 41°08'24" E	26.06	1620.00	52.12	52.11
C265	02°12'04"	S 44°58'02" E	31.12	1620.00	62.23	62.23
C266	01°35'33"	S 46°49'51" E	22.52	1620.00	45.03	45.03
C267	00°39'52"	N 47°17'41" W	1.91	330.00	3.83	3.83
C268	07°53'27"	N 43°01'02" W	22.76</			



LOCATION MAP

N-8-Z & N-9-Z

PURPOSE OF PLAT

1. To create 126 lots as shown hereon.
2. To grant easements as shown hereon.
3. To dedicate street right-of-way as shown hereon.
4. To vacate easements as shown hereon.

SUBDIVISION DATA

1. Project No.:
Application No.:
2. Zone Atlas Index No.: N-8-Z & N-9-Z
3. Total Number of Existing Lots: 0
4. Total Number of Existing Tracts: 1
5. Total Number of Lots created: 126
6. Total Number of Tracts created: 0
7. Miles of Full Width Streets created: 1.0067 mi.
8. Gross Subdivision Acreage: 22.9599 Ac.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances are field and record.
4. Basis of boundary is from the plats of record entitled:
"EL RANCHO GRANDE, TRACTS 14, 15 & 16", (03-09-04, 04C-72)
"EL RANCHO GRANDE, UNIT 14", (07-02-04, 04C-202)
"SUN GATE SUBDIVISION", (08-11-04, 04C-235)
"LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT (11-25-03, 03C-357)
"LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT (07-23-03, 03C-223)
"ROSNER TRACT, TRACT B-1", (03-27-03, 03C-80)
all being records of Bernalillo County, New Mexico.
5. Field Survey performed on March, 2003.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: R-LT
9. Utility Council Location System Log No.: 2004380418
10. Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
11. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
12. All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 4 & 5, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 15, EL RANHO GRANDE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 09, 2004 in Book 04C, Page 72 and containing 22.9599 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs of bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 126 lots as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the vacating of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) Warrants that (he/she) holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): Charles A. Haegelin
CURB INC., CHARLES HAEGELIN, PRESIDENT
STATE OF NEW MEXICO)
BERNALILLO COUNTY)SS

On this 1 day of June, 2005, this instrument was acknowledge before me by CHARLES HAEGELIN, President of Curb, Inc., a New Mexico Corporation.

Stephanie L. Stratton 6-24-07
Notary Public My Commission Expires

PLAT FOR
EL RANCHO GRANDE
UNIT 15
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 4 & 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MAY, 2005

FINAL

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

Lead D. Munt 6-7-05
PNM Electric Services Division Date

Lead D. Munt 6-7-05
PNM Gas Services Division Date

Michael Bay 6-7-05
Qwest Date

Arnon Barton 6-7-05
Comcast Date

City Approvals:

John B. Fial 6-6-05
City Surveyor Date

Real Property Division Date

Environmental Health Department Date

Traffic Engineering, Transportation Division Date

Utilities Development Date

Parks and Recreation Department Date

AMAFCA Date

City Engineer Date

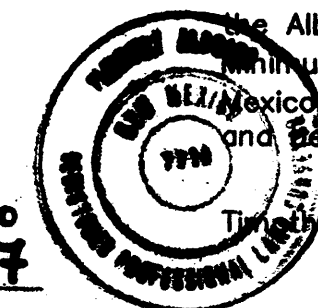
DRB Chairperson, Planning Department Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich, P.S. No. 7719 Date

6-1-05 Date
OFFICIAL SEAL
STEPHANIE L. STRATTON
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires 6-24-07



Drawn By:	ECM	Date:	10-28-04
Checked By:	TA	Drawing Name:	04008P15.DWG
Job No.:	04-008	Sheet:	1 of 5

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

SEE SHEET 4 AND 5 FOR
CURVE AND LINE TABLE

SEE SHEET 4 FOR LOT
AREA TABLE

PLAT FOR
**EL RANCHO GRANDE
UNIT 15**
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 4 & 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2004

ACS MONUMENT
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X=354899.45
G-C=0.99967921
 $\Delta\alpha=-00'16".42"$
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5118.370

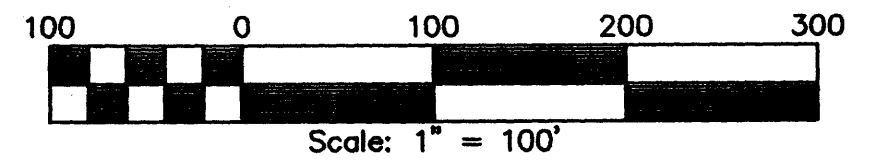
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X=348455.82
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CENTRAL ZONE
(NAD 1927)

- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "LS 7719" (TYP)
 - SET 5/8" REBAR WITH CAP "LS 7719" (TYP)

- EASEMENTS**
- ① 10' PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)
 - ② EXISTING 10' PUBLIC UTILITY EASEMENT (07-02-04, 04C-202)
 - ③ EXISTING 68' R/W - RESERVED FOR FUTURE R/W EXTENSION. (03-27-03, 03C-80)
 - ④ EXISTING 60' WATERLINE AND SANITARY SEWER EASEMENT (04-17-01, A18-456)
 - ⑤ EXISTING 60' PUBLIC ACCESS EASEMENT (07-23-03, 03C-223)
 - ⑦ EXISTING 10' UTILITY EASEMENT (07-23-03, 03C-223)
 - ⑧ EXISTING 10' UTILITY EASEMENT (08-11-04, 04C-235)
 - ⑨ EXISTING 15' x 20' QWEST EASEMENT (08-11-04, 04C-235)
 - ⑩ 38' PUBLIC WATERLINE EASEMENT (GRANTED BY THIS PLAT)
 - ⑪ 25' PUBLIC STORM DRAIN EASEMENT (GRANTED BY THIS PLAT)
 - ⑫ 30' PUBLIC ROADWAY, SANITARY SEWER, WATER AND DRAINAGE EASEMENT (03-09-04, 04C-72)

(*LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT (11-25-03, 03C-357)

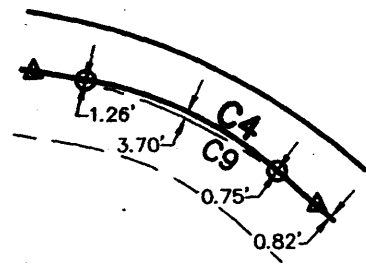
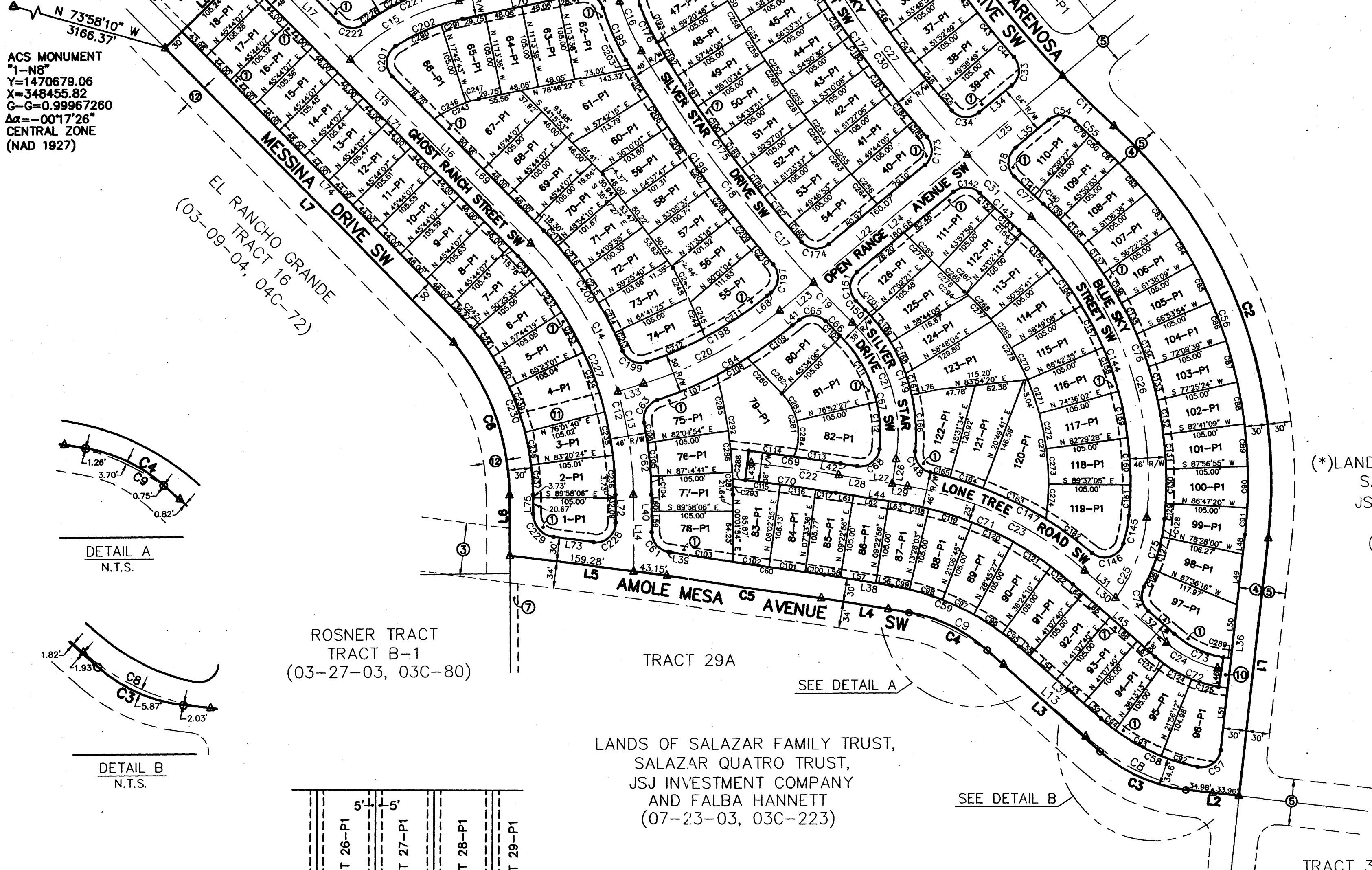
(*TRACT 31A-1-A



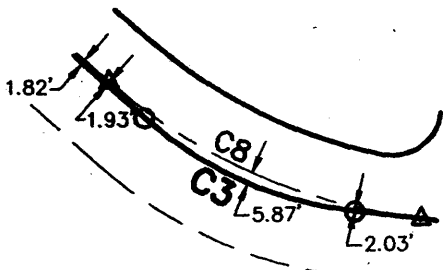
Drawn By:	ECM	Date:	10-28-04
Checked By:	TA	Drawing Name:	04008P15.DWG
Job No.:	04-008	Sheet:	2 of 5

**ALDRICH LAND
SURVEYING**

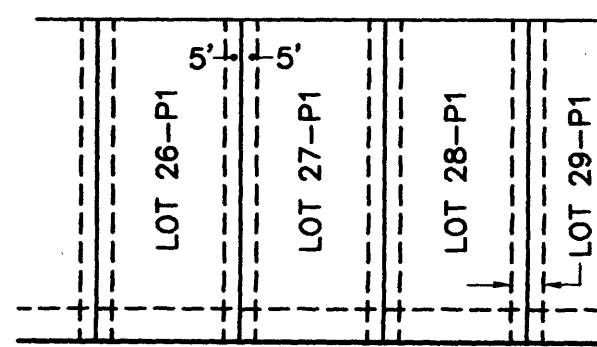
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990



DETAIL A
N.T.S.



DETAIL B
N.T.S.



DRAINAGE EASEMENT DETAIL
NOT TO SCALE

A 10' Private Joint Use Drainage Easement shall be centered on adjoining side lot lines shown on this plat. The easement shall be maintained by the underlying property owner. (GRANTED BY THIS PLAT).

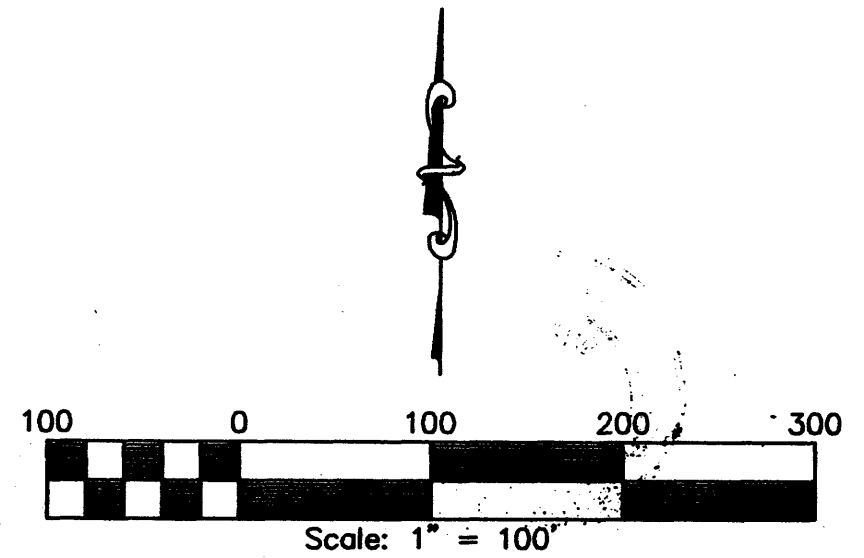
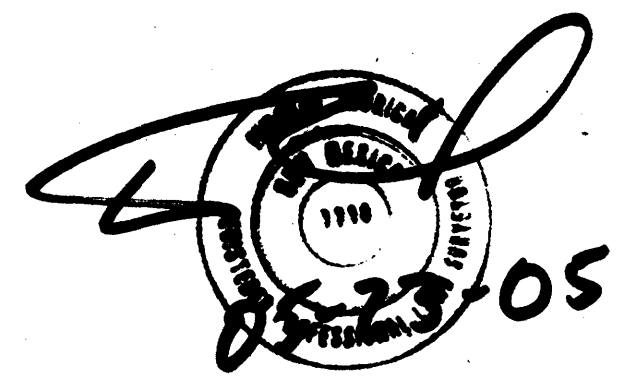
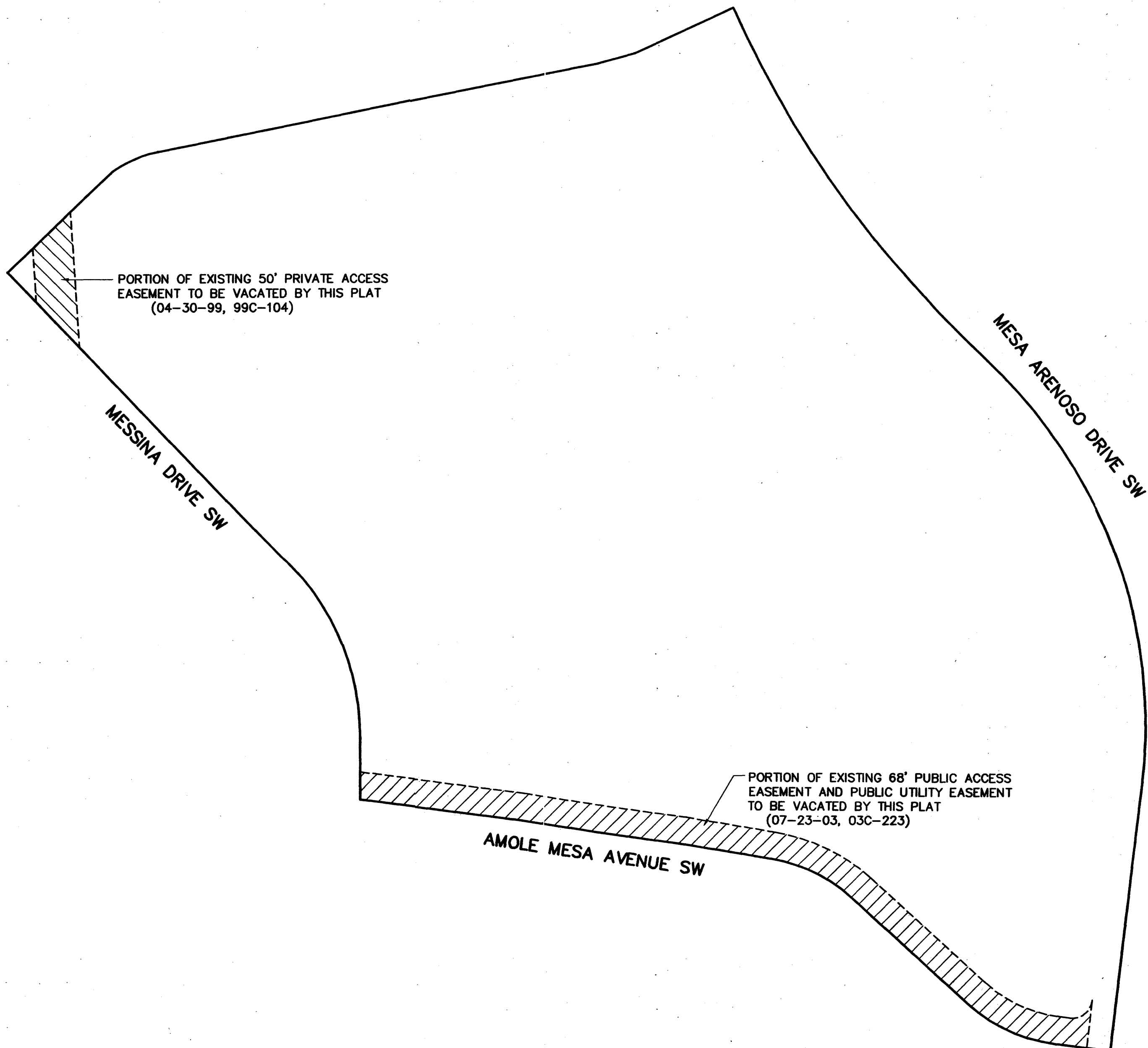
ROSNER TRACT
TRACT B-1
(03-27-03, 03C-80)

TRACT 29A

LANDS OF SALAZAR FAMILY TRUST,
SALAZAR QUATRO TRUST,
JSJ INVESTMENT COMPANY
AND FALBA HANNETT
(07-23-03, 03C-223)

TRACT 30A-1

PLAT FOR
 EL RANCHO GRANDE
 UNIT 15
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 4 & 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2004



Drawn By:	ECM	Date:	10-28-04
Checked By:	TA	Drawing Name:	04008P15.DWG
Job No.:	04-008	Sheet:	3 of 5

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT FOR
 EL RANCHO GRANDE
 UNIT 15
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 4 & 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2004

LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	S 08°33'45" W	330.24'
L2	N 83°25'47" W	68.94'
L3	N 48°22'20" W	193.35'
L4	N 80°37'04" W	114.68'
L5	N 82°41'53" W	202.43'
L6	N 00°01'54" E	77.24'
L7	N 44°12'54" W	528.28'
L8	N 48°44'07" E	136.24'
L9	N 47°12'33" E	46.00'
L10	N 78°46'22" E	557.71'
L11	N 74°36'52" E	48.58'
L12	N 65°24'52" E	135.00'
L13	S 48°52'20" E	139.68'
L14	S 00°01'54" W	97.36'
L15	S 44°15'53" E	507.20'
L16	S 44°15'53" E	330.28'
L17	S 44°15'53" E	178.92'
L18	S 78°46'22" W	360.02'
L19	N 78°46'22" E	198.22'
L20	N 78°46'22" E	161.80'
L21	S 18°15'20" E	41.58'
L22	S 50°31'52" W	471.12'
L23	N 50°31'52" E	96.26'
L24	N 50°31'52" E	298.46'
L25	N 50°31'52" E	198.38'
L26	S 08°22'56" W	31.80'
L27	S 80°37'04" E	90.08'
L28	S 80°37'04" E	68.72'
L29	S 80°37'04" E	20.36'
L30	S 48°52'20" E	139.73'
L31	S 48°52'20" E	82.70'
L32	S 48°52'20" E	87.03'
L33	S 73°23'36" W	34.38'
L34	S 50°31'52" W	95.02'
L35	S 50°31'52" W	55.33'
L36	N 08°33'45" E	274.33'
L37	S 48°52'20" E	139.68'
L38	N 80°37'04" W	87.74'
L39	N 82°41'53" W	2.32'
L40	S 00°01'54" W	48.07'
L41	S 80°37'04" E	11.83'
L42	S 80°37'04" E	21.80'
L43	N 08°40'30" E	38.00'
L44	S 80°37'04" E	90.08'
L45	S 48°52'20" E	139.73'
L46	N 08°18'08" E	38.00'
L47	S 48°52'20" E	44.40'
L48	S 08°33'45" W	24.18'
L49	S 08°33'45" W	84.50'
L50	S 08°33'45" W	68.52'
L51	S 08°33'45" W	117.12'
L52	N 48°52'20" W	30.12'
L53	N 48°52'20" W	48.00'
L54	N 48°52'20" W	48.00'
L55	N 48°52'20" W	17.57'
L56	N 80°37'04" W	21.41'
L57	N 80°37'04" W	48.00'
L58	N 80°37'04" W	20.31'
L59	N 00°01'54" E	28.44'
L60	N 00°01'54" E	21.63'
L61	S 80°37'04" E	22.87'
L62	S 80°37'04" E	48.00'
L63	S 80°37'04" E	21.41'
L64	S 48°52'20" E	17.57'
L65	S 48°52'20" E	48.00'
L66	S 48°52'20" E	48.00'
L67	S 48°52'20" E	30.17'
L68	S 50°31'52" W	6.14'
L69	S 44°15'53" E	277.43'
L70	S 78°46'22" W	154.27'
L71	S 44°15'53" E	507.79'
L72	S 00°01'54" W	35.82'
L73	S 82°41'53" E	91.04'
L74	N 44°12'54" W	528.28'
L75	N 00°01'54" W	24.40'
L76	S 77°29'43" W	34.28'
L77	N 74°36'52" E	23.29'
L78	N 74°36'52" E	23.29'

CURVE TABLE						
NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	23°02'30"	S 36°08'22" E	271.91	1334.00	536.47	532.86
C2	54°11'22"	S 20°31'58" E	315.15	616.00	582.80	581.13
C3	35°03'23"	N 65°54'03" W	63.17	200.00	122.37	120.47
C4	32°14'45"	N 64°28'42" W	57.81	200.00	112.58	111.08
C5	02°04'50"	N 81°38'28" W	100.01	5807.98	200.00	199.99
C6	40°23'07"	N 20°08'39" W	110.33	300.00	211.48	207.11
C7	24°08'47"	N 66°43'28" E	31.38	147.00	81.82	81.37
C8	34°33'27"	S 66°08'04" E	93.32	300.00	180.94	178.21
C9	31°44'44"	N 64°44'42" W	85.30	300.00	188.22	184.10
C10	19°08'31"	S 34°08'23" E	224.54	1334.00	444.90	442.84
C11	03°58'58"	S 45°38'38" E	45.80	1334.00	91.57	91.55
C12	44°17'47"	N 22°08'59" W	186.42	458.00	354.09	345.34
C13	16°38'19"	N 08°17'15" W	68.97	458.00	133.00	132.53
C14	27°38'29"	N 30°28'08" W	112.74	458.00	221.09	218.95
C15	33°18'18"	S 82°07'13" W	82.28	275.00	198.85	197.61
C16	14°19'24"	S 23°28'02" E	34.55	275.00	88.75	88.57
C17	14°28'48"	S 37°48'08" E	221.55	1748.00	440.75	438.58
C18	12°06'47"	S 36°38'08" E	185.47	1748.00	388.55	388.87
C19	02°20'01"	S 43°51'32" E	35.80	1748.00	71.20	71.19
C20	22°51'44"	N 61°57'44" E	101.10	500.00	198.51	198.19
C21	54°24'29"	N 17°48'18" W	102.80	200.00	189.92	182.86
C22	02°38'33"	N 81°54'51" W	58.57	2500.00	113.12	113.11
C23	31°44'44"	N 64°44'42" W	130.23	458.00	253.78	250.53
C24	29°48'29"	S 63°46'36" E	37.79	142.00	73.88	73.05
C25	31°41'08"	N 21°28'25" E	58.75	200.00	110.40	108.20
C26	53°13'29"	N 21°00'52" W	228.47	458.00	425.48	410.32
C27	23°11'04"	S 38°02'05" E	306.05	1482.00	603.73	599.82
C28	18°04'44"	N 69°44'00" E	43.75	275.00	88.77	88.41
C29	04°37'45"	S 28°45'25" E	80.30	1482.00	120.54	120.51
C30	14°10'28"	S 38°08'32" E	185.50	1482.00	389.11	388.17
C31	04°22'52"	S 45°28'11" E	57.07	1482.00	114.08	114.06
C32	16°38'12"	S 32°52'44" E	198.82	1384.00	394.87	383.49
C33	81°42'12"	N 04°40'46" E	25.75	25.00	40.01	38.88
C34	88°21'42"	S 88°17'17" E	24.30	25.00	38.86	34.86
C35	16°31'19"	S 32°50'47" E	213.28	1489.00	423.80	422.13
C36	01°58'00"	S 25°33'08" E	23.02	1384.00	46.03	46.03
C37	01°58'00"	S 27°29'08" E	23.02	1384.00	46.03	46.03
C38	01°58'00"	S 29°25'08" E	23.02	1384.00	46.03	46.03
C39	01°58'00"	S 31°21'08" E	23.02	1384.00	46.03	46.03
C40	01°58'00"	S 33°17'10" E	23.02	1384.00	46.03	46.03
C41	01°58'00"	S 35°13'10" E	23.02	1384.00	46.03	46.03
C42	01°58'00"	S 37°09'10" E	23.02	1384.00	46.03	46.03
C43	01°58'00"	S 39°05'11" E	23.02	1384.00	46.03	46.03
C44	01°07'11"	S 40°36'46" E	13.32	1384.00	26.64	26.64
C45	01°03'17"	S 40°34'46" E	13.51	1489.00	27.03	27.03
C46	01°58'00"	S 38°05'11" E	24.79	1489.00	48.57	48.57
C47	01°58'00"	S 37°09'10" E	24.79	1489.00	48.57	48.57
C48	01°58'00"	S 35°13'10" E	24.79	1489.00	48.57	48.57
C49	01°58'00"	S 33°17'10" E	24.79	1489.00	48.57	48.57
C50	01°58'00"	S 31°21'08" E	24.79	1489.00	48.57	48.57
C51	01°58'00"	S 29°25'08" E	24.79	1489.00	48.57	48.57
C52	01°58'00"	S 27°29'08" E	24.79	1489.00	48.57	48.57
C53	01°58'00"	S 25°33'08" E	24.79	1489.00	48.57	48.57
C54	83°34'52"	N 87°40'42" W	22.35	25.00	38.47	33.32
C55	01°44'21"	S 46°45'27" E	20.70	1384.00	41.40	41.40
C56	54°11'22"	N 20°31'58" W	299.80	588.00	554.23	533.80
C57	84°58'11"	N 54°01'51" E	27.25	25.00	41.42	38.85
C58	28°37'44"	S 63°41'12" E	71.41	270.00	138.82	138.07
C59	31°44'44"	N 64°44'42" W	93.83	330.00	182.84	180.51
C60	02°06'31"	S 81°38'28" E	100.01	5477.98	200.00	199.99
C61	82°43'47"	S 41°19'59" E	22.01	25.00	38.10	33.04
C62	10°58'50"	N 05°27'30" W	46.23	481.00	92.18	92.04
C63	83°10'48"	S 30°38'29" W	22.19	25.00	38.29	33.19
C64	21°42'01"	N 61°22'52" E	100.83	525.00	188.84	187.85
C65	85°15'50"	N 86°50'13" W	23.01	25.00	37.20	33.88
C66	00°48'15"	S 44°36'58" E	12.89	1771.00	25.38	25.38

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C67	51°19'01"	N 19°22'02" W	85.03	177.00	158.53	153.28
C68	93°05'28"	N 52°50'12" E	28.39	25.00	40.82	36.30
C69	02°42'26"	N 81°58'17" W	58.43	2515.00	118.83	118.82
C70	02°42'26"	N 81°58'17" W	58.43	2477.00	117.04	117.03
C71	31°44'44"	N 64°44'42" W	123.89	435.00	241.02	237.95
C72	31°49'32"	S 64°47'08" E	47.04	185.00	91.85	90.48
C73	31°49'32"	S 64°47'08" E	38.21	127.00	70.54	69.64
C74	77°33'46"	S 10°05'27" E	20.09	25.00	33.84	31.32
C75	23°08'33"	N 17°08'39" E	45.96	223.00	88.88	88.27
C76	53°13'29"	N 21°00'52" W	241.00	481.00	448.82	430.93
C77	01°58'06"	S 46°38'06" E	25.44	1489.00	50.86	50.86
C78	98°10'24"	S 02°28'40" W	27.85	25.00	41.86	37.21
C79	01°07'17"	S 48°28'55" E	13.35	1384.00	28.70	28.70
C80	00°37'04"	S 47°19'05" E	7.35	1384.00	14.70	14.70
C81	03°28'30"	N 45°53'22" W	17.78	588.00	35.54	35.54
C82	05°15'45"	N 41°31'14" W	26.93	588.00	53.82	53.80
C83	05°15'45"	N 36°15'29" W	26.93	588.00	53.82	53.80
C84	05°15'45"	N 30°58'44" W	26.93	588.00	53.82	53.80
C85	05°15'45"	N 25°43'59" W	26.93	588.00	53.82	53.80
C86	05°15'45"	N 20°28'14" W	26.93	588.00	53.82	53.80
C87	05°15'45"	N 15°12'28" W	26.93	588.00	53.82	53.80
C88	05°15'45"	N 09°56'43" W	26.93	588.00	53.82	53.80
C89	05°15'45"	N 04°40'58" W	26.93	588.00	53.82	53.80
C90	05°15'45"	N 00°34'47" E	26.93	588.00	53.82	53.80
C91	03°21'08"	N 04°53'12" E	17.14	588.00	34.28	34.27
C92	10°25'38"	S 73°17'18" E	24.84	270.00	48.14	48.07
C93	14°16'58"	S 60°55'58" E	33.83	270.00	67.31	67.13
C94	04°55'07"	S 51°19'53" E	11.80	270.00	23.18	23.17
C95	04°43'30"	N 51°14'05" W	13.61	330.00	27.21	27.21
C96	07°38'42"	N 57°25'11" W	22.05	330.00	44.03	44.00
C97	07°38'42"	N 55°03'54" W	22.05	330.00	44.03	44.00
C98	07°38'42"	N 52°42'38" W	22.05	330.00	44.03	44.00
C99	04°05'07"	N 78°34'31" W	11.77	330.00	23.52	23.52
C100	00°15'48"	S 82°34'19" E	12.80	5477.98	25.21	25.21
C101	00°29'19"	S 82°11'48" E	23.38	5477.98	46.73	46.73
C102	00°29'00"	S 81°42'38" E	23.11	5477.98	46.21	46.21
C103	00°51'22"	S 81°02'24" E	40.63	5477.98	81.85	81.85
C104	02°47'13"	N 01°21'42" W	11.70	481.00	23.40	23.39
C105	05°08'47"	N 05°20'13" W	21.89	481.00	43.34	43.33
C106	03°01'48"	N 08°28'01" W	12.72	481.00	25.44	25.44
C107	08°05'02"	N 67°41'22" E	41.70	525.00	83.24	83.15

PLAT FOR
EL RANCHO GRANDE
UNIT 15
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 4 & 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2004

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C128	06°56'07"	N 08°33'58" E	11.56	223.00	23.10	23.09
C129	02°23'13"	N 04°24'16" E	10.02	481.00	20.04	20.04
C130	05°15'45"	N 00°34'47" E	22.11	481.00	44.18	44.18
C131	05°15'45"	N 04°40'58" W	22.11	481.00	44.18	44.18
C132	05°15'45"	N 09°58'43" W	22.11	481.00	44.18	44.18
C133	05°15'45"	N 15°12'28" W	22.11	481.00	44.18	44.18
C134	05°15'45"	N 20°28'14" W	22.11	481.00	44.18	44.18
C135	05°15'45"	N 25°43'59" W	22.11	481.00	44.18	44.18
C136	05°15'45"	N 30°59'44" W	22.11	481.00	44.18	44.18
C137	05°15'45"	N 36°15'29" W	22.11	481.00	44.18	44.18
C138	05°15'45"	N 41°31'14" W	22.11	481.00	44.18	44.18
C139	03°28'30"	N 45°53'22" W	14.59	481.00	29.17	28.17
C140	00°37'04"	S 47°19'05" E	7.82	1488.00	15.84	15.84
C141	01°22'01"	S 46°19'33" E	17.52	1488.00	35.05	35.05
C142	84°28'28"	N 87°13'54" W	22.70	25.00	38.86	33.61
C143	02°37'57"	S 46°18'39" E	34.81	1515.00	69.61	69.60
C144	53°13'29"	N 21°00'52" W	217.95	435.00	404.09	389.72
C145	11°43'28"	N 11°27'36" E	18.17	177.00	36.22	36.16
C146	112°55'31"	N 73°47'05" E	37.72	25.00	48.27	41.68
C147	27°47'20"	N 83°38'49" W	118.99	481.00	233.29	231.01
C148	83°20'32"	S 35°52'02" E	22.25	25.00	38.37	33.24
C149	50°49'57"	N 19°36'35" W	105.97	223.00	197.84	191.42
C150	00°33'10"	S 44°44'58" E	8.32	1725.00	16.64	16.64
C151	95°00'15"	S 03°01'45" W	27.28	25.00	41.45	36.87
C152	01°02'24"	S 45°30'52" E	13.75	1515.00	27.50	27.50
C153	01°35'33"	S 46°46'51" E	21.06	1515.00	42.11	42.11
C154	00°39'32"	N 47°17'41" W	2.52	435.00	5.03	5.04
C155	07°53'27"	N 43°01'02" W	30.00	435.00	59.91	59.86
C156	07°53'27"	N 35°07'35" W	30.00	435.00	59.91	59.86
C157	07°53'27"	N 27°14'09" W	30.00	435.00	59.91	59.86
C158	07°53'27"	N 19°20'42" W	30.00	435.00	59.91	59.86
C159	07°53'27"	N 11°27'15" W	30.00	435.00	59.91	59.86
C160	07°53'27"	N 03°33'48" W	30.00	435.00	59.91	59.86
C161	05°12'58"	N 02°59'24" E	19.81	435.00	39.60	39.59
C162	05°41'32"	N 54°08'55" W	38.56	481.00	72.97	72.90
C163	10°43'38"	N 63°48'30" W	45.16	481.00	90.06	89.92
C164	05°18'07"	N 71°48'22" W	22.27	481.00	44.51	44.49
C165	03°04'03"	N 78°00'27" W	12.88	481.00	25.75	25.75
C166	18°18'41"	N 03°20'57" W	35.94	223.00	71.27	70.97
C167	07°22'12"	N 16°11'23" W	14.36	223.00	28.68	28.66
C168	11°23'28"	N 25°34'12" W	22.24	223.00	44.33	44.26
C169	10°51'45"	N 36°44'47" W	21.20	223.00	42.28	42.21
C170	02°53'54"	N 43°34'36" W	5.64	223.00	11.28	11.28
C171	80°08'34"	N 70°47'20" W	21.02	25.00	34.95	32.18
C172	10°31'54"	S 35°58'59" E	139.63	1515.00	278.47	278.08
C173	91°47'48"	N 04°37'58" E	25.80	25.00	40.05	35.91
C174	85°22'21"	S 85°16'58" E	24.30	25.00	38.56	34.85
C175	10°31'03"	S 35°50'18" E	158.77	1725.00	316.65	316.20
C176	11°35'13"	S 24°47'08" E	25.57	292.00	50.96	50.88
C177	97°45'53"	S 29°53'25" W	28.64	25.00	42.86	37.67
C178	09°35'58"	N 73°57'52" E	25.07	296.00	50.01	46.96
C179	00°59'28"	S 31°13'45" E	13.09	1515.00	26.17	26.18
C180	01°43'01"	S 32°34'58" E	22.70	1515.00	45.40	45.40
C181	01°43'01"	S 34°17'59" E	22.70	1515.00	45.40	45.40
C182	01°40'22"	S 35°59'41" E	22.12	1515.00	44.23	44.23
C183	01°43'01"	S 37°41'23" E	22.70	1515.00	45.40	45.40
C184	01°43'01"	S 39°24'24" E	22.70	1515.00	45.40	45.40
C185	01°00'01"	S 40°45'58" E	13.23	1515.00	26.45	26.45
C186	00°52'41"	S 40°39'27" E	13.22	1725.00	26.43	26.43
C187	01°36'43"	S 39°24'45" E	24.27	1725.00	48.53	48.53
C188	01°33'31"	S 37°40'38" E	23.46	1725.00	46.92	46.92
C189	01°36'43"	S 36°14'31" E	24.27	1725.00	48.53	48.53
C190	01°36'43"	S 34°37'48" E	24.27	1725.00	48.53	48.53
C191	01°33'31"	S 33°02'41" E	23.46	1725.00	46.92	46.92
C192	01°36'43"	S 31°27'34" E	24.27	1725.00	48.53	48.53
C193	00°04'28"	S 30°38'58" E	1.12	1724.97	2.22	2.24
C194	84°33'05"	N 56°57'08" W	22.73	25.00	38.86	33.63

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C195	13°54'11"	S 23°37'39" E	38.33	298.00	72.31	72.13
C196	10°25'51"	S 35°47'39" E	161.65	1771.00	322.40	321.96
C197	91°32'21"	N 04°45'39" E	25.68	25.00	39.94	35.83
C198	21°28'43"	N 81°15'13" E	89.95	475.00	177.79	178.75
C199	85°43'50"	S 85°09'31" E	23.20	25.00	37.41	34.01
C200	21°58'17"	N 33°16'44" W	93.37	481.00	184.45	183.32
C201	101°32'34"	S 06°40'24" W	30.80	25.00	44.45	38.82
C202	21°09'41"	S 88°11'31" W	47.07	292.00	93.07	92.54
C203	00°24'34"	S 30°47'01" E	6.33	1771.00	12.65	12.65
C204	01°18'27"	S 31°38'32" E	20.21	1771.00	40.42	40.42
C205	01°32'14"	S 33°03'52" E	23.76	1771.00	47.52	47.51
C206	01°32'14"	S 34°38'08" E	23.76	1771.00	47.52	47.51
C207	01°32'14"	S 36°08'20" E	23.76	1771.00	47.52	47.51
C208	01°32'14"	S 37°40'34" E	23.76	1771.00	47.52	47.51
C209	01°32'14"	S 39°12'48" E	23.76	1771.00	47.52	47.51
C210	01°01'31"	S 40°29'45" E	15.88	1771.00	31.75	31.76
C211	11°37'03"	N 56°20'24" E	48.32	475.00	98.31	98.15
C212	09°49'39"	N 67°03'45" E	40.84	475.00	81.47	81.37
C213	03°00'59"	N 23°48'05" W	12.66	481.00	25.32	25.32
C214	05°15'45"	N 27°56'27" W	22.11	481.00	44.18	44.18
C215	05°15'45"	N 33°12'13" W	22.11	481.00	44.18	44.18
C216	05°15'45"	N 38°27'58" W	22.11	481.00	44.18	44.18
C217	03°10'03"	N 42°40'52" W	13.30	481.00	26.59	26.59
C218	02°48'24"	S 25°42'28" E	37.11	1515.00	74.21	74.20
C219	99°43'23"	N 22°45'04" E	29.85	25.00	43.51	38.22
C220	06°09'38"	N 75°41'34" E	13.56	252.00	27.09	27.08
C221	24°43'17"	S 86°24'43" W	65.31	298.00	128.58	127.58
C222	81°41'03"	S 85°06'24" E	21.61	25.00	35.64	32.70
C223	03°19'58"	S 77°06'23" W	8.67	298.00	17.33	17.33
C224	06°17'43"	S 71°17'34" W	21.61	298.00	43.14	43.11
C225	06°17'43"	S 62°59'51" W	21.61	298.00	43.14	43.11
C226	04°47'55"	S 56°27'02" W	12.49	298.00	24.96	24.95
C227	44°17'47"	N 22°06'59" W	177.06	435.00	336.31	327.99
C228	97°16'13"	N 48°40'01" E	28.39	25.00	42.44	37.53
C229	82°43'47"	S 41°19'59" E	28.42	30.00	43.32	36.65
C230	40°43'58"	N 20°21'03" W	122.50	330.00	234.60	229.69
C231	04°41'29"	N 41°55'10" W	17.82	435.00	35.61	35.60
C232	07°18'48"	N 35°55'04" W	27.80	435.00	55.52	55.48
C233	07°38'42"	N 28°28'20" W	29.06	435.00	58.04	58.00
C234	10°38'39"	N 19°17'40" W	40.52	435.00	80.81	80.70
C235	07°18'44"	N 10°16'58" W	27.80	435.00	55.52	55.48
C236	06°41'31"	N 03°18'51" W	25.43	435.00	50.81	50.78
C237	06°41'30"	N 03°19'50" W	19.29	330.00	38.54	38.52
C238	07°18'43"	N 10°19'57" W	21.09	330.00	42.11	42.08
C239	10°38'35"	N 19°18'35" W	30.74	330.00	61.30	61.21
C240	07°38'39"	N 28°27'12" W	22.05	330.00	44.03	43.99
C241	07°18'41"	N 35°55'52" W	21.08	330.00	42.11	42.08
C242	01°07'48"	N 40°09'07" W	3.25	330.00	6.51	6.51
C243	24°32'32"	S 86°30'05" W	31.97	147.00	62.97	62.49
C244	04°44'44"	N 27°05'44" W	24.28	586.00	48.54	48.52
C245	04°46'42"	N 22°20'01" W	24.45	586.00	48.67	48.66
C246	18°03'28"	S 63°15'33" W	23.36	147.00	46.33	46.14
C247	06°29'04"	S 75°31'48" W	8.33	147.00	16.64	16.63
C248	04°09'32"	N 27°23'21" W	21.28	586.00	42.53	42.53
C249	05°21'55"	N 22°37'37" W	27.46	586.00	54.87	54.85
C250	02°46'04"	S 30°20'55" E	38.90	1820.00	77.78	77.77
C251	01°43'01"	S 32°34'58" E	24.28	1820.00	48.55	48.55
C252	01°43'01"	S 34°17'59" E	24.28	1820.00	48.55	48.55
C253	01°40'22"	S 35°59'41" E	23.65	1820.00	47.30	47.29
C254	01°43'01"	S 37°41'23" E	24.28	1820.00	48.55	48.55
C255	01°43'01"	S 39°24'24" E	24.28	1820.00	48.55	48.55
C256	01°47'47"	S 41°09'48" E	25.40	1820.00	50.79	50.79
C257	01°40'48"	S 29°48'48" E	23.75	1820.00	47.50	47.50
C258	01°36'43"	S 31°27'34" E	22.79	1820.00	45.58	45.58
C259	01°33'31"	S 33°02'41" E	22.03	1820.00	44.06	44.06
C260	01°36'43"	S 34°37'48" E	22.79	1820.00	45.58	45.58
C261	01°36'43"	S 36°14'31" E	22.79	1820.00	45.58	45.58

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C262	01°33'31"	S 37°48'38" E	22.03	1820.00	44.06	44.06
C263	01°36'43"	S 39°24'45" E	22.79	1820.00	45.58	45.58
C264	01°50'36"	S 41°08'24" E	26.06	1820.00	52.12	52.11
C265	02°12'04"	S 44°58'02" E	31.12	1820.00	62.23	62.23
C266	01°35'33"	S 46°46'51" E	22.52	1820.00	45.03	45.03
C267	00°39'52"	N 47°17'41" W	1.91	330.00	3.83	3.83
C268	07°53'27"	N 43°01'02" W	22.76	330.00	45.45	45.41
C269	07°53'27"	N 35°07'35" W	22.76	330.00	45.45	45.41
C270	07°53'27"	N 27°14'0				

PRELIMINARY PLAT FOR
EL RANCHO GRANDE UNIT 15

A REPLAT OF TRACT 15 OF BULK LAND PLAT
FOR TRACTS 14, 15 AND 16 EL RANCHO GRANDE
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 4 AND 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2003

PRELIMINARY PLAT
APPROVED BY DR3

LEGAL DESCRIPTION

TRACT 15 OF BULK LAND PLAT FOR TRACTS 14, 15 AND 16
EL RANCHO GRANDE, BOOK _____, PAGE _____, DATE _____

GENERAL NOTES

- EXISTING ZONING: R-LT
PROPOSED DEVELOPMENT: R-LT
- PROPOSED ACREAGE: 22.95 AC
NUMBER OF LOTS: 126 D.U.
PROPOSED DENSITY: 5.49 DU/AC
- MIN. LOT DIMENSIONS:
MINIMUM LOT AREA: 44' X 105'
4,620 SQFT
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO R-LT ZONING REQUIREMENTS
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO MESA ARENOSA DRIVE, AMOLE MESA AVENUE, AND OR MESSINA DRIVE

SITE DATA

ZONE ATLAS NO. N-8-Z & N-9-Z
ZONING R-LT
MILES OF FULL WIDTH STREETS CREATED 0.93 MILES
NO. OF EXISTING PARCELS 1
NO. OF LOTS CREATED 126
DENSITY 5.49 DU/AC

SURVEY NOTES:

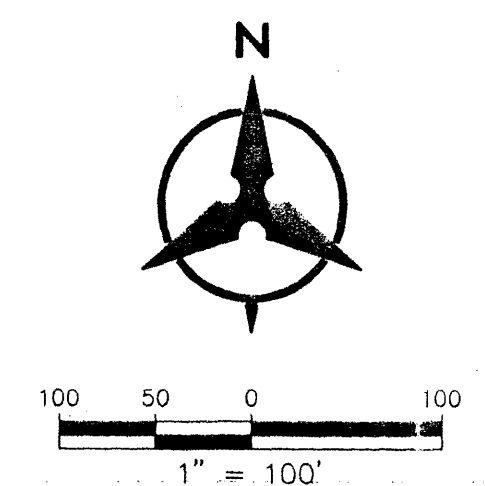
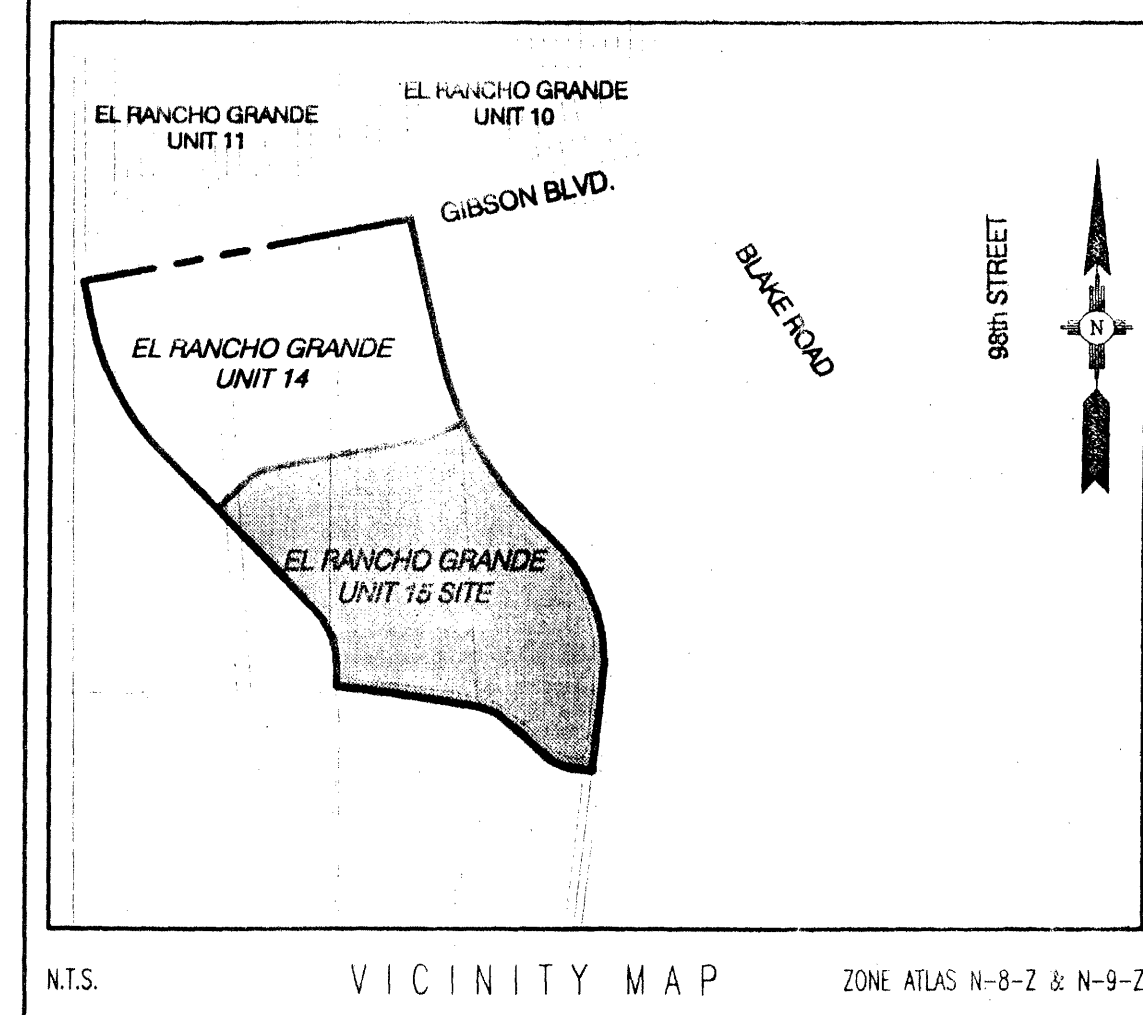
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PIS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION STAMPED, DO NOT DISTURB PLS 11993".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED

[Signature] 10/9/03
CITY SURVEYOR DATE

[Signature] 10/9/03
BO JOHNSON DATE
VICE PRESIDENT, CURB INC.

Bohannon & Huston
Court yard | 7800 Jefferson St NE | Albuquerque, NM 87109-4398
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



LEGEND

- SUBDIVISION BOUNDARY LINE
- - - EXISTING SUBDIVISION BOUNDARY
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- EXISTING FENCE LINE

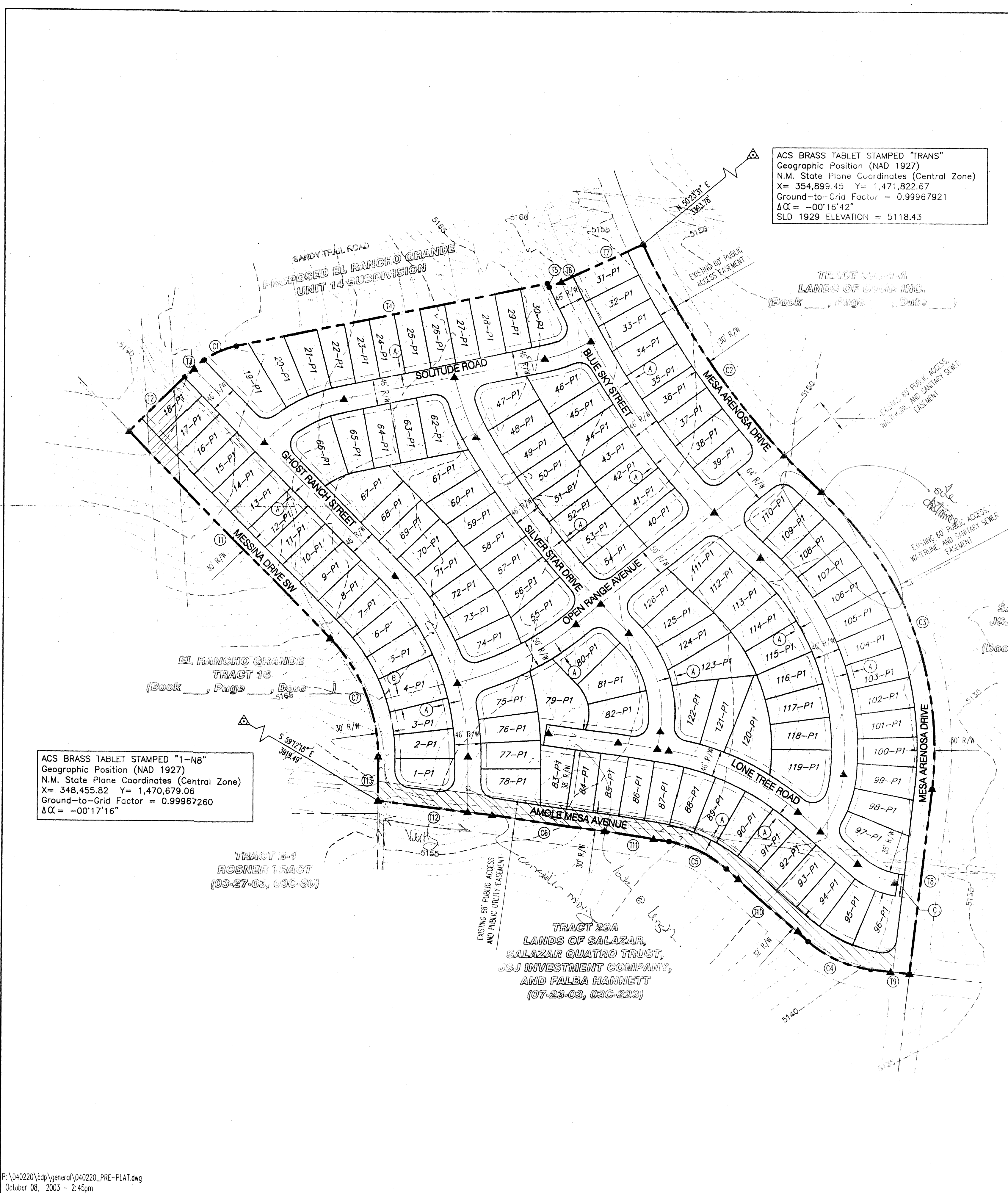
KEYED NOTES

- (A) 10' PUBLIC UTILITY EASEMENT
 - (B) 25' PUBLIC STORM DRAIN EASEMENT
 - (C) 38' PUBLIC WATERLINE EASEMENT
- PORTION OF EXISTING 50' PRIVATE ACCESS EASEMENT (04-30-99, 99C-104) TO BE VACATED BY THIS PLAT.
 PORTION OF EXISTING 68' PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT TO BE VACATED BY THIS PLAT.

Boundary Curve Table					Boundary Tangent Table		
ID	ARC	RADIUS	DELTA	TANGENT	ID	BEARING	LENGTH
C1	61.82	147.00	24°05'47"	31.38	T1	S44°15'53"E	507.79
C2	536.47	1334.00	2°32'30"	271.91	T2	S45°44'07"W	135.00
C3	582.60	616.00	54°11'22"	315.15	T3	S45°44'07"W	46.00
C4	122.37	200.00	35°03'23"	63.17	T4	S78°46'22"W	557.71
C5	112.56	200.00	32°14'45"	57.81	T5	N24°26'41"W	7.45
C6	200.00	5507.96	02°04'50"	100.01	T6	S65°24'52"W	46.00
C7	231.94	300.00	44°17'47"	122.11	T7	S65°24'52"W	135.00
					T8	N06°33'45"E	330.24
					T9	S83°25'47"E	68.94
					T10	S48°22'20"E	193.35
					T11	S80°37'04"E	114.68
					T12	S82°41'53"E	202.43
					T13	S00°01'54"W	77.24

ACS BRASS TABLET STAMPED "TRANS"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X= 354,899.45 Y= 1,471,822.67
Ground-to-Grid Factor = 0.99967921
Δα = -00°16'42"
SLD 1929 ELEVATION = 5118.43

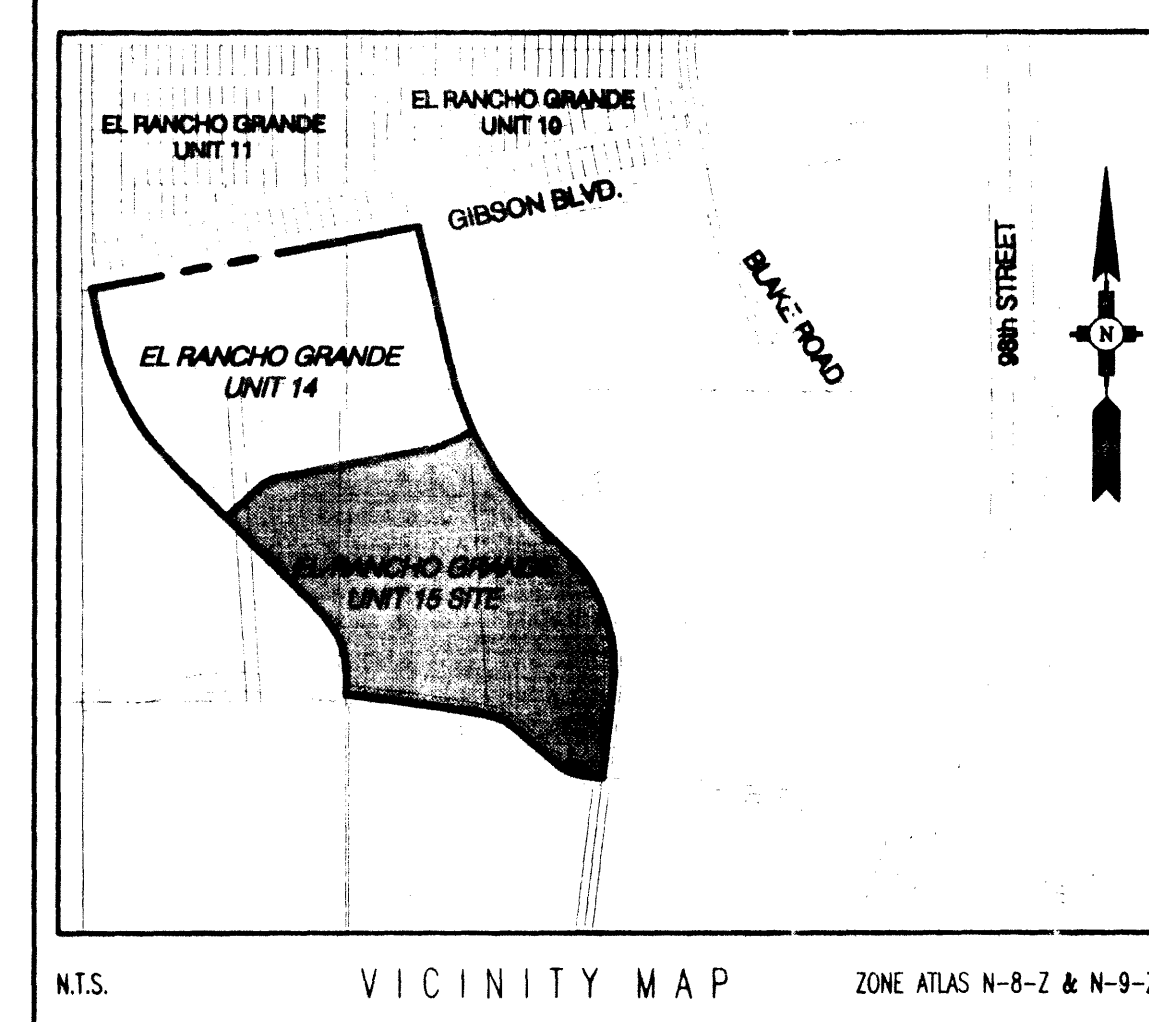
ACS BRASS TABLET STAMPED "1-N8"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X= 348,455.82 Y= 1,470,679.06
Ground-to-Grid Factor = 0.99967260
Δα = -00°17'16"



PRELIMINARY PLAT FOR
EL RANCHO GRANDE UNIT 15

A REPLAT OF TRACT 15 OF BULK LAND PLAT
FOR TRACTS 14, 15 AND 16 EL RANCHO GRANDE
WITHIN THE

TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 4 AND 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2003



LEGAL DESCRIPTION

TRACT 15 OF BULK LAND PLAT FOR TRACTS 14, 15 AND 16
EL RANCHO GRANDE, BOOK _____, PAGE _____, DATE _____

GENERAL NOTES

- EXISTING ZONING: R-LT
PROPOSED DEVELOPMENT: R-LT
- PROPOSED ACREAGE: 22.95 AC
NUMBER OF LOTS: 126 D.U.
PROPOSED DENSITY: 5.49 DU/AC
- MIN. LOT DIMENSIONS: 44' X 105'
MINIMUM LOT AREA: 4,620 SQFT
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO R-LT ZONING REQUIREMENTS
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO MESA ARENOSA DRIVE, AMOLE MESA AVENUE, AND OR MESSINA DRIVE

SITE DATA

ZONE ATLAS NO.	N-8-Z & N-9-Z
ZONING	R-LT
MILES OF FULL WIDTH STREETS CREATED	0.93 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	126
DENSITY	5.49 DU/AC

SURVEY NOTES

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 11882".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

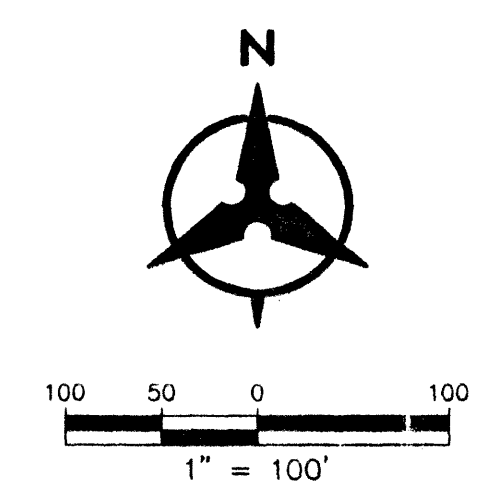
APPROVED

[Signature] 10/9/03
CITY SURVEYOR DATE

[Signature] 10/09/03
BO JOHNSON DATE
VICE PRESIDENT, CURB INC.

Bohannon & Huston

Consulting 1 7800 Jefferson St. NE Albuquerque, NM 87109-6885
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



LEGEND

- SUBDIVISION BOUNDARY LINE
- EXISTING SUBDIVISION BOUNDARY
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT TO BE INSTALLED
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- EXISTING FENCE LINE

KEYED NOTES

- (A) 10' PUBLIC UTILITY EASEMENT
 - (B) 25' PUBLIC STORM DRAIN EASEMENT
 - (C) 38' PUBLIC WATERLINE EASEMENT
- PORTION OF EXISTING 50' PRIVATE ACCESS EASEMENT (04-30-99, 99C-104) TO BE VACATED BY THIS PLAT.
- PORTION OF EXISTING 68' PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT TO BE VACATED BY THIS PLAT.

Boundary Curve Table				Boundary Tangent Table			
ID	ARC	RADIUS	DELTA	TANGENT	ID	BEARING	LENGTH
C1	61.82	147.00	2476.47	31.38	T1	S44°15'53"E	507.79
C2	536.47	1334.00	2302.30	271.91	T2	S45°44'07"W	135.00
C3	582.60	616.00	5411.22	315.15	T3	S45°44'07"W	46.00
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C7	231.94	300.00	4417.47	122.11	T7	S65°24'52"W	135.00
					T8	N06°33'45"E	330.24
					T9	S83°25'47"E	68.94
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					T11	S80°37'04"E	114.68
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ACS BRASS TABLET STAMPED "TRANS"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X= 354,899.45 Y= 1,471,822.67
Ground-to-Grid Factor = 0.99967921
Δα = -00°16'42"
SLD 1929 ELEVATION = 5118.43

TRACT 100-1-A
LANDS OF CURB INC.
(Book _____, Page _____, Date _____)

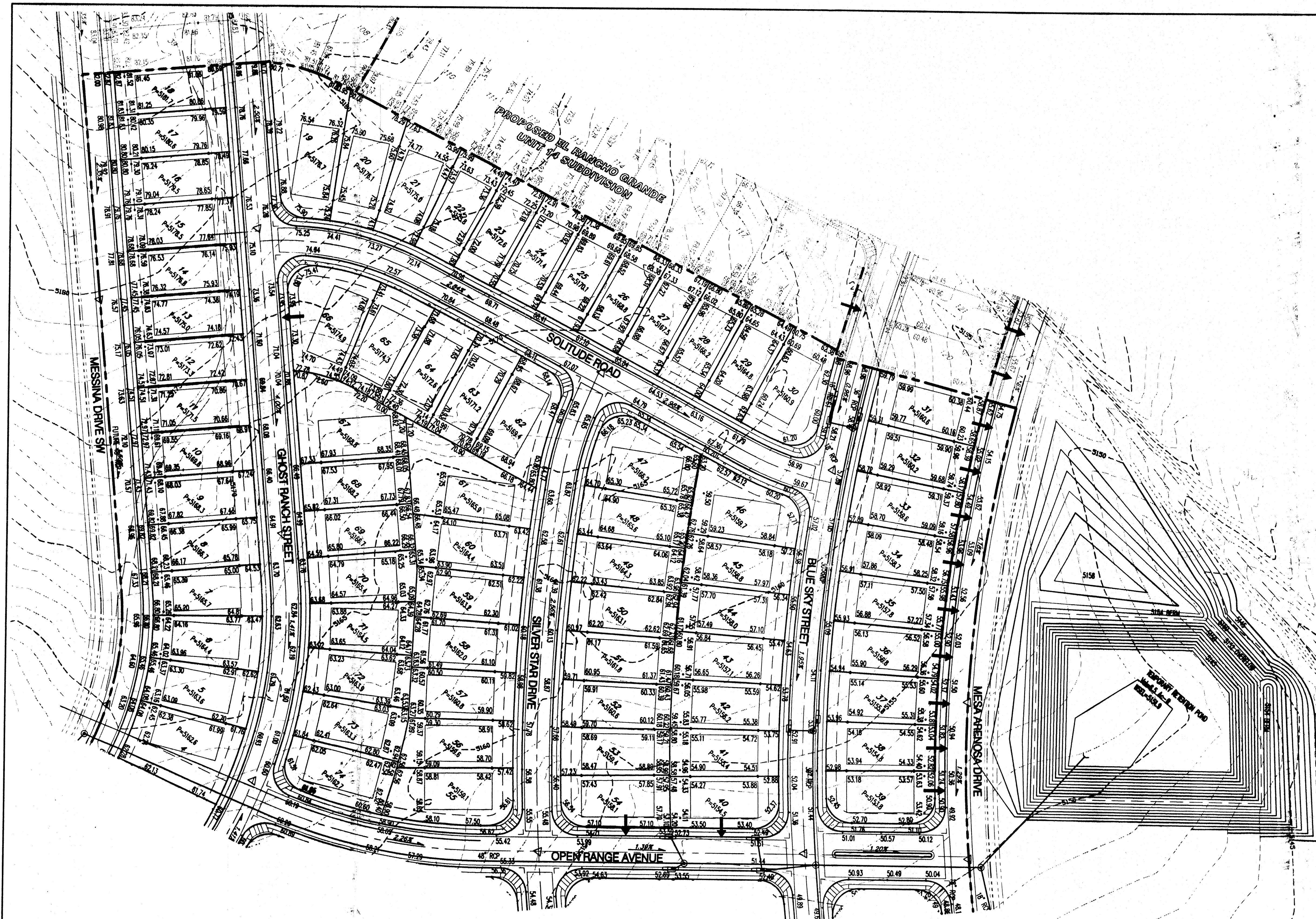
TRACT 21A-1-A
LANDS OF SALAZAR,
SALAZAR QUATRO TRUST,
JSJ INVESTMENT COMPANY,
AND FALBA HANNETT
(Book _____, Page _____, Date _____)

EL RANCHO GRANDE
TRACT 16
(Book _____, Page _____, Date _____)

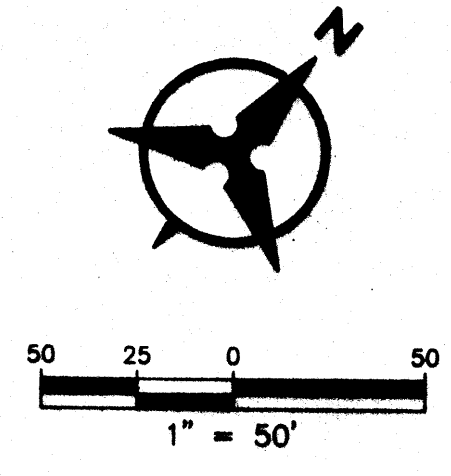
ACS BRASS TABLET STAMPED "1-N8"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X= 348,455.82 Y= 1,470,679.06
Ground-to-Grid Factor = 0.99967260
Δα = -00°17'16"

TRACT B-1
ROSNER TRACT
(03-27-03, 03C-60)

TRACT 29A
LANDS OF SALAZAR,
SALAZAR QUATRO TRUST,
JSJ INVESTMENT COMPANY,
AND FALBA HANNETT
(07-23-03, 03C-223)



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AS PER DETAIL SHEET 3B, AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



LEGEND

- (91.62) FUTURE SPOT ELEVATION
- 91.62 PROPOSED SPOT ELEVATION (GRAD & TC)
- × 92.46 EXISTING SPOT ELEVATION (GRAD & TC)
- — — — — EXISTING CURB & GUTTER
- — — — — PROPOSED MOUNTABLE CURB & GUTTER
- — — — — PROPOSED STANDARD CURB & GUTTER
- — — — — EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- — — — — PROPOSED RETAINING WALL
- — — — — PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- WALL DRAIN

ROUGH GRADING (±0.5')
APPROVED FOR ROUGH GRADING DATE

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 Courtyard 1 7800 Jefferson BL NE Albuquerque, NM 87100-4335
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**CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT**

**EL RANCHO GRANDE UNIT 15
 GRADING AND EROSION CONTROL PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

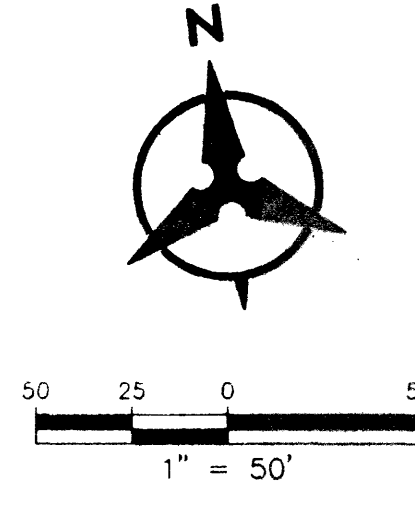
City Project No. _____ Zone Map No. _____ Sheet **3** Of **5**

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	DATE
BENCH MARKS	
ACS BRASS TABLET STAMPED "TRANS"	
Geographic Position (NAD 1927)	
N.T.M. State Plane Coordinates (Central Zone)	
X = 354,899.45 Y = 1,471,822.67	
Ground-to-Grid Factor = 0.99967921	
A.C. = -00'16.42"	
S.I.D. 1929 Elevation = 5118.43	
ENGINEER'S SEAL	
No.	By
REVISIONS	DATE
DESIGN	09/03
DATE: 09/03	DATE: 09/03
DATE: 09/03	DATE: 09/03
DESIGNED BY: S.J.S.	DATE: 09/03
DRAWN BY: DH	DATE: 09/03
CHECKED BY: S.J.S.	DATE: 09/03

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 November 21, 2003 - 9:29am



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
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LEGEND

	FUTURE SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION (GRND & TC)
	EXISTING CURB & GUTTER
	PROPOSED MOUNTABLE CURB & GUTTER
	PROPOSED STANDARD CURB & GUTTER
	EXISTING CONTOUR W/ INDEX ELEVATION
	FLOW ARROW
	PROPOSED RETAINING WALL
	PROPOSED GARDEN WALL
	CONCRETE FILLED TO 1-FOOT DEPTH
	PROPOSED SLOPE
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLET
	WALL DRAIN
	ROUGH GRADING (±0.5')
APPROVED FOR ROUGH GRADING DATE: _____	

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
REVISIONS	DATE
MICROFILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
ACS BRASS TABLET STAMPED "TRANS"	DATE
Geographic Position (NAD 1927)	
N.M. State Plane Coordinates (Central Zone)	
X= 354,899.45 Y= 1,471,822.67	
Ground-to-Grid Factor = 0.99967921	
ΔOX = -00'16"42"	
SLD 1929 Elevation = 5118.43	

SURVEY INFORMATION	
NO.	DATE
BY	

ENGINEER'S SEAL	
	No. _____ Date: 09/03 By: _____ Design

Bohannon & Huston
 Courtyard | 7500 Jefferson St NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
EL RANCHO GRANDE UNIT 15
GRADING AND EROSION CONTROL PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	N-8&9-Z	4	5

